

From: Scala, Mary Joy
Sent: Thursday, July 23, 2015 5:22 PM
To: 'Willard Scribner'
Cc: 'randallleach@embarqmail.com'; Martin D. Chapman
Subject: BAR Action - July 21, 2015 - 700 Harris Street

July 23, 2015

Martin Chapman
Indoor Biotechnologies
1216 Harris Street
Charlottesville, VA 22902

Certificate of Appropriateness Application

BAR 15-07-03

700 Harris Street

Tax Parcel 35013200

Randall Leach, Owner/ Martin Chapman, Applicant

Replace existing: entry canopy, entry door with new aluminum framed glass door and sidelights to match existing window frames.

Raise sidewalks and concrete stairs to ADA standards.

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on July 21, 2015. The following action was taken:

The BAR approved (8-1, with Graves opposed) the proposal for handicapped accessible entry and other concrete work, but handrail details and stair profile to come back for administrative approval (to be circulated among the BAR). Additionally, for the remainder of the application, the BAR accepted the applicant's request for deferral.

****If you want to be on the August 18 BAR agenda, you must let me know by July 28. You may have an additional week to submit your options for the entry canopy, door and sidelights (no later than August 4).**

In accordance with Charlottesville City Code 34-285(b), this decision (regarding concrete work) may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness (for concrete work) shall expire in 18 months (January 21, 2017), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. The expiration date may differ if the COA is associated with a valid site plan. You may request an extension

of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of the project, please contact me for an inspection of the improvements included in this application. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP

Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall – 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
July 21, 2015**



Certificate of Appropriateness Application

BAR 15-07-03

700 Harris Street

Tax Parcel 35013200

Randall Leach, Owner/ Martin Chapman, Applicant

Replace existing: entry canopy, entry door with new aluminum framed glass door and sidelights to match existing window frames. Raise sidewalks and concrete stairs to ADA standards.

Background

The Armstrong Knitting Factory (Silk Mills) was built in 1889-90 with an addition in 1947. It is an Individually Protected Property.

April 15, 2003 - The BAR voted 6-1 to approve a motion to permit demolition of the metal addition attached to the rear of the building, with the brick chimney to be protected and preserved. The BAR voted unanimously to defer action on the proposed demolition of the brick addition.

May 20, 2003 - the BAR voted 5-2 to deny the demolition of section "A," based on City Code Section 34-568(b) criteria 1-7, and Design Review Guidelines for Demolition, criteria 1-6; and to approve removal of section "D". This decision was later overturned by City Council.

Application

The applicant proposes to alter the south entrance of the 1947 addition. An attached plat shows the entry location (circled).

Both the building owner and Indoor Biotechnologies, Inc. (IBI) are desirous of opening up the visibility and visual appeal of the entry to acknowledge the significant change in vibrancy and activity of the new high-technology lab use now inhabiting the main floor.

SMBW would like to retain the old canopy. They are unsure if it is original to the building or not, but it has every appearance of being, at the latest, immediate post-war. The structure behind it was compromised during some selective demolition, and it needs to be restructured. That could be as simple as installing two small-diameter metal-rod diagonals from the outboard corners of the canopy, extending up to eye bolts in the brick.

SMBW would also like to retain the fluted aluminum pilasters that flank the door.

The door needs to be reworked to swing out for egress and accessibility requirements. In doing that the Owner will want to go with a more minimalist modern door with more glass. Under that circumstance the original door would be crated for safety and stored in the basement of the building.

The Owner may, at some later date, request permission to substitute clear glass block or a glass lite for the more opaque block flanking the pilasters. They want to celebrate this new high tech occupancy in a venerable old building. If we can maintain the existing canopy while adding the diagonal rod-braces back to the brick masonry; and substitute a new, out-swinging door and

accomplish these two items together with the ADA-required changes to the concrete walks, then we can get the client open and running fairly quickly. That would leave the client with a future option to request a modification to the glass block side panels, which would require the BAR process and approval, and which – if approved - could be a discrete, small three or four day project for a contractor.

Criteria, Standards and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

(1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;

(2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;

(3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

(4) The effect of the proposed change on the historic district neighborhood;

(5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;

(6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;

(8) Any applicable provisions of the City's Design Guidelines.

Pertinent Guidelines for Rehabilitation include:

D. Entrances, Porches, and Doors

Entrances and porches are often the primary focal points of a historic building. Their decoration and articulation help define the style of the structure. Entrances are functional and ceremonial elements for all buildings. Porches have traditionally been a social gathering point as well as a transition area between the exterior and interior of a residence.

The important focal point of an entrance or porch is the door. Doors are often a character-defining feature of the architectural style of a building. The variety of door types in the districts reflects the variety of styles, particularly of residential buildings.

1. The original details and shape of porches should be retained including the outline, roof height, and roof pitch.

2. Inspect masonry, wood, and metal on porches and entrances for signs of rust, peeling paint, wood deterioration, open joints around frames, deteriorating putty, inadequate caulking, and improper drainage, and correct any of these conditions.

3. Repair damaged elements, matching the detail of the existing original fabric.

4. Replace an entire porch only if it is too deteriorated to repair or is completely missing, and design to match the original as closely as possible.

5. Do not strip entrances and porches of historic material and details.

6. Give more importance to front or side porches than to utilitarian back porches.

7. Do not remove or radically change entrances and porches important in defining the building's overall historic character.

8. Avoid adding decorative elements incompatible with the existing structure.

9. In general, avoid adding a new entrance to the primary facade, or facades visible from the street.

10. Do not enclose porches on primary elevations and avoid enclosing porches on secondary elevations in a manner that radically changes the historic appearance.

11. Provide needed barrier-free access in ways that least alter the features of the building.

a. For residential buildings, try to use ramps that are removable or portable rather than permanent.

b. On nonresidential buildings, comply with the Americans with Disabilities Act while minimizing the visual impact of ramps that affect the appearance of a building.

12. The original size and shape of door openings should be maintained.

13. Original door openings should not be filled in.

14. When possible, reuse hardware and locks that are original or important to the historical evolution of the building.

15. Avoid substituting the original doors with stock size doors that do not fit the opening properly or are not compatible with the style of the building.

16. Retain transom windows and sidelights.

Discussion and Recommendations

Staff previously administratively approved concrete work that would make this front entry accessible (attached).

Staff has no concerns. The BAR should discuss with the applicant the current plan and future options.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitations, I move to find that the proposal to alter the entrance satisfies the BAR's criteria and is compatible with this Individually Protected Property, and that the BAR approves the application as submitted (or subject to the following modifications....).



Board of Architectural Review (BAR)
Certificate of Appropriateness

RECEIVED JUN 30 2015 NEIGHBORHOOD DEVELOPMENT SERVICES

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.
For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.
The BAR meets the third Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

Owner Name RANDALL LEACH Applicant Name MARTIN CHAPMAN
Project Name/Description INDOOR BIOTECHNOLOGIES ADAPTIVE REUSE Parcel Number
Property Address 700 HARRIS STREET

Applicant Information

Address: 1716 HARRIS ST.
Email: mdc@inbio.com
Phone: (W) 434 984-3341 (H)
FAX: 434 984 2709

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Martin Chapman 6/16/15
Signature Date

Property Owner Information (if not applicant)

Address:
Email: randallleach@embargmail.com
Phone: (W) (M) 434-960-2927 (H)
FAX:

MARTIN CHAPMAN
Print Name Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Do you intend to apply for Federal or State Tax Credits for this project? No.

Signature Date

Print Name Date

Description of Proposed Work (attach separate narrative if necessary):

Replacement of the existing entry canopy, replacement of existing entry door with new aluminum framed glass door and sidelights matching existing window frames and modification to the sidewalks and concrete stair and rail to meet ADA Standards.

List All Attachments (see reverse side for submittal requirements):

Photo #1 - Entrance Elevation, Photo #2 - Existing Canopy/Main Entrance, CA.A.24 - Site Demo Plan, CA.A.25 - New Construction Site Plan, CA.A.26A - Entrance Elevation Sketch - Option A, CA.A.26B - Entrance Elevation Sketch - Option B, CA.A.27A - Canopy Section/Details, CA.A.27B - Canopy Plan and Storefront Head Dtl., Cutsheet of proposed Canopy by Mapes Arch. Canopies, Photo #3 - Example Canopy Installation

For Office Use Only

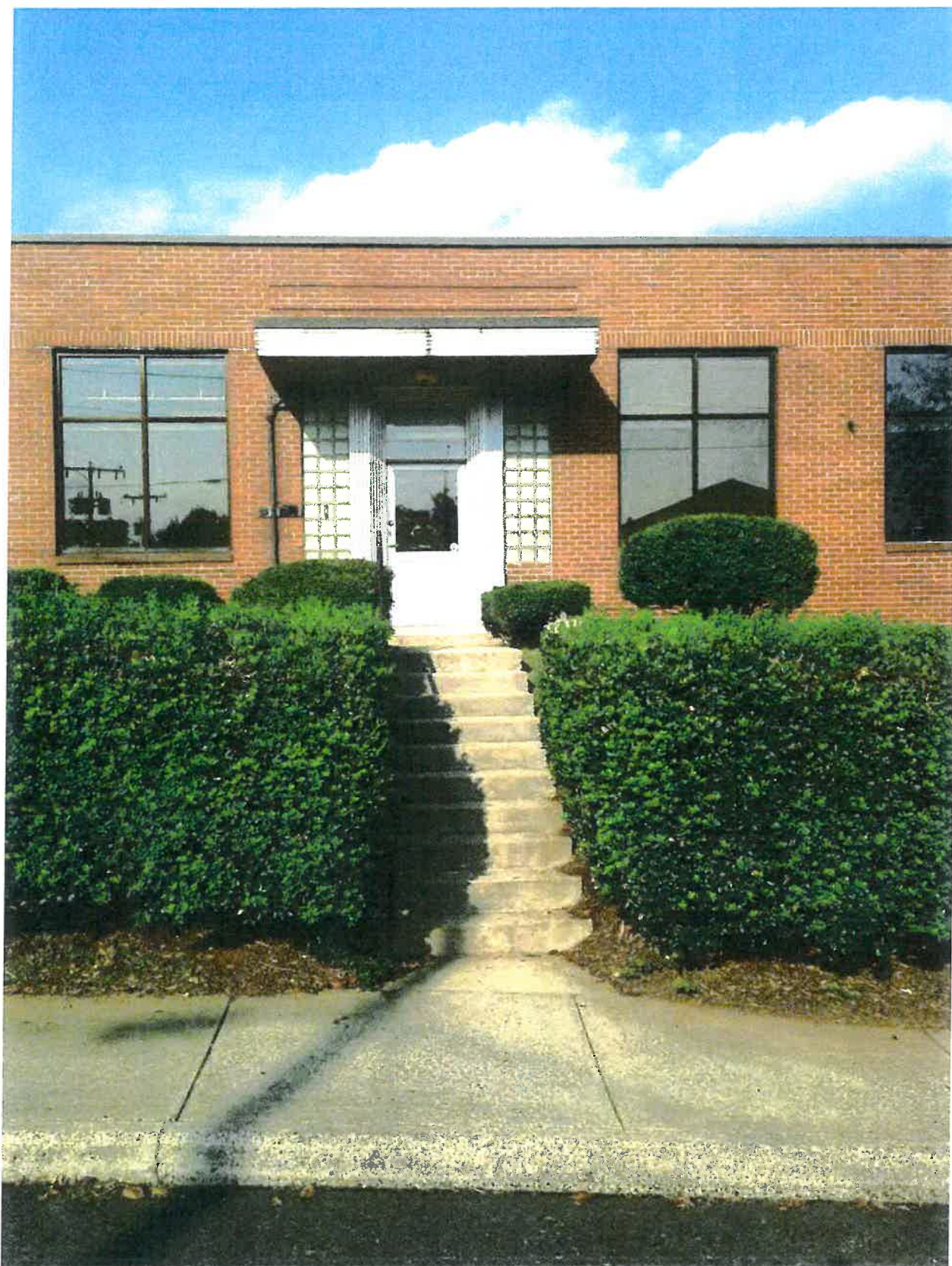
Received by: J. Barmore
Fee paid: \$125.00 Cash (Ck. #) 7256
Date Received:

Approved/Disapproved by:

Date:

Conditions of approval:

P15-0092



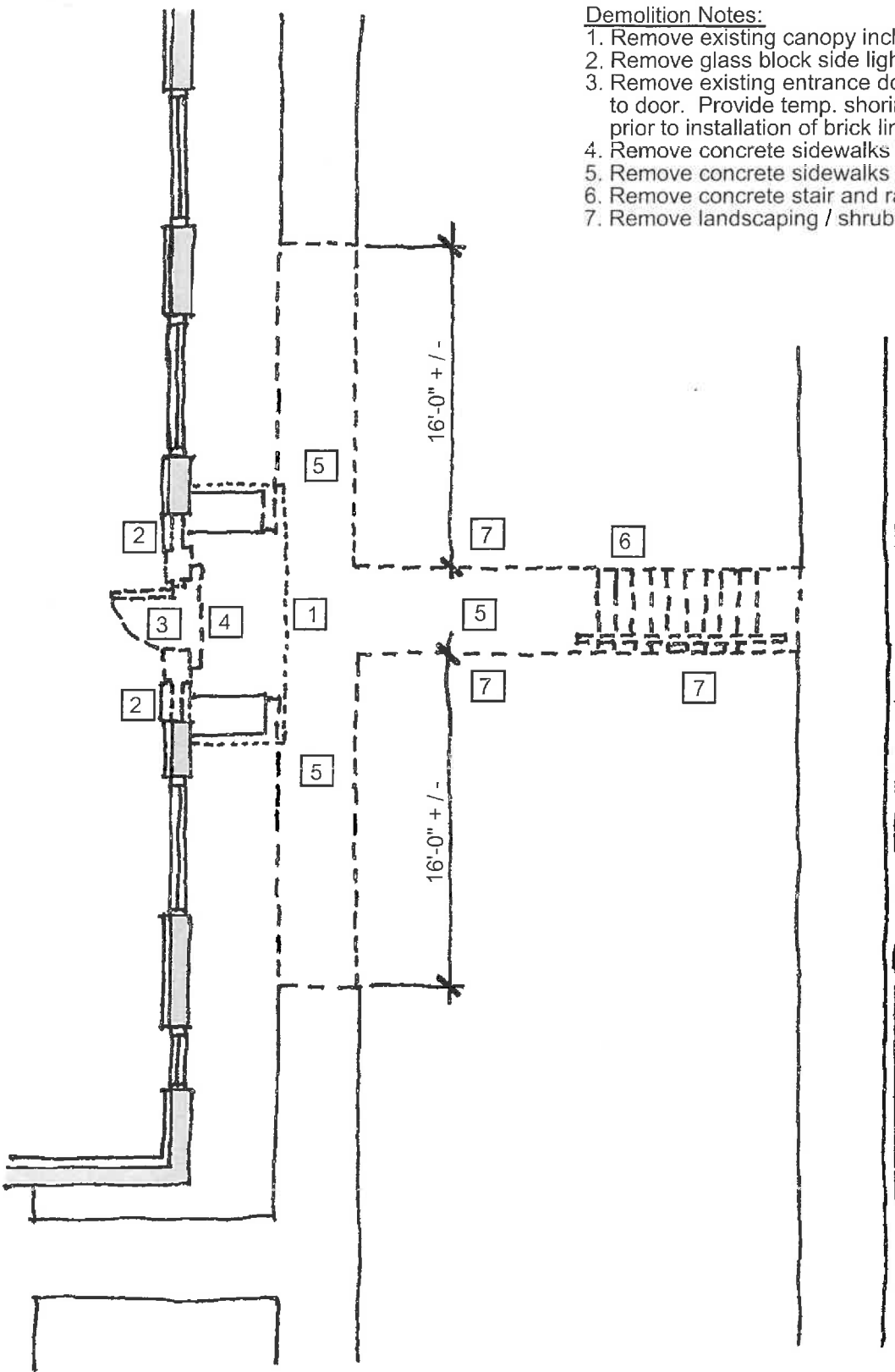
Existing Entrance to New Indoor Biotechnologies Lab and Office Suite - 700 Harris Street



Existing Entrance to New Indoor Biotechnologies Lab and Office Suite - 700 Harris Street

Demolition Notes:

1. Remove existing canopy including steel beams and downspout.
2. Remove glass block side lights.
3. Remove existing entrance door and brick / CMU wall adjacent to door. Provide temp. shoring during removal of brick /CMU prior to installation of brick lintel.
4. Remove concrete sidewalks / steps at entrance.
5. Remove concrete sidewalks for future sloped sidewalk.
6. Remove concrete stair and railing.
7. Remove landscaping / shrubs as required for new construction.



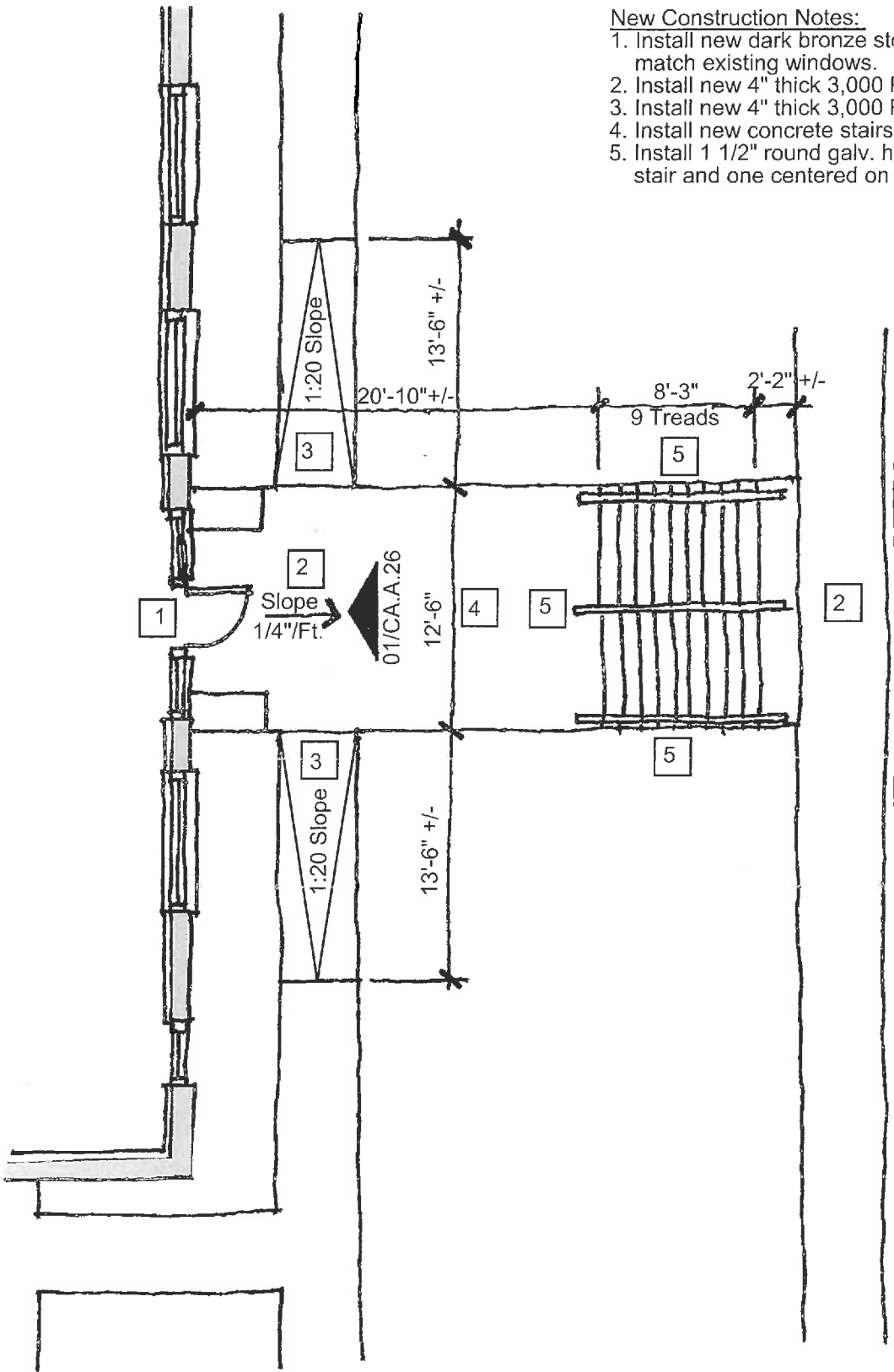
Site Plan - Demolition

Scale: 1/8" = 1'-0"

project	Indoor Biotechnologies and Lab Suite	date	6/11/2015	drawing	CA.A.24
issued with		drawn	LJW		
reference	A1.01	proj. no.	214002.01		

New Construction Notes:

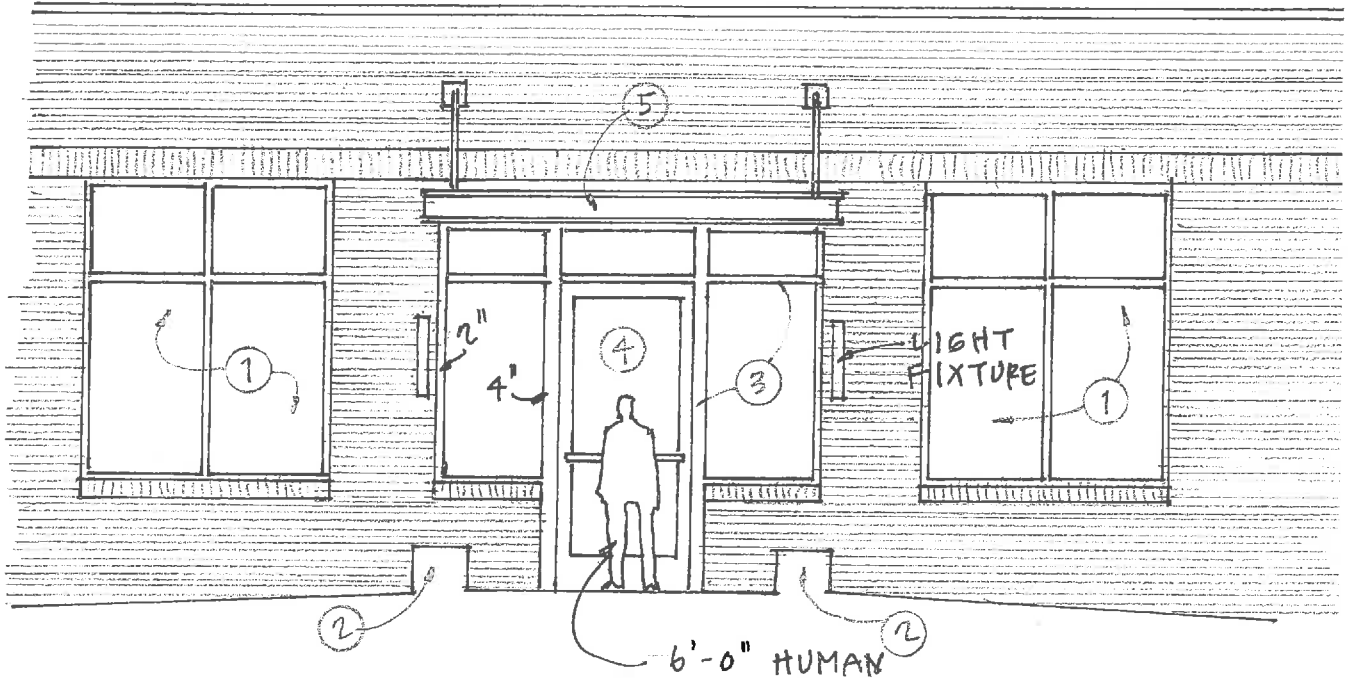
1. Install new dark bronze storefront door and sidelites to match existing windows.
2. Install new 4" thick 3,000 PSI concrete slab at entry.
3. Install new 4" thick 3,000 PSI concrete sidewalk.
4. Install new concrete stairs with 7" max. risers.
5. Install 1 1/2" round galv. handrail at new stair at each side of stair and one centered on stair width. Handrail to be painted.



Site Plan - New Construction

Scale : 1/8" = 1'-0"

project	Indoor Biotechnologies and Lab Suite	date	6/11/2015	drawing	CA.A.25
issued with		drawn	LJW		
reference	A1.01	proj. no.	214002.01		

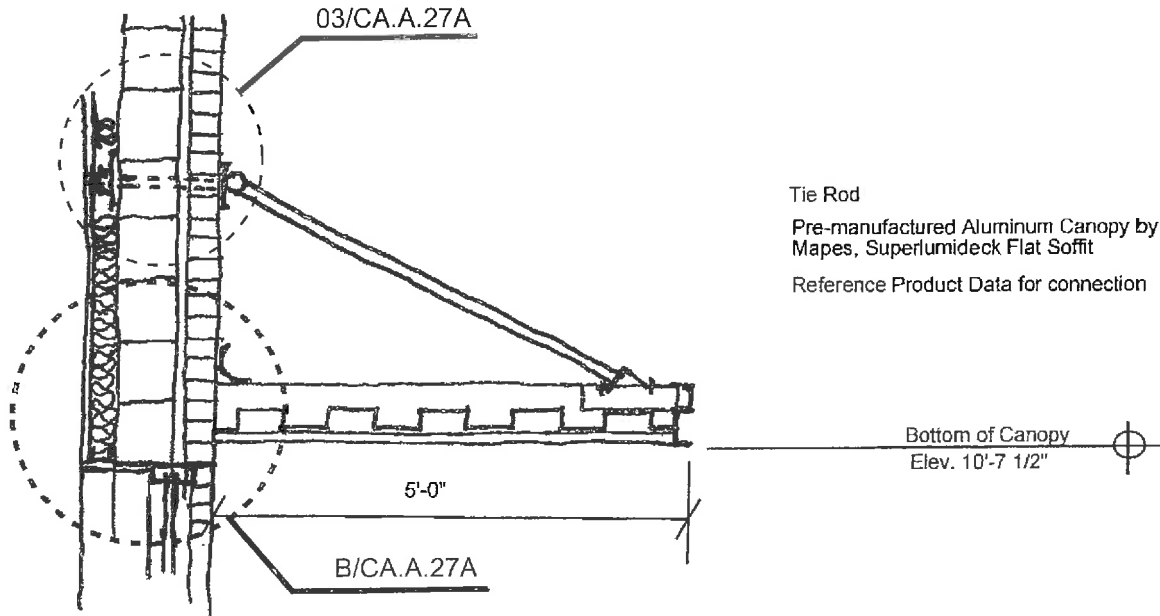


01 West Elevation

Key Notes:

- ①. EXIST'G BRONZE ALUM STOREFRONT & GLASS
- ②. EXIST'G CONCRETE PEDESTALS TO REMAIN
- ③. NEW GLAZING AND BRONZE ALUMINUM EXTRUSIONS - 2" AND 4" PROFILES
- ④. NEW STOREFRONT DOOR - 3'-6" x 8'-6"
- ⑤. NEW CANOPY W/ CHANNEL FLANGE PROFILE

project	Indoor Biotechnologies and Lab Suite	date	6/11/2015	drawing	CA.A.26
issued with		drawn	LJW		
reference	A1.01	proj. no.	214002.01		

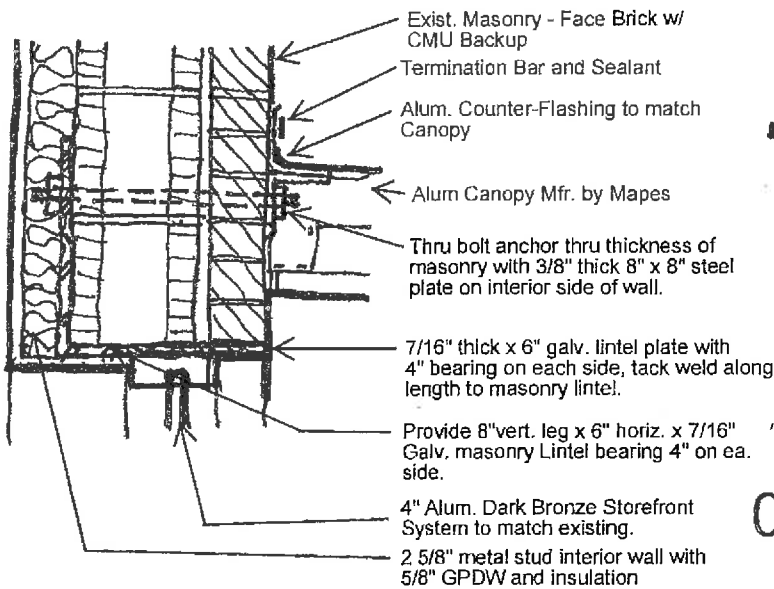


Tie Rod
 Pre-manufactured Aluminum Canopy by
 Mapes, Superlumideck Flat Soffit
 Reference Product Data for connection

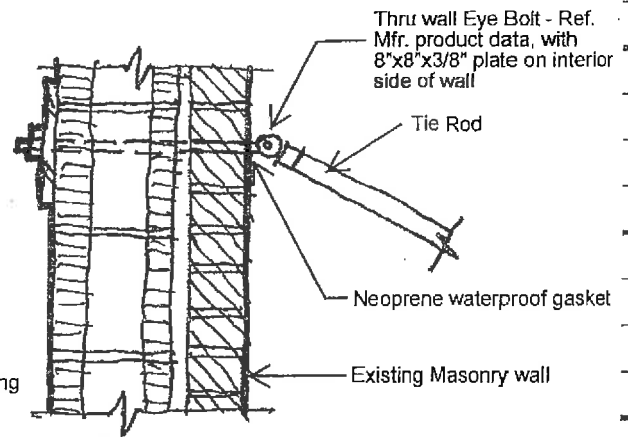
Bottom of Canopy
 Elev. 10'-7 1/2"

01 Canopy Section

Scale: 1/2" = 1'-0"



Exist. Masonry - Face Brick w/
 CMU Backup
 Termination Bar and Sealant
 Alum. Counter-Flashing to match
 Canopy
 Alum Canopy Mfr. by Mapes
 Thru bolt anchor thru thickness of
 masonry with 3/8" thick 8" x 8" steel
 plate on interior side of wall.
 7/16" thick x 6" galv. lintel plate with
 4" bearing on each side, tack weld along
 length to masonry lintel.
 Provide 8" vert. leg x 6" horiz. x 7/16"
 Galv. masonry Lintel bearing 4" on ea.
 side.
 4" Alum. Dark Bronze Storefront
 System to match existing.
 2 5/8" metal stud interior wall with
 5/8" GPDW and insulation



Thru wall Eye Bolt - Ref.
 Mfr. product data, with
 8"x8"x3/8" plate on interior
 side of wall
 Tie Rod
 Neoprene waterproof gasket
 Existing Masonry wall

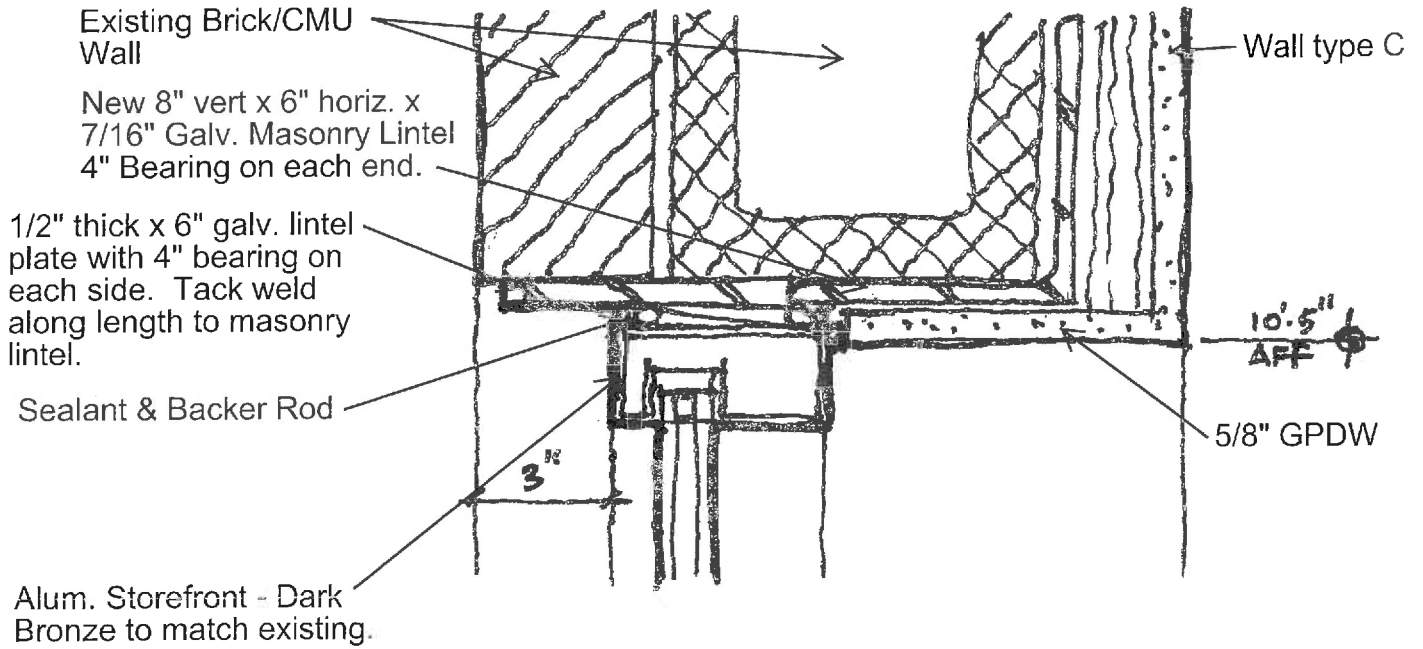
03 Tie Rod Support Dtl.

Scale: 1" = 1'-0"

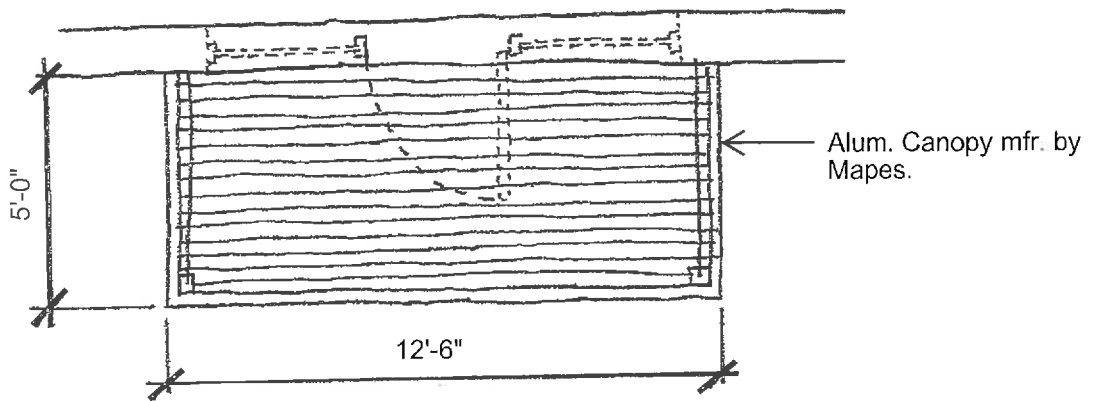
02 Canopy at Facade

Scale: 1" = 1'-0"

project	Indoor Biotechnologies and Lab Suite	date	6/11/2015	drawing	CA.A.27A
issued with		drawn	LJW		
reference	A1.01	proj. no.	214002.01		



Head Detail at Entry Storefront



02 Canopy Plan

project	Indoor Biotechnologies New Office	date	4/20/2014	drawing	CA.A.27B
issued with		drawn	LJW		
reference	A1.01	proj. no.	212014.01		

Super Lumideck

Hanger Rod



FEATURES

- Pre-engineered
- All Extruded
- Color Options
- High Load
- Deck Options - Flat Soffit
- Fascia/Escutcheon Options
- Internal Drainage

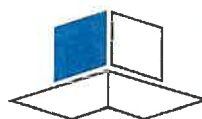


ALL EXTRUDED HANGER ROD CANOPY

The Super Lumideck hanger rod canopy is an all extruded aluminum canopy designed for high load architectural applications. Optional deck styles provide a complete solution for any design requirement. Deck profiles can be combined with differing fascias to complement any design emphasis or building requirement. The all extruded design provides a solution for both high snow drift loads and hurricane force winds.

APPLICATIONS

- Retail Branding
- Storefronts
- Loading Docks
- Parking Garages
- Shopping Center
- Historical Renovation



mapes
ARCHITECTURAL CANOPIES

Mapes Canopies, LLC
7748 North 56th Street / Lincoln, NE 68514
888-273-1132 / 877-455-6572 fax
canopy@mapes.com / www.mapescanopies.com

For design and budget information, please visit
www.mapes.com/supperlumideck_hanger

A. Wagner Oil

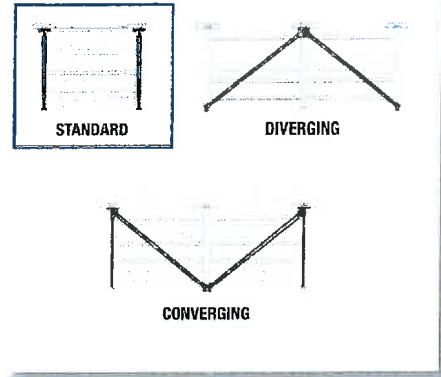
C. Culver's

Super Lumideck

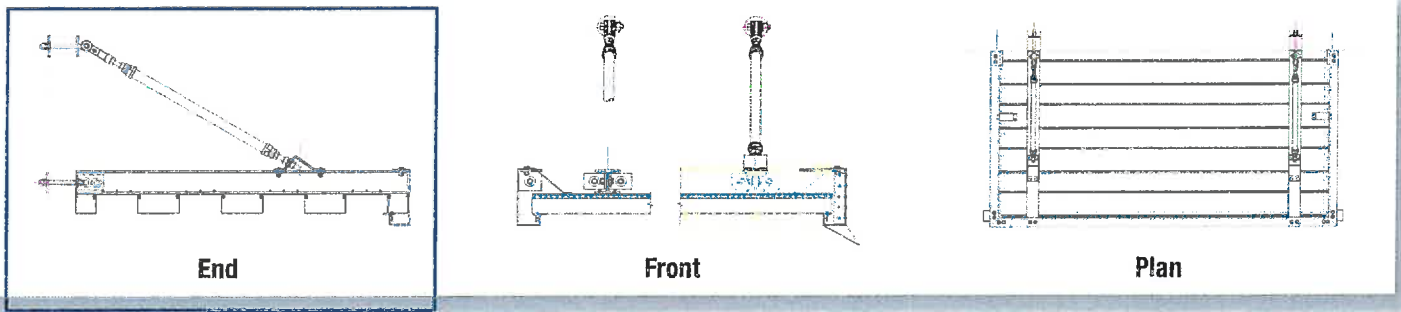
Backyard Burgers



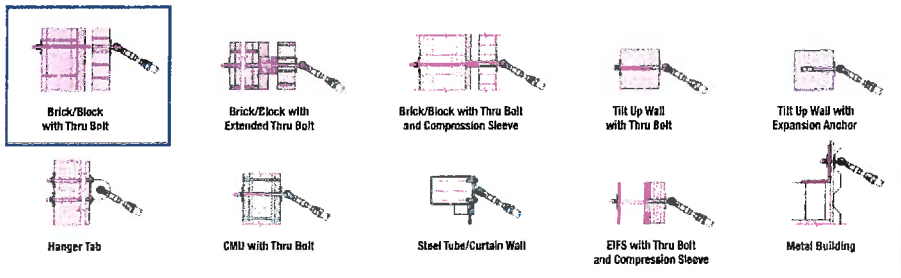
HANGER ROD CONFIGURATIONS



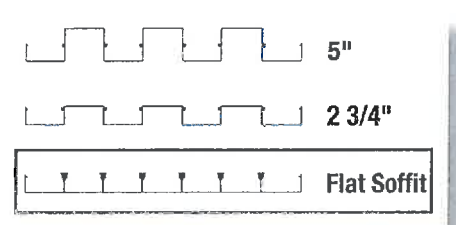
SECTION DETAIL



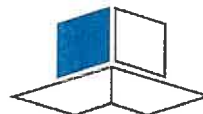
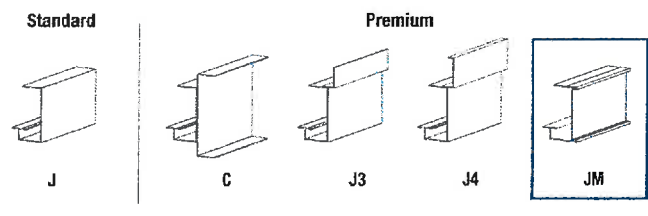
WALL MOUNT DETAILS



DECK OPTIONS



FASCIA OPTIONS



mapes
ARCHITECTURAL CANOPIES

Mapes Canopies, LLC
7748 North 56th Street / Lincoln, NE 68514
888-273-1132 / 877-455-6572 fax
canopy@mapes.com / www.mapescanopies.com

For more details, please visit mapes.com/superlumideck_hanger



Example Installation of Mapes Superlumideck Canopy