

Lasley, Timothy G

From: Lasley, Timothy G
Sent: Thursday, July 19, 2018 10:01 AM
To: 'hlc7a@yahoo.com'
Cc: Werner, Jeffrey B; Mess, Camie
Subject: BAR Actions - July 17, 2018 - 612 Grove Avenue

July 19, 2018

Certificate of Appropriateness Application (Historic Conservation District)

BAR 17-03-03
612 Grove Avenue
Tax Parcel 510049100
Heather Carlton, Owner/Applicant
Screened porch

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on May 15, 2018. The following action was taken:

Motion: Balut moved having considered the standards set forth within the City Code, including City Design Guidelines for New Construction and Additions in Conservation Districts, I move to find that the proposed new porch addition satisfies the BAR's criteria and is compatible with this property and other properties in the Martha Jefferson Neighborhood Historic Conservation District, and that the BAR approves the application as submitted with the note that the applicant submit final details of the privacy screening, railings, and deviations from the submitted proposal to staff and be circulated to the BAR for approval.
Schwarz seconded. Approved (7-0).

This certificate of appropriateness shall expire in 18 months (January 17, 2020), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. You may request an extension of the certificate of appropriateness before this approval expires for one additional year for reasonable cause.

If you have any questions, please contact me at 434-970-3130 or wernerjb@charlottesville.org.

Sincerely yours,
Jeff Werner

--

Tim Lasley

Intern | Historic Preservation and Design Planning
City of Charlottesville | Neighborhood Development Services
University of Virginia | Class of 2020
School of Architecture

Phone: (434)970-3185
Email: lasleyt@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
July 17, 2018**



Certificate of Appropriateness Application (Historic Conservation District)

BAR 17-03-03

612 Grove Avenue

Tax Parcel 510049100

Heather Carlton, owner/applicant

Screened porch

(Martha Jefferson Conservation District)

Background

612 Grove Avenue is a non-contributing dwelling in the Martha Jefferson Historic Conservation District.

The ranch-style residence with walk-out basement was built in approximately 1963, located on the corner of Grove Avenue and Poplar Street. The house is approximately 2900 square feet, on an approximately 0.2 acre corner lot. The lot contains no other structures.

March 21, 2017 - There is no official motion to be made since it is a preliminary discussion, but the BAR suggested the applicant come back next month with more information about the massing of the porch, including drawings or more photos to show what the details are going to be. Mohr suggested pushing the lower structure back, like in one of the photos, and staining it a dark color. Use 6x6's for the top structure also (4x4's may look too spindly). A physical survey is needed.



Application

The applicant has submitted the following:

- Sketchup rendering (page 1), misc. sketches (pages 2-5), site and context photos (pages 6-7).
- Residential Surveying Services: site survey dated 3/31/17 (showing porch/deck crosshatched)

The request for the construction of a new deck and screened porch on the rear (east) façade of the house—screened porch 14'-0" x 14'-0"; open deck 12'-0" x 14'-0" including stairs. On the side (south elevation) a 3'-0" wide section of the deck will the deck will extend approximately 18'-0". The south end of the deck will have privacy screens, in lieu of railing. The overall design for the proposed porch is inspired by neighboring porches.

The porch materials are pressure-treated wood, screening, and architectural shingles matching the current roof. Gutters and downspouts would match those along the front and rear of the house. The screened porch trim will be painted white to match the house trim. A window opening enclosed within the porch will be expanded to accommodate French doors. Entrance from the deck to the porch will be a screened door.

Criteria, Standards and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application, the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (7) When reviewing any proposed sign as part of an application under consideration, the standards set forth within Article IX, sections 34-1020 et seq shall be applied; and*
- (8) Any applicable provisions of the City's Design Guidelines.*

Martha Jefferson Architectural character-defining features:

- 1) Encourage one-story front porches;*
- 2) Encourage garages to be located in the rear yards;*
- 3) The levels of a building's stories should be consistent with those on surrounding structures with respect to the natural grade [for example, a first floor should not be raised so that it is higher than most surrounding first floors];*
- 4) Do not exclude well-designed, new contemporary architecture [there may be a misconception that only historic-looking new buildings are permitted];*
- 5) Encourage standing seam metal roofs;*
- 6) Maintain and encourage tree canopy [Maintain the existing tree canopy and encourage new large shade trees];*
- 7) The following Historic Conservation Overlay District Design Guidelines are especially pertinent: maintain neighborhood massing and form; encourage the use of sustainable materials; and limit the height of fences in front yards to 3 ½ feet in height.*

...

Pertinent Design Review Guidelines for New Construction and Additions (Historic Conservation District)

Building Scale – height and massing

- 1) Keep the footprint, and massing of new buildings consistent with the neighborhood characteristics and compatible with the character of buildings on the same street.*
- 2) Keep the height and width of new buildings within the prevailing average height and width. Exceptions up to 200% of the prevailing height and width may be approved by the BAR when contextually appropriate.*

- 3) *An addition needs to be perceived as an addition and therefore should not visually overpower the existing building in scale and design.*
- 4) *An accessory building should appear secondary to the main building in scale and design.*
- 5) *Larger buildings (commercial or multi-family) otherwise permitted by zoning should be designed and articulated to be compatible with the scale of the majority of adjacent buildings on the same street or block.*

Building Form – roofs and porches

- 1) *Roof forms should reference contributing buildings on the same street or surrounding area. Other roof forms may be approved by the BAR when contextually appropriate.*
- 2) *If many of the contributing buildings on the same street have porches, then it is strongly recommended that the design of a new residence includes a porch or similar form of similar width and depth.*

Building Openings – orientation, doors and windows

- 1) *A single entrance door (or main entrance of a multifamily dwelling) facing the street is recommended.*
- 2) *Window and door patterns and the ratio of solids (wall area) to voids (window and door area) of new buildings should be compatible with contributing buildings in the surrounding area.*
- 3) *Windows should be simple shapes compatible with those on contributing buildings, which are generally vertically oriented in residential areas.*

Building Materials and Textures

- 1) *The selection of materials and textures for a new building should relate architecturally to the district, and should be compatible with and complementary to neighboring buildings.*
- 2) *Long-lasting, durable and natural materials are preferred, including brick, wood, stucco, and cementitious siding and standing seam metal roofs. Clear glass windows (VLT of 70% or more) are preferred.*

Discussion and Recommendations

The overall design and placement of the proposed porch has been improved since the previous submission. The roof line of the screened porch is lower than the roof line of the existing building, so it does not overpower the original structure. It would be preferable for the porch eave to align with the existing. The simple form of the porch is compatible with the porches on surrounding buildings.

However, some items remain unaddressed. Staff has requested that the applicant make available the following:

- ~~Railing design and material.~~
- ~~Deck stain color (or paint), if any.~~
- ~~Height of the shorter section of privacy screen.~~
- ~~Clarify condition at the west end of the 3'-0" deck extension.~~

~~Should these not be available for BAR review or, upon review, should the BAR find them unsuitable, a recommendation might be made for the applicant to request a deferral.~~

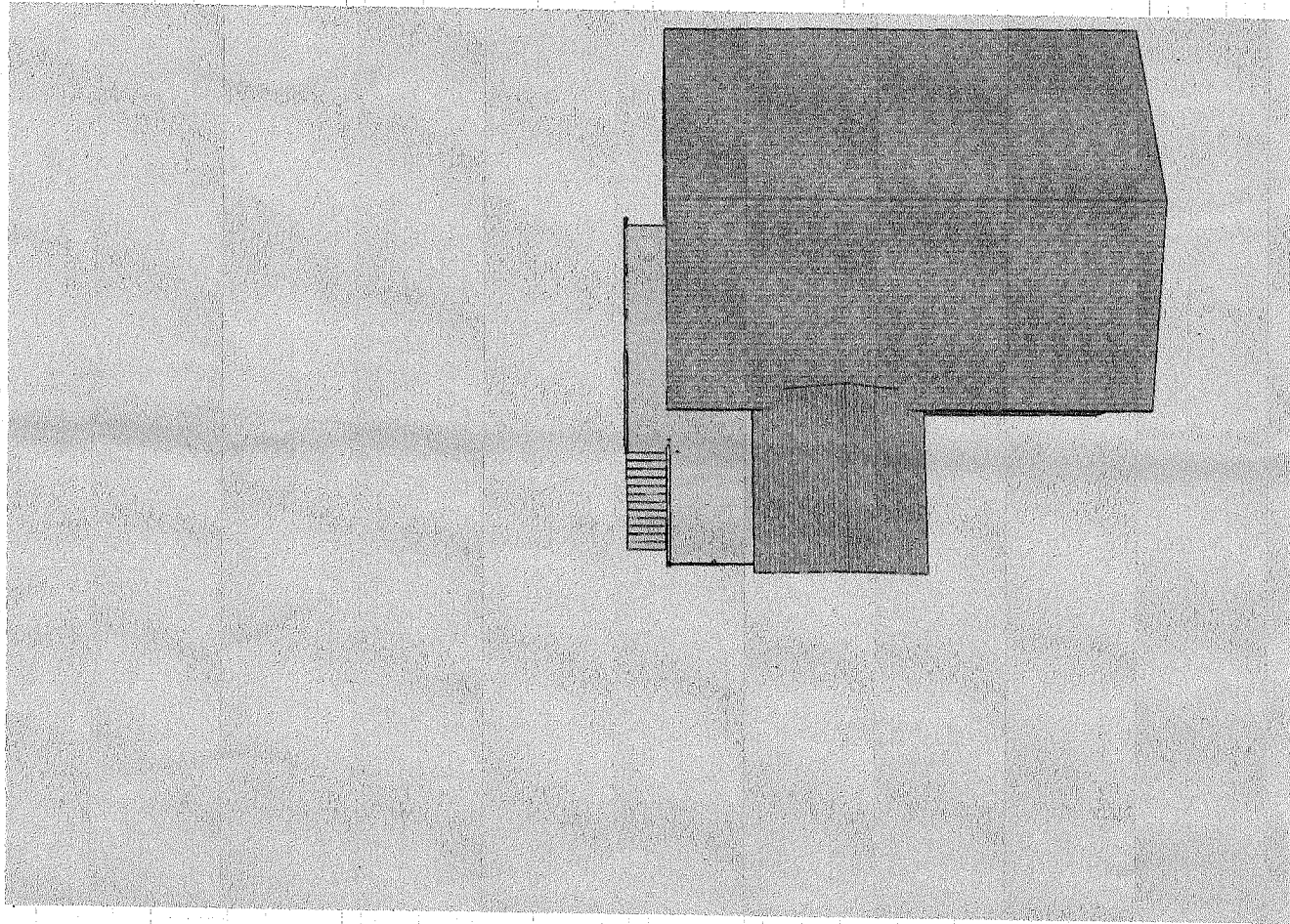
- 1x6 horizontal railing, (no pickets)
- The deck, stairs, rail, screens will be stained medium brown/walnut. Min-Wax *Early American*.
- The screened porch trim, door will be painted white to match the trim on the house.
- The low privacy screens [on side] are not screens, but rails at standard height, with horizontal railing like rest of deck and screened porch.
- Side deck will align with existing concrete deck.

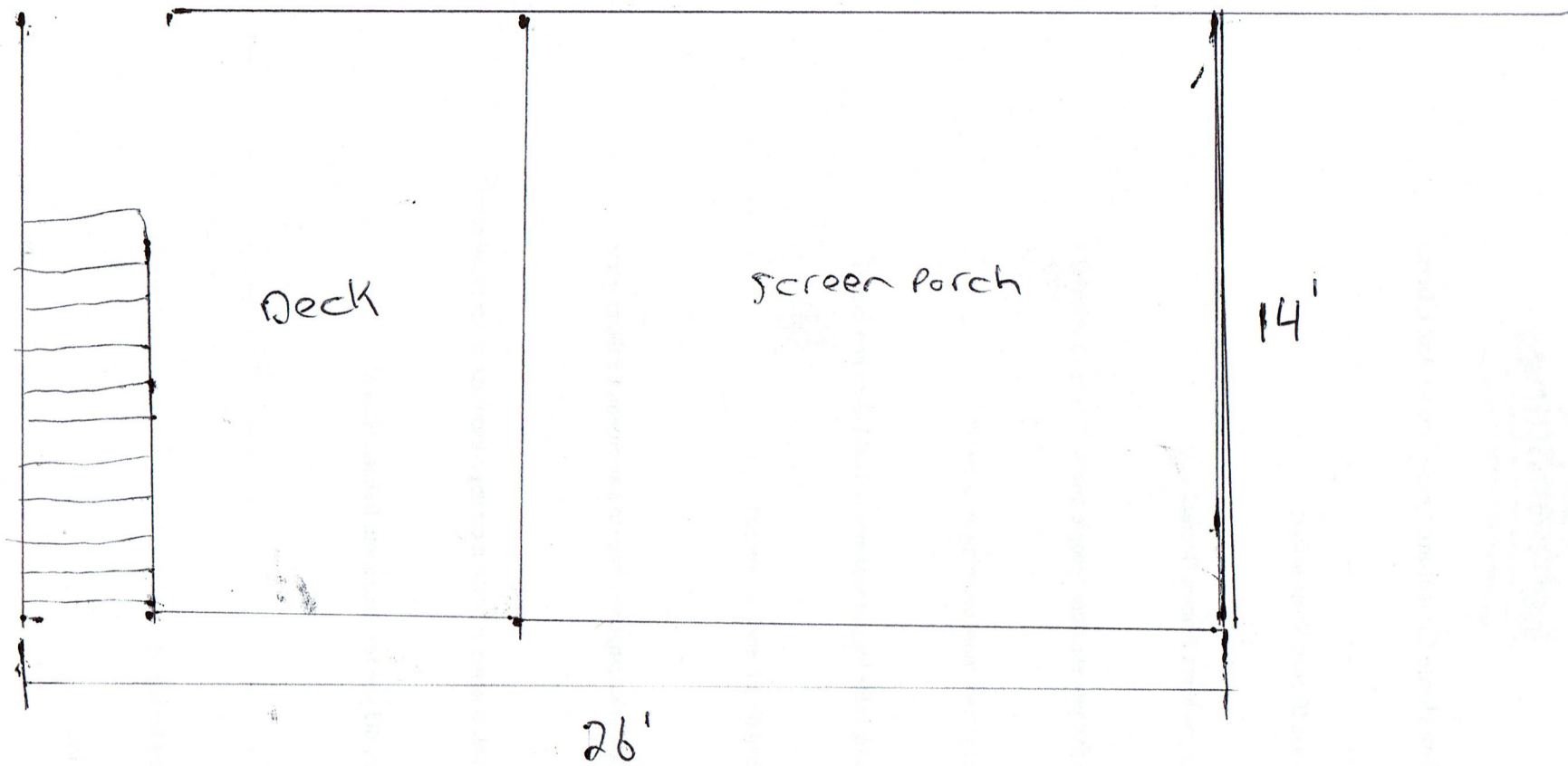
Note: The regulations and guidelines for projects within a Historic Conservation District (HCD) are, by design, less rigid than those for an ADC District or an IPP. The HCD designation is intended to preserve the character-defining elements of the neighborhoods and to assure that new construction is not inappropriate to that character, while minimally imposing on current residents who may want to upgrade their homes. Within the existing HCDs are buildings and/or areas that might easily qualify for an ADC District or as an IPP; however, in evaluating proposals within HCDs, the BAR may apply only the HCD requirements and guidelines.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for New Construction and Additions in Conservation Districts, I move to find that the proposed new porch addition satisfies the BAR's criteria and is compatible with this property and other properties in the Martha Jefferson Neighborhood Historic Conservation District, and that the BAR approves the application as submitted (or with the following modifications...).







Photographs of House/Location of Screened Porch

Rear of House



Location of deck/porch



Side walkway location



View with adjacent house



Adjacent rear porch

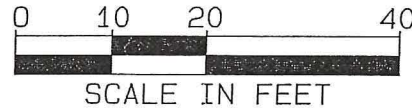


Neighborhood screened porches of similar design





Record Meridian
D.B.233 Pg.258



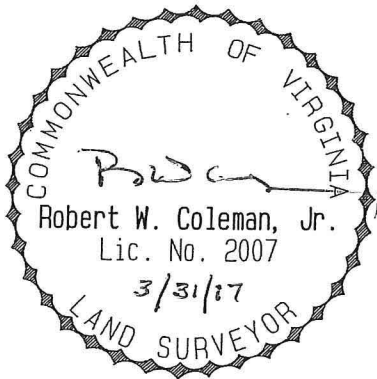
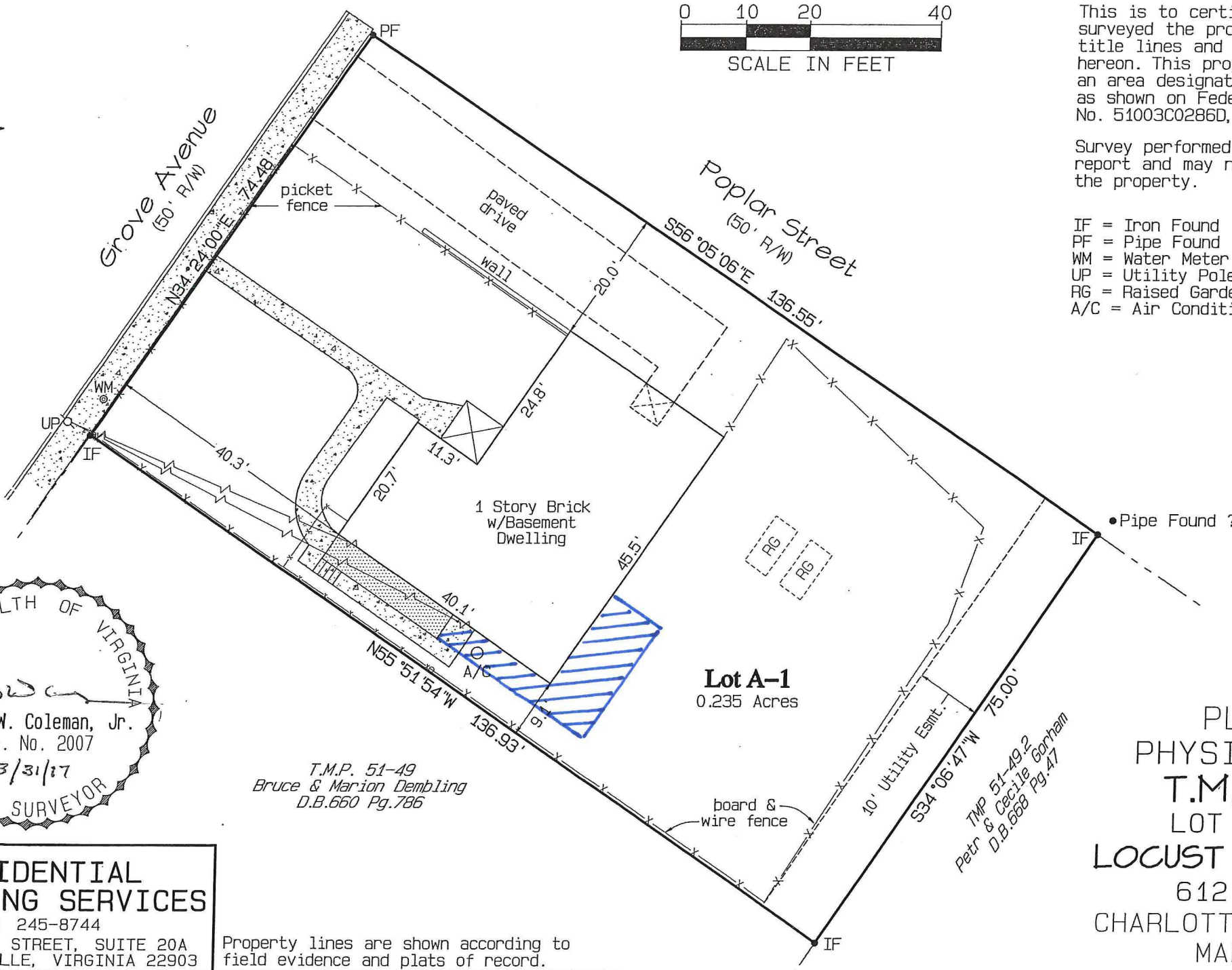
This is to certify that on March 21, 2017, I surveyed the property shown on this plat and the title lines and walls of the building are shown hereon. This property lies in Zone X and not in an area designated as a 100 Year Flood Hazard as shown on Federal Flood Rate Insurance Maps, No. 51003C0286D, effective date: Feb. 4, 2005.

Survey performed without the benefit of a title report and may not indicate all encumbrances on the property.

IF = Iron Found
PF = Pipe Found
WM = Water Meter
UP = Utility Pole
RG = Raised Garden
A/C = Air Conditioner

Owner:
Heather Lynn Carlton

Legal References:
Inst.# 2014:2603



T.M.P. 51-49
Bruce & Marion Dembling
D.B.660 Pg.786

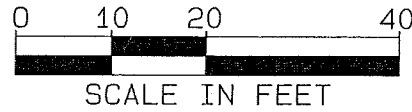
T.M.P. 51-49.2
Petr & Cecile Gorham
D.B.688 Pg.47

RESIDENTIAL SURVEYING SERVICES

(434) 245-8744
1710 ALLIED STREET, SUITE 20A
CHARLOTTESVILLE, VIRGINIA 22903

Property lines are shown according to field evidence and plats of record.

PLAT SHOWING
PHYSICAL SURVEY OF
T.M.P. 51 - 49.1
LOT A-1 BLOCK 12
LOCUST GROVE ADDITION
612 GROVE AVENUE
CHARLOTTESVILLE, VIRGINIA
MARCH 31, 2017 1"= 20'



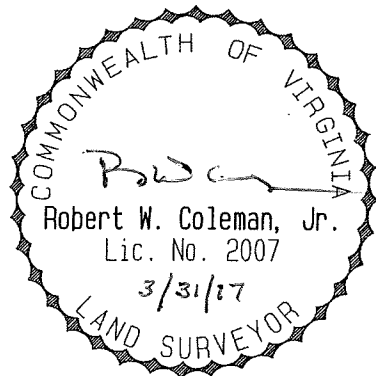
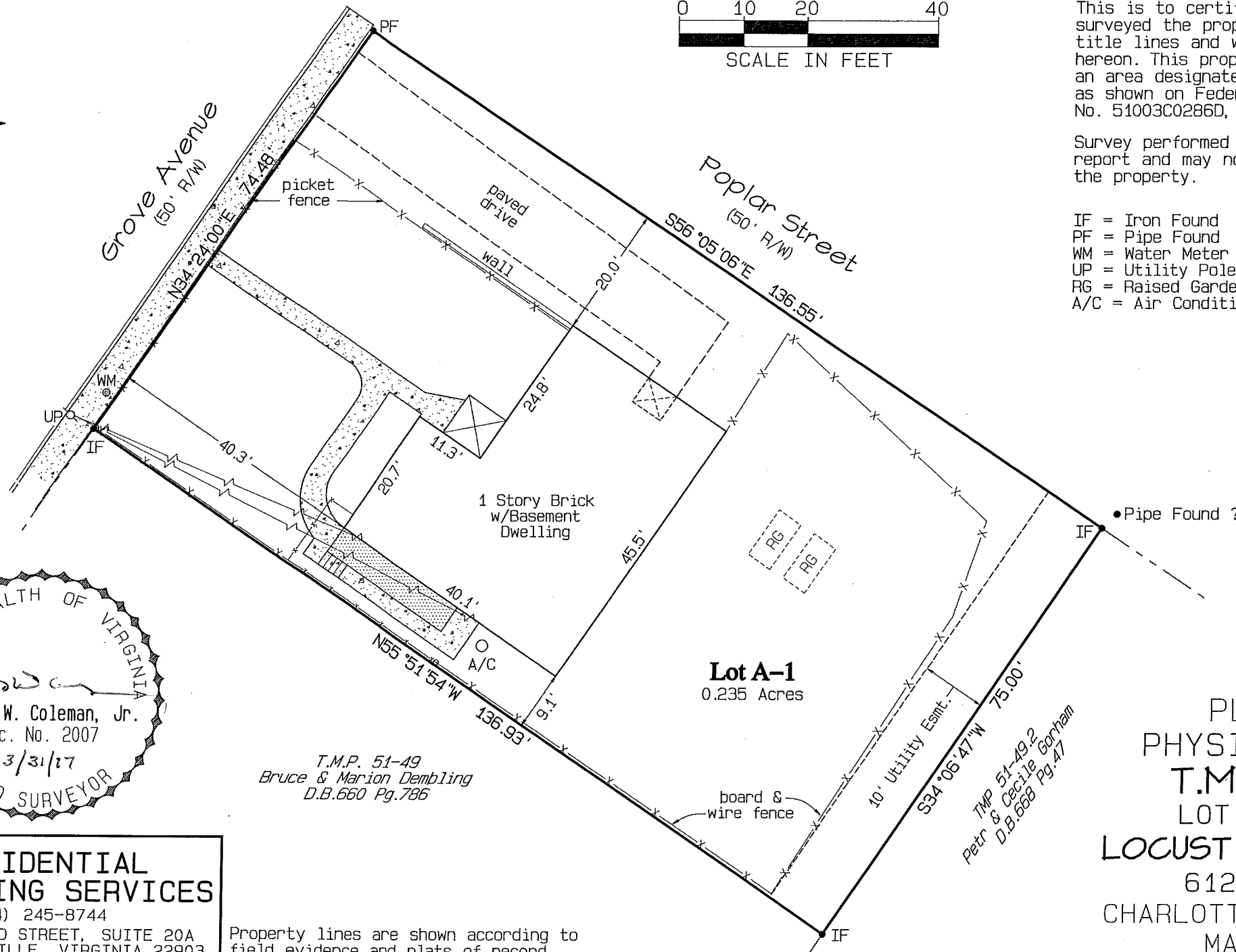
This is to certify that on March 21, 2017, I surveyed the property shown on this plat and the title lines and walls of the building are shown hereon. This property lies in Zone X and not in an area designated as a 100 Year Flood Hazard as shown on Federal Flood Rate Insurance Maps, No. 51003C0286D, effective date: Feb. 4, 2005.

Survey performed without the benefit of a title report and may not indicate all encumbrances on the property.

IF = Iron Found
PF = Pipe Found
WM = Water Meter
UP = Utility Pole
RG = Raised Garden
A/C = Air Conditioner

Owner:
Heather Lynn Carlton

Legal References:
Inst.# 2014:2603



T.M.P. 51-49
Bruce & Marion Dembling
D.B.660 Pg.766

T.M.P. 51-49.2
Petr & Cecile Gorham
D.B.668 Pg.47

RESIDENTIAL SURVEYING SERVICES

(434) 245-8744
1710 ALLIED STREET, SUITE 20A
CHARLOTTESVILLE, VIRGINIA 22903

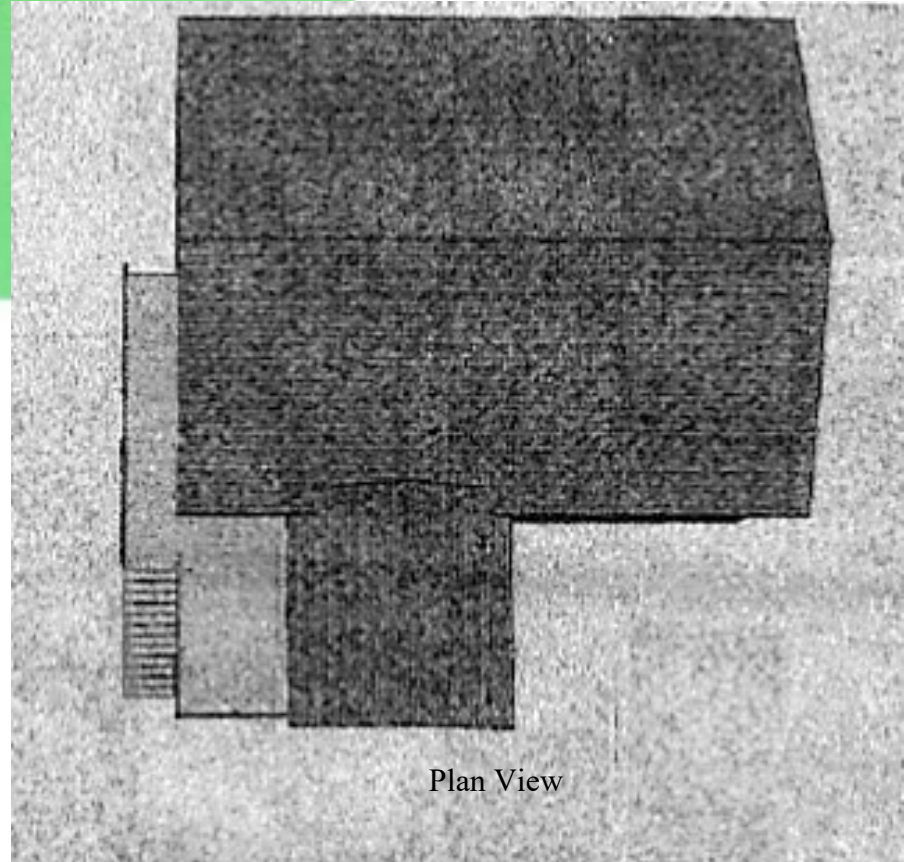
Property lines are shown according to field evidence and plats of record.

PLAT SHOWING
PHYSICAL SURVEY OF
T.M.P. 51 - 49.1
LOT A-1 BLOCK 12
LOCUST GROVE ADDITION
612 GROVE AVENUE
CHARLOTTESVILLE, VIRGINIA
MARCH 31, 2017 1"= 20'



Proposed Deck and Screened Porch

612 Grove Street



Plan View

Ridgeline connects with existing roof, valleys on either side.
Roof shingle (color): Match existing

Single ridge pole over header..
(Per Sketch up rendering)

Privacy screen: 1 x 6 plank fencing, PTP, 6-foot height.

Horizontal 2x4s with pickets. PTP

Stair: PTP treads on stringers, 1 x 6 riser per code.

Proposed Deck and Screened Porch
612 Grove Street

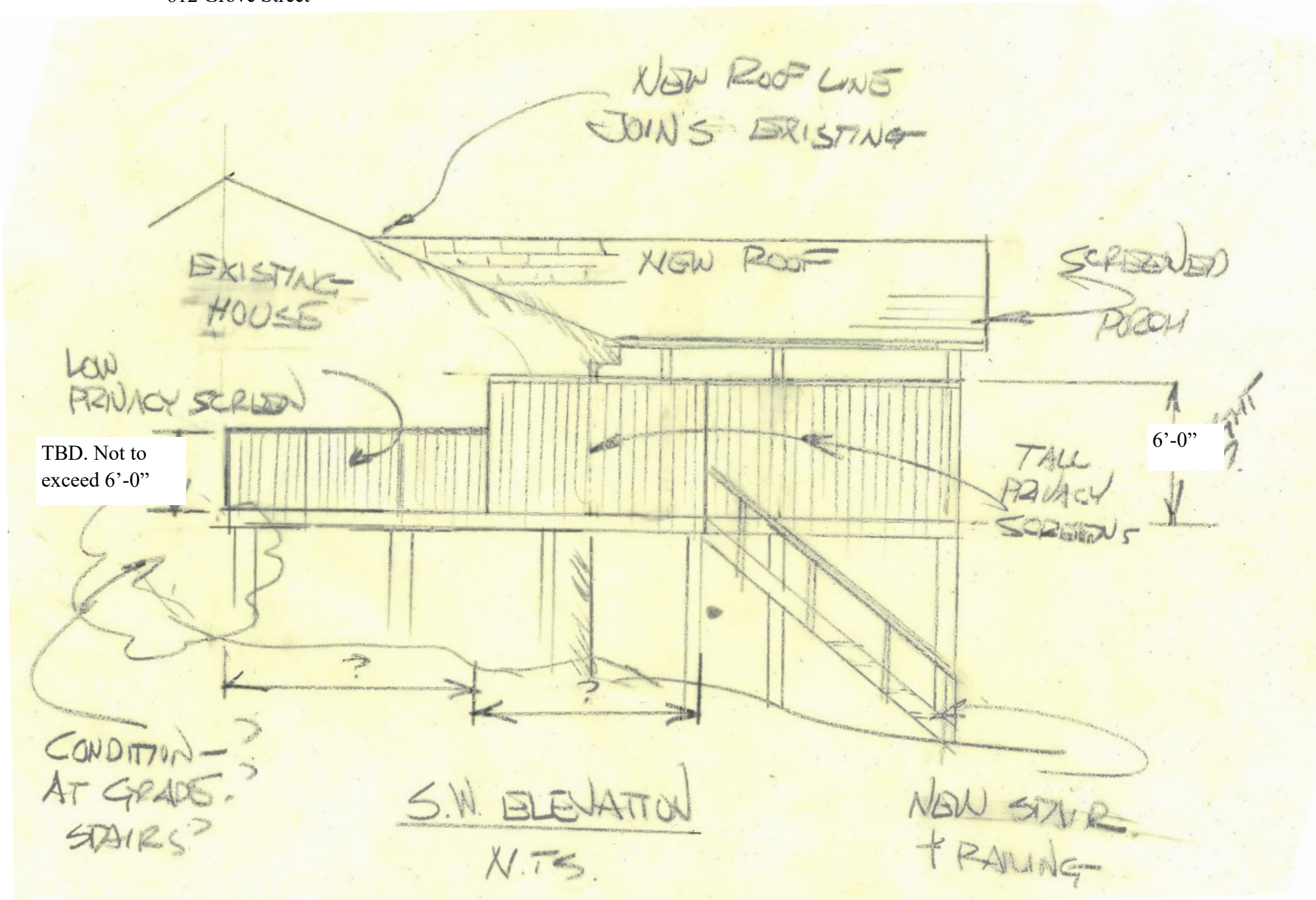


Not to Scale: from applicant's Sketch-up rendering.

Per contractor July 13, 2018

Proposed Deck and Screened Porch

612 Grove Street



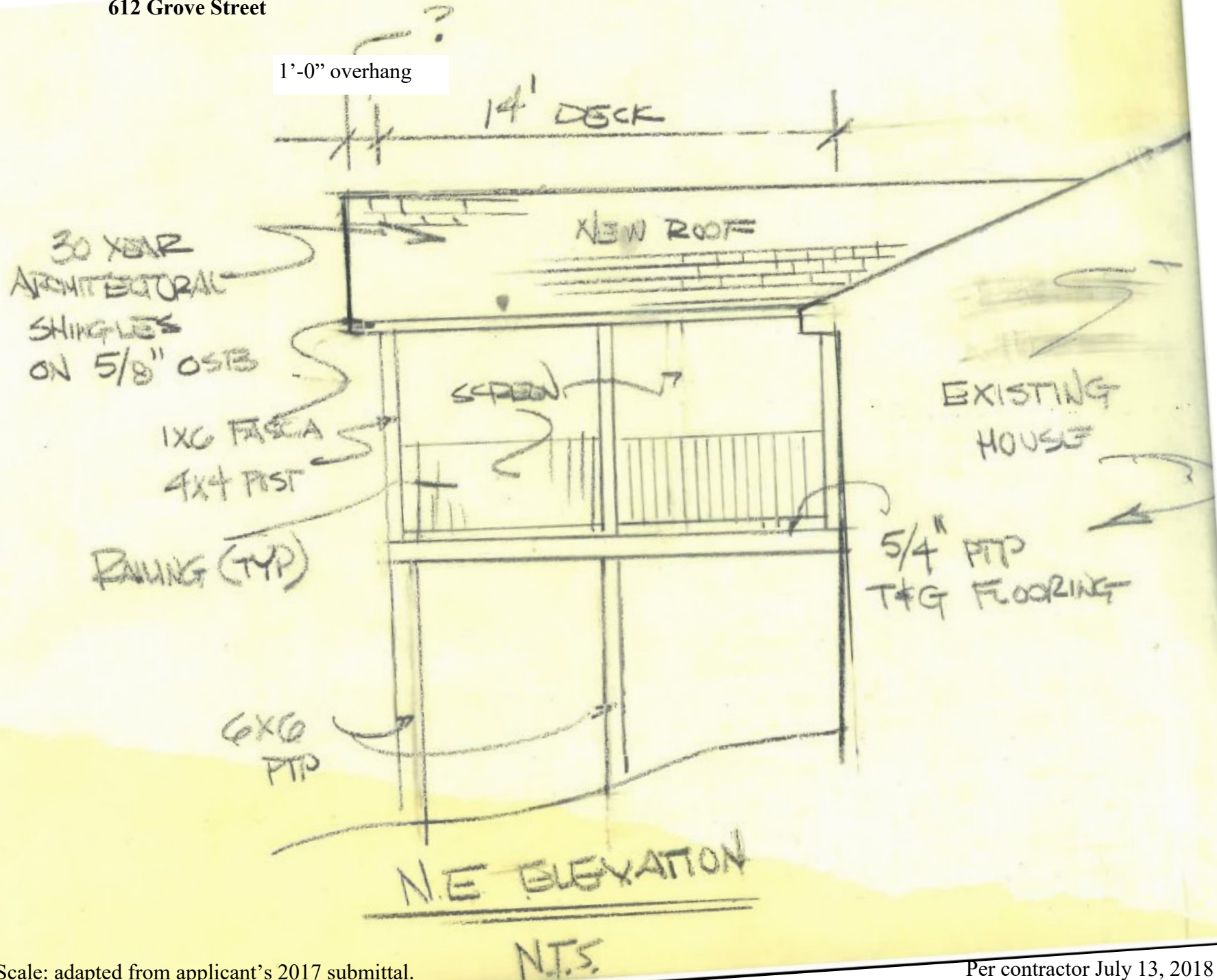
TBD. Not to exceed 6'-0"

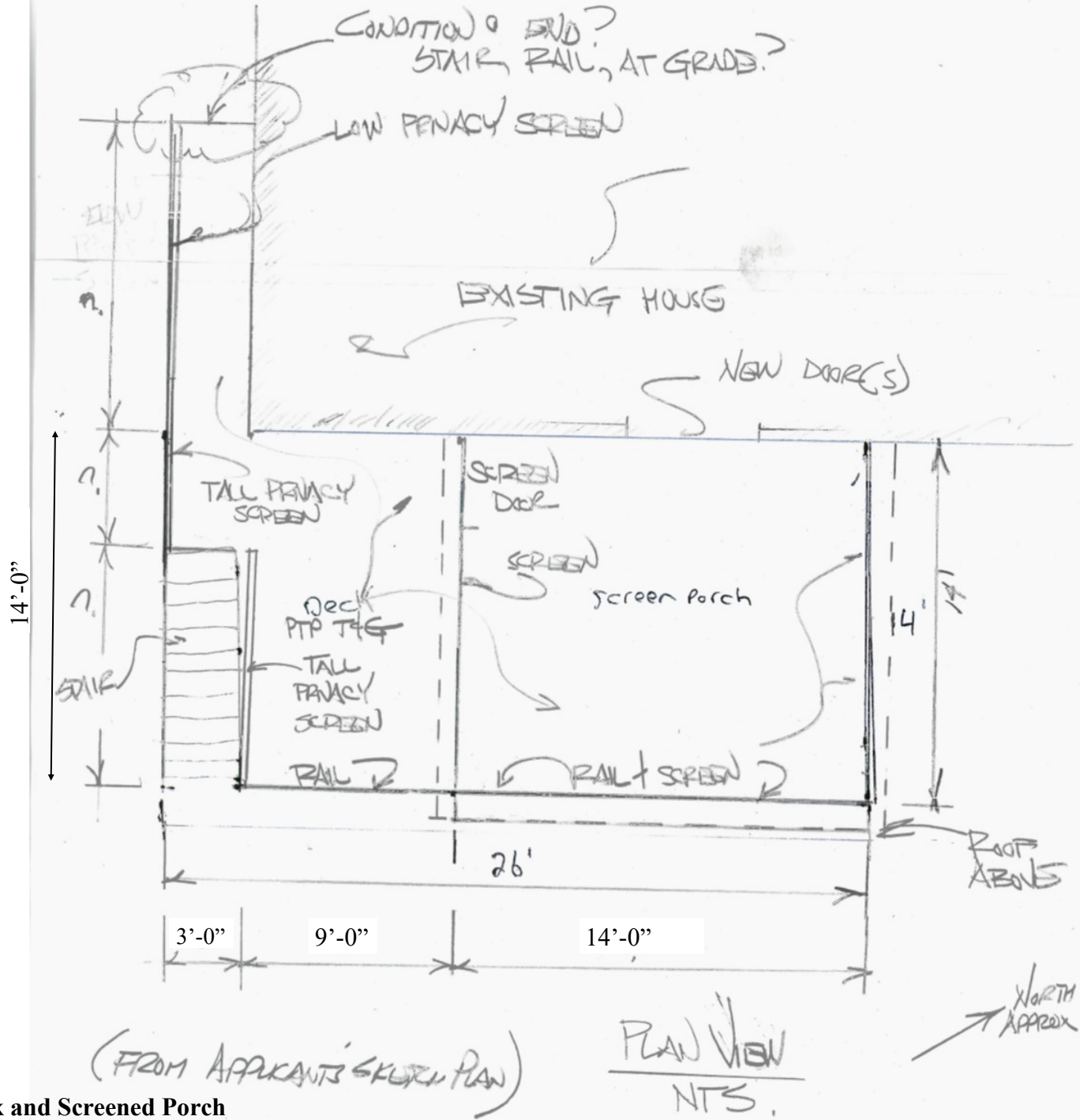
Not to Scale: adapted from applicant's 2017 submittal.

Proposed Deck and Screened Porch

612 Grove Street

1'-0" overhang





Proposed Deck and Screened Porch

612 Grove Street

Not to Scale: adapted from applicant's 2017 submittal.