

Lasley, Timothy G

From: Lasley, Timothy G
Sent: Thursday, October 18, 2018 12:10 PM
To: 'jlinkous@cathcartgroup.com'
Cc: Werner, Jeffrey B; Mess, Camie
Subject: BAR Actions - October 16, 2018 - 2nd Street NW

October 18, 2018

Certificate of Appropriateness Application

BAR 18-10-04
2nd Street NW
Tax Parcel 3301741V0
McGuffey Hill Homeowners Association, Owner
Cathcart Property Management, Applicant
Roof Replacement

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on October 16, 2018. The following action was taken:

Motion: Sarafin moved to accept the applicants request for deferral. Schwarz seconded. Approved (7-0).

If you would like to hear the specifics of the discussion please visit:

http://charlottesville.granicus.com/MediaPlayer.php?view_id=2&clip_id=1327

If you have any questions, please contact me at 434-970-3130 or wernerjb@charlottesville.org.

Sincerely yours,
Jeff Werner

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Tim Lasley

Intern | Historic Preservation and Design Planning
City of Charlottesville | Neighborhood Development Services
University of Virginia | Class of 2020
School of Architecture

Phone: (434)-970-3182
Email: lasleyt@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
October 16, 2018**



Certificate of Appropriateness Application

BAR 18-10-04

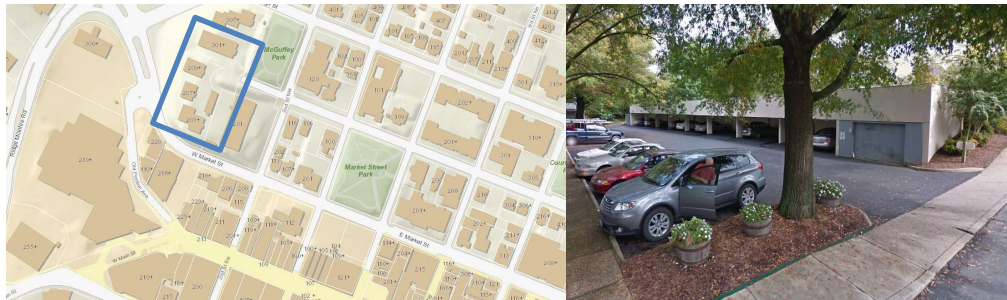
2nd Street NW

Tax Parcel 3301741V0

McGuffey Hill Homeowners Association, Owner

Cathcart Property Management, Applicant

Roof Replacement



Background

Constructed in 1983, McGuffey Hill functions as a condominium complex within the North Downtown ADC District. The structures within are not contributing to this ADC district. The complex features traditional architectural, with moments of contemporary design inspirations. The complex additionally includes garages and a park.

Previous BAR Approvals – Regarding Green Roof:

July 18, 2017 - The BAR suggested that the applicant come back with options for the replacement of the roof. Some of the suggestions were:

- Replacing the green roof
- Moving the parapet wall to make the roof aesthetically part of the carport instead of the park
- Having the apartment association replace the membrane then have the city design and maintain the green roof

December 19, 2006 - The BAR voted (7-0) to approve your application in concept with the stipulation that the following details come back to the BAR for approval:

- The fence (another style, or a modification of the Omega style with landscaping; and it should be part of the garden);
- The planting trays and their arrangement;
- Show the green roof design in better context with the park design.

Application

Applicant submitted:

- McGuffey Hill Homeowners Association submittal dated September 25, 2018: Description of project (page 1), roof replacement precedent (pages 2-3), existing north garage (page 4), deteriorating conditions (pages 5-6), surrounding material context (pages 7-8), survey (page 9), proposed drawings (pages 10-12), standing seam metal roofing cutsheets including snow retention system, and BAR green roof application (dated December 19, 2006).

Request for the replacement of existing green roof on the North Garage at McGuffey Hill complex with standing seam metal roofing. The intent of the replacement is to match roof with surrounding structures.

Due to the deteriorating condition of the roof's membrane on the North Garage, the applicant wishes to remove this membrane to expose the concrete deck and wooden parapet, and construct a gabled roof matching the South Garage's roof in material and color.

The deck of the North Garage has been inspected, and is structurally sound. Once the truss system is installed, the decking will be covered with high temperature leak barrier.

The standing seam metal will be Union Corrugated Metal Advantage Lock, and will be completed with a metal ridge vent. The metal will be colored pearl gray to match the roofs of surrounding structures.

The gabled ends will be covered with contemporary horizontal siding, and all exposed wood will be wrapped in non-corrosive metal.

The proposed truss system features an off centered gable end with a height of 110 feet. The slope of the roof facing the driveway is 12:7.8, and the slope of the roof facing the grade level is 12:22.

Discussion and Recommendations

Staff recommends that the BAR discuss the visible impact of the gable roof to the pedestrian experience' particularly as it relates to the McGuffey Hill Park, and the McGuffey Hill complex.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitations, I move to find that the proposed changes satisfy the BAR's criteria and are compatible with this property and other properties in the North Downtown ADC District, and that the BAR approves the application as submitted.

(...with the following modifications or conditions...

Or

Having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitations, I move to find that the proposed changes do not satisfy the BAR's criteria and are not compatible with this property and other properties in the North Downtown ADC District, and that the BAR denies the application as submitted for the following reasons...

Criteria, Standards, and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.

Pertinent Standards for Review of Construction and Alterations include:

- 1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;
- 2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;
- 3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of
- 4) Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
- 5) The effect of the proposed change on the historic district neighborhood;
- 6) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;
- 7) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
- 8) Any applicable provisions of the City's Design Guidelines.

Pertinent Guidelines for Rehabilitations

G. ROOF

- 1) When replacing a standing seam metal roof, the width of the pan and the seam height should be consistent with the original. Ideally, the seams would be hand crimped.
- 2) If pre-painted standing seam metal roof material is permitted, commercial-looking ridge caps or ridge vents are not appropriate on residential structures.
- 3) Original roof pitch and configuration should be maintained.
- 4) The original size and shape of dormers should be maintained.
- 5) Dormers should not be introduced on visible elevations where none existed originally.
- 6) Retain elements, such as chimneys, skylights, and light wells that contribute to the style and character of the building.
- 7) When replacing a roof, match original materials as closely as possible.
 - a) Avoid, for example, replacing a standing-seam metal roof with asphalt shingles, as this would dramatically alter the building's appearance.
 - b) Artificial slate is an acceptable substitute when replacement is needed.
 - c) Do not change the appearance or material of parapet coping.
- 8) Place solar collectors and antennae on non-character defining roofs or roofs of non-historic adjacent buildings.
- 9) Do not add new elements, such as vents, skylights, or additional stories that would be visible on the primary elevations of the building.



Board of Architectural Review (BAR)
Certificate of Appropriateness

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130

RECEIVED
SEP 25 2018

NEIGHBORHOOD DEVELOPMENT SERVICES

Please submit ten (10) hard copies and one (1) digital copy of application form and all attachments.
Please include application fee as follows: New construction project \$375; Demolition of a contributing structure \$375;
Appeal of BAR decision \$125; Additions and other projects requiring BAR approval \$125; Administrative approval \$100.
Make checks payable to the City of Charlottesville.
The BAR meets the third Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

Owner Name McGuffey Hill Homeowners Association Applicant Name Cathcart Property Management
Project Name/Description McGuffey Hill North Garage Parcel Number 330174100
Project Property Address 2ND STREET NW, CHARLOTTESVILLE, VA 22902

Applicant Information

Address: McGuffey Hill Condominiums
2nd Str. NW, Charlottesville, VA 22902
Email: jlinkous@cathcartgroup.com
Phone: (W) 434-282-2836 (C) 434-906-7388

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

Jennifer Linkous 9/24/18
Signature Date

JENNIFER LINKOUS 9/24/18
Print Name Date

Property Owner Information (if not applicant)

MHOA - President
Address: 307 E 2nd Street NW
Charlottesville, VA 22902
Email: r53j@virginia.edu
Phone: (W) 434-295-4716 (C)

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Ruth Stornetta 9-24-18
Signature Date

RUTH STORNETTA 9-24-18
Print Name Date

Do you intend to apply for Federal or State Tax Credits for this project? NO

Description of Proposed Work (attach separate narrative if necessary): Removal of deteriorating green roof to be replaced with a standing seam metal roof to match existing designs of buildings and south garage
List All Attachments (see reverse side for submittal requirements):

For Office Use Only
Received by:
Fee paid: Cash/Ck. #
Date Received:
Revised 2016
Approved/Disapproved by:
Date:
Conditions of approval:

McGuffey Hill North Garage Roof Replacement Description of Project

Request approval to replace the existing greenscape and rubber roof system at McGuffey Hill North Garage with a standing seam metal roof that matches all existing metal roofs within the complex.

- The current garage structure is metal decking with concrete overburden. The concrete is then covered with a rubber/epdm membrane and wood parapet walls. The roof system is failing and has deteriorated within.
- The proposed project is to remove the current membrane to expose the current concrete deck and wood parapet wall and to construct a standing seam metal roof, equivalent to the design of the metal roof of the existing South Garage structure that will be painted to match the existing metal roofs of all other buildings in the complex.
- The deck has been inspected for structural integrity and confirmed to be structurally sound.
- An engineered truss system will be installed over the deck with a vapor barrier between the truss and concrete.
- The truss system would be then decked using 5/8 OSB complying to 2015 IRC/IBC which exceeds the current code.
- The decking will be covered in its entirety by high temperature leak barrier, which is required underneath metal roofing, as not to melt.
- The area will then be sealed with Union Corrugated Metal Advantage Lock. This metal standing seam was chosen because of the structural panels. The color will be similar grey color to match the current roof of the other buildings. The metal will be completed with metal ridge vent.
- The gable end will be wrapped with contemporary vertical siding to compliment the design of the community.
- All exposed wood will be wrapped in non-corrosive metal to allow maintenance free finish with a prehung metal exterior door.
- Ice/snow guards will be installed on the garage side of the structure.
- The estimated cost is approximately \$65,000.00 - \$70,000.00.

McGuffey Hill North Garage Roof Replacement Description of Project

Sample of standing metal roof on a partial below ground level garage. Located at 2601 Huntington Road, Charlottesville, VA.



McGuffey Hill North Garage Roof Replacement Description of Project

Road view from Rolling Hills



McGuffey Hill North Garage Roof Replacement

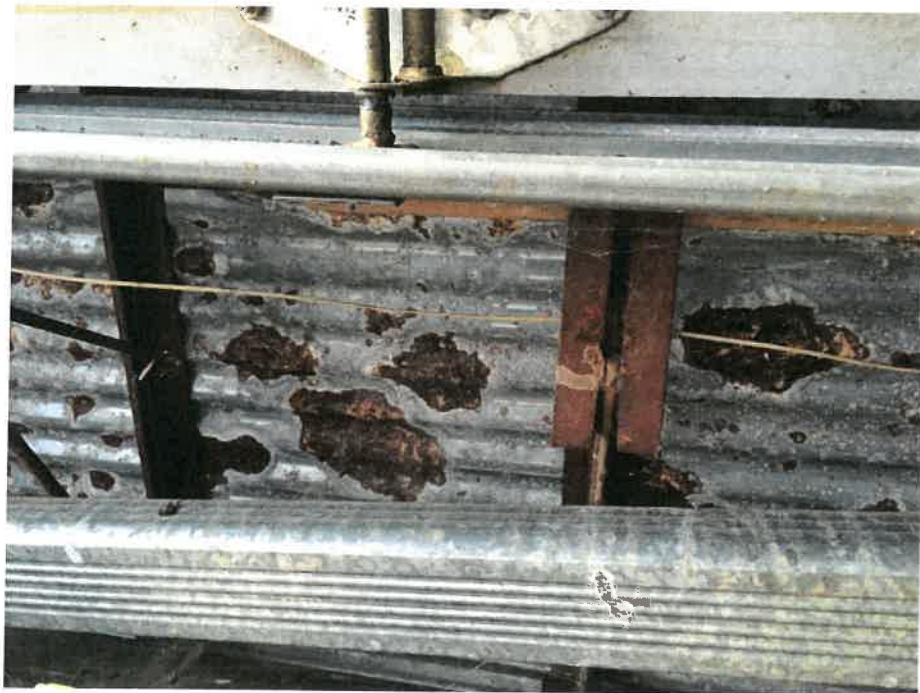
Existing North Garage

Front and top view of existing North Garage.



McGuffey Hill North Garage Roof Replacement Deteriorating Conditions

Water damage to concrete and metal lining



McGuffey Hill North Garage Roof Replacement Deteriorating Conditions



Moisture damage, rotting structures, encroaching root damage

McGuffey Hill North Garage Roof Replacement
Existing Metal Roofs

South Garage at McGuffey Hill



McGuffey Hill North Garage Roof Replacement
Existing Metal Roofs

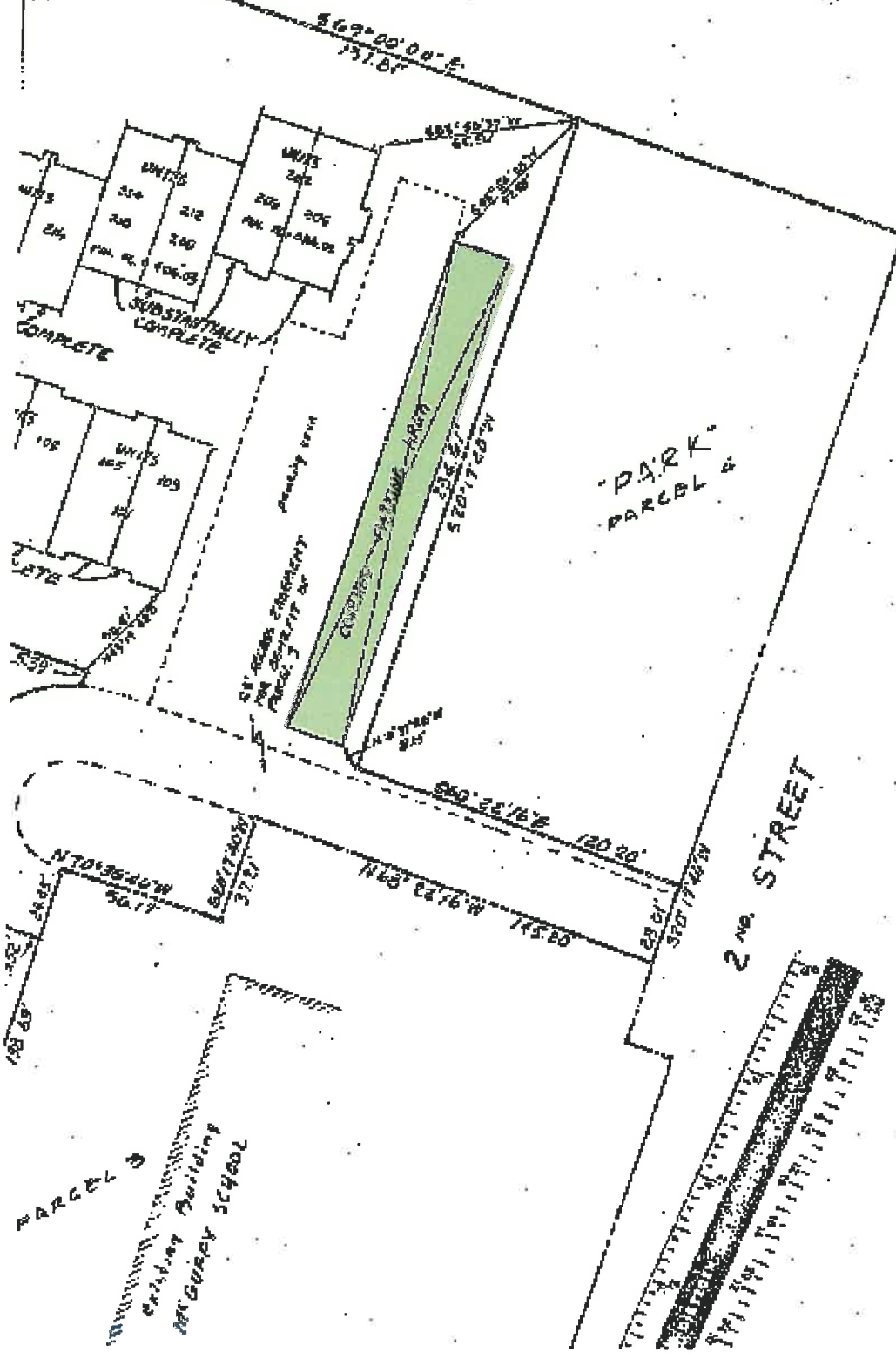
Building 301 Existing Metal Roof



BOOK 400 PAGE 524

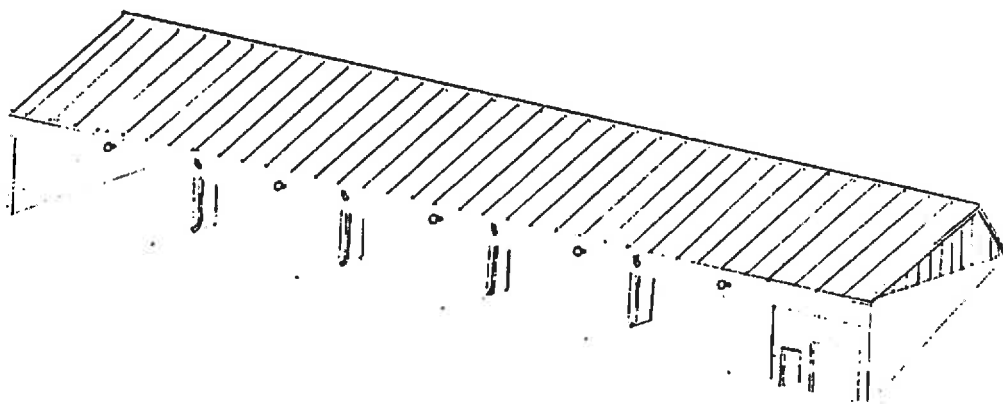
McGuffey Hill North Garage Roof Replacement Location of North Garage and adjacent park

107 STREET
D=13710.12'
T=14.86'
R=121.86'
A=28.05'

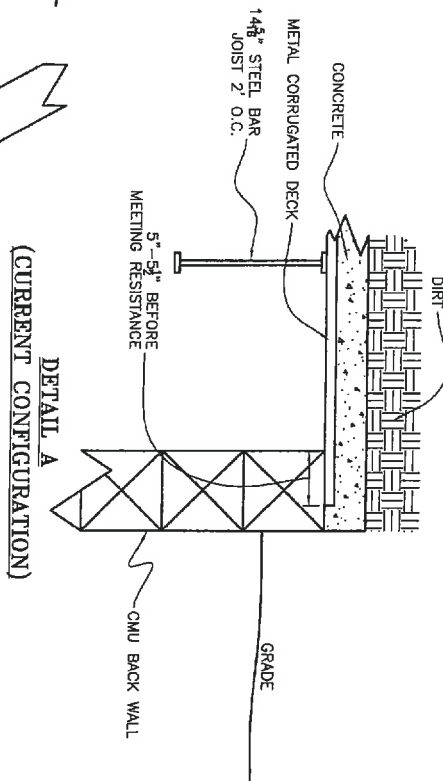
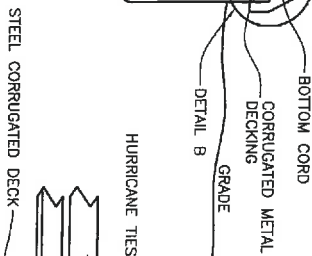
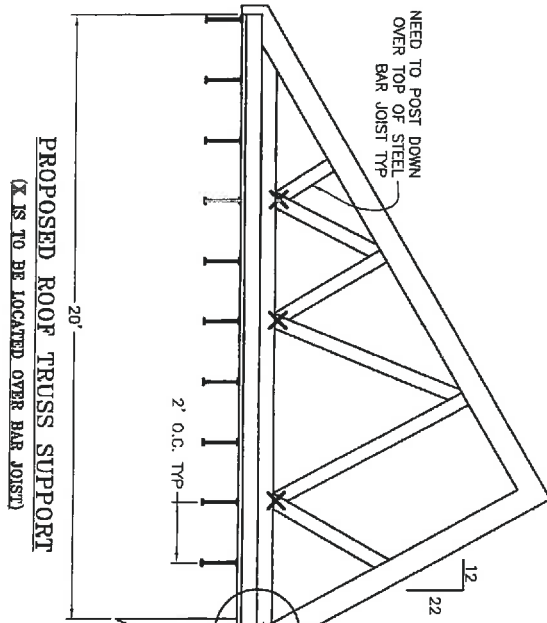
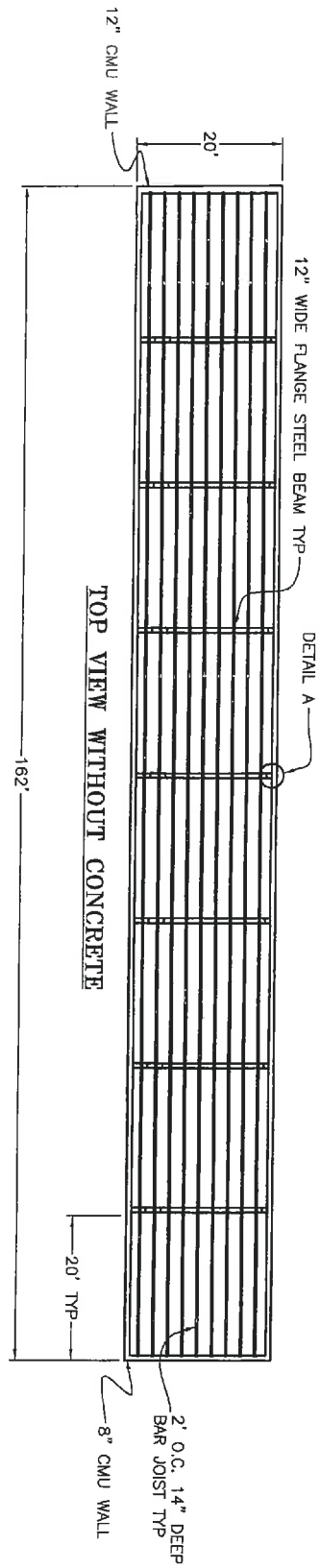


McGuffey Hill North Garage Roof Replacement
Roof Project Drawings

McGUFFEY HILL NORTH GARAGE



Design Drawings by Alexcom & Assovciates Inc.



NOTE: WHERE TRUSS WEB MEMBERS ATTACH TO BOTTOM CHORD - DESIGN SD AS TO POST DOWN OVER STEEL BEAM JOISTS



FLOOR PLAN AND DETAILS

201 2ND STREET NW
FOR AMERICAN HOME SPECIALISTS
CHARLOTTEVILLE, VA



ALEXCOM & ASSOCIATES, INC.

GEOTECHNICAL / CIVIL AND
STRUCTURAL ENGINEERS
11 DEBRUEN LANE
FREDERICKSBURG, VIRGINIA 22405
PHONE (540) 371-3157, FAX (540) 371-7920

DATE	9/14/13
REV.	9/14/16
REV.	9/14/16
SCALE	2" = 2'
PROJECT	NTS
DRAWING NO.	180585



Your Roof. For Life.™

ADVANTAGE-LOK II®



Description

Standing seam roofing panels have been used on traditional and contemporary homes for more than a century. Their clean, graceful lines have been an enduring favorite on a wide range of architecture. Advantage-Lok II is a premium standing seam panel that was designed with low profile ribs to increase strength and wind resistance. This product utilizes a high-strength snap-locking system and installs in the same manner as our original Advantage-Lok panels. It's a perfect choice for up-scale residential and commercial applications in severe weather areas.

Gauges

- 26, 24

Finish Options

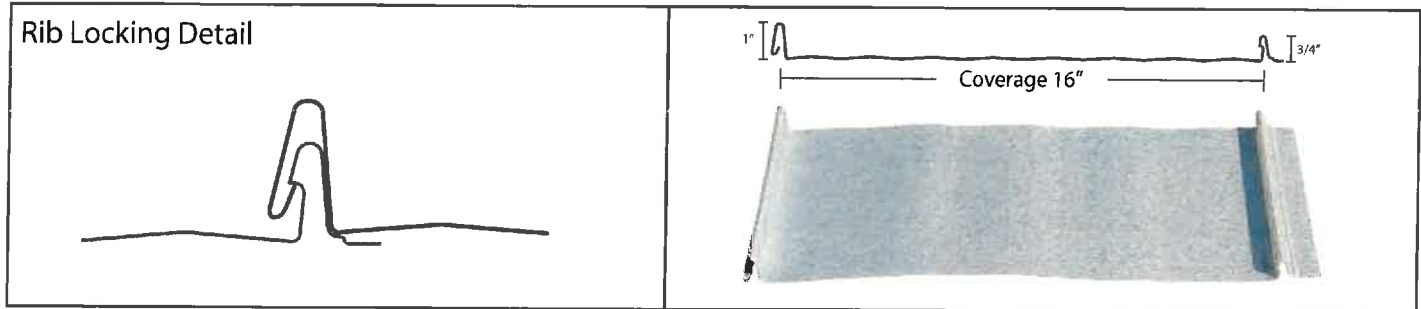
- PVDF (Kynar®) and Siliconized Modified Polyester Paints Available
- Energy Star Certified Colors Available
- Unpainted Galvalume®

Approvals and Certifications

- Metal Construction Association Certified
- Miami-Dade Approved
- Florida Building Code Approved
- Energy Star Certified
- Highest UL Ratings for Wind Uplift, Fire and Impact Resistance



PANEL DETAILS

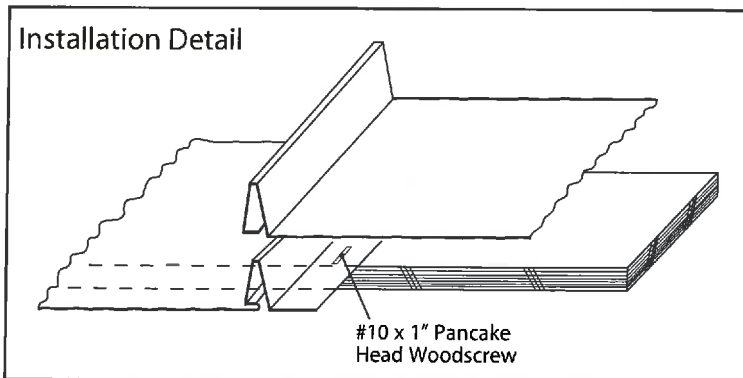


CERTIFICATIONS & TESTING

- Miami-Dade County NOA #11-0916.03
- Florida Building Code Approval FL7271.5 & FL15183.2
- UL 790 Fire Resistance Class A
- UL 2218 Impact Resistance Class 4
- UL 580 Uplift UL

INSTALLATION

Advantage-Lok II is a snap locking standing seam panel that's easy to install and ideal for residential and commercial applications. Panels are installed by fastening with pancake screws in the fastener dimple. The adjacent panel rib is simply snapped over the fastened panel which locks it into place and conceals the fasteners. Advantage-Lok II should be installed over solid decking with a minimum slope of 3:12.



BEFORE BEGINNING INSTALLATION OF THIS PRODUCT, CHECK LOCAL BUILDING CODES.

** For more information, call (888) MTL-ROOF or visit our website at www.unionmetalroofing.com **

25 YEAR LIMITED GALVALUME® WARRANTY



Union Corrugating Company warrants that its hot-dipped aluminum-zinc alloy-coated Galvalume® and Galvalume Plus® sheet steel with a coating weight of AZ50 sold for use as unpainted steel building panels erected within the continental United States, Alaska, Hawaii, Canada or the Caribbean, and exposed to normal atmospheric conditions, WILL NOT rupture, fail structurally, or perforate due to corrosion within a period of 20 years and 6 months after shipment from our mill. For a coating weight of AZ55, this period is extended to 25 years and 6 months.

This warranty **DOES NOT APPLY** to sheets exposed at any time to corrosive or aggressive atmospheric conditions, including, **BUT NOT LIMITED TO**:

1. areas subject to salt water marine atmospheres or to constant spraying of either salt or fresh water.
2. areas subject to fallout or exposure to corrosive chemicals, fumes, ash, cement dust, animal waste or its decomposition by-products, carbon black, or fallout from copper, lead, nickel or silver mining or refining operations.
3. areas subject to water run-off from lead or copper flashings or piping or areas in contact with lead or copper.
4. conditions/circumstances where corrosive fumes or condensates are generated or released inside the building.

This warranty **DOES NOT APPLY** in the event of:

1. bends less than 2T inside bend diameter for sheet thicknesses 0.030" and thinner, and less than 4T for sheet thicknesses greater than 0.030".
2. roof or sections of the roof flatter than 1/4:12 slope.
3. mechanical, chemical, or other damage sustained during shipment, storage, forming, fabrication, or during or after erection.
4. forming which incorporates severe reverse bending or which subjects the metallic coating to alternate compression and tension.
5. failure to provide free drainage of water, including, but not limited to, internal condensation, from overlaps and from all other surfaces of the sheets or panels.
6. failure to remove debris from overlaps and from all other surface of the sheets or panels.
7. damage caused to the metallic coating by improper forming (including, but not limited to, roll forming, press braking or embossing) or scouring or cleaning procedures.
8. deterioration of the panels caused by contact with green or wet or pressure-treated lumber, or wet storage stain caused by water damage or condensation.
9. presence of damp insulation, soil, vegetation or other corrosive materials in contact with or in close proximity to the sheets or panels.
10. deterioration to the panels caused by directly or indirectly by panel contact with fasteners or by overdriving the fasteners so as to damage the panel. Selection of suitable long-lasting fasteners to be used with Galvalume® and Galvalume Plus® panels rests solely with the Buyer. Fasteners are to be electrically insulated from the panel surface (e.g., with elastomeric grommets) to prevent dissimilar metal contact.
11. failures caused by acts of God, falling objects, external forces, explosions, fires, riots, civil commotions, acts of war or radiation.

This warranty shall be subject to the stipulations, limitations, and conditions hereinafter set forth:

1. This warranty shall be interpreted and enforced in accordance with the laws of the state of Maryland, USA, without regard to principles regarding conflicts of law, the courts of which State shall have exclusive jurisdiction and venue over the enforcement of this warranty. There is excluded from this warranty the application of the United Nations Convention on Contracts for the International Sale of Goods.
2. This warranty is contingent on the proper maintenance of the building, which maintenance is to be provided by the building owner.
3. Seller's liability for breach of this warranty and/or for the failure of material to conform, **whether due to Seller's negligent acts or omissions or otherwise**, shall be limited exclusively to the cost of either repairing nonconforming panels, or at Seller's sole option, of furnishing (FOB Seller's plant) sufficient sheet product to enable Buyer to fabricate replacement panels for the nonconforming panels.
4. Seller will be responsible for replacement of material only. Seller shall not in any event be liable for the cost of the labor expended by others on any nonconforming material or for any special, indirect or consequential damages to anyone caused by nonconforming material.
5. This warranty also applies to the material repaired or used to replace the nonconforming material, but only for the unexpired portion of the warranty period applicable to the original material.
6. Buyer shall promptly inspect the material and use reasonable care to protect any rejected material until Seller has time to conduct its own inspection and make or direct disposition.
7. In order for Seller to honor any claim on material shipped, Buyer must promptly document the claim with identification of material, date of installation, Seller's order number, coil number, invoice number and date of shipment and must give Seller a reasonable opportunity to inspect the material claimed to be nonconforming.
8. Except to the extent provided under applicable law, (a) Seller extends this warranty solely to the Buyer; and (b) this warranty is non-transferable and non-assignable.
9. Seller reserves the right to terminate this warranty at any time (except as to orders already accepted) upon the giving of written notice thereof.

SELLER MAKES NO GUARANTEES OR WARRANTIES, EITHER EXPRESSED OR IMPLIED, BEYOND THE DESCRIPTION ON THE FACE HEREOF, AND ALL OTHER WARRANTIES, INCLUDING, WITHOUT LIMITATION, WARRANTIES OF FITNESS FOR PARTICULAR PURPOSE AND MERCHANTABILITY, ARE HEREBY EXCLUDED; AND SELLER SHALL HAVE NO OTHER LIABILITY WITH RESPECT TO ANY OTHER GUARANTEES OR WARRANTIES.



Your Roof. For Life.™

40 Year and Lifetime Warranty SMP* Paint Colors

(See reverse for availability by product.)



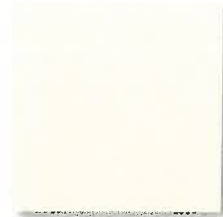
Arctic White
TSR† = 63%



White
TSR = 46%



Ivory
TSR = 58%



Light Stone
TSR = 51%



Sahara Tan
TSR = 36%



Pearl Gray
TSR = 35%



Cocoa Brown
TSR = 29%



Burnished Slate
TSR = 32%



Light Brown
TSR = 36%



Clay
TSR = 32%



Charcoal Gray
TSR = 31%



Black
TSR = 25%



Patriot Red
TSR = 36%



Terracotta Red
TSR = 32%



Burgundy
TSR = 25%



Copper Metallic‡
TSR = 46%



Gallery Blue
TSR = 25%



Royal Blue
TSR = 31%



Evergreen
TSR = 26%



Marine Green
TSR = 30%

Non-Painted



Acrylic Coated Galvalume
TSR = 55%



Denotes Energy Star™ certified high reflectance color which can reduce cooling costs.

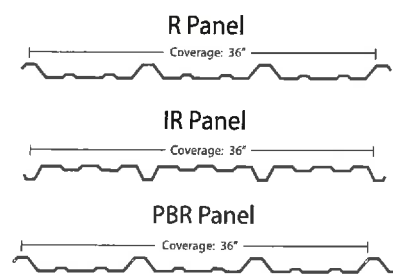
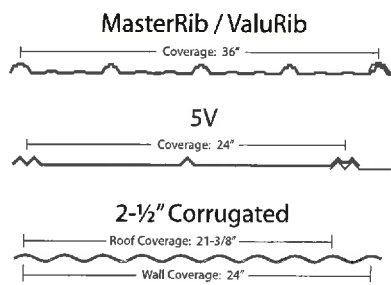
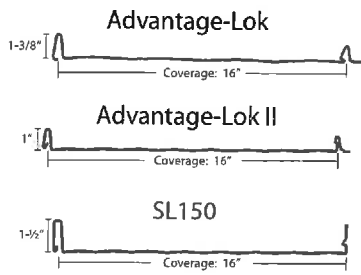


Union utilizes the most advanced Siliconized Modified Polyester paint system in the industry, based on Akzo Nobel's Ceram-A-Star 1050 technology.

NOTE: Colors shown have been matched as accurately as possible to actual finish. For exact color match, please request a metal color sample. Availability of colors and materials is subject to change. Most panels available are available in bare galvanized or bare galvalume.

† TSR = Total Solar Reflectance. An Energy Star certified color must meet the following TSR requirements: 25% initial, 15% after 3 years of exposure testing.

‡ Premium color. To ensure proper color match, orders for metallic colors should be placed so that they come from the same batch.



PANEL	GAUGE	Arctic White	Black	Burgundy	Burnished Slate	Charcoal Gray	Clay	Cocoa Brown	Copper Metallic	Evergreen	Gallery Blue	Ivory	Light Brown	Light Stone	Marine Green	Patriot Red	Pearl Gray	Royal Blue	Sahara Tan	Terracotta Red	White	Acrylic Coated Galvalume	
Advantage-Lok	26	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
Advantage-Lok II	26	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
SL150	26	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
MasterRib	29	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
MasterRib	26	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
ValuRib*	29	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
5V	29	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
5V	26	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
2-1/2" Corrugated	29	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
2-1/2" Corrugated	26	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
R Panel	26	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
IR Panel	26	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
PBR Panel	26	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•

* ValuRib colors are not Energy Star certified

PERFORMANCE DATA

COLOR	INITIAL SOLAR REFLECTANCE	3 YR. TOTAL SOLAR REFLECTANCE	INITIAL THERMAL EMITTANCE	SOLAR REFLECTANCE INDEX
Arctic White	0.65	0.63	0.87	78
Black	0.25	0.25	0.85	24
Burgundy	0.25	0.25	0.87	24
Burnished Slate	0.31	0.32	0.88	32
Charcoal Gray	0.30	0.31	0.88	31
Clay	0.33	0.32	0.87	35
Cocoa Brown	0.28	0.29	0.89	29
Copper Metallic	0.46	0.46	0.86	52
Evergreen	0.26	0.26	0.88	26
Gallery Blue	0.25	0.25	0.87	24
Ivory	0.60	0.58	0.87	71
Light Brown	0.35	0.36	0.88	38
Light Stone	0.52	0.51	0.87	60
Marine Green	0.30	0.30	0.87	31
Patriot Red	0.35	0.36	0.88	38
Pearl Gray	0.37	0.35	0.87	40
Royal Blue	0.30	0.31	0.87	31
Sahara Tan	0.36	0.36	0.87	39
Terracotta Red	0.32	0.32	0.87	33
White	0.56	0.46	0.87	66
Acrylic Coated Galvalume	0.67	0.55	0.14	56

ENERGY STAR Requirements

Initial Solar Reflectivity
 Steep Slope Roofs (>2:12) ≥ 0.25
 Low Slope Roofs (≤2:12) ≥ 0.65
 3 Year Solar Reflectivity
 Steep Slope Roofs (>2:12) = 0.15
 Low Slope Roofs (≤2:12) = 0.50

LEED 2.2 Requirements

Solar Reflectance Index (SRI)
 Steep Slope Roofs = ≥ 29
 Low Slope Roofs = ≥ 78

PLANT LOCATIONS

Corporate Headquarters 701 S. King St. Fayetteville, NC 28301 (888) 685-7663	490 Oak Road Ocala, FL 34472 (800) 331-3584
101 Lexington Ave. Spencer, NC 28159 (800) 526-8156	1463 Interplex Circle Ceres Industrial Complex Vicksburg, MS 39183 (888) 661-0577
200 Coe Rd. Anderson, SC 29624 (800) 544-5169	1801 West High Street Piqua, OH 45356 (877) 615-9812
3365 US Hwy 41 South Tifton, GA 31794 (800) 962-9131	600 N. Sara Road Suite B Yukon, OK 73099 (866) 373-5286
12435 James Madison Hwy Orange, VA 22690 (800) 762-6785	1019 Underwood Rd. Olyphant, PA 18447 (866) 695-6455

40 YEAR LIMITED PAINT WARRANTY



UNION CORRUGATING COMPANY ("Union") extends the following limited warranty to Buyer for Warranted Finish used to coat coils of metal fabricated into prepainted metal building components. It applies only to goods used on wood frame buildings and on architectural, commercial, pre-engineered or residential buildings, which are installed in the United States, Canada and Mexico.

SECTION A - TERMS AND CONDITIONS:

Although it is recognized by UNION CORRUGATING and Buyer that most coatings, including warranted finish will fade and change in appearance to some degree over a period of time in outdoor installations, and that such changes may not be uniform between surfaces not equally exposed, Union warrants that the goods covered by this warranty will resist natural weathering to the extent that they will conform to the performance standards listed below during a period of 40 years after coating for film integrity and a period of 30 years after coating for both chalking and color change, provided that all conditions of this warranty are first met. Provisions (1) through (3) below apply to buildings installed north of the 15° parallel of latitude in the Northern Hemisphere. Only provision (1) applies to buildings installed south of this latitude:

1. Warranted Finish will not peel, crack, check, or flake to an extent that is apparent on ordinary outdoor visual observation; and
2. Vertical installations of Warranted Finish will not change color more than 5 NBS (Hunter) units, and non-vertical installation will not change color more than 7 NBS (Hunter) units following field installation. Color measurements are to be made per ASTM D 2244 and only on clean surfaces after removing surface deposits and chalk per ASTM D 3964; and
3. Vertical installations of Warranted Finish will not chalk more than a number 8 rating, and non-vertical installations will not chalk more than a number 6 rating, when measured per ASTM D-4214, Method A.
4. This limited warranty applies only to paint which is applied to first quality Galvalume™ or Galvanized Steel.

EXCEPTIONS:

This is an anti-weathering limited warranty and does not apply to other causes of degradation, including:

1. Warranted Finish which has suffered scratching or abrasion or impact by a hard object; has been abused, altered, modified, used in a manner not originally intended or stored contrary to instructions of UNION CORRUGATING, or good industry practice; is damaged due to moisture entrapment during transit or storage; is stored or installed in a way which allows for standing water on the coating or in any chemically aggressive environment containing fumes, ash, cement dust, carbon black, salts or other chemicals, whether naturally occurring or caused by man; is stored or installed in an environment that includes a high degree of humidity, sand, dirt, or grease, whether naturally occurring or caused by man; is stored or installed in a way which allows contact with animals and/or animal waste or its decomposition products; is stored or installed in an area, or in such a way, that damage can occur due to poor air circulation; is stored or installed in areas which are subject to fallout from copper, lead, nickel or silver mining or refining operations; has suffered any damage caused by acts of God, radiation, falling objects, explosion, fire, riots, civil commotions, acts of war or other external forces;
2. Warranted Finish which suffers from cut edge exposure; corrosion of the substrate; or the development of any other condition between the coating and the substrate which causes the coating to degrade or delaminate, including any failure or deficiency in the cleaning process or pretreatment;
3. Warranted Finish which is installed within 1000 meters of a salt water or other marine environment, except in cases where the building owner provides documentation of annual maintenance of the coated surfaces, (including an annual "sweet water" [fresh tap water] rinse, in accordance with AAMA610.1.1079), in which case warranty coverage for color change and chalk [Section C: Terms (2) and (3)] remains in effect. Written documentation records must be kept by the building owner according to AAMA610.1.1979 annual sweet water wash or the warranty becomes void.
4. Union Corrugating Company products with a gray backer or which are identified as "#2" or as "seconds" on a Union Corrugating Company invoice are not warranted.

SECTION B - DISCLAIMER OF OTHER WARRANTIES:

THE LIMITED WARRANTY DESCRIBED IN THIS DOCUMENT SHALL BE IN LIEU OF ANY OTHER WARRANTY, WHETHER EXPRESSED OR IMPLIED, INCLUDING BUT NOT LIMITED TO, ANY IMPLIED WARRANTY OR MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

SECTION C - REMEDY FOR CLAIMS:

Buyer's remedy for any breach of this warranty by Union is recovery of all or part of the cost of materials to replace or refinish, at Union's option, the defective portion of the field installation as set forth in the allocation schedule below. Buyer shall be liable to Union and any other third parties for all installation or other labor charges in connection with any replacement or refinishing.

UNION SHALL NOT IN ANY EVENT BE LIABLE FOR ANY INSTALLATION, LABOR, OR OTHER COSTS. Refinishing shall be done in accordance with standard industry practice to provide a uniformed appearance with the remainder of the installation. After replacement or refinishing, the repaired area shall be deemed to have been installed as of the original installation date for purposes of the application of this warranty to the repaired area.

Buyer must provide Union with at least two competitive bids for replacement or refinishing of materials, whichever is elected by Union. Union may authorize Buyer to proceed under one of the bids and will pay Buyer its share of the approved bid price upon receipt of a full and final release of Union from any further liability for the failure under repair. Union also reserves the right to reject those bids and to call for the materials of any party to make repairs.

SECTION D - LIMITATIONS OF REMEDIES:

THE PARTIES AGREE THAT THE BUYER'S SOLE AND EXCLUSIVE REMEDY AGAINST UNION SHALL BE FOR THE REPAIR OR REPLACEMENT OF THE DEFECTIVE PORTION OF THE WARRANTED FINISH AS PROVIDED IN SECTION D ABOVE. THE BUYER AGREES THAT NO OTHER REMEDY (INCLUDING, BUT NOT LIMITED TO, INCIDENTAL OR CONSEQUENTIAL DAMAGES FOR LOST PROFITS, LOST SALES, INJURY TO PERSON OR PROPERTY, OR ANY OTHER INCIDENTAL OR CONSEQUENTIAL LOSS) SHALL BE AVAILABLE TO HIM.

SECTION E - CLAIMS:

In the event of any claim under this limited warranty, Buyer must demonstrate to Union's satisfaction that the failure was due to a breach of this limited warranty. Buyer has the responsibility to provide written notice containing particulars sufficient to identify the Buyer and all reasonably obtainable information with respect to the time, place and circumstance, including a video and/or photographs of the claimed defective coating for Union's inspection. Such records shall at a minimum include the date of purchase, the place of purchase, and Union's invoice. These items shall be given by the Buyer to Union within thirty (30) days of receiving notice of the claimed violation of this Limited Warranty. The Buyer will arrange for Union to have, during normal business hours, complete access to the Warranted Finish in question. The Buyer shall further provide access to Union to any information and personnel having knowledge of or information pertaining to the claimed violation of this Limited Warranty. It is a condition to any obligation of Union under this limited warranty that the Buyer shall have fully paid the agreed contract price for the products with Warranted Finish sold by Union to Buyer.

SECTION F - MERGER CLAUSE:

ANY AND ALL REPRESENTATIONS, PROMISES, WARRANTIES OR STATEMENTS BY UNION'S AGENTS THAT DIFFER IN ANY WAY FROM THE TERMS OF THIS WRITTEN LIMITED WARRANTY SHALL BE GIVEN NO FORCE OR EFFECT. ANY SUCH REPRESENTATIONS, PROMISES, WARRANTIES OR STATEMENTS DO NOT CONSTITUTE WARRANTIES, SHALL NOT BE RELIED UPON BY THE BUYER AND ARE NOT PART OF THIS LIMITED WARRANTY OR OF THE CONTRACT FOR SALE OF THE GALVALUME™ OR GALVANIZED STEEL PANELS CONTAINING THE WARRANTED FINISH BETWEEN UNION AND BUYER. THIS LIMITED WARRANTY SHALL BE DEEMED TO BE A PART OF THE CONTRACT OF SALE BETWEEN UNION AND BUYER FOR THE GALVALUME™ OR GALVANIZED STEEL PANELS WITH THE WARRANTED FINISH SOLD BY UNION TO THE BUYER. THE ENTIRE AGREEMENT AND UNDERSTANDING BETWEEN UNION AND THE BUYER WITH RESPECT TO THE WARRANTED FINISH IS EMBODIED IN THIS WRITING. THIS WRITING CONSTITUTES THE FINAL EXPRESSION OF THE PARTIES AGREEMENT AND IS A COMPLETE AND EXCLUSIVE STATEMENT OF THE TERMS OF THAT AGREEMENT.

SECTION G - WARRANTY NOT TRANSFERABLE:

This Limited Warranty is issued only to the original Buyer and is nontransferable and/or non-assignable. Should the Buyer become insolvent, bankrupt, make an assignment for the benefit of its creditors, or for any reason discontinue its normal or regular business practices, this warranty shall forthwith become null and void and have no legal effect.

SECTION H - NON WAIVER:

In any instance or series of instances, the determination of Union not to exercise any right hereunder or not to require compliance with any term or condition hereof, shall not constitute a waiver of Union's rights to exercise all rights and to require compliance with all terms and conditions herein on all occasions prior and subsequent to such instance or instances, and no such determination or series of determinations by Union shall constitute an alteration or waiver of the rights and liabilities of Union and Buyer as otherwise set forth herein.

SECTION I - NORTH CAROLINA LAW:

The rights and obligations of Union and Buyer hereunder shall be governed by and construed in accordance with the laws of the State of North Carolina.



E-Rail® Snow Retention Systems

For Standing Seam Metal Roofs

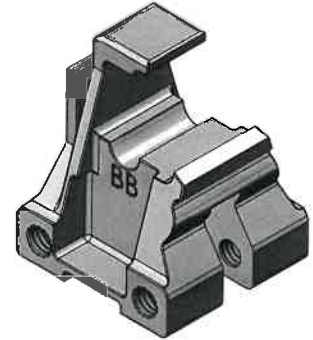
Description:

The Berger E-Casting is a device designed to be used with tubing to create a Rail System for the prevention of damage caused by the sliding of snow and ice on standing seam metal roofs. The E-Casting is designed to accommodate a seam of up to ½" (0.516") thick two inches (2") high.

The tubing for the E-Rail is available in Stainless Steel, TBSS20 (1"x 1" x 20') and Painted Steel, TBCR24P (1"x 1" x 24').

The technical information is for informational purposes only and is not intended to replace the manufacturer's recommendations for a particular project. We will provide layout layouts free of charge upon receipt of customer provided roof measurements. Manufacturer is not responsible for improper installation, or installation in insufficient quantities.

Every roof is not the same! Call today for a custom layout.



General Information:

Snow guards are devices that are attached to the roof structure in order to uniformly retain and hold snow in place on the roof area. The snow guards need to be applied in sufficient quantity according to a prescribed pattern in order to be effective. Snow Guards are intended to prevent snow movement and provide for the controlled melt and breakdown of the snow mass into smaller sections.

Snow guard placement will vary from region to region and will be influenced by roof pitch, the lengths of roof runs and roof features. Local installation customs may not be the best guide for placement. Additional information can be found in sheet metal and air conditioning contractors' national association (SMACNA) architectural sheet metal manual.

Berger Building Products, Inc. recommends that a qualified roofing contractor be employed to install these products. Roofing professionals have the proper equipment, knowledge and ability to complete the task in a safe and satisfactory manner. The applicator is responsible for compliance with regulations governing local building ordinances and safety regulations.

Safety Hazards

- Roofing can be hazardous! Serious injury or fatality can result from falls or electrocution from contacting overhead wires. Observe ladder safety rules for load, positioning and security.
- Please make sure all roof surfaces are dry and clean before working. Avoid working in excessive heat, high wind or when there is a threat of lightning. Never work alone.
- Do not allow material to be unsecured on the roof. Falling objects are dangerous.
- Prior to application, Berger Building Products, Inc. requires that the installer evaluate all products in order to determine fitness for use.

Do not use Competing/Dissimilar Metals with each other!

Galvanic corrosion will occur when dissimilar metals are in contact in the presence of an electrolyte. Water in the form of condensation, rain or snow is an electrolyte. Water that flows over copper becomes electronegative and will cause corrosion of aluminum or steel. Copper, brass or stainless steel fasteners or nails must be used with copper or brass applications. Make sure rivets are solid copper; do not use copper plated steel rivets in copper or brass assembly. Do not use aluminum or galvanized nails to secure any copper products. Corrosion will be more rapid in the presence of salts such as ocean coastal areas or chlorinated water, acid rain, and polluted industrial atmospheres. Accelerated corrosion will occur when a larger area of an electronegative (cathode/protected) element contacts a small electropositive (anodic/corroded) element.

Warranty/Disclaimer

Berger Building Products, Inc. (BBPI) warrants that the products it manufactures shall be free from material defects. Should any of the products prove defective, the obligation of BBPI under this warranty shall be limited to replacement of the defective product or at our option the cost of the product originally shipped by Berger. This warranty is expressly in lieu of all other warranties expressed or implied including the warranties of merchantability and fitness for a particular purpose. There are no warranties, which extend beyond the description on the face hereof. BBPI in no event, whether claim is based on warranties, contract negligence or otherwise, is liable for incidental or consequential damages.

Berger Building Products, Inc (BBPI) will not be responsible for misapplication or modification of product, incorrect material or defects that were obvious at time of installation. Any consequential damage, schedule delays, additional labor, and or equipment rental costs will not be BBPI responsibility. Any BBPI product warranty claim is limited solely to Berger Building Products, Inc.

Berger Building Products, Inc. (BBPI) reserves the right to change design and specification of our products without prior notification or alteration of literature. Materials may be revised to improve strength and corrosion properties and incorporated as a running change without obsolescence.

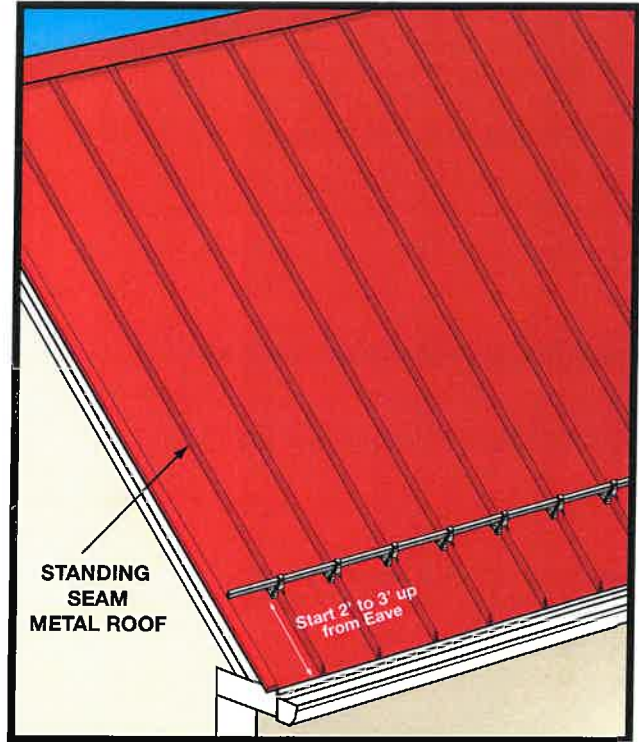
E-Rail® Snow Retention Systems Installation Instructions for Metal Roofs:

Berger Rail Systems are the most customizable snow rails available. E-Castings can be placed up to 48" apart, depending on the location of the building and length of the panels. Call today for your free consultation.

Every guard will not fit every roofing application. It is important to know the size and thickness of your standing seams prior to selecting a snow guard.

Installation:

1. Measure correct distance and snap a straight line to mark seam for casting position.
2. E-Castings are furnished with a factory-installed oval and dish tipped setscrew combination, which should be tightened in place with a 7/32" hex-bit socket.
3. Torque will vary depending on the type and gauge of the metal roofing; the recommended method for determining proper torque is to install one first, with the setscrews on the uphill side. After tightening the setscrews, loosen and remove the unit, and inspect the indentations created in the metal to see that proper spherical indentation was obtained. **Over tightening can cause damage to snow guard resulting in failure. Maximum torque 28 ft lbs.**
4. Start and end each run of rail with an E-Casting
5. After Castings are installed, fit the square tubing rails into the receiver pockets.
6. The rail in the lowest position of the standing seam, rail must be cut to the width of the metal roof panel seams. A dab of Surebond Everseal (SB-190), or high quality sealant may be used in the receiver pockets to ensure a snug fit. This is recommended when using painted tubing.
7. For the upper rails, install the full length of the rail into the receiver pockets and place a black plastic end cap into each side of rail.
8. The rails can be butted up against each other, but do not connect. Butt termination should be at the centerline of guard. Rails can overlap the casting up to halfway across the metal panels. E.g. if your panel is 18" wide, the tubing can run 9" past the castings.
9. After installing the upper rail, pre-drill a hole to accommodate a #8 x 0.50" self-tapping on each end of the top section of rail. This screw should be on the outside of the furthest castings on the rail tubing to help prevent the section of rail from sliding horizontally. Rule of thumb; place one wherever there is an end cap. Some contactors have used adhesive in the receiver pocket to achieve the same results. However, this may not be feasible during winter.



The illustration shown is typical for a rafter run of no more than 20 feet in an area with a ground snow load no more than 30 psf. Your actual layout may be different. If your project exceeds this criteria, contact Berger for a free consultation.

E-Rail® Snow Retention Systems Installation - Layouts:

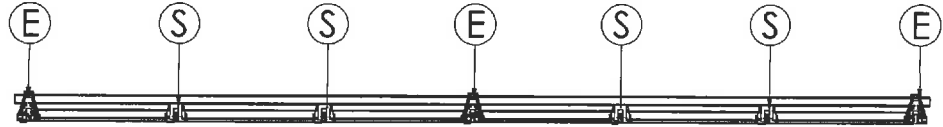
Berger S-Castings can be used with E-Rail to supplement the rails between the seams.

Typical Spacing for 2 RAIL Configurations – 16" Panels

for a rafter run of no more than 20 feet. E-Castings can be placed up to 48" apart, depending on the location of the building and length of the panels. Call today for your free consultation.

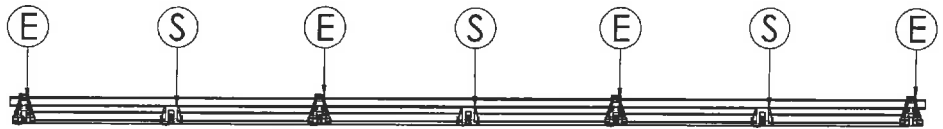
Areas of light snow:

2 rails - 1 rail above the seam
and 1 rail between the seams



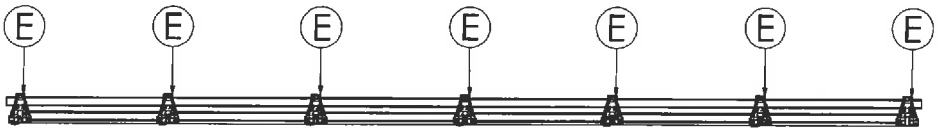
Areas of moderate snow:

2 rails - 1 rails above the seam
and 1 rail between the seams



Areas of heavy snow:

2 rails - 1 rails above the seam
and 1 rail between the seams

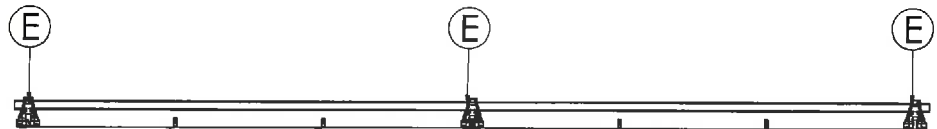


Typical Spacing for 1 RAIL Configurations – 16" Panels

for a rafter run of no more than 20 feet. E-Castings can be placed up to 48" apart, depending on the location of the building and length of the panels. Call today for your free consultation.

Areas of light snow:

1 rails above the seam



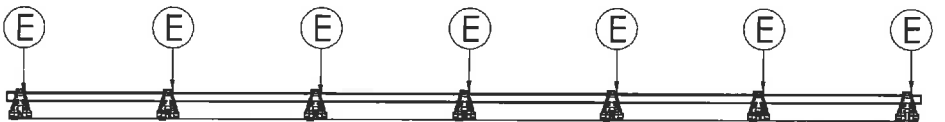
Areas of moderate snow:

1 rails above the seam



Areas of heavy snow:

1 rails above the seam



McGuffey Hill North Garage Roof Replacement
History of Existing Structure

CITY OF CHARLOTTESVILLE
"A World Class City"



Department of Neighborhood Development Services

City Hall • P.O. Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.org

December 22, 2006

Ruth Stornetta
307-C 2nd Street NW
Charlottesville, VA 22902

BAR 05-11-02
200 2nd Street NW
TM 33 P 174
Rebuilding McGuffey Park
Kristen Suokko, Friends of McGuffey Park, Applicants/
City of Charlottesville, Owner

Dear Mr. O'Shea,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on December 19, 2006.

The BAR voted (7-0) to approve your application in concept with the stipulation that the following details come back to the BAR for approval:

- (1) The fence (another style, or a modification of the Omega style with landscaping; and it should be part of the garden);
- (2) The planting trays and their arrangement;
- (3) Show the green roof design in better context with the park design.

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decisions. Written appeals should be directed to Jeanne Cox, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

Please submit the requested information by a regular submittal deadline to get on the following BAR agenda.

If you have any questions, please contact me at 970-3130 or scala@charlottesville.org.

Sincerely yours,

A handwritten signature in cursive script that reads "Mary Joy Scala".

Mary Joy Scala
Preservation and Design Planner

cc:

Richard Franzen
c/o McGuffey Hill
209A 2nd Street NW
Charlottesville, VA 22902



Board of Architectural Review (BAR) Certificate of Appropriateness

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Email scala@charlottesville.org

Please submit ten (10) hard copies and one (1) digital copy of application form and all attachments.
Please include application fee as follows: New construction project \$375; Demolition of a contributing structure \$375;
Appeal of BAR decision \$125; Additions and other projects requiring BAR approval \$125; Administrative approval \$100.
Make checks payable to the City of Charlottesville.
The BAR meets the third Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

Owner Name McGuffey Hill Homeowners Association Applicant Name Cathcart Property Management
Project Name/Description McGuffey Hill North Garage Roof Replacement Parcel Number 3301741V0
Project Property Address 2nd Street NW, Charlottesville VA 22902

Applicant Information

Address: McGuffey Hill Condominiums
2nd Street NW
Email: jlinkous@cathcartgroup.com
Phone: (W) 434-282-2836 (C) 434-906-7388

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

Jennifer Linkous 6/27/2017
Signature Date

Jennifer Linkous 6/27/17
Print Name Date

Property Owner Information (if not applicant)

Address: 307C McGuffey Hill
2nd Street NW, Charlottesville VA
Email: rs3j@virginia.edu
Phone: (W) 434-295-4916 (C) _____

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Ruth Stornetta 6/27/17
Signature Date

Ruth Stornetta
Print Name President Date

Do you intend to apply for Federal or State Tax Credits for this project? NO

Description of Proposed Work (attach separate narrative if necessary): Removal of Green Roof and replacement of new roof material consisting of 60 mil GAF TPO felt back membrane roof at North Garage.

List All Attachments (see reverse side for submittal requirements):

For Office Use Only	Approved/Disapproved by: _____
Received by: _____	Date: _____
Fee paid: _____ Cash/Ck. # _____	Conditions of approval: _____
Date Received: _____	_____
Revised 2016	

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
December 19, 2006**



**Certificate of Appropriateness Application
BAR 06-12-02
2nd Street NW
TM 33 P 174.1
Green roof over garage at McGuffey Hill Condos
Ruth Stornetta, Applicant/ Richard Franzen, Owner**

Background

The McGuffey Condos were added to the North Downtown ADC District in January 2006. They are non-contributing buildings built in the early 1980's. The recent architectural survey is attached.

Application

The applicants are seeking approval of installation of a "green roof" over the existing McGuffey Condos community parking garage adjacent to McGuffey Park. The work is planned to take place in parallel with the upcoming renovation of the park. The roof is visible from the park.

The existing parapet wall on the west side will be removed to 1 foot above the deck. The existing posts and cable will be removed from the east side. Both sides will have new Omega 2 fencing, 3 ft – 6 inches high.

The existing overburden and roofing will be removed. The concrete substrate will be repaired, and a new roof membrane and flashing added. The existing stucco will be repaired on the remaining parapet. A new stucco finish will be added to the inside of the parapet walls.

Pre-planted roof trays of vegetation, including sedum, ornamental grasses, and shrubs, will be added to give a structured appearance to the green roof.

Discussion

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of*

- Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
 - (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
 - (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
 - (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Guidelines for New Construction:

P. 3.2 Sustainability

Sustainability means meeting the needs of the present without compromising the ability of future generations to meet their own needs. *Green building* means building practices that use energy, water, and other resources wisely. The City of Charlottesville and the Board of Architectural Review support the principles of green building and sustainable design in order to create a community that is healthy, livable, and affordable:

- Mixed use development provides an alternative to sprawl that allows residents to live within walking distance of activities, thereby reducing time spent in the car.
- Infill development is an efficient use of land that can provide diversity in housing sizes and types, and can revitalize neighborhoods.
- Adaptive reuse of a historic building or living in a pre-owned home reduces consumption of land and materials for new construction, and may reduce housing costs.
- Options for walking, bicycling and transit promote healthy living and reduce dependence on automobiles and energy use.
- Designing buildings for the local climate helps conserve energy.
- Durable building materials such as brick, wood, cementitious siding, and metal roofs are economical, and are compatible with the character of the community.
- Locally obtained building materials, rapidly renewable or recycled materials, non-toxic materials and finishes, and wood certified by the Forest Stewardship Council provide sustainable choices.
- Alternative construction techniques, such as structural insulated panels (SIPS), are energy efficient.
- Low impact development methods (porous pavement, rain gardens, vegetated buffers, green roofs) retain storm water on site and protect stream water quality by filtering runoff.
- Use of rating systems such as LEED, Energy Star, and EarthCraft House are encouraged.

Sustainability and preservation are complementary concepts, and both goals should be pursued. Nothing in these guidelines should be construed to discourage green building or sustainable design. If such a design is found to conflict with a specific guideline, the BAR shall work with the applicant to devise a creative design solution that meets the applicant's goals for sustainability, and that is compatible with the character of the district and the property."

Pertinent Guidelines for Site Designs & Elements include:

P.2.8 Garages, Sheds & Other Structures

1. *Retain existing historic garages, outbuildings, and site features.*
2. *Choose designs for new outbuildings that are compatible with the major buildings on the site.*

Recommendations

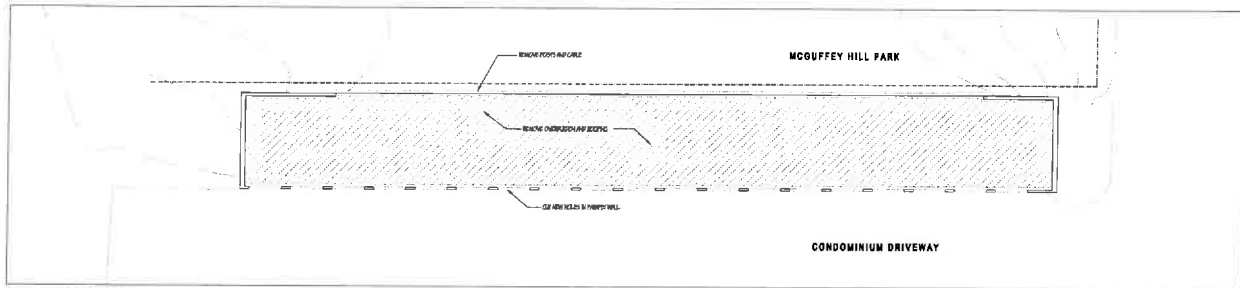
This project complements both the residential buildings on site and the new renovations at the adjacent McGuffey Park.

Suggested Motion

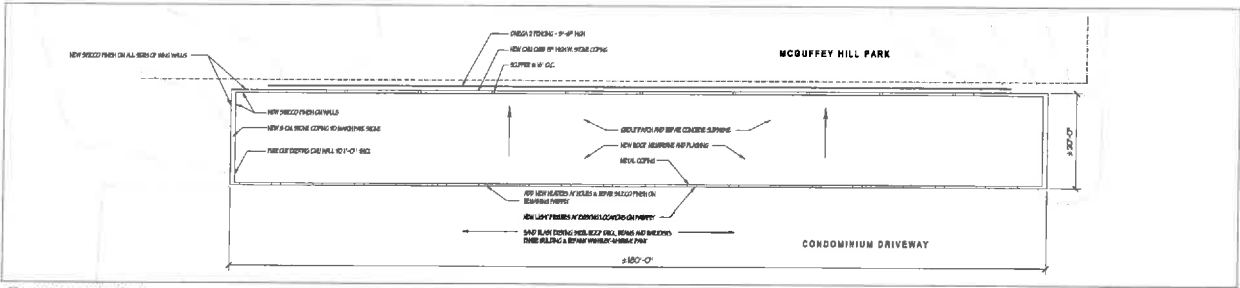
Having considered the standards set forth within the City Code, including City Design Guidelines for New Construction and for Site Design & Elements, I move to find that the proposed new “green roof” satisfies the BAR’s criteria and is compatible with this property, and the historic district, and that the BAR approves the application as submitted.

**McGuffey Hill
Condominium
Vegetated Roof**
Charlottesville, VA

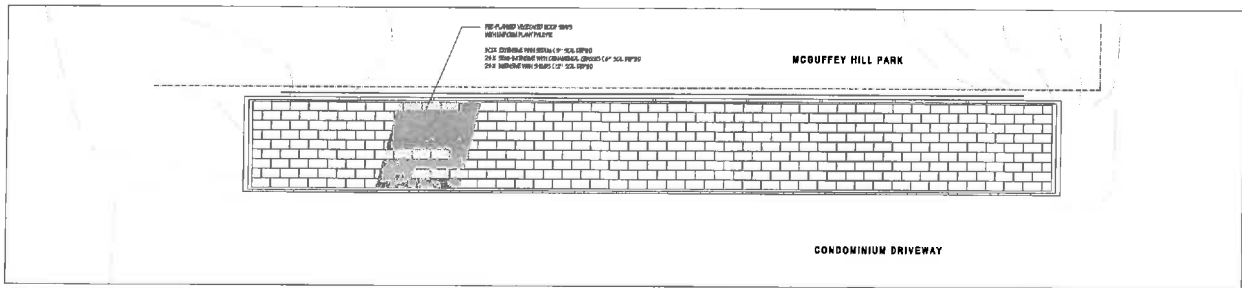
Date:
McGuffey Hill Condo Assoc
Charlottesville, VA 22902
434.266.5841
Architect:
The Parsons Group
PO Box 162
Charlottesville, VA 22902
434.220.4885



1 DEMOLITION PLAN
1" = 12'



2 CONSTRUCTION PLAN
1" = 12'

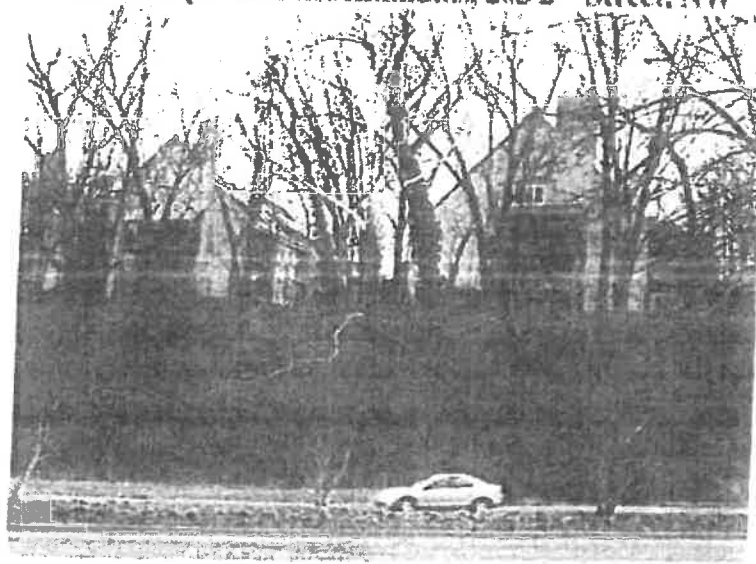


3 VEGETATED OVERBURDEN PLAN
1" = 12'

Garage / Roof
Construction Scope

11/26/04
A1

McGuffey Hill Condominiums, 203 2nd Street, NW



STREET ADDRESS: 203 2nd Street, NW
MAP & PARCEL: 33-174.1 and .2
PRESENT ZONING: DN
ORIGINAL OWNER:
ORIGINAL USE: Apartment Building
PRESENT USE: Apartment Building
PRESENT OWNER: Condominiums (numerous)
ADDRESS: Condominiums (numerous)

DATE/ PERIOD: 1983
STYLE: Vernacular
HEIGHT IN STORIES: 3.0 Stories
DIMENSIONS/LAND AREA:
SOURCES: Charlottesville City Records
and 2005 Architectural
Survey
CONTRIBUTING: No

ARCHITECTURAL DESCRIPTION

This property is made up five, free-standing, 3-story, gable-roofed apartment buildings containing approximately 30 condominiums units, as well as 2 shed-roofed, multi-bay carports. Constructed ca. 1983, the apartments are clad in stucco and feature balconies on all levels, chimneys, and stucco cladding. Sited on a hill above High Street and Preston Avenue, all buildings on the parcels are non-contributing resources in the District because of their age.



Board of Architectural Review (BAR) Certificate of Appropriateness

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

RECEIVED
NOV 28 2006
CITY OF CHARLOTTESVILLE

Please submit ten (10) copies of application form and all attachments.
For a new construction project, please include \$250 application fee. For all other projects requiring BAR approval, please include \$50 application fee. For both types of projects, the applicant must pay \$1.00 per required mail notice to property owners. The applicant will receive an invoice for these notices, and project approval is not final until the invoice has been paid. For projects that require only administrative approval, please include \$50 administrative fee. Checks payable to the City of Charlottesville.
The BAR meets the third Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 5 p.m.

Information on Subject Property

Physical Street Address: McGuffey Hill Condos
2nd Street NW
City Tax Map/Parcel: 3301741V0

Name of Historic District or Property: N/A

Do you intend to apply for Federal or State Tax Credits for this project? No

Applicant

Name: Ruth Stornetta
Address: 307-C 2nd Street NW
Email: rs3j@cms.mail.virginia.edu
Phone: (W) 982-3977 (H) 295-4716
FAX: _____

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Ruth Stornetta 11/28/06
Signature Date

Property Owner (if not applicant)

Name: Richard Franzen c/o McGuffey Hill
Address: 209A 2nd Street NW
Email: RchrdFranz@aol.com
Phone: (W) _____ (H) 295-1027
FAX: _____

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Richard S. Franzen 11/27/06
Signature Date

Description of Proposed Work (attach separate narrative if necessary):

Installation of a "green roof" over existing community parking garage, adjacent to McGuffey Park.

Attachments (see reverse side for submittal requirements): _____

For Office Use Only

Received by: Lisa A. Barone
Fee paid: \$50.00 Cash/Ck. # 00001208
Date Received: 11/28/06

Approved/Disapproved by: _____
Date: _____
Conditions of approval: _____