

**From:** Scala, Mary Joy  
**Sent:** Wednesday, October 25, 2017 4:47 PM  
**To:** Ray McGrath (raymc52@gmail.com)  
**Subject:** BAR Action - 132 Franklin Street- October 17, 2017

October 25, 2017

Morningstar Development  
3101 Sugar hill Lane  
Crozet, VA 22932  
ATTN: Ray McGrath

**RE: Certificate of Appropriateness Application**  
BAR 17-10-01  
132 Franklin Street  
Tax Parcel 560114500  
Morningstar Development, Owner/ Ray McGrath, Applicant  
New Construction: two-story house with basement

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on October 17, 2017. The following action was taken:

**Sarafin moved: Having considered the standards set forth within the City Code, including Historic Conservation District Guidelines for New Construction and Additions, I move to find that the proposed new construction satisfies the BAR's criteria and is compatible with this property and other properties in the Woolen Mills Village Historic Conservation District, and that the BAR approves the application as submitted. Balut seconded. Approved (7-0).**

This certificate of appropriateness shall expire in 18 months (April 17, 2019), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. You may request an extension of the certificate of appropriateness before this approval expires for one additional year for reasonable cause.

If you have any questions, please contact me at 434-970-3130 or [scala@charlottesville.org](mailto:scala@charlottesville.org).

Sincerely yours,

Mary Joy Scala, AICP  
Preservation and Design Planner

**Mary Joy Scala, AICP**  
Preservation and Design Planner  
City of Charlottesville  
Department of Neighborhood Development Services  
City Hall – 610 East Market Street  
P.O. Box 911  
Charlottesville, VA 22902  
Ph 434.970.3130 FAX 434.970.3359  
[scala@charlottesville.org](mailto:scala@charlottesville.org)

**CITY OF CHARLOTTESVILLE  
BOARD OF ARCHITECTURAL REVIEW  
STAFF REPORT  
October 17, 2017**



**Certificate of Appropriateness Application (Historic Conservation District)**

BAR 17-10-01

132 Franklin Street

Tax Parcel 560114500

Morningstar Development, Owner/ Ray McGrath, Applicant

New Construction: two-story house with basement

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**Background**

These vacant parcels are not contributing to the newly designated Woolen Mills Village Historic Conservation District. An attached photo shows the parcel's current state.

**Application**

The applicant is requesting to build a new single family detached home, approximately 28' x 46'. It is a two story house with a basement. The structure will have Hardiplank smooth lap siding in 6" exposure, primed and painted (color to be selected by the contractor), with new Timberline architectural shingles in slate color; the eaves and trim will be primed and painted white. The porch will have a metal standing seam roof (the color to be selected by the contractor.)

**Criteria, Standards and Guidelines**

**Review Criteria Generally (Historic Conservation District)**

Sec. 34-341 of the City Code states that

(a) In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the conservation district design guidelines; and
- (2) The proposal is incompatible with the historic, cultural or architectural character of the conservation district in which the property is located.

**Pertinent Standards for Review of New Construction and Additions (Historic Conservation District) include:**

- (1) Whether the form, height, scale, mass and placement of the proposed construction are visually and architecturally compatible with the site and the applicable conservation district;
- (2) The harmony of the proposed changes in terms of overall proportion and the size and placement of entrances and windows;
- (3) The impact of the proposed change on the essential architectural form and integrity of the existing building;
- (4) The effect, with respect to architectural considerations, of the proposed change on the conservation district neighborhood;
- (5) Any applicable provisions of the city's conservation district design guidelines.

**Pertinent Design Review Guidelines for New Construction and Additions (Historic Conservation District)**

### Building Location – setback and spacing

1. Align a new building close to the average building setback line on the same street, if established, or consistent with the surrounding area.
2. Maintain average spacing between buildings on the same street.

### Building Scale – height and massing

1. Keep the footprint, and massing of new buildings consistent with the neighborhood characteristics and compatible with the character of buildings on the same street.
2. Keep the height and width of new buildings within the prevailing average height and width. Exceptions up to 200% of the prevailing height and width may be approved by the BAR when contextually appropriate.
3. An addition needs to be perceived as an addition and therefore should not visually overpower the existing building in scale and design.
4. An accessory building should appear secondary to the main building in scale and design.
5. Larger buildings (commercial or multi-family) otherwise permitted by zoning should be designed and articulated to be compatible with the scale of the majority of adjacent buildings on the same street or block.

### Building Form – roofs and porches

1. Roof forms should reference contributing buildings on the same street or surrounding area. Other roof forms may be approved by the BAR when contextually appropriate.
2. If many of the contributing buildings on the same street have porches, then it is strongly recommended that the design of a new residence includes a porch or similar form of similar width and depth.

### Building Openings – orientation, doors and windows

1. A single entrance door (or main entrance of a multifamily dwelling) facing the street is recommended.
2. Window and door patterns and the ratio of solids (wall area) to voids (window and door area) of new buildings should be compatible with contributing buildings in the surrounding area.
3. Windows should be simple shapes compatible with those on contributing buildings, which are generally vertically oriented in residential areas.

### Building Materials and Textures

1. The selection of materials and textures for a new building should relate architecturally to the district, and should be compatible with and complementary to neighboring buildings.
2. Long-lasting, durable and natural materials are preferred, including brick, wood, stucco, and cementitious siding and standing seam metal roofs. Clear glass windows (VLT of 70% or more) are preferred.

### Building Paint

1. Painting unpainted brick or other masonry is discouraged because it is irreversible and may cause moisture problems.

### Site

1. Fences or walls that abut a City street (or fences located in a side yard between a street and the front of the principal structure on a lot) should not exceed three and one-half feet in height.

### **Discussion and Recommendations**

Staff suggests that, along with looking at the Standards and Guidelines for Review of New Construction and Alterations in a Conservation District, the BAR look at the architectural character-

defining features that the neighborhood recommended for the Woolen Mills Village Historic Conservation District. The features that are pertinent are bolded in the list below.

- 1. Encourage one-story front porches;**
2. Encourage garages to be located in the rear yards;
- 3. The levels of a building's stories should be consistent with those on surrounding structures with respect to the natural grade [for example, a first floor should not be raised so that it is higher than most surrounding first floors];**
- 4. Do not exclude well-designed, new contemporary architecture [there may be misconception that only historic-looking new buildings are permitted];**
- 5. Encourage standing seam metal roofs;**
- 6. Maintain and encourage tree canopy [Maintain the existing tree canopy and encourage new large shade trees];**
7. Maintain neighborhood massing and form; encourage the use of sustainable materials
8. Encourage existing site features (wrought iron fencing, stone walls, shared streets)
9. Encourage good stewardship of Riverview Cemetery.

It should also be noted that only two structures can be seen from the empty parcels, the Woolen Mills Storage Facility (which is a single story), and 123 Franklin street (which is a two story, gable roof duplex structure.)

### **Suggested Motion**

Having considered the standards set forth within the City Code, including Historic Conservation District Guidelines for New Construction and Additions, I move to find that the proposed new construction satisfies the BAR's criteria and is compatible with this property and other properties in the Woolen Mills Village Historic Conservation District, and that the BAR approves the application as submitted.





1 FRONT PERSPECTIVE  
CS.1



2 INTERIOR PERSPECTIVE  
CS.1

# FRANKLIN STREET RESIDENCE

## CHARLOTTESVILLE, VA

PROJECT TEAM	
OWNER	MORNINGSTAR DEVELOPMENT LLC CONTACT: RAY McGRATH PHONE: (434)960-0935 EMAIL: RAYMC52@GMAIL.COM
ARCHITECT	DESIGN DEVELOP LLC CONTACT: ROBERT (BOB ) PINEO, R.A. PHONE: 434.806.8365 EMAIL: BOB@DESIGNDEVELOPLLC.COM
GENERAL CONTRACTOR	McGRATH CONSTRUCTION LLC CONTACT: RAY McGRATH PHONE: (434)960-0935

DRAWING LIST		REVISION DATE:									
CS.1	COVER SHEET										
CS.2	NOTES										
SP1	SITE PLAN										
A1.1	FOUNDATION PLAN - OPTION A										
A1.2	FOUNDATION PLAN - OPTION B										
A1.3	MAIN LEVEL PLAN										
A1.4	SECOND FLOOR PLAN - OPTION A										
A1.5	SECOND FLOOR PLAN - OPTION B										
A2.1	EXTERIOR ELEVATIONS										
A3.1	BUILDING SECTIONS										
A4.1	INTERIOR DETAILS										
A5.1	SCHEDULES										
A6.1	ROOM FINISH SCHEDULE										
E1.1	ELECTRICAL PLANS										



## DESIGN DATA:

### 1. DESIGN CODES:

2012 INTERNATIONAL RESIDENTIAL CODE WITH VIRGINIA STATE AMENDMENTS  
ACI 318 MANUAL FOR CONCRETE CONSTRUCTION  
AISC MANUAL FOR STEEL CONSTRUCTION  
NDS MANUAL FOR WOOD CONSTRUCTION

### 2. VENTILATION:

PROVIDE ATTIC AND CRAWLSPACE VENTILATION OR INSULATED CRAWL AND ROOF DECK AS REQUIRED BY LOCAL CONDITIONS AND BUILDING CODES.

### 3. INSULATION:

CEILING/ROOF: R-38  
WALL (2X6): R-19

## GROSS SQUARE FOOTAGE:

CONDITIONED SPACE:	SECOND LEVEL:	1188 SF
	MAIN LEVEL:	1133 SF
	GRAND TOTAL:	2321 SF

UNCONDITIONED SPACE:	FRONT PORCH:	55 SF
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## GENERAL NOTES:

THESE PLANS ARE PROVIDED FOR GENERAL DESIGN AND CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, DESIGN DETAILS, COSTS, CONSTRUCTION METHODS, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY NOTED ON THE DRAWINGS.

THE INFORMATION CONTAINED IN THIS PLAN IS INTENDED TO SHOW DESIGN INTENT ONLY, AND BASIC FRAMING. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO USE STANDARD INDUSTRY APPROVED CONSTRUCTION PRACTICES THAT WILL INSURE A SAFE, STRUCTURALLY SOUND AND WATERPROOF HOME.

THIS HOME WILL BE BUILT TO COMPLY WITH OR EXCEED THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND/OR THE LOCALLY APPROVED BUILDING CODE. ALL CODES SHALL HAVE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED ON THIS PLAN WHERE SAME ARE AT VARIANCE.

### 1. OWNER'S RESPONSIBILITY

PRIOR TO CONSTRUCTION THE OWNER WILL DETERMINE THAT THIS PLAN MEETS THE OWNERS NEEDS AND DESIGN EXPECTATIONS - ANY DESIGN QUESTIONS SHOULD BE DIRECTED TO THE ARCHITECT/DESIGNER FOR CLARIFICATION OR CORRECTION.

### 2. DIMENSIONS & ERRORS:

THE GENERAL CONTRACTOR AND OWNER WILL BECOME FAMILIAR WITH ALL DESIGN ASPECTS OF THESE PLANS. ANY QUESTIONS WILL BE CLARIFIED BY THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ERRORS NOT REPORTED TO THE ARCHITECT/DESIGNER FOR ADJUSTMENT. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO THE ROUGH UNLESS NOTED OTHERWISE.

### 3. MODIFICATIONS:

ANY CHANGES TO THE PLAN ARE TO BE MADE BY A QUALIFIED PROFESSIONAL ARCHITECT, ENGINEER, OR RESIDENTIAL DESIGNER. THE ORIGINAL DESIGNER WILL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THIS PLAN.

### 4. CHANGE ORDERS:

ALL CHANGES TO THE CONSTRUCTION AND DESIGN OF THIS PLAN WILL BE DONE WITH WRITTEN CHANGE ORDERS SIGNED BY THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COSTS TO ADJUST CHANGES MADE TO THE CONSTRUCTION THAT ARE NOT APPROVED BY A WRITTEN CHANGE ORDER.

### 5. DETAILS:

ALL IMPORTANT DESIGN DETAILS SUCH AS CORNICE, DORMERS AND PORCHES, ETC. SHALL BE FOLLOWED AS ON THE PLANS. ANY DESIGN CHANGES WILL BE ACCOMPANIED WITH SUBSTITUTE DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNERS APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL EXPENSES TO ADJUST UNAUTHORIZED CHANGES TO THE ORIGINAL DESIGN DETAILS. THE GENERAL NOTES AND TYPICAL DETAILS APPLY THOROUGHOUT THE PROJECT UNLESS OTHERWISE NOTED OR SHOWN.

### 6. FLOOR ELEVATIONS:

PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR WILL STAKE OUT ON THE LOT - THE HOUSE, DRIVEWAY, AND FIRST FLOOR ELEVATION FOR THE OWNERS APPROVAL. THIS WILL BE ACCOMPANIED WITH SITE PLAN APPROVED IN WRITING BY THE OWNER.

### 7. OWNERS APPROVAL:

ALL MATERIAL FINISH AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. ROOFING, EXTERIOR FINISHES (BRICK, SIDING, STUCCO, STONE, ETC.) AND WINDOW SAMPLES WILL BE PROVIDED TO THE OWNER FOR APPROVAL BEFORE ORDERING. VERIFY FIREPLACE SIZE AND SPECIAL ITEMS SUCH AS SPA TUBS, ETC. BEFORE CONSTRUCTION.

### 8. SQUARE FOOTAGE CALCULATIONS:

THE ACTUAL SQUARE FOOTAGE IS CALCULATED AS THE HEATED, FINISHED INTERIOR SPACE. THIS DOES NOT INCLUDE PORCHES, UNFINISHED BASEMENTS, OR UNFINISHED BONUS ROOMS. VAULTED OR TWO-STORY SPACES SUCH AS GREAT ROOMS, FOYERS, AND STAIRS ARE CALCULATED ONCE - ON THE FIRST FLOOR ONLY.

### 9. OMISSIONS:

IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED ELSEWHERE ON THE DRAWINGS.

### 10. MANUFACTURED PRODUCTS:

THE CONTRACTOR SHALL BE BOUND TO PERFORM WORK IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS. ALL COMPONENTS, SYSTEMS AND ALL OTHER MANUFACTURED ARTICLES, MATERIALS, COATINGS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, STORED, HANDLED, CONDITIONED, AND MAINTAINED, ETC. PER THE MANUFACTURER'S RECOMMENDATIONS.

## FOUNDATION NOTES:

1. ALL CONSTRUCTION INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL HAVE A LOCAL LICENSED STRUCTURAL ENGINEER (P.E.) REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS FOOTINGS, REINFORCEMENT, FOUNDATION WALLS, PIERS AND SLAB.

2. GENERAL CONTRACTOR SHALL INSPECT SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING ACTUAL CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY THE OWNER OR P.E. OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.

3. GENERAL CONTRACTOR IS TO REVIEW THE PLANS, ELEVATIONS AND DETAILS FOR DESIRED ELEVATION OF FINISH FLOOR ABOVE TYPICAL GRADE. ADVISE OWNER SHOULD ANY SITE CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS (I.E., NUMBER OF STEPS FROM FINISH GRADE TO THE FIRST FLOOR).

4. INSTALL ALUMINUM SHEET METAL TERMITE SHIELDS CONTINUOUS BETWEEN ANY WOOD SURFACES THAT ARE EXPOSED TO CONCRETE SURFACES.

5. ALL CONCRETE WORK SHALL CONFORM TO ACI 318. ALL DETAILING, FABRICATION, ACCESSORIES AND PLACEMENT OF REINFORCING SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. ANCHOR BOLTS FOR SILL PLATE ATTACHMENT TO CONFORM TO ASTM A307.

6. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.

7. ALL CONSTRUCTION ON FILL SOILS SHALL BE DESIGNED BY A P.E. MINIMUM SOIL PRESSURE ALLOWED IS 2000 PSF.

8. PROVIDE 18" MINIMUM COVER OVER FOOTING. UNLESS LOCAL FROST DEPTH WARRANTS A GREATER DEPTH. FOOTINGS WILL BE BELOW THE LOCAL FROST LINE.

9. INSTALL "STEGO" 15 MIL VAPOR BARRIER BELOW ALL FLOOR SLABS.

## FRAMING NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).

2. ALL STRUCTURAL INFORMATION SHOWN ARE FOR REFERENCE PURPOSES ONLY. ALL STRUCTURAL DESIGN WILL MEET OR EXCEED THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND/OR LOCAL BUILDING CODES.

3. THE GENERAL CONTRACTOR SHALL HAVE A LOCAL PROFESSIONAL ENGINEER (P.E.) REVIEW THE STRUCTURAL DESIGN AND SITE CONDITIONS, AND DESIGN ALL FRAMING ELEMENTS SUCH AS JOISTS, BEAMS, GIRDERS, HEADERS, COLUMNS AND RAFTERS. CONSTRUCTION SHALL NOT BEGIN WITHOUT SAID REVIEW OF A P.E.

4. THE CONTRACTOR WILL REVIEW THE PLANS, ELEVATIONS AND DETAILS, AND ADVISE THE OWNER AND/OR ARCHITECT SHOULD ANY CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT SHOWN ON THE PLANS, SECTIONS OR EXTERIOR ELEVATIONS.

5. IF "ENGINEERED LUMBER" OR TRUSSES WILL BE USED, THEY WILL BE DESIGNED AND APPROVED BY A P.E. AND MANUFACTURED BY A TPI MEMBER.

6. INSTALL SOLID BRACING, OR EQUAL, AT ALL OUTSIDE CORNERS.

7. PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.

8. SHEATH ALL EXTERIOR WALLS WITH A NOMINAL 1/2" STRUCTURAL GRADE #2 PLYWOOD OR NOMINAL 1/2" OSB.

9. PROVIDE DIAGONAL OR SOLID BLOCKING AT 8' O.C. MAXIMUM IN ALL FLOOR JOISTS, AND SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.

10. STRUCTURAL LUMBER SHALL BE SOUTHERN PINE #2 OR EQUAL, UNLESS OTHERWISE NOTED.

11. INSTALL A CONTINUOUS ALUMINUM TERMITE SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.

12. ALL STRUCTURAL WOOD USED IN THE CONSTRUCTION OF STEPS, PORCHES AND DECKS SHALL BE PRESSURE TREATED OR EQUAL.

13. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

14. INSTALL HURRICANE CONNECTIONS AS REQUIRED BY LOCAL CONDITIONS AND BUILDING CODES.

15. ALL KNEE WALL CONSTRUCTION TO BE DIAGONALLY BRACED AT 4' O.C. MAXIMUM.

16. STUD WALLS SUPPORTING TWO FLOORS, CEILING AND ROOF LOADS SHALL BE 2X6 AT 16" O.C.; ALL OTHER WALLS TO BE 2X4 AT 16" O.C. UNLESS OTHERWISE NOTED. STUD WALLS UP TO 9' TALL TO BE BLOCKED SOLID AT MID-HEIGHT. TALLER WALLS TO BE BLOCKED SOLID AT THIRD POINTS.

17. BALLOON FRAME ALL TWO-STORY WALLS WHERE LATERAL FRAMING DOES NOT PROVIDE MID-HEIGHT BRACING. IF TWO-STORY WALLS HAVE EXCESSIVE OPENINGS, USE VERTICAL STEEL FLITCH-PLATES AND/OR 2X6 FRAMING.

18. ALL HEADERS AND BEAMS TO BE SUPPORTED BY 2X'S EQUAL TO THE WIDTH OF THE BEAM OR SOLID COLUMNS AS SHOWN ON THE PLANS. SUPPORT IS TO BE CONTINUOUS TO THE FOUNDATION OR OTHER SUPPORT BELOW.

19. POCKET DOORS SHALL BE FULL SIZE SOLIDCORE DOORS HUNG ON HEAVY TRACK CENTERED IN A 2X6 WALL FRAMED WITH TIMBERSTRAND LUMBER.

20. UNLESS NOTED OTHERWISE ON PLANS, PROVIDE HEADERS PER THE FOLLOWING:

ROUGH OPENING WIDTH	2X4 WALL	2X6 WALL	JACK STUDS @ EACH JAMB
LESS THAN 3'-0"	(2)2X6	(3)2X8	1
3'-1" TO 4'-0"	(2)2X8	(3)2X8	1
4'-1" TO 6'-0"	(2)2X10	(3)2X10	2
6'-1" TO 8'-0"	(2)2X12	(3)2X12	2
OVER 8'-0"	SEE PLANS	SEE PLANS	3

## MEP, FIRE SUPPRESSION, TELECOMM./CATV/SECURITY NOTES:

MECHANICAL, ELECTRICAL, PLUMBING & FIRE SUPPRESSION SYSTEMS ARE DESIGN-BUILD. DESIGN AND INSTALLATION OF SYSTEMS SHALL BE FULLY COORDINATED WITH THE ARCHITECTURAL DRAWINGS AND OTHER TRADES.

MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL FIXTURES REPRESENTED ON THE ARCHITECTURAL PLANS ARE SHOWN FOR PHYSICAL LOCATION, DESIGN INTENT, AND COORDINATION PURPOSES ONLY. REFER TO DESIGN-BUILD MPE & FP DOCUMENTS FOR COMPLETE PLANS AND SPECIFICATIONS.

DESIGN-BUILD SUBCONTRACTOR TO THOROUGHLY AND COMPREHENSIVELY REVIEW MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE SUPPRESSION LAYOUT IN RELATION TO PROPOSED ARCHITECTURAL AND EXISTING STRUCTURAL PLANS & SUBMIT PROPOSED DESIGN TO ARCHITECT FOR REVIEW PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS.

CONFIRM CEILING HEIGHTS PRIOR TO CEILING INSTALLATION. VERIFY CHANGES WITH ARCHITECT BEFORE PROCEEDING.

ALL LIGHT FIXTURES, HVAC GRILLES, SPRINKLER HEADS, SMOKE AND HEAT DETECTORS, AND OCCUPANCY SENSORS ARE TO BE CENTERED BETWEEN WALLS UNLESS NOTED OTHERWISE.

OUTLET AND SWITCH LOCATIONS ARE SHOWN FOR DESIGN INTENT ONLY. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS.

## ROOF NOTES:

1. TYPICAL ROOFING SYSTEM SHALL BE AS FOLLOWS: STANDING SEAM METAL OR ACCEPTABLE ALT., ROOFING FELT/SELF ADHERED ROOFING UNDERLAYMENT OVER ROOF SHEATHING.

2. ROOFING FELT SHALL BE UL RATED 30 LB ASPHALT SATURATED ORGANIC FELT.

3. TYPICAL SELF ADHERED ROOFING UNDERLAYMENT SHALL BE W.R. GRACE "ICE AND WATER SHIELD". INSTALL AT FOLLOWING LOCATIONS: 1) ALONG EAVES EXTENDING A MINIMUM OF 36" HORIZONTALLY UP ROOF BEYOND THE INSULATED WALL LINE. 2) 36" SHEET WIDTH ALONG GABLE (RAKE) ENDS. 3) 36" SHEET WIDTH AT VALLEYS. 4) 36" SHEET WIDTH AT ROOF/WALL INTERSECTIONS. 5) ALL AROUND CHIMNEYS, SKYLIGHTS AND OTHER ROOF PENETRATIONS. 6) COMPLETELY AT ALL ROOFS LESS THAN 4:12 PITCH. 7) 36" SHEET AT ROOF PITCH TRANSITIONS. 8) OTHER AREAS AS REQUIRED BY CODE.

4. INSTALL CONTINUOUS W.R. GRACE "ULTRA" SELF ADHERED ROOFING UNDERLAYMENT UNDER FLAT SOLDERED SEAMED COPPER WHERE METAL PANS ARE INDICATED. IF FIELD SEAMING IS PERFORMED PLACE 2 LAYERS ROOFING FELT UNDER SEAM LOCATIONS TO PROTECT UNDERLAYMENT.

5. INSTALL PREFINISHED METAL DRIP FLASHING ALONG ALL EAVES AND RAKE ENDS TO HAVE MINIMUM 6" FLANGE ONTO ROOF SURFACE.

6. INSTALL PREFINISHED METAL VALLEY FLASHING WITH 1" V-CRIMP, 12" MINIMUM UP EACH SIDE OF VALLEYS.

7. INSTALL PREFINISHED METAL FLASHING AT ROOF PITCH TRANSITIONS.

8. INSTALL PREFINISHED METAL STEP FLASHING ALONG ROOF/WALL INTERSECTIONS AND ALONG ROOF/CHIMNEY INTERSECTIONS.

9. CONFORM WITH "SMACNA" ARCHITECTURAL SHEET METAL MANUAL, 5TH ADDITION, 1993 WITH ADDENDUM NO. 1 OCTOBER 31, 1997 FOR ALL METAL ROOFING, FLASHING AND ROOF PENETRATION SYSTEMS.

10. PROVIDE OPTION FOR INSULATED ROOF DECK AS WELL AS VENTED ROOF.

11. INSULATED ROOF DECK TO BE SPRAY CLOSED-CELL FOAM INSULATION - MUST MEET MIN. R VALUE REQUIRED BY STATE AND LOCAL CODE.

12. IF VENTED, RIDGE VENTS TO BE HIGH PROFILE, PLASTIC TYPE, SHINGLE OVER VENT SYSTEM (COR-A-VENT V-600 SERIES OR EQUAL). INSTALL CONTINUOUSLY ALONG RIDGES.

13. IF VENTED, INSTALL ROOF TO WALL VENTS (COR-A-VENT ROOF-2-WALL VENT OR EQUAL) WHERE INDICATED ON DRAWINGS.

PROGRESS SET - NOT FOR CONSTRUCTION



418 EAST MAIN STREET  
CHARLOTTESVILLE, VA

CONTACT: BOB PINEO  
TEL: 434-806-8365  
E: bob@designdevelopllc.com

**CONTRACTOR  
REVIEW SET**  
September 25, 2017

**MORNINGSTAR DEVELOPMENT LLC**  
FRANKLIN STREET RESIDENCE  
CHARLOTTESVILLE, VA

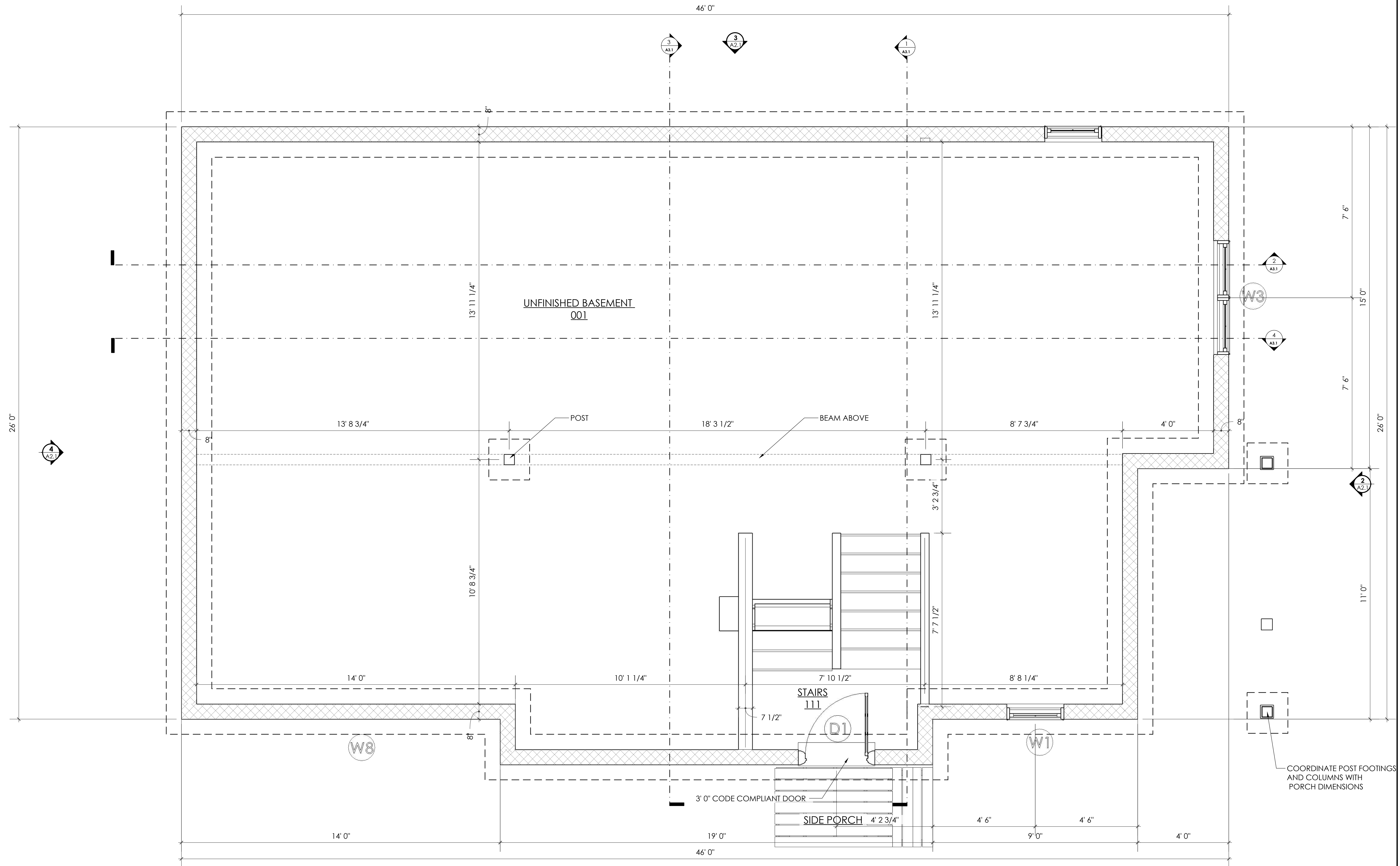
CS.2 - NOTES

ISSUE DATE:  
September 25, 2017

**CS.2**

SHEET # 3 OF 13

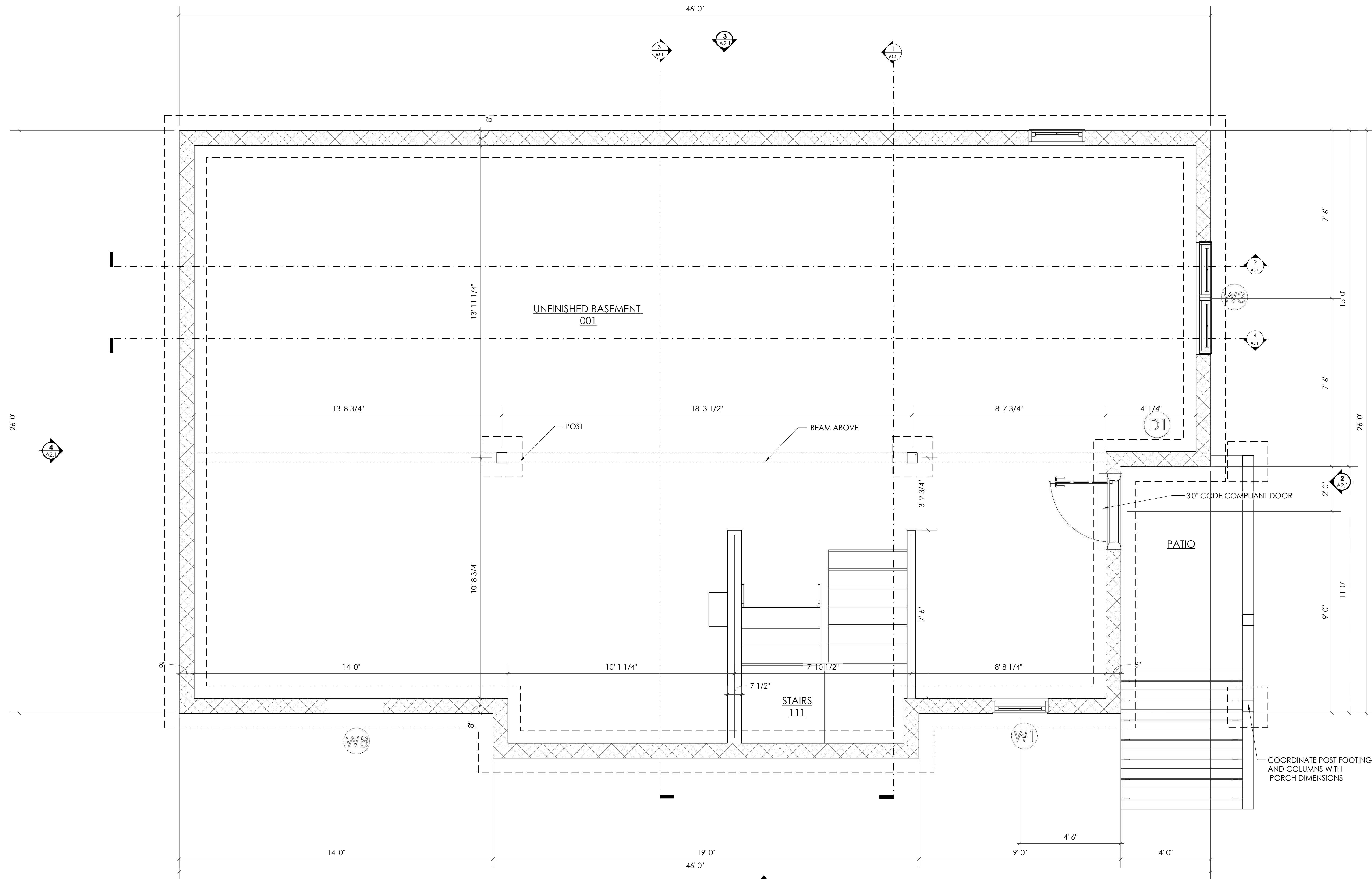




**1**  
**A1.1** FOUNDATION PLAN - OPTION A  
1/2" = 1'-0"

**NOTES:**  
1. ALL WINDOW AND DOOR DIMENSIONS TO CENTERLINE OF WINDOW OR CENTERLINE OF MULLION WHEN DOUBLE-MULLED  
2. ALL INTERIOR DIMENSIONS TO CENTERLINE OF FRAMING UNLESS OTHERWISE NOTED

**NOTES:**  
CONTRACTOR TO CHOOSE FOUNDATION PLAN. SEE PAGES A1.1 AND A1.2.



**1** FOUNDATION PLAN - OPTION B  
**A1.2** 1/2" = 1'-0"

- NOTES:**  
 1. ALL WINDOW AND DOOR DIMENSIONS TO CENTERLINE OF WINDOW OR CENTERLINE OF MULLION WHEN DOUBLE-MULLED  
 2. ALL INTERIOR DIMENSIONS TO CENTERLINE OF FRAMING UNLESS OTHERWISE NOTED

**NOTES:**  
 CONTRACTOR TO CHOOSE FOUNDATION PLAN. SEE PAGES A1.1 AND A1.2.

PROGRESS SET - NOT FOR CONSTRUCTION

CONTACT: BOB PINEO  
 TEL: 434-806-8365  
 (E) bob@designdeveloppllc.com

**CONTRACTOR REVIEW SET**  
 September 25, 2017

**MORNINGSTAR DEVELOPMENT LLC**  
 FRANKLIN STREET RESIDENCE  
 CHARLOTTEVILLE, VA

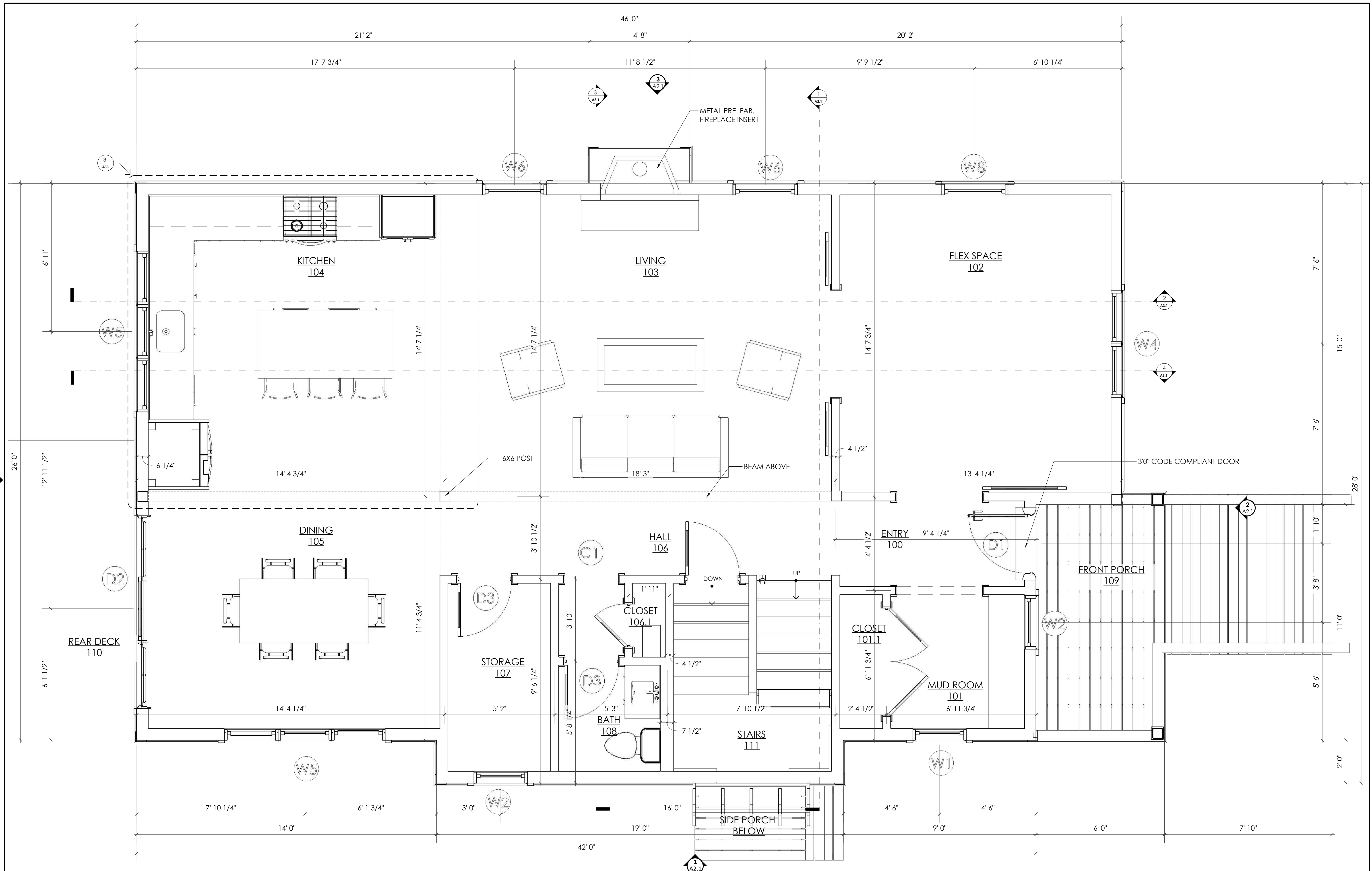
A1.2 - FOUNDATION PLAN - OPTION B

ISSUE DATE:  
 September 25, 2017

**A1.2**

SHEET # 6 OF 13

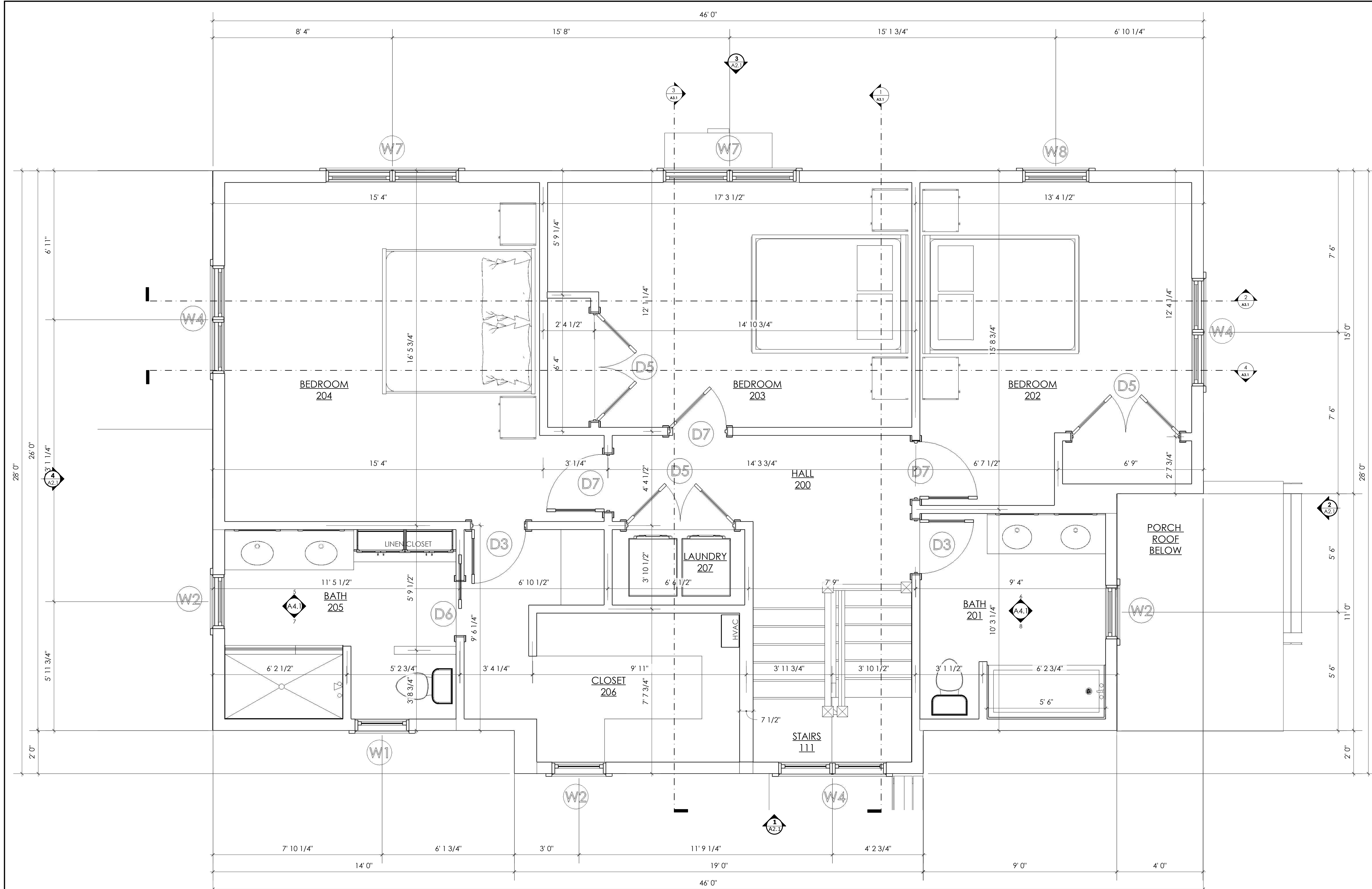




**1** MAIN LEVEL PLAN  
A1.3 1/2" = 1'-0"

- NOTES:**
1. ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING
  2. ALL WINDOW AND DOOR DIMENSIONS TO CENTERLINE OF WINDOW OR CENTERLINE OF MULLION WHEN DOUBLE-MULLED
  3. ALL INTERIOR DIMENSIONS TO CENTERLINE OF FRAMING
  4. ALL EXTERIOR WALLS 2X6
  5. ALL INTERIOR WALLS 2X4 UNLESS OTHERWISE NOTED

PROGRESS SET - NOT FOR CONSTRUCTION



**1** SECOND FLOOR PLAN - OPTION A  
**A1.4** 1/2" = 1'-0"

- NOTES:**
1. ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING
  2. ALL WINDOW AND DOOR DIMENSIONS TO CENTERLINE OF WINDOW OR CENTERLINE OF MULLION WHEN DOUBLE-MULLED
  3. ALL INTERIOR DIMENSIONS TO CENTERLINE OF FRAMING
  4. ALL EXTERIOR WALLS 2X6
  5. ALL INTERIOR WALLS 2X4 UNLESS OTHERWISE NOTED

**NOTES:**  
 CONTRACTOR TO CHOOSE SECOND FLOOR PLAN. SEE PAGES A1.4 AND A1.5.

PROGRESS SET - NOT FOR CONSTRUCTION

CONTACT: BOB PINEO  
 TEL: 434-806-8365  
 (E): bob@designdevelopllc.com

**CONTRACTOR REVIEW SET**  
 September 25, 2017

**MORNINGSTAR DEVELOPMENT LLC**  
 FRANKLIN STREET RESIDENCE  
 CHARLOTTEVILLE, VA

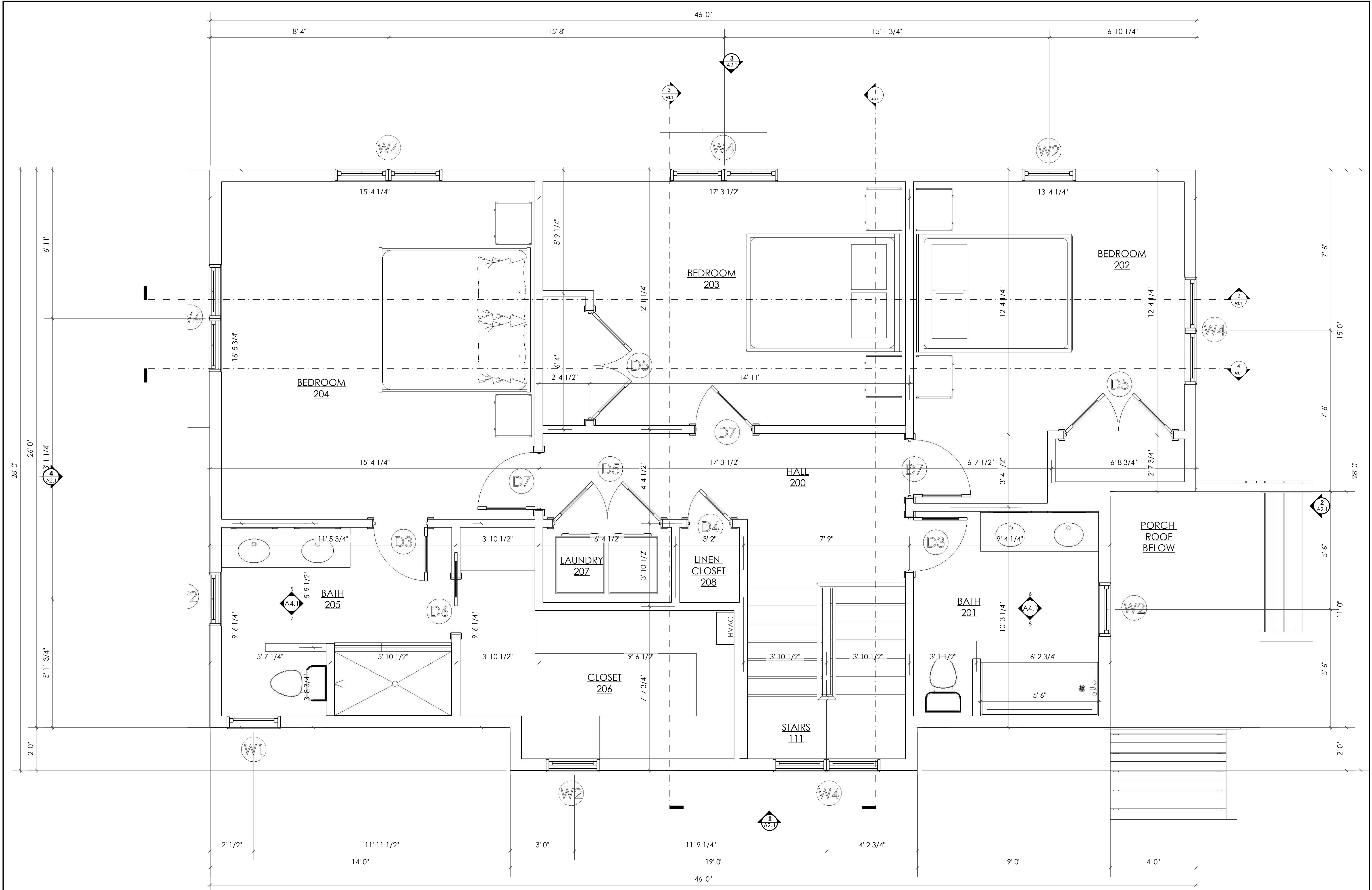
A1.4 - SECOND FLOOR PLAN - OPTION A

ISSUE DATE:  
 September 25, 2017

**A1.4**

SHEET # 8 OF 13





**1** SECOND FLOOR PLAN - OPTION B  
A1.5  
1/2" = 1'-0"  
**NOTES:**  
1. ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING  
2. ALL WINDOW AND DOOR DIMENSIONS TO CENTERLINE OF WINDOW OR CENTERLINE OF MULLION WHEN DOUBLE-MULLED  
3. ALL INTERIOR DIMENSIONS TO CENTERLINE OF FRAMING  
4. ALL EXTERIOR WALLS 2X6  
5. ALL INTERIOR WALLS 2X4 UNLESS OTHERWISE NOTED

**NOTES:**  
CONTRACTOR TO CHOOSE SECOND FLOOR PLAN. SEE PAGES A1.4 AND A1.5.

PROGRESS SET - NOT FOR CONSTRUCTION

A1.5 - SECOND FLOOR PLAN - OPTION B

ISSUE DATE:  
September 25, 2017

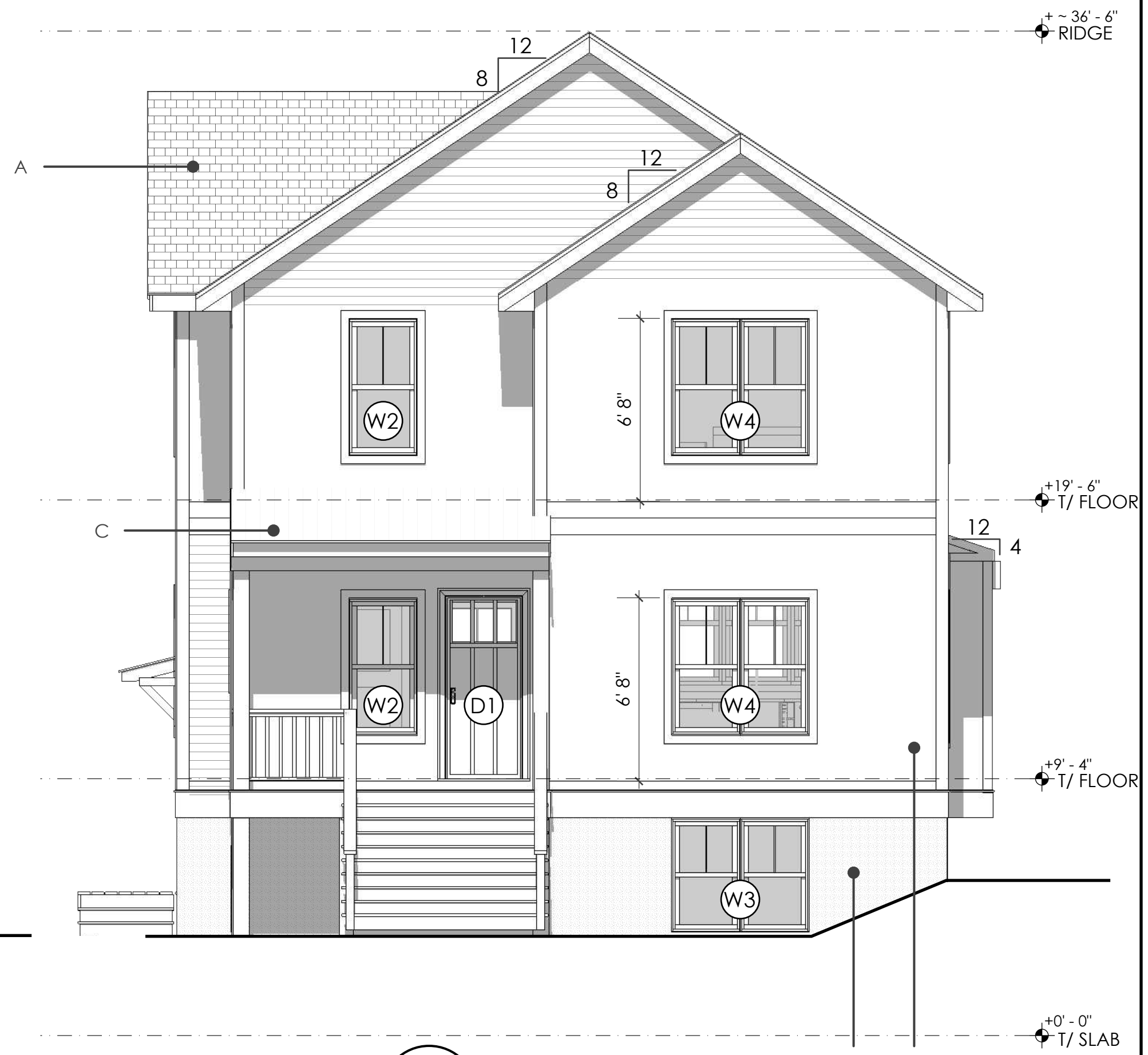
**A1.5**

SHEET # 9 OF 13



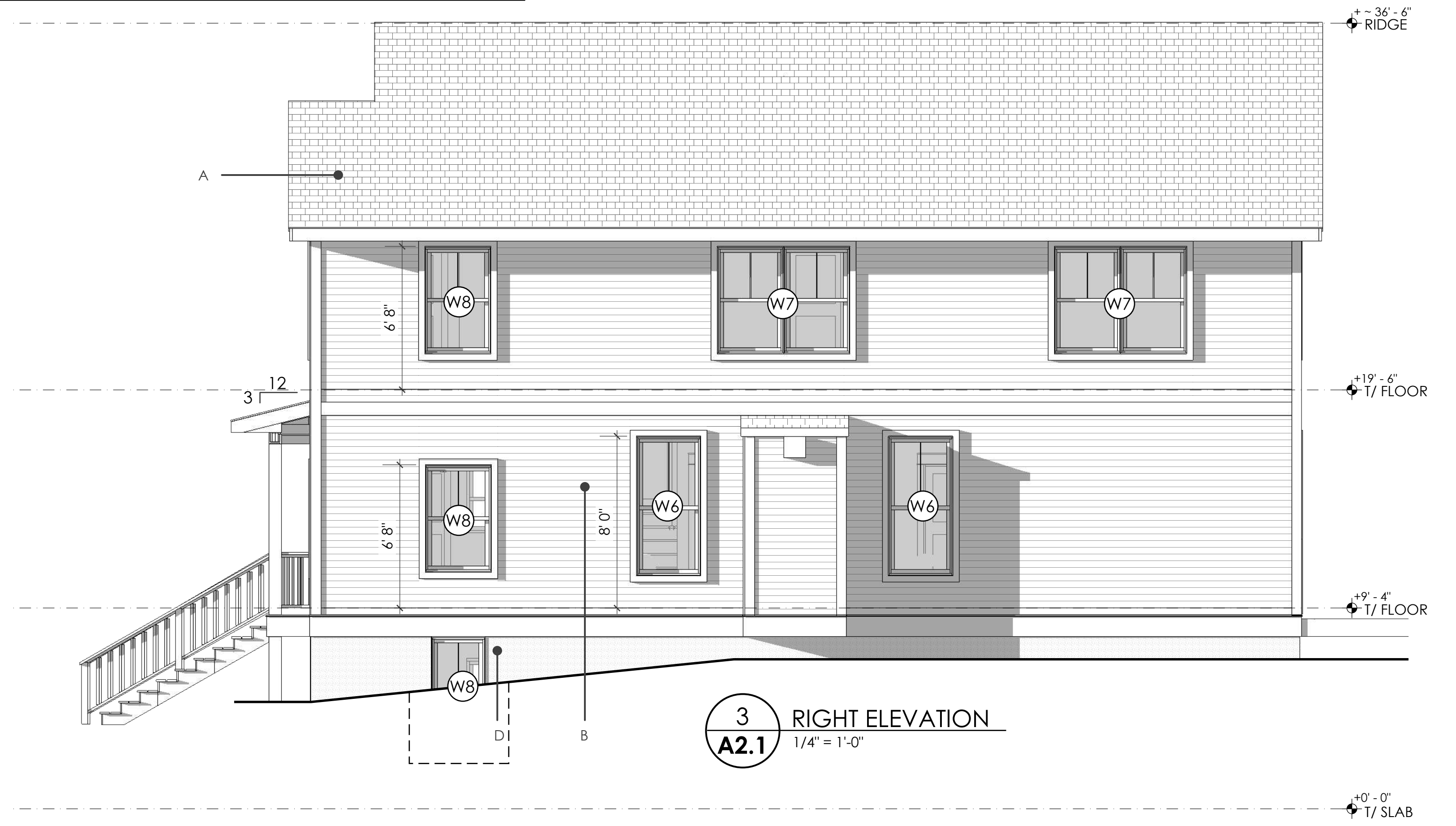


**1 LEFT ELEVATION**  
 A2.1 1/4" = 1'-0"

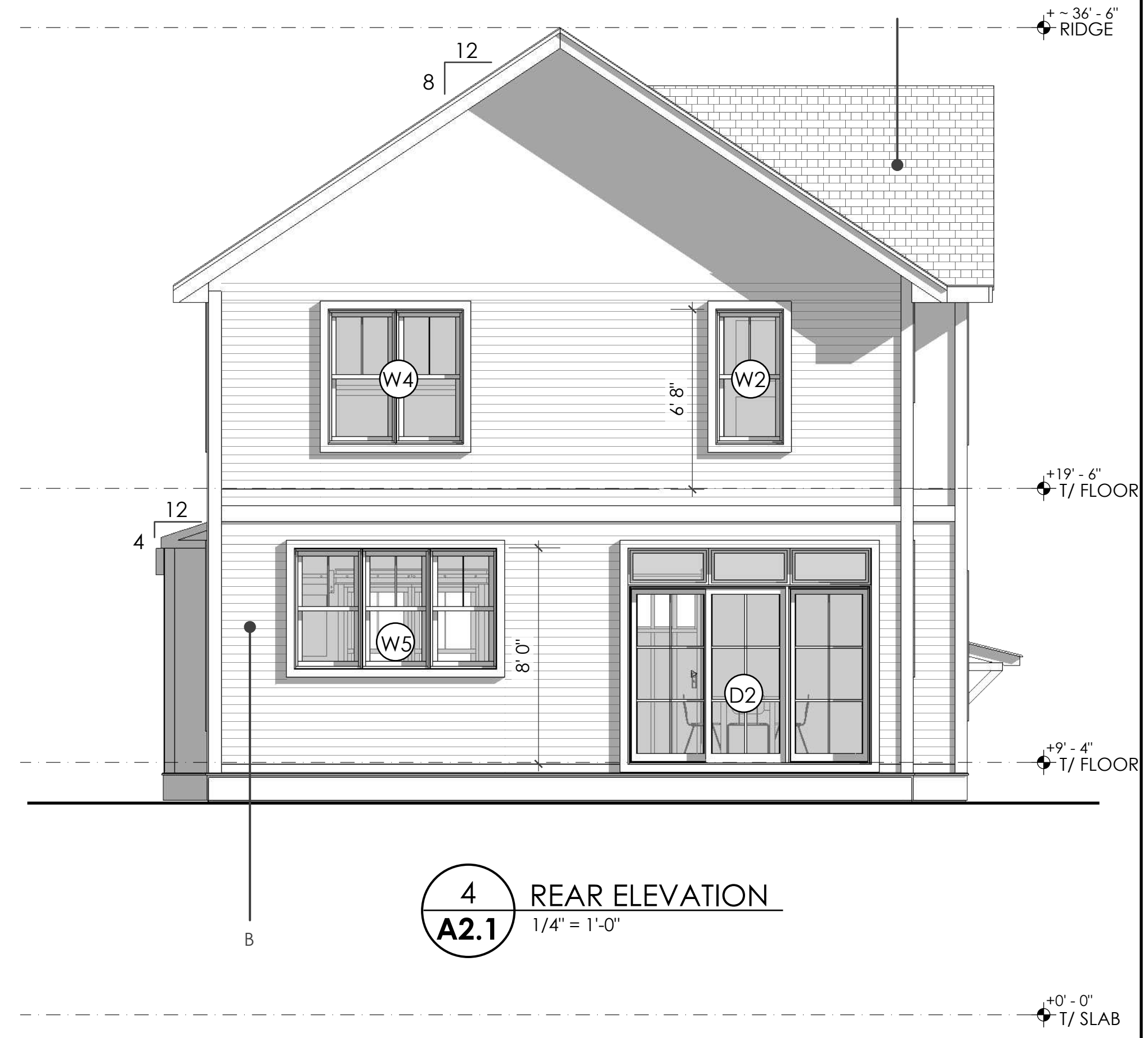


**2 FRONT ELEVATION**  
 A2.1 1/4" = 1'-0"

EXTERIOR MATERIAL KEY:		
LETTER	SYMBOL	DESCRIPTION
A		NEW TIMBERLINE ARCHITECTURAL SHINGLES IN SLATE; EAVES AND TRIM PRIMED AND PAINTED WHITE
B		HARDIEPLANK SMOOTH LAP SIDING IN 6" EXPOSURE, PRIMED AND PAINTED (COLOR TO BE SELECTED BY CONTRACTOR) - PROVIDE NEW VAPOR BARRIER AS REQ'D
C		METAL STANDING SEAM ROOF - COLOR TO BE SELECTED BY CONTRACTOR
D		PARGED AND PAINTED FOUNDATION - REPAIR AS NEEDED



**3 RIGHT ELEVATION**  
 A2.1 1/4" = 1'-0"



**4 REAR ELEVATION**  
 A2.1 1/4" = 1'-0"

PROGRESS SET - NOT FOR CONSTRUCTION

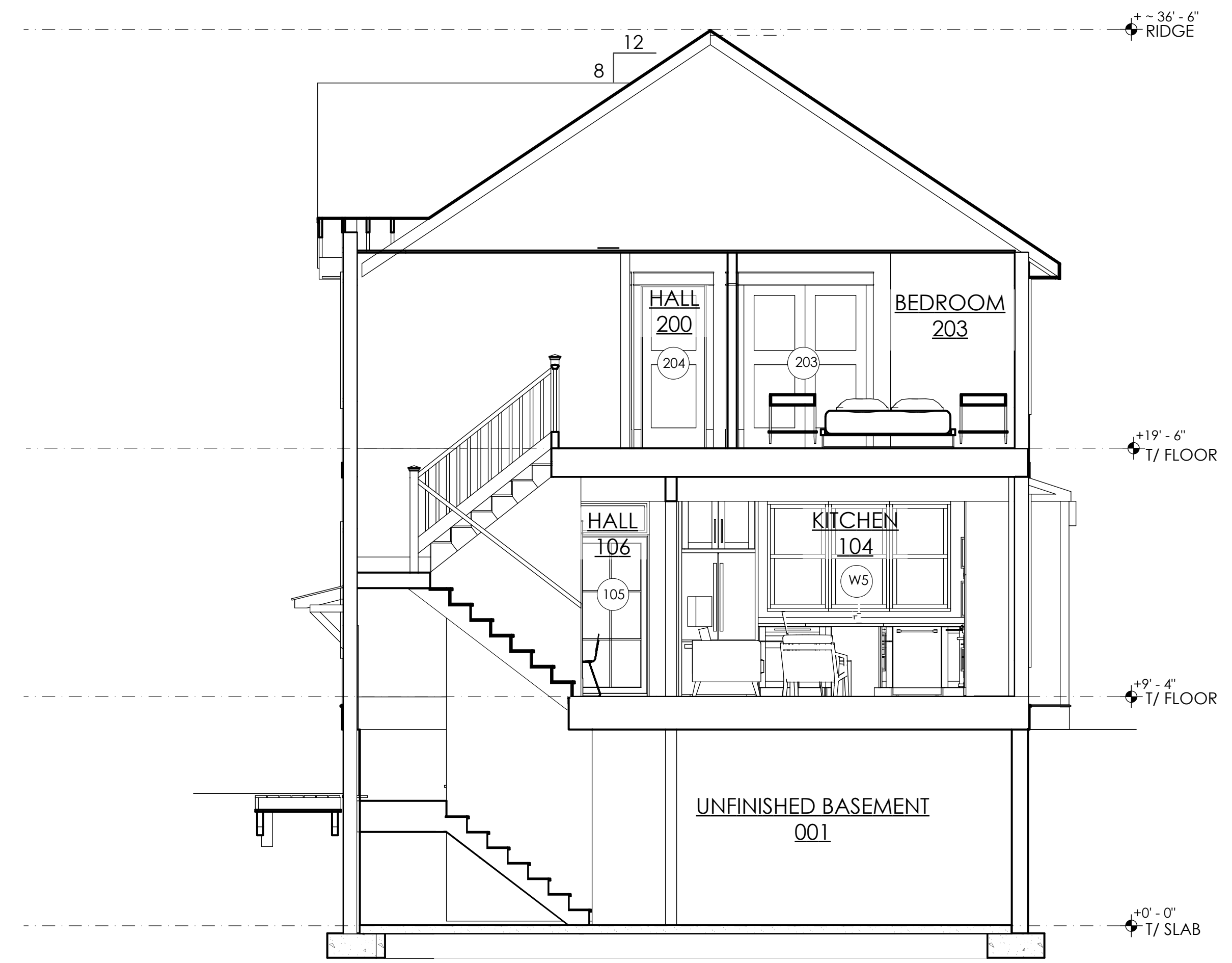
A2.1 - EXTERIOR ELEVATIONS

ISSUE DATE:  
 September 25, 2017

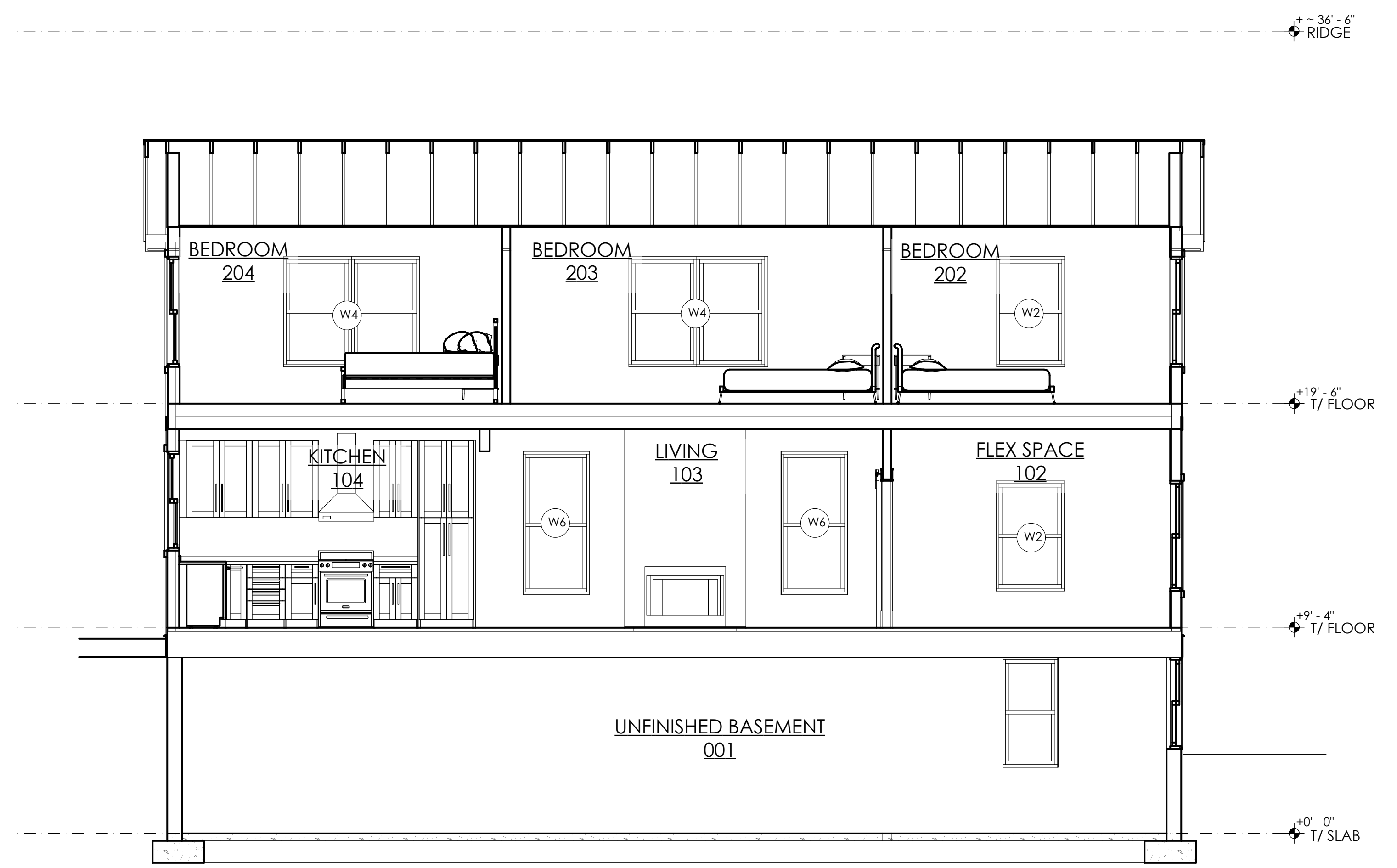
**A2.1**

SHEET # 10 OF 13

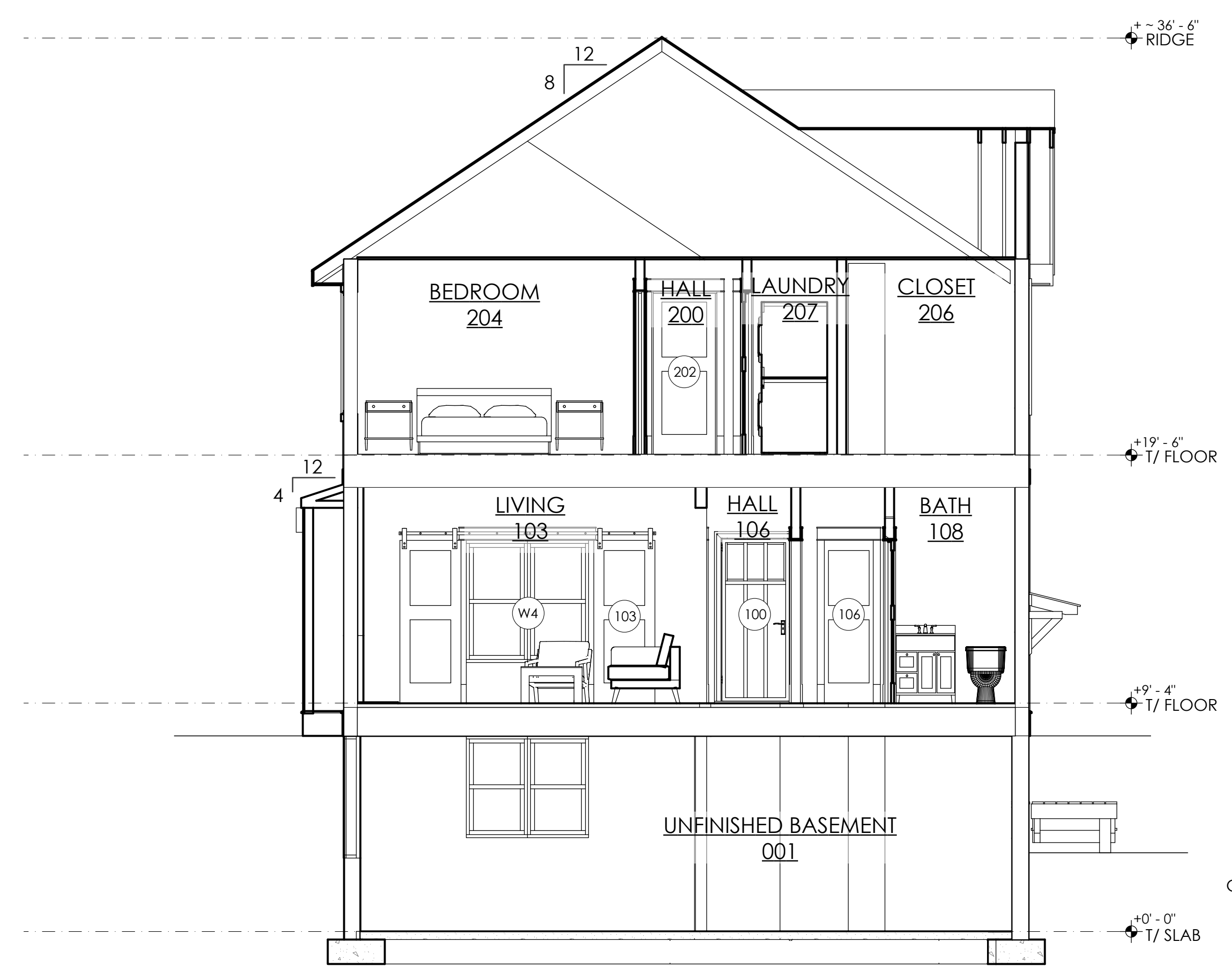




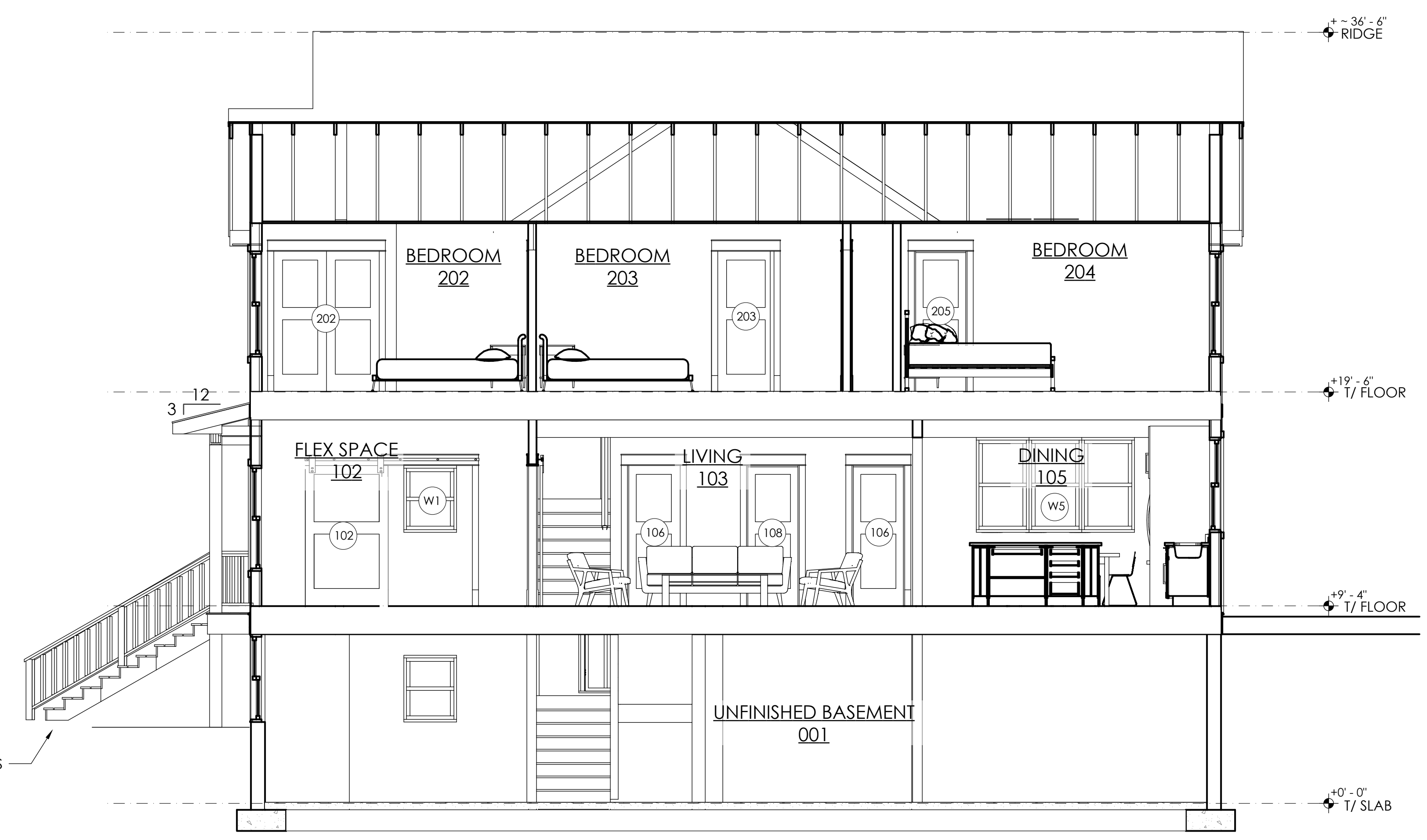
**1** FRONT SECTION  
 A3.1 1/4" = 1'-0"



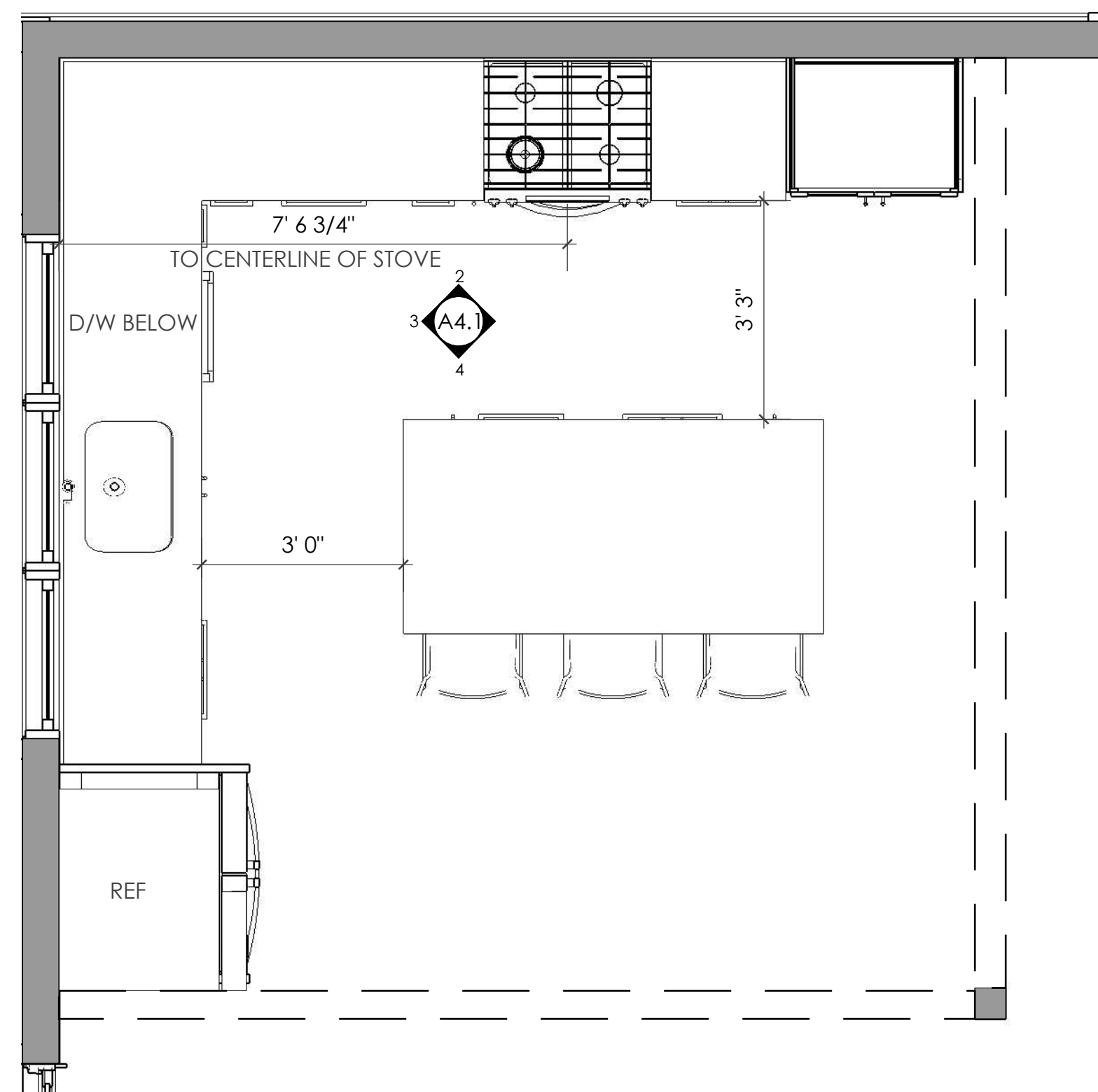
**2** LEFT SECTION  
 A3.1 1/4" = 1'-0"



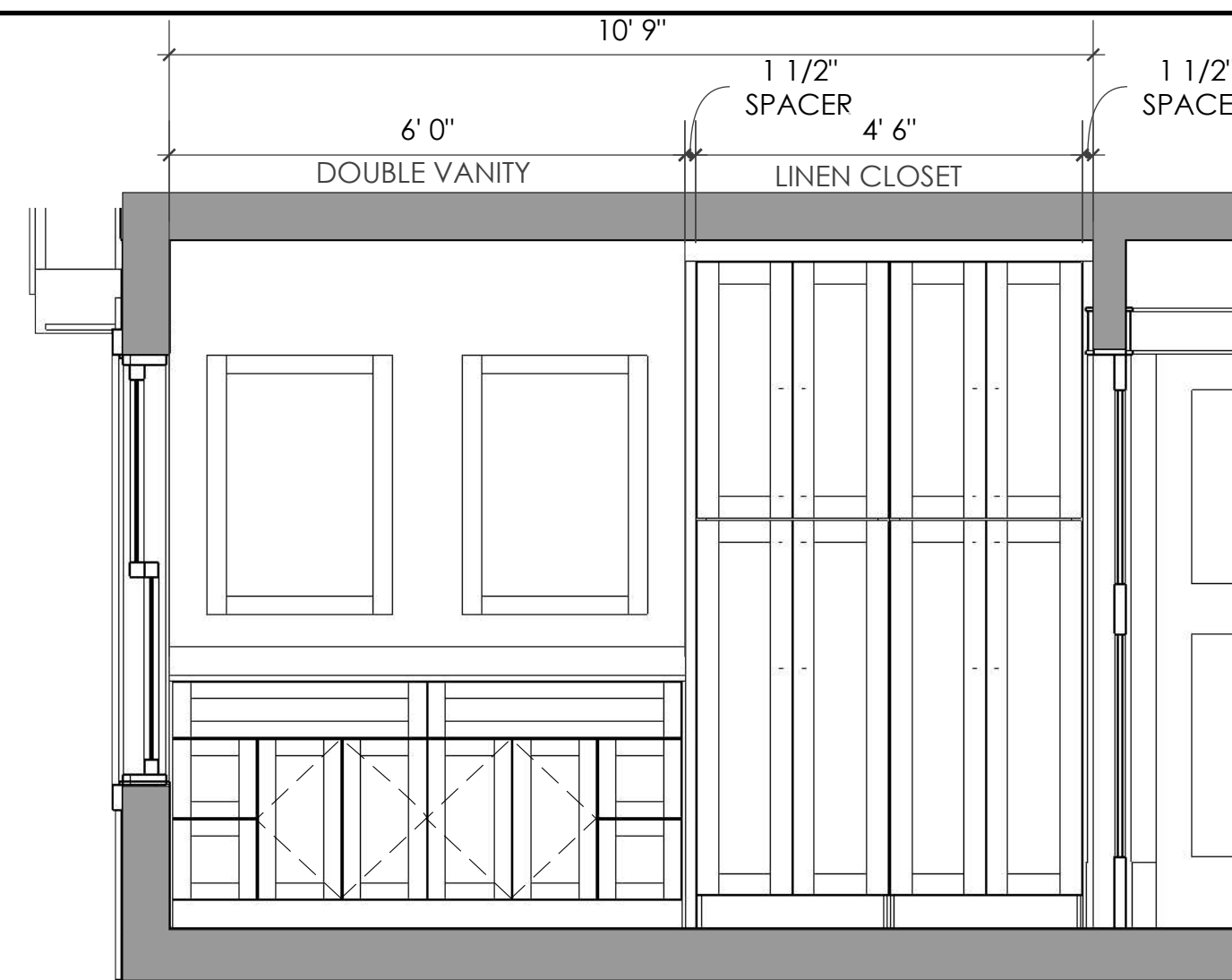
**3** REAR SECTION  
 A3.1 1/4" = 1'-0"



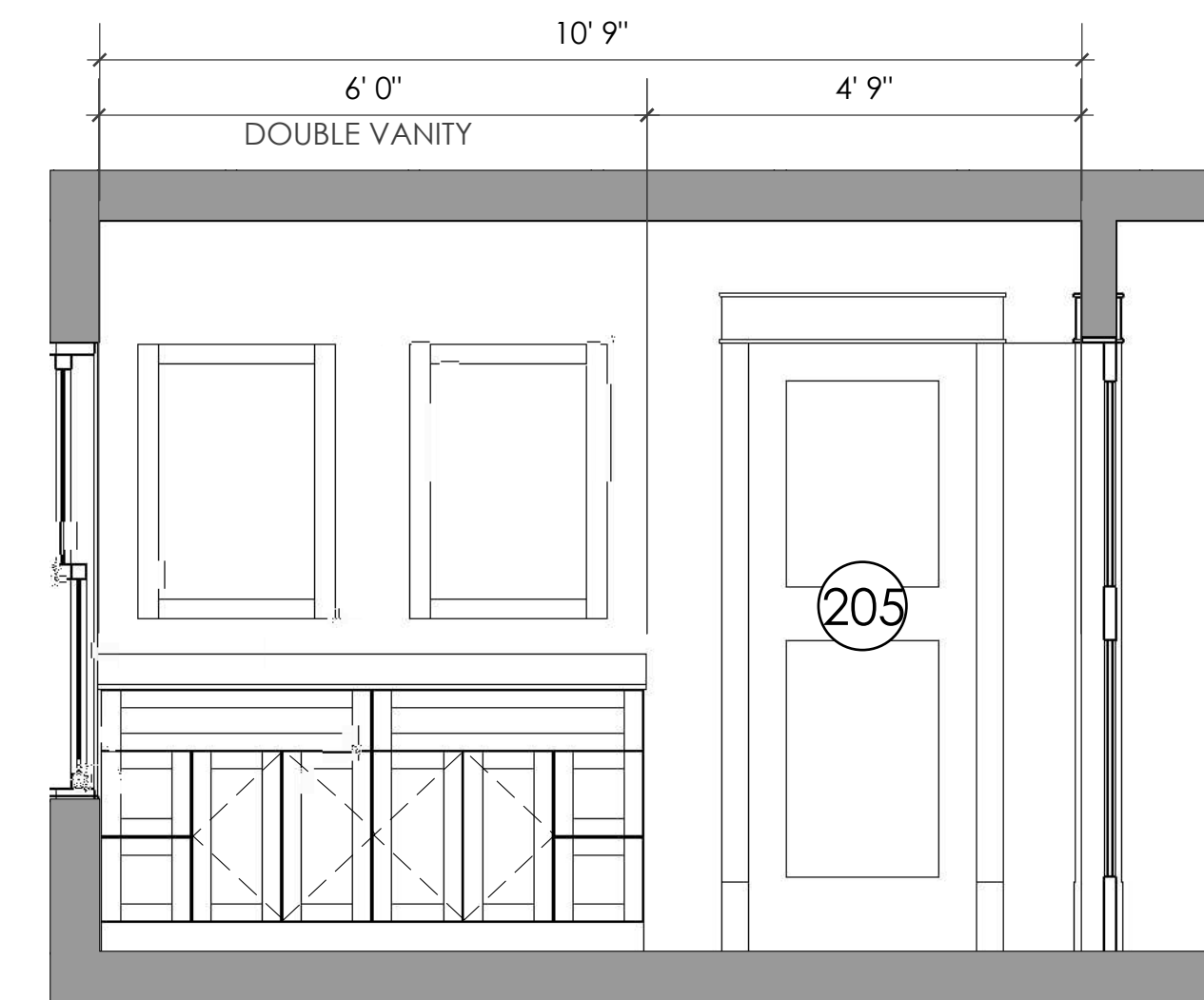
**4** RIGHT SECTION  
 A3.1 1/4" = 1'-0"



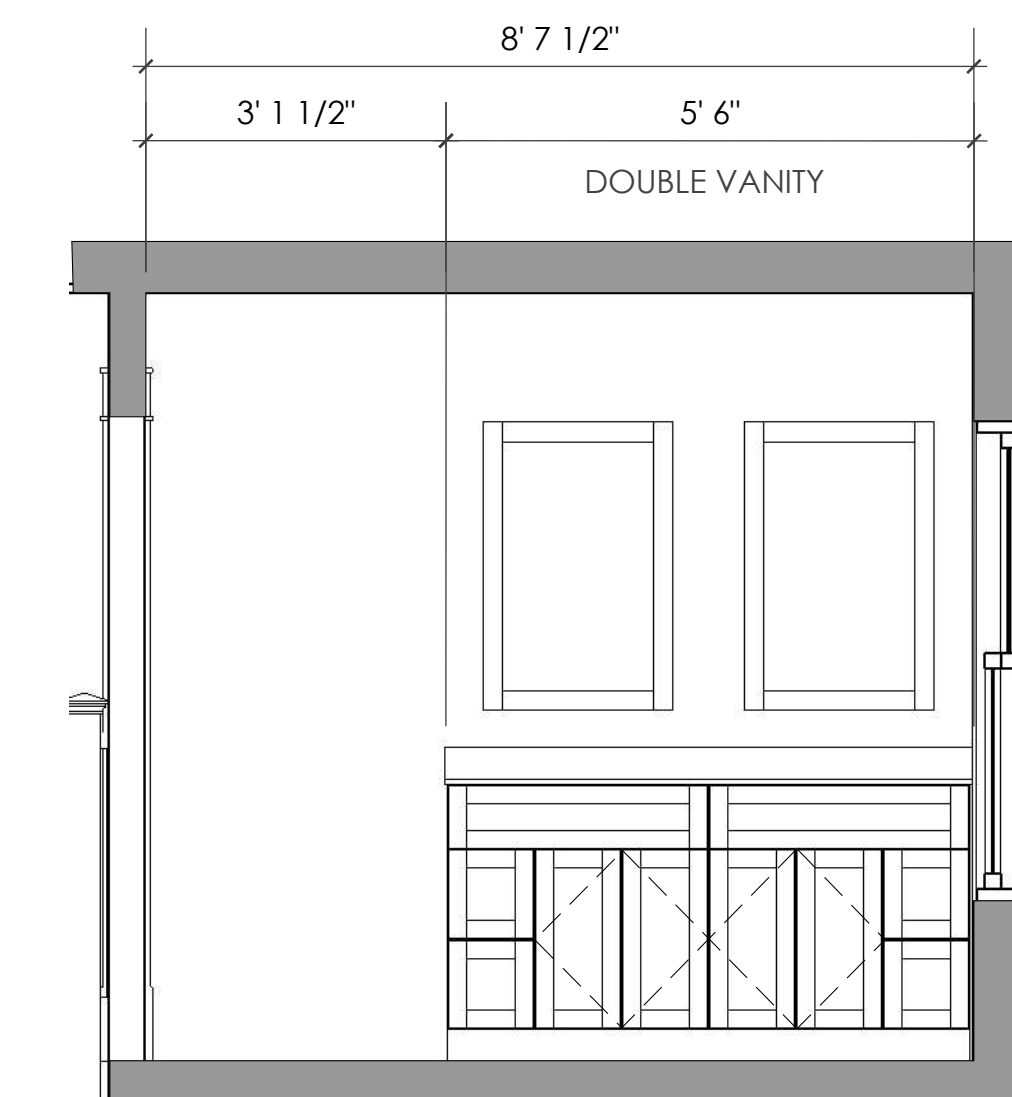
**1** KITCHEN DETAIL PLAN  
A4.1 1/2" = 1'-0"



**5** BATH VANITY ELEVATION - OPTION A  
A4.1 1/2" = 1'-0"



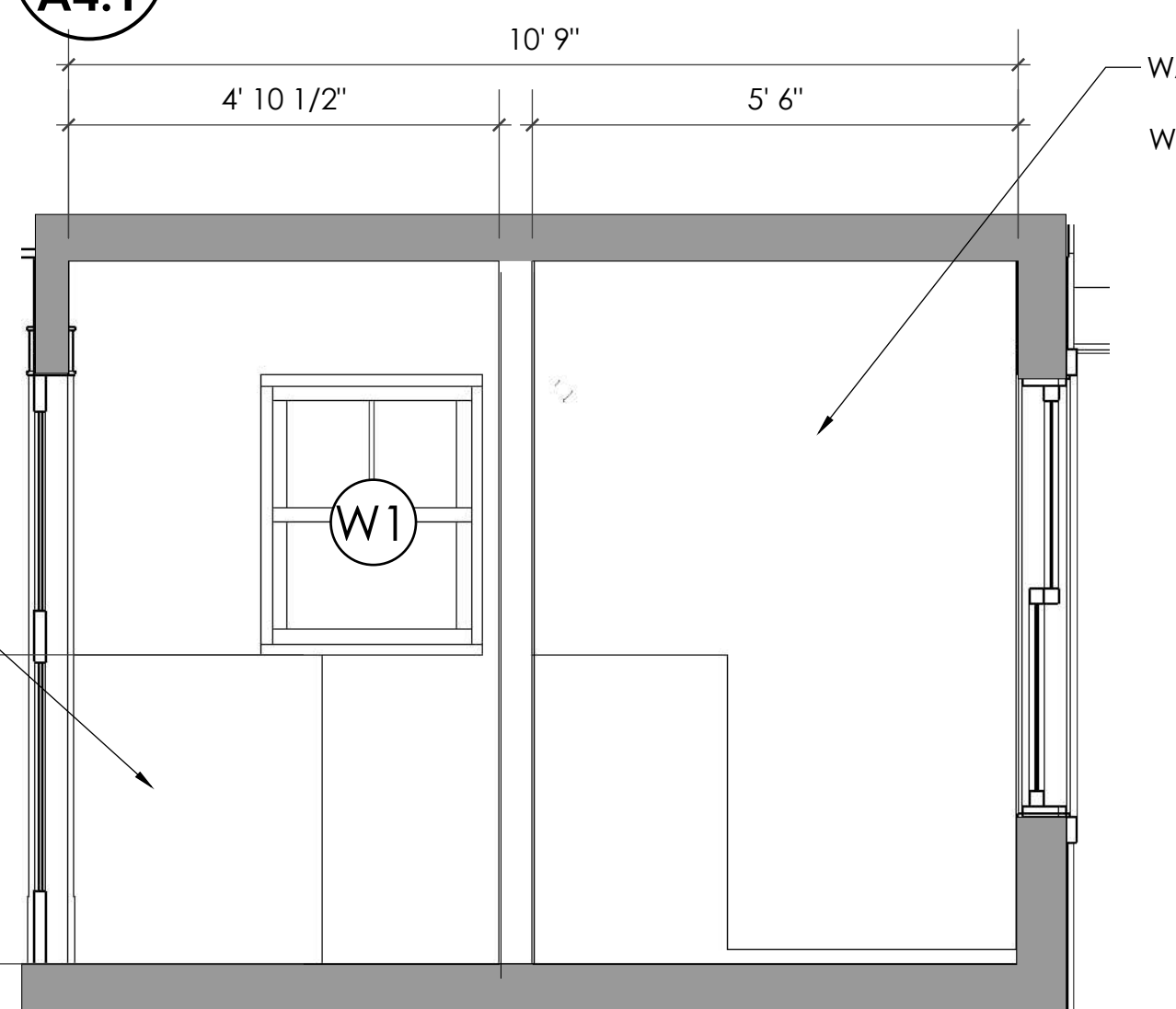
**6** BATH VANITY ELEVATION - OPTION B  
A4.1 1/2" = 1'-0"



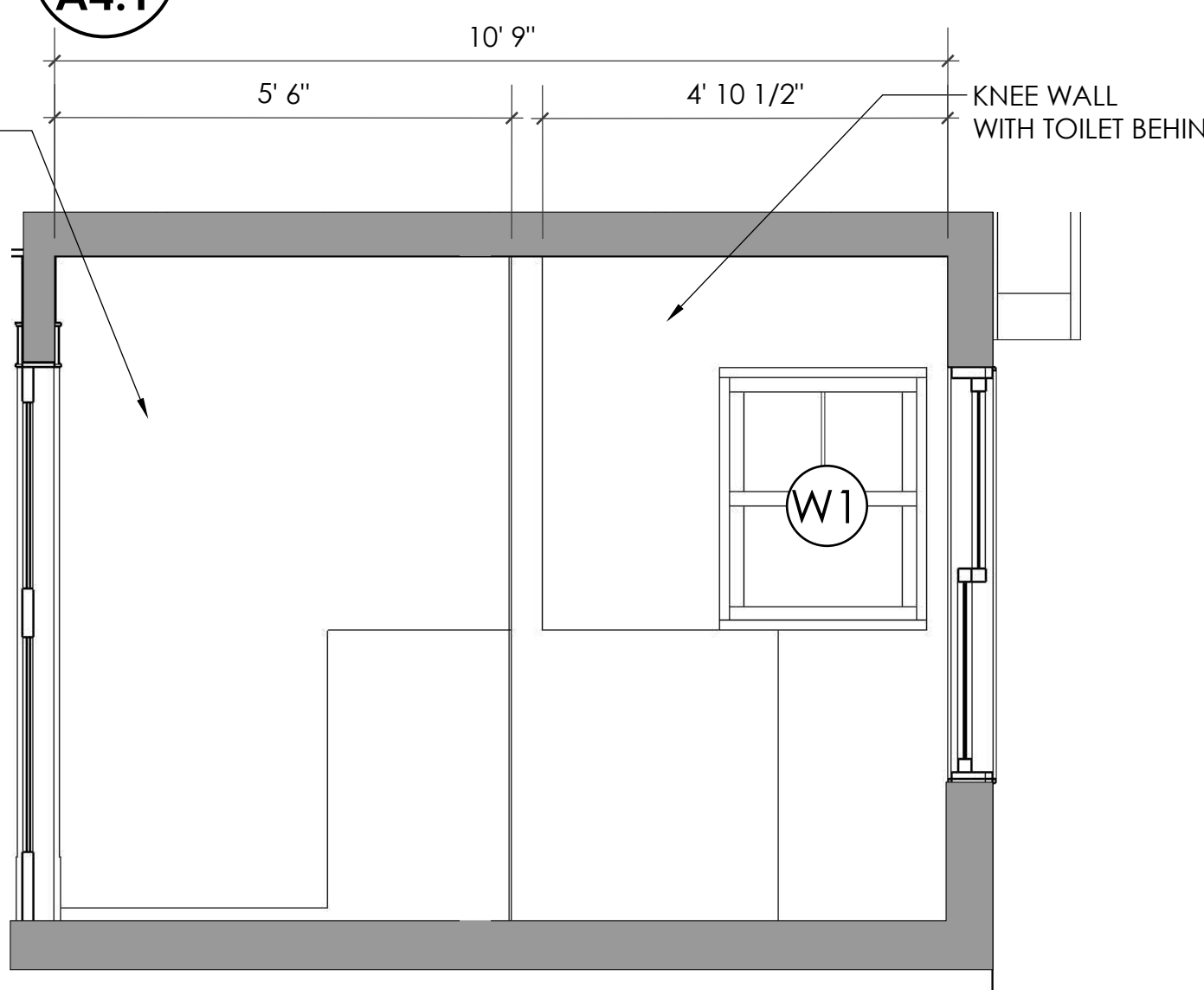
**7** BATH 2 VANITY ELEVATION  
A4.1 1/2" = 1'-0"

KNEE WALL WITH TOILET BEHIND

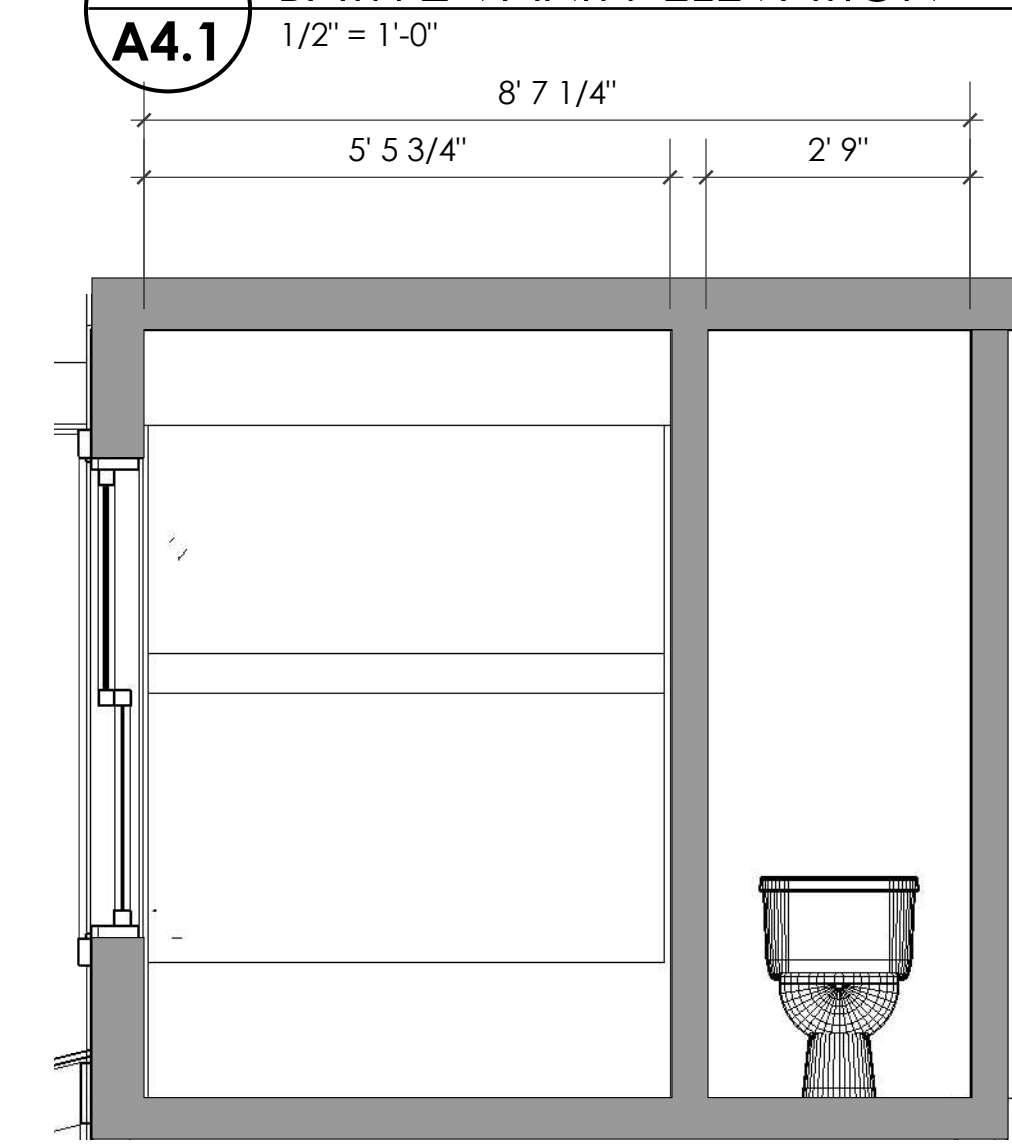
3' 6"



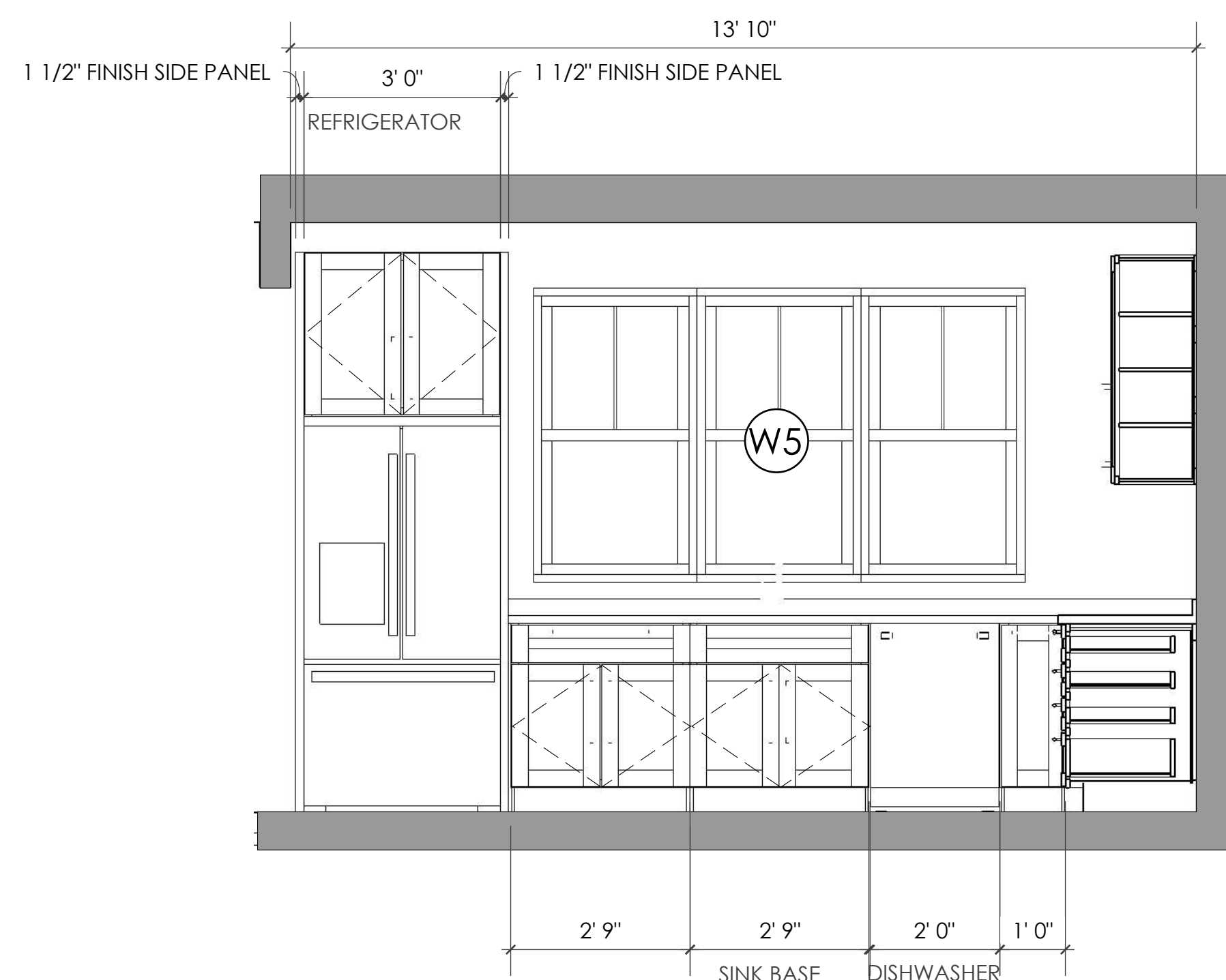
**8** BATH SHOWER ELEVATION - OPTION A  
A4.1 1/2" = 1'-0"



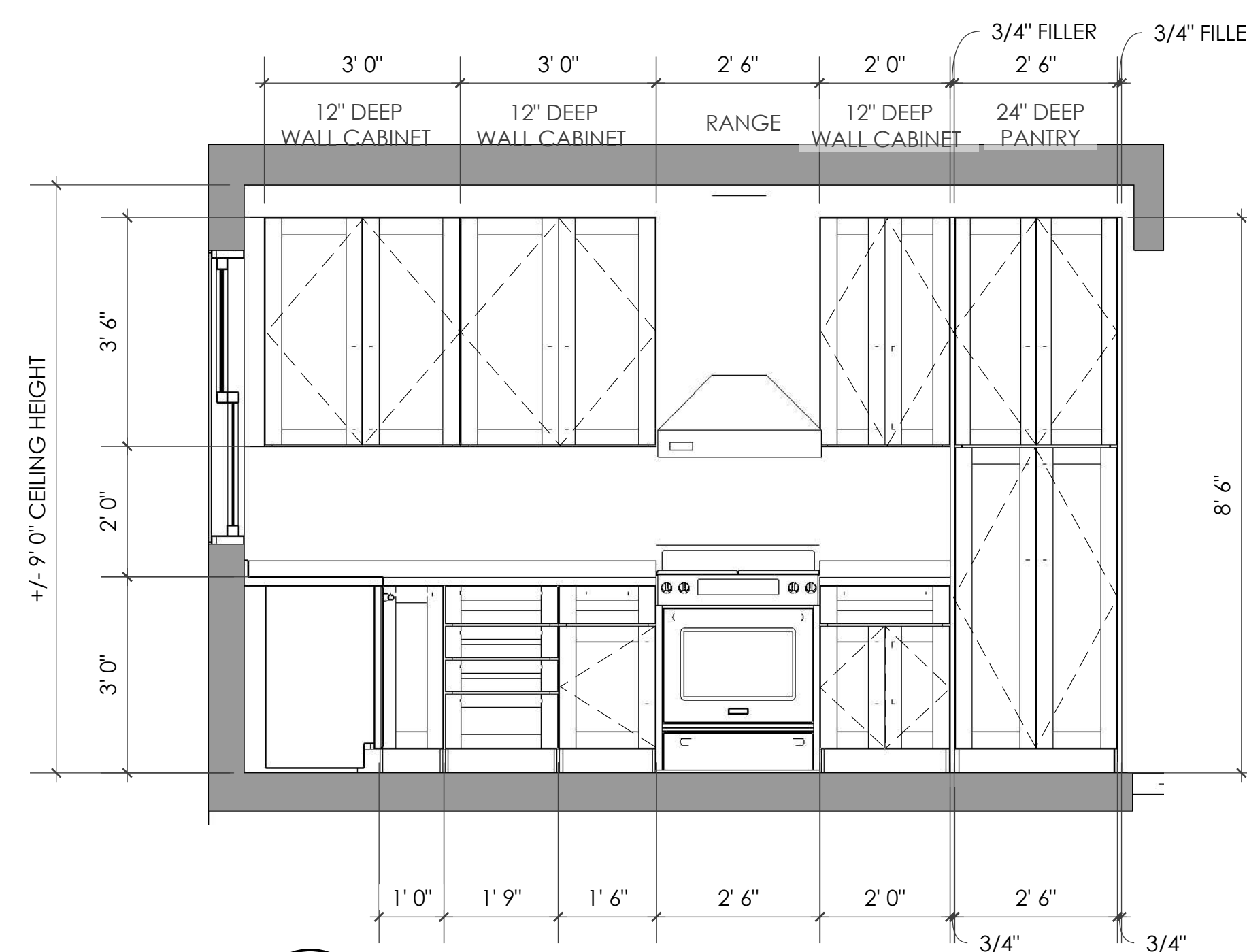
**9** BATH SHOWER ELEVATION - OPTION B  
A4.1 1/2" = 1'-0"  
NOTES:  
CONTRACTOR TO CHOOSE BATH LAYOUT. SEE PAGES A4.1.



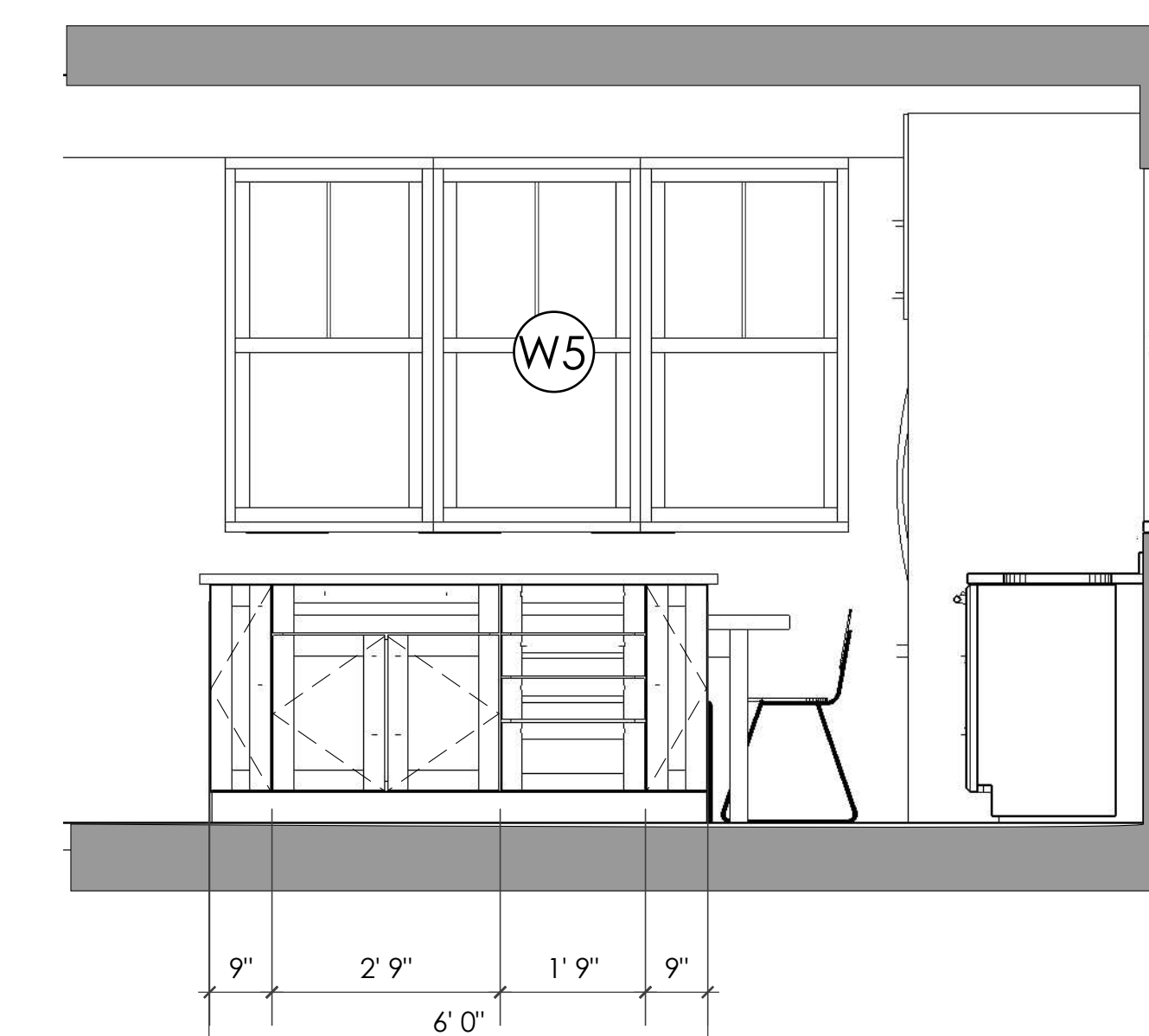
**10** BATH 2 SHOWER ELEVATION  
A4.1 1/2" = 1'-0"



**2** KITCHEN REFRIGERATOR ELEVATION  
A4.1 1/2" = 1'-0"

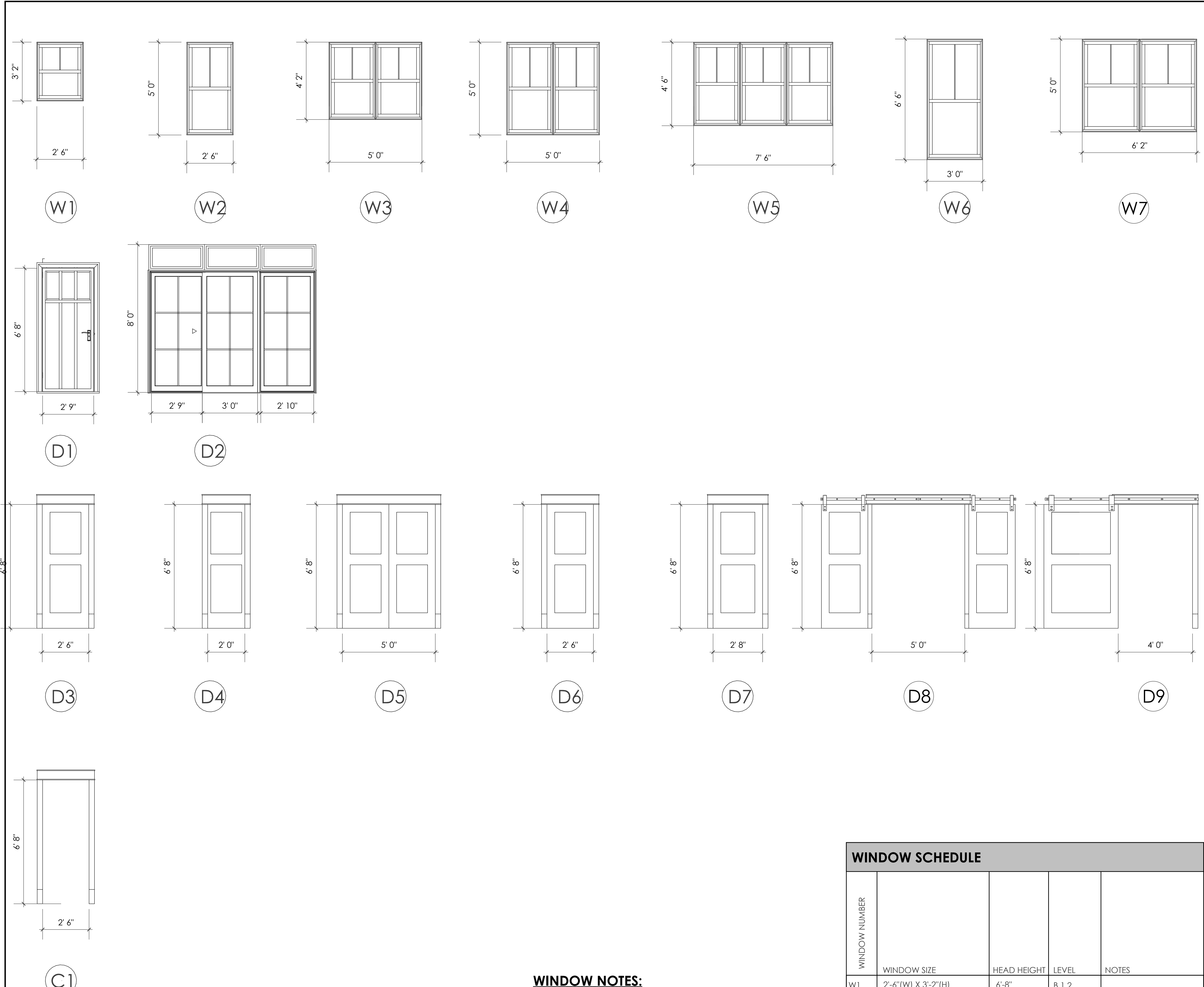


**3** KITCHEN OVEN ELEVATION  
A4.1 1/2" = 1'-0"



**4** KITCHEN ISLAND ELEVATION  
A4.1 1/2" = 1'-0"





**WINDOW NOTES:**  
 ALUMINUM CLAD, DOUBLE-HUNG WITH PAINT GRADE INTERIOR, DOUBLE PANE, LOW-E GLAZING. SDL 2-LITE OVER 1-LITE

1. FIELD VERIFY ALL CONSTRUCTED CONDITIONS, DIMENSIONS, JAMB THICKNESSES AND QUANTITIES PRIOR TO PLACING ORDER.
2. HARDWARE SHALL FACTORY WHITE FINISH.
3. INTERIOR TRIM TO BE 1" SILL WITH 1X4 SIDES AND 1X6 HEADS TO MATCH DOORS (SEE ELEVATIONS).
4. CONTRACTOR TO MEET CODE REQUIREMENTS

WINDOW SCHEDULE				
WINDOW NUMBER	WINDOW SIZE	HEAD HEIGHT	LEVEL	NOTES
W1	2'-6"(W) X 3'-2"(H)	6'-8"	B 1 2	
W2	2'-6"(W) X 5'-0"(H)	6'-8"	B 1 2	
W3	(2) 2'-6"(W) X 4'-2"(H)	6'-8"	B	
W4	(2) 2'-6"(W) X 5'-0"(H)	6'-8"	1 2	
W5	(3) 2'-6"(W) X 4'-6"(H)	8'-0"	1	
W6	3'-0"(W) X 6'-6"(H)	8'-0"	1	
W7	6'-2"(W) X 5'-0"(H)	6'-8"	2	MEET MINIMUM CLEAR OPENING REQUIREMENTS
W8	3'-1"(W) X 5'-0"(H)	6'-8"	B 1 2	MEET MINIMUM CLEAR OPENING REQUIREMENTS

**DOORS & HARDWARE NOTES:**

- DOOR STYLE D1:** PAINTED WOOD EXTERIOR, PAINTED WOOD INTERIOR, 3/4 GLASS, SDL 3-LITE, THREE PANEL BELOW
- DOOR STYLE D2:** SLIDING ALUMINUM EXTERIOR SDL 2 LITE OVER 2 LITE OVER 2 LITE
- DOOR STYLE D3,D4,D5,D6,D7:** PAINTED, SOLID-CORE 2-PANEL
1. FIELD VERIFY ALL CONSTRUCTED CONDITIONS, DIMENSIONS, SWINGS, JAMB THICKNESSES AND QUANTITIES PRIOR TO PLACING ORDER.
  2. HARDWARE SHALL BE KNOBS, EMTEK 5130 OR SIMILAR.
  3. INTERIOR TRIM TO BE 5/4X4 LEGS (9.25" TALL), 1X4 SIDES, AND 1X6 HEADS (SEE ELEVATIONS).
  4. COORDINATE KEYING REQUIREMENTS WITH OWNER.
  5. VERIFY LOCATIONS OF THRESHOLDS AND/OR TRANSITIONS WITH FLOOR FINISH SCHEDULE
  6. PROVIDE ALL HARDWARE NECESSARY TO PROVIDE A COMPLETE DOOR AND HARDWARE ASSEMBLY.

**DOOR SCHEDULE**

DOOR NUMBER	ROOM NAME	DOOR STYLE	DOOR SIZE	SWING	WALL / JAMB THICKNESS	HARDWARE			
						PRIVACY	PASSAGE	LOCKSET	DUMMY
001	STAIRS	D1	2'-9"(W) X 6'-8"(H)	RGHT	2 X 6			●	
100	ENTRY	D1	2'-9"(W) X 6'-8"(H)	RGHT	2 X 6			●	
100.A	MUD ROOM	C3	4'-0"(W) X 6'-8"(H)	CASE	2 X 4				
101	MUD ROOM	D5	5'-0"(W) X 6'-8"(H)	DBL	2 X 4				
102	FLEX SPACE	D9	4'-0"(W) X 6'-8"(H)	BARN	2 X 4				
103	LIVING	D8	5'-0"(W) X 6'-8"(H)	BARN	2 X 4				
105	DINING	D2	5'-9"(W) X 6'-6"(H)	SLD	2 X 6			●	
106.1	HALL	D3	2'-6"(W) X 6'-8"(H)	LEFT	2 X 4				
106.2	HALL	D4	2'-0"(W) X 6'-8"(H)	LEFT	2 X 4				
106.A	HALL	C1	2'-6"(W) X 6'-8"(H)	CASE	2 X 4				
107	STORAGE	D3	2'-6"(W) X 6'-8"(H)	RGHT	2 X 4				
108	BATH	D3	2'-6"(W) X 6'-8"(H)	RGHT	2 X 4	●			
200	HALL	D5	5'-0"(W) X 6'-8"(H)	DBL	2 X 4				
201	BATH	D3	2'-6"(W) X 6'-8"(H)	LEFT	2 X 4	●			
202.1	BED	D7	2'-8"(W) X 6'-8"(H)	RGHT	2 X 4				
202.2	BED	D5	5'-0"(W) X 6'-8"(H)	DBL	2 X 4				
203.1	BED	D7	2'-8"(W) X 6'-8"(H)	LEFT	2 X 4				
203.2	BED	D5	5'-0"(W) X 6'-8"(H)	DBL	2 X 4				
204	BED	D7	2'-8"(W) X 6'-8"(H)	LEFT	2 X 4				
205.1	BATH	D3	2'-6"(W) X 6'-8"(H)	LEFT	2 X 4	●			
205.2	BATH	D6	2'-6"(W) X 6'-8"(H)	PCKT	2 X 4				

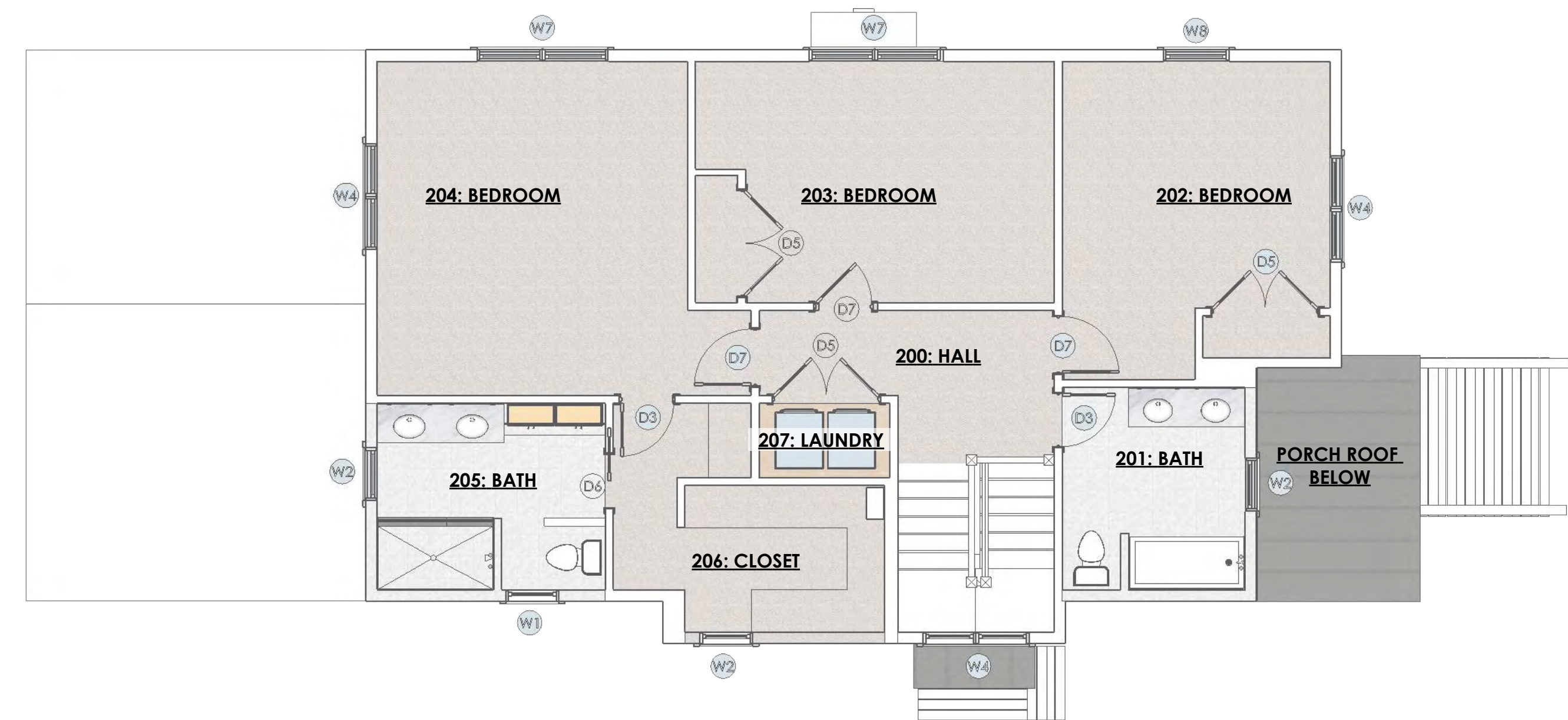


# FINISH SCHEDULE

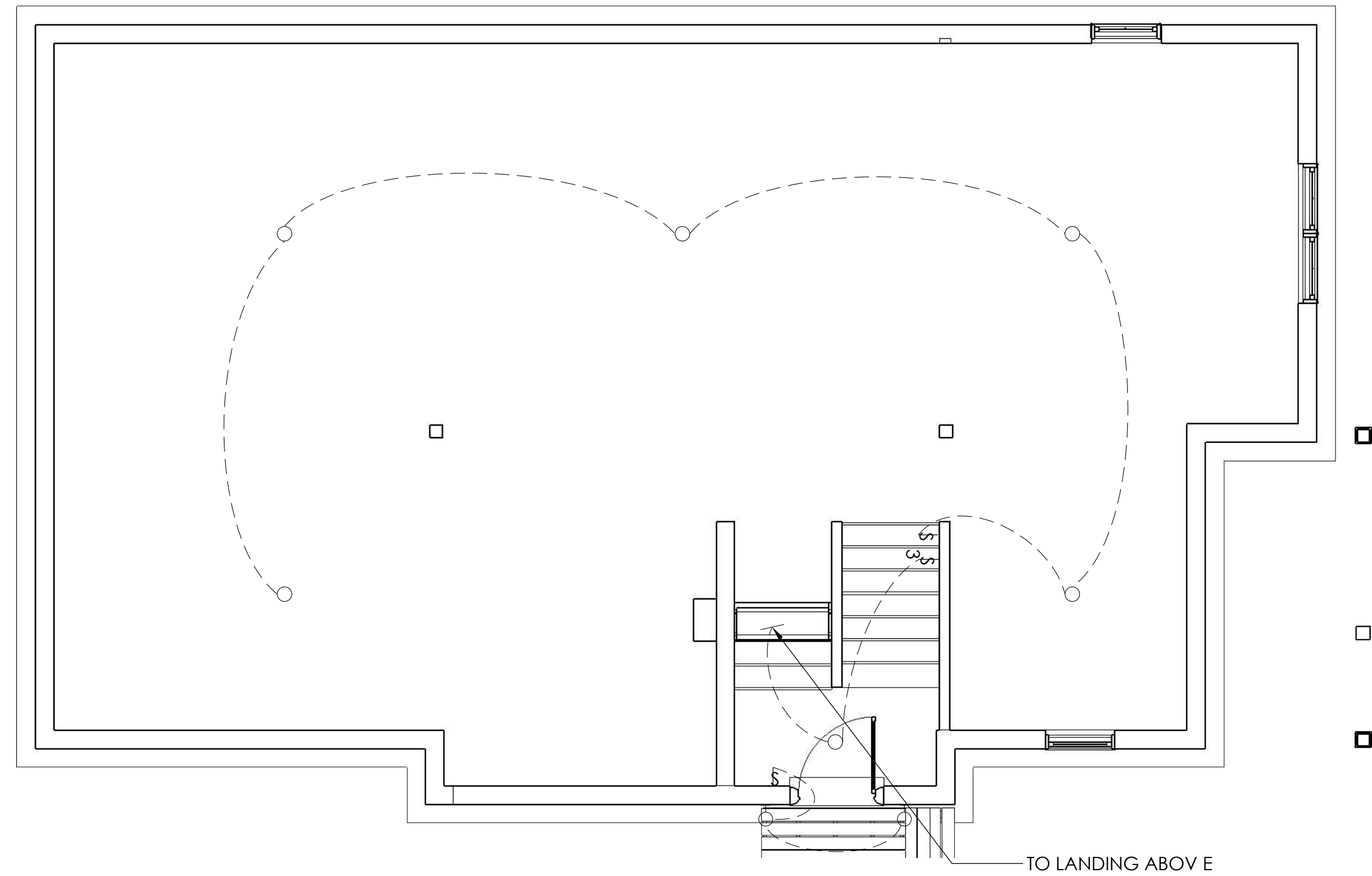
		100	101	101.1	102	103	104	105	106	106.1	107	108	109	110	200	201	202	203	204	205	206	207	
FLOORING	HARDWOOD	●	●	●	●	●	●	●	●	●	●	●											
	CARPET														●		●	●	●		●		
	TILE															●				●			
	VINYL																					●	
	P.T. WOOD												●	●									
SPECIALTY ITEMS	COUNTERS WITH BASE CABINETS AND DROP-IN SINK, TOILET, FIBERGLASS TUB / SHOWER COMBO															●							
	LAMINATED COUNTERTOPS WITH BASE CABINETS AND DROP-IN SINK, TOILET, AND WALK IN SHOWER																			●			
	SEMI-CUSTOM CABINETS/MILLWORK - SEE GENERAL NOTES						●													●			
	COUNTERTOPS - TO BE SELECTED BY CONTRACTOR						●															●	
	SHELVING		●								●											●	

**GENERAL FINISH NOTES:**

- ALL CEILINGS AND WALLS TO BE COVERED WITH 1/2" GWB, PAINTED. ASSUME 2 COLORS.
- ALL HOLLOW METAL DOOR FRAMES TO BE PRIMED AND PAINTED TO MATCH RUBBER BASE AND TREADS
- ALL FURNISHINGS AND TV'S TO BE PROVIDED BY OWNER
- KITCHEN CABINETS TO HAVE FULL OVERLAY STAINED MAPLE DOORS (COLOR TBD)
- UTILITY CABINET TO BE WHITE PAINTED
- PLEASE PROVIDE APPLIANCES BELOW. COMPARABLE SUBSTITUTES MAY BE ACCEPTED, HOWEVER PLEASE VERIFY ALL APPLIANCES MEET ACCESSIBILITY REQUIREMENTS PER ICC A117.1-2009.  
 KITCHEN REFRIGERATOR: FRIGIDAIRE FGHB2866PF  
 RANGE: FRIGIDAIRE FFGS3025APS  
 DISHWASHER: FRIGIDAIRE FDB2410HC  
 WASHER/DRYER:

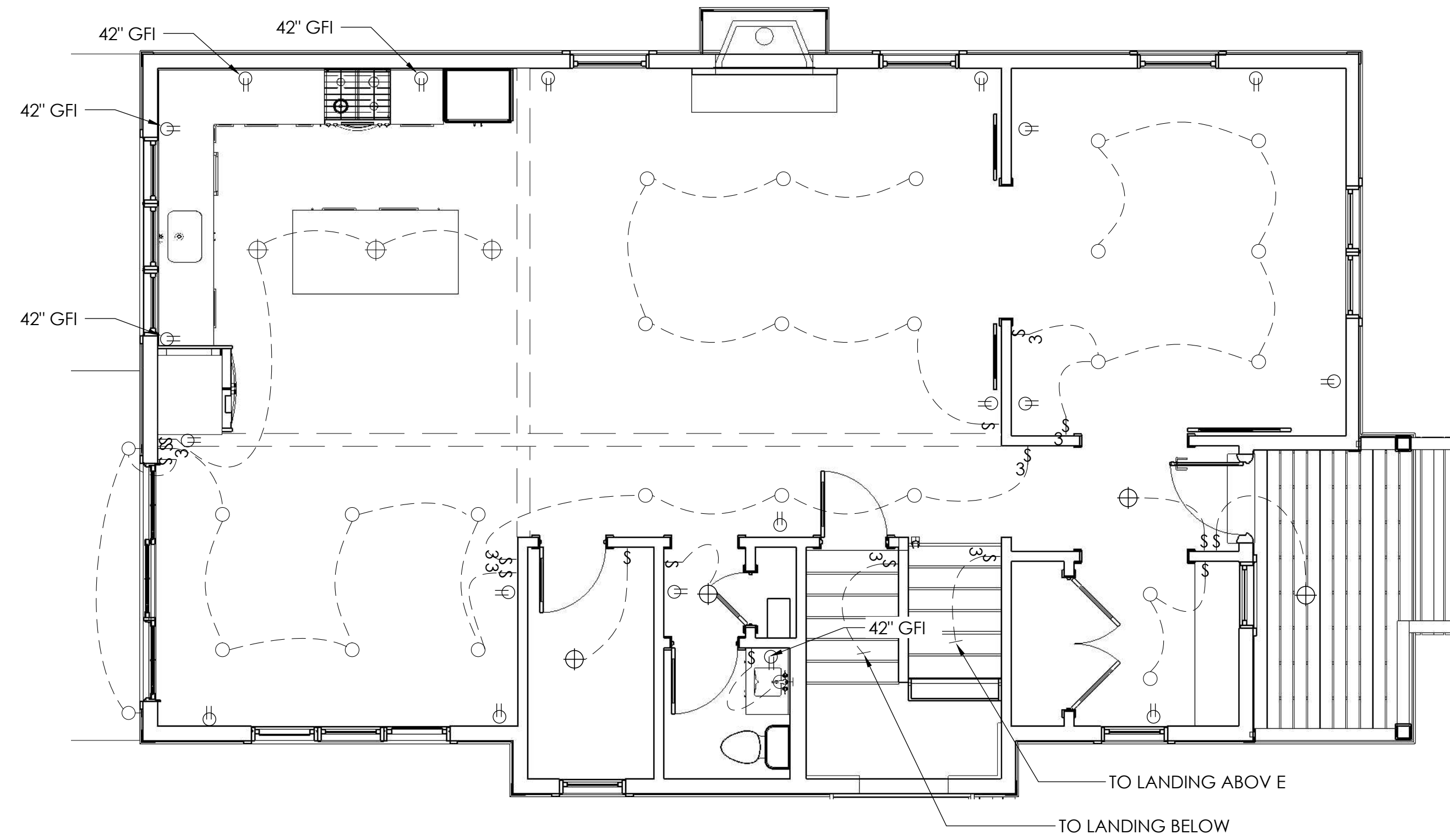




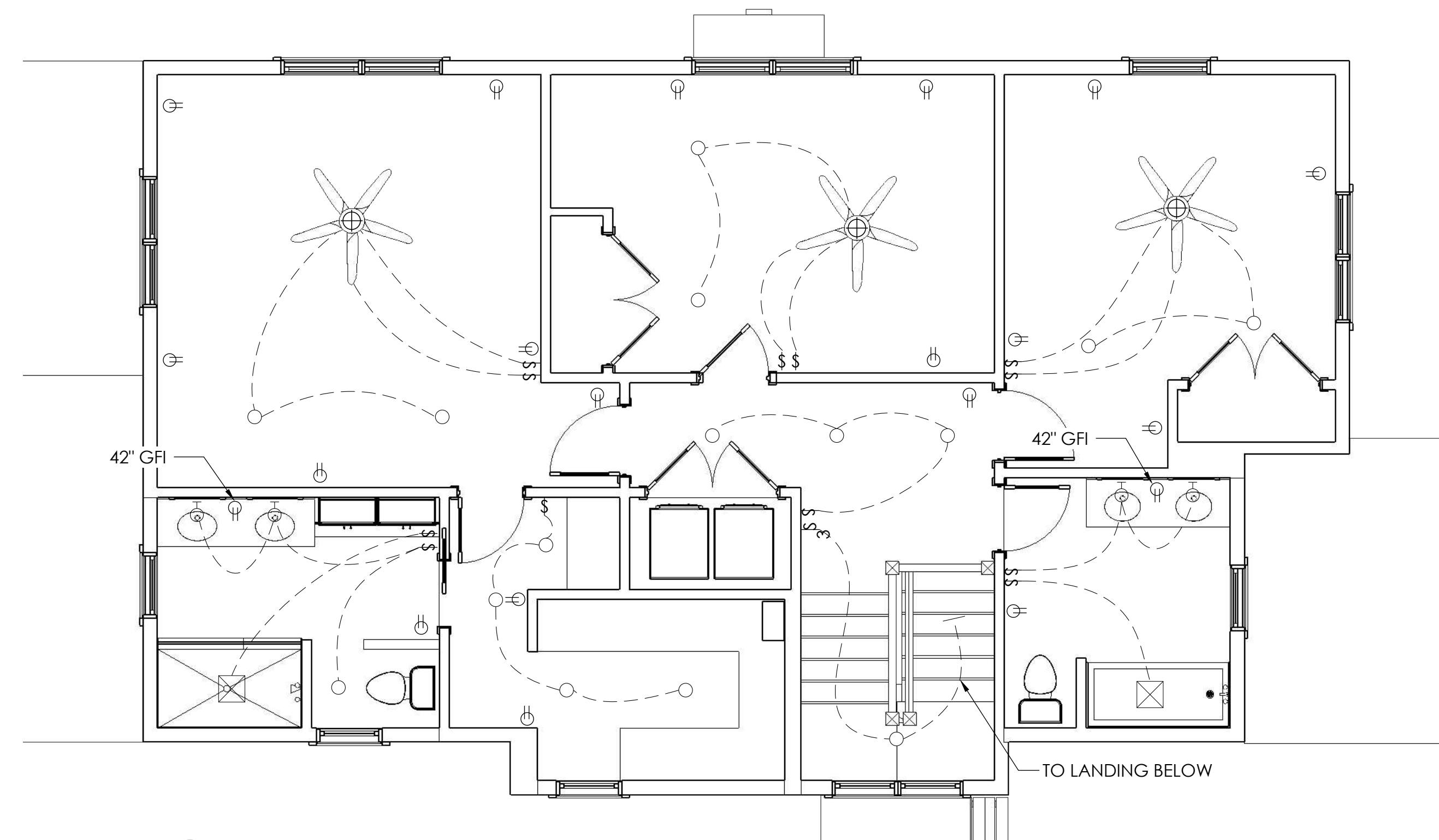


**1**  
**E1.1** BASEMENT ELECTRICAL PLAN  
1/4" = 1'-0"

**NOTES:**  
1. CONTRACTOR TO PROVIDE CODE MINIMUM



**2**  
**E1.1** MAIN LEVEL ELECTRICAL PLAN  
1/4" = 1'-0"



**3**  
**E1.1** SECOND FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

**ELECTRICAL LEGEND:**

- ⊖ POWER OUTLET - DUPLEX
- ⊖ DATA DUPLEX
- ⌘ WALL SWITCH
- ⌘ THREE-WAY SWITCH
- ⌘ DIMMER SWITCH
- ⊗ WATER PROOF EXHAUST FAN WITH LIGHT
- ⊕ WALL-MOUNTED LIGHT
- ⊕ CEILING-MOUNTED LIGHT
- RECESSED DOWN LIGHT - PROVIDE ANGLED CANS AS REQ'D FOR SLOPED CEILING
- ▭ 2' RECTANGULAR UTILITY LIGHT
- ⊕ CEILING FAN WITH LIGHT

**NOTES:**  
1. THESE ELECTRICAL PLANS ILLUSTRATE SUGGESTED LIGHT FIXTURE LAYOUTS IN A DIAGRAMMATIC MANNER. CARBON MONOXIDE DETECTORS, FIRE/SMOKE ALARMS AND OTHER CODE REQUIRED ELECTRICAL ITEMS ARE NOT INDICATED ON THESE PLANS. ELECTRICAL CONTRACTOR SHALL WORK WITH OWNER TO DEVELOP A DETAILED CODE-COMPLYING ELECTRICAL PLAN.  
2. OUTLET AND SWITCH LOCATIONS ARE SHOWN FOR DESIGN INTENT ONLY. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS.  
3. VERIFY LOCATIONS OF OUTLETS MOUNTED IN EXTERIOR OVERHANGS FOR HOLIDAY LIGHTS WITH OWNER.  
4. VERIFY LOCATIONS OF FLOOR OUTLETS, DIMMERS AND EXTERIOR FLOOD LIGHTS WITH OWNER.  
5. VERIFY TV LOCATIONS WITH OWNER.  
6. PROVIDE UNDER CABINET LIGHTS AND SWITCHES IN KITCHEN PER OWNER.  
7. REVIEW ALL ELECTRICAL FIXTURE LOCATIONS AND ELECTRICAL SYSTEMS DESIGN WITH OWNER.