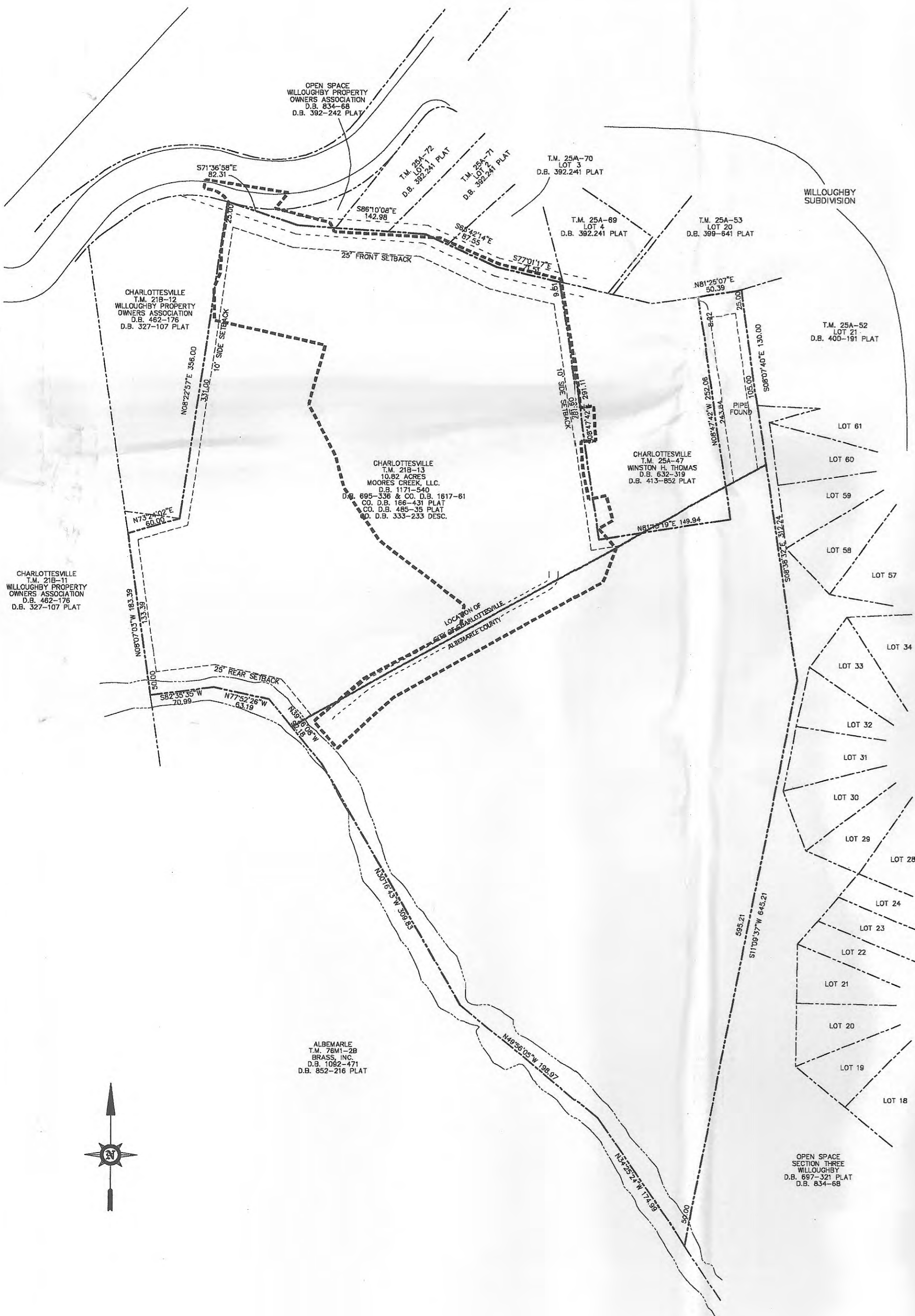


# PRELIMINARY SITE DEVELOPMENT PLAN FOR WILLOUGHBY PLACE - PHASE 1

## TAX MAP 21B PARCEL 13 CITY OF CHARLOTTESVILLE, VIRGINIA

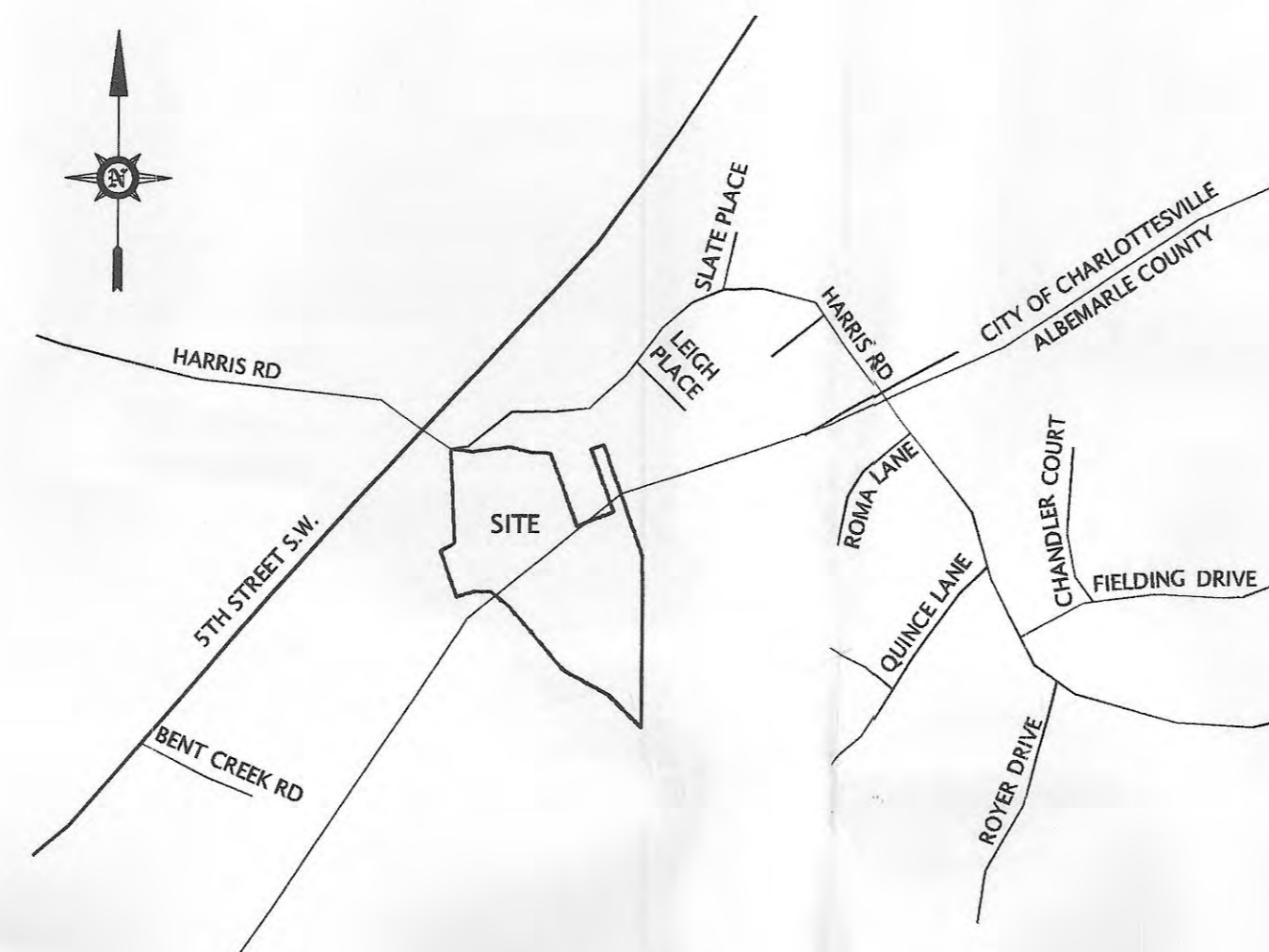
### PARCEL MAP

SCALE: 1" = 100'



### VICINITY MAP

SCALE: 1" = 2000'



### SHEET INDEX

- SHEET 1
- SHEET 2
- SHEET 3
- SHEET 4
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- COVER SHEET
- NOTES
- EXISTING CONDITIONS/DEMO PLAN
- SITE PLAN
- UTILITY PLAN
- GRADING PLAN
- EROSION PLAN
- DETAILS

#### Fire Hydrant Test Report

| Location: 601 Harris Road  |             |   |               |                  |                      |            |                    |
|--|-------------|---|---------------|------------------|----------------------|------------|--------------------|
| Date of Test: 3/9/2011   |             |   | Time: 5:35 am |                  |                      |            |                    |
| Performed by: (list all) J. Brown, M. Shifflett, E. Paige, S. Ward |             |   |               |                  |                      |            |                    |
|  | Hydrant ID: | Location:                               | Pipe Size     | Nozzle Size (in) | Pressure Static Res. | Flow (gpm) | Duration (min:sec) |
| Residual Hydrant:  | 04035       | Harris Road adjacent to 100 Leigh Place | 12            | 2.5              | 76 62                |            |                    |
| Flow Hydrant #1  | 04040       | Harris Road behind 101 Grimes Place     | 12            | 2.5              |                      | 1190       | 20.00              |
| Flow Hydrant #2  | 04045       | Harris Road behind 101 Shale Place      | 12            | 2.5              |                      | 1160       | 20.00              |
| Flow Hydrant #3  |             |   |               | 2.5              |                      |            |                    |
| Flow Hydrant #4  |             |   |               | 2.5              |                      |            |                    |
| Flow Hydrant #5  |             |   |               | 2.5              |                      |            |                    |

#### Fire Flow Calculations

$$Q(20) = 1160 \left( \frac{76-20}{76-62} \right)^{0.54} / \left( \frac{76-62}{76-62} \right)^{0.54}$$

$$Q(20) = 2452 \text{ gpm @ 20 psi Residual Pressure}$$

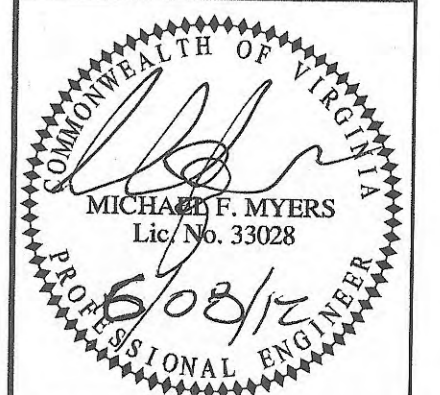
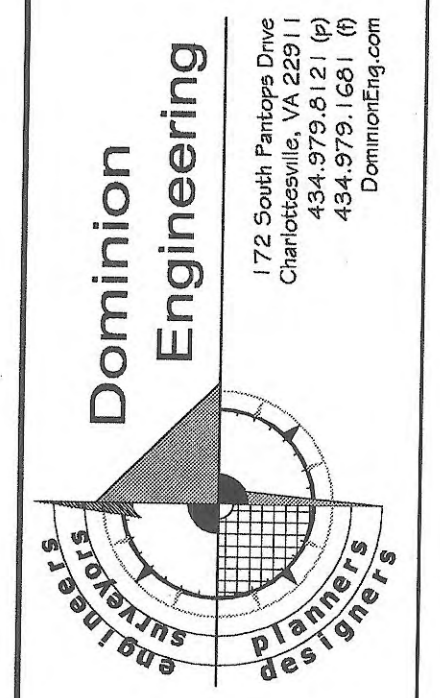
### SIGNATURE BLOCK

### DATE

DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES

RECEIVED  
JUN 08 2012

NEIGHBORHOOD DEVELOPMENT SERVICES



| NO. | REVISIONS     | DATE     | DESCRIPTION | DESIGNED BY: | DRAWN BY: | CHECKED BY: |
|-----|---------------|----------|-------------|--------------|-----------|-------------|
| 1.  | CITY COMMENTS | 06.04.09 | 5.          | MFM          | CSN       | MFM         |
| 2.  | CITY COMMENTS | 12.22.10 | 6.          | MFM          | CSN       | MFM         |
| 3.  | CITY COMMENTS | 3.07.11  | 7.          | MFM          | CSN       | MFM         |
| 4.  | CITY COMMENTS | 4.29.11  | 8.          | MFM          | CSN       | MFM         |

PROJECT TITLE: PRELIMINARY SITE DEVELOPMENT PLAN FOR  
WILLOUGHBY PLACE - PHASE 1  
CITY OF CHARLOTTESVILLE, VIRGINIA  
SHEET TITLE: COVER SHEET

DDR PROJECT NO: 08.0242  
INDEX TITLE: C1  
SHEET NO: 1 OF 8  
DATE: 03-11-2009



# SITE DATA & GENERAL NOTES

# ABBREVIATIONS

# LEGEND

### SITE DATA

**OWNER/DEVELOPER:**  
MOORES CREEK, LLC.  
224 14TH STREET N.W.  
CHARLOTTEVILLE, VIRGINIA 22903

**LEGAL REFERENCE:** DEED BOOK 695 & PAGE NUMBER 336 AND DEED BOOK 1617 & PAGE NUMBER 61  
TAX MAP 218, PARCEL NO.13

**SOURCE OF BOUNDARY SURVEY:** ROGER W. RAY & ASSOC., INC., DATED MAY 14, 2003.  
HARRIS RD. SURVEY PREPARED BY DOMINION ENGINEERING, JULY 2011.

**SOURCE OF TOPOGRAPHY:** LOUISA AERIAL SURVEY MAPPING COMPILED BY ROGER W. RAY & ASSOC., INC., DATED MAY 14, 2003.

THIS PROPERTY IS LOCATED IN ZONE X AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY.  
-FLOOD INSURANCE RATE MAP NUMBER: 51003C02880, DATED: FEBRUARY 4, 2005.

**BENCHMARK(S):**  
1. PK NAIL SET IN THE BASE OF A 18" HICKORY, ELEV. 464.39  
2. PK NAIL SET IN THE BASE OF A 39" WHITE OAK, ELEV. 457.37

**ZONING:** R-3, MULTI-FAMILY MEDIUM DENSITY RESIDENTIAL

| SETBACKS: | FRONT YARD | SIDE YARD | REAR YARD |
|-----------|------------|-----------|-----------|
| BUILDING  | 25'        | 10'       | 25'       |

**MAXIMUM BUILDING HEIGHT:** 45'

**MAXIMUM NUMBER OF UNITS:** PHASE 1: 48 ATTACHED UNITS  
PHASE 2: 32 ATTACHED UNITS  
TOTAL: 80 ATTACHED UNITS

**DENSITY:** PHASE 1: 9.5 DU/ACRE (48 UNITS IN 5.07 ACRES)  
PHASE 1 & 2: 15.8 DU/ACRE (80 UNITS IN 5.07 ACRES)

**TRAFFIC CALCULATIONS:** PROPOSED DEVELOPMENT CONSIST OF 80 UNITS, ITS CODE 220, APARTMENT BUILDINGS  
MORNING PEAK HOUR TRAFFIC: 44 TRIPS / HOUR  
AFTERNOON PEAK HOUR TRAFFIC: 54 TRIPS / HOUR  
DAILY TRIP GENERATION: 538 TRIPS / DAY

**CURRENT USE:** VACANT

**PROPOSED USE:** RESIDENTIAL

| PHASE 1 PARKING SCHEDULE: | SPACES REQUIRED: | SPACES PROVIDED: |
|---------------------------|------------------|------------------|
| REGULAR (80 1-2 Bedroom)  | 48 SPACES        | 79 SPACES        |
| HANDICAP                  | 2 SPACES         | 2 SPACES         |
| TOTAL SPACES:             | 50 SPACES        | 81 SPACES        |

| PHASE 1 RECREATION AREAS: | SQUARE FOOTAGE REQUIRED:       | SQUARE FOOTAGE PROVIDED:            |
|---------------------------|--------------------------------|-------------------------------------|
| ADULT SPACE               | 30 X 200 + 48 X 200 = 9,600 SF | 25,000 SF (2,400 SF INDOOR ACTIVE*) |
| CHILD SPACE               | 30 X 20 + 48 X 40 = 1,820 SF   | 3,000 SF (480 SF INDOOR ACTIVE*)    |
| TOTAL RECREATION SPACE:   | 11,520 SF                      | 28,000 SF (2,880 INDOOR ACTIVE*)    |

\* INDOOR ACTIVE CONSISTS OF COVERED BALCONIES FOR EACH UNIT. (MIN. 60 SF PER UNIT)

| LAND SCHEDULE: | PRE-DEVELOPMENT (SF) | %    | POST-DEVELOPMENT (SF) | %    |
|----------------|----------------------|------|-----------------------|------|
| BUILDING(S)    | 0                    | 0    | 27,192 (0.62 Acs.)    | 12.3 |
| PAVED          | 0                    | 0    | 42,455 (0.98 Acs.)    | 18.2 |
| OPEN           | 220,849 (5.07 Acs.)  | 100  | 151,202 (3.47 Acs.)   | 68.5 |
| TOTAL          | 220,849 (5.07 Acs.)  | 100% | 220,849 (5.07 Acs.)   | 100% |

TOTAL DISTURBED AREA: 3.32 Acs.

### GENERAL UTILITY NOTES

- CONTACT MISS UTILITY AT 1(800)552-7001 48 HOURS PRIOR TO ANY GRADING OR DIGGING TO HAVE UNDERGROUND UTILITIES MARKED. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION TO INCLUDE TYPE AND SIZE OF PIPE AND SERVICES TO HIS OWN SATISFACTION.
- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES HAVE BEEN TAKEN FROM AVAILABLE RECORDS AND ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- ALL HYDRANT LOCATIONS TO BE APPROVED BY THE CITY OF CHARLOTTEVILLE PRIOR TO FINAL APPROVAL BY THE COUNTY AND ARE TO BE INSTALLED ACCORDING TO CITY STANDARDS.
- RM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND UNLESS OTHERWISE SPECIFIED SHALL BE SET/RESET AS FOLLOWS:
  - IMPERVIOUS SURFACES: FLUSH
  - PERVIOUS SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RM ELEVATION.
- ALL BLASTING REQUIREMENTS TO INSTALL UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CHARLOTTEVILLE STANDARDS AND THE PROJECT SPECIFICATIONS.
- ALL DRAINAGE STRUCTURE INTERIOR DIAMETERS SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. THE MINIMUM MANHOLE DIAMETER SHALL BE 4 FEET.
- ALL STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS AND AS SPECIFIED ON THE DRAWINGS.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL TESTS REQUIRED BY THE CITY OR ALBEMARLE COUNTY SERVICE AUTHORITY TO SECURE ACCEPTANCE OF ALL UTILITIES.
- ALL CONCRETE USED IN UTILITY CONSTRUCTION SHALL BE 4000 PSI CONCRETE.
- NO PLANTINGS OR ERECTION OF OTHER OBSTRUCTIONS SHALL BE MADE WITHIN FOUR FEET OF ANY FIRE HYDRANT.
- ALL UTILITIES TO BE PLACED UNDER EXISTING CITY STREETS MUST BE BORED OR JACKED UNLESS SPECIFICALLY APPROVED OTHERWISE OR NOTED ON THE PLANS.
- WATER METERS SHALL BE LOCATED IN AN ACCESSIBLE LOCATION AND SHALL NOT BE INSTALLED UNDER EXISTING PIPING CLOSE TO OTHER FACILITIES.
- FOR UTILITIES INSTALLED UNDER ROADWAYS AND/OR EASEMENTS PLANNED FOR FUTURE ROADWAYS, BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DENSITY.
- CONTRACTOR IS TO VERIFY THAT ALL UTILITIES (E., WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.), ARE IN PLACE PRIOR TO CONSTRUCTION OF SUBBASE AND/OR PAVING.
- ALL WATERLINES AND SANITARY SEWERLINES SHALL MAINTAIN A 10 FOOT HORIZONTAL SEPARATION OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE) IN ACCORDANCE TO VIRGINIA HEALTH DEPARTMENT STANDARDS.
- PROPOSED UNDERGROUND UTILITIES SUCH AS ELECTRIC, TELEPHONE, CABLE, AND GAS WHICH SERVE THIS FACILITY SHALL BE LOCATED WITH A MINIMUM 5 FOOT SEPARATION FROM PUBLIC WATERMANS AND SANITARY SEWER.
- ELECTRICAL POWER SHALL BE DERIVED FROM BUILDING ELECTRICAL PANELS TO GENERAL SITE LIGHTING IN ACCORDANCE WITH NATIONAL ELECTRIC CODE.
- ALL PIPES SHOWN AS RCP ON PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.
- ALL CONDENSATE DRAIN AND OTHER PLUMBING CONNECTIONS ARE TO BE INSTALLED ACCORDING TO BOCA NATIONAL PLUMBING CODE.
- EXISTING MANHOLE FRAMES AND COVERS AND VALVE BOXES AND COVERS TO REMAIN SHALL BE ADJUSTED OR RECONSTRUCTED, AS NECESSARY, TO MATCH FINISHED GRADES.

### GENERAL CONSTRUCTION NOTES (PART ONE)

- PRIOR TO ANY CONSTRUCTION WITHIN ANY EXISTING CITY OF CHARLOTTEVILLE PUBLIC RIGHT-OF-WAY, INCLUDING CONNECTION TO ANY EXISTING ROAD, A PERMIT SHALL BE OBTAINED FROM THE CITY OF CHARLOTTEVILLE. THIS PLAN AS DRAWN MAY NOT ACCURATELY REFLECT THE REQUIREMENTS OF THE PERMIT, WHERE ANY DISCREPANCIES OCCUR THE REQUIREMENTS OF THE PERMIT SHALL GOVERN.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CURRENT CITY OF CHARLOTTEVILLE SPECIFICATIONS AND STANDARDS UNLESS OTHERWISE NOTED.
- EROSION AND SILTATION CONTROL MEASURES SHALL BE PROVIDED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN AND SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING OR OTHER CONSTRUCTION.
- DISTURBED AREAS ARE TO BE FERTILIZED, SEEDED AND MULCHED.
- THE MAXIMUM ALLOWABLE SLOPE IS 2:1 (HORIZONTAL:VERTICAL), WHERE REASONABLY OBTAINABLE, LESSER SLOPES OF 3:1 OR BETTER ARE TO BE ACHIEVED.
- PAVED, RIP-RAP OR STABILIZATION MAT LINED DITCH MAY BE REQUIRED WHEN IN THE OPINION OF THE CITY ENGINEER, OR DESIGNER, IT IS DEEMED NECESSARY IN ORDER TO STABILIZE A DRAINAGE CHANNEL.
- UNLESS OTHERWISE NOTED ALL CONCRETE PIPE SHALL BE REINFORCED CONCRETE PIPE - CLASS III.
- ALL EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1926).

### GENERAL CONSTRUCTION NOTES (PART TWO)

- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS, WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- USE SELECT MATERIAL UNDER BUILDINGS AND STRUCTURES; USE FILL AND BACKFILL MATERIAL UNDER PARKING AREAS, ROADS, SIDEWALKS, AND OTHER CONCRETE AND PAVED SURFACES; USE COMMON FILL MATERIAL FOR GENERAL SITE GRADING, PLACE MATERIAL IN 6" LIFTS.
- COMPACT LAYERS OF FILL TO 95 PERCENT BY MODIFIED PROCTOR METHOD PER ASTM D 1557 BENEATH AND WITHIN 15 FEET OF BUILDINGS AND BY STANDARD PROCTOR METHOD PER ASTM D 698 BENEATH AND WITHIN DETENTION POND EMBANKMENTS, PAVEMENTS, WALKS, AND ROAD SHOULDERS, INCLUDING AREAS THAT MAY BE USED FOR FUTURE CONSTRUCTION. IN OTHER UNPAVED AREAS, COMPACT 90 PERCENT BY STANDARD PROCTOR METHOD PER ASTM D 598. IF THE DENSITY OF THE ADJACENT SOIL IS MORE THAN THE DENSITY SPECIFIED, THEN COMPACT TO A DENSITY NOT LESS THAN THE DENSITY OF THE ADJACENT SOIL.
- AREAS ON WHICH FILL IS TO BE PLACED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL. SOIL MATERIALS SHALL BE FREE OF DEBRIS, ROOTS, WOOD, SCRAP MATERIAL, VEGETATION, REFUSE, SOFT UNSOUND PARTICLES, AND FROZEN DELETERIOUS OR OBSTRUCTIONAL MATERIALS. THE MAXIMUM PARTICLE DIAMETER SHALL BE ONE-HALF THE LIFT THICKNESS. COMMON FILL MATERIAL SHALL BE UNCLASSIFIED SOIL MATERIAL WITH THE CHARACTERISTICS REQUIRED TO COMPACT TO THE SOIL DENSITY SPECIFIED FOR THE INTENDED LOCATION. BACKFILL AND FILL MATERIALS: ASTM D 2487, CLASSIFICATION GW, GP, GM, SW, SP, SC WITH A MAXIMUM ASTM D 4318 LIQUID LIMIT OF 35, MAXIMUM ASTM D 4318 PLASTICITY INDEX OF 12, AND MAXIMUM OF 25 PERCENT BY WEIGHT PASSING ASTM D 1140, NO. 200 SIEVE. SELECT MATERIAL: ASTM D 2487, CLASSIFICATION GW, GP, SW, SP WITH A MAXIMUM OF 10 PERCENT BY WEIGHT PASSING ASTM D 1140, NO. 200 SIEVE.
- ALL FINISHED GRADING, SEEDING AND SODING SHALL BE DONE IN SUCH A MANNER TO PRELUDE THE PONDING OF THE WATER ON THE SITE, PARTICULARLY ADJACENT TO THE BUILDINGS OR STORM INLETS.
- CUT AND PATCH WORK IN EXISTING PUBLIC STREETS MUST BE PERFORMED IN ACCORDANCE WITH VDOT AND CITY OF CHARLOTTEVILLE STANDARDS AND SPECIFICATIONS.
- ALL EXISTING CURBS AND GUTTER ALONG THE FRONTAGE OF THIS SITE IN POOR CONDITION OR DAMAGED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF CHARLOTTEVILLE.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

### GENERAL NOTES

- ACCESSIBLE ROUTES, PARKING SPACES, RAMP, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- ACCESSIBLE ROUTES TO HANDICAP ACCESSIBLE UNITS SHALL BE PROVIDED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- ALL STAIRS WITH THREE OR MORE RISERS ARE TO HAVE HANDRAILS ON BOTH SIDES.
- TO THE BEST OF OUR BELIEF AND KNOWLEDGE, THERE ARE NO KNOWN GRAVE SITES ON THE SUBJECT PROPERTY.
- PLANTINGS WILL BE PROVIDED WITH MINOR ADJUSTMENTS IN THE FIELD TO ELIMINATE CONFLICTS WITH OTHER STRUCTURAL FEATURES.
- ALL LIGHT FIXTURES SHALL BE 3,000 LUMENS OR LESS.
- A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES, AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.

### GENERAL

|                              |      |                      |
|------------------------------|------|----------------------|
| ABAN ABANDON(ED)             | IF   | IRON FOUND           |
| ADJ ADJUST                   | IS   | IRON SET             |
| APRX APPROXIMATE             | LOD  | LIMIT OF DISTURBANCE |
| BFC BOTTOM FACE CURB         | LF   | LINEAR FEET          |
| BFE BASEMENT FLOOR ELEVATION | LT   | LEFT                 |
| BM BENCHMARK                 | MAX  | MAXIMUM              |
| BC BUILDING CORNER           | MIN  | MINIMUM              |
| BOW BOTTOM OF WALL           | MON  | MONUMENT CONCRETE    |
| BS BOTTOM OF SLOPE           | NTS  | NOT TO SCALE         |
| CG12 ACCESSIBLE CURB RAMP    | PRVD | PROVIDED             |
| CF CUBIC FEET                | R    | RADIUS               |
| CL CHAIN LINK                | REQD | REQUIRED             |
| COQC CONCRETE                | RT   | RIGHT                |
| CY CUBIC YARDS               | R/W  | RIGHT OF WAY         |
| C/C CENTER TO CENTER         | SE   | SPOT ELEVATION       |
| DIA DIAMETER                 | SQ   | SQUARE               |
| DC DECK CORNER               | STA  | STATION              |
| DW DRIVEWAY                  | SW   | SIDEWALK             |
| EC EDGE OF CONCRETE          | TBA  | TO BE ABANDONED      |
| EP EDGE OF PAVEMENT          | TBC  | TOP BACK CURB        |
| ES END SECTION               | TBR  | TO BE REMOVED        |
| EXIST EXISTING               | TC   | TOP OF CURB          |
| FC FENCE CORNER              | TRM  | TO REMAIN            |
| FL FENCE LINE                | TOW  | TOP OF WALL          |
| FFE FINISHED FLOOR ELEVATION | TS   | TOP OF SLOPE         |
| FT FUEL TANK                 | TYP  | TYPICAL              |
| GE GROUND ELEVATION          | WET  | WETLANDS             |
| GR GUARDRAIL                 | WSE  | WATER SURFACE EDGE   |

### UTILITY

|                                |     |                               |
|--------------------------------|-----|-------------------------------|
| ARV AIR RELEASE VALVE          | LP  | LIGHT POLE                    |
| BOA BLOW OFF ASSEMBLY          | MH  | MANHOLE                       |
| CO CLEANOUT                    | MHD | MANHOLE (DRAINAGE)            |
| CPD TELEVISION PEDESTAL        | MHE | MANHOLE (ELECTRIC)            |
| CATV CABLE TELEVISION          | MHS | MANHOLE (SEWER)               |
| CMP CORROGATED METAL PIPE      | MHU | MANHOLE (UTILITY)             |
| DFC DRAINFIELD CORNER          | OHE | OVERHEAD ELECTRIC             |
| DI DROP INLET                  | OHT | OVERHEAD TELEPHONE            |
| DIP DUCTILE IRON PIPE          | PP  | POWER POLE                    |
| ET ELECTRIC TRANSFORMER        | PVC | POLYVINYL CHLORIDE            |
| EW END WALL                    | RCP | REINFORCED CONCRETE PIPE      |
| FH FIRE HYDRANT                | SAN | SANITARY                      |
| FM FORCE MAIN                  | SCC | STORMWATER CONVEYANCE CHANNEL |
| FO FIBER OPTIC                 | TOP | TOP ELEVATION                 |
| FT FUEL TANK                   | TP  | TELEPHONE POLE                |
| GL GAS LINE                    | TPD | TELEPHONE PEDESTAL            |
| GM GAS METER                   | TSV | TAPPING SLEEVE & VALVE        |
| GT GREASE TRAP                 | UE  | UNDERGROUND ELECTRIC          |
| GP GUY POLE                    | UP  | UTILITY POLE                  |
| GW GUY WIRE                    | UT  | UNDERGROUND TELEPHONE         |
| GV GATE VALVE                  | WL  | WATER LINE                    |
| HDPE HIGH DENSITY POLYETHYLENE | WM  | WATER METER                   |
| INV INVERT                     | WV  | WATER VALVE                   |

### EXIST

|                                 |           |           |                                   |
|---------------------------------|-----------|-----------|-----------------------------------|
| PROPERTY LINE                   | × 16° TC  | × 12° TC  | TOP OF CURB ELEVATION             |
| ADJACENT PROPERTY LINE          | × 16° BC  | × 12° BC  | BOTTOM OF CURB ELEVATION          |
| VACATED PROPERTY LINE           | × 16° FL  | × 12° FL  | FLOW LINE ELEVATION               |
| BUILDING SETBACK                | × 16° EOP | × 12° EOP | EDGE OF PAVEMENT ELEVATION        |
| PARKING SETBACK                 | × 16°     | × 12°     | SPOT ELEVATION                    |
| ZONING LINE                     | × 16° TW  | × 12° TW  | TOP OF WALL ELEVATION             |
| LIMITS OF DISTURBANCE           | × 16° BW  | × 12° BW  | BOTTOM OF WALL ELEVATION          |
| FLOODPLAIN LIMIT                |           |           | TEST PIT LOCATION/BORING LOCATION |
| UNDISTURBED BUFFER ZONE         |           |           | BENCHMARK                         |
| EDGE OF GRAVEL                  |           |           | IRON FOUND                        |
| EDGE OF PAVEMENT                |           |           | IRON SET                          |
| ROLL TOP                        |           |           | UNDERDRAIN                        |
| STANDARD 6" CURB                |           |           | STORM SEWER                       |
| STANDARD 4" CURB                |           |           | ROOF DRAIN                        |
| COMBINATION 6" CURB & GUTTER    |           |           | SEWER LINE                        |
| COMBINATION 4" CURB & GUTTER    |           |           | TRENCH DRAIN                      |
| BUILDING ENTRANCE               |           |           | WATER LINE                        |
| LOADING DOCK                    |           |           | FIRE PROTECTION LINE              |
| SIGN                            |           |           | WATER SERVICE LINE                |
| STEEL GUARDRAIL                 |           |           | GAS LINE                          |
| WOOD GUARDRAIL                  |           |           | OVERHEAD ELECTRIC WIRE            |
| PATH                            |           |           | UNDERGROUND ELECTRIC              |
| TREE LINE                       |           |           | OVERHEAD TELEPHONE LINE           |
| FENCE                           |           |           | UNDERGROUND TELEPHONE LINE        |
| BLOCK WALL                      |           |           | CABLE TV                          |
| RETAINING WALL                  |           |           | DRAIN INLET (DI)                  |
| STREAM / WATER COURSE           |           |           | STORM/SANITARY MANHOLE            |
| POND                            |           |           | PLUG OR STUB                      |
| INTERVAL CONTOUR                |           |           | HEADWALL                          |
| INDEX CONTOUR                   |           |           | SEWER CLEANOUT                    |
| PARKING COUNT                   |           |           | WATER VALVE & BOX                 |
| CROSSWALK                       |           |           | FIRE HYDRANT                      |
| HANDICAP ACCESSIBLE AISLE       |           |           | WATER METER                       |
| CG-12                           |           |           | WATER WELL                        |
| REINFORCED CONCRETE PIPE        |           |           | GAS VALVE                         |
| HANDICAP PARKING                |           |           | GAS METER                         |
| VAN-ACCESSIBLE HANDICAP PARKING |           |           | LIGHT POLE                        |
| CONCRETE PAVEMENT / SIDEWALK    |           |           | TRANSFORMER PAD                   |
| RIPRAP                          |           |           | UTILITY POLE                      |
| NEW ASPHALT                     |           |           | GUY POLE                          |
| GRASS                           |           |           | MATCHLINE                         |
| EC-2 BLANKET MATTING            |           |           |                                   |
| EC-3 TYPE A                     |           |           |                                   |
| EC-3 TYPE B                     |           |           |                                   |
| WETLAND                         |           |           |                                   |

### EXIST

|                                   |           |           |                                   |
|-----------------------------------|-----------|-----------|-----------------------------------|
| TOP OF CURB ELEVATION             | × 12° TC  | × 12° TC  | TOP OF CURB ELEVATION             |
| BOTTOM OF CURB ELEVATION          | × 12° BC  | × 12° BC  | BOTTOM OF CURB ELEVATION          |
| FLOW LINE ELEVATION               | × 12° FL  | × 12° FL  | FLOW LINE ELEVATION               |
| EDGE OF PAVEMENT ELEVATION        | × 12° EOP | × 12° EOP | EDGE OF PAVEMENT ELEVATION        |
| SPOT ELEVATION                    | × 12°     | × 12°     | SPOT ELEVATION                    |
| TOP OF WALL ELEVATION             | × 12° TW  | × 12° TW  | TOP OF WALL ELEVATION             |
| BOTTOM OF WALL ELEVATION          | × 12° BW  | × 12° BW  | BOTTOM OF WALL ELEVATION          |
| TEST PIT LOCATION/BORING LOCATION |           |           | TEST PIT LOCATION/BORING LOCATION |
| BENCHMARK                         |           |           | BENCHMARK                         |
| IRON FOUND                        |           |           | IRON FOUND                        |
| IRON SET                          |           |           | IRON SET                          |
| UNDERDRAIN                        |           |           | UNDERDRAIN                        |
| STORM SEWER                       |           |           | STORM SEWER                       |
| ROOF DRAIN                        |           |           | ROOF DRAIN                        |
| SEWER LINE                        |           |           | SEWER LINE                        |
| TRENCH DRAIN                      |           |           | TRENCH DRAIN                      |
| WATER LINE                        |           |           | WATER LINE                        |
| FIRE PROTECTION LINE              |           |           | FIRE PROTECTION LINE              |
| WATER SERVICE LINE                |           |           | WATER SERVICE LINE                |
| GAS LINE                          |           |           | GAS LINE                          |
| OVERHEAD ELECTRIC WIRE            |           |           | OVERHEAD ELECTRIC WIRE            |
| UNDERGROUND ELECTRIC              |           |           | UNDERGROUND ELECTRIC              |
| OVERHEAD TELEPHONE LINE           |           |           | OVERHEAD TELEPHONE LINE           |
| UNDERGROUND TELEPHONE LINE        |           |           | UNDERGROUND TELEPHONE LINE        |
| CABLE TV                          |           |           | CABLE TV                          |
| DRAIN INLET (DI)                  |           |           | DRAIN INLET (DI)                  |
| STORM/SANITARY MANHOLE            |           |           | STORM/SANITARY MANHOLE            |
| PLUG OR STUB                      |           |           | PLUG OR STUB                      |
| HEADWALL                          |           |           | HEADWALL                          |
| SEWER CLEANOUT                    |           |           | SEWER CLEANOUT                    |
| WATER VALVE & BOX                 |           |           | WATER VALVE & BOX                 |
| FIRE HYDRANT                      |           |           | FIRE HYDRANT                      |
| WATER METER                       |           |           | WATER METER                       |
| WATER WELL                        |           |           | WATER WELL                        |
| GAS VALVE                         |           |           | GAS VALVE                         |
| GAS METER                         |           |           | GAS METER                         |
| LIGHT POLE                        |           |           | LIGHT POLE                        |
| TRANSFORMER PAD                   |           |           | TRANSFORMER PAD                   |
| UTILITY POLE                      |           |           | UTILITY POLE                      |
| GUY POLE                          |           |           | GUY POLE                          |
| MATCHLINE                         |           |           | MATCHLINE                         |

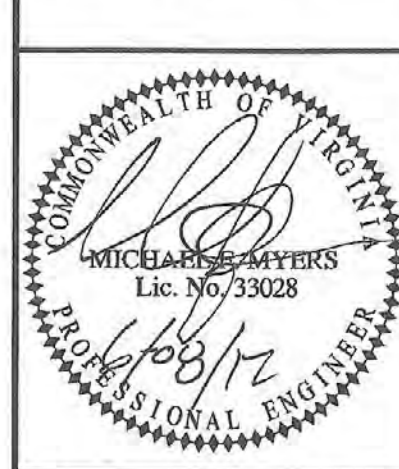
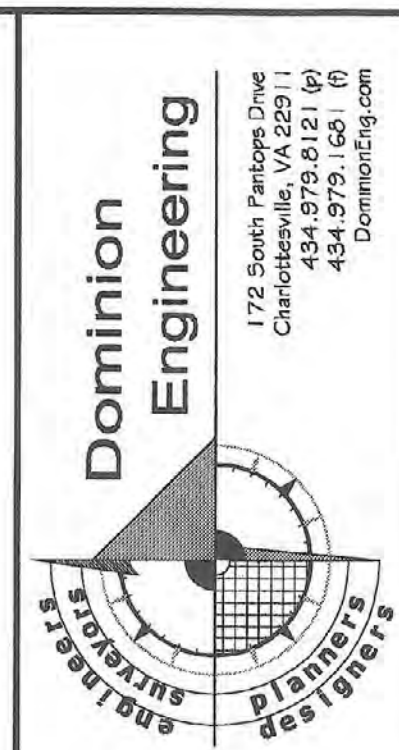
NOTES:  
1. THE SIZE OF THE SYMBOLS MAY VARY FROM THOSE SHOWN.  
2. ALL ABBREVIATIONS AND SYMBOLS SHOWN MAY NOT BE USED.  
3. REFER TO LANDSCAPE SHEET FOR ADDITIONAL SYMBOLS.

### WATER USAGE CALCULATIONS:

|                       |            |
|-----------------------|------------|
| ASSUME 270 GPD / UNIT |            |
| PHASE 1:              |            |
| BUILDING A            | 8,640 GPD  |
| BUILDING B            | 4,320 GPD  |
| TOTAL:                | 12,960 GPD |
| PHASE 2:              |            |
| BUILDING C            | 4,320 GPD  |
| BUILDING D            | 4,320 GPD  |
| TOTAL:                | 8,640 GPD  |
| TOTAL PHASES 1 & 2:   | 21,600 GPD |

### GENERAL WATER & SEWER CONDITIONS

- WORK SHALL BE SUBJECT TO INSPECTION BY CITY OF CHARLOTTEVILLE INSPECTORS. THE CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING THE PROPER SERVICE AUTHORITY OFFICIALS AT THE START OF THE WORK.
- THE LOCATION OF EXISTING UTILITIES ACROSS THE LINE OF THE PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN, ARE ONLY APPROXIMATELY CORRECT. THE CONTRACTOR SHALL ON HIS OWN INITIATIVE LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" (1-800-552-7001).
- ALL WATER AND SEWER PIPES SHALL HAVE A MINIMUM OF 3 FEET OF COVER MEASURED FROM THE TOP OF PIPE, OVER THE CENTERLINE OF PIPE. THIS INCLUDES ALL FIRE HYDRANT LINES, SERVICE LATERALS AND WATER LINES, ETC.
- ALL WATER AND SEWER APPURTENANCES ARE TO BE LOCATED OUTSIDE OF ROADSIDE DITCHES.
- VALVES ON DEADEND LINES SHALL BE RESTRAINED IN ACCORDANCE WITH CITY DETAIL W2.4.
- THE CONTRACTOR SHALL PROVIDE ALL PIPE, VALVES AND FITTINGS SHOWN ON THESE PLANS AND DETAILS. THE CITY WILL PROVIDE THE WATER METERS ONCE THE SERVICE ACCOUNT HAS BEEN ESTABLISHED.



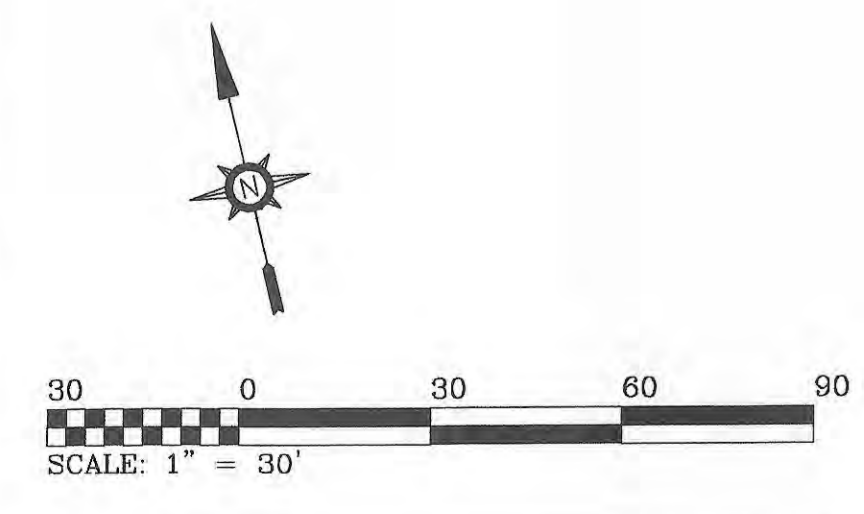
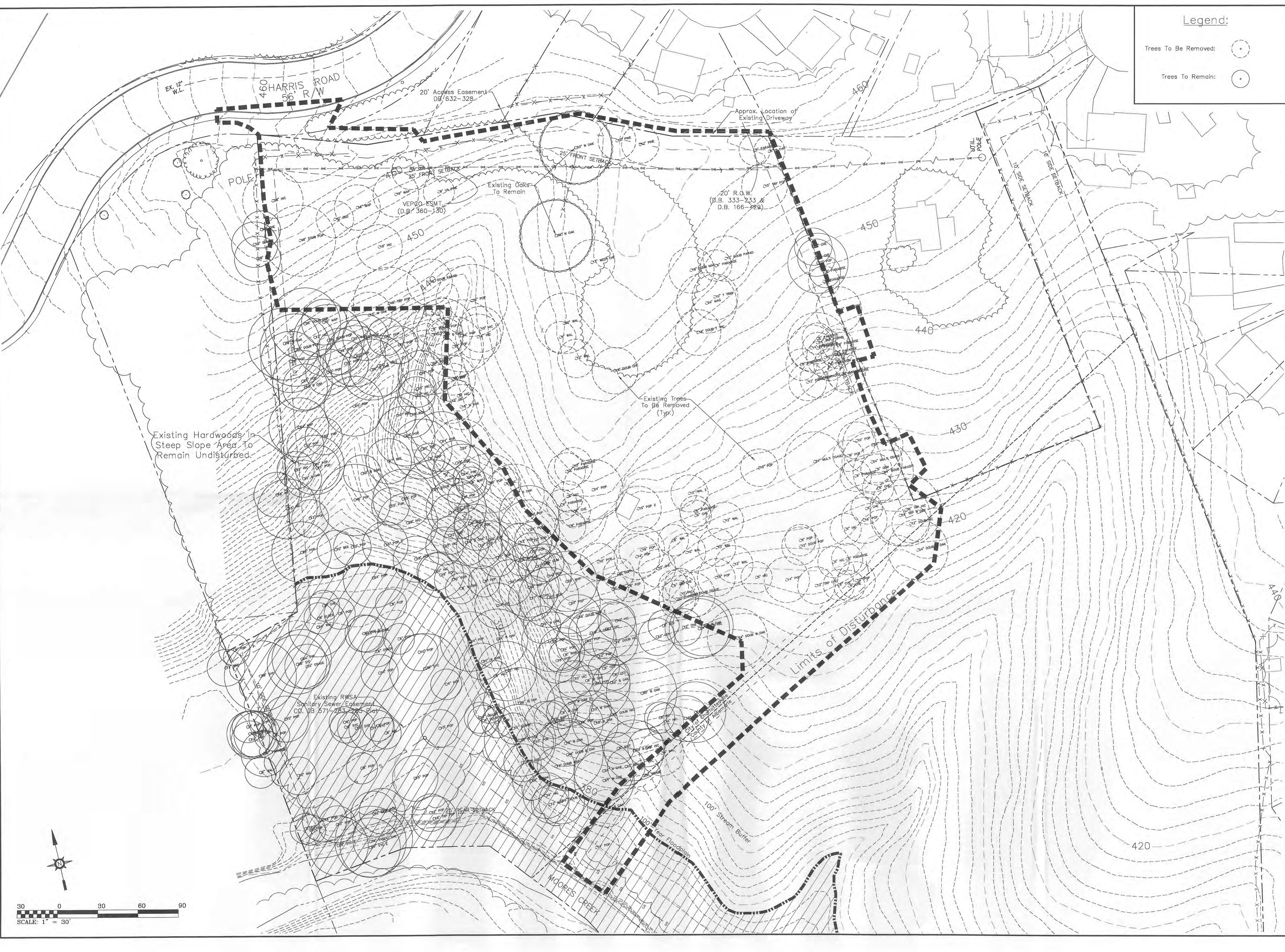
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| 1.        | 1.  | OWNER REVISIONS | 06.04.08 | 5. |            |
| 2.        | 2.  | CITY COMMENTS   | 12.22.10 | 6. |            |
| 3.        | 3.  | CITY COMMENTS   | 3.07.11  | 7. |            |
| 4.        | 4.  | CITY COMMENTS   | 4.29.11  | 8. |            |

DES



Legend:

- Trees To Be Removed: (circle with a dot)
- Trees To Remain: (circle with a cross)



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 434.979.1651 (f)  
 dominioneng.com

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 MICHAEL F. MYERS  
 License No. 33028  
 6/28/12  
 PROFESSIONAL ENGINEER

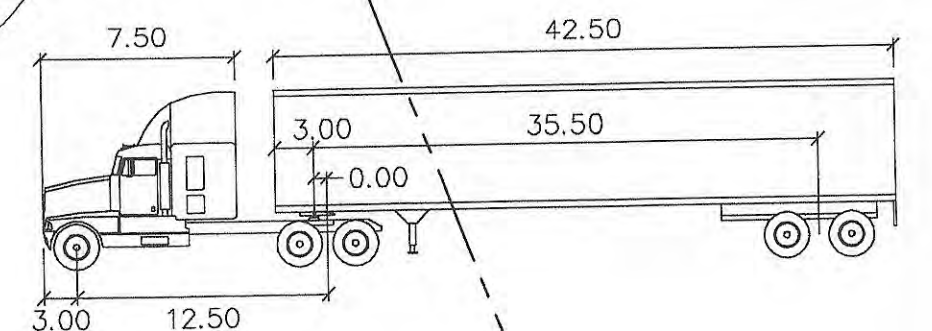
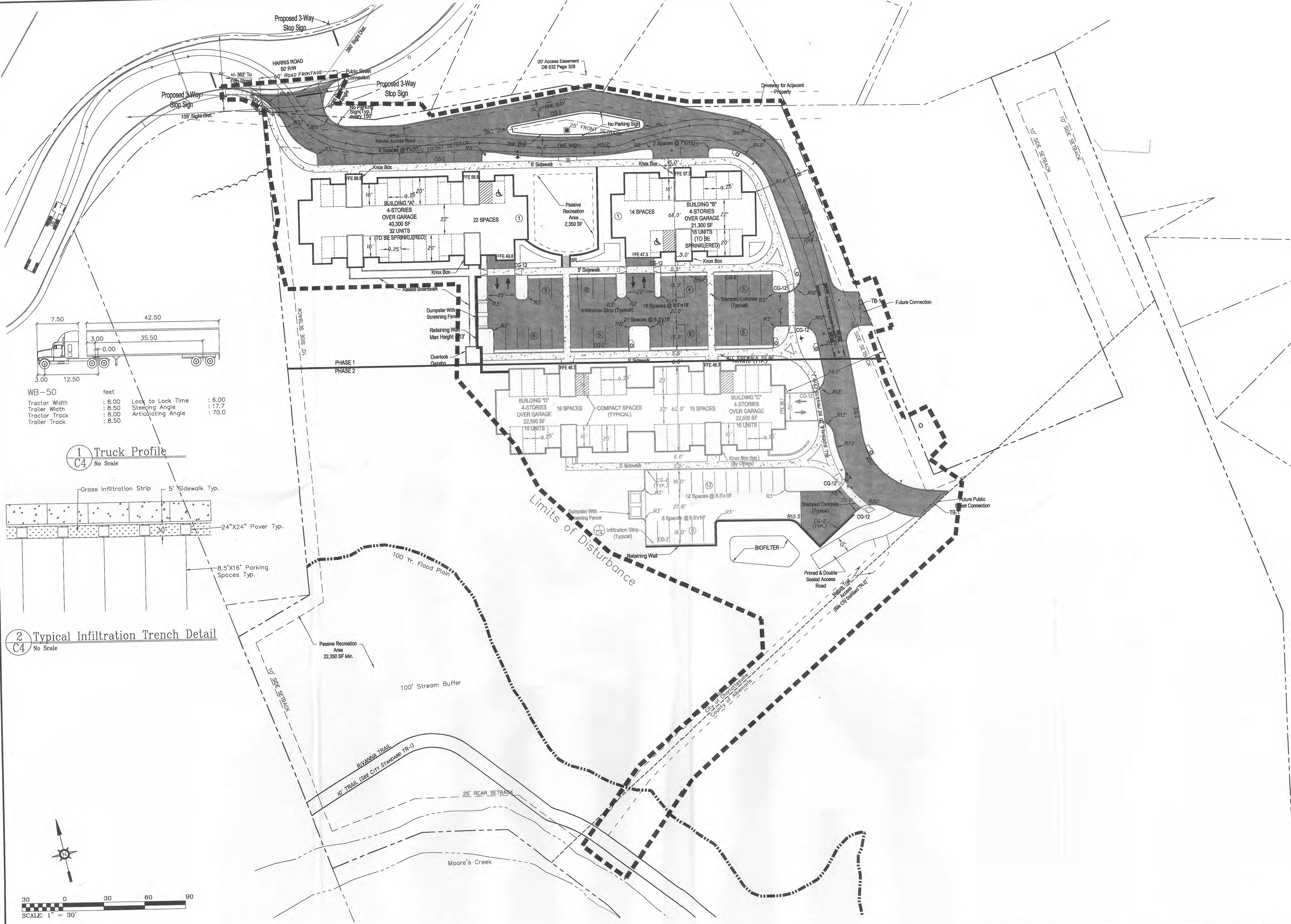
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| NO.       | DESCRIPTION   | DATE      | NO. | DESCRIPTION     | DATE     |
| 1.        | CITY COMMENTS | 06.04.09  | 5.  | OWNER REVISIONS | 7.08.11  |
| 2.        | CITY COMMENTS | 12.22.10  | 6.  | CITY COMMENTS   | 12.27.11 |
| 3.        | CITY COMMENTS | 3.07.11   | 7.  | CITY COMMENTS   | 02.29.12 |
| 4.        | CITY COMMENTS | 4.29.11   | 8.  | CITY COMMENTS   | 06.08.12 |

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 DESIGNED BY: MFM  
 DRAWN BY: CSN  
 CHECKED BY: MFM

PROJECT TITLE: PRELIMINARY SITE DEVELOPMENT PLAN FOR  
 WILLOUGHBY PLACE - PHASE 1  
 CITY OF CHARLOTTESVILLE, VIRGINIA  
 SHEET TITLE: EXISTING CONDITIONS/DEMO PLAN

DDR PROJECT NO: 08.0242  
 INDEX TITLE: C3  
 SHEET NO: 3 OF 8  
 DATE: 03-11-2009



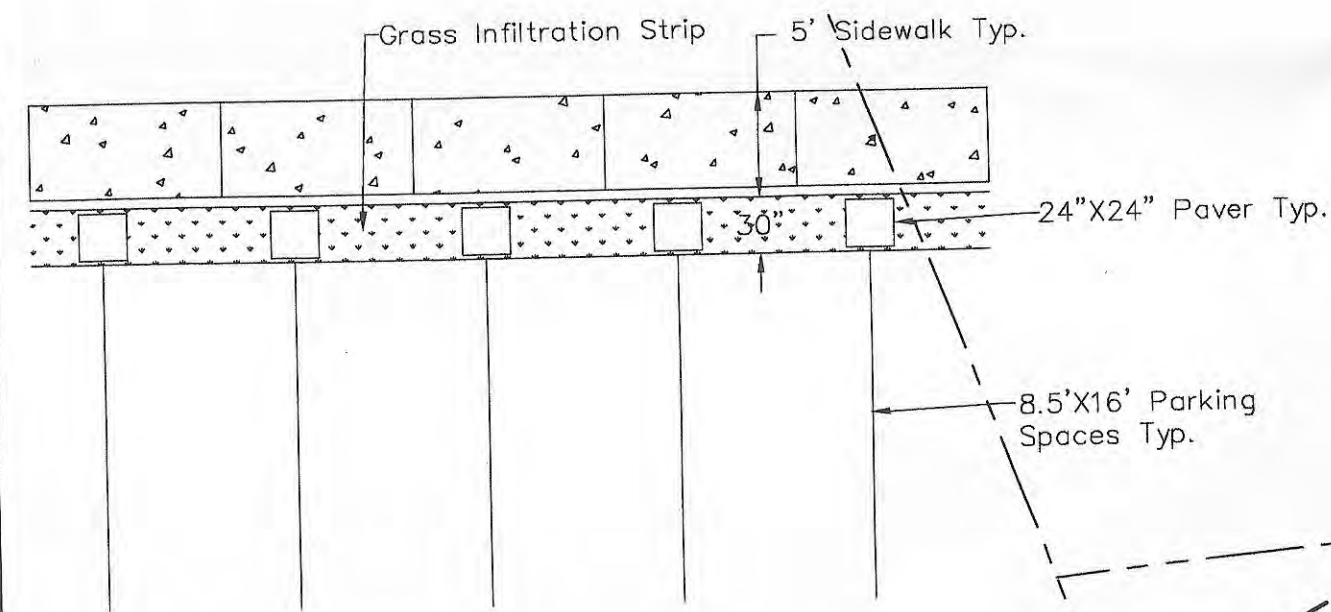


WB-50

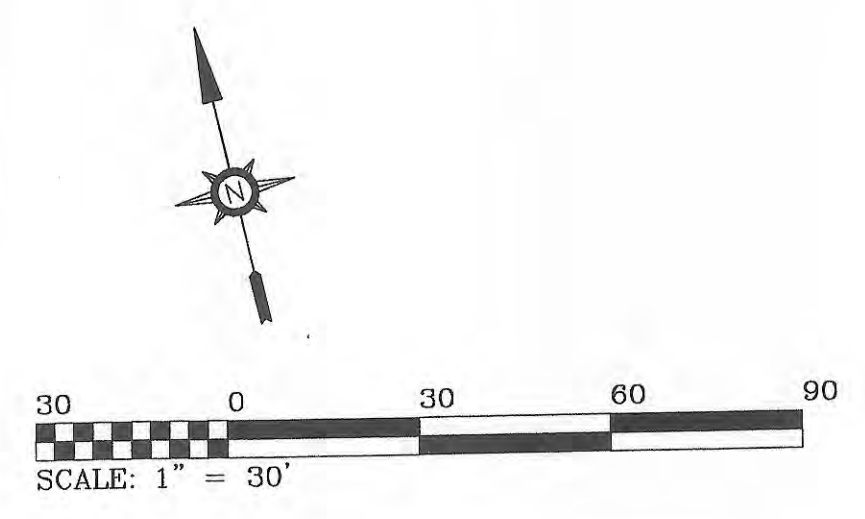
| Tractor Width | Trailer Width | Tractor Track | Trailer Track |
|---------------|---------------|---------------|---------------|
| 8.00          | 8.50          | 8.00          | 8.50          |

Lock to Lock Time : 6.00  
Steering Angle : 17.7  
Articulating Angle : 70.0

1 Truck Profile  
C4 No Scale



2 Typical Infiltration Trench Detail  
C4 No Scale



| REVISIONS |                 | REVISIONS |     |
|-----------|-----------------|-----------|-----|
| NO.       | DESCRIPTION     | DATE      | NO. |
| 1.        | OWNER REVISIONS | 7.08.11   | 5.  |
| 2.        | CITY COMMENTS   | 12.27.11  | 6.  |
| 3.        | CITY COMMENTS   | 02.28.12  | 7.  |
| 4.        | CITY COMMENTS   | 06.08.12  | 8.  |

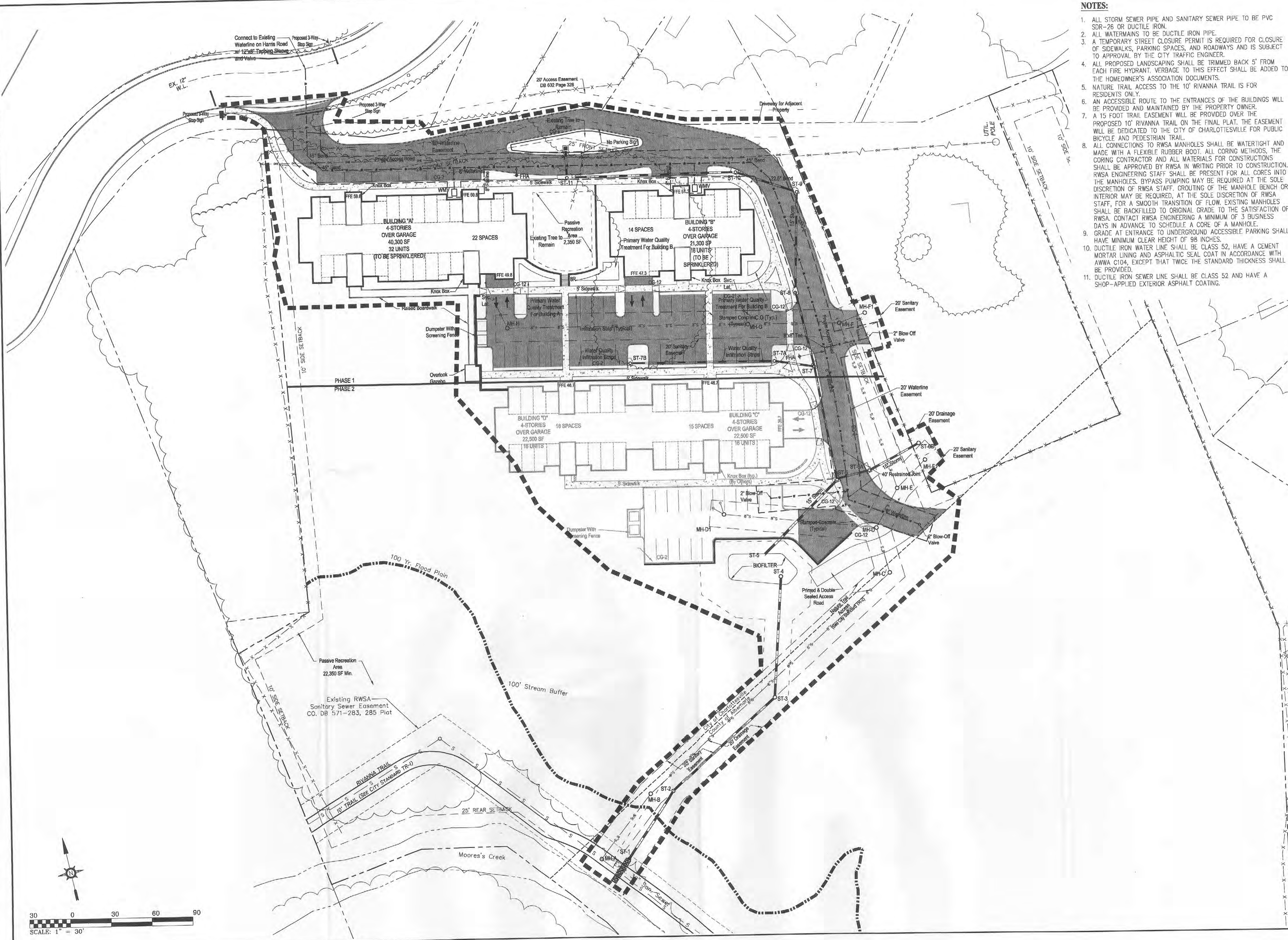
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DRAWN BY: CSN  
CHECKED BY: MFM

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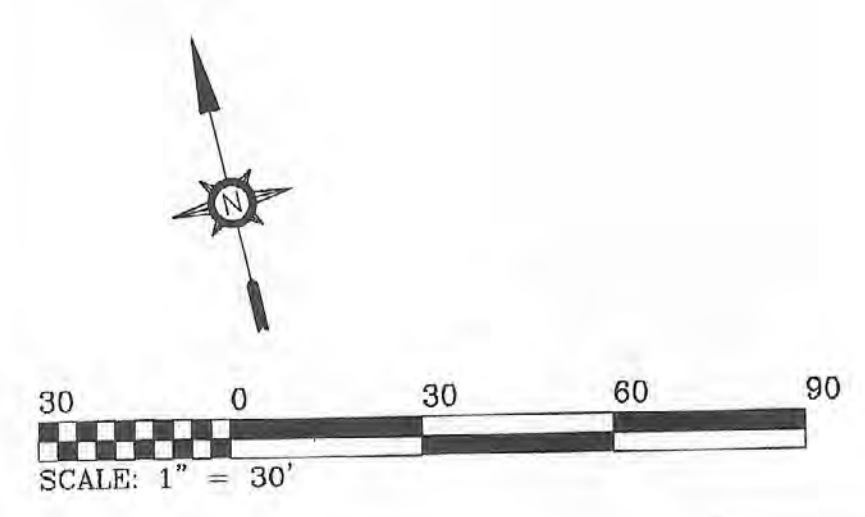
PROJECT TITLE: PRELIMINARY SITE DEVELOPMENT PLAN FOR  
**WILLOUGHBY PLACE - PHASE 1**  
CITY OF CHARLOTTESVILLE, VIRGINIA

SHEET TITLE: **SITE PLAN**





- NOTES:**
1. ALL STORM SEWER PIPE AND SANITARY SEWER PIPE TO BE PVC SDR-26 OR DUCTILE IRON.
  2. ALL WATERMANS TO BE DUCTILE IRON PIPE.
  3. A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES, AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.
  4. ALL PROPOSED LANDSCAPING SHALL BE TRIMMED BACK 5' FROM EACH FIRE HYDRANT. VERGAGE TO THIS EFFECT SHALL BE ADDED TO THE HOMEOWNER'S ASSOCIATION DOCUMENTS.
  5. NATURE TRAIL ACCESS TO THE 10' RIVANNA TRAIL IS FOR RESIDENTS ONLY.
  6. AN ACCESSIBLE ROUTE TO THE ENTRANCES OF THE BUILDINGS WILL BE PROVIDED AND MAINTAINED BY THE PROPERTY OWNER.
  7. A 15 FOOT TRAIL EASEMENT WILL BE PROVIDED OVER THE PROPOSED 10' RIVANNA TRAIL ON THE FINAL PLAT. THE EASEMENT WILL BE DEDICATED TO THE CITY OF CHARLOTTESVILLE FOR PUBLIC BICYCLE AND PEDESTRIAN TRAIL.
  8. ALL CONNECTIONS TO RWSA MANHOLES SHALL BE WATERTIGHT AND MADE WITH A FLEXIBLE RUBBER BOOT. ALL CORING METHODS, THE CORING CONTRACTOR AND ALL MATERIALS FOR CONSTRUCTIONS SHALL BE APPROVED BY RWSA IN WRITING PRIOR TO CONSTRUCTION. RWSA ENGINEERING STAFF SHALL BE PRESENT FOR ALL CORES INTO THE MANHOLES. BYPASS PUMPING MAY BE REQUIRED AT THE SOLE DISCRETION OF RWSA STAFF. GROUTING OF THE MANHOLE BENCH OR INTERIOR MAY BE REQUIRED, AT THE SOLE DISCRETION OF RWSA STAFF, FOR A SMOOTH TRANSITION OF FLOW. EXISTING MANHOLES SHALL BE BACKFILLED TO ORIGINAL GRADE TO THE SATISFACTION OF RWSA. CONTACT RWSA ENGINEERING A MINIMUM OF 3 BUSINESS DAYS IN ADVANCE TO SCHEDULE A CORE OF A MANHOLE.
  9. GRADE AT ENTRANCE TO UNDERGROUND ACCESSIBLE PARKING SHALL HAVE MINIMUM CLEAR HEIGHT OF 98 INCHES.
  10. DUCTILE IRON WATER LINE SHALL BE CLASS 52, HAVE A CEMENT MORTAR LINING AND ASPHALTIC SEAL COAT IN ACCORDANCE WITH AWWA C104, EXCEPT THAT TWICE THE STANDARD THICKNESS SHALL BE PROVIDED.
  11. DUCTILE IRON SEWER LINE SHALL BE CLASS 52 AND HAVE A SHOP-APPLIED EXTERIOR ASPHALT COATING.



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 MICHAEL F. MYERS  
 License No. 33028  
 PROFESSIONAL ENGINEER

| REVISIONS |               | REVISIONS |     |
|-----------|---------------|-----------|-----|
| NO.       | DESCRIPTION   | DATE      | NO. |
| 1.        | CITY COMMENTS | 08.04.09  | 5.  |
| 2.        | CITY COMMENTS | 12.22.10  | 6.  |
| 3.        | CITY COMMENTS | 3.07.11   | 7.  |
| 4.        | CITY COMMENTS | 4.29.11   | 8.  |

DATE: 7.08.11  
 OWNER REVISIONS: 12.27.11  
 CITY COMMENTS: 06.08.12  
 CITY COMMENTS: 06.08.12

CHECKED BY: MFM  
 DESIGNED BY: MFM  
 DRAWN BY: CSN  
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PROJECT TITLE: PRELIMINARY SITE DEVELOPMENT PLAN FOR WILLOUGHBY PLACE - PHASE 1  
 CITY OF CHARLOTTESVILLE, VIRGINIA

SHEET TITLE: UTILITY PLAN

DDR PROJECT NO: 08.0242

INDEX TITLE: C5

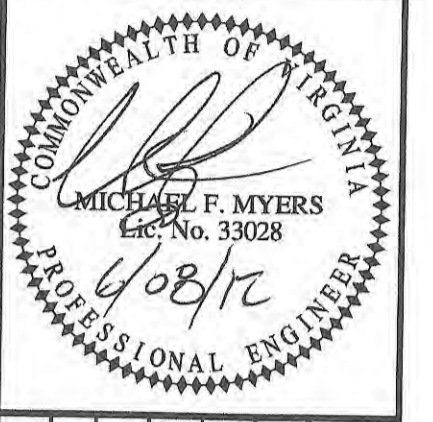
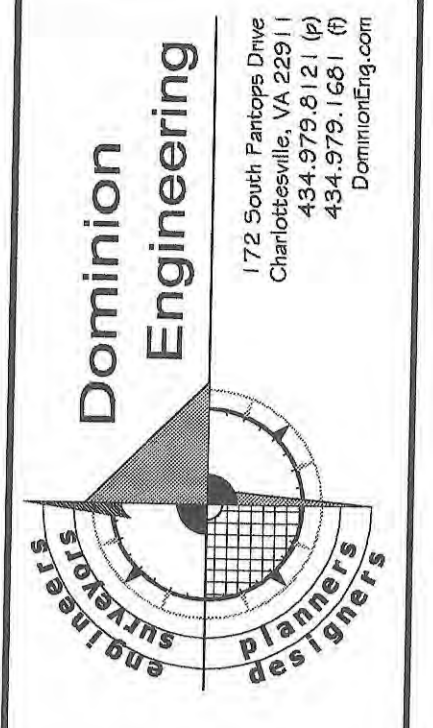
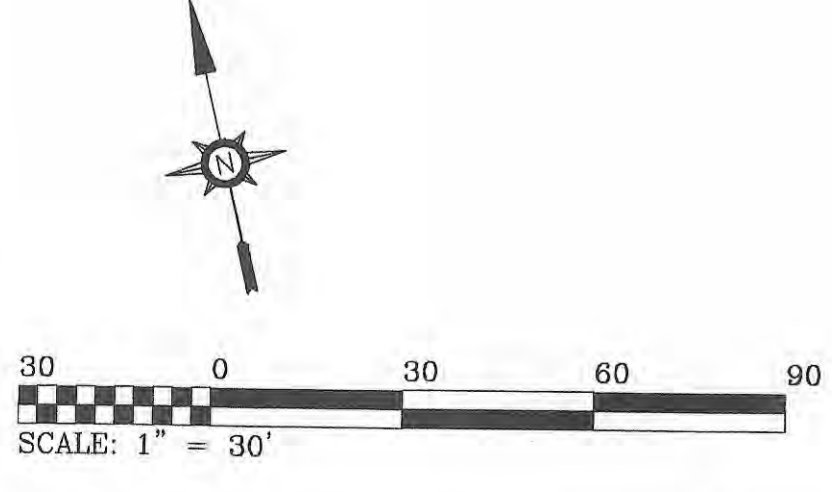
SHEET NO: 5 OF 8

DATE: 03-11-2009





**CRITICAL SLOPES SUMMARY**  
 % OF SITE IN CRITICAL SLOPES: 33.7%  
 % OF CRITICAL SLOPES DISTURBED: 18.7% 13,939 SF  
 % OF SITE DISTURBANCE IN CRITICAL SLOPES: 6.31%



| REVISIONS |          | REVISIONS |          |
|-----------|----------|-----------|----------|
| NO.       | DATE     | NO.       | DATE     |
| 1.        | 06.04.09 | 5.        | 07.08.11 |
| 2.        | 12.22.10 | 6.        | 12.27.11 |
| 3.        | 03.07.11 | 7.        | 02.29.12 |
| 4.        | 04.23.11 | 8.        | 06.06.12 |

DESCRIPTION: OWNER REVISIONS, CITY COMMENTS, CITY COMMENTS, CITY COMMENTS, CITY COMMENTS, CITY COMMENTS, CITY COMMENTS, CITY COMMENTS

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PROJECT TITLE: PRELIMINARY SITE DEVELOPMENT PLAN FOR  
 WILLOUGHBY PLACE - PHASE 1  
 CITY OF CHARLOTTEVILLE, VIRGINIA

SHEET TITLE: GRADING PLAN

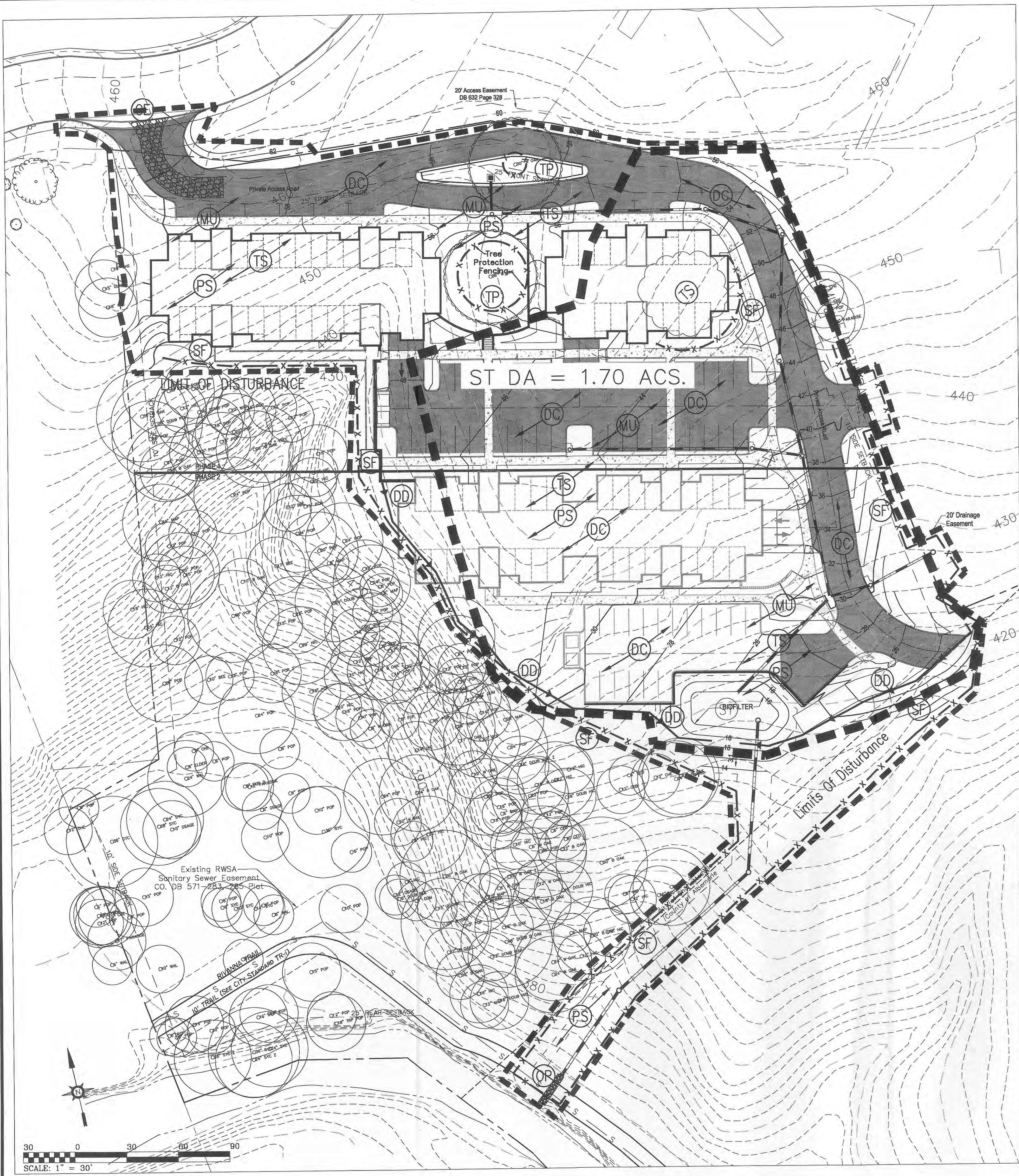
DDR PROJECT NO: 08.0242

INDEX TITLE: C6

SHEET NO: 6 OF 8

DATE: 03-11-2009





**PRELIMINARY EROSION CONTROL PLAN:**

The erosion plan shown is conceptual and has been provided to demonstrate that the site may be graded and sediment runoff can be controlled by a phased construction plan.

Phase I: The contractor shall install silt fence where shown and install the sediment trap as shown on the plans. A diversion shall be installed along the western side of the existing ridge at an elevation above the sediment trap. The diversion shall remain in place until the contractor has regraded the existing ridge in a manner that all site runoff following the post developed pattern and flows from west to east on the site.

Phase II: After the phase I grading is complete the contractor shall install the phase II silt fence as shown on the plans and construct the retaining walls on the west side of the site as shown on the plan.

**SEDIMENT TRAP**  
 Required Wet Volume = 67 cy. \* 1.70 Acs. = 114.0 cy.  
 Required Dry Volume = 67 cy. \* 1.70 Acs. = 114.0 cy.

**LEGEND**

|      |                            |    |  |
|------|----------------------------|----|--|
| 3.02 | CONSTRUCTION ENTRANCE      | CE |  |
| 3.05 | SILT FENCE                 | SF |  |
| 3.09 | DIVERSION DIKE             | DD |  |
| 3.09 | CLEAN WATER DIVERSION DIKE | CW |  |
| 3.12 | DIVERSION                  | DV |  |
| 3.13 | SEDIMENT TRAP              | ST |  |
| 3.18 | OUTLET PROTECTION          | OP |  |
| 3.19 | RIPRAP                     | RR |  |
| 3.32 | PERMANENT SEEDING          | PS |  |
| 3.35 | MULCHING                   | MU |  |
| 3.39 | DUST CONTROL               | DC |  |

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 6/28/12  
 PROFESSIONAL ENGINEER

| NO. | DESCRIPTION   | DATE     | NO. | DATE     | NO. | DESCRIPTION     | DATE     |
|-----|---------------|----------|-----|----------|-----|-----------------|----------|
| 1.  | CITY COMMENTS | 06.04.09 | 5.  | 7.08.11  |     | OWNER REVISIONS | 7.08.11  |
| 2.  | CITY COMMENTS | 12.22.10 | 6.  | 12.27.11 |     | CITY COMMENTS   | 12.27.11 |
| 3.  | CITY COMMENTS | 3.07.11  | 7.  | 02.28.12 |     | CITY COMMENTS   | 02.28.12 |
| 4.  | CITY COMMENTS | 4.28.11  | 8.  | 06.08.12 |     | CITY COMMENTS   | 06.08.12 |

FILE NAME: CHAR\21B-13-EP  
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 DRAWN BY: CSN  
 CHECKED BY: MFM

PROJECT TITLE: PRELIMINARY SITE DEVELOPMENT PLAN FOR WILLOUGHBY PLACE  
 CITY OF CHARLOTTESVILLE, VIRGINIA  
 SHEET TITLE: EROSION AND SEDIMENT CONTROL PLAN

DDR PROJECT NO: 08.0242  
 INDEX TITLE: C7  
 SHEET NO: 7 of 8  
 DATE: 03-11-2009



