

Agenda

PLANNING COMMISSION REGULAR DOCKET TUESDAY, September 10, 2013 – 5:30 P.M. CITY COUNCIL CHAMBERS

I. **PLANNING COMMISSION GATHERING** -- 4:30 P.M. (Held in the NDS Conference Room)
Commissioners gather to communicate with staff. (4:30-5:30 P.M.)

II. **REGULAR MEETING** -- 5:30 P.M.

A. COMMISSIONERS' REPORTS

B. UNIVERSITY REPORT

C. CHAIR'S REPORT

D. DEPARTMENT OF NDS

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL
AGENDA

F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - August 13, 2013 – Pre meeting
2. Minutes - August 13, 2013 – Regular meeting
3. Minutes - August 27, 2013 – Joint CC/PC Work Session

III. **JOINT PUBLIC HEARINGS (Beginning at 6:00 P.M.)**

G. JOINT PUBLIC HEARINGS

1. **ZM-13-07-11 -Water Street PUD:** An application to rezone the vacant parcel adjacent to Water Street from Downtown Extended (DE) Mixed-Use Corridor with Individually Protected Property Overlay (portion) to Planned Unit Development (PUD) with Individually Protected Property Overlay (portion) with proffers. Proffers include a contribution to the affordable housing fund and dedication of property to the City. The parcel is bordered by CSX Railroad to the south, 10th Street commercial properties to the west, commercial properties fronting along E. Market Street to the north, and the City Walk project to the east. The property is further identified as Tax Map 57 Parcel 157A having road frontage on Water Street and containing approximately 91, 911 square feet of land or 2.11 acres. The PUD zoning allows an applicant to present a proposal independent of established zoning categories for consideration by the governing body. This proposal consists of up to 24 single-family dwelling units, as well as a five-story commercial building comprised of 43,500 square feet. The general uses called for in the Land Use Plan of the 2013 Comprehensive Plan are for Mixed Use. **Report prepared by Michael Smith, Neighborhood Planner.**
2. **Closing of a portion of Garrett Street:** A petition to close a dead end portion of Garrett Street for a distance of approximately 100 feet long adjacent to 204 Ridge Street including paved and unpaved areas, sidewalk and stairs leading to Ridge Street. The portion of this street is located adjacent to City Real Estate Tax Map 28 Parcel 143. **Report prepared by Jim Tolbert, Director.**
3. **SP-13-07-12 - 723 Nalle Street:** An application for an infill special use permit to subdivide 723 Nalle Street into two approximately 5,445 square foot single-family residential lots with 36 foot road frontage for each. The property is further identified on City Real Property Tax Map 30 Parcel 40 having 73.33 feet of frontage on Nalle Street. The site is zoned R-1S and is approximately 0.25 acres or 10,890 square feet. The Land Use Plan generally calls for Low-Density Residential. **Report prepared by Ebony Walden, Neighborhood Planner.**
4. **SP-13-07-13 - 217 West High:** An application for a special use permit to allow for increased residential density of up to 25 units per acre in the R-3 zoning district at the property located at 217 West High Street. There are currently 2 units on site and the applicant would like to add one for a

total of 3 units. The property is further identified on City Real Property Tax Map 33 Parcel 131 with frontage on West High Street. The site is zoned R-3 (Multi-Family Residential) with Architectural Design Control Overlay District and is approximately 0.12 acres or 5,227 square feet. The Land Use Plan generally calls for High Density Residential. **Report prepared by Brian Haluska, Neighborhood Planner.**

IV. REGULAR AGENDA (continued)

H. Preliminary Discussion

1. The Standard SUP – West Main Street

I. ANNUAL MEETING

1. Report of Nominating Committee
2. Election of Officers
3. Review of Annual Report

J. FUTURE MEETING SCHEDULE

Date and Time	Type	Items
Tuesday September 24, 2013 – 6:00 PM	Work Session	Joint Work session County Planning Commission – Livability Grant products
Tuesday, October 8, 2013 – 4:30 PM	Pre- Meeting	
Tuesday, October 8, 2013 – 5:30 PM	Regular Meeting	SUP -853 West Main Street – The Standard Rezoning & SUP - 601 Concord Ave (outside kennel/pens) ZTA – ADU Ordinance clarification Comprehensive Plan Compliance – Garrett Street Meadowbrook Flats -1138 Emmet Street 1. Critical Slopes Waiver Request 2. Entrance Corridor Application Review

Anticipated Items on Future Agendas

- LID Guideline Review
- Zoning Text Amendment - PUD ordinance updates
- Rezoning – Lyman Street
- Entrance Corridor - 5th Street Station

Persons with Disabilities may request reasonable accommodations by contacting ada@charlottesville.org or (434)970-3182

PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.

PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.

**LIST OF SITE PLANS APPROVED ADMINISTRATIVELY
8/1/2013 TO 8/31/2013**

1. Amendment Burnett Commons Phase 2

2. Final Residence Inn – 301 Ridge Street

**LIST OF SUBDIVISIONS APPROVED ADMINISTRATIVELY
8/1/2013 TO 8/31/2013**

1. TMP 11- 31-35, 82-83, 91 Utility Easement
 Valley Road Kurt Hughes & Associates
 File No. 1514 Final
 Final Signed: 8/22/13
 Signed by: Ebony Walden & Genevieve Keller

**CITY OF CHARLOTTESVILLE
PLANNING COMMISSION PRE MEETING
TUESDAY, June 11, 2013 -- 4:30 P.M.
NDS CONFERENCE ROOM**

Planning Commissioners present

Ms. Genevieve Keller
Mr. Dan Rosensweig
Mr. Kurt Keesecker
Mr. John Santoski
Mr. Mike Osteen
Ms. Lisa Green
Ms. Natasha Sienitsky

Staff Present:

Ms. Missy Creasy, Planning Manager
Mr. Brian Haluska, Neighborhood Planner
Mr. Mike Smith, Neighborhood Planner
Mr. Richard Harris, Deputy City Attorney

The Commission began to gather at 4:30 and was called to order at 5:00pm.

Ms. Keller began review of the agenda.

Concerning 925 East Market Street SUP, Mr. Smith noted that the revised elevations lead to less residential square footage and a lower required contribution to the housing fund. Ms. Keller asked if the new information would have affected the staff recommendation and it was noted that it would not. There are fewer bedrooms than before with the same unit count. Mr. Osteen asked clarifying information for street trees on 10th and Market and that information was provided. Mr. Smith passed out a rendering of the street section provided from the SIA consultant and noted that this information just arrived and was forwarded today to the applicant.

Mr. Haluska noted that there were two clarification items on the PUD item and he provided those details.

Mr. Rosensweig asked why options were presented for Water Street Promenade and Mr. Keesecker asked about the status of the Coal Tower itself as a part of this project.

The discussion adjourned at 5:25pm.

MINUTES
CITY OF CHARLOTTESVILLE
PLANNING COMMISSION
TUESDAY, August 13, 2013 -- 5:30 P.M.
CITY COUNCIL CHAMBERS

Commissioners Present:

Ms. Genevieve Keller (Chairperson)
Ms. Natasha Sienitsky
Mr. Dan Rosensweig
Mr. Michael Osteen
Ms. Lisa Green
Mr. Kurt Keesecker
Mr. John Santoski

Staff Present:

Ms. Missy Creasy, AICP, Planning Manager
Mr. Brian Haluska, AICP, Neighborhood Planner
Mr. Mike Smith, Neighborhood Planner

Mr. David Neuman, Ex-officio, UVA Office of the Architect

Also Present

Mr. Richard Harris, Deputy City Attorney

I. Regular Meeting

A. Commissioner's Report

- Lisa Green- Nothing to report
- Natasha Sienitsky- She attended the CHART Committee where they discussed revising the bylaws. They are continuing work on the long range transportation plan. She did not attend the meeting of the Parks and Recreation Committee.
- Michael Osteen-He attended the regular BAR meeting. The hotel at 301 W Main Street will move forward. The BAR had a meeting with the PLACE committee where they discussed mural and tent requirements. The Tree Commission will be forwarding a tree ordinance to City Council. They have also talked about the lack of street trees on Elliott Avenue.
- Dan Rosensweig-He attended the Housing Advisory meeting on July 17th. They discussed the comments made by City Council on the Comprehensive Plan draft.
- Kurt Keesecker-Nothing to report
- John Santoski will be attending the CIP school committee meeting on September 18th.

B. University Report

Mr. Neuman stated that the students on the lawn will be arriving this Friday and classes start August 27th. The McCormick Bridge is now open. The Econo Lodge ceased operation and a demo permit has been obtained to begin demolition August 19th. The site will be cleared to become a green area.

C. Chair's Report

1. Announce Nominating Committee- Ms. Keller announced that Mr. Keesecker and Ms. Green were will serve on the nominating committee. She also announced that the TJPDC will not be extending the contract of the director. David Blount will serve as the interim director. Kathy Galvin will continue as the vice chair and Ms. Keller will remain as the treasurer.

D. Department of NDS

Ms. Creasy announced that there will be a livability grant open house on September 24th. The BAR will have their regular meeting September 17th and the Planning Commission is asked to attend to provide comments on SUP

applications. The comprehensive plan is available on line. There will be a joint work session August 27th with City Council. The September 10th regular meeting currently has 7 public hearings, so prepare for a long evening.

E. **MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA**

Sarah Rhodes, TJPDC, informed everyone that they will be having an event on Long Range Transportation Plan on September 28th and they are encouraging everyone to attend. It will be held at the Water Street Center from 5pm-7pm. She also informed the Commission about upcoming LRTP events.

F. **Consent Agenda**

A motion for approval of the Consent Agenda was made by Mr. Osteen
Ms. Green seconded the motion
All in favor
Consent Agenda passes

G. **Tonsler Park Master Plan Presentation**

Brian Daly and Chris Gensic were present to show a presentation of the outcome of all of the community engagement process for the design of Tonsler Park. They expressed that the community would like to see the park as the center of the community. They plan on redoing the baseball field to allow more uses and establish a spray park.

Discussion

The Planning Commission was glad that they included youth in the decision making process. The following are a list of items the Commission provided to share with City Council:

- The Park loop trail should be as far to the edge as possible to allow for as much field space as possible. Consult with local user groups to see what dimensions are desirable.
- Safety for trail users in close proximity of the wooded area needs to be taken into account.
- The proposed field house should contain windows to allow for viewing and supervision of the outdoor play areas.
- Lighting in the rear areas of the park may assist with increased use and safety for users.
- Terraced seating in the natural areas within proximity of the tennis and basketball courts should be considered. Consider a high perch near the tennis courts for sitting and viewing the sunset.
- Retain existing and add more trees wherever possible.
- Consideration needs to be given to street edges and how they will be defined without buildings.
- Explore inclusion of lighted non-traditional, active use sport courts where tennis courts currently exist or elsewhere
- Discourage additional parking. Keeping neighborhood parks walkable and bikeable is ideal.
- In the design of the basketball courts, keep in mind there are other potential uses as there will be lighting at the edges. Allow for this flexibility. Consider basketball surface as opportunity for more flexible uses (e.g. goals for small-sided soccer games)
- The open play area is a big improvement. Make sure the bases are close to the ground so they are not a trip hazard during other activities.
- Locate the open shelter closer to the playground and open play area to allow for good placement for supervision.
- Relook at the amphitheater. Perhaps level it off.
- The design may be “over planned.”
- Because of anticipated growth in vicinity, consider purchase options to provide opportunities for more passive activity opportunities through acquisition of adjacent land.
- Eyes on the playground are important.
- A professional designer must address the master plan and incorporation of new elements in the park.
- Consider water fountains which are tamperproof.
- Assure ADA access.
- Reconfigure basketball courts to proper dimensions for full court play

II. JOINT PUBLIC HEARINGS

1. SP-13-06-09 – 925 East Market Street: An application for a special use permit to allow for increased density from the by-right allowance of 43 DUA to 89 DUA at the property located at 925 E. Market Street. The

applicant proposes up to 56 units and 20,090 sf. of commercial space. The property is zoned Downtown North (DN) and further identified on City Real Property Tax Map 53, Parcel 286 with frontage on E. Market Street and 10th Street NE. Downtown North allows for up to 120 DUA by Special Use Permit for Mixed Use developments. The total site area is 27,540 square feet or approximately 0.63 acres and the Land Use Plan generally calls for Commercial. Report prepared by Mike Smith, Neighborhood Planner.

The staff report was presented by Mike Smith

Summary of the staff report

Staff believes this site is appropriately located near transit, commercial, and employment services to adequately support the desired density in this proposal. Staff believes the density proposed at this site will not overwhelm the surrounding neighborhood, as many of the tenants attracted to live at this development will hopefully work at nearby companies, electing to walk, bike, or utilize transit rather than drive. This development will be walkable, bike able, and transit supportive, which are elements of a healthy lifestyle the City encourages. Although staff has expressed reservation regarding the massing and traffic impacts associated with this development, staff believes these impacts can be mitigated with the noted conditions.

Questions from the Commission for the applicant

The Commission was concerned if there were any accommodations for bikes.

Questions from City Council

City Council asked if the plan they were looking at was the revised plan. They also questioned if the project would be in a design control area.

Applicant's response

Richard Funk, 925 Windsor Dr., stated that the site sits on a bus line and they are proposing bike racks for the area. They know that ADA considerations need to be addressed.

Ms. Keller opened the public hearing.

Public Hearing Speakers

William T. Ross, resident of the Randolph building and president of the HOA, feels that they are doing a good job with the project. He does have some concerns with general construction in the area. With another project going on right across the street, parking and traffic will be a problem.

George Gilliam, feels there is a lot going on in the neighborhood. He feels it will have an impact on parking and will cause a mess when parents are dropping and picking their kids up from the new daycare.

Ms. Keller closed the public hearing.

Discussion by Commissioners

Ms. Green has concerns with the ability to access the building when getting off of the bus. She would love to see some more options. She would like this to truly be mixed use.

Ms. Sienitsky had concerns relating to bike facilities and ADA accessibility. She wants to make sure if the residents wanted to bike, they had a place for storage and an easy way of getting bikes in and out of the building.

Mr. Osteen feels this project fronts two major streets. He would like to see significant improvement on both of the streets to support the increase in density. He would like to see more street trees in the diagram.

Mr. Keesecker inquired if there was any way to avoid two garage openings and avoid having an opening on 10th St. He asked if residents would be looking down on the parking lot on the side of the building where balconies are located.

Mr. Santoski would like to see an access in and out of the garage. He wanted to know if a traffic study needed to be completed for the area.

Ms. Keller has concerns about the increasing effect of traffic with additional density. Maybe the applicant should find another way to access the building using the alley. She inquired about the possibility of reduction or increase of units.

Council expressed concern about affordable housing. They wanted to know if the applicant was going to offer affordable housing. They also had concerns relating to the mixed use and residential balance.

Applicant's response- Mr. Woodard the applicant stated that having a traffic study done is part of the site plan as well as complying with ADA. He is willing to put something in the conditions about affordable housing, but the units will be rentals.

Summary of Discussion

The Planning Commission provided the following recommendations in addition to those proposed:

- To have one accessible entrance on 10th St and E Market St.
- Inclusion of a garage entrance on 10th St
- To have the commercial use be opened to the public and accessible from the street

Motion

Mr. Rosensweig said, I move to recommend the approval of this Special Use Permit application for the development at 925 E. Market Street, Tax Map 56, Parcel 286 for increased density to 89 DUA with the following conditions, exceptions and/or modifications:

1. Narrowing of the street width at 10th Street NE and E. Market Street to incorporate sidewalk and landscape buffer, as approved by the City Traffic Engineer.
2. Establishing a setback in the design and construction of the building consistent with the architectural rendering submitted in the SUP application.
3. Provision of at least one accessible entrance on 10th Street NE and Market Street.
4. Inclusion of a maximum of one garage entrance on 10th Street NE.
5. That the commercial use in the building be open to the public, with an entrance directly accessible from a public street.

Mr. Santoski seconded the motion

Ms. Creasy asked for the vote.

Ms. Green	No
Ms. Sienitsky	Yes
Mr. Osteen	No
Mr. Rosensweig	Yes
Mr. Keesecker	Yes
Mr. Santoski	Yes
Ms. Keller	Yes

Motion Carries.

2. ZT-13-01-10 Planned Unit Development Districts code changes - An ordinance to amend and reordain Article V. Planned Unit Development Districts of the Zoning Ordinance of the Code of the City of Charlottesville, 1990, as amended, to provide clarifications to existing text and to revise required submissions and process for pre application and application. Report prepared by Brian Haluska, Neighborhood Planner.

The staff report was presented by Brian Haluska

Questions from the Commission for Staff

The Commission asked if the code changes will allow them to have more flexibility to ask for more information and could they ask for a specific format.

Staff's response

Staff stated that this change in code will allow the Planning Commission to have the option to ask the applicant for more information. It was also noted that a format can be recommended but the applicant has the choice as to how to present their project within the guidelines. The application time clock doesn't start until the submission following the pre-application which is a procedure change.

Ms. Keller opened up the public hearing.

Public Hearing Speakers

Alex Hancock, 2712 Eaton Rd, stated that he proposed a PUD a few years ago and he is not sure why staff wants to change the regulations. He feels this will limit what people can do. He followed the code in his application and presented it and was still turned down. It would be really nice if you could come to the city with a PUD and not get denied.

Ms. Keller closed the public hearing.

Discussion by Commissioners

It was noted that a PUD is supposed to make a neighborhood better and these changes will move us in the right direction. If you want to have the best product for a community then the correct information needs to be available for the review.

The Planning Commission gave specific items and language they would like to see added or removed from the code change. They would like to see the code made better for the applicant, staff and the Commission.

Mr. Harris, Deputy City Attorney, stated that some of the language needs to stay and some of the changes can be made. He gave specific reasons why some changes can't be made.

City Council response

Council wanted to know when the applicant will have clarification and how can we provide that information to the applicant.

Staff stated that the applicant will know the standards in the pre-application review and that will give them the chance to ask questions and make any revisions.

Motion

Ms. Sienitsky said, I move to recommend approval of ZT-13-01-10, an ordinance to amend and reordain Article V – Planned Unit Development Districts of the Zoning Ordinance of the Code of the City of Charlottesville, 1990, as amended, to provide clarifications to existing text, outline information and process required for pre-application, provide updated listing of requirements for a PUD Development Plan and clarify approval requirements on the basis that the changes would serve the interests of public necessity, convenience, general public welfare and/or good zoning practice.

Ms. Green seconded the motion

Ms. Creasy asked for the vote.

- Ms. Green Yes
- Ms. Sienitsky Yes
- Mr. Osteen Yes
- Mr. Rosensweig Yes
- Mr. Keesecker Yes
- Mr. Santoski Yes
- Ms. Keller Yes

IV. REGULAR AGENDA (continued)

- I. Presentation by PLACE Design Task Force

Andria Douglas, PLACE Design Task Force Chair, and Claudette Grant, PLACE member at large were present and provided highlights of the PLACE sub-committees reports and what they had accomplished. They feel things should move forward based on each committee's report.

The Planning Commission feels that the PLACE Task Force has done an excellent job.

- J. Preliminary Discussion
 - 1. Water Street Promenade PUD

Mike Smith presented the staff report.

Allen Taylor and Scott Collins, applicants, were present to answer any questions.

The Planning Commission provided feedback. They like the concept and the commercial piece of the project. They would like to see the commercial building reconfigured so that it wouldn't hide the coal tower.

The motion was made to adjourn to the second Tuesday of the following month by Ms. Sienitsky
All in favor
Meeting adjourned.

MINUTES
CITY OF CHARLOTTESVILLE
PLANNING COMMISSION and CITY COUNCIL JOINT WORK SESSION
TUESDAY, August 27, 2013 -- 5:00 P.M.
CITYSPACE

Councilors Present:

Mr. S. Huja
Ms. Kristin Szakos
Ms. Kathy Galvin
Ms. Dede Smith

Commissioners Present:

Ms. Genevieve Keller (Chairperson)
Ms. Natasha Sienitsky
Mr. Dan Rosensweig
Mr. Michael Osteen
Ms. Lisa Green
Mr. Kurt Keesecker
Mr. John Santoski

Staff Present:

Mr. Maurice Jones, City Manager
Mr. Jim Tolbert, AICP, Director
Ms. Paige Barfield, Clerk
Ms. Miriam Dickler, Communication Director
Ms. Missy Creasy, AICP, Planning Manager
Mr. Brian Haluska, AICP, Neighborhood Planner
Mr. Mike Smith, Neighborhood Planner
Mr. Richard Harris, Deputy City Attorney

Mr. Huja and Ms. Keller called the meeting to order and turned the time to Ms. Creasy. She provided an overview of the agenda and outlined the questions for consideration.

Which areas do you think the City should focus on first, and why?

Mr. Huja stated the common interests between the City and County including the River.

Ms. Smith noted any implementation objectives relating to stormwater

Ms. Green highlighted biking/pedestrian transportation objectives and Mr. Huja and Mr. Osteen agreed.

Mr. Rosensweig noted update of the standards and design manual.

Ms. Galvin stated updating design tools and guidelines

Ms. Sienitsky was concerned about Economic Development related items in the plan. Where will new residents work?

Ms. Szakos noted that implementation of Strategic Action Team report should be addressed.

General consensus was provided that mapping and other associated visuals of projects was a priority.

There was a brief discussion about the work being done to represent CIP projects visually.

Mr. Huja expressed concerned about the utility needs of the City and how this issue fits into the Comprehensive Plan. All agreed about the importance of utilities in future discussions.

The meeting was then turned to Mr. Tolbert who provided an overview of the small area plan materials. He noted that Council is embarking on a strategic planning process and the input from this session will assist Council in making decisions about prioritization. Mr. Tolbert confirmed for Ms. Galvin that all studies underway include a market analysis. He then discussed the list of ten areas targeted for detailed study in the "small area plans" called for in the Comprehensive Plan.

Council and Planning Commissioners discussed the best way to handle developing the small area plans.

Mr. Rosensweig asked if we can achieve a better result by combining some small area sections with one another.

Council and Planning Commission participated in a prioritization exercise with the following results:

Small Area Plans – total counts:

Cherry/Roosevelt Brown: 7,

Emmet Street/Hydraulic N of 250 Bypass: 7,

Fifth Street Extended: 5,

Fountain Neighborhood Commercial: 4,

High Street/MJ Area: 6,

McIntire/Harris/Allied: 6,

Preston Ave (Ridge/McIntire to 10th): 7,

River Road / Rivanna River Area: 7,

Rose Hill: 2,

Woolen Mills: 6.

It was noted that for a future discussion, the following information will be provided:

1. Staff will review the proposed small areas and provide information on the pros and cons of combining areas into larger plans.
2. Economic development will assist in providing information on the estimated income to be generated by plan investment in the small areas to help with prioritization.

Ms. Galvin noted that implementation and big picture context is critical. We must discuss this next time.

The meeting adjourned at 7:06.

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



PLANNING COMMISSION AND CITY COUNCIL JOINT PUBLIC HEARING

DATE OF HEARING: September 9, 2013

APPLICATION NUMBER: ZM 13-07-11

Project Planner: Michael Smith
Applicant: Riverbend Development, Inc.
Applicant's Representative: Alan Taylor

Application Information

Property Street Address: Water Street Extended

Tax Map/Parcel #: 25-157A

Total Acreage Site: 2.11

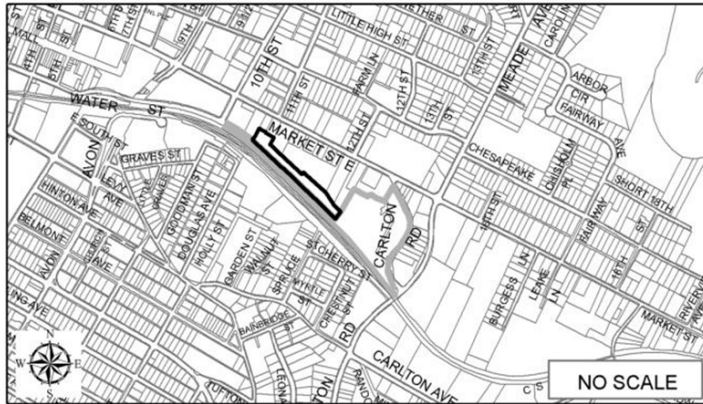
Comprehensive Plan (Land Use Plan) Designation: Mixed-Use

Current Zoning Classification: Downtown Extended (Mixed Use) and IPP (Individually Protected Property)

Applicant's Request:

The applicant is requesting to rezone a vacant parcel adjacent to the Water Street Extension from Downtown Extended (DE) Mixed-Use Corridor with Individually Protected Property Overlay (portion) to Planned Unit Development (PUD) with Individually Protected Property Overlay (portion) with proffers. Proffers include the provision of affordable housing and dedication of open space and the Coal Tower IPP to the City of Charlottesville. This property is further identified on City Real Property as Tax Map 57, Parcel 157A having approximately 950 feet of frontage on Water Street and containing approximately 94,089 square feet of land (2.16 acres). The overall residential density proposed is between 9-31 DUA. The general uses called for in the Land Use Plan of the 2013 Comprehensive Plan are for Mixed-Use.

Vicinity Map



Standard of Review: The Planning Commission must make an advisory recommendation to the City Council. Council may amend the zoning district classification of this property upon finding that the proposed amendment would serve the interests of “*public necessity, convenience, general welfare, or good zoning practice.*” To advise Council as to whether those interests would be served, the Planning Commission should inquire as follows: **(1)** The initial inquiry should be whether the *existing* zoning of the property is reasonable; **(2)** the Commission should then evaluate whether the *proposed* zoning classification is reasonable. One factor relevant to the reasonableness of a particular zoning district classification is whether that classification is consistent with the City’s Comprehensive Plan designation for the property. Other relevant factors include: the existing use and character of the subject property and adjacent properties; suitability of the property for various uses; zoning classification(s) of adjacent properties; the intent and purposes of the proposed zoning district classification; trends of growth and change (including, without limitation, recent patterns of development of other circumstances which may have changed since the current zoning classification was originally enacted).

Project Review:

Overall Analysis:

1. Proposed Use of the Property

The proposed uses of the property are residential and commercial. The primary plan proposes 19 single-family detached residential units, a five-story, 43,500 square foot mixed-use building, and 24.8% of 2.16 acres preserved for open space. The alternative plan proposes 24 single-family detached units, no mixed-use building and 20.3% of 2.16 acres preserved for open space.

2. Zoning History

In 1949 the property was zoned C Industrial. It was shown as M-2 Industrial on the 1958 and 1976 zoning map. The property was zoned M-1 Industrial in 1991 and then, as part of the comprehensive zoning changes of 2003, the property was zoned Downtown Extended Mixed Use.

3. Character and Use of Adjacent Properties

Direction	Use	Zoning
North	Commercial and Multi-Family Residential	DE
South	Belmont Lofts	PUD
East	Multi-Family Residential	DE
West	Office	DE

4. Reasonableness/Appropriateness of Current Zoning

The current zoning is reasonable and appropriate as this area is currently surrounded by medium to high residential density uses, as well as commercial and office uses. The current zoning would allow for approximately 43 dwelling units per acre and 101’ of height, subject to streetwall regulations, for a mixed-use building.

5. Reasonableness/Appropriateness of Proposed Zoning

The proposed zoning is reasonable and appropriate for this area. The proposed PUD incorporates uses that are currently allowed by-right within the DE zoning district.

6. Consistency with Comprehensive Plan

The Comprehensive Plan designation for this area recommends mixed use. The Comprehensive Plan establishes goals and objectives aimed at “enhancing sense of place” and “enhancing pedestrian connections between residences, commercial centers, public facilities, and amenities.” Staff believes this PUD reflects the vision of the Comprehensive Plan, proposing uses that will add to the diversity of uses currently existing along Water Street.

7. Potential Uses of the Property

An approved PUD shall allow for those uses shown on an approved PUD development plan.

8. Access, Circulation, and Traffic:

The proposed PUD has street frontage on Water Street. Motorists will access the proposed uses by entrances off of Water Street. The mixed-use building will contain two entrances, while the single-family detached units will be served by a one-way alley with an entrance and exit located on Water Street. Pedestrian and bike access will be provided by the multi-use trail and sidewalk to be installed with the Water Street extension.

9. Planned Unit Standards:

The PUD proposes 0.535 acres of open space, which is 24.8% percent of the project area. City Code requires that at least 15 percent of the gross land area be in open space. According to the Code, open space must be useable for recreational purposes, or provide visual, aesthetic or environmental amenities. The largest area of useable open space will be addressed in 0.134 acres around the Coal Tower, which the applicant proposes to donate to the City.

10. Process

If the rezoning is approved, and before any site development, the applicant will be required to submit for review a preliminary site plan that is in substantial conformance with the approved PUD.

11. Impact Mitigation

The applicant has submitted proffers in an effort to offset and mitigate certain impacts anticipated as a result of the proposed development.

Proffer #1 regarding affordable housing supports the City’s goal of 15% supported affordable housing by 2025 by contributing funds into the Charlottesville Housing Fund.

Proffer #2 regarding donation of open space supports the City’s efforts towards encouraging and providing meaningful public spaces that promote historic resources.

Proffers

The applicant has submitted the following proffers:

1. The owner/applicant shall hereby make a cash contribution to the city’s affordable housing fund of \$2.06 per gross square floor area (which is the consumer price index for Housing in the South Urban Region) for the (7) additional units achieved on the property over and above the 12 units under the by-right conditions of the property. This total cash contribution shall be calculated based on the average square footage of the proposed (19) single family units to determine the total cash contribution for the (7) additional single family units, and this total cash contribution shall be divided among the proposed 19 units and shall be paid on a per unit basis on each unit prior to issuance of a Building permit for each individual unit.

If Phase 2 of the project is developed as (5) single family houses in lieu of the proposed 5 story building, then the owner/applicant shall hereby make an additional cash contribution to the city’s affordable housing fund of \$2.06 per gross square floor area for the (2) additional units achieved in this phase over and above the 3 units under the by-right conditions within this phase. This total cash contribution shall be calculated based on the average square footage of the proposed (5) single family units located in Phase 2 to determine the total cash contribution for the (2) additional single family units, and this total cash contribution shall be divided among the proposed 5 units and shall be paid on a per unit basis on each unit prior to issuance of a Building permit for each individual unit.

Staff believes the concept established in Proffer #1 is appropriate. Essentially, the applicant is seeking to use the average of the nineteen (19) units as the basis for the calculation of square feet subject to the payment of the cash contribution. That average will then be applied to the seven (7) additional units(above by-right density) and multiplied by \$2.06, currently the consumer price index for Housing in the South Urban Region. Assuming the 19 units are constructed at roughly 3,000 square feet a unit, the applicant would contribute a total \$42, 260, or \$2, 276.84 per unit, to the

Charlottesville Housing Fund. The same equation would apply if the applicant elects to build Phase 2.

2. The proposed common open space area surrounding the existing historical Coal Tower and totaling a square footage of no less than 5,600 SF and the Coal Tower structure shall be dedicated to the City of Charlottesville upon written request from the City of Charlottesville.

City staff is currently evaluating the feasibility of proffer #2.

Public Comments Received:

Staff has received three comments to date. Of the comments received, two members of the public expressed concern over the potential negative impacts to the viewshed for Belmont Lofts residents and for the potential of the single-family detached units to become rentals and unsuitable for the neighborhood. The third comment received by staff voiced support of the project, sighting this PUD could have a positive impact on economic development activities.

Staff Recommendation:

The proposed rezoning adequately meets the objectives desired in a planned unit development. Staff believes the proposed PUD reflects numerous goals established within the Land Use, Housing, and Urban Design chapters of the 2013 Comprehensive Plan and presents a unique, appropriate scaled mixed-use concept along an important corridor within the City. The proposed uses would be compatible and harmonious with surrounding land uses, and the PUD provides coordinated linkages to internal buildings as well as external destinations.

Staff recommends approval of the rezoning and proffers as submitted.

Attachments

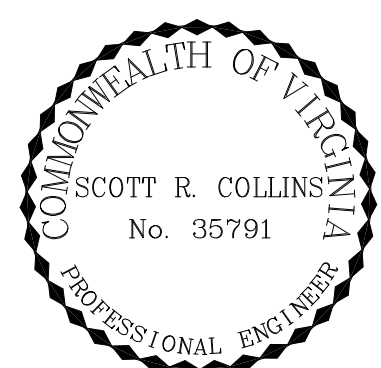
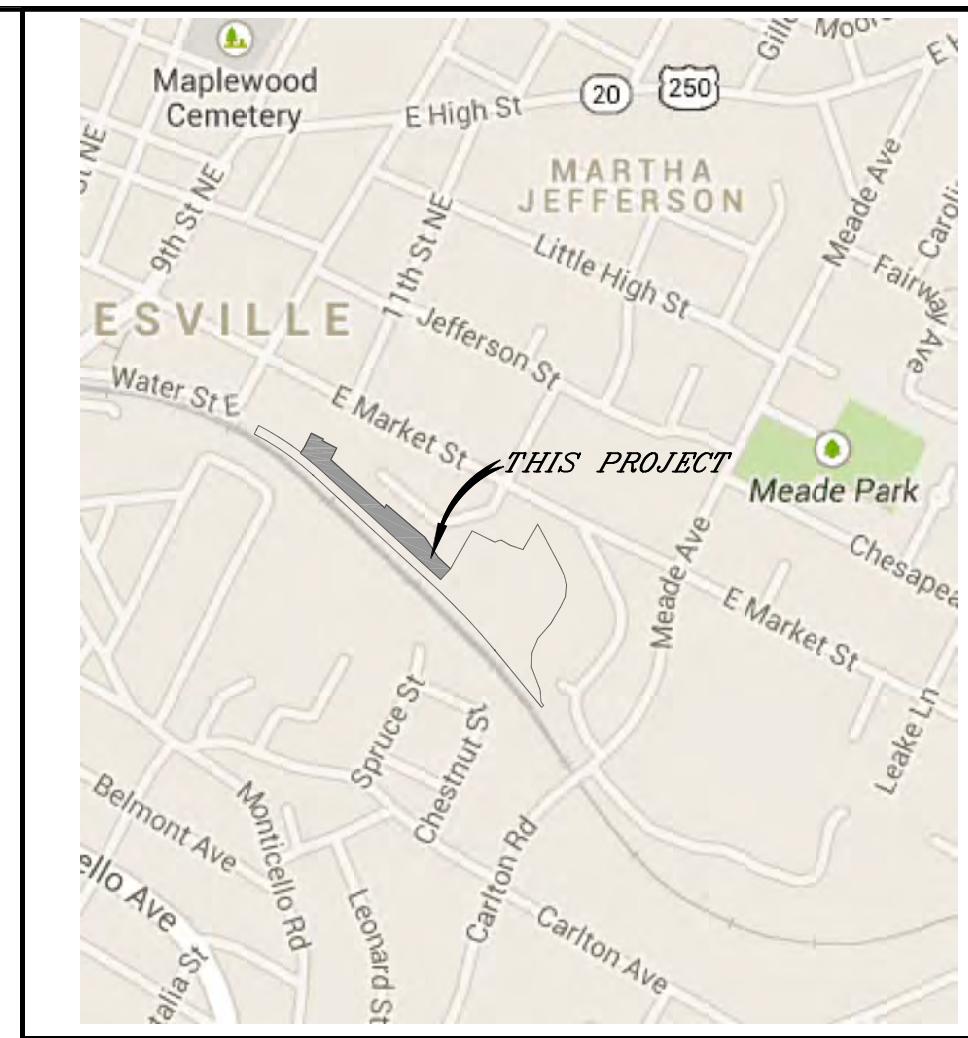
Application materials.

Suggested Motions:

1. “I move to recommend the approval of this application, including submitted proffers, to rezone the subject property from Downtown Extended Mixed-Use(DE) with Individually Protected Property Overlay to PUD with Individually Protected Property Overlay , on the basis that the proposal would serve the interests of the general public welfare and good zoning practice.”
2. “I move to recommend denial of this application to rezone the subject properties from Downtown Extended Mixed-Use(DE) with Individually Protected Property Overlay to PUD with Individually Protected Property Overlay.”
3. Alternate motion.

WATER STREET PROMENADE PUD APPLICATION PLAN

CITY OF CHARLOTTESVILLE, VIRGINIA

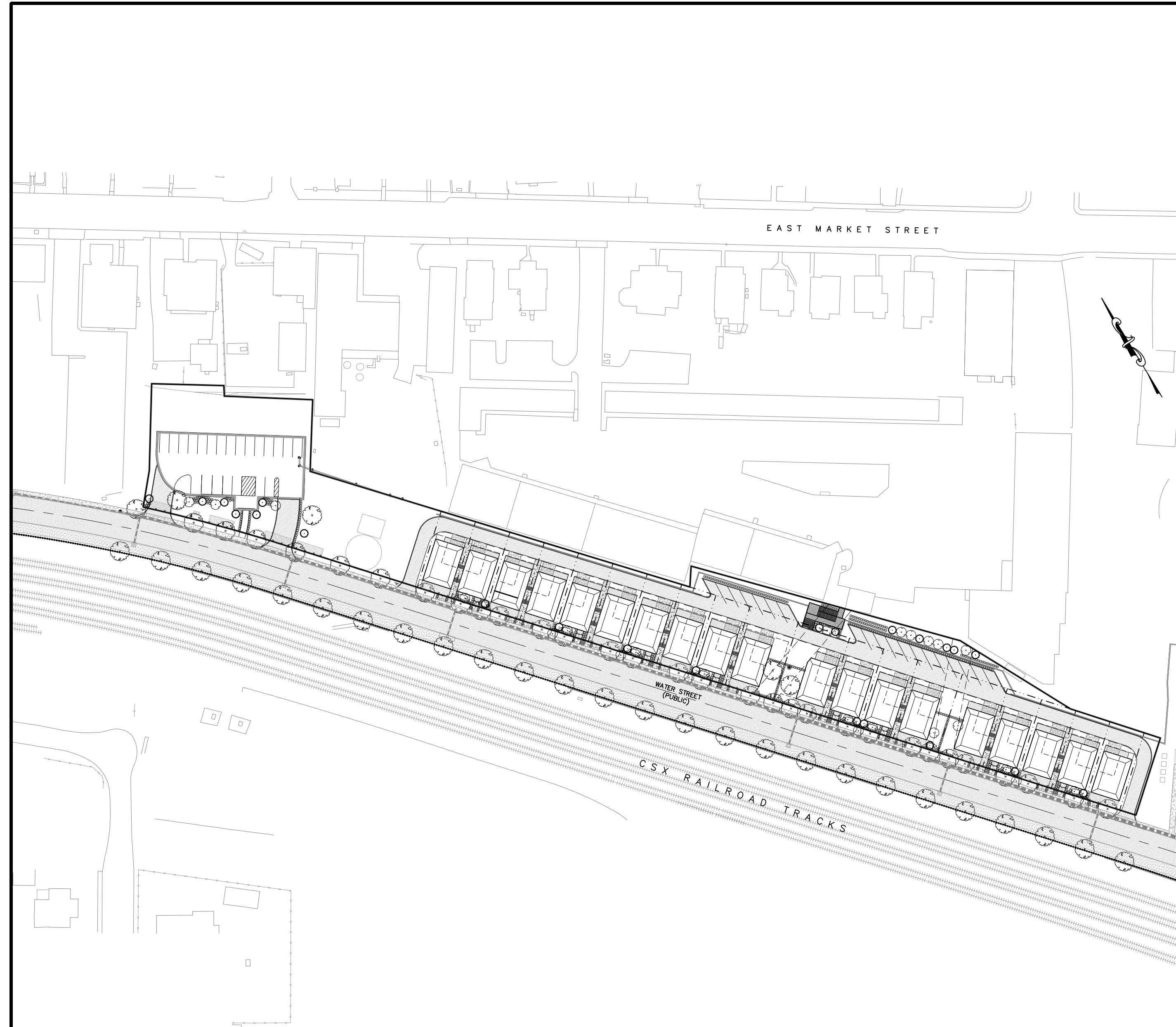
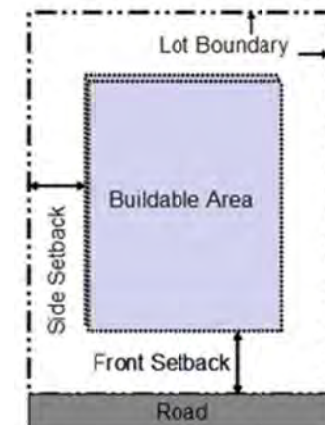


PROJECT DATA:

- THE OWNER OF THIS PROPERTY IS:
CHOCO-CRUZ, LLC
321 E MAIN STREET, SUITE 200
CHARLOTTESVILLE, VA 22902
- THE DEVELOPER OF THIS PROPERTY IS:
RIVERBEND DEVELOPMENT, INC.
321 E MAIN STREET, SUITE 201
CHARLOTTESVILLE, VA 22902
ATTN: ALAN TAYLOR
- THESE PLANS HAVE BEEN PREPARED BY:
COLLINS ENGINEERING, LLC
200 GARRETT STREET SUITE K
CHARLOTTESVILLE, VA 22902
ATTN: SCOTT COLLINS
TELEPHONE: (434) 987-1631 FACSIMILE: (434) 245-0300
- SOURCE OF INFORMATION: SURVEY PROVIDED FOR BY THOMAS LINCOLN LAND SURVEYOR INC. NOVEMBER 2009.
AERIAL TOPOGRAPHY PROVIDED BY LOUISA AERIAL SURVEYS, INC. FIELD VERIFIED BY COLLINS ENGINEERING
JULY, 2013.
- ZONING: DEN - DOWNTOWN EXTENDED CORRIDOR, HISTORIC INDIVIDUALLY PROTECTED PROPERTY
- TAX MAP AND PARCEL NUMBER: TMP 570157A00 (RESIDUE FROM TMP 570157000)
- USGS DATUM: NGVD '29
- LOCATION/ADDRESS OF PROJECT: TERMINUS OF WATER STREET AND 10TH STREET INTERSECTION, ADJACENT TO CSX RAILROAD.
- BUILDING HEIGHT: SEE MATRIX BELOW
- PROPOSED USE: 19 SINGLE FAMILY RESIDENCES & 43,500 SF COMMERCIAL/RESIDENTIAL BUILDING
- TOTAL ACREAGE OF SITE: 2.16 ACRES
- PROPOSED DENSITY:
TOTAL ACREAGE OF PROPERTY: 10.654 ACRES
TOTAL RIGHT-OF-WAY AREA OF WATER STREET: 2.04 ACRES
TOTAL AREA OF DEVELOPMENT: 8.61 ACRES
TOTAL DENSITY: 43 DUA = 370 UNITS
DENSITY FROM CITY WALK PROJECT: 301 UNITS
ALLOWABLE DENSITY REMAINING: 69 UNITS
PROPOSED DENSITY WITH THIS APPLICATION: 19 UNITS
TOTAL PROPOSED DENSITY: 37 DUA
- SITE PHASING: PROJECT TO OCCUR IN TWO PHASES (19 SF UNITS TO OCCUR FIRST)
- CRITICAL SLOPES: NO CRITICAL SLOPES EXIST ON THE SUBJECT PROPERTY PER THE CITY OF CHARLOTTESVILLE
CODE OF DEVELOPMENT SECTION 34-1120 (B).
- PUBLIC UTILITIES: THE SITE WILL BE SERVED BY EXISTING PUBLIC WATER AND SEWER.
- STREAM BUFFER: THE DEVELOPMENT OF THIS PROPERTY DOES NOT IMPACT A STREAM BUFFER. NO FLOODPLAINS ON SITE PER FEMA MAP #51003C0288D, PANEL #0288D DATED FEBRUARY 4, 2005.
- SUBJECT PARCEL LOT COVERAGE AND PROPOSED USES:
EXISTING:
COAL TOWER: 0.03 AC. (1.39%)
VACANT LAND: 2.13 AC. (98.61%)
TOTAL: 2.16 AC.
PROPOSED:
COAL TOWER: 0.03 AC. (1.39%)
LOTS: 1.520 AC. (70.37%)
ALLEY: 0.075 AC. (3.47%)
OPEN SPACE: 0.535 AC. (24.77%)
TOTAL: 2.16 AC.
- SIGNAGE: THE SIGNAGE REGULATIONS ESTABLISHED IN THE CITY ZONING ORDINANCE SHALL GOVERN ALL SIGNAGE WITHIN THE COAL TOWER PUD.
- INGRESS AND EGRESS: ACCESS TO THIS PROPERTY SHALL BE PROVIDED WITH WATER STREET, A PUBLIC ROAD CURRENTLY UNDER CONSTRUCTION.
- ONE FIRE HYDRANT IS PROPOSED. THERE ARE (2) EXISTING FIRE HYDRANTS ALONG WATER STREET AT EITHER END OF THE SITE.
- SIDEWALKS ARE EXISTING ALONG WATER STREET. EXISTING SIDEWALKS WILL BE REPAIRED OR REPLACED AS NECESSARY ALONG WATER STREET.

Structure	Build-to-Lines (Setbacks) & Maximum Building Heights				
	Front	Side	Rear	Min. Height	Max. Height
Single Family	0'	3'	5'	35'	50'
Commercial	0'	0'	0'	35'	80'

*Single Family rear setback measured from alley edge of pavement.
Note: Extensions into setbacks for eaves and porches permitted up to 4'. Building heights shall be measured from the main entry at street level. Basements and attics shall be allowed, but not considered towards total height. Buildings shall not exceed five (5) stories.



SHEET LAYOUT
SCALE: 1" = 75'

CURRENT OWNER
CHOCO-CRUZ, LLC
321 E MAIN STREET, SUITE 200
CHARLOTTESVILLE, VA 22902

DEVELOPER
RIVERBEND DEVELOPMENT, INC
321 E MAIN S, SUITE 201
CHARLOTTESVILLE, VA 22902

ENGINEER
COLLINS ENGINEERING
200 GARRETT STREET SUITE K
CHARLOTTESVILLE, VA 22902

LEGEND

ROADS

- EXISTING CULVERT
- CULVERT
- DROP INLET & STRUCTURE NO.
- CURB
- CURB & GUTTER
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED VEGETATIVE COVER
- PROPOSED BIOFILTER VEGETATION
- EC-3A DITCH
- DEPTH OF EC-3A DITCH
- EC-2 DITCH
- DEPTH OF EC-2 DITCH
- EARTH DITCH
- DRIVEWAY CULVERT
- BENCH MARK
- CLEARING LIMITS
- VDOT STANDARD STOP SIGN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- T/B DENOTES TOP/BACK OF CURB
- T/B DENOTES TOP OF BOX

VICINITY MAP

SCALE: 1" = 1000'

SHEET INDEX

TITLE	SHEET
TITLE SHEET	1
EXISTING CONDITIONS	2
SITE PLAN	3
GRADING, UTILITY & SWM PLAN	4
WATER STREET PROMENADE COLOR ELEVATION	5
WATER STREET PROMENADE PERSPECTIVE #1	6
WATER STREET PROMENADE PERSPECTIVE #2	7
WATER STREET PROMENADE PERSPECTIVE #3	8
TOTAL SHEETS:	8

REVISIONS

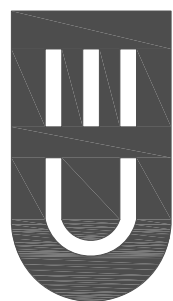
REVISION DESCRIPTION	DATE	INITIAL SUBMITTAL	REVISED PER CITY COMMENT
	07/23/13		
	8/29/13		

COLLINS ENGINEERING

200 GARRETT STREET, SUITE K-CHARLOTTESVILLE, VA 22902-434,293,3719

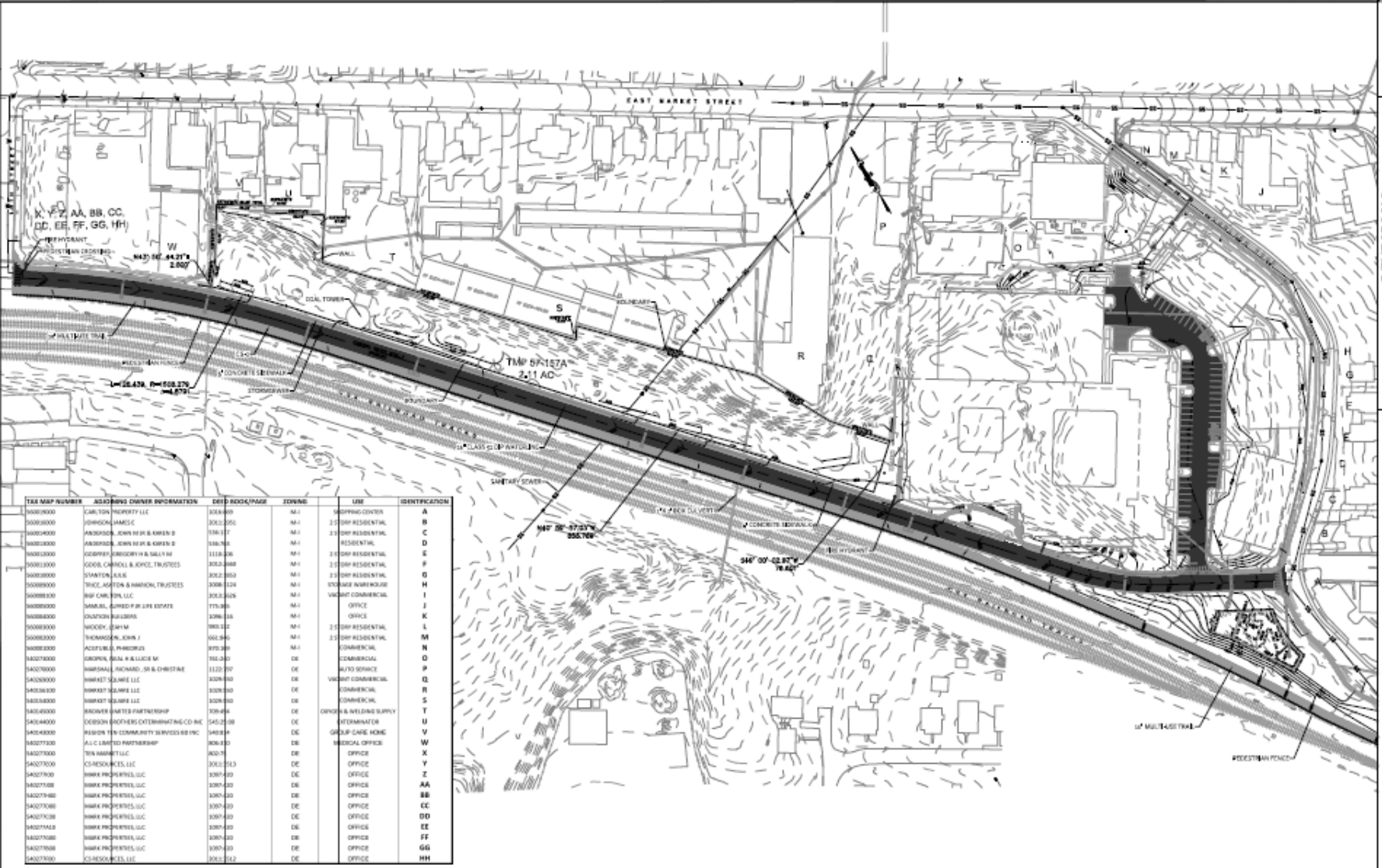
WATER STREET PROMENADE PUD APPLICATION PLAN
COVER SHEET

SIGNATURE PANEL
DIRECTOR, NEIGHBORHOOD DEVELOPMENT _____

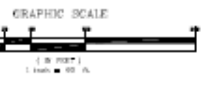


PROJECT	JOB NO.
	102038
SCALE	N/A
SHEET NO.	1

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TAX MAP NUMBER	ADDRESS	OWNER INFORMATION	DEED BOOK/PAGE	ZONING	USE	IDENTIFICATION
50003000	CARLTON	PROPERTY LLC	305-B-800	M-1	OFFICE/COMMERCIAL	A
50003000	COMMONWEALTH		305-C-800	M-1	2.5 OFF RESIDENTIAL	B
50003000	ANDREWS	JOHN RAY & GREEN D	150-17	M-1	2.5 OFF RESIDENTIAL	C
50003000	ANDREWS	JOHN RAY & GREEN D	150-78	M-1	RESIDENTIAL	D
50003000	GODFREY	BARBORNY & SALLY M	1118-206	M-1	2.5 OFF RESIDENTIAL	E
50003000	GOOD	CARROLL & JOYCE TRUSTEES	302-248	M-1	2.5 OFF RESIDENTIAL	F
50003000	STANTON	ALAN	302-250	M-1	2.5 OFF RESIDENTIAL	G
50009000	TRICE	AGUSTON & MARSHAL TRUSTEES	2008-174	M-1	STOCK MARKET/RESERVE	H
50009000	WSP	CARLTON LLC	302-249	M-1	VARIANT COMMERCIAL	I
50009000	DANIEL	ALFRED P JR LIFE ESTATE	775-86	M-1	OFFICE	J
50009000	CAUTION	WILSONS	1096-16	M-1	OFFICE	K
50009000	MOORE	JOHN M	983-12	M-1	2.5 OFF RESIDENTIAL	L
50009000	THOMAS	AL JOHN J	562-346	M-1	2.5 OFF RESIDENTIAL	M
50009000	ACOSTA	FRANCIS	975-29	M-1	COMMERCIAL	N
50273000	GEORGE	ALAN W & LUCIE M	782-23	DE	COMMERCIAL	O
50273000	HARRIS	RICHARD SA & CHRISTINE	1122-97	DE	AUTO SERVICE	P
50273000	HARRIS	SEAN LEE	1028-80	DE	VARIANT COMMERCIAL	Q
50273000	HARRIS	SEAN LEE	1028-80	DE	COMMERCIAL	R
50273000	HARRIS	SEAN LEE	1028-80	DE	COMMERCIAL	S
50273000	PROFFER	PARTNER FIRM ENERGY	1709-94	DE	OFFICE & BUSINESS SUPPLY	T
50273000	COBURN	ROBERT COLEMAN INC CO INC	542-2-88	DE	RESTAURANT	U
50273000	REASON	TRIN COMMUNITY SERVICES INC INC	1403-14	DE	GROUP CARE HOME	V
50273000	AJC	LABRITO PARTNERSHIP	866-10	DE	MEDICAL OFFICE	W
50273000	TIN	NAMART LLC	807-7	DE	OFFICE	X
50273000	CS-RESOURCES	LLC	302-1-513	DE	OFFICE	Y
50273000	HANK	PROPERTIES LLC	1007-83	DE	OFFICE	Z
50273000	HANK	PROPERTIES LLC	1007-83	DE	OFFICE	AA
50273000	HANK	PROPERTIES LLC	1007-83	DE	OFFICE	BB
50273000	HANK	PROPERTIES LLC	1007-83	DE	OFFICE	CC
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50273000	HANK	PROPERTIES LLC	1007-83	DE	OFFICE	EE
50273000	HANK	PROPERTIES LLC	1007-83	DE	OFFICE	FF
50273000	HANK	PROPERTIES LLC	1007-83	DE	OFFICE	GG
50273000	CS-RESOURCES	LLC	302-1-513	DE	OFFICE	HH



REVISIONS

NO.	DATE	REVISION DESCRIPTION

COLLINS ENGINEERING
200 GARRETT STREET, SUITE K-CHARLOTTESVILLE, VA 22900-434-292-3719

WATER STREET PROMENADE PUD APPLICATION PLAN
EXISTING CONDITIONS

PROJECT	102019
DATE	05/19/20
SCALE	AS SHOWN
SHEET	2



EAST MARKET STREET



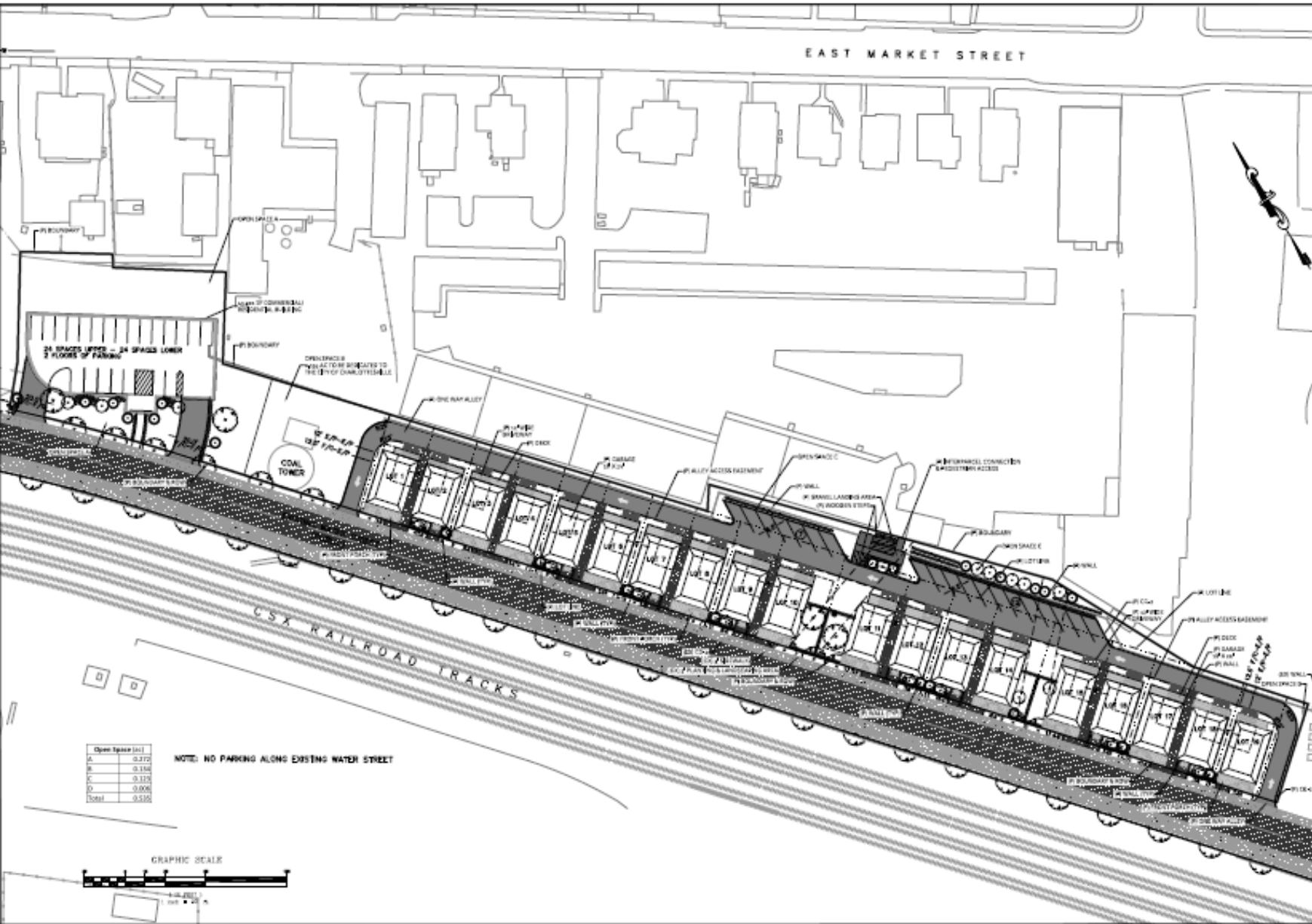
REVISIONS

REVISION NO. DATE BY

COLLINS ENGINEERING
200 GARRETT STREET, SUITE K-CHARLOTTESVILLE, VA 22902-4542-305.5719

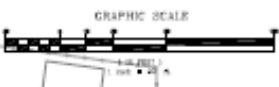
WATER STREET PROMENADE PUD APPLICATION PLAN
SITE PLAN

PROJECT NO. 200874
DATE 11/10/10
SCALE 1/8" = 1'-0"



Open Space (ac)	
A	0.272
B	0.134
C	0.112
D	0.006
Total	0.524

NOTE: NO PARKING ALONG EXISTING WATER STREET



THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



REVISIONS

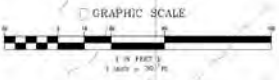
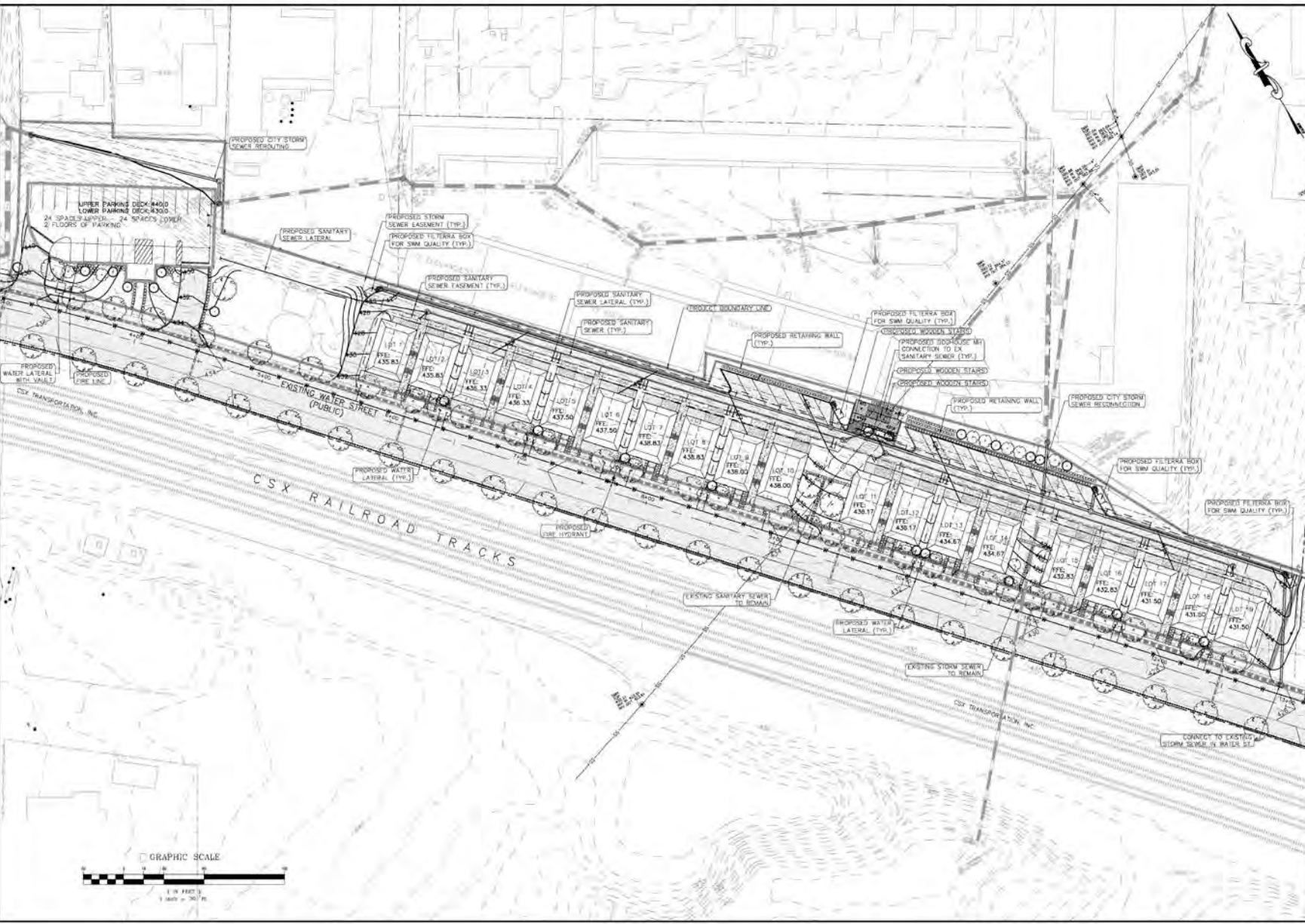
DATE	REVISION DESCRIPTION	INITIALS	DATE
07/20/23	REVISED PER CITY COMMENT		

COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K-CHARLOTTESVILLE, VA 22802-434-263.3719

**WATER STREET PROMENADE PUD APPLICATION PLAN
 GRADING, UTILITY, & SWM PLAN**

PROJECT	102038
SCALE	1"=30'
SHEET	4

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Water Street Promenade

PUD Application Plan

City of Charlottesville, Virginia



Submitted by:

Riverbend Development, Inc. – Developer

Collins Engineering, Inc. – Civil Engineer

July 23, 2013

Revised August 30, 2013

WATER STREET PROMENADE PUD APPLICATION

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1. Purpose and Intent
2. Land Use
 - a. Existing Conditions
 - b. Proposed Uses & Phasing
3. The Vision for Water Street Promenade
4. General Development Plan
 - a. Development Characteristics & Parking
 - b. Transportation & Access
 - c. Density & Open Space
 - d. Lot Layout Standards
 - e. Grading & Utilities
 - f. Sensitive Areas
 - g. Landscaping
 - h. Signage

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2. Existing Conditions – Water Street Promenade
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4. Property Plat (Not to Scale)
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7. Proposed Transportation Plan
8. Public Streetscape Dimension Exhibit (Not to Scale)
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10. Proposed Water Street Promenade Sidewalk Perspective

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2. Overall Proposed Density
3. Build-to-Lines (Setbacks) & Maximum Building Heights

Purpose and Intent

The Water Street Promenade property is located adjacent to the CSX railroad at the eastern terminus of Water Street in downtown Charlottesville, Virginia. Riverbend Development, Inc. seeks to rezone TMP 570157A00, a 2.16 acre residue parcel created from the existing development on parcel TMP 570157000. The subject parcel is currently zoned DE – Downtown Extended Corridor Mixed Use. Within this parcel, the existing Coal Tower structure exists within the Architectural Design Control Districts and Individually Protected Properties overlay district. The City of Charlottesville Code of Ordinances requires that properties rezoned to a Planned Unit Development District (PUD) contain land in excess of 2.00 acres. The applicant seeks a PUD rezoning of the Water Street Promenade 2.16 acre property, pursuant to the City Ordinance.

This document and the exhibits herein shall constitute the Water Street Promenade General Development Plan, which is intended to establish a framework of standards for the development while allowing flexibility upon final design. The Development Plan provides regulatory requirements that the applicant acknowledges will require interpretation. It is the goal of Riverbend Development, Inc. to ensure a quality community through rezoning of the property using the standards detailed herein.

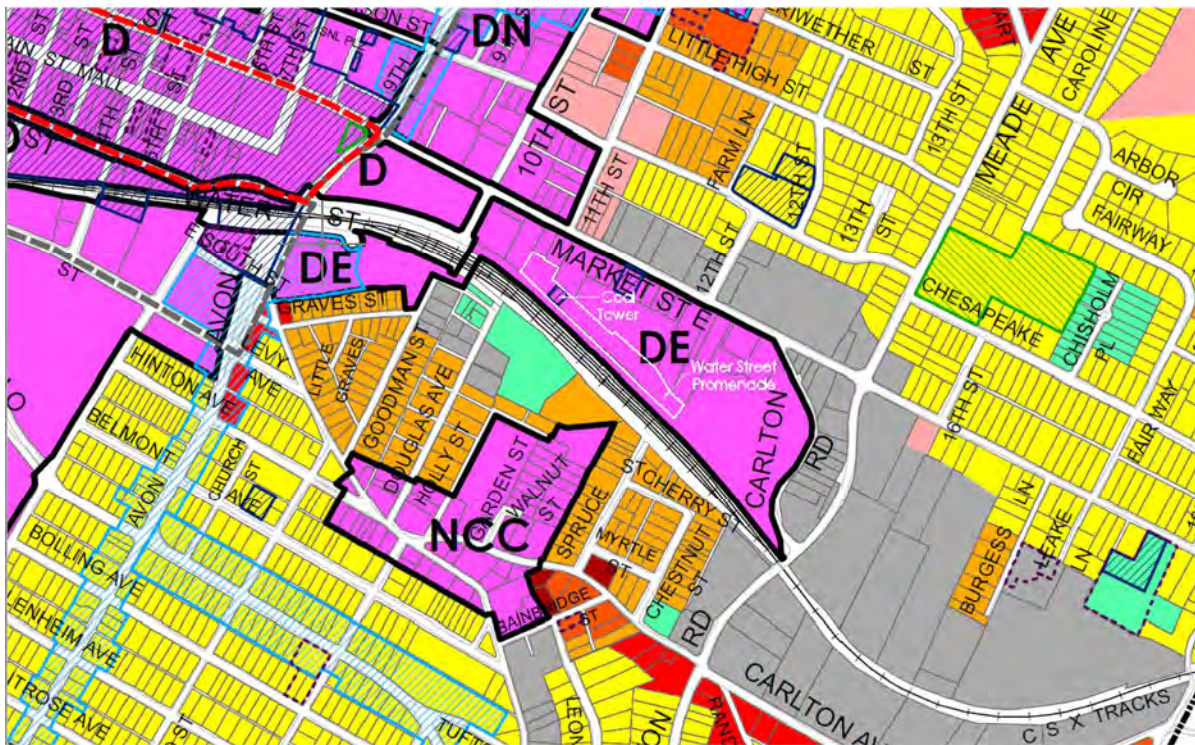


Figure 1: Existing Zoning Map

Land Use

Existing Conditions

The existing Water Street Promenade property consists of a single residue parcel comprising 2.16 acres of land. The project is bordered by the CSX Railroad to the south, commercial properties fronting 10th Street to the west, commercial properties fronting East Market Street to the north, and an apartment development to the east. An existing City sanitary sewer line and City 2'x2' storm box culvert run through the Water Street Promenade property. The lines will be retained with the proposed design.

Development parcel TMP 570157000 originally comprised 10.654 acres of land and included improvements at the southern property line of the Water Street Promenade residue parcel. The approved adjacent apartment project extended the existing terminus of Water Street east to Carlton Road creating a new public right-of-way frontage for the Water Street Promenade project lots. The Water Street extension will provide water and storm sewer, a new 5' concrete sidewalk north of the road, and a new 10' wide multi-use trail to the south of the road connecting the 10th Street intersection to Carlton Road and Meade Street. These improvements create a tremendous opportunity for a new development with walkability and access to downtown Charlottesville within this residue parcel.

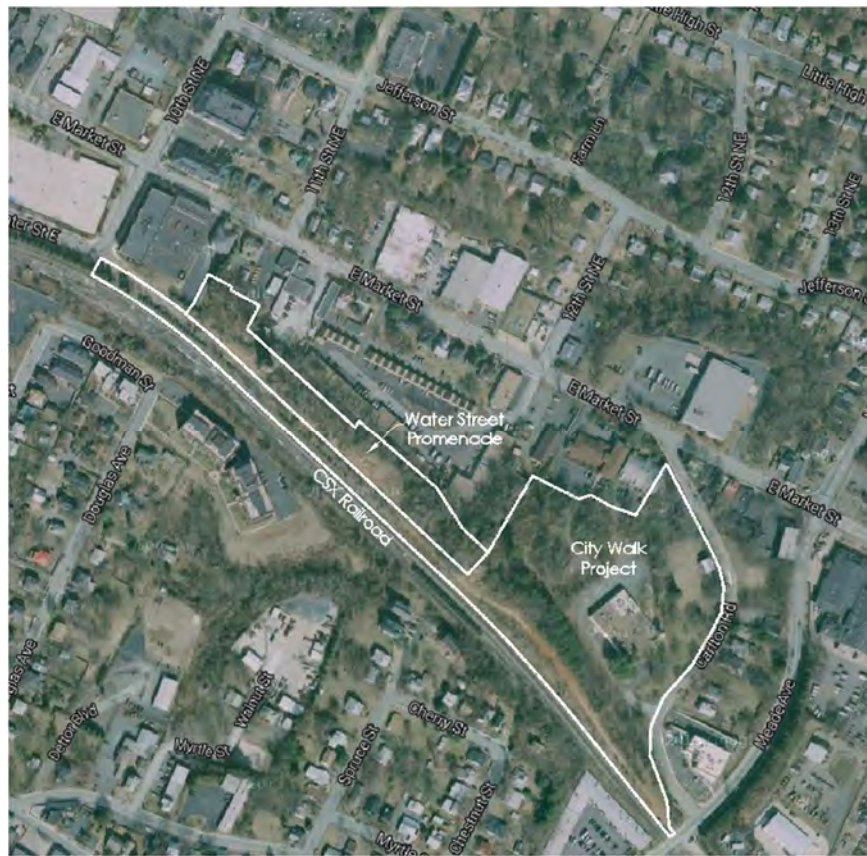


Figure 2: Existing Conditions – Water Street Promenade

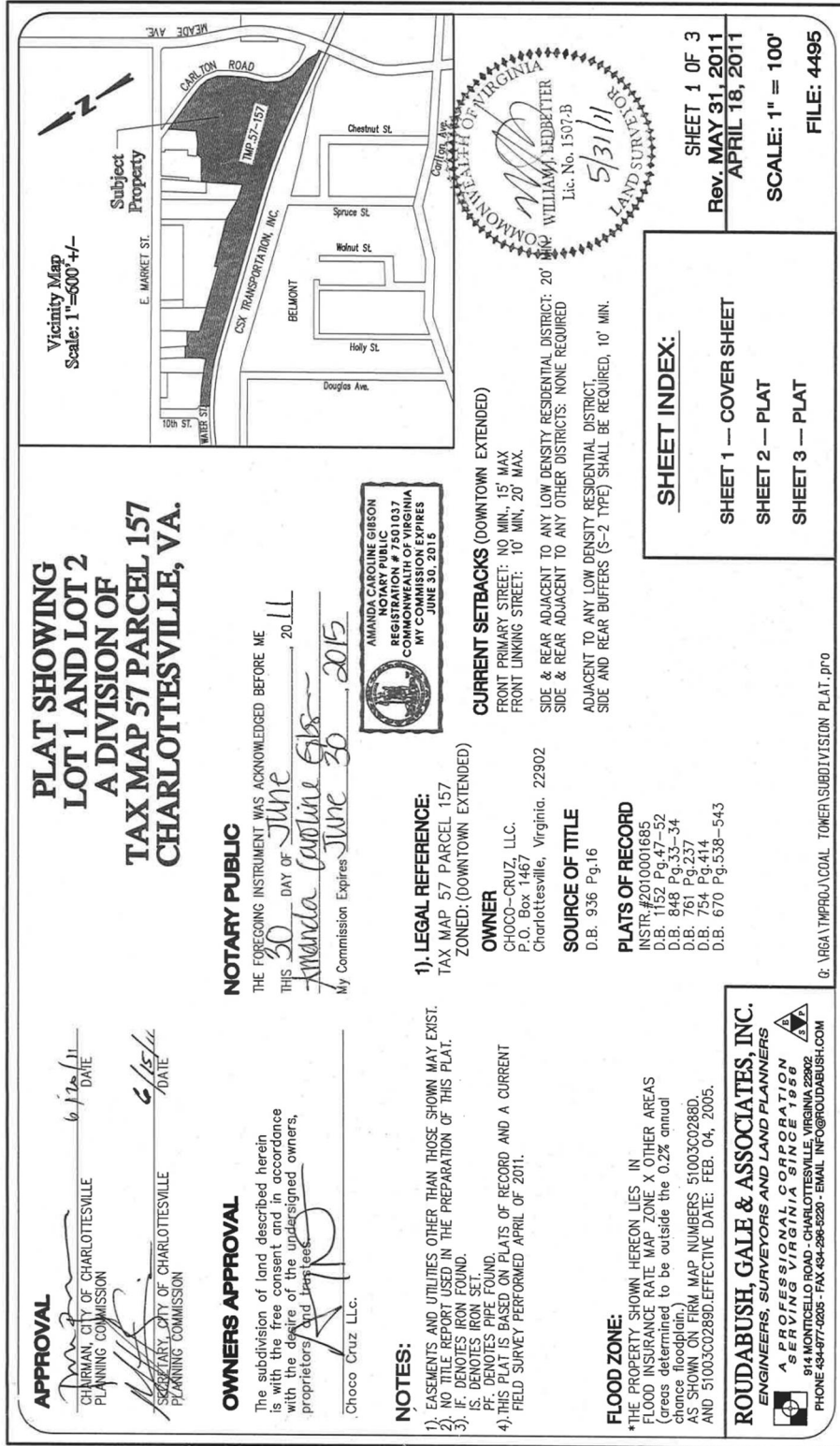


Figure 3: Property Plat (Not to Scale)

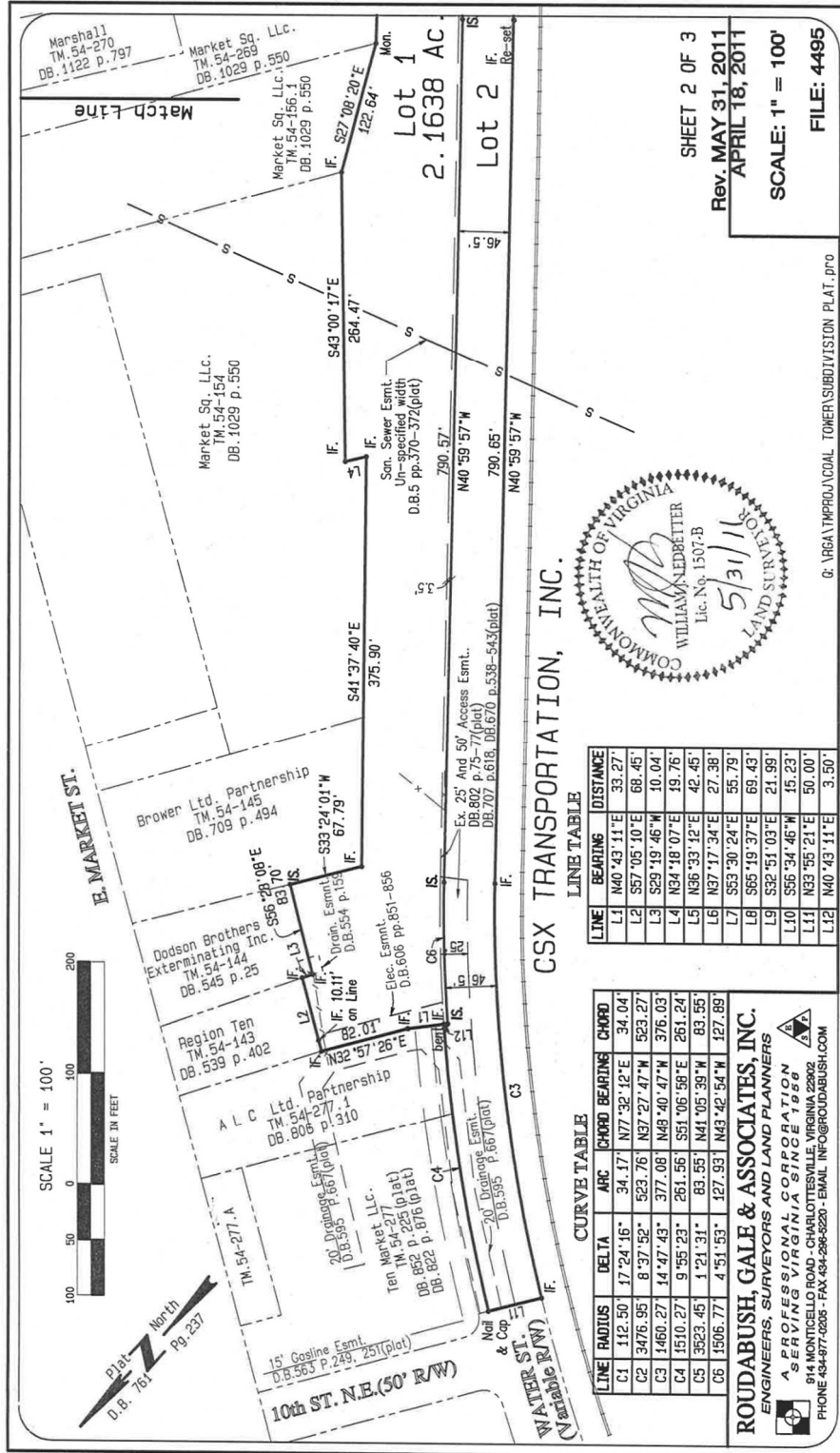


Figure 4: Property Plat (Not to Scale)

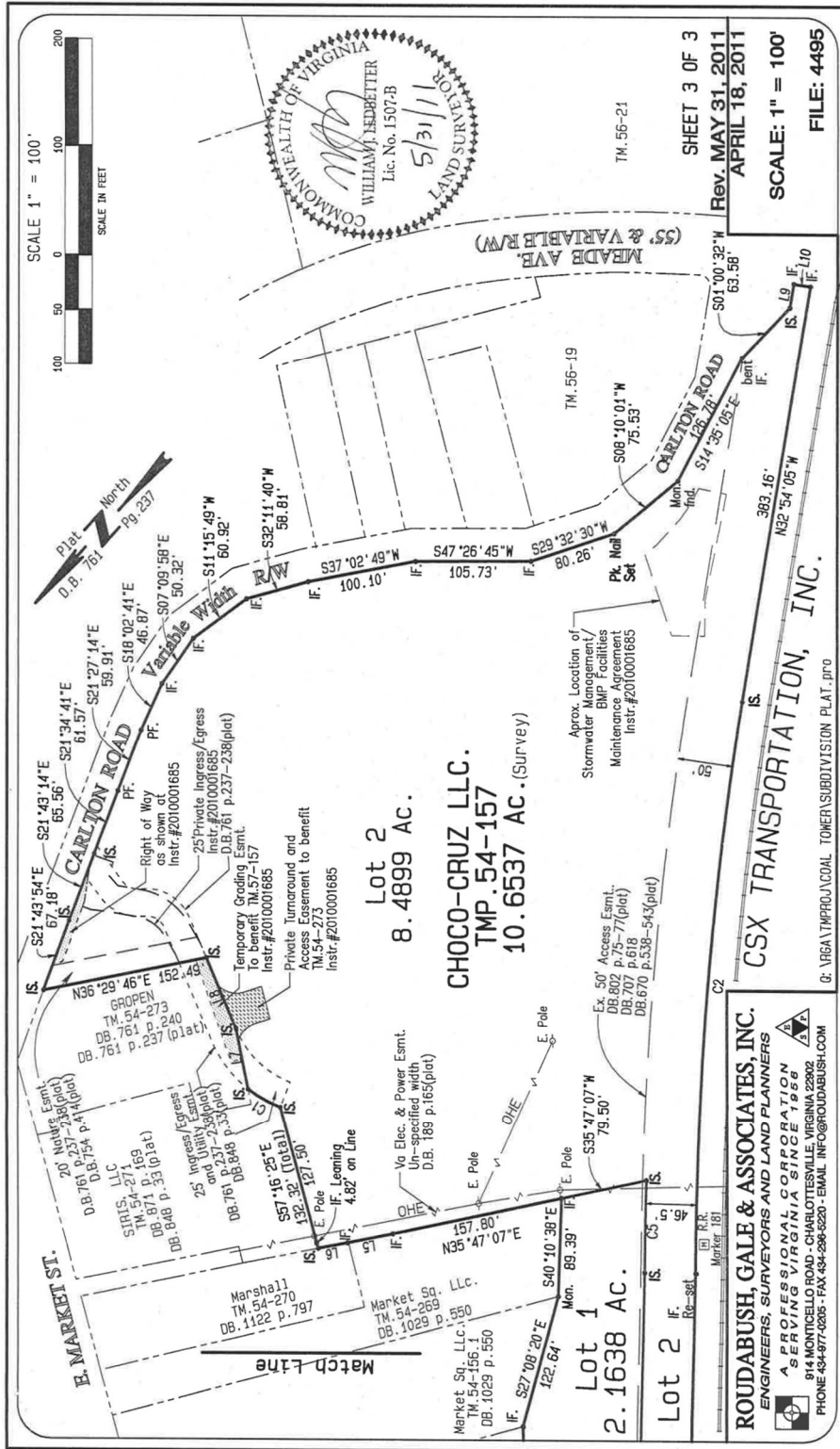
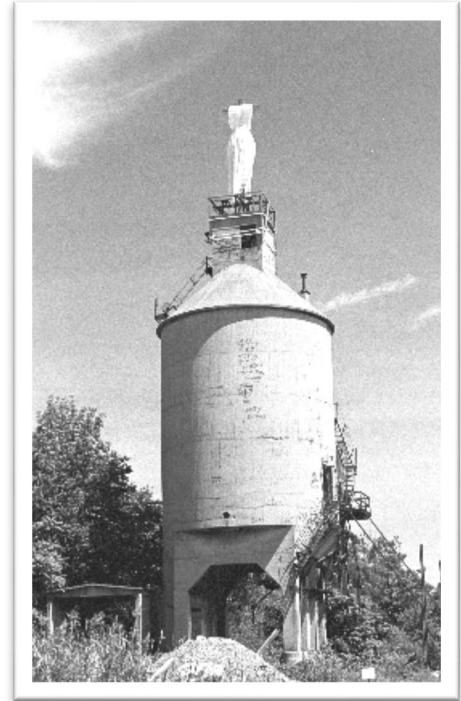


Figure 5: Property Plat (Not to Scale)

Proposed Uses & Phasing

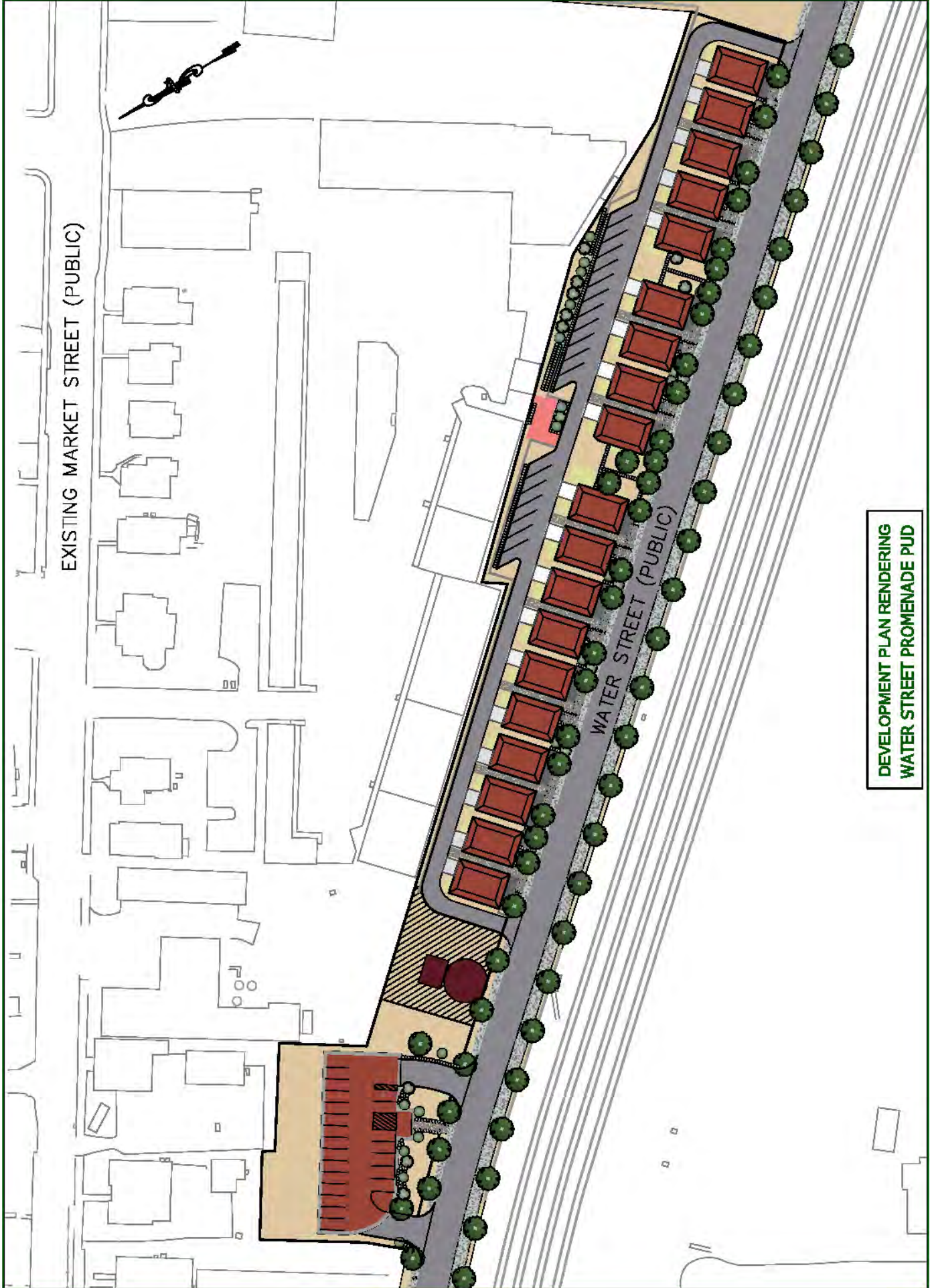
The Water Street Promenade General Development Plan proposes both a primary development plan, and an alternate development plan. The construction of either plan shall occur in two phases, with the 19 single family units being developed as Phase I.

The primary development plan shall include a residential and commercial element. East of the Coal Tower, 19 single-family lots shall front Water Street served by a one-way rear alley. West of the Coal Tower, an approximately 43,500 s.f. five-story commercial/residential building shall be constructed set back from Water Street and adjacent to the existing commercial office building at 10th Street. The 5-story building shall feature retail on the first floor and office/residential on the remaining four floors, or office/residential on all five floors. The building will include two stories of underground parking and shall be served by drive aisles from Water Street. The commercial/residential building shall be located within seventy-five (75) feet of the perimeter of the PUD, which shall be approved at the time of PUD approval. The Coal Tower structure will serve as a dividing line between commercial and residential zones.



The alternate development plan shall include a residential use only. East of the Coal Tower, the 19 single-family lots and rear alley would be retained. West of the Coal Tower, an additional five single-family lots would be constructed and served by a rear two-way alley.

The existing Coal Tower is of special historic value to Charlottesville, and the Commonwealth of Virginia. Both the primary and alternate development proposals are designed protect and preserve the existing Coal Tower individually protected property. The proposed commercial building has been set back from the street to open up the view of the Coal Tower from the streetscape. The Coal Tower shall be preserved within an open space area dedicated to the City of Charlottesville. The park around the Coal Tower shall be sodded and landscaped to create an inviting and well-designed public space for use by the community. No benches are intended to be provided in this design. Prior to dedication, a plaque will be erected on the open space to commemorate the historic aspects of the Coal Tower.



EXISTING MARKET STREET (PUBLIC)

WATER STREET (PUBLIC)

DEVELOPMENT PLAN RENDERING
WATER STREET PROMENADE PUD

The Vision for Water Street Promenade

The Water Street Promenade project proposes an urban infill development in an underutilized vacant parcel adjacent to Charlottesville's vibrant downtown city center. The residential and commercial components proposed along the Water Street extension are intended to foster a sense of community and connection currently missing between the residences to the west and the Downtown Mall. The buildings shall communicate with the streetscape, and provide an urban, yet residential feel. The building heights, scale, and setbacks shall be harmonious as to height, mass, lot coverage, and setbacks with the existing adjacent uses. The proposed design complements the City of Charlottesville Comprehensive Plan goal to provide a variety of housing types at employment and cultural centers in the downtown district. The Water Street Promenade is a creative usage of a narrow strip or residue land, which shall provide housing and additional tax revenue for the City.

- (1) The development of the Water Street Promenade project as a single family city row home concept is a higher quality product than a strict application of the downtown east zoning ordinance would allow. The existing Downtown Extended Corridor Mixed Use zoning designation on the property does not permit reduced lot widths critical to the communication of the proposed structures with the street. The proposed row homes conform to all the requirements and regulations of the DE zoning district, with the exception of the 50' wide lot requirement.

The purpose of this rezoning is to utilize smaller lots widths to establish the characteristics of this neighborhood with a traditional neighborhood design. This concept is an appropriate design for the narrow and long shape of the residue parcel land. The choice of high quality single family homes in the city is deliberate. While apartments are located next door and townhomes would be a logical fit for this property, the applicant is pursuing row homes as an urban housing type. The current code makes no allowance for this successful urban housing model, which allows home ownership without shared party walls.

- (2) The Water Street Promenade development row home design shall provide an innovative arrangement of buildings and open spaces to provide efficient, attractive, flexible, and environmentally sensitive design. The reduced setbacks utilized shall create a street wall of attractive homes and landscaping. Less attractive attributes, such as parking, shall be shifted behind the proposed structures essentially out of view from the street. The building footprints will provide an efficient use of space with garages located within the structures. The concept also respects the existing site environmental conditions, by allowing the City storm box culvert to pass through the site undisturbed without modification to the storm sewer flow patterns.
- (3) The project promotes the inclusion of homes of various sizes. The existing zoning of the subject parcel encourages the construction of a high rise structure to utilize this narrow strip of land. The 19-24 single family homes proposed in this PUD

shall vary in form and finishes to provide diversity and visual interest, while remaining clustered in an efficient use of the available land.

- (4) The PUD zoning will allow and encourage the clustering of single-family dwellings along Water Street for a more efficient use of land and provides the ability to preserve open space. By siting the homes more closely together, the Water Street Promenade property allows for an open space buffer at the Coal Tower.
- (5) The Water Street Promenade PUD will allow the Water Street frontage to function as a cohesive, unified project from a pedestrian perspective at the street. The city row home concept will provide continuity between the single family units, and the reduced side setbacks will make it apparent that this is a unified block.
- (6) The Water Street Promenade project will be harmonious with the existing uses and character of the adjacent properties. The proposed commercial space west of the Coal Tower will complement the existing commercial building at the intersection of Water Street and 10th Street. The proposed single-family units will provide an urban transition from this commercial zone to the adjacent apartment high rises. The active use of the street frontage along Water Street will complete a missing link between the Downtown Mall area and the apartments beyond.
- (7) The proposed Water Street Promenade development shall enhance and respect the existing site resources. The Coal Tower protected historic property shall be preserved and incorporated into open space dedicated to the City of Charlottesville. This cultural feature will be available for the community to enjoy and explore.
- (8) The project shall provide for coordination of architectural styles internally within the development, as well as in relation to adjacent properties. The single family row homes shall exhibit a cohesive, unified architectural design that coordinates with the commercial spaces to the west, and the apartment project to the east.
- (9) The project will provide for coordinated linkages among the internal uses, and provide external connections to the adjacent neighborhoods. The Water Street adjacent sidewalk provides a street connection to each single-family building front, while the vehicular alley shall provide access for each unit at the rear. The project shall also include stairway connections from the proposed structures down to the adjacent properties fronting East Market Street. Sidewalk connections will be provided through the development from Water Street.
- (10) The Water Street Promenade PUD shall facilitate access to the development via public transit and public pedestrian systems. The extension of Water Street shall provide a vehicular connection from 10th Street to Carlton Road and beyond. A sidewalk shall parallel Water Street to the north, and a ten-foot wide pedestrian trail shall parallel Water Street, providing access to the Charlottesville Downtown Transit Station and beyond.

General Development Plan

Development Characteristics & Parking

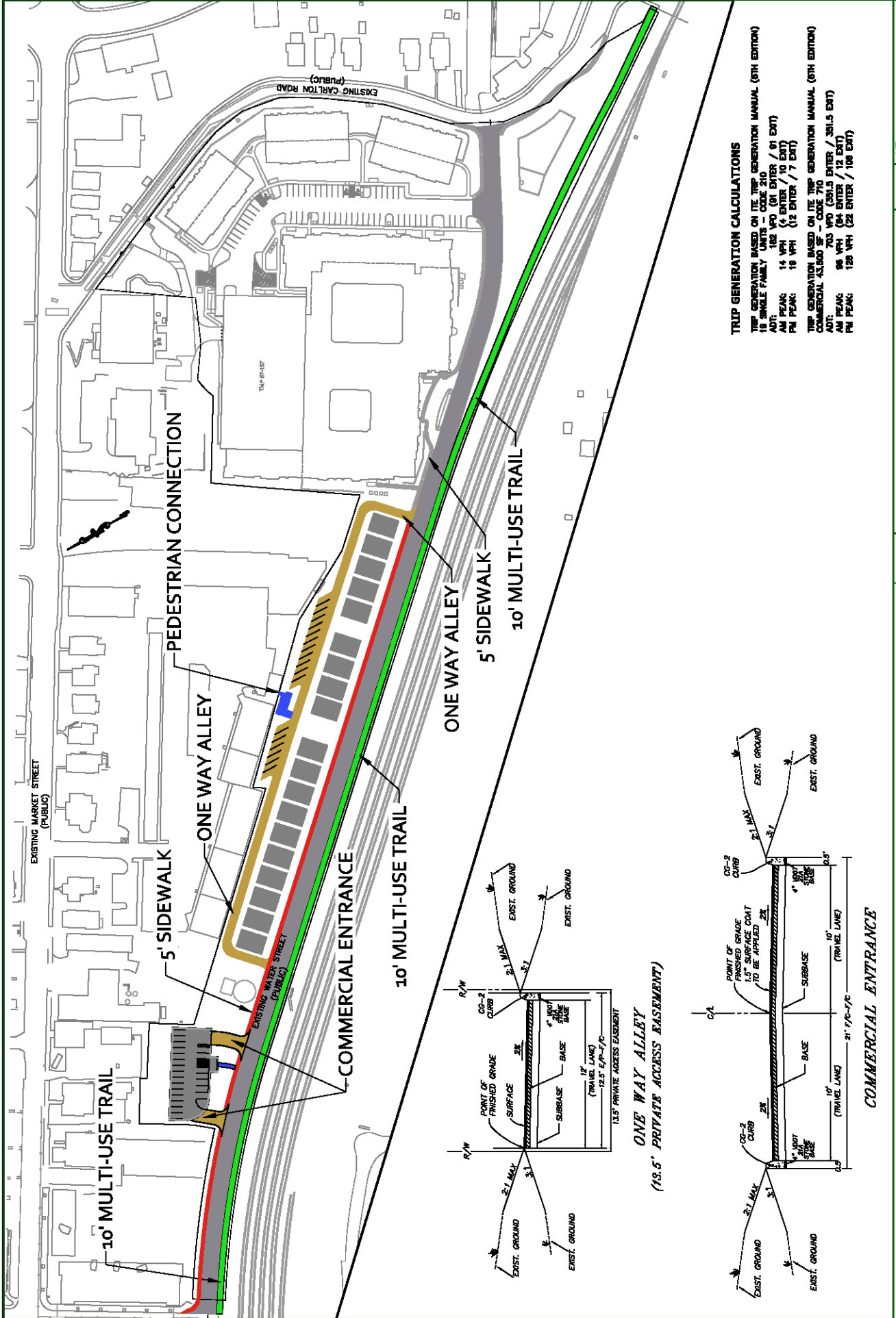
The primary development plan shall include 19 residential single-family units and a 43,500 s.f. commercial/residential building and associated parking. The alternate development plan shall include a total of 24 residential single-family units only. Two parking spaces will be provided for each residential unit in the garage and driveway, and one additional guest space will be provided for each unit off of the alleyway. The commercial/residential building will provide approximately 48 parking spaces within the two-stories of underground parking beneath the building. The residential and commercial quantities provided herein may be adjusted upon final engineering and plan preparation. Also, the front setback of the commercial building has been offset to preserve the view shed of the Coal Tower down Water Street.

The developer has elected to provide a cash contribution to the city's affordable housing fund per the regulations of Section 34-12 of the Zoning Ordinance, in lieu of providing affordable housing on the site. See the proffers proposed with the project.

Transportation & Access

Access to the parcel will be provided with the Water Street extension. The Charlottesville Downtown Transit Station is located a few hundred feet from the western-most portion of the property, and provides access to the Charlottesville Area Transit (CAT) free trolley and nearly every City bus line. Convenient access to the Charlottesville public transportation hub will reduce private, vehicular traffic and encourage public transportation use.

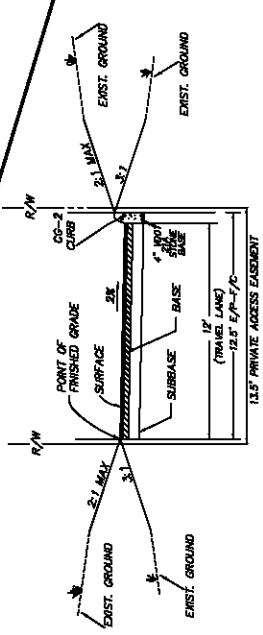
Pedestrian and bike access will be provided with the trail and sidewalk to be installed with the Water Street extension. These pathways provide tie-in connections between Water Street at 10th Street, and Carlton Road. One pedestrian connection is provided through pathway and stairway from Water Street to the commercial districts to the north fronting East Market Street.



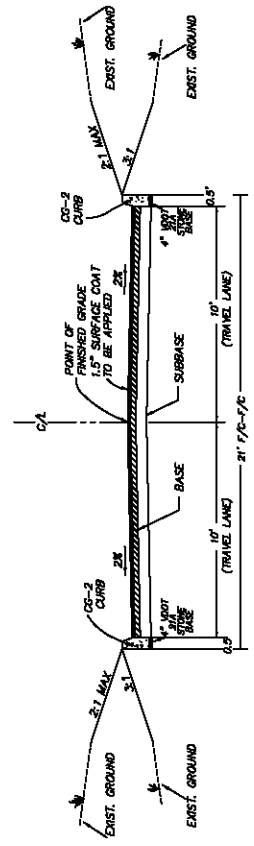
TRIP GENERATION CALCULATIONS

TRIP GENERATION BASED ON ITE TRIP GENERATION MANUAL (8TH EDITION)
 10 SINGLE FAMILY UNITS - CODE 210
 102 VPD (81 ENTER / 21 EXIT)
 AM PEAK: 14 VPH (12 ENTER / 2 EXIT)
 PM PEAK: 10 VPH (12 ENTER / 7 EXIT)

TRIP GENERATION BASED ON ITE TRIP GENERATION MANUAL (8TH EDITION)
 COMMERCIAL 43,000 SF - CODE 710
 703 VPD (391.5 ENTER / 311.5 EXIT)
 AM PEAK: 96 VPH (84 ENTER / 12 EXIT)
 PM PEAK: 126 VPH (22 ENTER / 104 EXIT)



ONE WAY ALLEY
 (15.5' PRIVATE ACCESS EASEMENT)



COMMERCIAL ENTRANCE

Density & Open Space

The proposed site density is calculated from the total project maximums of the original parcel occupied by the City Walk project. The original parcel comprised 10.654 acres, of which 2.04 acres were reserved for the Water Street extension right-of-way. The remaining development area was 8.61 acres. The by-right Downtown East zoning allows 43 DUA for a total of 370 total allowable dwelling units on the site. The City Walk project reserved 301 of these units with its development; hence the remaining density available for the Water Street Promenade is 69 dwelling units.

The Water Street Promenade PUD proposes only 19-24 single-family units, along with the potential for residential units above commercial in the proposed 5-story building west of the Coal Tower. The applicant has chosen a city row house concept in lieu of a high density apartment or condominium concept over the entire parcel to create cohesion within the existing neighborhood. The proposed density on the 2.16 acre parcel shall be 9 du/acre to 31 du/acre, depending on the final use of the proposed 5-story building:

Overall Available Density (By-Right 43 DUA)			
	Area	DU	
Total Project Area	10.65		
Right-of-way	2.04		
Remaining Dev. Area	8.61	370	
City Walk	6.45	301	
Water St. Promenade Remaining Density	2.16	69	
Overall Proposed Density			
	Area	Min DU	Max DU
City Walk	6.45	301	301
ROW	2.04	-	-
Water St. Promenade	2.16	19	69
Water St. Promenade-Alt	2.16	-	24
Total	10.654	320	370
Min DUA	37.0	(320/8.62)	
Max DUA	43.0	(370/8.62)	

The proposed Water Street Promenade project shall incorporate a minimum of 15% open space in both the primary and alternate development plans. The primary development plan provides 24.8% open space over 2.16 acres. The alternate development plan provides 20.3% open space over 2.16 acres.

A protective open space totaling a minimum of 0.134 acre shall be established around the existing Coal Tower, with the land dedicated to the City of Charlottesville. The property open space will be provided to protect the existing Coal Tower historic resource and provide an amenity space to the residents and adjacent commercial users.

Lot Layout Standards

The lot layout standards for the Water Street Promenade development are intended to create an inviting atmosphere for pedestrians. Minimal setbacks and inviting building facades will be used to create attractive streetscapes and foster a sense of community. Lots shall front the Water Street right-of-way and planting strip. The front setback will be the build-to-line. The construction of all single-family units shall abide by applicable fire rating requirements for the minimized side setbacks incorporated in the plan.

Build-to-Lines (Setbacks) & Maximum Building Heights					
Structure	Front	Side	Rear	Min. Height	Max. Height
Single Family	0'	3'	5'*	35'	50'
Commercial	15'-35'	0'	0'	35'	80'

*Single Family rear setback measured from alley edge of pavement.

Note: Extensions into setbacks for eaves and porches permitted up to 4'. Building heights shall be measured from the main entry at street level. Basements and attics shall be allowed, but not considered towards total height. Buildings shall not exceed five (5) stories.

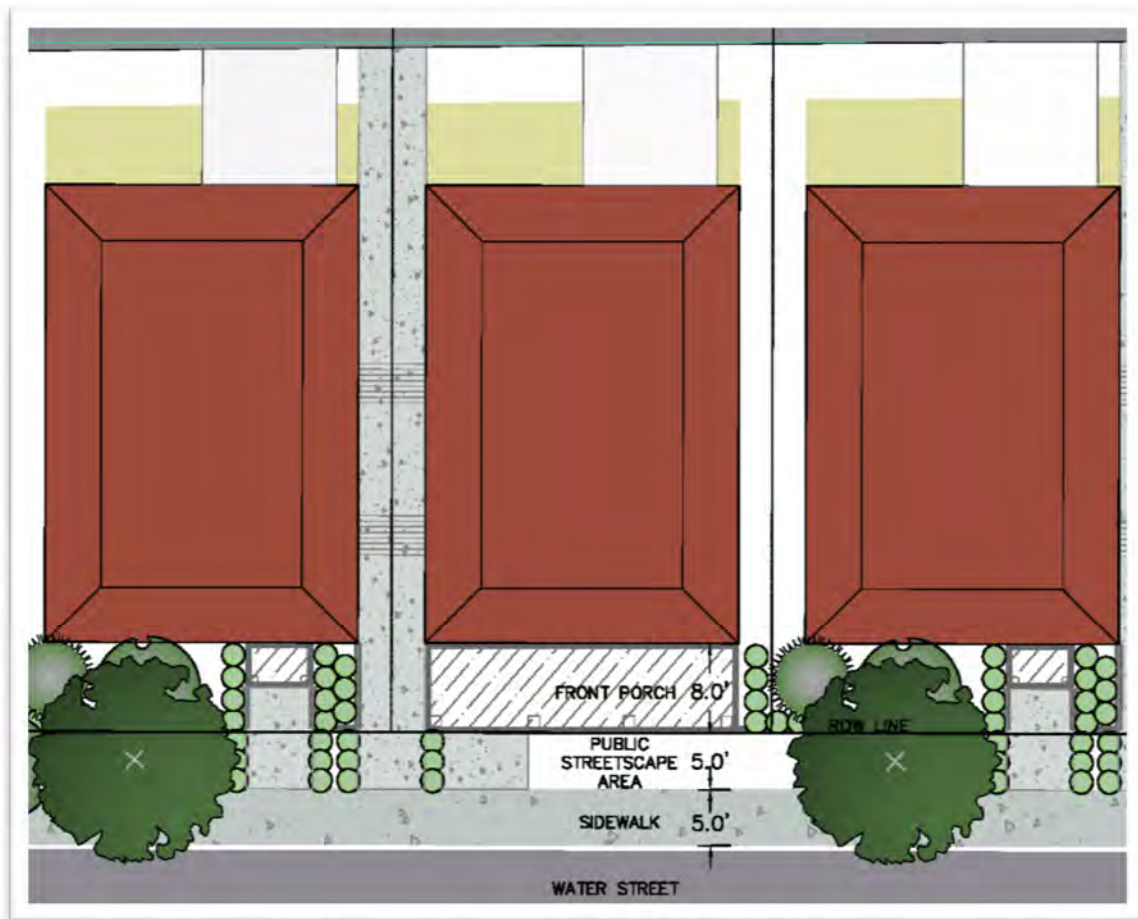
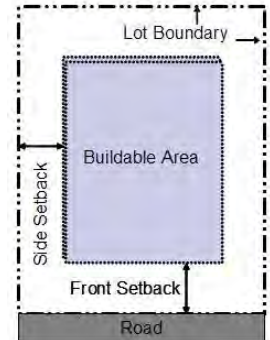


Figure 8: Public Streetscape Dimension Exhibit (Not to Scale)



Figure 9: Proposed Water Street Promenade Street Perspective

Grading & Utilities

The proposed grading in the Water Street Promenade development is permitted to reach 2:1 grades. Any slopes steeper than 3:1 grading will be covered with blanket matting or other low maintenance ground covering. These areas shall not be planted with grass cover for stabilization, and shall adhere to the specifications for ground covering in the Virginia Erosion and Sediment Control Handbook. The grading as shown on the Grading, Utility, and SWM Plan shall include retaining walls for alleys, open space, and lot grading to achieve desired elevations. Wall heights from ground level to top of wall shall not exceed 25'-30'.

No critical slopes exist on the subject property per the City of Charlottesville Code of Development Section 34-1120 (b).

The proposed development plan shall connect to the existing public utilities on site. The Water Street extension shall provide connection for all required water and fire line laterals. The existing City sanitary sewer line running through the site shall be tapped with a manhole, and new sanitary sewer and laterals shall run along the proposed alley behind the single family units.

Sensitive Areas

There exists no land within a floodway or floodway fringe, or wetlands within the subject parcel. The site survey revealed a discontinuity in the existing City storm sewer

pipng running through the site at the end of the 2’x2’ box culvert near the northern boundary of the project site. The proposed development shall investigate the connection point and install additional storm sewer piping as needed to reestablish this connection.

Landscaping

The landscaping in the Water Street Promenade development shall be concentrated between the proposed single family units and Water Street. Attractive trees and shrubs shall be planted to enhance the proposed streetscape. The development plan shall include a portion of the required open space, to be landscaped in an amount equal to 20% of the aggregate gross floor area of the commercial use proposed, per City of Charlottesville Code of Ordinances, Section 34-502.

All proposed landscaping shall be provided using materials permitted in the City Code Article VIII, Section 34-861 and the city’s list of approved plantings. Landscaping shall be designed to enhance the recreational and aesthetic value of the site and provide a continuous buffer of vegetation along the Water Street frontage from 10th Street to Carlton Road.



Figure 10: Proposed Water Street Promenade Sidewalk Perspective

Signage

The signage regulations established in the City Zoning Ordinance shall govern all signage within the Water Street Promenade PUD.

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT
PLANNING COMMISSION AND CITY COUNCIL JOINT PUBLIC
HEARING



CLOSING OF STREET OR ALLEY

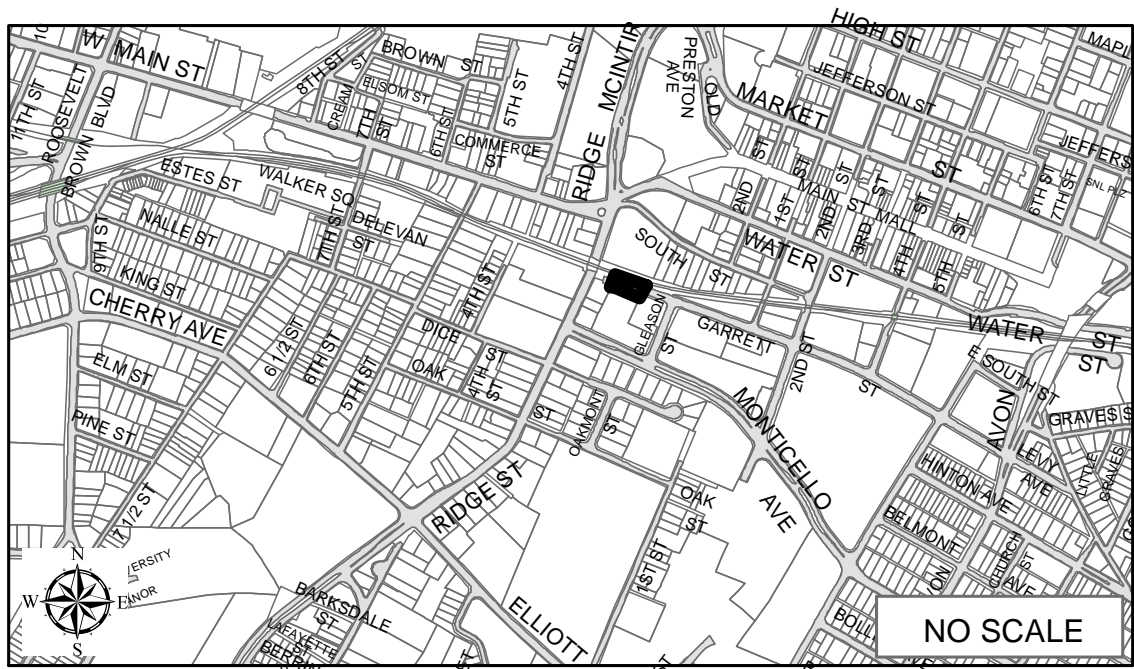
Author of Staff Report: Willy Thompson/Jim Tolbert
Date of Staff Report: May 6, 2013/August 22, 2013
Date of Hearing: May 14, 2013/September 10, 2013

Applicant's Name(s): Leah Watson

Total Square Footage Proposed To Be Closed: Approximately 3,400 sq. ft.

Description of Street or Alley: Approximately 100 feet long x 34 feet wide area adjoining 204 Ridge Street (City Real Estate Tax Map 28 Parcel 143).

Vicinity Map



Executive Summary:

Leah Watson requests that the City of Charlottesville permanently close a 3,820 square foot section of Garrett Street. The street or alley was created prior to 1900. No subdivision plat was found for this portion of Garrett Street. However, the paved portion is currently incorporated into the City's road network for public use and maintenance.

The subject area currently contains a paved portion, landscaping, sidewalk, and steps leading up to Ridge Street. A water and gas line exist within the right-of-way. The applicant is requesting the closure to prevent parking at the end of the paved portion and prevent loitering along and on the steps.

As part of the closure, half of the Garrett Street real estate would be transferred to the Leah Watson and the other half to CSX Railroad with permanent easements reserved for the water and gas lines.

Procedural Matters:

As this particular street is used for public use (*see note at the end of this staff report*) then the **Planning Commission should review this application to determine whether a termination of the public rights within the street or alley: (1) would result in any public inconvenience, impede any person's access to nearby public streets or adversely affect traffic or nearby public streets, and (2) would be substantially in accordance with the City's Comprehensive Plan. Further, where a proposal requests the City to vacate its rights in public property, the Commission should inquire as to what benefit will accrue to the City/public if the request is granted.**

Relevant Information:

1. The City is currently engaged in a small area planning effort (Strategic Investment Area) for the part of the City where the subject area is located and the final report will be presented to the City in November. An important component of the planning efforts involves improving pedestrian access opportunities. Although the final recommendations are not yet complete, the planning team believes this is an important point of access for the community and must be left open. They do agree that the current stairs are problematic and recommend that those be demolished and new stairs in a different configuration be constructed closer to the railroad.
2. Garrett Street is shown in the transportation section of the Comprehensive Plan as part of the City's roadway and pedestrian network. Staff was unable to identify any specific reference to the area proposed for vacation.
3. The existing steps were installed as part of the 1993 Ridge Street Bridge construction project. These steps are actively used as a pedestrian connection between Ridge Street and Garrett Street. This is an important connection to Ridge Street that will only become more important when the City Market is moved and the SIA area further developed.
4. Approximately half of the subject area is improved with a paved surface which can be used for public parking and a turnaround. A sidewalk extends from the paved section to steps that lead up to Ridge Street.
5. A water line and a gas line are located within the subject area. Utility easements would be required if this section is closed.
6. Vacation of this street or alley would not "land lock" or affect any adjacent parcels.

7. According to the City Assessor, the value of the area which is the subject of the application is \$17 per square foot. Therefore, contributory value of the subject area to the applicant is \$28,900.
8. Vacation of this street or alley will not result in additional development rights for the current property owner but would provide the applicant with more side yard, thus potentially allowing for building expansion. The area is in a Historic District and any new development would need BAR approval.

In rendering its final decision City Council must consider:

1. *Public Inconvenience:* Council will consider whether vacation of the Subject Area will result in any public inconvenience, or would deprive the City of property planned for future public use.
2. *Harm to Public Interests.* Council will consider whether vacation of the Subject Area will impede access by any person to nearby public streets, or will adversely impact traffic on adjacent public streets.
3. *Accommodation of Existing or Proposed Business.* Where the vacation is proposed to accommodate the expansion or development of an existing or proposed business, Council may condition the vacation upon the commencement of the expansion or development within a specified period of time. *Reference Va. Code §15.2-2006.*
4. *Reservation of Utility Easement(s).* Where existing City utilities or drainage facilities are located within the Subject Area, Council may reserve an easement to itself for those items.
5. *Compensation to the City.* Council may require the fractional portion(s) of the Subject Area to be purchased by abutting property owner(s). The price shall be no greater than: (i) the fair market value of the Subject Area; or (ii) the contributory value of the Subject Area to the abutting property. ***In the alternative,*** Council may approve alternate compensation mutually agreeable to it and the applicant. *Reference Va. Code §15.2-2008.*

Staff Recommendation/Conclusions:

The City is engaged in a Strategic Investment Area (SIA) study which includes this portion of Garrett Street. Recommendations from this study are tentatively scheduled for presentation in November. Because the Garrett Street connection is important to many people and its implications for future plans are not known, staff recommends the Planning Commission deny the request until the SIA process is complete. As an alternative, staff has suggested to the applicant that we work together to determine a portion of the right-Of-way that can be acquired while leaving the pedestrian access open. The SIA report will recommend that the access remain open and that a new staircase be constructed and the current steps closed. This will enhance the overall connectivity of the area. Staff will bring a report to the October meeting with the appropriate recommendations for that action.

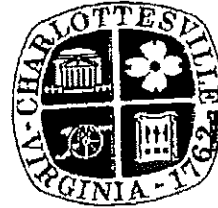
Suggested Motion(s):

Public street or alley: “I move to deny the proposed Garrett Street closure request because doing so is not in the best long term interest of the City.

PETITION TO CLOSE A STREET OR ALLEY

Please Return To: Department of Neighborhood Development Services
PO Box 911, City Hall, Charlottesville, Virginia 22902
Telephone (434) 970-3182 Fax (434) 970-3359

FEE: A filing fee of \$100.00 made payable to the City of Charlottesville.



RECEIVED

MAR 22 2013

NEIGHBORHOOD DEVELOPMENT SERVICES

A. PETITIONER INFORMATION

Petitioner Name: 281197 LLC (LEAH WATSON, AGENT)

Petitioner Mailing Address: P.O. BOX 2051 CHARLOTTESVILLE, VA 22902

Does Petitioner currently own property adjacent to the area requested to be closed? YES If no, please explain _____

Petitioner Phone Number(s):
Work: 571-276-4379
Home: _____

Fax: _____
Email: 281197-LLC@cox.net

B. ADDRESSES OF PROPERTY OWNERS ADJACENT TO THE STREET/ALLEY (use back of form if necessary)

Property Owner Name	Mailing Address	City Tax Map and Parcel #
<u>281197 LLC</u>	<u>204 RIDGE ST CHARLOTTESVILLE, VA</u>	<u>PARCEL 280143000</u>
<u>NO OTHERS</u>	_____	_____

C. PETITIONER'S REQUEST

1. That, pursuant to the provisions of Section 15.2-2006 of the Code of Virginia (1950), as amended, the said Petitioner(s) apply for the vacating, closing and discontinuance of a certain street or alley, situated in the City of Charlottesville, Virginia, as described below as follows: (Provide name, right-of-way width and length of streets or alleys being closed)
WE PETITION TO CLOSE THE PORTION OF GARRETT ST ADJACENT TO OUR PROPERTY AT 204 RIDGE ST (PARCEL 280143000). APPROXIMATELY 100 FT (INCLUDING THE PAVED DEAD END AND EMPTY LAND)
2. Confirm that no inconvenience will result to any person by reason of said closing, vacation and discontinuance of the said street or alley. Include details in narrative. SEE ATTACHED LETTER
3. That land owners along and adjacent to said street or alley desire and request the street or alley to be closed. Attach letters of approval or signatures of approval from adjacent property owners. NO OTHER OWNERS ALONG/ADJACENT
4. Attach a copy of the city real property tax map showing the portion of the street or alley to be vacated with the square footage clearly indicated.
5. Applicant must provide copies of a title search and opinion performed by an attorney or licensed title company of the property in question and the alley to the original dedication of the alley or street. Highlight on the deed when the street or alley was created. The deed information is available at the City Circuit Courthouse (315 E. High Street).
6. Applicant must review the attached closing policy prior to submission of this form and attach a narrative which addresses the objectives outlined in that policy to include specific information as to why an alley closing is being requested.

Respectfully Submitted,

Leah Watson
Signature of Petitioner(s) OWNER/AGENT

LEAH WATSON
Print

The review process typically takes two months. Following the review, valid applications will be forwarded to a joint Planning Commission and City Council Public Hearing and then to City Council for two readings.

FOR OFFICE USE ONLY (Sign Posting)
I certify that the sign(s) as required by Section 31-271 of the City Code (Zoning Ordinance) as amended has been posted on the following date:

Signature _____
Date Paid: 3/22/13 Amt. Paid: \$ 100.00 Check #: 229 Recorded by: J. Balmore

P13-0049

RECEIVED

MAR 22 2013

NEIGHBORHOOD DEVELOPMENT SERVICES

March 22, 2013

281197 LLC
Attention: Leah Watson, Agent
204 Ridge Street
Charlottesville, VA 22902

Department of Neighborhood Development Services
P.O. Box 911
City Hall
Charlottesville, VA 22902

To Whom it May Concern,

This letter is written in support of our petition to close the portion of Garrett Street adjacent to our property at 204 Ridge Street, Parcel 280143000.

We have reviewed the Street Closing Policy, Approved by City Council February 7, 2005. We have also consulted with Ms Barbara Ronan in the City Attorney's Office and various members of the staff in the Department of Neighborhood Development Services, to include Ms Donovan Branche, City Traffic Engineer, and Mr. Tony Edwards, City Engineer.

We are asking to close that portion of the dead-end of Garrett Street immediately adjacent to our property, which runs approximately 100 ft, including paved street and an unpaved area, up to where it ends at Ridge Street and the stairs leading to Ridge Street. There are no other properties adjacent that would be impacted by the closure. The opposite side of the street is a fenced area running along the railroad.

We moved into the house in February and are living there while we do repairs and restoration. We have experienced almost daily problems with both vehicles on Garrett Street and people who use the stairs immediately in front of our property. Vehicles continuously park at the dead-end for extended periods, sometimes all day and overnight, in violation of the posted parking restrictions. Vehicles come up Garrett Street at a high speed and, finding the dead end, they then use our driveway and yard to execute U-turns. This often occurs late at night, with their headlights shining directly into our windows.

The noise and distraction of the pedestrian traffic and loitering on the stairs are even more disturbing than the vehicular traffic. People use the stairs from Garrett Street to Ridge Street as a meeting place at all hours of the night. They sit on the steps to talk, play loud music, drink, and for other activities. They stay there for hours, until late at night, often talking so loudly that we can hear them from inside the house even with the windows shut. They throw trash and empty drink containers into our yard. In our first week in the house we had to call the police on three occasions, including one time when an individual came onto our property after midnight, walking right under our window, and then ran off when we confronted them. We expect these disturbances to get worse as the weather improves.

We were not aware of these problems when we purchased the property but in trying to get assistance we have been told by both the police and the previous owner that this has been an ongoing problem

area. The police have said that they will have a patrol come by but they also said there is little they can do to control this situation unless they catch individuals in the commission of a crime. The people on the steps cannot be seen when the police are patrolling in their vehicles from Ridge Street and when the police approach from Garrett Street the people have time to leave, dispose of the alcohol or stop their activities. The police statistics (attached) show a high number of calls for assistance due to crimes and disturbances to our address and the surrounding area that we are requesting to close. The police have advised us to call them every time there is a disturbance. We have been reluctant to do this since it occurs almost every night. We also don't want these people to know that it is us complaining because we are concerned that they will retaliate.

Closure of this portion of Garrett Street, and the sidewalk and stairs to Ridge Street, would provide us with the ability to better control the privacy and security of our property. It would remove a target crime area that is currently a challenge for the police. Since this is not a through street, the closure of this portion of Garrett Street would cause no inconvenience to the public. As reflected in the attached letter from Ms Branche, City Traffic Engineer, her office can support this with no adverse impact on parking. If the stairs were closed, pedestrians would still have access to Ridge Street from either Monticello Avenue or South Street where there are sidewalks and crosswalks. There is no crosswalk at the top of the stairs and no business except the fire department directly across the street. Anyone using the stairs has to go one block in either direction (to Monticello Avenue or South Street) to get to a crosswalk where they can legally cross Ridge Street to any business.

From our conversation with Mr. Edwards, City Engineer, we are aware of the water, sewer and gas lines that run up Garrett Street and know that we would be required to provide the City with easements for those utilities.

We have located a property deed (attached) at the City Circuit Courthouse which refers to Garrett Street and shows that it was platted prior to 1900. We were advised by Ms Ronan in the City Attorney's office that there is no requirement to provide the deed plat information from when Garrett Street was created due to the fact that the street was created prior to 1900.

We respectfully submit that our request for street closure and closure of the stairs would improve the public safety, as the current dead-end is used for illegal activities and the loitering and other activities on the stairs present a public disturbance. We appreciate your attention to this matter and hope for your favorable consideration.

Sincerely,



Leah Watson

Enclosures:

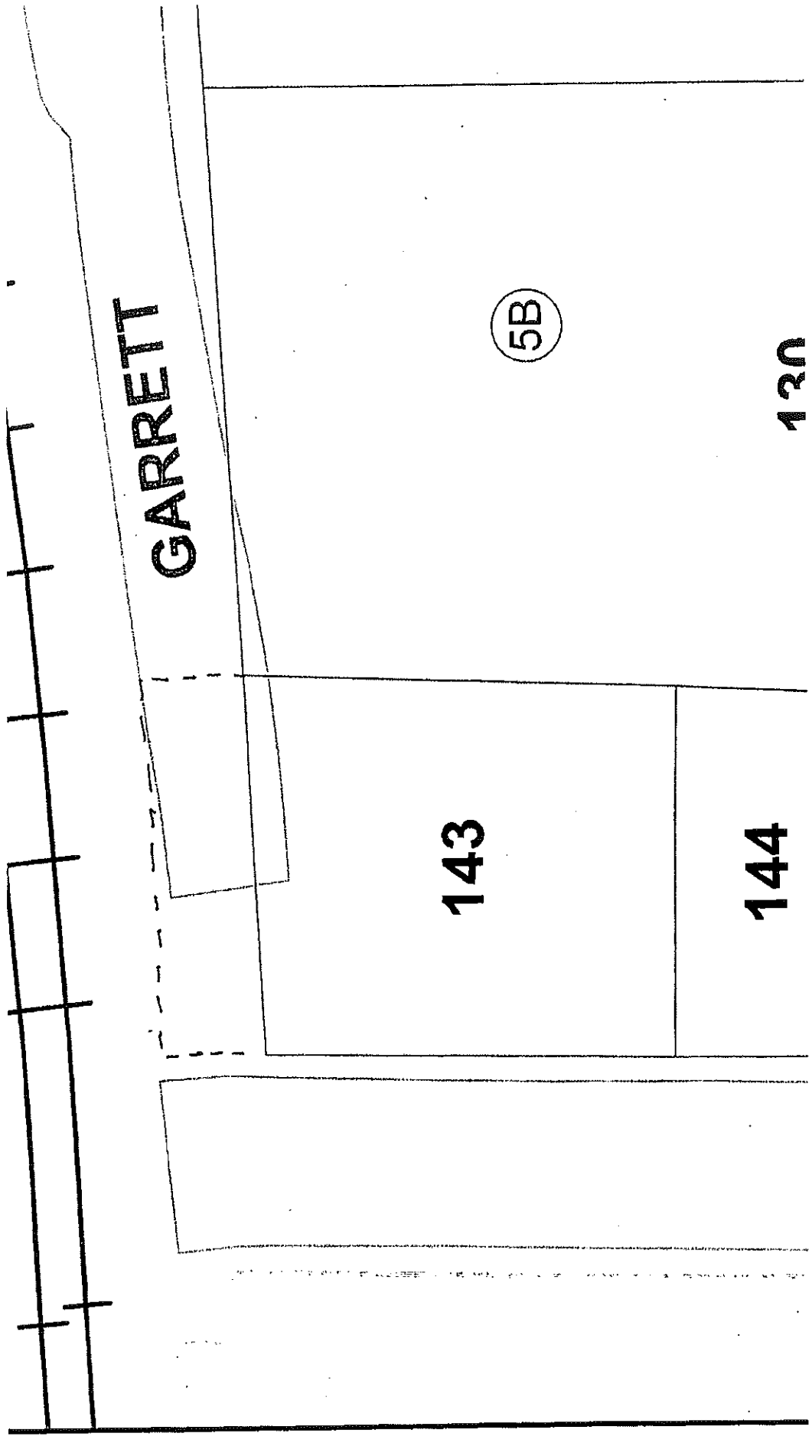
Petition to Close a Street or Alley

Tax Map showing parcel

Letter of Support, City Traffic Engineer

Charlottesville PD Calls-for-Service (204 Ridge St)

Copy of Deed, June 5, 1900 (Deed Book 10, page 360)



GARRETT

143

144

5B

130

Charlottesville Police Department

Calls-for-Service

2011 and 2012: Calendar Year

2013: Year-to-Date (Jan 1 - Mar 14)

200 blk Ridge St (not including 204) Disposition	CY 2011	CY 2012	YTD 2013
ALARM - MALFUNCTION		1	
ANIMAL-COMPLAINT	1		
ASSAULT - SIMPLE	5	8	
ASSIST AGENCY-ARREST/WARRANTS/	1		
ASSIST AGENCY-BACKUP/ASSISTANC	11	17	2
ASSIST AGENCY-OTHER	2	4	1
ASSIST CITIZEN/MENTAL/TDO/ECO	5	5	2
ASSIST CITIZEN/MISC	17	14	6
ASSIST CITIZEN/WELFARE CHECK	1	2	1
ASSIST ON PREVIOUSLY REPORT IN	2	4	1
CANCELED	5	5	2
CRI-COMMUNITY RELATIONS INITIA		1	
DISORDERLY CONDUCT	13	10	2
DOA	1	1	
DRIVE UNDER THE INFLUENCE		1	
DRUG/NARCOTIC VIOLATION		1	
DRUNKENESS (DIP)	17	6	
FAMILY OFFENSE NON-VIOLENT	2		
FIRE ALARM-NO FIRE		1	
HANDLED BY CO	1		
LARCENY - POCKET PICKING	1		
LARCENY-ALL OTHER LARCENY		1	
LARCENY-THEFT FR MOTOR VEHICLE		1	
LIQUOR LAW VIOLATIONS		1	
MISC/CRIMINAL	2	1	
MISC/NON-CRIMINAL	7	2	
MISSING PERSON ADULT	3	1	
PHONE CALLS ANNOYING		1	
PHONE CALLS THREAT OBSCENE	1		1
PROPERTY-FOUND/RECOVERED	2	1	1
SUSPICIOUS CIRC/PERSON/VEH	14	11	1
TRAFFIC - ACCIDENT	13	13	1
TRAFFIC STOPS	22	13	3
TRAFFIC-DISABLED VEHICLE	3	6	1
TRAFFIC-HIT AND RUN	1	3	1
TRAFFIC-TRAFFIC HAZARD	2	2	1
TRESPASS ON REAL PROPERTY	5	9	3
VERIFIED, NO REPORT	1		
WARRANT SERVICE/AGENCIES WARR	10	16	1
Grand Total	171	163	31

204 Ridge St Disposition	CY 2011	CY 2012	YTD 2013
ASSIST CITIZEN/MENTAL/TDO/ECO	1		

ASSIST CITIZEN/MISC		1	1
DISORDERLY CONDUCT		1	
DRUNKENESS (DIP)			1
FRAUD - FALSE PRETENSES	1		
MISC/CRIMINAL			1
MISC/NON-CRIMINAL	1		4
SUSPICIOUS CIRC/PERSON/VEH	1		3
TRAFFIC-TRAFFIC HAZARD		1	
TRESPASS ON REAL PROPERTY		2	
Grand Total	4	5	10

This data was derived from CAD by the Crime Analysis Unit. Please contact occonnellk@charlottesville.org regarding any questions.

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



APPLICATION FOR AN INFILL SPECIAL USE

**PLANNING COMMISSION AND CITY COUNCIL JOINT
PUBLIC HEARING**

DATE OF HEARING: September 10, 2013
APPLICATION NUMBER: SP-13-07-12
Project Planner: Ebony Walden, AICP

Application Information

Applicant: TJ Southmayd

Property Street Address: 723 Nalle Street

Tax Map/Parcel #: Tax Map 30 Parcel 40

Total Square Footage/Acreage Site: 10,890 Sq. Ft. / .254 Acre

Comprehensive Plan (Land Use Plan) Designation: Single-Family Residential

Current Zoning Classification: R1-S (Small Lot Single-Family)

Taxes: Property taxes are current for this property

Vicinity Map

Vicinity Map: 723 Nalle Street



Applicant's Request:

T.J. Southmayd has requested an infill special use permit to subdivide 723 Nalle Street into two 5,445 square foot single-family residential lots with 36' of frontage each. The property is further identified on City Real Property Tax Map 30 Parcel 40 having 73.33 feet of frontage on Nalle Street. The site is zoned R-1S and is approximately 0.25 acres or 10,890 square feet. The Land Use Plan generally calls for single-family residential.

Executive Summary:

The applicant is requesting an infill special use permit to subdivide and build two single family residences at 723 Nalle Street. This special use permit would allow a density of 8.03 units per acre in an R-1S Residential District where the maximum allowable by-right density is 7.2 units per acre. As a condition of this special use permit, the applicant is requesting a reduction in:

1. The required lot frontage from 50' to 36'
2. Lot size requirements from 6,000 sf to 5,445 sf

The property is currently vacant and is zoned R-1S.

As part of the required Low Impact Development (LID) Strategies, the applicant proposes to install dry wells, rain barrels, and a pervious pavement driveway. The Low Impact Development Strategies total 13 points on the preliminary LID worksheet which exceeds the minimum requirement of 10 points.

Staff recommends approval.

Standard of Review:

The Planning Commission must make an advisory recommendation to the City Council concerning approval or disapproval of a special use permit for the proposed development based upon review of the site plan for the proposed development and upon the criteria set forth. The Planning Commission may concurrently approve the site plan subject to city council's approval of a special use permit and subject to the necessary amendments to the site plan as a result of the City Council action. Alternatively, the planning commission may choose to consider the site plan after approval of the special use permit by city council.

City Council may grant an applicant a special use permit, provided that the applicant's request is in harmony with the purposes and standards stated in the zoning ordinance (Sec. 34-936). Council may attach such conditions to its approval, as it deems necessary to bring the plan of development into conformity with the purposes and standards of the comprehensive plan and zoning ordinance.

In reviewing an application for an infill special use permit, the city council and planning commission may deviate from the following types of regulations pursuant to a special use permit: minimum lot size and street frontage requirements, dimensional requirements, types of

dwellings, density, yard requirement provided that: (1) Such modification or exception will be in harmony with the purposes and intent of the zoning district regulations under which such special use permit is being sought; (2) Such modification or exception is necessary or desirable in view of the particular nature, circumstances, location or situation of the proposed use; and (3) No such modification or exception shall be authorized to allow a use that is not otherwise allowed by this ordinance within the zoning district in which the subject property is situated. The Planning Commission may include comments or recommendations regarding the advisability or effect of the modifications or exceptions. The resolution adopted by Council shall set forth the approved modifications or exceptions.

In addition to the general considerations applicable to approval of a special use permit the city council and planning commission shall consider whether the application satisfies the following objectives:

- (1) Provision of a variety of housing types, or, within a development containing only a single housing type, inclusion of houses of various sizes, to the end that housing within the development will provide a vibrant neighborhood offering a diverse mix of housing styles and sales prices that are affordable to persons and families in various income ranges;
- (2) Ease of access to and encouragement of the use of public transit services or other alternatives to single-occupancy automobiles (including, without limitation, public pedestrian systems) by persons who live within the development.
- (3) Encouragement of pedestrian and vehicular connectivity within a development, and between a development and adjacent neighborhoods, providing opportunities for residents to live near workplaces, shopping opportunities and conveniences.
- (4) Preservation of cultural features, historic structures and scenic assets and natural features such as trees, streams, drainage ways and topography, or restoration of such assets and features;
- (5) Proximity to public parks and public recreational facilities; and/or
- (6) Creation of a development that is harmonious with the existing uses and character of adjacent property(s), and/or consistent with patterns of development noted with respect to such adjacent property.

The purpose and intent of the R-1S single-family residential zoning districts is to provide and protect quiet, low-density residential areas wherein the predominant pattern of residential development is the single-family dwelling.

Background: (Relevant Code Section)

Infill SUP

Sec. 34-165 Infill development is a concept by which the city desires to encourage and permit variation in certain areas within the city's R-1, R-1S, R-2 and R-3 zoning districts, by allowing deviation from the following types of regulations pursuant to a special use permit: minimum lot size and street frontage requirements, dimensional requirements, types of dwellings, density, and yard requirements.

Density

Sec 34-166 (e) Density within an infill development shall not exceed one and one-half (1.5) times the density already allowed by right in the existing zoning district. Notwithstanding the foregoing, city council may approve additional density of up to two (2) units per acre for an infill development that demonstrates a score of thirteen (13) points or higher on the LID worksheet.

Overall Analysis:

1. Proposed Use of the Property:

The proposed uses of the property are two single-family detached dwellings with associated low impact development provisions.

2. Zoning History:

In 1949, the property was zoned A-1 Residence. In 1958 and 1976, the property was zoned R-2 Residential. In 1991, it was zoned R1-A and in 2003, it was zoned R1-S.

3. Character and Use of Adjacent Properties:

Direction	Use	Zoning
North	Walker Square Condos	Cherry Avenue Corridor
South	Residential	R1-S
East	Residential	R1-S
West	Residential	R1-S

4. Reasonableness/Appropriateness of Current Zoning:

The current zoning of the property is R-1S. This zoning is appropriate and reasonable in the context of the zoning within the surrounding area which is primarily R-1S single family residential.

5. Reasonableness/Appropriateness of Proposed Zoning

The property lies within the designated Infill SUP area for which the purpose is to encourage and permit variation and additional density within the Infill SUP designated areas of R-1, R-1S, R-2 and R-3 zoning districts. The by-right density in an R-1S zone is approximately 7.2 units per acre. This development would be 8.03 DUA. The Infill SUP zone allows for 1.5 times the allowable density with 10 LID points and an additional 2 DUA for 13 or more points on the LID worksheet.

The proposed zoning is appropriate. The average parcel size for all lots within 500 feet is 6,581 square feet. Walker Square, a condominium development was not included in this parcel survey. The properties measured are those outlined in light green below. The applicant is proposing two new lots of approximately 5,445 square feet.

Of the parcels surveyed, 45 (roughly 50%) are less than 6,000 square feet, the minimum lot size for a subdivision in R1-S zoning. Those are represented in the darker green below. Staff also measured the approximate lot frontage width in GIS of the lots on Nalle St, and roughly 68% of those lots are less than the standard 50 feet in width.



6. Consistency with Comprehensive Plan

The additional units would be single family residences. Single family residences are consistent with the Land Use Plan designation. In addition, this property is located within the Infill SUP zone.

7. Potential Uses of the Property (By-Right)

By right uses within the R-1S Residential zone include single family detached dwellings, convents and monasteries, family day homes, residential treatment facilities, houses of worship, elementary and high schools, and libraries, among others.

Infill Project Review:

Uses

Single Family Detached Residential

Density

8.03 units per acres. Maximum allowed by Infill SUP is 12.8 DUA.
 [(7.2 DUA X 1.5) + 2 additional DUA = 12.8].

Environmental impact / (LID) Worksheet

As part of the required Low Impact Development Strategies, the applicant proposes to install:

- | | | |
|----------------------|---|----------|
| 1. Pervious driveway | = | 7 points |
| 2. Dry Wells | = | 3 points |
| 3. Rain Barrels | = | 3 points |

Total LID =13 points

The engineering department has reviewed the LID worksheet and as condition of the Infill SUP, requests that an engineered plan for the LID features be submitted and approved by the engineering department prior to approval of a subdivision.

Special Use Permit Project Review:

1. Conformity with comprehensive plan and policies:

Infill development through special use permits is a tool created to increase development opportunity in certain areas to promote a walkable community, to reduce traffic congestion, improve air quality and enhance the viability of downtown businesses. One of the Comprehensive plan goals in the Housing chapter is to encourage the creative uses of innovative housing through available opportunities, such as infill SUP and PUD. The proposed infill SUP site is located within the city's designated area for potential redevelopment and infill development. The proposed use of a single-family detached residence on a small lot would be appropriate in character, scale and size to the surrounding neighborhood.

2. Impact on the neighborhood

a. Traffic or parking congestion;

Parking has historically been congested along Nalle Street. The applicant is proposing to provide two off-street parking spaces for each lot as part of the development of this property. The applicant is also proposing a shared driveway as access to two parking spaces in the rear of each lot. This should decrease the pressure of on-street parkings, as this street is permit parking. Any vehicular trips associated with one single-family dwelling would have little impact on the existing traffic patterns.

b. Noise, light, dust, odor fumes, vibrations, and other factors, which adversely affect the natural environment, including quality of life of the surrounding community;

N/A

c. Displacement of existing residents or businesses;

N/A

d. Discouragement of economic development activities that may provide desirable employment or enlarge the tax base;

N/A

e. Undue density of population or intensity of use in relation to the community facilities existing or available;

Water and sewer facilities are available to this site. The proposed use would not have a negative impact on the existing facilities.

f. Reduction in the availability of affordable housing which will meet the current and future needs of the city;

N/A

g. Impact on school population and facilities;

Though there is a potential for some additional students, this infill project will not have significant impact on the school population or facilities.

h. Destruction of or encroachment upon conservation or historic districts; and

The Fifeville neighborhood is not currently recognized as an architectural or historical control district by the City.

3. Conformity with federal, state and local laws;

a. This project will conform to all applicable laws.

4. Requested exceptions and modifications;

a. Required lot frontage from 50 ft. to 36 ft.

b. Lot size requirement from 6,000 sq. ft. to 5,445 sq. ft.

Public Comments Received:

No public comments have been received regarding the application.

Staff Comment:

Two additional units on this property is appropriate and encouraged in this area as demonstrated by the City's Infill SUP ordinance and designation of this area as appropriate for potential infill development. The new lots are comparable in size to the other lots in the area. The applicant has proposed a location for the house that corresponds to the current pattern of development of houses closer to the street. In addition, as part of the Infill SUP requirements, the applicant is proposing a number of LID features to help mitigate the impact of increased density. Given the surrounding neighborhood context of small lots, the reductions in lot frontage and size requirements are appropriate. Conversely, one could also argue that this is two additional lots in an area comprised of rather dense single family housing.

Staff's primary concern is the potential height of the structure, as new structures have the potential to be out of scale and character with existing structures. The maximum height allowed in this zone is 35'; staff is recommending a maximum of 30 feet in height.

In a previous application for an Infill SUP on Nalle Street, on-street permit parking was a concern and primary topic of conversation amongst Commission members. A condition was placed on the application that only one permit parking pass be allowed for the new unit at 715 Nalle Street. Generally, a single family home may have up to 4 permit parking passes and 2 guest passes. Staff is not inclined to restrict permit parking on this application, but this may be a topic of discussion for the Planning Commission at the public hearing. The availability of on-street parking is a noted issue in this area and on Nalle Street in particular.

The construction on these lots and the shared driveway requires the removal of a 24" caliper tree in the front yard. Staff proposes that the applicant replace this with one to two trees per lot depending on the tree type and space availability.

Staff Recommendation:

Staff recommends that the Planning Commission forward this application to City Council with a recommendation for approval with the following condition:

1. An engineered plan for the dry wells and pervious driveway be submitted and approved by the city engineer prior to approval of a subdivision.
2. The height of the structure be no more than 30 feet.
3. The existing street tree shall be replaced with 1-2 trees per lot.

Attachment:

Narrative Statement

Concept Plan

Suggested Motions:

1. I move to recommend approval of this application to allow an infill special use permit in the R1-S Residential - Small Lot district for variations in minimum lot size and regulations subject to the following conditions and exceptions or modifications:
 - a. Staff approval of the LID features presented on an engineered plan.
 - b. The height of the structure be no more than 30’
 - c. The existing street tree shall be replaced with 1-2 trees per lot.

This approval is based on the finding that the proposal meets the criteria for a special use permit and would serve the interests of the general public welfare and good zoning practice.

OR,

2. I move to deny this application to allow an infill special use permit in the R1-S Residential – Small Lot district for variations in minimum lot size and regulations based on failure to meet criteria of a special use permit based on the following:

August 19, 2013

To: Charlottesville Neighborhood Development Services
c/o Ms. Ebony Walden

From: T.J. Southmayd

Re: **SUP Application to Subdivide 723 Nalle St.**

NARRATIVE STATEMENT (Sec. 34-166, F, 1)

I am applying for an infill special use permit with the City of Charlottesville to subdivide the currently vacant lot at 723 Nalle St. I am proposing that two, single-family, two story, residences be built on the subdivided lot. Each unit is not to exceed 2400 square feet. Although specific designs have not yet been determined, the units will feature full front porches and will be constructed using fiber cement siding and metal porch roofs in an effort to maintain the existing character and charm of the homes on Nalle St. Pictures of homes on Nalle St. and proposed, similar-to exterior designs are attached.

As a graduate of the University of Virginia and current resident of the city of Charlottesville, the Nalle St. location will allow me to limit the use of my car and walk to the downtown mall and grounds of the University both of which I frequent for social and community activities.

It is my understanding that the few complaints surrounding infill on Nalle St. have related to traffic, construction inconvenience, and removal of green space. Although the lot is currently vacant, it is not a public space and, as such, is not to be used for recreational activity by the community. I've spoke with and received verbal support from:

- Philip and Lisa Lorish, Owners of 715 Nalle St
- Spetz Family, Owner's of 712 Nalle St.
- Kendall Cox, Owner of future residence next door to 715 Nalle St
- Alexander Amigoni, Owner of 827 Nalle St.
- Jeff Erkelens, Owner of parcel on Oak St.

Regarding parking, the proposed plan allows for the parking of two cars at the rear of each proposed residence, accessed by a shared driveway (easement to be obtained). Construction on Nalle St. has been difficult due to the retaining walls that don't allow for adequate staging of materials resulting in multiple trips or prolonged stays by large trucks. Retaining walls also limit/preclude the use of dumpsters which results in excess construction debris on site and more frequent trips by trucks to remove the debris. Although diligent and proper planning and sequencing continues to be important, the lack of retaining walls at the front of the property and proposed set back of the units will allow for easier staging of materials, placement of dumpsters and will significantly limit any

inconvenience caused by construction. Proper silt fencing and erosion control will be in place throughout the construction process.

This special use permit would allow for a density of 8.03 units per acre in an R-1S Residential District where the maximum allowable by right density is 7.2 units per acre. As a condition of this special use permit, I am requesting a reduction in:

- 1) The required lot frontage from 50' to 36'
- 2) Lot size requirements from 6,000 sf to 5445 sf

The property is currently unoccupied by any other structures. It consists primarily of overgrowth and some trees which will be kept in tact as much as is feasible.

As part of the required Low Impact Development Strategies, I propose to install dry wells, rain barrels and a pervious driveway to each site. These measures will improve each site and control drainage across the lot from the west. The Low Impact Development Strategies total 10 points on the preliminary LID worksheet . Further details can be found on the attached site plan.

The below responds to the objectives in section 32-165(b) that are suggested be satisfied by the special use permit.

(1) Provision of a variety of housing types, or, within a development containing only a single housing type, inclusion of houses of various sizes, to the end that housing within the development will provide a vibrant neighborhood offering a diverse mix of housing styles and sales

I am applying to subdivide 723 Nalle St. so that I can build a single-family residence to reside in on the western portion of the lot and to build another single-family home on the eastern portion of the lot. The size and scope of the residences, including the size of the structures, setbacks and aesthetic will remain in keeping with the neighboring homes on Nalle St.

Although exact renderings of the exterior of these homes has not been determined, measures that will be taken to ensure that the homes are in character with the neighborhood include but are not limited to, height of each residence not to exceed 35', 22' wide and 24' wide structure, full front porches on each residence, fiber cement siding, shared driveway with 2 rear parking spots per residence (addresses parking concerns and keeps cars out of view from street). Additionally, each home's finished square footage will be less than 2400 and 2300 square feet respectively (by comparison, 721 Nalle St is 2562 square feet).

(2) Ease of access to and encouragement of the use of public transit services or other alternatives to single-occupancy automobiles (including, without limitation, public pedestrian systems) by persons who live within the development.

Nalle St. is in easy walking distance to Roosevelt Brown Blvd. and Main St. where public transit can be easily accessed.

(3) Encouragement of pedestrian and vehicular connectivity within a development, and between a development and adjacent neighborhoods, providing opportunities for residents to live near workplaces, shopping opportunities and conveniences.

Currently, the social, cultural and community activities I participate in involve driving my car from my current residence to the downtown mall or University area. The Nalle St. location will allow me to walk to either of these locations.

(4) Preservation of cultural features, historic structures and scenic assets and natural features such as trees, streams, drainage ways and topography, or restoration of such assets and features;

At the moment, there are no historic structures or cultural features on the property. There are also no streams or wetlands. The maple at the front of the property will be kept as well as many trees in the rear of the property.

(5) Proximity to public parks and public recreational facilities; and/or

723 Nalle St. is in short walking distance to the downtown mall and the grounds of the University of Virginia, both of which are frequented by the applicant.

(6) Creation of a development that is harmonious with the existing uses and character of adjacent property(s), and/or consistent with patterns of development noted with respect to such adjacent property.

As mentioned in item (1), my plan is to build a residence that reflects in design, size and scope, the character of the other homes on Nalle St. This includes, but is not limited to, front porches, fiber cement siding, trim and building materials.

Additionally, this site plan incorporates a shared driveway similar to what is in place between 721 and 719 Nalle St. The shared driveway will alleviate any parking issues and will also keep cars out of view from the street.

The shared driveway necessitates the removal of a Maple tree in the front of the property. After consulting with an arborist (letter attached) the tree is currently a threat to existing power lines and needs to be cut back severely or removed to alleviate this threat. Two, new trees will be planted at the front of the property. The trees at the rear of the western lot will remain in tact.

I look forward to the opportunity to present my plan to the planning commission and welcome any and all questions regarding my plan for this property. My hope is that this application reflects the seriousness with which I have approached the project and my concern for ensuring that the proposed residences positively impact the landscape of Nalle St.

Thank you in advance for your time and consideration.

Sincerely,

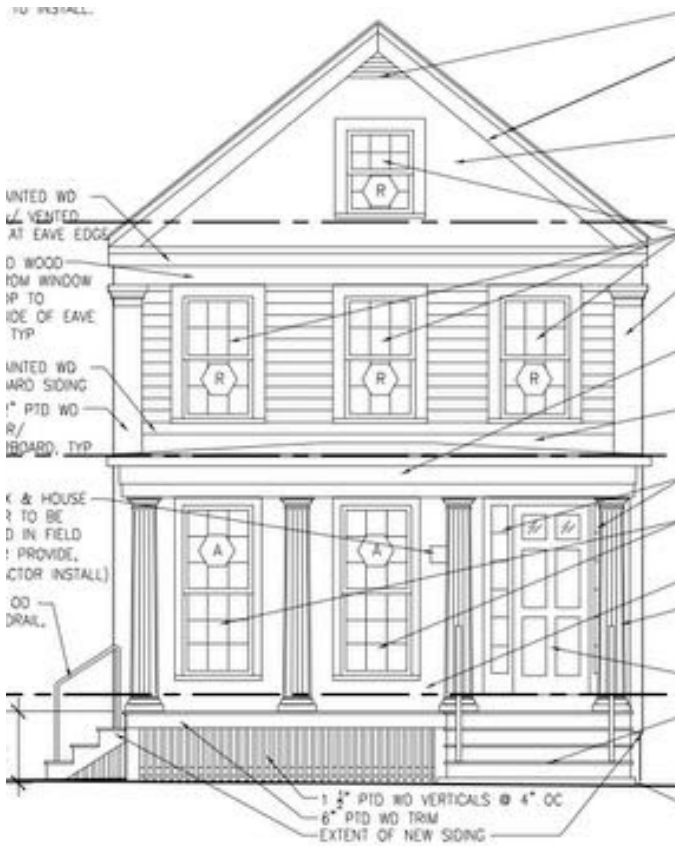
T.J. Southmayd



715 Nalle St



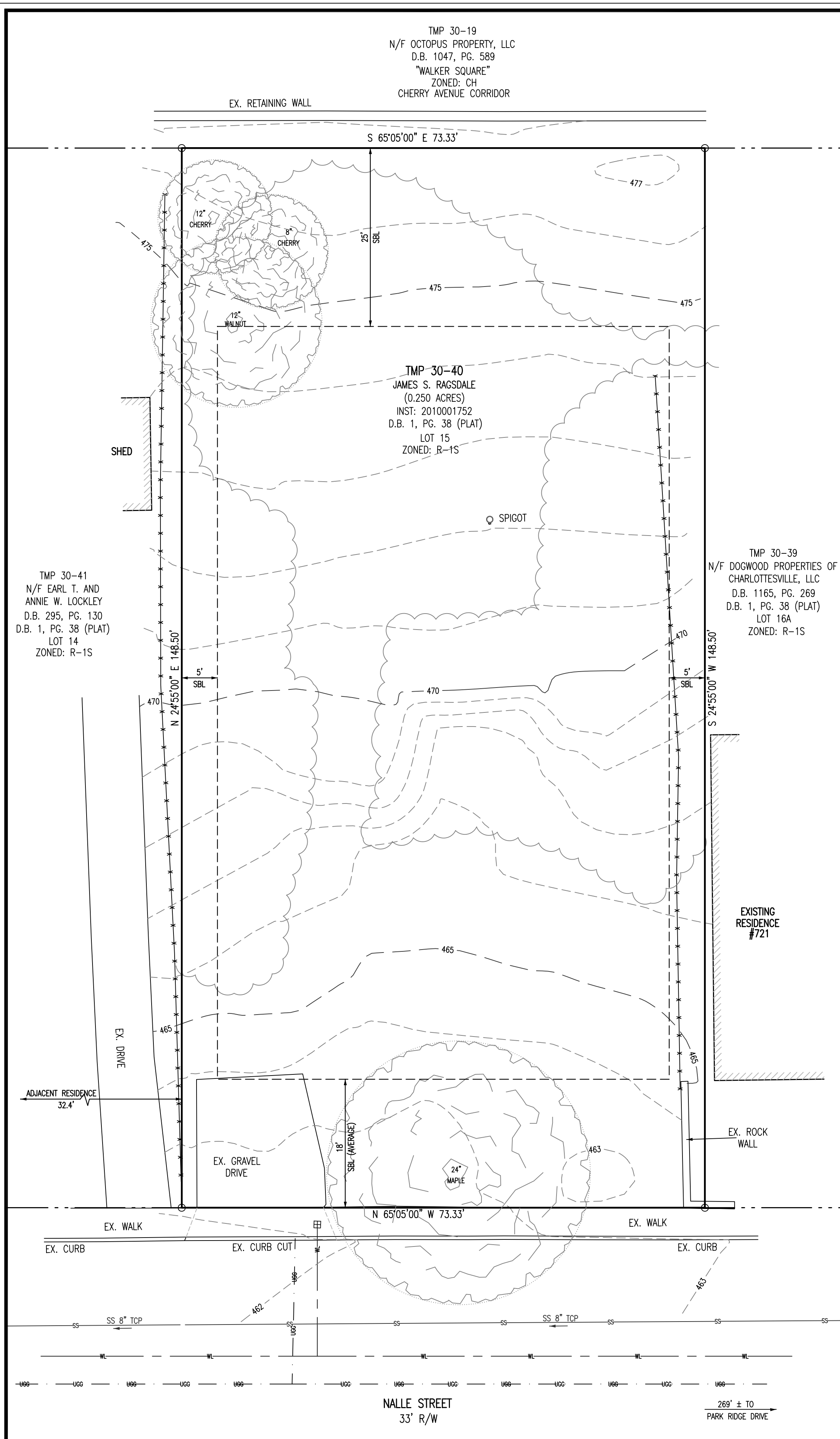
Current Infill Project on Nalle St.



Similar-To Exterior Elevation



Similar-To Exterior Elevation



NOTES:

- 1.) THE PROPERTY SHOWN HEREON IS DELINEATED AS PARCEL 30004000 ON THE CITY OF CHARLOTTESVILLE TAX MAP.
- 2.) NO EXISTING STRUCTURES ON THIS PROPERTY
- 3.) THE PROPERTY SHOWN HEREON IS IN FLOOD ZONE X, NOT IN H.U.D. 100 YEAR FLOOD PLAIN.
- 4.) OWNER AND TITLE SOURCE:
JAMES S. RAGSDALE
INSTRUMENT #2010001752, DEED BOOK 1, PAGE 38 (PLAT)
- 5.) TOTAL SITE = 0.250 ACRES
- 6.) PROPOSED NEW LOTS = 2
- 7.) PROPOSED USE = SINGLE FAMILY DETACHED RESIDENTIAL (2 - TWO STORY BUILDINGS)
- 8.) CURRENT ZONING: "R-1S"
- 9.) SURVEY PREPARED FOR: THOMAS J. SOUTHWAY
- 10.) THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY NOT INDICATE ALL ENCUMBRANCES ON THE PROPERTY SHOWN HEREON. PROPERTY MAY BE SUBJECT TO ADDITIONAL RESTRICTIONS OF RECORD.
- 11.) DATUM AND BENCHMARK REFERENCE
ALL ELEVATIONS BASED ON NGS DATUM (NAD 1988)
CHARACTER OF BENCHMARK: VDOT MONUMENT
BENCHMARK DESIGNATION: "CV-VD17"
- 12.) THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF KIRK HUGHES, L.S. FROM AN ACTUAL GROUND SURVEY MADE UNDER HIS SUPERVISION. THAT THE ORIGINAL DATA WAS OBTAINED ON JULY 16, 2013 AND THAT THIS PLAN, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
- 13.) NO UNDERGROUND INVESTIGATION OF UTILITIES WAS PERFORMED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

LEGEND:

- EM = WATER METER
- SBL = SETBACK LINE
- = FLO-WELL*
* (OR APPROVED DRY WELL EQUAL)
- RB = RAIN BARREL
- D.B. = DEED BOOK
- PG. = PAGE
- WL = WATERLINE
- UGG = UNDERGROUND GAS
- SS = SANITARY SEWER

NO.	TITLE	KEY	SYMBOL	NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE	SAF		3.20	ROCK CHECK DAMS	CD	
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE		3.21	LEVEL SPREADER	LS	
3.03	CONSTRUCTION ROAD STABILIZATION	CRS		3.22	VEGETATIVE STREAMBANK STABILIZATION	VSS	
3.04	STRAW BALE BARRIER	STB		3.23	STRUCTURAL STREAMBANK STABILIZATION	SSS	
3.05	SILT FENCE	SF		3.24	TEMPORARY VEHICULAR STREAM CROSSING	SC	
3.06	BRUSH BARRIER	BB		3.25	UTILITY STREAM CROSSING	USC	
3.07	STORM DRAIN INLET PROTECTION	IP		3.26	DEWATERING STRUCTURE	DS	
3.08	CULVERT INLET PROTECTION	CIP		3.27	TURBIDITY CURTAIN	TC	
3.09	TEMPORARY DIVERSION DIKE	DD		3.28	SURFACE DRAIN	SD	
3.10	TEMPORARY FILL DIVERSION	FD		3.29	SURFACE ROUGHENING	SR	
3.11	TEMPORARY RIGHT-OF-WAY DIVERSION	RWD		3.30	TOPSOILING	TO	
3.12	DIVERSION	DV		3.31	TEMPORARY SEEDING	TS	
3.13	TEMPORARY SEDIMENT TRAP	ST		3.32	PERMANENT SEEDING	PS	
3.14	TEMPORARY SEDIMENT BASIN	SB		3.33	SODDING	SO	
3.15	TEMPORARY SLOPE DRAIN	TSD		3.34	BERMUDAGRASS & ZOOGRASS ESTABLISHMENT	BZE	
3.16	PAVED FLUME	PF		3.35	MULCHING	MU	
3.17	STORMWATER CONVEYANCE CHANNEL	SOC		3.36	SOIL STABILIZATION BLANKETS & MATTING	SM	
3.18	OUTLET PROTECTION	OP		3.37	TREES, SHRUBS, VINES AND GROUND COVERS	VEG	
3.19	RIPRAP	RR		3.38	TREE PRESERVATION AND PROTECTION	TP	
				3.39	DUST CONTROL	DC	

CONCEPTUAL PLAN
723 NALLE STREET
CHARLOTTESVILLE, VIRGINIA

KIRK HUGHES & ASSOCIATES
 LAND SURVEYORS & PLANNERS
 220 EAST HIGH STREET
 CHARLOTTESVILLE, VA 22902
 (434) 296-6942

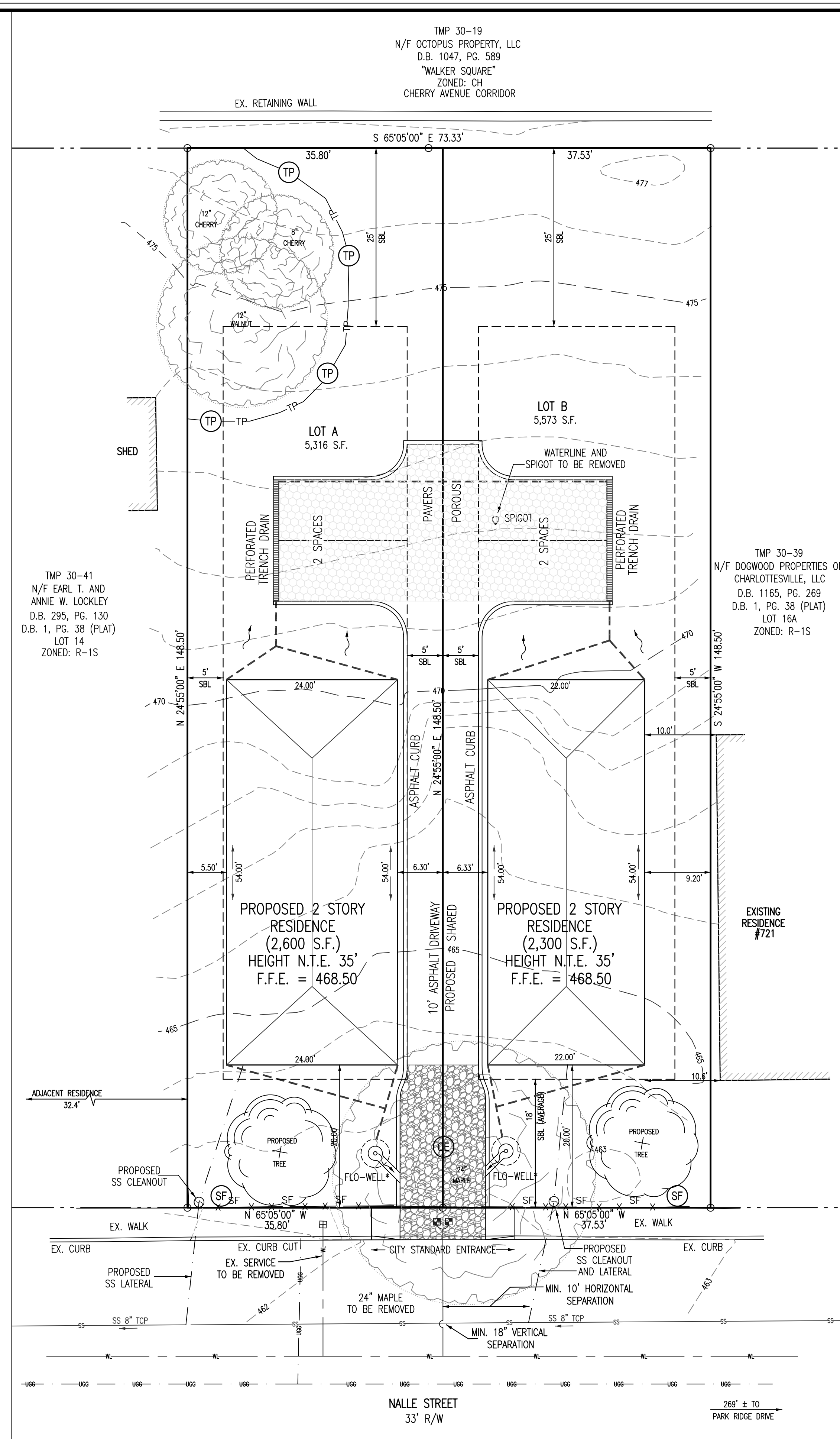
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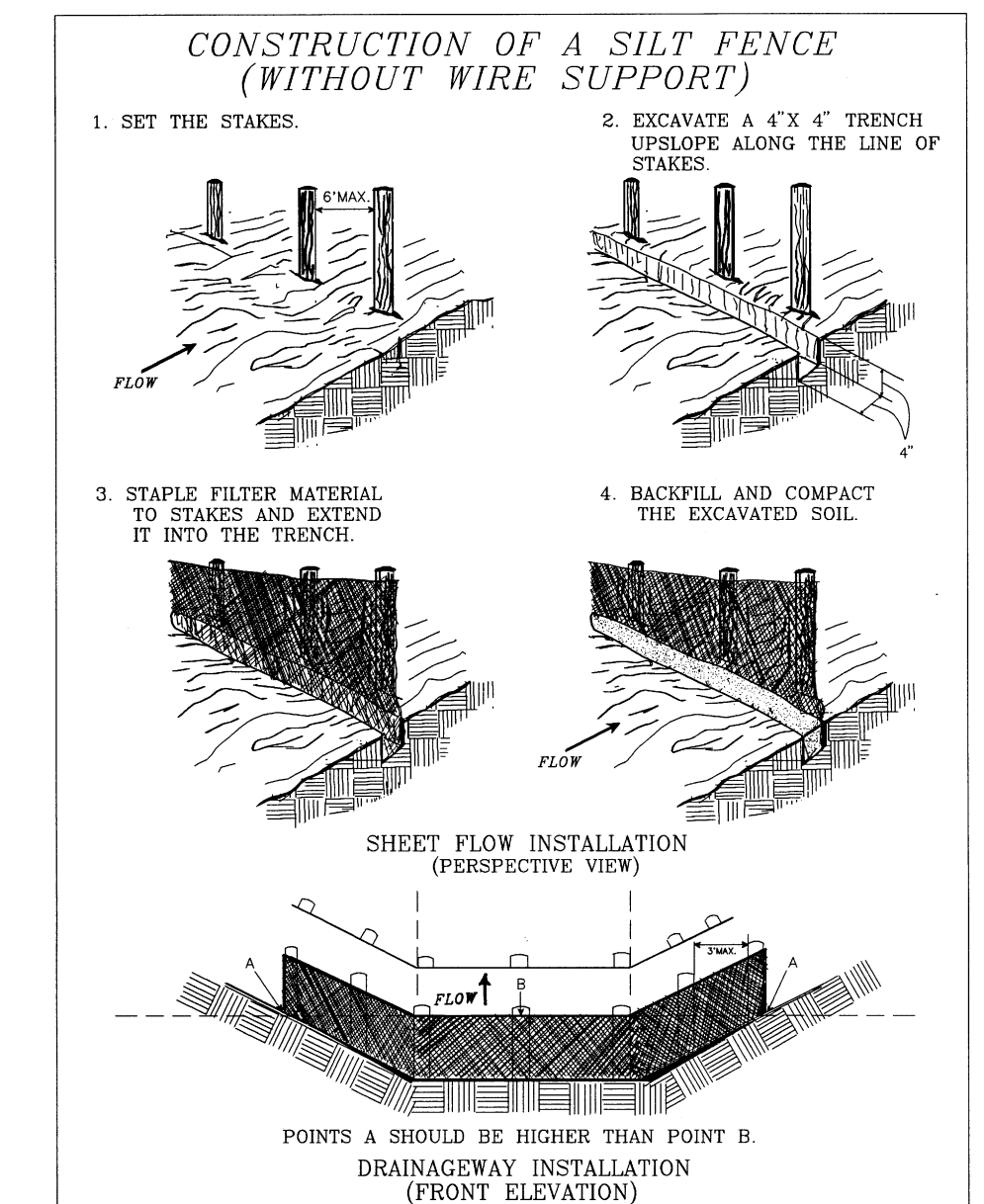
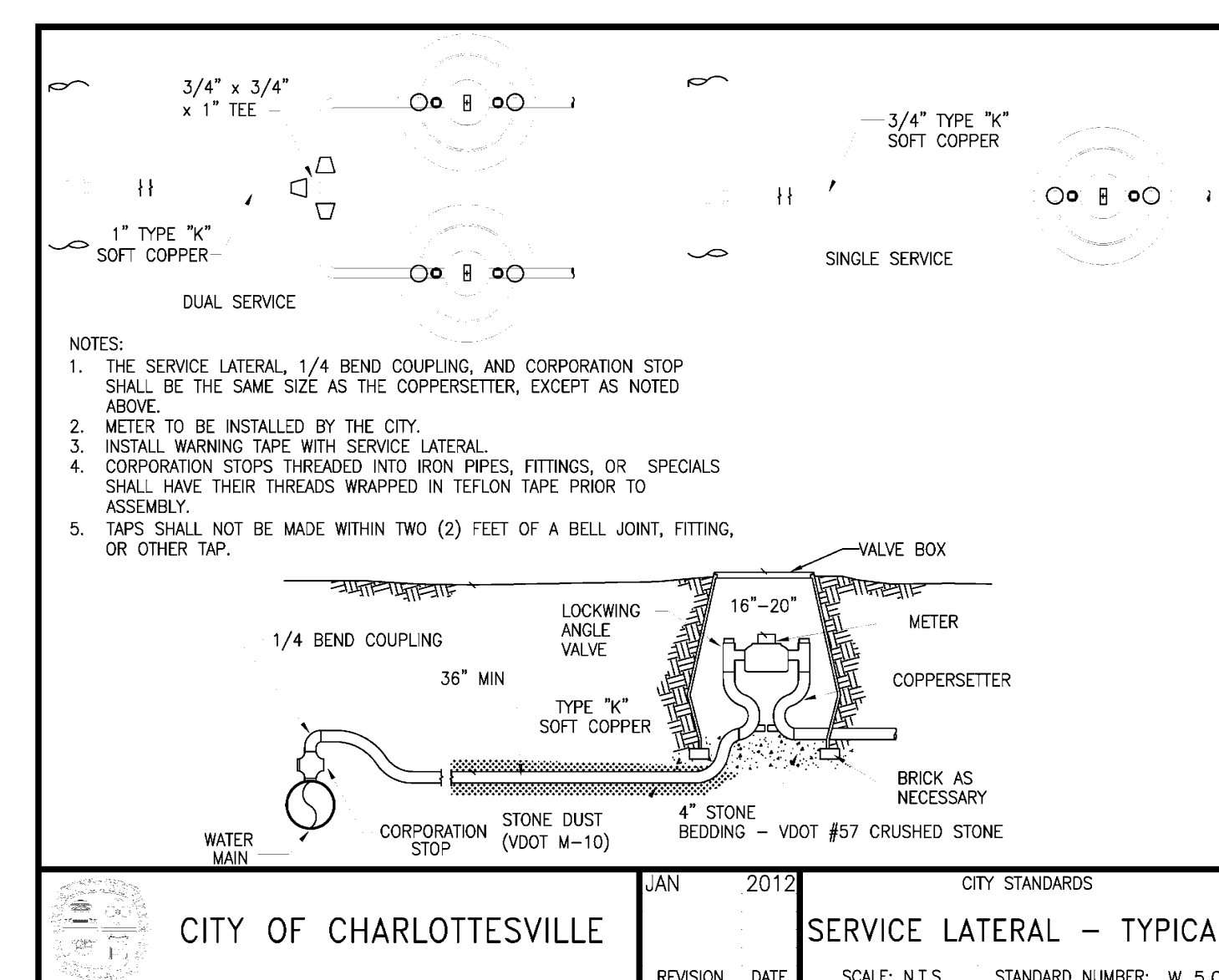
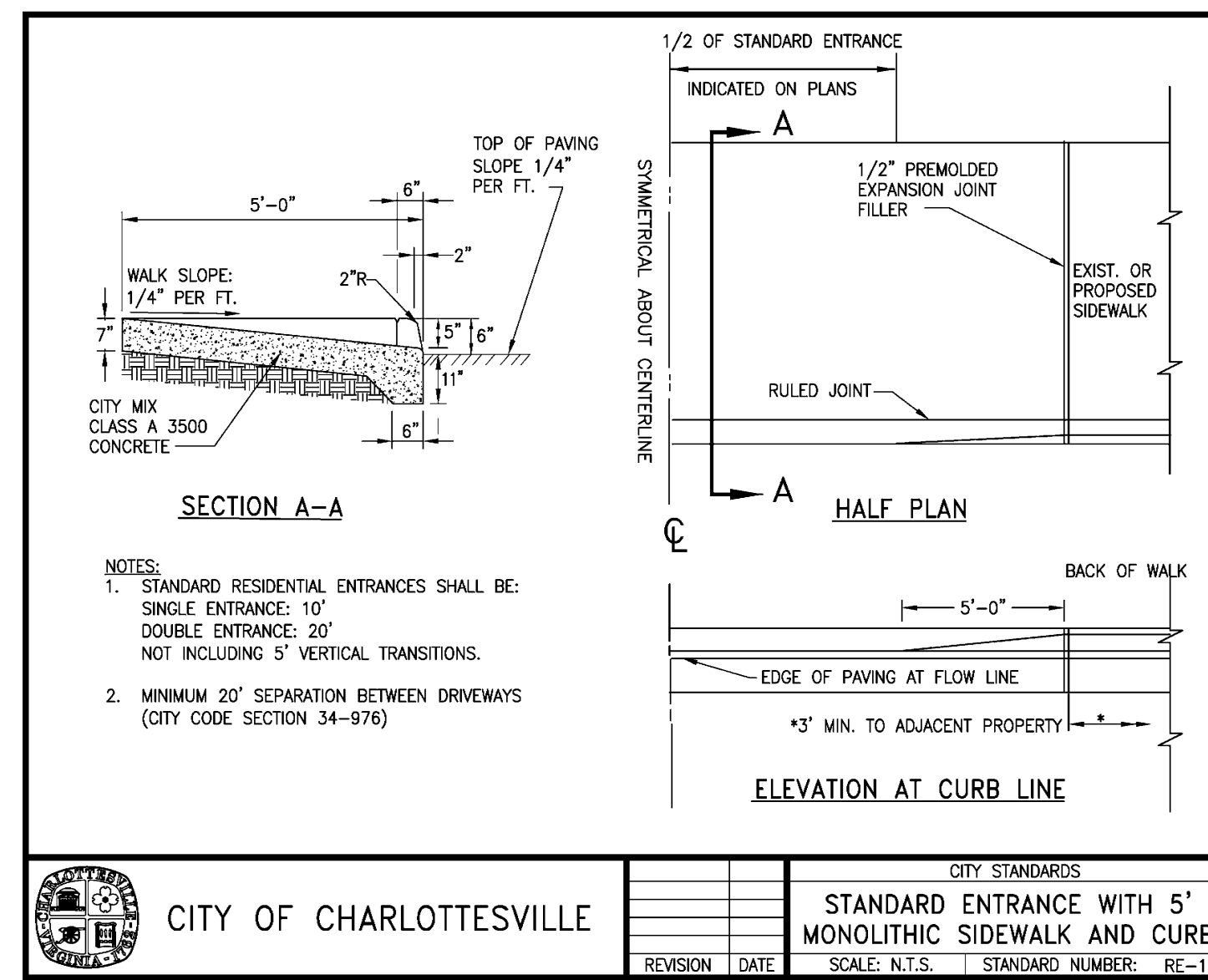
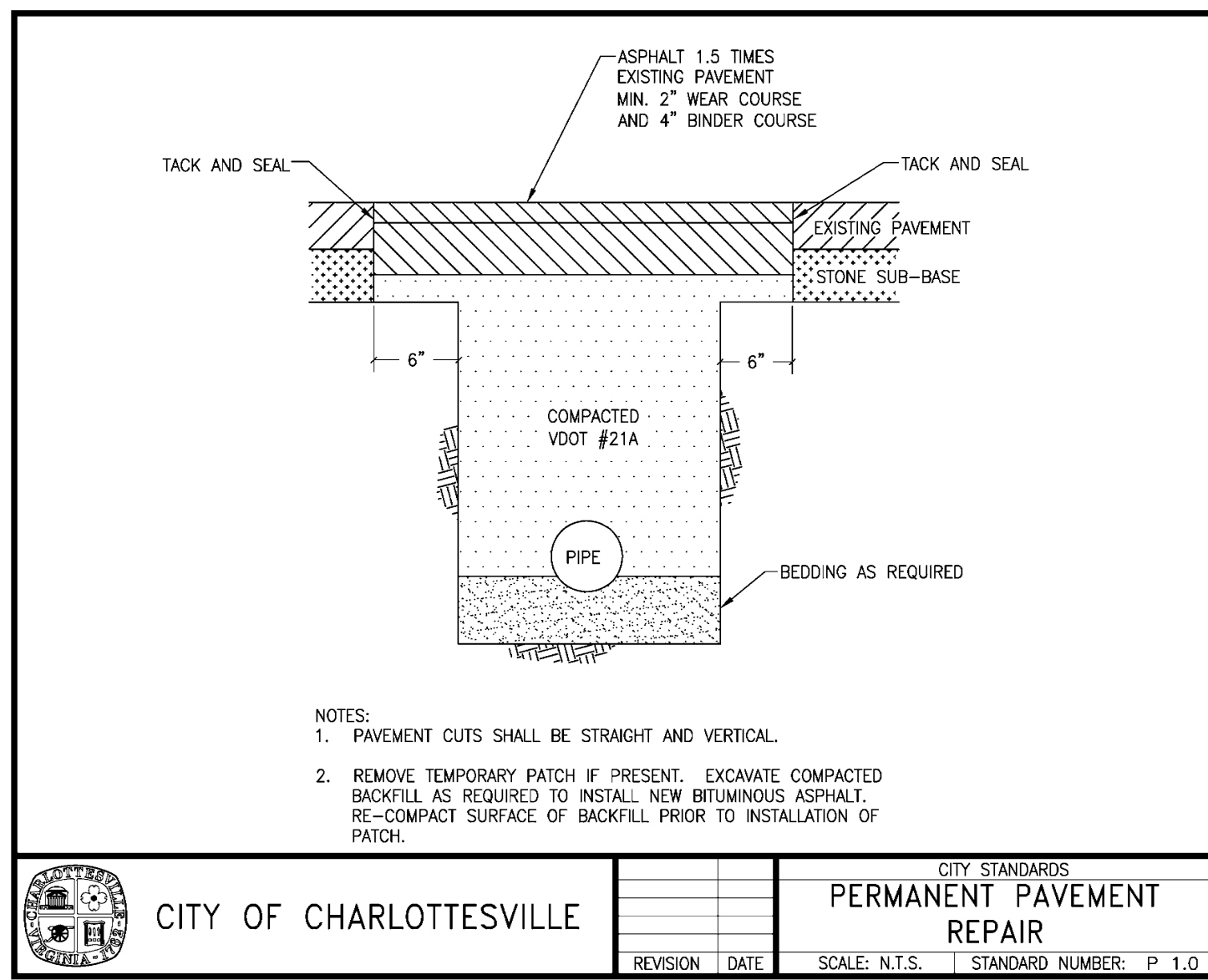
LID SUPPORT INFORMATION

SHARED PARKING INFORMATION	AREA (SF)
SHARED DRIVEWAY	1,562
INDIVIDUAL DRIVEWAYS	2,133
REDUCTION OF IMPERVIOUS SURFACE	37%

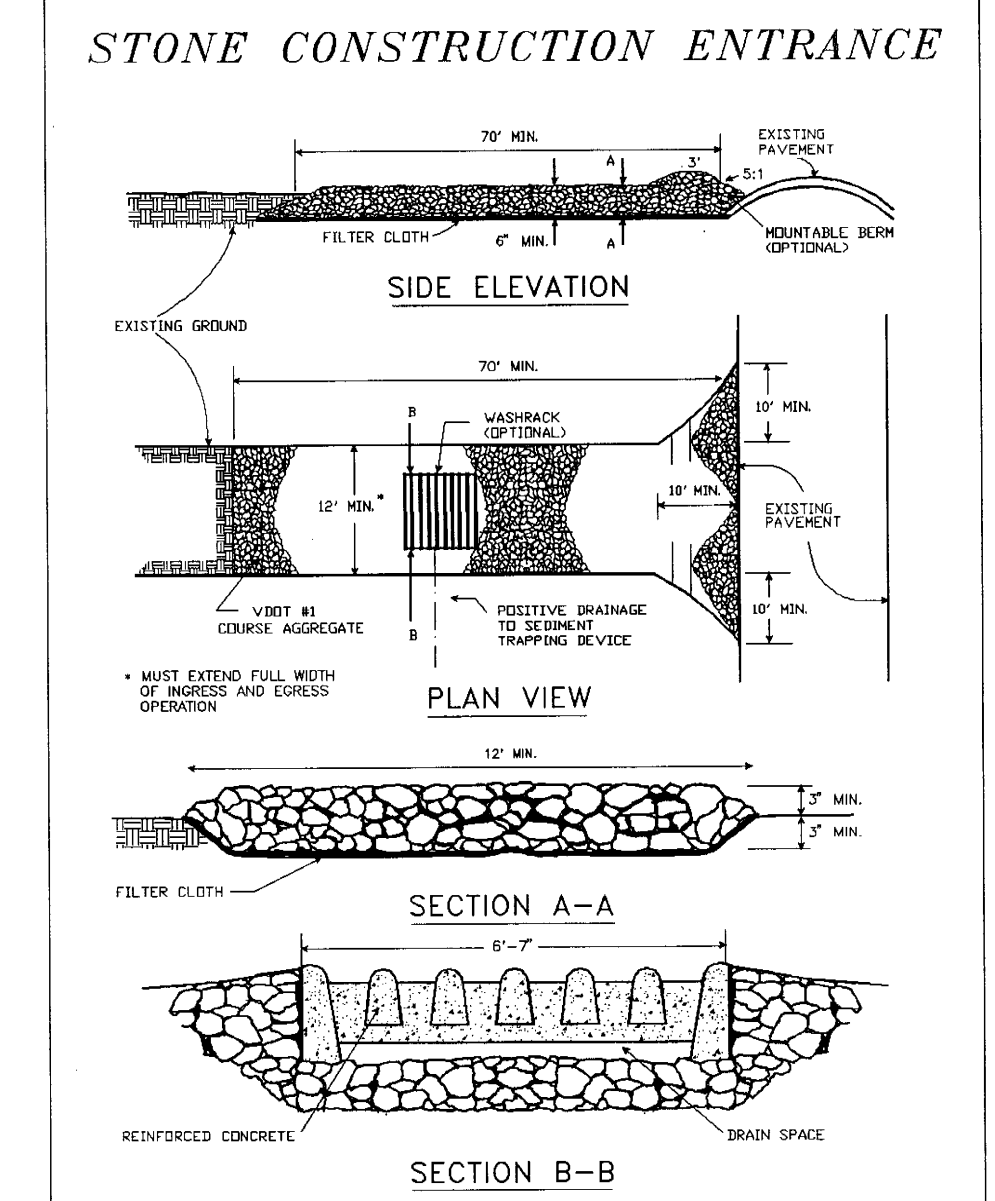
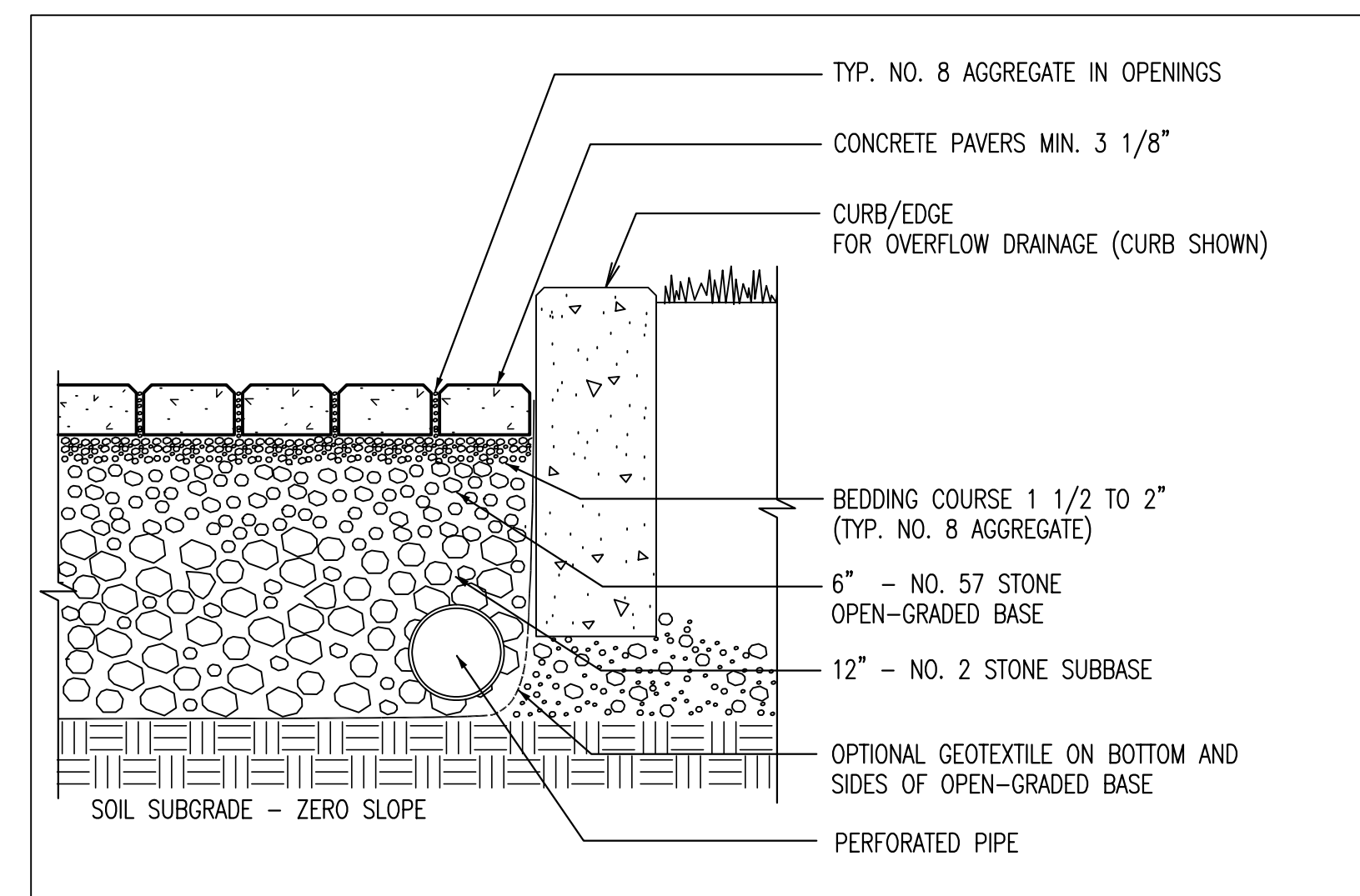
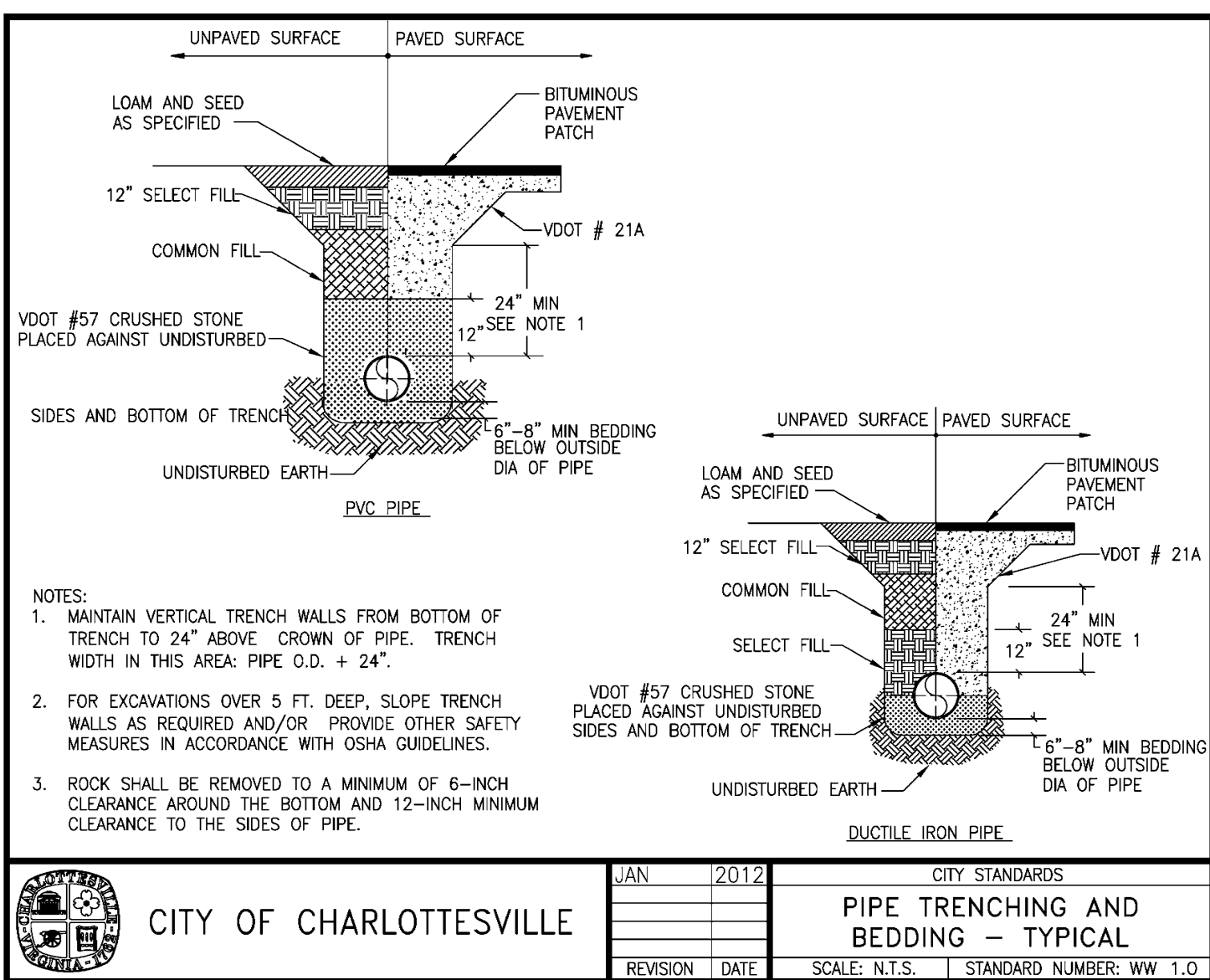
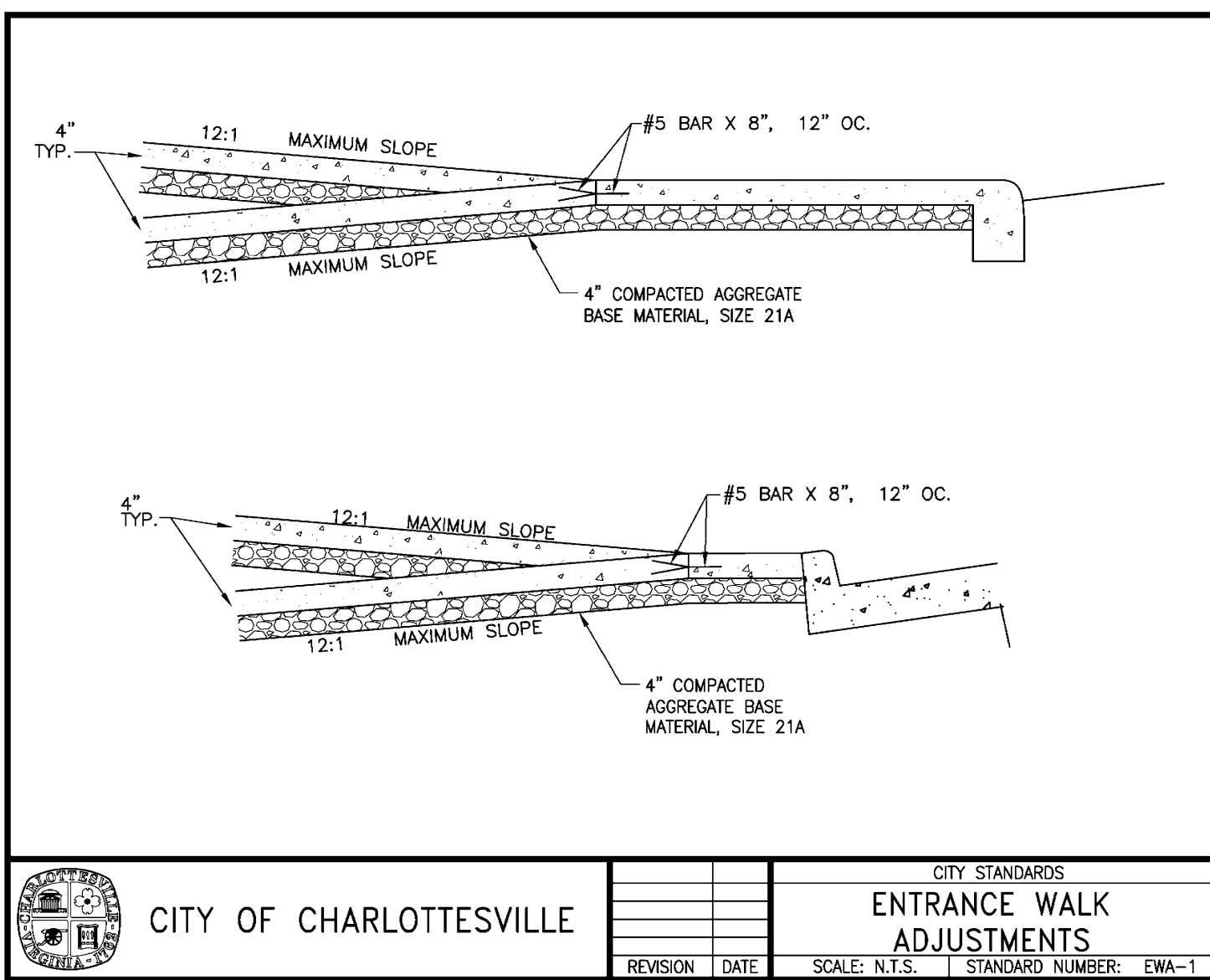
PERVIOUS PAVERS AREAS	AREA (SF)
TOTAL DRIVEWAY/PARKING	1,562
PERVIOUS PAVERS	804
PERCENTAGE OF PERVIOUS SURFACE	51.5%

BMP TREATMENT VOLUME	AREA (SF)
TOTAL SITE AREA	1,562
PERCENTAGE IMPERVIOUS	60%
RAINFALL TREATMENT (IN)	0.5
REQ'D TREATMENT VOLUME (CF)	274
INFILTRATION AREAS: 2 X [17'X18'] (SF)	612
INFILTRATION VOID PERCENTAGE (#57)	40%
REQ'D INFILTRATION DEPTH (FT)	1.12

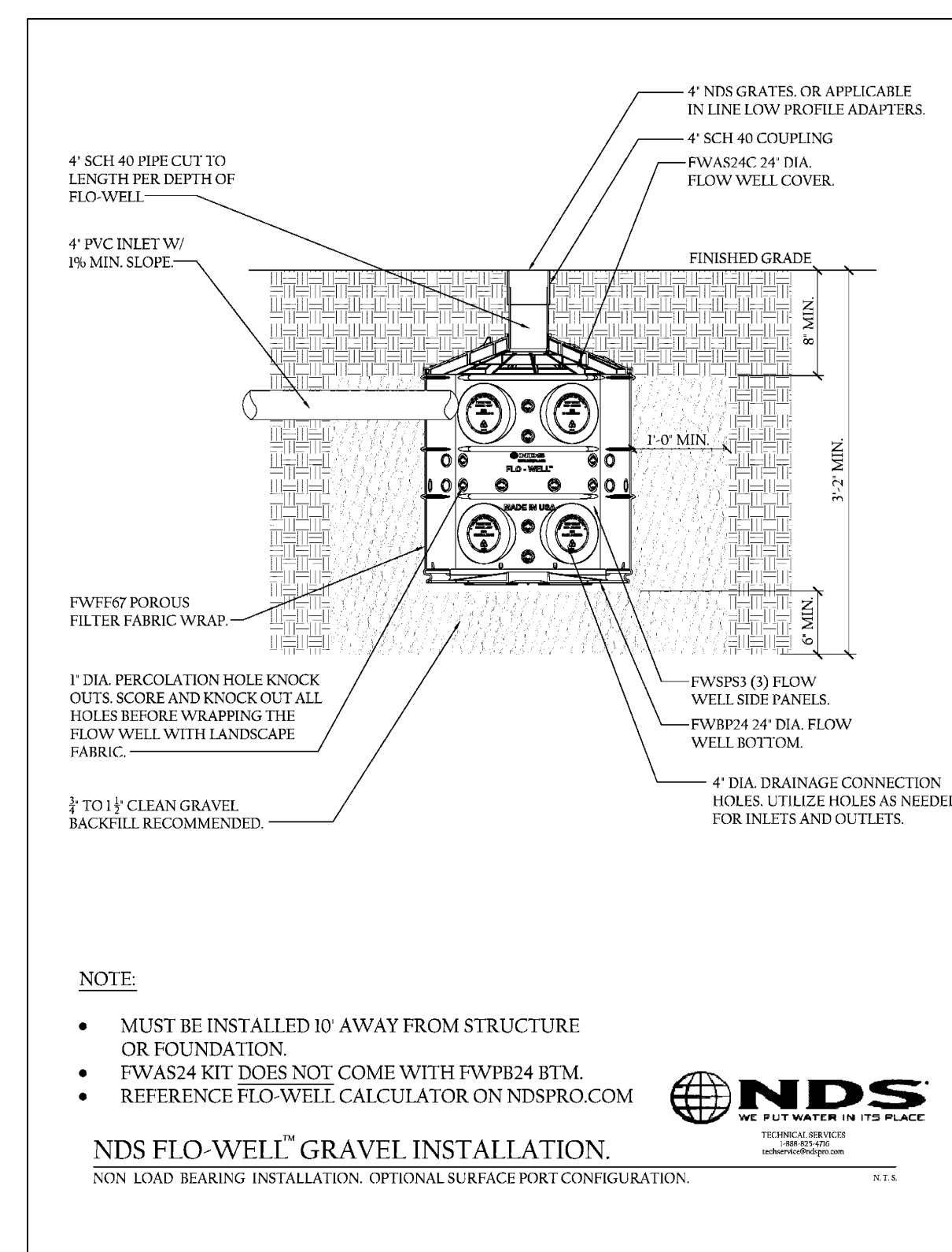
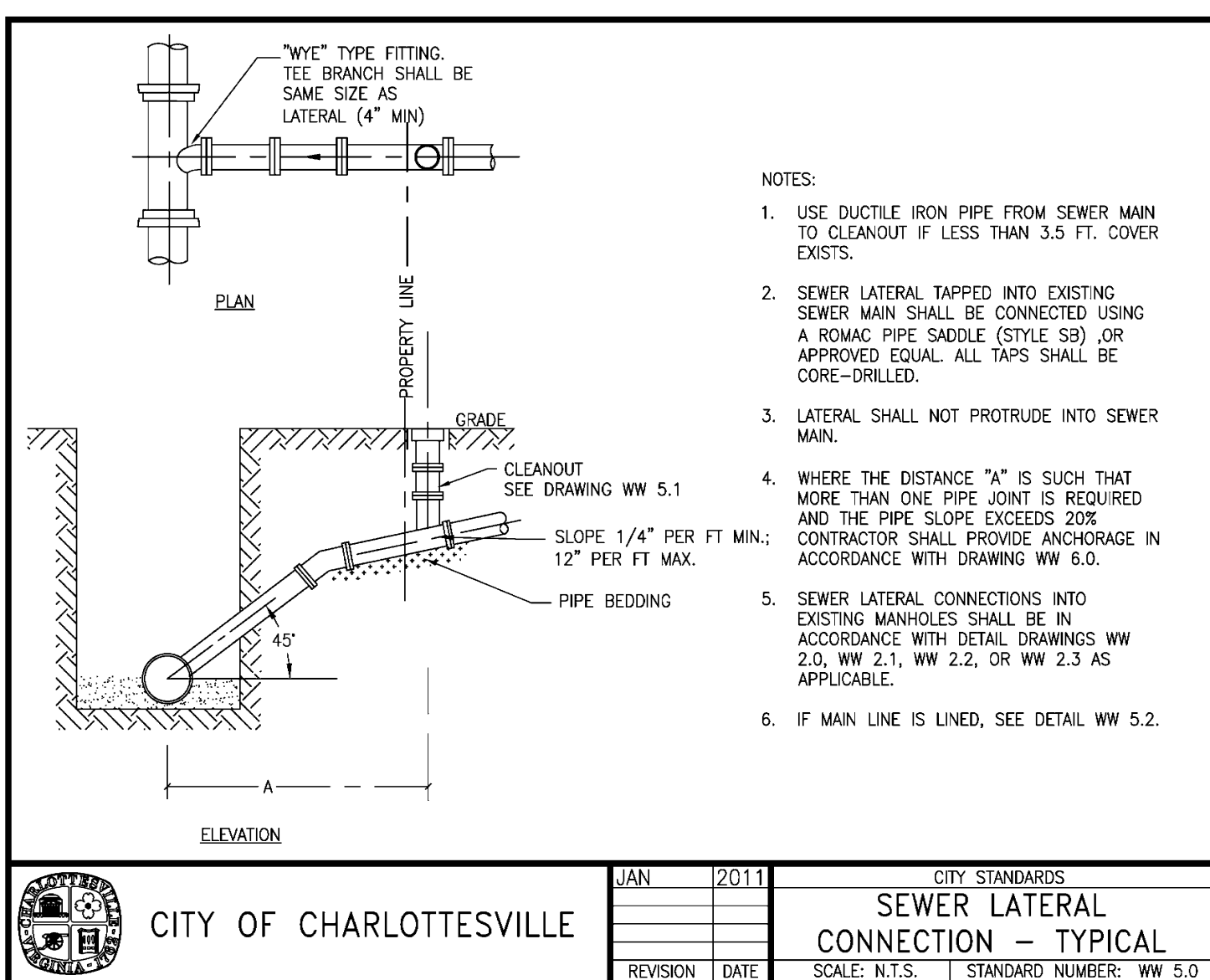
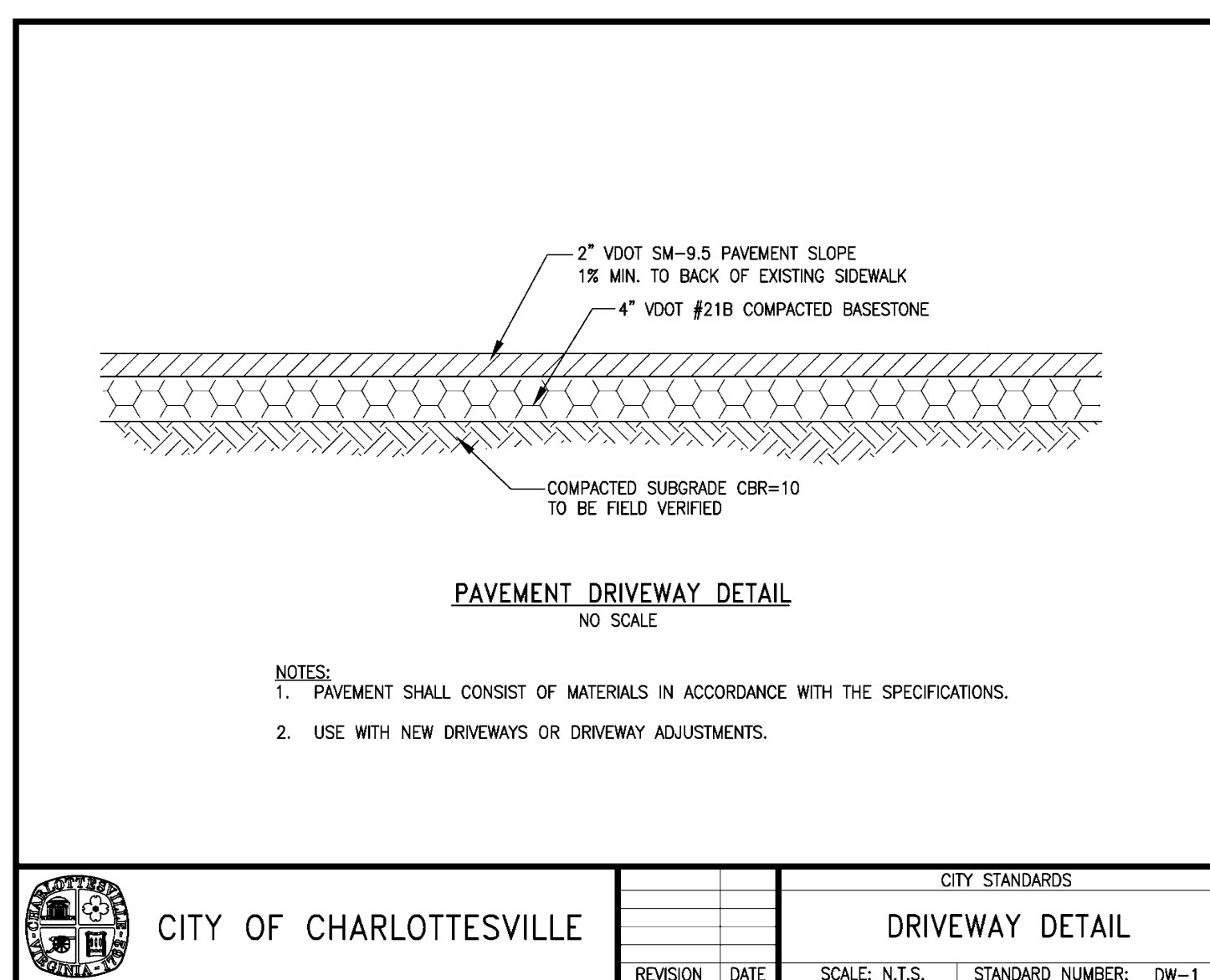




Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant Plate 3.05-2



Source: Adapted from 1983 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC Plate 3.02-1



CONCEPTUAL PLAN
723 NALLE STREET

CHARLOTTESVILLE, VIRGINIA

KIRK HUGHES & ASSOCIATES
LAND SURVEYORS & PLANNERS
220 EAST HIGH STREET
CHARLOTTESVILLE, VA 22902
(434) 296-6942



Post Office Box 748
Crozet, VA 22932
Telephone 434-823-4021
Fax 434-823-1239
Staunton: 540-885-5566
Waynesboro: 540-949-5566

August 20, 2013

T. J. Southmayd
2727 Mcelroy Drive
Charlottesville, Virginia 22903

Re: 723 Nalle Street

To whom it may concern:

At the request of Mr. Southmayd, I had the opportunity to visit the property in question to examine the Maple tree that is currently on the property. Upon pulling up to the property, it was immediately apparent the tree is posing a serious risk to the power lines on the street and that the power company will soon need to come out to severely cut back the tree away from the lines. This has clearly been done in the past and the tree will become more and more lopsided with each future cut-back until it will ultimately need to be removed.

In addition to the risk posed to the existing power lines, and the imminent cutting back/removal of the tree, it is unlikely that the tree would survive construction of any type on the property. The existing water line must be removed and new water, sewer and gas lines must be installed which will come into close proximity to the root system of the tree.

It is my conclusion that the tree will ultimately need to be removed regardless of construction on the property due to the risk that it poses to the existing power lines.

I've recommended that Mr. Southmayd plant 1-2 Dogwood trees on each new lot such that they'll appropriately soften the street scape of the new homes and not grow to such a point that they become a future risk to the power lines.

Sincerely,

Roger L. Baber
Certified Arborist MA-4044

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



**PLANNING COMMISSION AND CITY COUNCIL JOINT
PUBLIC HEARING**

DATE OF HEARING: September 10, 2013
APPLICATION NUMBER: SP-13-07-10

Project Planner: Brian Haluska, AICP
Date of Staff Report: August 20, 2013

Applicant: Byrd Leavell
Current Property Owner: Nichola Properties, LLC

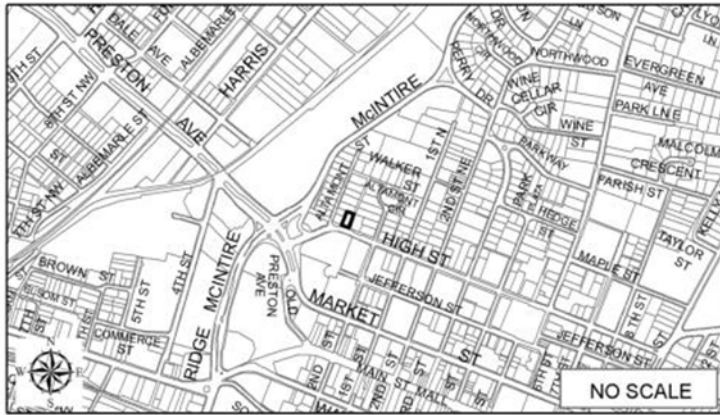
Application Information

Property Street Addresses: 217 West High Street
Tax Map/Parcel #: Tax Map 33, Parcel 131
Total Square Footage/Acreage Site: 5,227 square feet (0.12 acres)
Comprehensive Plan (Land Use Plan) Designation: High Density Residential
Current Zoning Classification: R-3 (Residential) with Architectural Design Control District Overlay
Tax Status: The City Treasurer's office indicates that there are no delinquent taxes owed on the subject properties at the time of the writing of this staff report.

Applicant's Request

Byrd Leavell has applied for a special use permit for increased residential density on property located at 217 West High Street. Currently, the property has a density of 16 units per acre, and the additional unit will increase the density to 25 units per acre. R-3 zoning requires a special use permit for residential density in excess of 21 units per acre for multi-family residential developments. A multi-family residential development is defined in the City Code as a development with more than 2 units.

Vicinity Map



Standard of Review

The Planning Commission must make an advisory recommendation to the City Council concerning approval or disapproval of a special permit or special use permit for the proposed development based upon review of the site plan for the proposed development and upon the criteria set forth. The applicant is proposing no changes to the current site, and therefore is not required to submit a site plan per sections 34-158 and 34-802 of the zoning ordinance.

Section 34-157 of the City Code sets the general standards of issuance for a special use permit.

In considering an application for a special use permit, the city council shall consider the following factors:

- (1) Whether the proposed use or development will be harmonious with existing patterns of use and development within the neighborhood;
- (2) Whether the proposed use or development and associated public facilities will substantially conform to the city's comprehensive plan;
- (3) Whether proposed use or development of any buildings or structures will comply with all applicable building code regulations;
- (4) Whether the proposed use or development will have any potentially adverse impacts on the surrounding neighborhood, or the community in general; and if so, whether there are any reasonable conditions of approval that would satisfactorily mitigate such impacts. Potential adverse impacts to be considered include, but are not necessarily limited to, the following:
 - a. Traffic or parking congestion;
 - b. Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment;
 - c. Displacement of existing residents or businesses;

- d. Discouragement of economic development activities that may provide desirable employment or enlarge the tax base;
 - e. Undue density of population or intensity of use in relation to the community facilities existing or available;
 - f. Reduction in the availability of affordable housing in the neighborhood;
 - g. Impact on school population and facilities;
 - h. Destruction of or encroachment upon conservation or historic districts;
 - i. Conformity with federal, state and local laws, as demonstrated and certified by the applicant; and,
 - j. Massing and scale of project.
- (5) Whether the proposed use or development will be in harmony with the purposes of the specific zoning district in which it will be placed;
- (6) Whether the proposed use or development will meet applicable general and specific standards set forth within the zoning ordinance, subdivision regulations, or other city ordinances or regulations; and
- (7) When the property that is the subject of the application for a special use permit is within a design control district, city council shall refer the application to the BAR or ERB, as may be applicable, for recommendations as to whether the proposed use will have an adverse impact on the district, and for recommendations as to reasonable conditions which, if imposed, that would mitigate any such impacts. The BAR or ERB, as applicable, shall return a written report of its recommendations to the city council.

Any resolution adopted by city council to grant a special use permit shall set forth any reasonable conditions which apply to the approval.

Project Review / Analysis

1. Background

217 West High Street is a two-family residence. The property has two structures, a house that is the primary structure (containing both of the residential units) on the lot and a garage. The applicant has requested a special use permit for increased residential density on the property, which will permit the applicant to convert the garage into a third residential unit.

The request to change the use of the property from a two-family dwelling to a multi-family dwelling necessitates the inclusion of several conditions on the special use permit in order to prevent the property from becoming a non-conforming use.

2. Proposed Use of the Property

The property is currently being used as a two-family residential building. The applicant is proposing to convert the existing accessory garage to an apartment. The change would convert the property to a multi-family structure. The proposed use would not enlarge any of the existing buildings on the property.

3. Impact on the Neighborhood

a. Traffic or parking congestion

- Traffic congestion: Converting the property to a three unit multi-family structure will increase the projected traffic generation from the site by 7 trips. City staff has no concerns with the surrounding streets being able to accommodate this increase.
- Parking: The applicant indicates that the property has parking for six cars, which exceeds the City parking requirement by three parking spaces.

b. Noise, light, dust, odor fumes, vibrations, and other factors which adversely affect the natural environment, including quality of life of the surrounding community.

The project will not affect the quality of life of the surrounding community through any of these impacts.

c. Displacement of existing residents or businesses.

This use will not displace any existing residents or businesses.

d. Discouragement of economic development activities that may provide desirable employment or enlarge the tax base.

This use does not discourage economic development activities.

e. Undue density of population or intensity of use in relation to the community facilities existing or available.

This use will not appreciably increase the density of population in the area or intensify the use of community facilities.

f. Reduction in the availability of affordable housing which will meet the current and future needs of the city.

This use will not reduce the availability of affordable housing.

g. Impact on school population and facilities.

This use will not appreciably impact the school facilities or population.

h. Destruction of or encroachment upon conservation or historic districts.

The property is in an Architectural Design Control District. All external changes to the garage would be reviewed by the Board of Architectural Review prior to being approved.

The BAR will make a recommendation for any conditions arising from the special use permit to City Council at their September 17th meeting.

i. Conformity with federal, state and local laws.

The proposal complies with all federal, state, and local laws to the best of the applicant's knowledge.

j. Massing and scale.

No new buildings will be built or developed as a part of this application.

4. Zoning History

In 1949 the property was zoned A Residential. In 1958, the property was rezoned to R-3 Residential.

5. Character and Use of Adjacent Properties

Direction	Use	Zoning
North	Multi-Family Residential	R-3
South	Multi-Family Residential	DN
East	Multi-Family Residential	R-3
West	Multi-Family Residential	R-3

6. Reasonableness/Appropriateness of Current Zoning

The current R-3 zoning is reasonable and appropriate. By-right uses in the R-3 include multi-family residential.

7. Consistency with Comprehensive Plan

The current use of the property is consistent with the Comprehensive Plan land use designation for the property.

8. Exceptions and modifications as conditions of permit

Section 34-162 of the City Code permits City Council to “expand, modify, reduce or otherwise grant exceptions to yard regulations, standards for higher density, parking standards, and time limitations, provided:

- (1) Such modification or exception will be in harmony with the purposes and intent of this division, the zoning district regulations under which such special use permit is being sought; and
- (2) Such modification or exception is necessary or desirable in view of the particular nature, circumstances, location or situation of the proposed use; and
- (3) No such modification or exception shall be authorized to allow a use that is not otherwise allowed by this chapter within the zoning district in which the subject property is situated.”

This application requires two such exceptions as conditions of approval. They are:

1. A reduction of yard requirements on the property to 12 feet in the front yard, 2 feet on the east side yard, 7 feet on the west side yard, and 2 feet in the rear yard. These setbacks are the current setbacks for the existing structures on the property.
2. A modification of the requirements for recreational space in Section 34-366(a)(3). Section 34-366(b) permits City Council to modify the recreation requirements when “a result more appropriate for the location or use in question will be achieved.” In this case, the required recreational space can be accommodated through mixed-use recreational space, rather than dedicated child space. Staff notes that McGuffey Park is located on an adjacent block, and can fulfill the role of child space for the property.

Public Comments Received

At the time of the drafting of this report, staff has received one letter in support of the application.

Staff Recommendation

Staff finds that the request is consistent with the City's Comprehensive Plan and recommends the application be approved.

Staff recommends the application be approved with the following conditions:

1. A reduction of yard requirements on the property to 12 feet in the front yard, 2 feet on the east side yard, 7 feet on the west side yard, and 2 feet in the rear yard. These setbacks are the current setbacks on the property.
2. A modification of the requirements for recreational space in Section 34-366(a)(3) to allow the required recreational space be adult/mixed-use space.

Suggested Motions

1. I move to recommend approval of this application for a special use permit for the increased residential density in the R-3 Residential zone for 217 West High Street, with the conditions listed in the staff report.

OR,

2. I move to recommend denial of this application for a special use permit for increased residential density in the R-3 Residential zone for 217 West High Street.



SPECIAL USE PERMIT APPLICATION

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
Post Office Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3182

RECEIVED
JUL 23 2013
Fax (434) 970-3359
NEIGHBORHOOD DEVELOPMENT SERVICES

For Non-Residential and Mixed Use projects, please include \$1,500 application fee. For Residential projects, please include \$1,800 application fee; checks payable to the City of Charlottesville. All petitioners must pay \$1.00 per required mail notice to property owners, plus the cost of the required newspaper notice. Petitioners will receive an invoice for these notices and approval is not final until the invoice has been paid.

I (we) the undersigned property owner(s), contract purchaser(s) or owner's agent(s) do hereby petition the Charlottesville City Council for a special permit to use the property located at: 217 West High Street (address), zoned: R-34, for: Third Residence (garage apt).

A. Property Information – Please note on the back of this form any applicable deed restrictions.

- 52 feet of frontage on West High St. (name of street)
- Approximate property dimensions: 52 feet by 118 feet.
- Property size: 5,227 (square feet or acres) 0.1210 Acre
- Present Owner: Nichola Properties LLC (Name) as evidenced by deed recorded in Deed Book Number 2010 Page 2905, with the Clerk of the Circuit Court.
- Mailing Address of Present Owner: 430 Gilliams Ridge Rd.
- City Real Property Tax Map Number _____ Parcel(s) 330, 171, 000; Lot(s): 13, 14, 15, 16

B. Adjacent Property Owners' Addresses (Use the back of this form if necessary.)

	Property Owner Name	Mailing Address	City Tax Map and Parcel #
1.	_____	_____	_____
2.	_____	_____	_____
3.	_____	_____	_____
4.	_____	_____	_____

C. Applicant Information – Please note that if the applicant is not the owner, proof of status as contract purchaser or owner's agent must be furnished. (Office Use: Proof Furnished _____)

Applicant's Name Bryon Leavell
Mailing Address 430 Gilliams Ridge Rd.
Applicant's Phone Numnber(s): 434-989-0444 Cell 434-979-7958 Home _____
Applicant's Signature Bryon Leavell

D. Attachments Submitted by the Applicant

- A required site plan was previously submitted on _____ (Date) with the required fee, for a pre-application review conference on 7/15/13 (Date). This site plan was prepared by:
Name: Alloy
Address: 1109 Rose Hill Dr.
Phone: 434-977-8733
- Other attachments as required by Section 34-158 of the City Code (Office Use: Submitted _____).
- The correct application fee (see above).

For Office Use Only

I certify that the sign(s) as required by Section 34-44 of the City Code as amended has been posted on the following date: _____

Signature: _____ (Zoning Administrator)

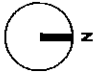
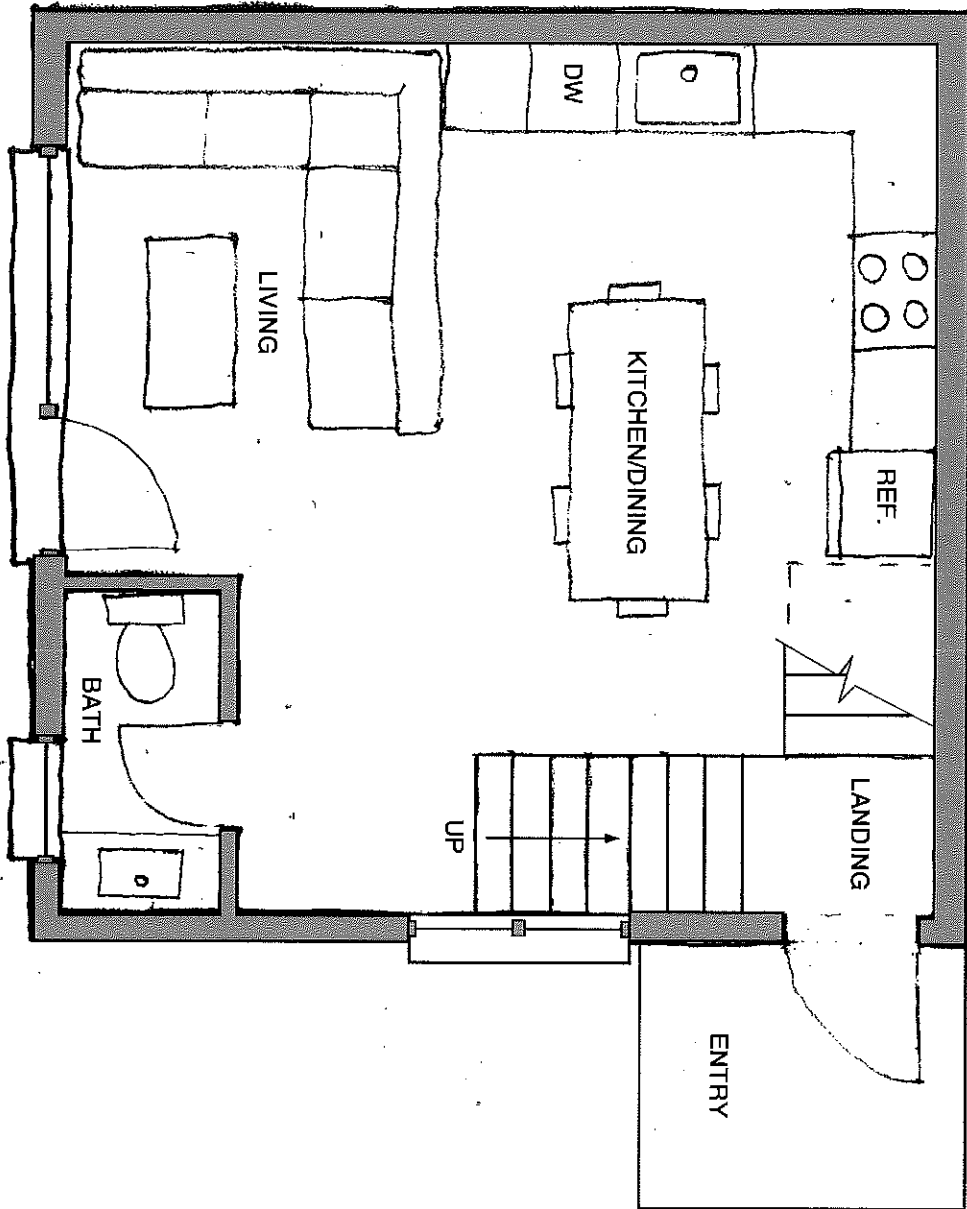
Amt. Paid 1800.00 Date Paid 7/23/13 Cash/Check # 1621 Received by O. Evans

We are requesting a special use permit to convert the existing garage into an apartment at 217 West High street. Two years ago we renovated the dilapidated house on the site . The property has parking for 6 vehicles with 2 spots adjacent to the garage. The proposed change would be to rent the garage (carriage house) apartment . There are many rental units in the area and the existing house on site is a duplex rental. The proposed unit would be the same structure that exists now and I do not anticipate any factors that would adversely affect the natural environment. The renovation will be done in consideration of the neighboring residents , as we have two renters on the lot. There is a more dense apartment next door at 205 W. High St.. We anticipate a single person or couple to rent the space and this should have no affect on the school population or facilities.

1
A1

First Floor Plan

1/4" = 1'-0"



A1 First Floor Plan

Leavell

217 West High Street | Charlottesville, VA, 22902

DATE: 6 November 2012

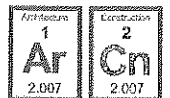
ISSUE:

REVISION:



www.alloyworkshop.com

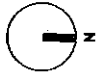
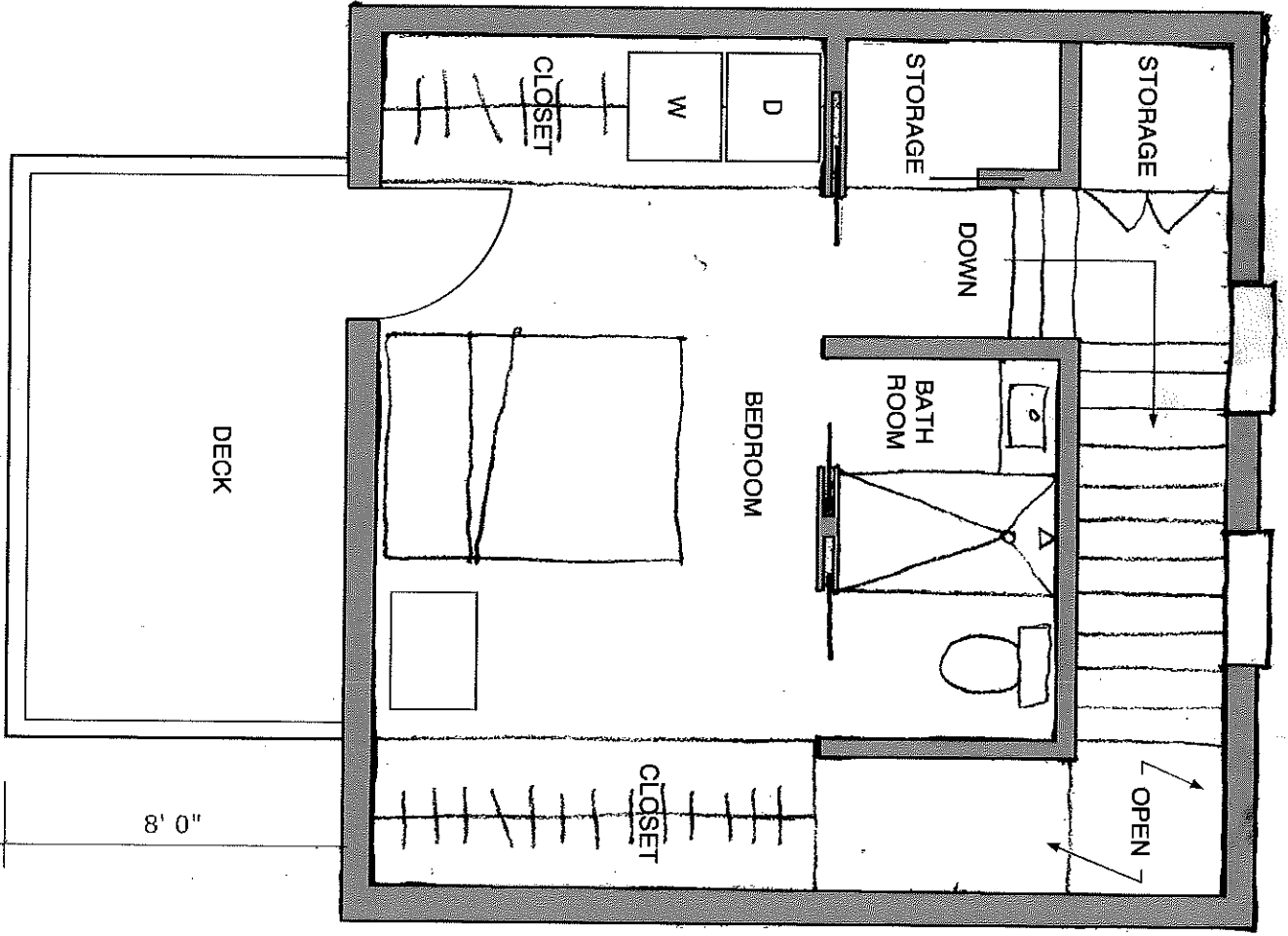
1109 Rose Hill Drive
Charlottesville, Virginia 22903
t- 434-977-8733 f- 434-979-8733



1
A2

Second Floor Plan

1/4" = 1'-0"



A2 Second Floor Plan

Leavell

217 West High Street | Charlottesville, VA, 22902

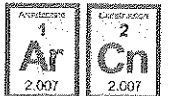
DATE: 6 November 2012

ISSUE:

REVISION:



www.alloyworkshop.com
 1109 Rose Hill Drive
 Charlottesville, Virginia 22903
 t- 434-977-8733 f- 434-979-8733





GREAT EASTERN MANAGEMENT COMPANY

DEVELOPMENT ■ CONSTRUCTION ■ FINANCE ■ MANAGEMENT

July 30, 2013

Ms. Missy Creasy
Planning Manager
City of Charlottesville
P.O. Box 911
Charlottesville, VA 22902

Re: 217 West High
Nicola Properties, LLC
Tax Map 33 Parcel 131

Ms. Creasy:

On behalf of Towers Limited Partnership, a neighboring property owner, we wish to express our wholehearted support for the pending special use permit application for the above parcel.

Sincerely,

Jamie E. Boyers, on behalf of
Towers Limited Partnership

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GREAT EASTERN MANAGEMENT COMPANY

DEVELOPMENT ■ CONSTRUCTION ■ FINANCE ■ MANAGEMENT

August 28, 2013

Ms. Missy Creasy
Planning Manager
City of Charlottesville
P.O. Box 911
Charlottesville, VA 22902

Re: SP-13-07-13
217 West High Street
Tax Map 33 Parcel 131

Ms. Creasy:

On behalf of Court Square, L.L.C., owner of the Court Square Building that neighbors the 217 West High Street property, we wish to express our wholehearted support for the pending special use permit application that will allow for a total of three (3) dwelling units on the property.

Sincerely,

Jamie E. Boyers, on behalf of
Court Square, L.L.C.

G:\DOCS\WP\CourtSquare\Creasy.217WestHighSupportLetter.08.28.13.doc

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
PLANNING COMMISSION



PRELIMINARY DISCUSSION:
SPECIAL USE PERMIT

Author of Memo: Brian Haluska, Neighborhood Planner

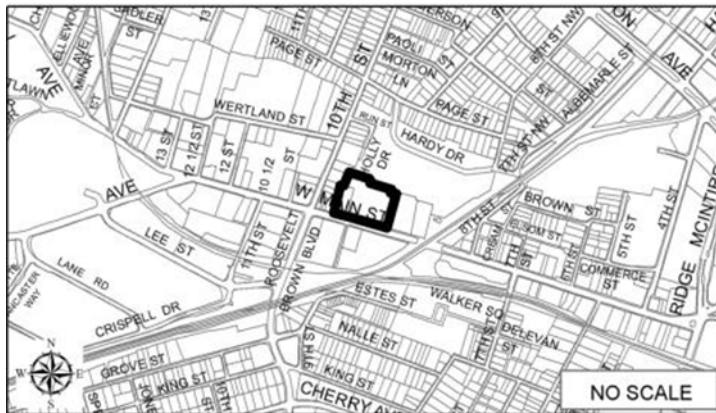
Date of Meeting: September 10, 2013

RE: The Standard

Background

Timmons Group, agent for Landmark Acquisitions LLC has submitted the following application for a special use permit on 2.517 acres of property comprised of Tax Map 31, Parcels 169 and 170. The special use permit is a request for additional height, and residential density above what is permitted by-right. The site plan shows a six-story building with 192 apartment units, 12,000 square feet of commercial space and a 499 space parking garage.

Vicinity Map



Preliminary Analysis

Reason for Special Use Permit

The applicant is requesting a special use permit for additional height and density.

The maximum height permitted by right in the West Main North zoning district is 60 feet, with an additional 10 feet permitted by special use permit. The applicant shows a building height of 70 feet.

The maximum by-right residential density in the West Main North corridor is 43 dwelling units per acre, with 200 units per acre permitted by special use permit. As proposed, the overall density of the development would be 76.3 dwelling units an acre.

Questions for Discussion

- Engagement with West Main Street – The proposed building will take up over 350 feet along West Main Street, a route envisioned by the City as a vital link between the City’s Downtown area and the University of Virginia. The City’s vision is that this street has a vibrant pedestrian-oriented street life that encourages interaction from residents and visitors alike. The additional height sought by the applicant impacts the experience of pedestrians along the street. How will the proposed project encourage the type of activity the City hopes to see in this area of West Main Street?
- Plazas Accessibility from the Public Rights-of-Way – The building shows a courtyard feature for the private use of the residents. In the past, the Planning Commission has criticized developments that make these amenities private, rather than open to the public. Could the courtyard feature be pushed to the street to serve as an amenity to the public, as well as the commercial establishments that will be located in the ground floor space?
- Connection with Surrounding Neighborhoods – The building backs up to the Westhaven Housing complex in the 10th and Page area. In recent discussions about potential renovation of public housing sites in Charlottesville, there has been a frequent concern about developments that are disconnected from surrounding areas. The most frequently cited example is Westhaven’s detachment from West Main Street. The development of this and adjacent properties offers an opportunity to reconnect Westhaven to West Main Street. Does the plan contemplate this connection, or does it further “wall off” the public housing site from one of the City’s main avenues?

Attachments

Application

Conceptual plan with Drawings



THE STANDARD | CHARLOTTEVILLE

LANDMARK PROPERTIES, INC.

**SPECIAL USE PERMIT SUBMITTAL
AUGUST 20, 2013**

MITCHELL/MATTHEWS ARCHITECTS

434.979.7550

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A7	PROPOSED SITE SECTION
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PROJECT NARRATIVE

Introduction: The Standard Charlottesville is a proposed mixed-use project at the combined properties of 853, 855 and 901 West Main Street. The project, consisting primarily of multi-family residential units and commercial/retail space, is within walking distance of the downtown mall and the University of Virginia. The properties lie within the city's West Main Street Architectural Design Control (ADC) District. It is our opinion that the project's design complies with the city's stated vision for the redevelopment of West Main Street, a designated urban development area within the city. Below you will find responses to each of the city's factors to be considered in review of Special Use Permit applications.

Location: The Standard Charlottesville is located at 853, 855 and 901 West Main Street.

Zoning: The sites comprising the project area are zoned West Main North Corridor (Mixed-Use).

Proposed Use: The Standard Charlottesville is a mixed-use project, consisting primarily of multi-family housing units with commercial/retail space along West Main Street.

Special Use Permit Request: A special use permit is being requested for additional height (from 60 ft. maximum to 70 ft. maximum) and density [from 43 Dwelling Units per Acre (DUA), by right, to approximately 89 DUA. Maximum density allowed with a special use permit is 200 DUA].

SUP Review Criteria:

- 1. Whether the proposed use or development will be harmonious with existing patterns of use and development within the neighborhood:** The proposed mixed-use project will be harmonious with the vision and goals for the West Main Street corridor, the current zoning ordinance and recently approved projects. The Standard will add one more stitch in the evolving fabric of a vital and energized West Main by replacing surface parking and obsolete structures with a mix of residential and street level retail/commercial. This project will increase pedestrian activity along one of the city's main commercial corridors by providing convenient residential and commercial uses within a gradually improving and walkable street.
- 2. Whether the proposed use or development and associated public facilities will substantially conform to the city's comprehensive plan:** The Standard Charlottesville (TSC) will conform to the goals and visions of the city's comprehensive plan. Specifically, it will contribute to Land Use Goal one—enhance the sense of place throughout Charlottesville—by removing a large, vacant parking lot and replacing it with a lively, mixed-use building, adding to the enrichment of the street life on West Main Street. The West Main/Ridge McIntire corridor is a specific area mentioned within this goal. TSC will also contribute to the city's Economic Sustainability goal of “build(ing) partnerships with private sector groups in order to maximize strategic capital investment in targeted areas in the City.” As part of an identified Urban Development Area, this project is likely to play a significant role in “the development of the City's key commercial corridors and surrounding site (such as West Main Street, ...)—Economic Sustainability goal 4.3 in the city's revised comprehensive plan. TSC will help the city fulfill its sixth Economic Sustainability goal to “maintain the economic vitality of the Downtown Mall and surrounding areas”, whereby, in partnership with the city, it will help continue the implementation of the West Main Street Plan to the extent feasible (Economic Sustainability point 6.2). Finally, by permitting the increased density along West Main Street, a corridor identified by the city as an area appropriate for additional density, TSC will help provide adequate population in areas that support the city's vision of “shaping the community with transit.”
- 3. Whether proposed use or development of any buildings or structures will comply with all applicable building code regulations:** The structures and site will be designed to comply with all applicable building code regulations.

PROJECT NARRATIVE

4. **Whether the proposed use or development will have any potentially adverse impacts on the surrounding neighborhood, or the community in general; and if so, whether there are any reasonable conditions of approval that would satisfactorily mitigate such impacts. Potential adverse impacts to be considered include, but are not necessarily limited to, the following:**
- a. **Traffic or parking congestion:** The project is located midway between downtown and the University of Virginia and near to the UVa hospital. Given its proximity to these locations, it is anticipated that residents would primarily be commuting to these locations. Because of the restricted parking conditions at these destinations, it is anticipated that most commuters would opt to use alternative modes of transportation such as public transit, biking or walking.
 - b. **Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment:** No activities are anticipated that will adversely affect the natural environment. All exterior lighting will comply with the city's dark sky ordinance and will be an improvement over the site lighting that currently exists.
 - c. **Displacement of existing residents or businesses:** This project will not displace any existing residential units. The majority of the businesses currently located in these buildings are chiefly affiliated with the University of Virginia. While definitive plans have not been developed, it is expected that the existing businesses will remain in the area and relocate to the commercial space in or around TSC.
 - d. **Discouragement of economic development activities that may provide desirable employment or enlarge the tax base:** The Standard Charlottesville will not discourage economic development activities but rather will contribute to the revitalization of the West Main Street corridor. In addition to enlarging the tax base in this area with new residential and commercial facilities, it will provide new employment opportunities. Furthermore, it will help to spur new development and investment in this area by providing a residential population base for additional goods and services.
 - e. **Undue density of population or intensity of use in relation to the community facilities existing or available:** The proposed population and intensity of use are consistent with those provided for by the zoning allowance. No adverse effects to the existing or available community facilities are expected.
 - f. **Reduction in the availability of affordable housing in the neighborhood:** The site does not currently accommodate any housing; therefore no affordable housing units will be lost. The proposed development will comply with the affordable housing ordinance with a cash contribution to the city's affordable housing fund.
 - g. **Impact on school population and facilities:** While the units are planned to be market rate rental units and available to the general public, given its proximity to Downtown, the university and the hospital, it is anticipated that the units will be primarily occupied by students, young professionals and employees at the medical school and hospital. It is expected that TSC will have minimal impact on the school population and facilities.
 - h. **Destruction of or encroachment upon conservation or historic districts:** West Main Street is a locally designated historic district but it is not listed as a district on the State or National Register of Historical Places. The proposed new project will not destroy any historic buildings within this architectural design control district.
 - i. **Conformity with federal, state and local laws, as demonstrated and certified by the applicant:** The proposed project will conform to all applicable federal, state, and local laws.

PROJECT NARRATIVE

- j. Massing and scale of project:** The proposed mixed-use building will provide a defined street wall at the property line, which steps back at the top floor. In addition to stepping back the upper level along West Main Street, variations in the surface planes of the building have been incorporated to break up the massing into smaller compositions and maintain a pedestrian scale. The scale of the proposed project is consistent with the city's stated vision for the West Main Street corridor and is consistent with a range of existing and recently approved projects on West Main Street. See accompanying sketches.
- 5. Whether the proposed use or development will be in harmony with the purposes of the specific zoning district in which it will be placed:** The proposed building is located in close proximity to the front (primary) street, West Main Street, and helps to define a uniform street wall for pedestrian-oriented retail and commercial uses. It is an allowable use within the city's allowable height and density permitted for this specific zoning district. This project respects the City's desired pattern for commercial and residential development envisioned for West Main Street. The development intensity (approximately 89 DUA) is well below the maximum allowed in this area (200 DUA) and is consistent in scale and massing with the City's intent for West Main and with recently approved neighboring hotel, housing and medical projects.
- 6. Whether the proposed use or development will be in harmony with the purposes of the specific standards set forth within the zoning ordinance, subdivision regulations, or other city ordinances or regulations:** The proposed new building and use will contribute to the mixed-use development and revitalization efforts along West Main Street. It is within the city's allowable uses, density and height provided for in the zoning designation.

For additional information on the project, see the Project Data sheet in this submittal.

PROJECT DATA

Location	853 & 901 West Main Street	
Site Area	109,640 Square Feet	2.517 Acres
Zoning	Existing: WMN (West Main Street North)	Proposed: WMN
Use	Existing: Office	Proposed: Mixed-use Residential/Commercial
Height	Allowable: 60 Feet + Appurtenance 70 Feet + Appurtenance with SUP (86' max)	Proposed: 70' +/- (Podium + 5 stories) + appurtenance
Density	Allowable: 43 DUA 200 DUA with SUP	Proposed: 89 DUA +/-
Tax Map	31-170 & 31-169	

Parking		Building						
		Floors	Building Area* (+/-)	1BR	2BR	3BR	4BR	TOTAL
Required Parking	189 (1 space/unit)	Parking I	7,796 GSF	--	--	--	--	--
Parking Provided		First	52,789 GSF	1	7	4	12	24
6.5 Tiers	499 +/-	Second	52,236 GSF	2	6	5	20	33
26,784 GSF/tier +/-	174,096 GSF +/-	Third	54,645 GSF	2	7	6	20	35
		Fourth	54,645 GSF	2	7	6	20	35
		Fifth	54,645 GSF	2	7	6	20	35
		Sixth	43,654 GSF	2	7	4	14	27
Parking Ratio	2.6 Spaces/Unit	Seventh (Appurtenance)	16,750 GSF	--	--	--	--	--
	0.82 Spaces/Bed		337,160 GSF +/-	11	41	31	106	189 +/- UNITS
			+ Parking	(6%)	(22%)	(16%)	(56%)	(% UNIT MIX)
				11	82	93	424	610 +/- BEDS

All quantities, areas, and dimensions are approximate and subject to change as the project is refined and further input is received from city planning staff.



UNIVERSITY OF VIRGINIA
CENTRAL GROUNDS

15 MINUTE WALK

10 MINUTE WALK

5 MINUTE WALK

UNIVERSITY AVE.

10TH AND PAGE
NEIGHBORHOOD

PRESTON AVE.

10TH ST. NW

1/4 MILE

1/2 MILE

3/4 MILE

853/855 & 901 WEST MAIN

WEST MAIN ST.

UVA HOSPITAL

RIDGE STREET

DOWNTOWN
PEDESTRIAN MALL



WERTLAND STREET

STREET

NW

10TH STREET

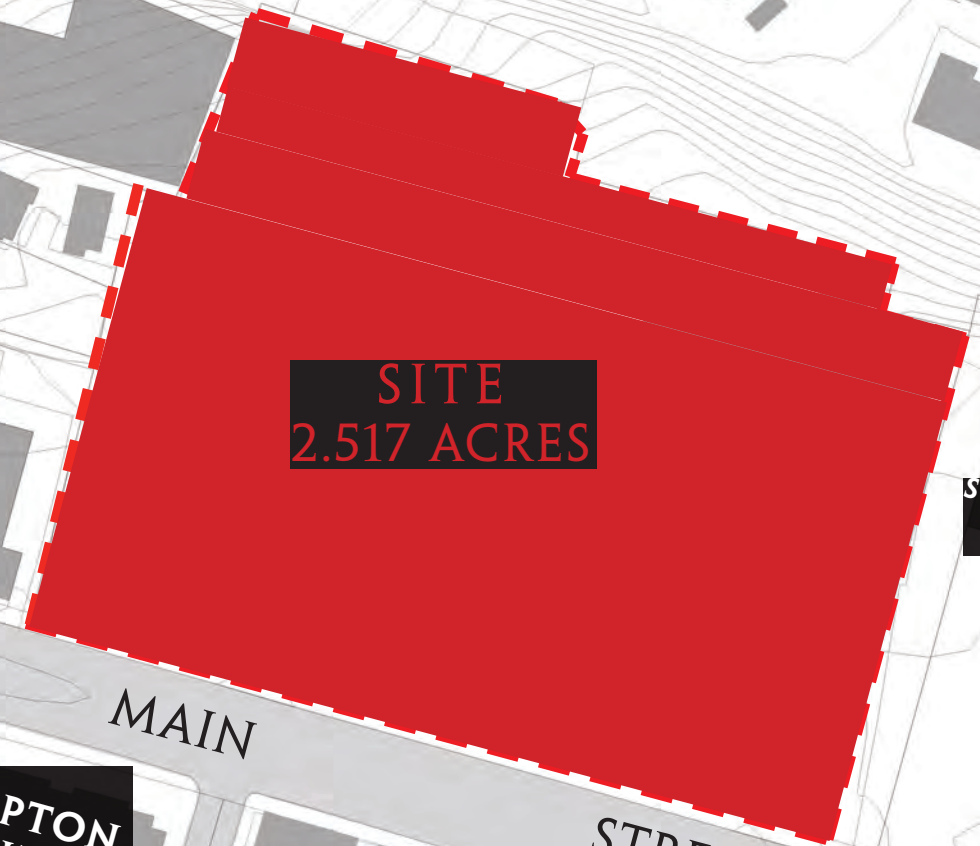
HARDY DRIVE

DRIVE

STACEY HALL

BALKAN BISTRO

TEAM TIRES



SITE
2.517 ACRES

SWEETHAUS

TO UVA CENTRAL GROUNDS
1/2 MILE

WEST

MAIN

STREET

UVA

HAMPTON INN

THE PLAZA

TO DOWNTOWN MALL
1/2 MILE

THE STANDARD | CHARLOTTESVILLE

VICINITY MAP

LANDMARK PROPERTIES, INC.
SPECIAL USE PERMIT SUBMITTAL
AUGUST 20, 2013

MITCHELL/MATTHEWS © 2013
ARCHITECTS AND URBAN PLANNERS
CHARLOTTESVILLE 434 979 7550



913



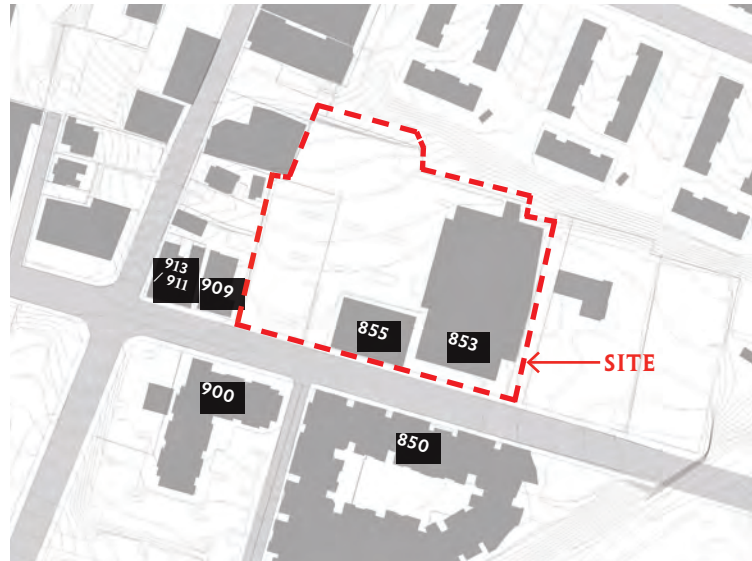
911



909



855



855



900



850 (UNDER CONSTRUCTION)



850 (UNDER CONSTRUCTION)



C. THE PLAZA ON W. MAIN



D. THE PAVILION



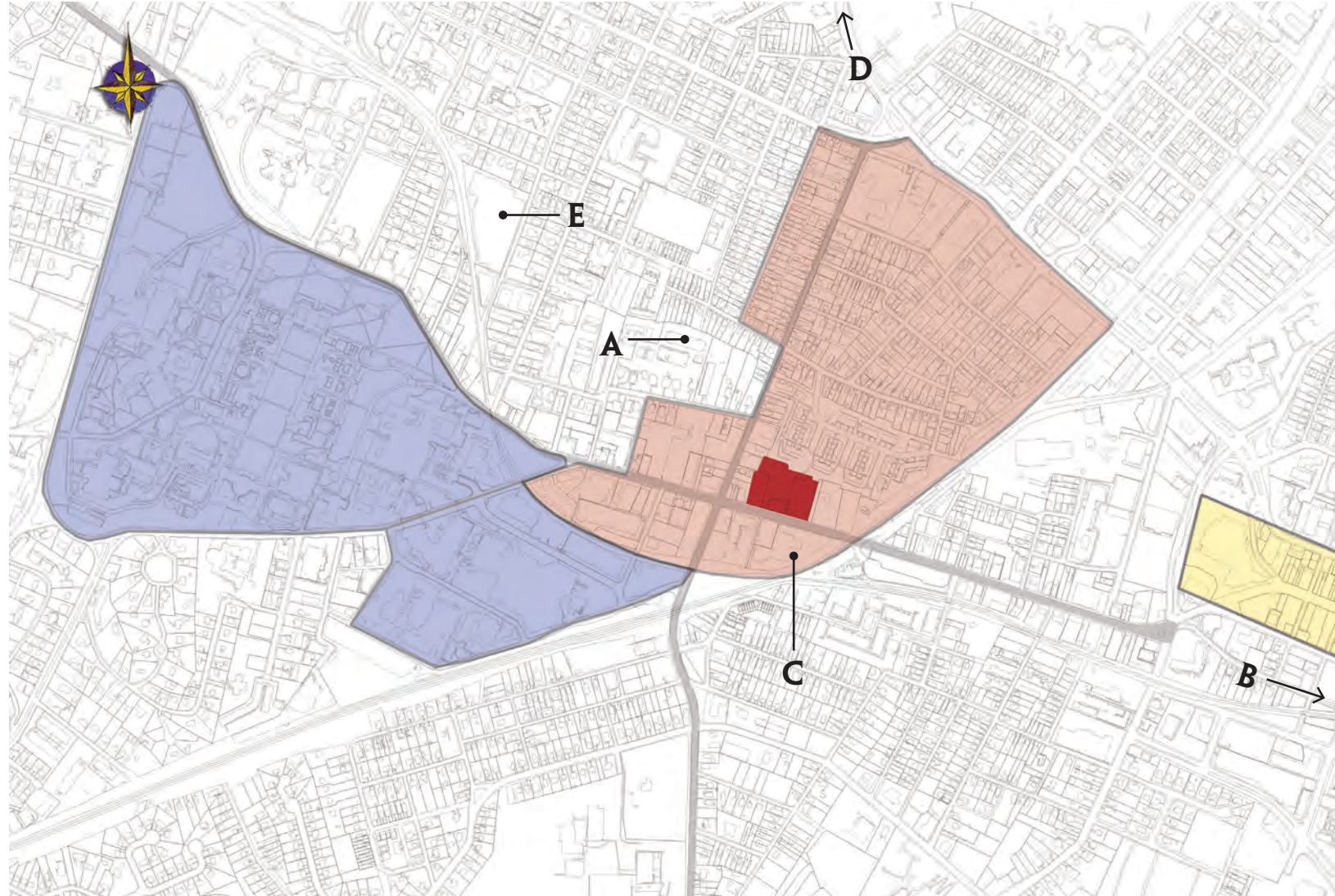
E. GRANDMARC



B. THE GLEASON



A. WERTLAND SQUARE





10TH ST. NW

HAMPTON INN

THE PLAZA
(UNDER CONSTRUCTION)

WEST MAIN ST.



THE STANDARD | CHARLOTTESVILLE

LANDMARK PROPERTIES, INC.
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AUGUST 20, 2013

SK-299
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PERSPECTIVE 1

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CHARLOTTESVILLE 434 979 7550



SK-301
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THE STANDARD | CHARLOTTESVILLE

PERSPECTIVE 2

LANDMARK PROPERTIES, INC.
SPECIAL USE PERMIT SUBMITTAL
AUGUST 20, 2013

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SK-302
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PERSPECTIVE 3



SK-303
MITCHELL/MATTHEWS © 2013

PERSPECTIVE 4



SK-293
MITCHELL/MATTHEWS © 2013

MAIN STREET ELEVATION



SK-296
MITCHELL/MATTHEWS © 2013

NORTH ELEVATION



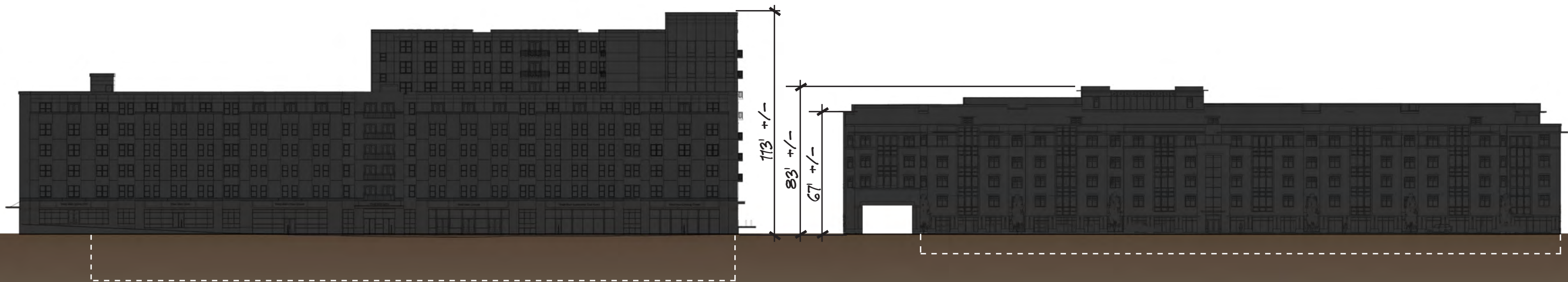
SK-294
MITCHELL/MATTHEWS © 2013

WEST ELEVATION



SK-297
MITCHELL/MATTHEWS © 2013

EAST ELEVATION



THE PLAZA
APPROVED DECEMBER 2012
104.3 D.U.A.

THE STANDARD
89 +/- PROPOSED D.U.A.
(UP TO 200 DUA ALLOWED)

SK-282
MITCHELL/MATTHEWS © 2013

BUILDING HEIGHT CALCULATIONS

West Main (South Elevation)				
176 ft	at	55 ft	46%	9,680 wall area
60 ft.	at	56 ft	16%	3,360 wall area
149 ft.	at	55 ft	39%	8,195 wall area
<hr/>				
385 ft			100%	21,235 wall area
Average height				55.16 ft.

East Elevation				
25 ft	at	55 ft	10%	1,375 wall area
205 ft	at	66 ft	81%	13,530 wall area
24 ft	at	66 ft	9%	1,584 wall area
<hr/>				
254 ft			100%	16,489 wall area
Average height				64.92 ft.

West Elevation				
25 ft	at	55 ft	8%	1,375 wall area
40 ft	at	67 ft	13%	2,680 wall area
110 ft	at	74 ft	37%	8,140 wall area
63 ft	at	80 ft	21%	5,040 wall area
60 ft	at	77 ft	20%	4,620 wall area
<hr/>				
298 ft			100%	21,855 wall area
Average height				73.34 ft.

Rear Elevation				
35 ft	at	66 ft	10%	2,310 wall area
150 ft	at	71 ft	45%	10,650 wall area
150 ft	at	78 ft	45%	11,700 wall area
<hr/>				
335 ft			100%	24,660 wall area
Average height				73.61 ft.

AVERAGE BUILDING HEIGHT (unweighted)*: 66.76 ft.

* Sum of the average height of each side divided by 4

AVERAGE BUILDING HEIGHT (weighted): 66.23 ft.**

** Sum of the total wall area divided by the total length of the building perimeter.

LOW IMPACT DEVELOPMENT WORKSHEET

Project Name: THE STANDARD-CHARLOTTESVILLE

LID Checklist Points	LID Measure	Total Points
5 points or 1 point for each 18% of the total acreage	Compensatory Plantings (see city buffer mitigation manual). 90% of restorable stream buffers restored.	
7 points or 1 point for each 7% of parking and driveway surface area	Pervious pavers for parking and driveways with stone reservoir for storage of 0.5 inches of rainfall per impervious drainage area. Surface area must be >1,000 ft. ² or ≥ 50% of the total parking and driveway surface area.	
5 points or 1 point for each 6% of parking surface area eliminated.	Shared parking (must have legally binding agreement) that eliminates > 30% of on-site parking required.	5
8 points	Impervious Disconnection. Follow design manual specifications to ensure adequate capture of roof runoff. (e.g. cisterns, dry wells, rain gardens).	
8 points or 1 point for each 10% of site treated.	Bioretention. Percent of site treated must exceed 80%. Biofilter surface area must be ≥ 5% of impervious drainage area.	
8 points or 1 point for each 10% of lots treated	Rain gardens. All lots, rain garden surface area for each lot ≥ 200 ft. ² .	
8 points or 1 point for each 10% of site treated	Designed/constructed swales. Percent of site treated must exceed 80%, achieve non-erosive velocities, and able to convey peak discharge from 10-year storm.	
8 points or 1 point for each 10% of site treated	Manufactured sand filters, filter vaults (must provide filtering rather than just hydrodynamic). Percent of site treated must exceed 80%. Sizing and volume for water quality treatment based on manufacturer's criteria.	8
8 points	Green rooftop to treat ≥ 50% of roof area.	
TBD, not to exceed 8 points	Other LID practices as approved by NDS engineer.	
5 points	Off-site contribution to project in city's water quality management plan. This measure to be considered when on site constraints (space, environmentally sensitive areas, hazards) limit application of LID measures. Requires preapproval by NDS director.	
TOTAL POINTS (must equal 10 or more)		13

PARKING SPACES
REQ'D = 192
PARKING GARAGE
FOOTPRINT USED:
70 SPACES

ENTIRE SITE
IS TREATED

Submitted by: CRAIG KOTARSKI
(Name of applicant)

Approved by: _____ (date) _____
(City Engineer)

PRELIMINARY SITE PLAN

THE STANDARD - CHARLOTTESVILLE

PRELIMINARY SITE PLAN CITY OF CHARLOTTESVILLE, VIRGINIA

8/14/2013

SITE DATA:

TAX MAP PARCEL: 31-169 & 31-170
 LIMITS OF DISTURBANCE: 2.52 ACRES
 SOURCE OF BOUNDARY AND TOPOGRAPHY: TIMMONS GROUP
 4701 OWENS WAY, SUITE 900
 PRINCE GEORGE, VA 23875
 MIKE NAULTY, L.S.
 (804)458-1511

VERTICAL DATUM REFERENCE: NAD 83

MISS UTILITY TICKET NUMBER: A316401445

PROPOSED USE: MIXED USE RESIDENTIAL AND COMMERCIAL
 RESIDENTIAL: 192 DWELLING UNITS
 COMMERCIAL: 12,000 SF

RECREATION AREA: 5,900 SF

GROSS RESIDENTIAL DENSITY: 76.19 DUA

OPEN SPACE: 10,900 SF

ZONED: WEST MAIN STREET NORTH (WMN)

ADJACENT AREAS:
 NORTH - RESIDENTIAL
 EAST - PARKING AND COMMERCIAL/RETAIL
 SOUTH - RESIDENTIAL, COMMERCIAL/RETAIL (UNDER CONSTRUCTION)
 WEST - COMMERCIAL/RETAIL

BUILDING HEIGHT: 85+/- FEET

PARKING SPACES REQUIRED: 192 SPACES (1 SPACE PER UNIT)

PARKING SPACES PROVIDED: 499 +/- SPACES (6.5 TIER PARKING DECK)

LOCATION TO FIRE HYDRANTS: THERE ARE NO FIRE HYDRANTS SHOWN ON THE PLAN, HOWEVER THERE ARE 5 THAT WILL SERVE THIS BUILDING. THEY ARE LOCATED AS FOLLOWS:

- 200' TO THE EAST ON WEST MAIN STREET
- AT THE CORNER OF 9TH STREET SW AND WEST MAIN STREET (PART OF THE PLAZA AT MAIN)
- AT THE CORNER OF WERTLAND AND 10TH STREET NW
- 50' TO THE NORTH OF THE INTERSECTION OF 10TH STREET NW AND WEST MAIN STREET
- ALONG HARDY DRIVE, ABOUT 250' NORTH OF NORTHERN PROPERTY LINE

TRAFFIC COUNTS

LAND USE	ITE CODE	AMOUNT	UNITS	WEEKDAY						
				AM PEAK HOUR			PM PEAK HOUR			
				ADT	IN	OUT	TOTAL	IN	OUT	TOT
Apartment (Multi-Family)	220	192 (A)	1,267	20	78	98	80	43	123	
Specialty Retail Center	626	4,900 (SF/GA)	205	3	2	5	6	7	13	
TOTAL				1,492	22	80	162	86	50	1
Pass-by Trips - Shopping Center - 34%				70	1	1	2	2	2	
Total Primary Trips				1,422	21	79	101	84	46	1
Internal Capture - 8%				114	2	6	6	7	4	
Total External Trips				1,309	20	73	97	77	44	1
Pedestrian/Bicyclist/Transit Adjustment - 15%				196	3	11	14	12	7	
TOTAL				1,112	17	62	79	66	37	1

WATER QUALITY ANALYSIS

TOTAL AREA DISTURBED: 2.52 ACRES
 PRE-DEVELOPED IMPERVIOUS AREA: 2.23 ACRES
 POST-DEVELOPED IMPERVIOUS AREA: 2.13 ACRES

$I_{pre} = 2.23 / 2.52 = 88.49\%$
 $L_{pre} = 4.86 \text{ POUNDS}$

$I_{post} = 2.13 / 2.52 = 84.66\%$
 $L_{post} = 4.66 \text{ POUNDS}$

$RR = 4.66 \text{ POUNDS} - (0.90 \times 4.86 \text{ POUNDS}) = 0.29 \text{ POUNDS}$

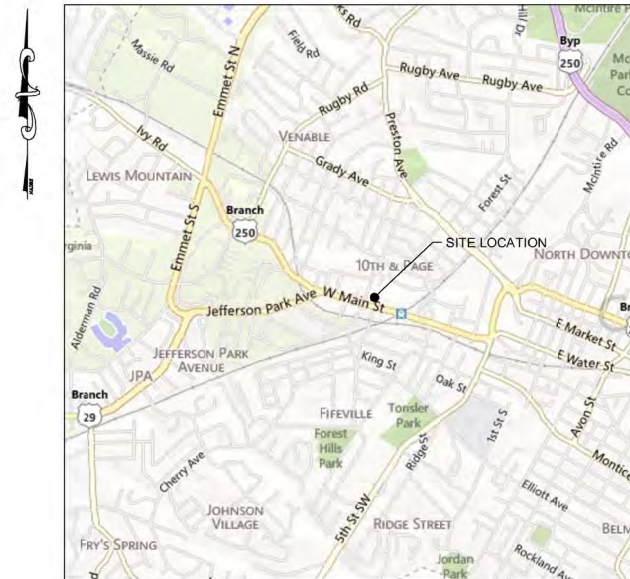
AREA TO TREATMENT = 2.52 ACRES
 IMPERVIOUS AREA TO TREATMENT = 2.13 ACRES

$I_{treat} = 2.13 / 2.52 = 84.66\%$
 $L_{treat} = 4.66 \text{ POUNDS}$

REMOVAL RATE = 50% ADS BAY/FILTER CARTRIDGE SYSTEM
 REMOVAL = $4.66 \times 50\% = 2.33 \text{ POUNDS REMOVED}$

WATER QUANTITY ANALYSIS

NO REDUCTION IN FLOW RATE IS REQUIRED SINCE THE OVERALL FLOW IS BEING REDUCED DUE TO THE OVERALL REDUCTION IN IMPERVIOUS AREA.



VICINITY MAP
 SCALE: 1" = 2,000'

Sheet Index	
Sheet Number	Sheet Title
C0.0	COVER
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	PRELIMINARY SITE PLAN
C3.0	PRELIMINARY SWM PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES AND DETAILS
L2.1	LANDSCAPE NOTES AND DETAILS
	LIGHTING PLAN
TOTAL = 8 SHEETS	

DEVELOPER:
 LANDMARK PROPERTIES
 455 EPPS BRIDGE PARKWAY
 BUILDING 100, SUITE 201
 ATHENS, GA 30606
 CONTACT: JASON DOORNBOS
 TELEPHONE: (706) 543-1910

ENGINEER OF RECORD:
 TIMMONS GROUP
 919 2ND STREET, S.E.
 CHARLOTTESVILLE, VA 22902
 CONTACT: SAMUEL E SAUNDERS III, P.E.
 TELEPHONE: (434) 327-1683



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 919 2nd St. S.E. | Charlottesville, VA 22902
 TEL 434.295.5624 FAX 434.29.8317 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	8/14/2013

TIMMONS GROUP
 THE STANDARD - CHARLOTTESVILLE
 CITY OF CHARLOTTESVILLE, VIRGINIA
 COVER

JOB NO.	34302
SHEET NO.	C0.0



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REVISION DESCRIPTION

DATE	DESCRIPTION
8/14/2013	

DATE
8/14/2013

DRAWN BY
J. SHOWALTER

DESIGNED BY
C. KOTARSKI

CHECKED BY
S. SAUNDERS

SCALE
1"=20'

DATE

DRAWN BY

DESIGNED BY

CHECKED BY

SCALE

DATE

DRAWN BY

DESIGNED BY

CHECKED BY

SCALE

DATE

DRAWN BY

DESIGNED BY

CHECKED BY

SCALE

DATE

DRAWN BY

DESIGNED BY

CHECKED BY

SCALE

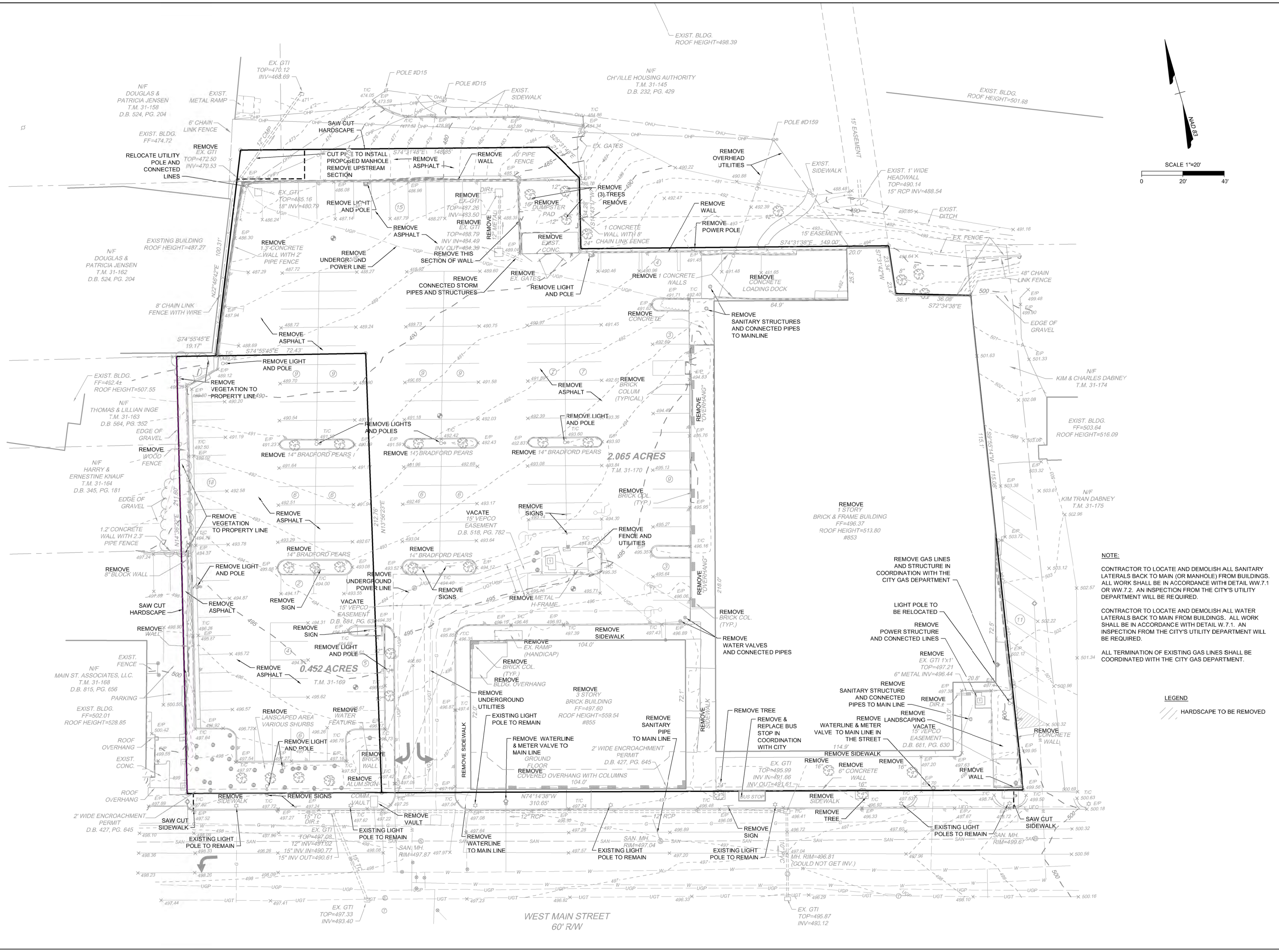
DATE

DRAWN BY

DESIGNED BY

CHECKED BY

SCALE



NOTE:
 CONTRACTOR TO LOCATE AND DEMOLISH ALL SANITARY LATERALS BACK TO MAIN (OR MANHOLE) FROM BUILDINGS. ALL WORK SHALL BE IN ACCORDANCE WITH DETAIL WW.7.1 OR WW.7.2. AN INSPECTION FROM THE CITY'S UTILITY DEPARTMENT WILL BE REQUIRED.
 CONTRACTOR TO LOCATE AND DEMOLISH ALL WATER LATERALS BACK TO MAIN FROM BUILDINGS. ALL WORK SHALL BE IN ACCORDANCE WITH DETAIL W.7.1. AN INSPECTION FROM THE CITY'S UTILITY DEPARTMENT WILL BE REQUIRED.
 ALL TERMINATION OF EXISTING GAS LINES SHALL BE COORDINATED WITH THE CITY GAS DEPARTMENT.

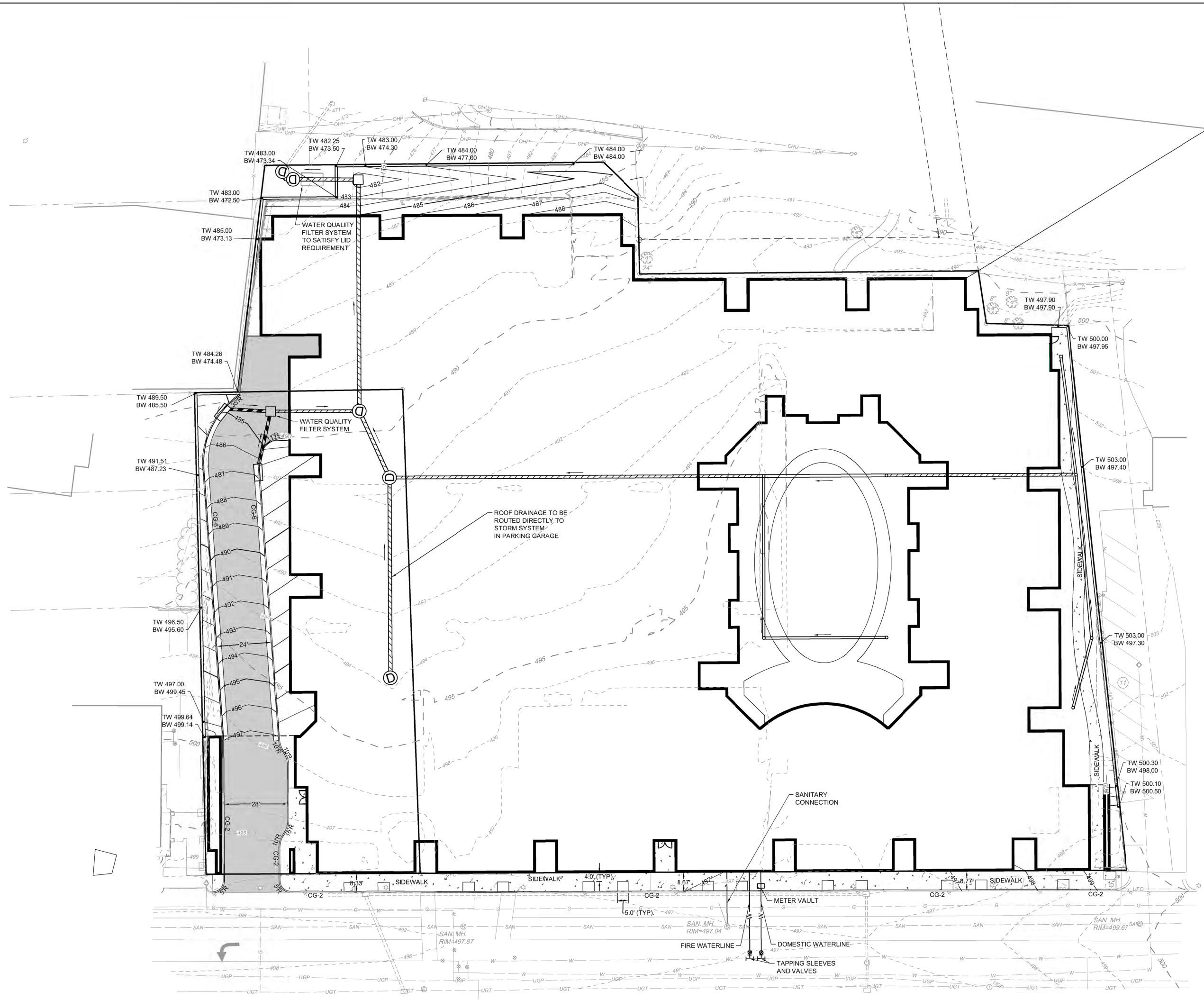
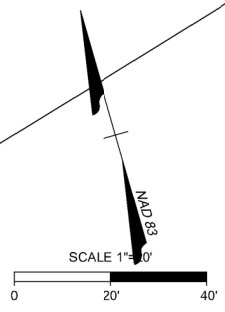
LEGEND
 HARDSCAPE TO BE REMOVED

TIMMONS GROUP

THE STANDARD - CHARLOTTEVILLE
 CITY OF CHARLOTTEVILLE, VIRGINIA
 EXISTING CONDITIONS AND DEMOLITION PLAN

JOB NO.
34302

SHEET NO.
C1.0



WEST MAIN STREET
60' R/W

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REVISION DESCRIPTION	DATE
	8/14/2013
	J. SHOWALTER
	C. KOTARSKI
	S. SAUNDERS
	SCALE 1"=20'

TIMMONS GROUP

THE STANDARD - CHARLOTTEVILLE
CITY OF CHARLOTTEVILLE, VIRGINIA
PRELIMINARY SITE PLAN

JOB NO.	34302
SHEET NO.	C2.0



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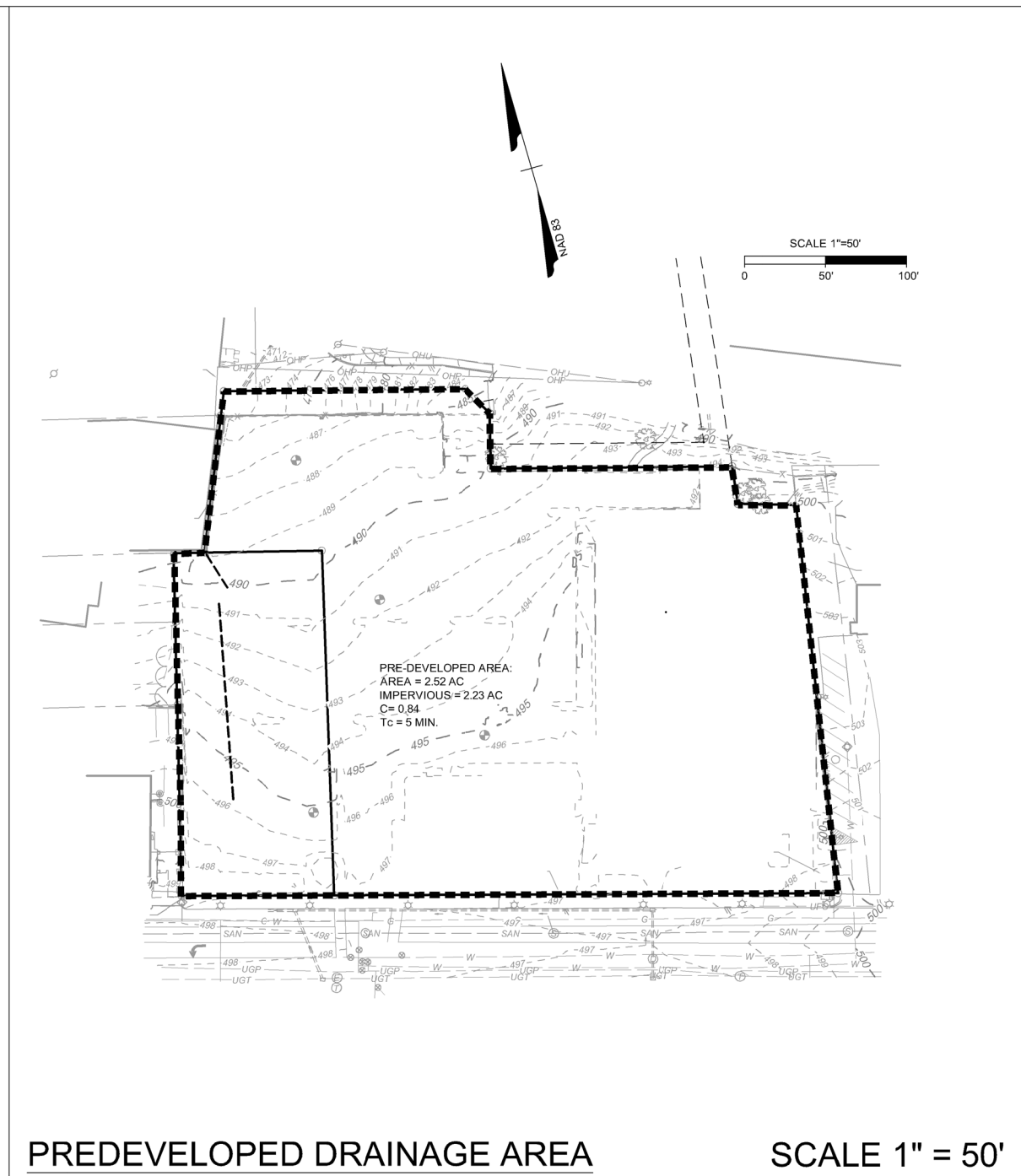
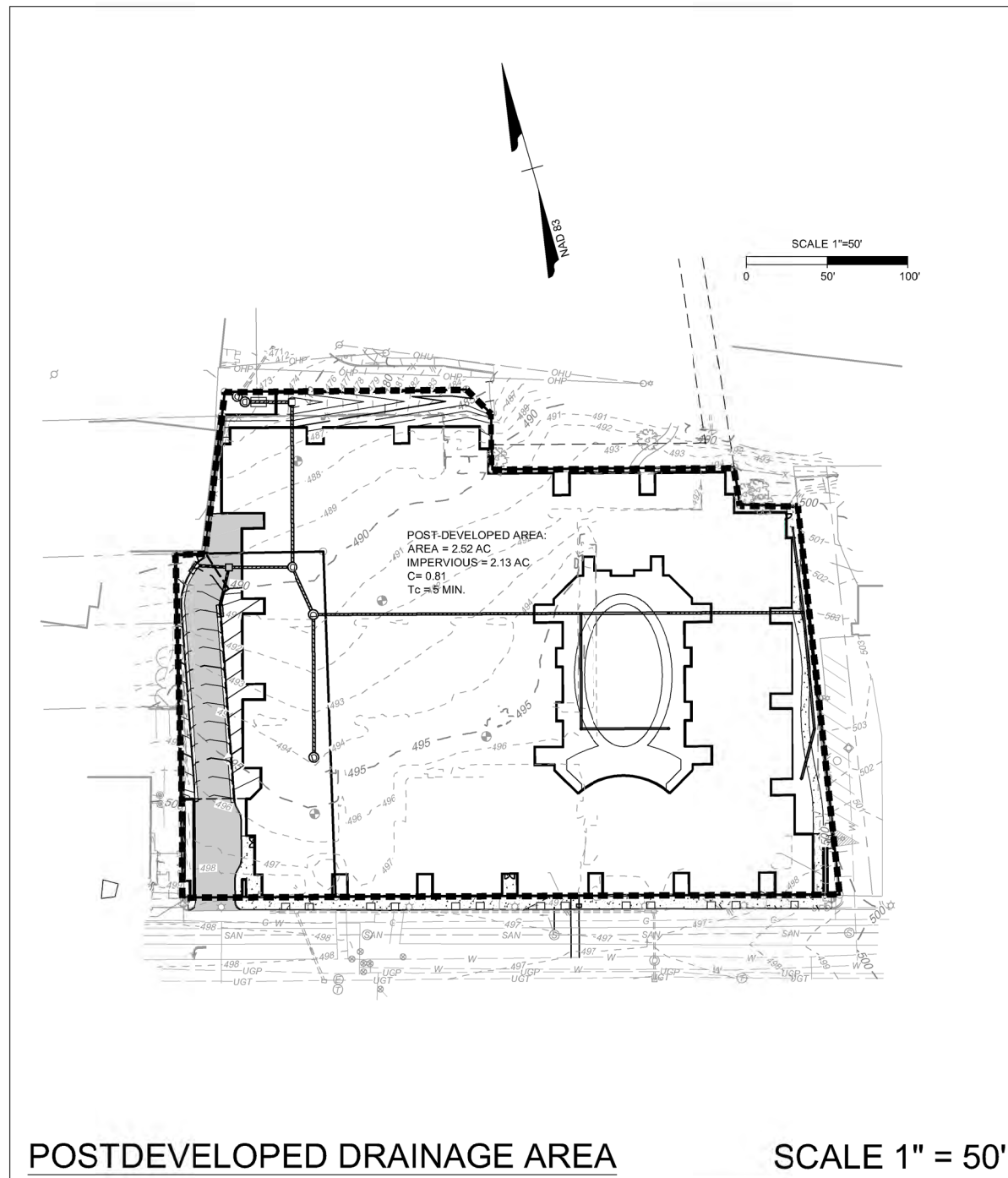
DATE	REVISION DESCRIPTION

DATE
 8/14/2013
 DRAWN BY
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 DESIGNED BY
 C. KOTARSKI
 CHECKED BY
 S. SAUNDERS
 SCALE
 1" = 50'



THE STANDARD - CHARLOTTEVILLE
 CITY OF CHARLOTTEVILLE, VIRGINIA
 PRELIMINARY SWM PLAN

JOB NO.
 34302
 SHEET NO.
 C3.0



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REVISION DESCRIPTION

DATE

8/14/2013

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DESIGNED BY

C. KOTARSKI

CHECKED BY

S. SAUNDERS

SCALE

1" = 20'

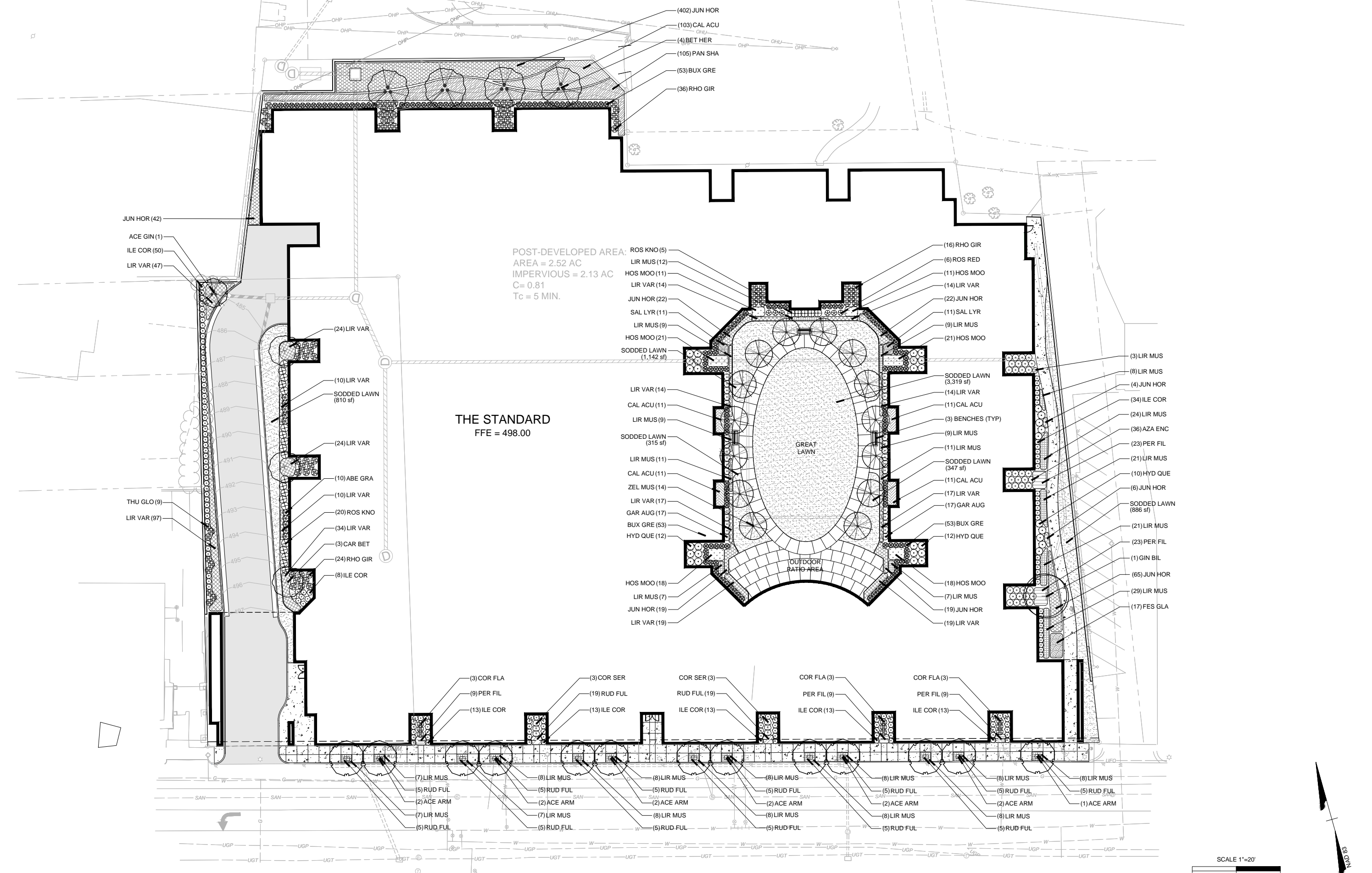
TIMMONS GROUP
THE STANDARD - CHARLOTTEVILLE
CITY OF CHARLOTTEVILLE, VIRGINIA
LANDSCAPE PLAN

JOB NO.

34302

SHEET NO.

L1.0



POST-DEVELOPED AREA:
AREA = 2.52 AC
IMPERVIOUS = 2.13 AC
C = 0.81
Tc = 5 MIN.

THE STANDARD
FFE = 498.00

WEST MAIN STREET
60' R/W

SCALE 1"=20'
0 20' 40'

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REVISION DESCRIPTION

DATE

8/14/2013

DRAWN BY
J. SHOWALTER

DESIGNED BY
C. KOTARSKI

CHECKED BY
S. SAUNDERS

SCALE
N/A

TIMMONS GROUP
THE STANDARD - CHARLOTTEVILLE
CITY OF CHARLOTTEVILLE, VIRGINIA
LANDSCAPE NOTES & DETAILS

JOB NO.
34302

SHEET NO.
L2.0

YOUR VISION ACHIEVED THROUGH OURS.

2013-08-13 16:26

PLANT SCHEDULE

COLUMNAR TREES	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	REMARKS
ACE ARM	13	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	3" CAL	B&B	COLUMNAR
CAR BET	3	CARPINUS BETULUS 'FASTIGIATA'	COLUMNAR EUROPEAN HORNBEAN	3" CAL	B&B	COLUMNAR
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	REMARKS
ACE GIN	1	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	10'-12' HT.	B&B	3-5 STEM ONLY
BET HER	4	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	3" CAL	B&B	
GIN BIL	1	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	3" CAL	B&B	
ZEL MUS	14	ZELKOVA SERRATA 'MUSASHINO'	SAWLEAF ZELKOVA	3" CALIPER	B&B	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	SPACING
ABE GRA	10	ABELIA X GRANDIFLORA 'ROSE CREEK'	ROSE CREEK ABELIA	18" SPRD.	CONTAINER	3' O.C.
AZA ENC	36	AZALEA ENCORE 'AUTUMN CORAL' TM	AUTUMN CORAL AZALEA	18" HT	CONTAINER	3' O.C.
BUX GRE	159	BUXUS X 'GREEN VELVET'	BOXWOOD	18" SPRD.	CONTAINER	2.5' OC
COR SER	6	CORNUS SERICEA 'ARCTIC FIREI'	RED TWIG DOGWOOD	24" HT	CONTAINER	3' OC
COR FLA	9	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	18" HT	CONTAINER	3' O.C.
GAR AUG	34	GARDENIA AUGUSTA 'CHUCK HAYES'	COMMON GARDENIA	24" HT/SPRD	CONTAINER	3' O.C.
HYD QUE	34	HYDRANGEA QUERCIFOLIA 'SNOWFLAKE' TM	SNOWFLAKE OAKLEAF HYDRANGEA	18" HT	CONTAINER	3.5' O.C.
ILE COR	157	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY	18" SPRD.	CONTAINER	2.5' O.C.
RHO GIR	76	RHODODENDRON X 'GIRARD'S ROSE'	RHODODENDRON	18" SPRD.	CONTAINER	3' O.C.
ROS KNO	25	ROSA X 'KNOCKOUT'	KNOCKOUT ROSE	5 GAL	CONTAINER	3.5' O.C.
ROS RED	6	ROSA X 'RED DRIFT'	ROSE	18" SPRD.	CONTAINER	2.5' O.C.
THU GLO	9	THUJA ORIENTALIS 'GLOBOSA'	DWARF ARBORVITE	24" HT	CONTAINER	3' O.C.
GROUNDCOVERS & PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	SPACING
HOS MOO	100	HOSTA X 'FRANCEE'	PLANTAIN LILY	3 QT.	CONTAINER	18" O.C.
JUN HOR	601	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JUNIPER	1 GAL	CONTAINER	18" O.C.
LIR MUS	291	LIRIOPE MUSCARI	LILYTURF	1 GAL	CONTAINER	18" O.C.
LIR VAR	374	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILY TURF	1 GAL	CONTAINER	18" O.C.
PER FIL	73	PEROVSKIA ATRIPPLICIFOLIA 'FILIGRAN'	RUSSIAN SAGE	3 QT.	CONTAINER	18" O.C.
SAL LYR	22	SALVIA LYRATA 'BURGUNDY BLISS'	LYRELEAF SAGE	3 QT.	CONTAINER	18" O.C.
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	SPACING
CAL ACU	147	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM'	OVERDAM FEATHER REED GRASS	2 GAL	CONTAINER	24" O.C.
FES GLA	17	FESTUCA GLAUCA	BLUE FESCUE	2 GAL	CONTAINER	24" O.C.
PAN SHA	105	PANICUM VIRGATUM 'SHENENDOAH'	BURGUNDY SWITCH GRASS	2 GAL	CONTAINER	36" OC

NOTE: PLANT SCHEDULE QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.

SOD SCHEDULE

2013-08-13 15:46



SODDED LAWN 6,819 SF
3/4" THICK SOD

GENERAL NOTES

PRE-CONSTRUCTION

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING 'MISS UTILITY' AT 1.800.552.7001 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
- PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 'AMERICAN STANDARD FOR NURSERY STOCK'. IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE ARCHITECTS, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS

CONSTRUCTION/INSTALLATION

- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 'AMERICAN STANDARD FOR NURSERY STOCK'
- LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

INSPECTIONS/GUARANTEE

- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
- ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.

THIS DRAWING PREPARED AT THE
CHARLOTTEVILLE OFFICE
919 2nd St. S.E. | Charlottesville, VA 22902
TEL 434.295.5624 FAX 434.299.8317 www.timmons.com

REVISION DESCRIPTION

DATE

DATE

8/14/2013

DRAWN BY

J. SHOWALTER

DESIGNED BY

C. KOTARSKI

CHECKED BY

S. SAUNDERS

SCALE

N/A

TIMMONS GROUP

THE STANDARD - CHARLOTTEVILLE
CITY OF CHARLOTTEVILLE, VIRGINIA
LANDSCAPE NOTES & DETAILS

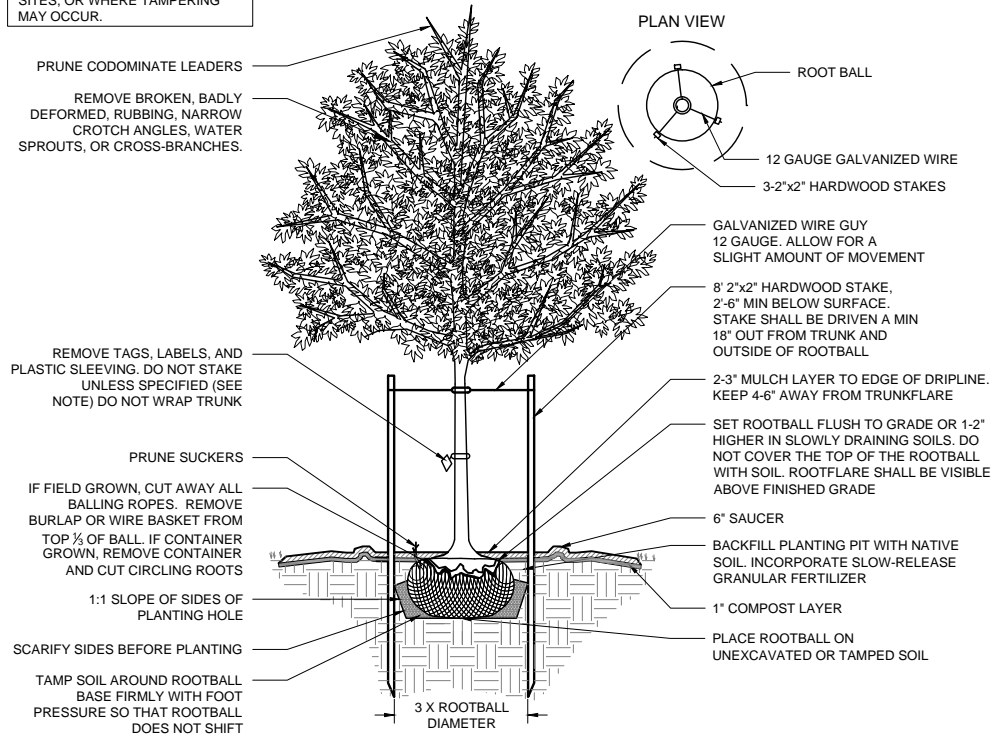
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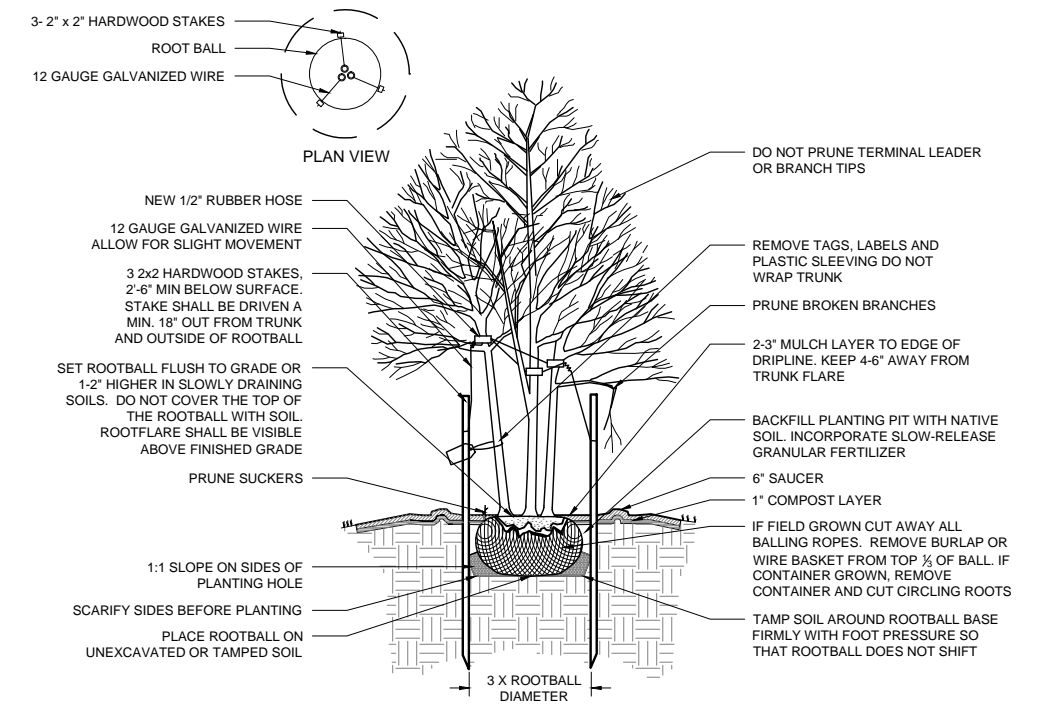
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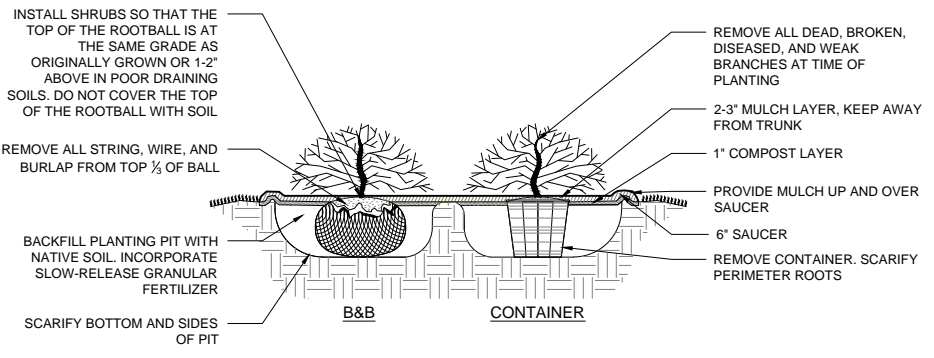
NOTE: ONLY STAKE TREES WITH LARGE CROWNS, 2" CALIPER OR GREATER, IF LOCATED ON WINDY SITES, OR WHERE TAMPERING MAY OCCUR.



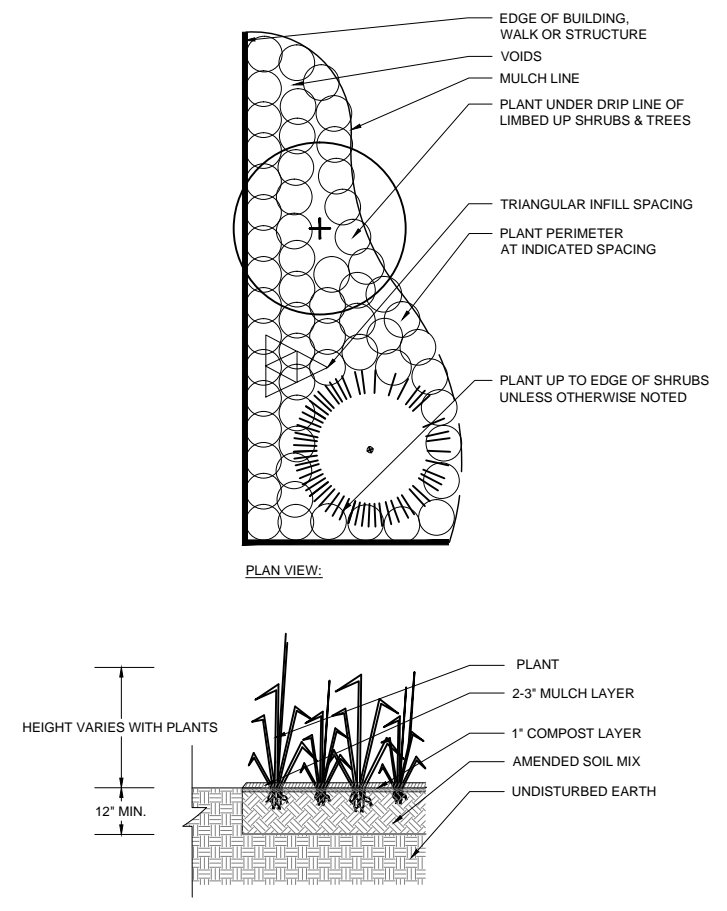
1 DECIDUOUS TREE PLANTING
NOT TO SCALE



2 MULTI-STEM TREE PLANTING
NOT TO SCALE



3 SHRUB PLANTING
NOT TO SCALE



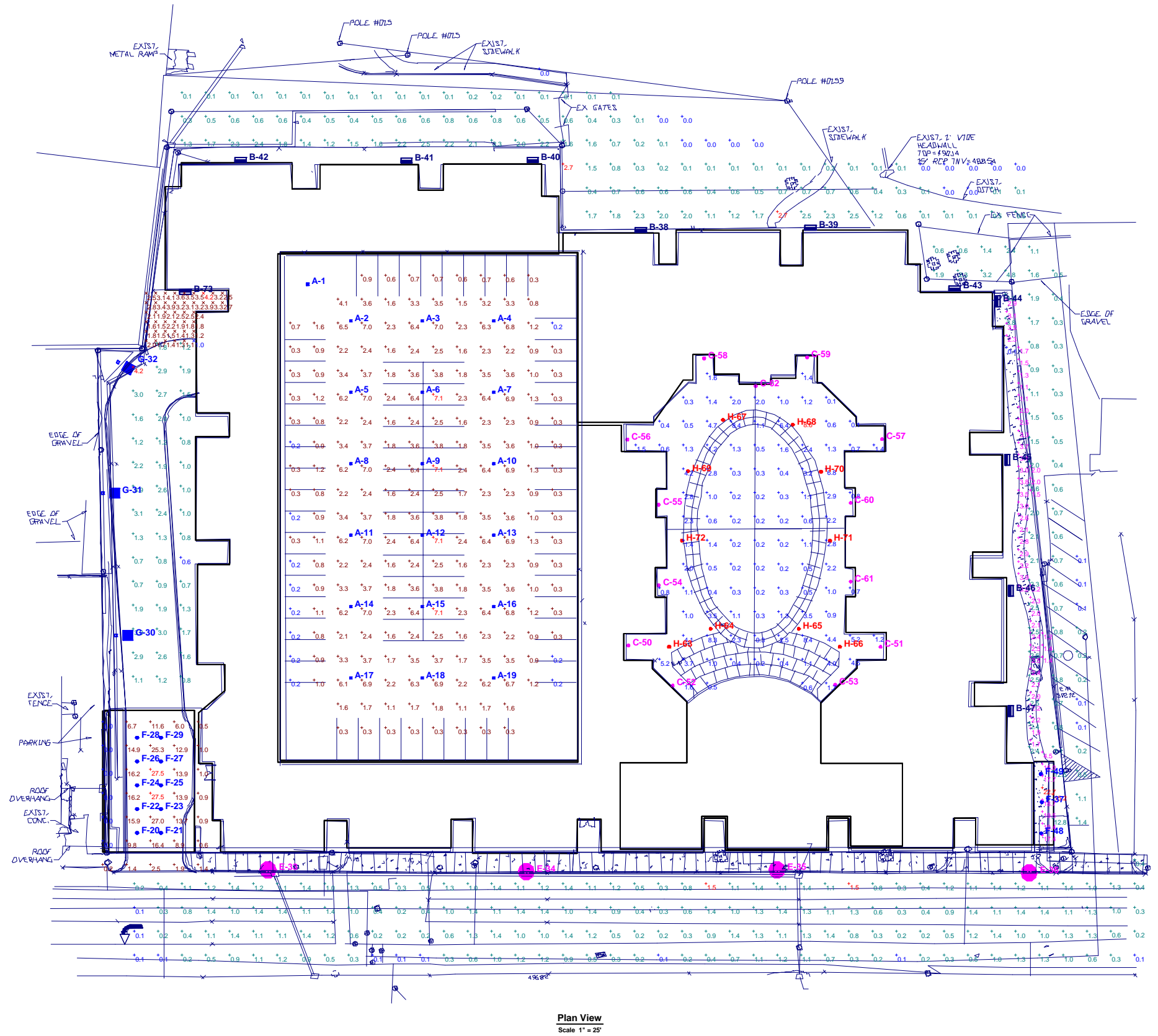
4 GROUNDCOVER & PERENNIAL PLANTING
NOT TO SCALE

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	19	SMC Power Box 50	OUTDOOR LED CEILING MOUNTED	LED	VRC_LED_1_5 Absolute OK_MVOLT.ies	1.00		40.5
	B	11	EELP WP16.5 100H	ARCHITECTURAL SCONCE WITH WIDE THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS. CLEAR LAMP MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 100-WATT CLEAR ED-17 METAL HALIDE HORIZONTAL POSITION.	WST_100M_W T.ies	8500	0.75	140
	C	13	New Star NSO-D-42TRT-RC-120-?- (WALL MOUNT)	GATEWAY DEEP CAST OVAL CF FIXTURE WITH VERTICAL EYELID & POLYCARBONATE LENS	ONE 42-WATT TRIPLE TUBE COMPACT FLUORESCENT VERTICAL BASE-UP POSITION.	VGO3C_42TRT_(WALL_MOUN NT).ies	3200	0.75	48
	D	0	Lithonia KAD 175M SR3 (PULSE START)	Area Luminaire, 175W MH, High Performance SR3 Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 175-WATT CLEAR BT-28 METAL HALIDE HORIZONTAL POSITION.	KAD_175M_S R3_(PULSE_S TART).ies	14400	0.72	208
	F	13	MAXILUME HH8PL-2X42-E-MVOLT-8501-CL-WH	RECESSED DOWN LIGHT 8-1/16" OPEN APERTURE, OPEN BOTTOM TWO 42W HORIZONTAL LAMP, SEMI-SPECULAR REFLECTOR	2X 42 TRT	HH8PL-2X42-E-MVOLT-8501-CL-WH.ies	3200	0.75	93
	G	3	Lithonia KAD 175M SR4SC (PULSE START)	Area Luminaire, 175W MH, High Performance SR4SC Sharp Cutoff Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 175-WATT CLEAR BT-28 METAL HALIDE HORIZONTAL POSITION.	KAD_175M_S R4SC_(PULSE _START).ies	14400	0.75	208
	E	4	ELA DKS5934-HORS DKS5934-NO GLASS IN UNIT City of Charlottesville standard	1: 175W MH, CLEAR ED28, VBD		DKS5.IES	13600	1.00	208
	H	10	Lithonia KBR6 70M R5	6 IN ROUND BOLLARD	ONE 70-WATT CLEAR E-17 METAL HALIDE VERTICAL BASE-DOWN POSITION.	KBR6_70M_R5 .ies	5000	0.72	95

LUMINAIRE LOCATIONS						
No.	Label	X	Y	MH	Orientation	Tilt
1	A	281.0	392.0	10.0	0.0	0.0
2	A	299.2	376.6	10.0	0.0	0.0
3	A	329.2	376.6	10.0	0.0	0.0
4	A	359.2	376.6	10.0	0.0	0.0
5	A	299.2	346.6	10.0	0.0	0.0
6	A	329.2	346.6	10.0	0.0	0.0
7	A	359.2	346.6	10.0	0.0	0.0
8	A	299.2	316.6	10.0	0.0	0.0
9	A	329.2	316.6	10.0	0.0	0.0
10	A	359.2	316.6	10.0	0.0	0.0
11	A	299.2	286.6	10.0	0.0	0.0
12	A	329.2	286.6	10.0	0.0	0.0
13	A	359.2	286.6	10.0	0.0	0.0
14	A	299.2	256.6	10.0	0.0	0.0
15	A	329.2	256.6	10.0	0.0	0.0
16	A	359.2	256.6	10.0	0.0	0.0
17	A	299.2	226.6	10.0	0.0	0.0
18	A	329.2	226.6	10.0	0.0	0.0
19	A	359.2	226.6	10.0	0.0	0.0
20	F	209.4	161.6	15.0	0.0	0.0
21	F	219.4	161.6	15.0	0.0	0.0
22	F	209.4	171.6	15.0	0.0	0.0
23	F	219.4	171.6	15.0	0.0	0.0
24	F	209.4	181.6	15.0	0.0	0.0
25	F	219.4	181.6	15.0	0.0	0.0
26	F	209.4	191.6	15.0	0.0	0.0
27	F	219.4	191.6	15.0	0.0	0.0
28	F	209.4	201.6	15.0	0.0	0.0
29	F	219.4	201.6	15.0	0.0	0.0
30	G	200.4	244.5	15.0	90.0	0.0
31	G	195.0	304.2	15.0	90.0	0.0
32	G	201.4	359.3	15.0	120.5	0.0
33	E	264.4	146.0	13.5	0.0	0.0
34	E	372.8	145.3	13.5	0.0	0.0
35	E	478.1	146.0	13.5	0.0	0.0
36	E	584.0	144.7	13.5	0.0	0.0
37	F	589.2	174.5	13.5	87.3	0.0
38	B	420.9	414.8	15.0	0.0	0.0
39	B	492.1	415.8	15.0	0.0	0.0
40	B	375.5	444.2	15.0	0.0	0.0
41	B	322.5	444.0	15.0	0.0	0.0
42	B	252.9	444.3	15.0	0.0	0.0
43	B	552.6	390.3	15.0	0.0	0.0
44	B	570.7	384.8	15.0	89.3	0.0
45	B	574.7	318.2	15.0	90.0	0.0
46	B	576.1	263.2	15.0	90.0	0.0
47	B	576.1	212.8	15.0	90.0	0.0
48	F	589.1	161.3	13.5	87.3	0.0
49	F	588.9	186.2	13.5	87.3	0.0
50	C	415.8	240.3	8.0	88.9	0.0
51	C	521.6	239.7	8.0	267.2	0.0
52	C	434.3	223.4	8.0	43.3	0.0
53	C	502.4	223.8	8.0	-48.1	0.0
54	C	428.4	265.5	8.0	90.0	0.0
55	C	428.4	299.4	8.0	90.0	0.0
56	C	415.4	326.8	8.0	90.0	0.0
57	C	522.1	326.9	8.0	-90.0	0.0
58	C	447.5	360.8	8.0	180.0	0.0
59	C	490.8	361.2	8.0	180.0	0.0
60	C	508.9	300.2	8.0	-90.0	0.0
61	C	508.9	267.1	8.0	-90.0	0.0
62	C	469.1	349.1	8.0	180.0	0.0
63	H	432.8	239.7	4.0	0.0	0.0
64	H	450.2	247.2	4.0	0.0	0.0
65	H	487.2	247.2	4.0	0.0	0.0
66	H	504.4	239.7	4.0	0.0	0.0
67	H	455.4	335.0	4.0	0.0	0.0
68	H	484.7	333.0	4.0	0.0	0.0
69	H	440.7	313.4	4.0	0.0	0.0
70	H	496.5	313.3	4.0	0.0	0.0
71	H	500.3	284.2	4.0	0.0	0.0
72	H	438.2	284.4	4.0	0.0	0.0
73	B	229.7	388.6	15.0	180.0	0.0

SURFACE SCHEDULE		
Name	Reflectances Front	Back
Auto Entrance	5%	5%
Covered Walkway	5%	5%
deck	5%	5%
The Standard	5%	5%

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Courtyard	+	1.8 fc	8.6 fc	0.1 fc	86.0:1	18.0:1
Dumpster area and Exit	X	2.4 fc	4.2 fc	1.0 fc	4.2:1	2.4:1
East Elevation	+	1.8 fc	15.2 fc	0.1 fc	152.0:1	18.0:1
East Sidewalk	+	4.5 fc	22.7 fc	0.1 fc	227.0:1	45.0:1
Entrance Driveway	+	1.8 fc	4.2 fc	0.6 fc	7.0:1	3.0:1
Garage Driveway Entrance	+	8.5 fc	27.5 fc	0.0 fc	N / A	N / A
Main Street	+	0.8 fc	1.5 fc	0.1 fc	15.0:1	8.0:1
North Elevation	+	0.7 fc	2.7 fc	0.0 fc	N / A	N / A
parking deck lower deck	+	2.5 fc	7.1 fc	0.2 fc	35.5:1	12.5:1



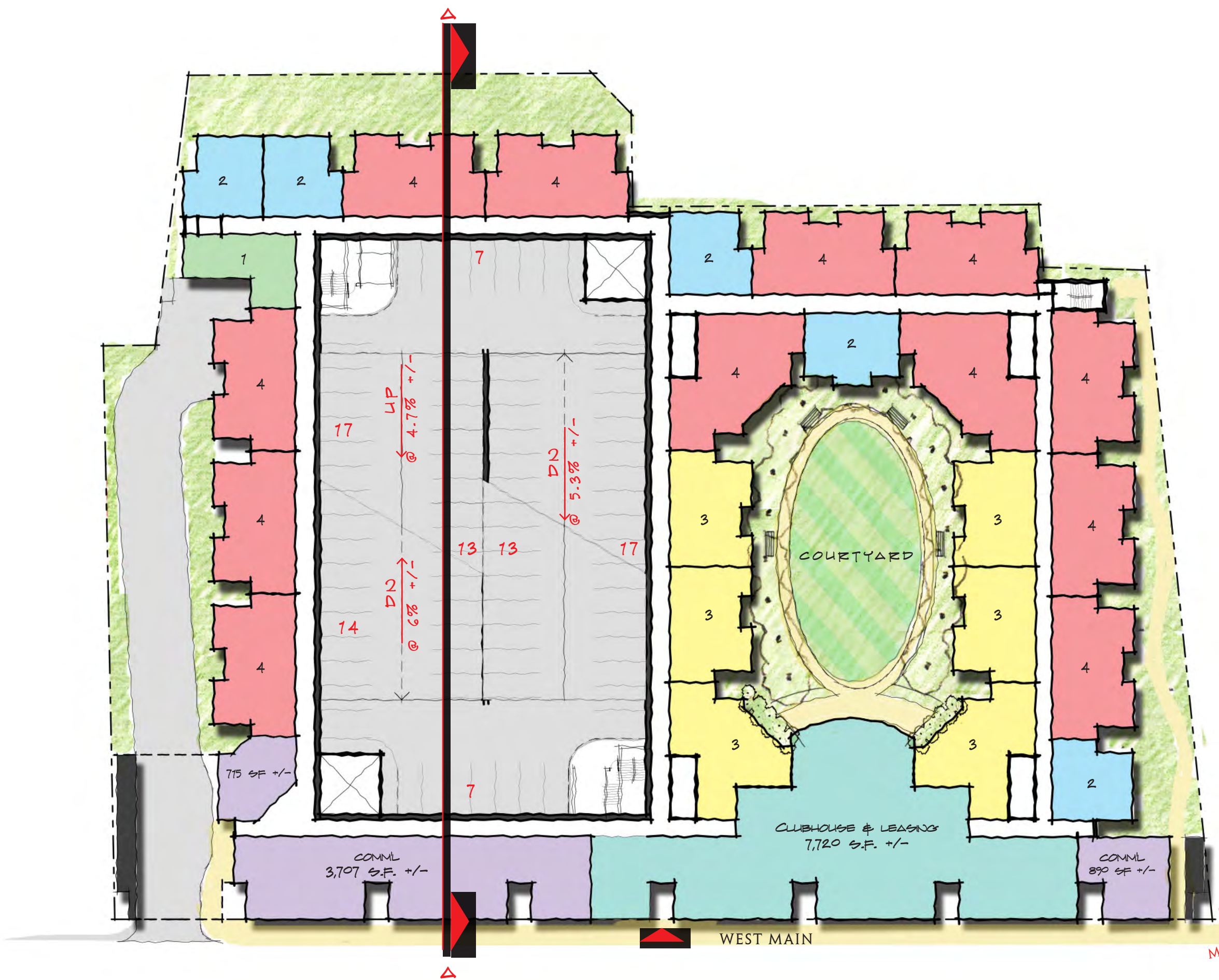
Plan View
Scale 1" = 25'

SUPPLEMENTAL INFORMATION



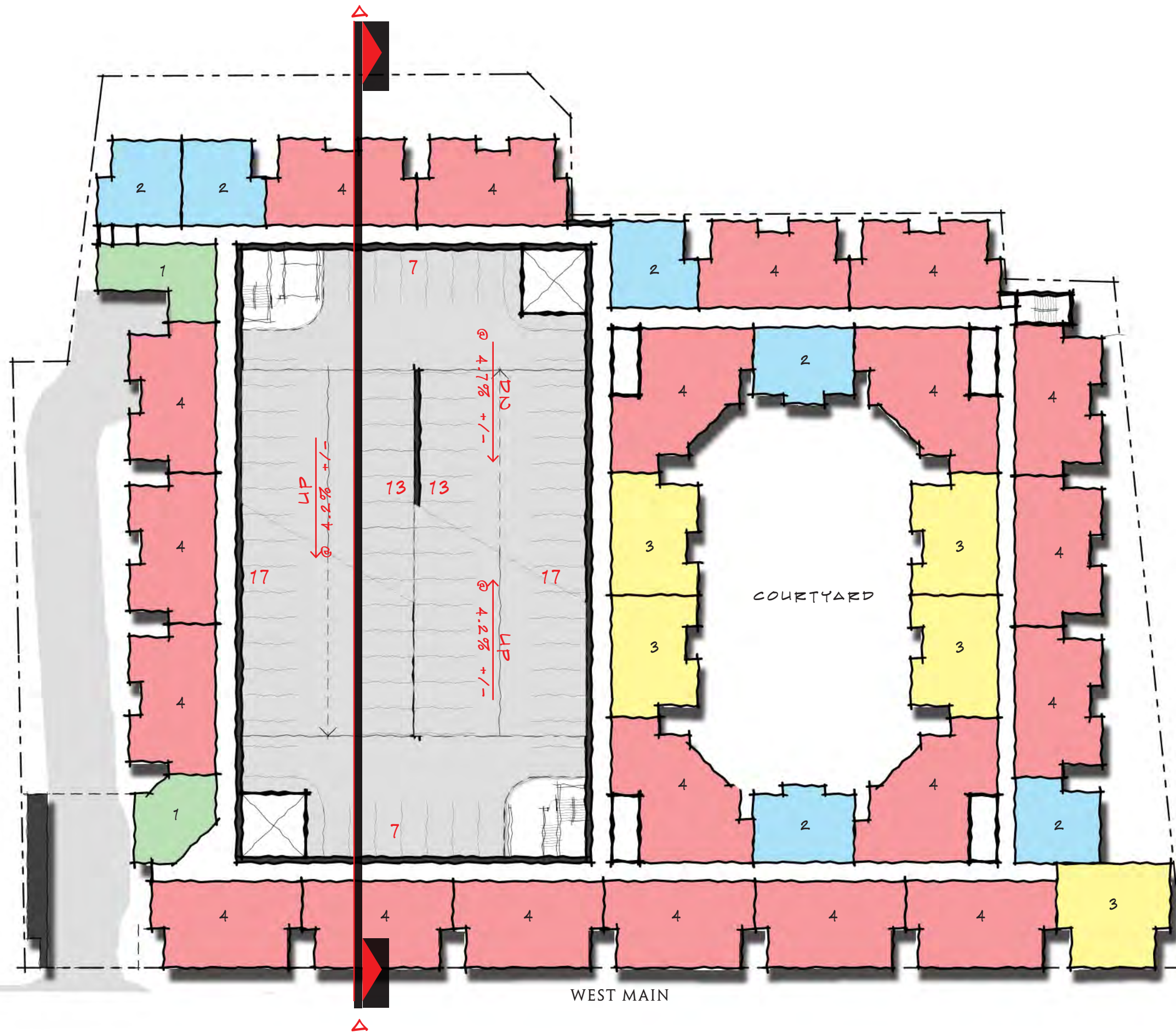
SK-286
MITCHELL/MATTHEWS © 2013

P1 LEVEL
A1



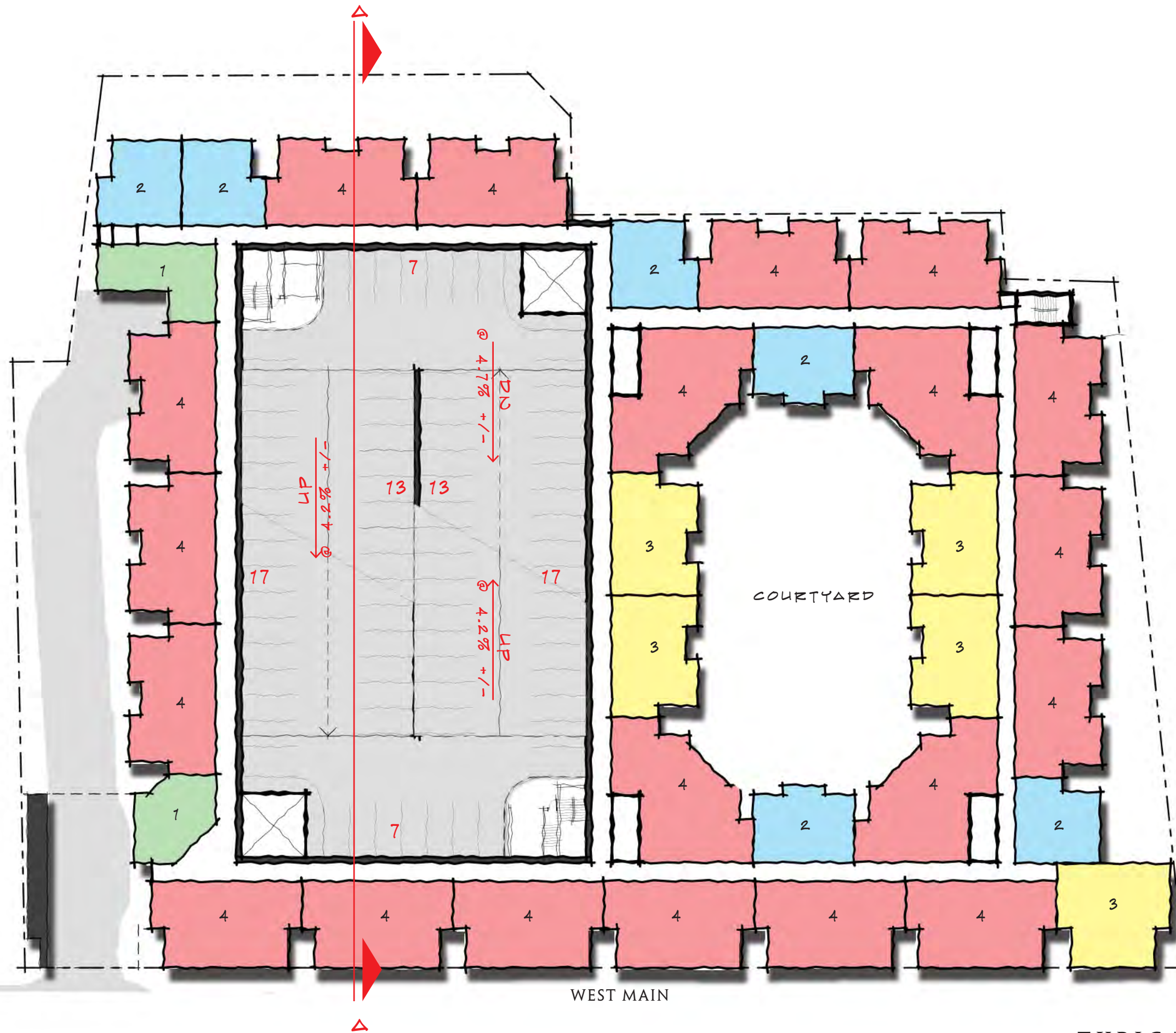
SK-287
MITCHELL/MATTHEWS © 2013

STREET LEVEL
A2



SK-288
MITCHELL/MATTHEWS © 2013

SECOND LEVEL
A3



WEST MAIN

SK-289
MITCHELL/MATTHEWS © 2013

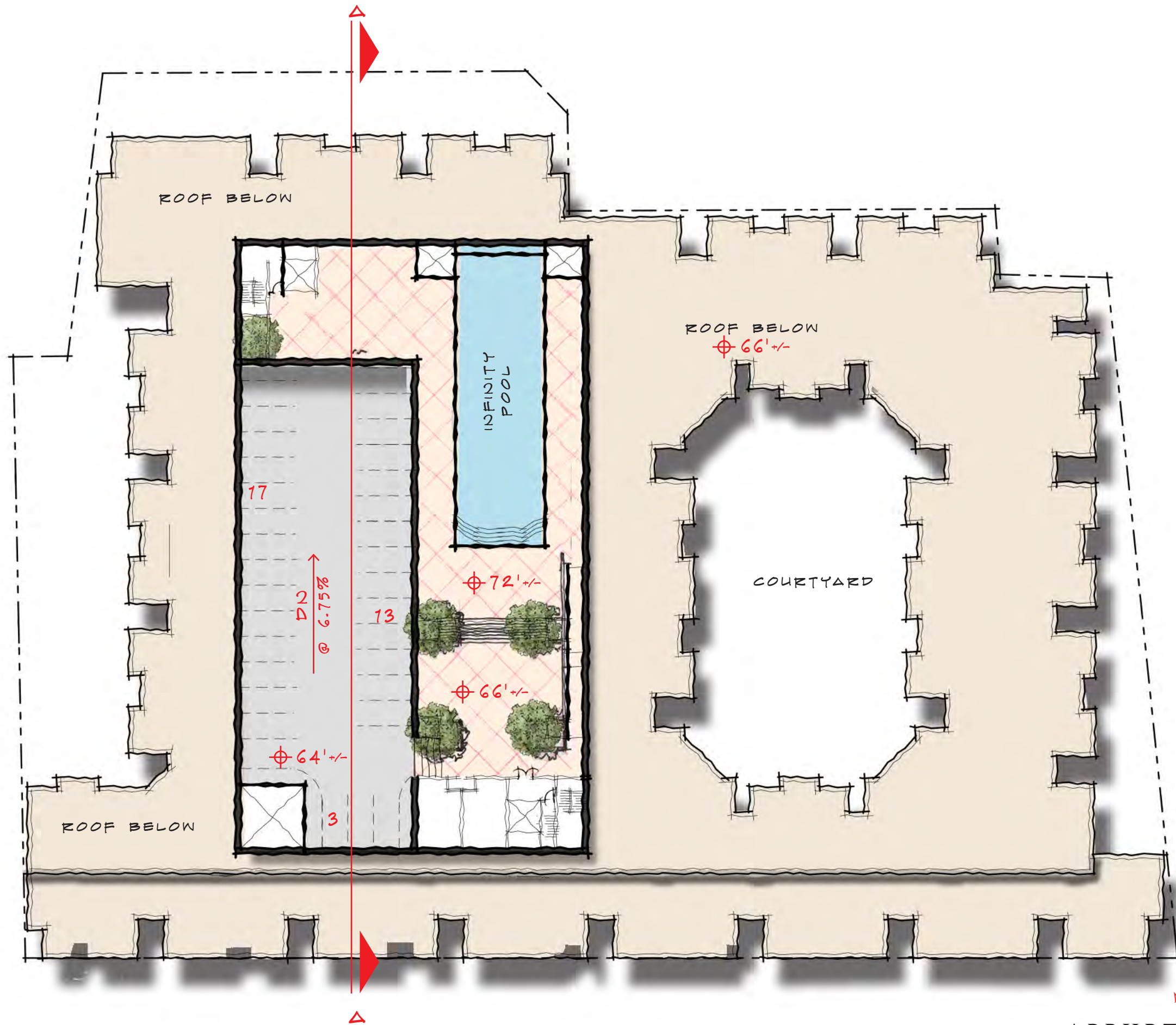
TYPICAL LEVEL (3F-5F)

A4



SK-290
MITCHELL/MATTHEWS © 2013

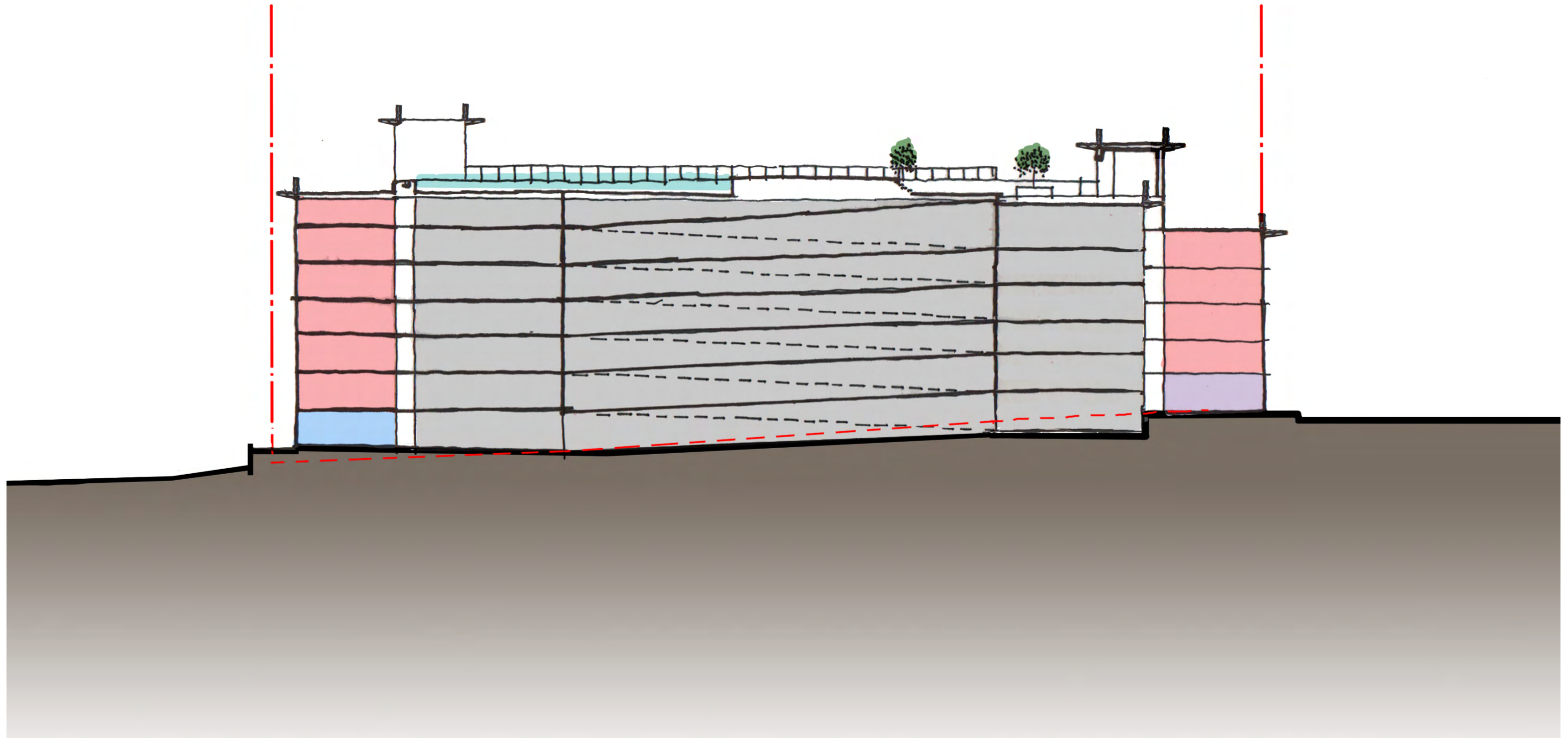
SIXTH LEVEL
A5



SK-291
MITCHELL/MATTHEWS © 2013

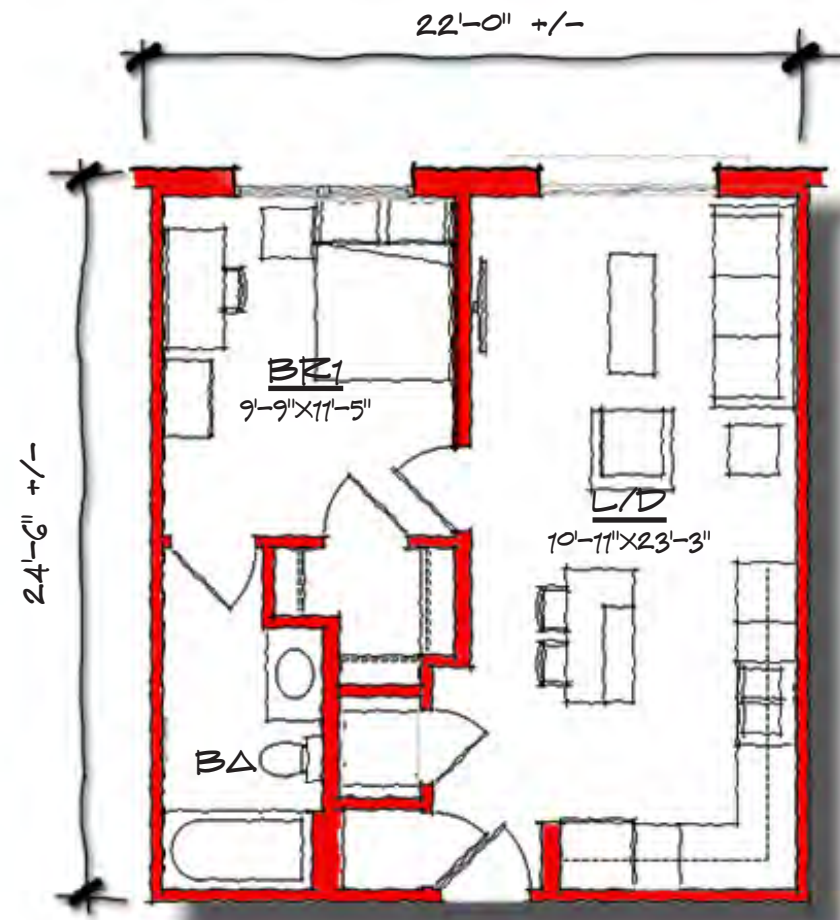
APPURTENANCE LEVEL

A6

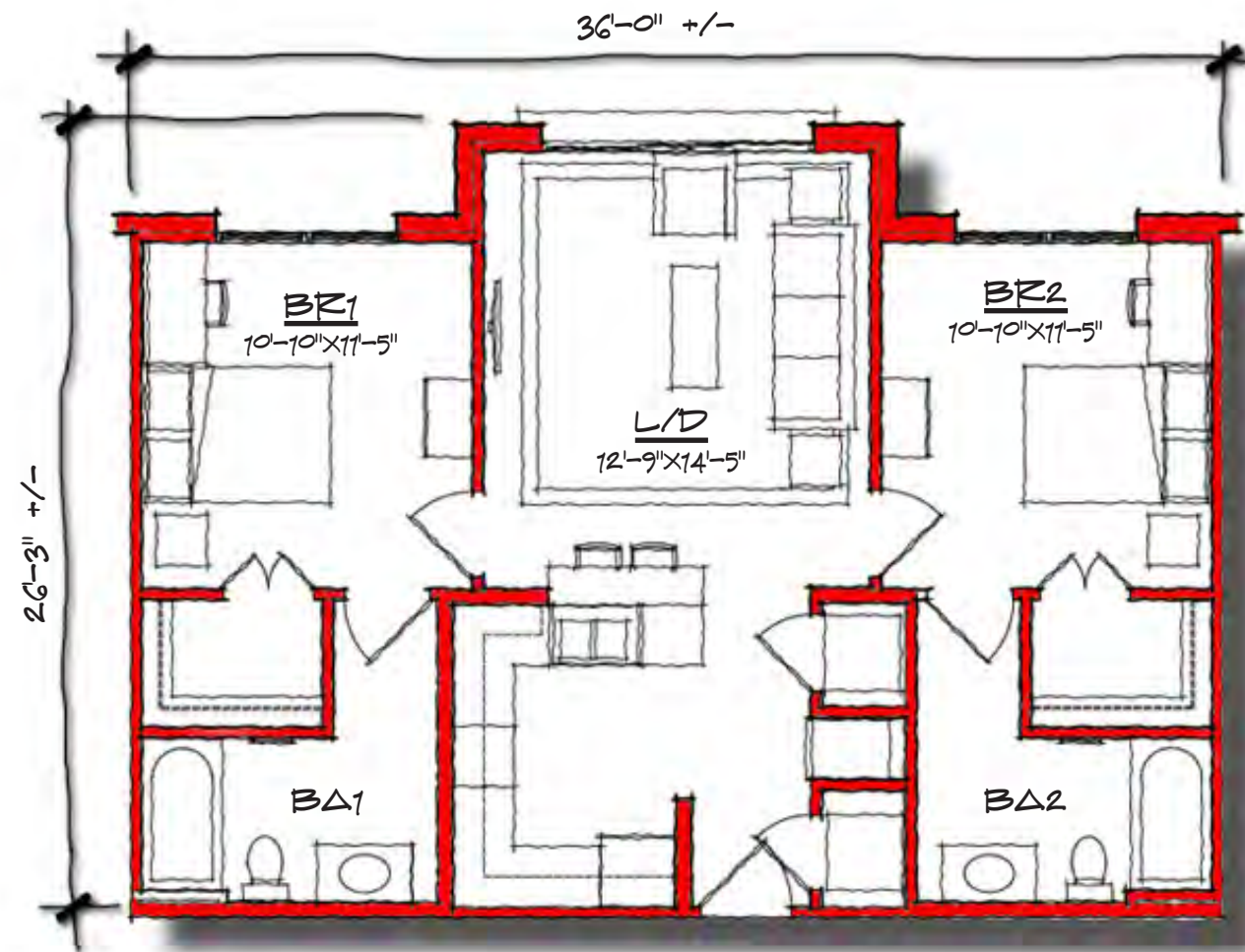


SITE SECTION A-A

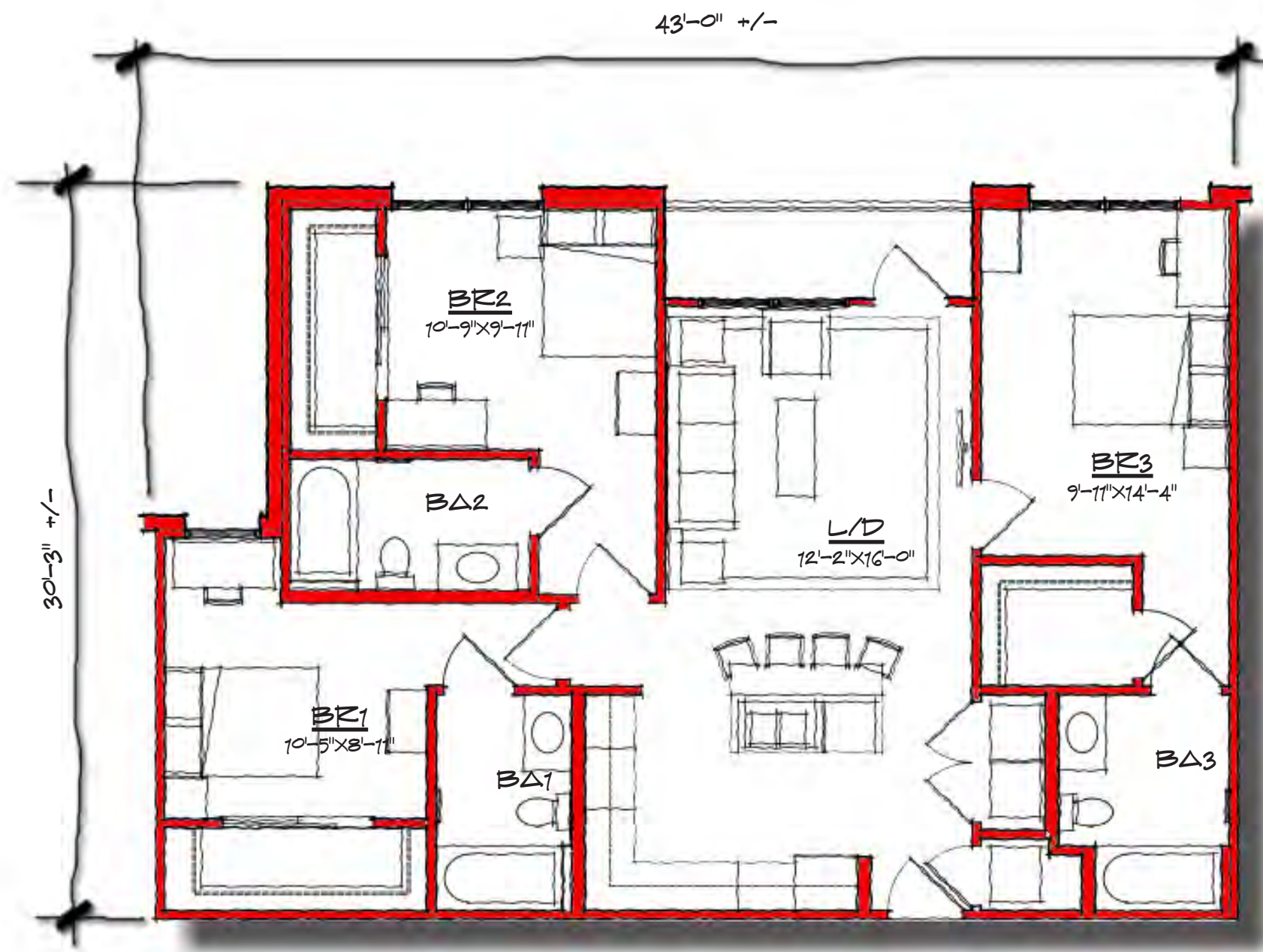
A7



1 BR UNIT
680 S.F. +/-



2 BR UNIT
850 S.F. +/-



3 BR UNIT
1,230 S.F. +/-



4 BR UNIT
1,460 S.F. +/-

TYPICAL 4BR UNIT
A10

**CITY OF CHARLOTTESVILLE
NEIGHBORHOOD DEVELOPMENT SERVICES
MEMO**



To: Planning Commissioners, City Councilors
From: Jim Tolbert, Secretary of the Charlottesville Planning Commission
Date: July 29, 2013
Re: City of Charlottesville Planning Commission Annual Report

The following report outlines and highlights the activities of the City of Charlottesville's Planning Commission between July 2012 and June 2013. The Planning Commission (PC) was established pursuant to the provisions of Chapter 22, Title 15.2 of the Code of Virginia and is also addressed in Chapter 34 of the City Code. This board, which consists of seven full time members that each serve a staggered four year term and one exofficio member, has the primary function of promoting the orderly development of the City in an advisory capacity to the governing body. Each member is appointed by City Council and must be a resident of the City of Charlottesville. The University of Virginia Architect serves as the exofficio member.

The PC holds one regular meeting on the second Tuesday of each month and one regular work session on the fourth Tuesday of each month. The Commission also holds a pre-meeting prior to each regular meeting to streamline discussion in an attempt to shorten the regular meetings by clarifying questions in advance. Special meetings may be scheduled as necessary.

Over the past year the PC held twenty-eight public hearings, reviewed two site plans, and three slope waiver applications. In addition, the PC in its role as Entrance Corridor Review Board reviewed one request for a certificate of appropriateness. Attached is a brief summary of the cases and their outcome.

The majority of work sessions held during this time period focused on the Comprehensive Plan and the Joint goals product resulting from the Livability Grant Project. The Charlottesville and Albemarle Planning Commissions met together regularly between Summer of 2012 and Winter of 2013 to set joint goal project parameters, determine positions on issues for each commission independently, and formation of the joint goals. As part of this process, subcommittees of city and county commissioners were established to review and report back to the larger group on specific issues. The joint goals were completed in January 2013 and the report is attached. Each locality has reflected these goals in their proposed comprehensive plan. The City Commission also met frequently to discuss and refine the Comprehensive Plan. A joint public hearing on the Plan was held in April 2013 and the Planning Commission recommended approval to City Council.

Commission Members:

Genevieve Keller, Chair
Dan Rosensweig, Vice Chair
Michael Osteen
Kurt Keesecker
John Santoski
Lisa Green

Natasha Sienitsky
 David Neuman - Exofficio, Non voting
 Secretary: James Tolbert

All Commissioners have completed, are currently working on or are registered for the Planning Commissioner State Certification program.

Planning Commission Application Summary (July 12- June 13)

The attached charts provide an overview of the actions taken between July 2012 and June 2013.

<i>Application Type</i>	<i># of different applications reviewed</i>
Planned Unit Developments (PUD)	4
Slope Waiver	3
Off Street Parking Waiver	0
Entrance Corridor	1
Site Plans	2
Subdivisions	2
Ordinance Amendments	5
Special Use Permits	8
Rezoning (excluding PUD)	1
Zoning Initiation	4

Planning Commission Committee Assignments

Commissioners serve on a number of boards and commissions as a representative of the Planning Commission. Members are assigned to these groups and provide reports to the full commission at regular meetings. The assignments for this time period are attached.

Planning Commission Work Sessions

The Commission is tasked with many topics that can not be addressed in the context of formal meetings. Work sessions are held on a variety of topics to discuss the details prior to formal proposals consideration for recommendation. Work sessions are scheduled for the 4th Tuesday of each month. Special work sessions are held from time to time. Here is information on work sessions held between July 2012 and June 2013.

<i>Work Session Date</i>	<i>General topics for discussion</i>
July 24, 2012	Discussion of Joint City County Goals on Land Use and Transportation
August 28, 2012	Discussion of Joint City County Goals on Community Facilities, Economic Sustainability and Housing
September 18, 2012	Joint City County Commissions –

	Community Priorities Findings, Joint Goals
September 25, 2012	Land Use Map Revisions, Urban Design/Preservation and Environment Chapter Review
October 23, 2012	Comprehensive Plan
November 27, 2012	Mini Retreat – Comprehensive Plan
January 15, 2013	Joint City County Commission – Joint Goals
January 22, 2013	Comprehensive Plan – Transportation, Urban Design/Preservation
February 5, 2013	Comprehensive Plan – Economic Sustainability, Housing, Land Use
February 26, 2013	Comprehensive Plan – Community Facilities, Intro and Implementation, Land Use and Community Values
March 5, 2013	Comprehensive Plan
March 12, 2013	Comprehensive Plan – Community Facilities, Land Use and Community Values
March 26, 2013	Comprehensive Plan
May 28, 2013	PUD Ordinance
June 25, 2013	Long Range Transportation Plan – Conformity to Comprehensive Plans

The Commission spent this year focused on the Comprehensive Plan and the Joint City County Planning Commission effort to establish joint goals to include in both localities comprehensive plans. The Joint goals report is attached to this report. The Commissions chose two areas to focus on in the future: Rivanna River Planning and Multimodal connections between the localities. It is anticipated that discussions of these activities will move forward following Comprehensive Plan adoption. The Planning Commission held a joint public hearing with City Council in April 2013 and recommended approval of the Comprehensive Plan to City Council. To date, Council is reviewing the plan for adoption.

Plan, Perform, Perfect (P3)

The City of Charlottesville is implementing a process, hereafter known as **Plan, Perform, Perfect, or P3**, that builds on the City’s internal capacity to develop (1) departmental strategic business plans, (2) a performance measurement and management system and (3) a means of reporting results to staff, City management, Council and the public, all of which will guide the organization towards intentional application of strategies and techniques to achieve desired results. This initiative will be institutionalized as a process that is used to guide the organization and its partners in making key decisions and tracking progress towards achieving its goals, and to ensure that these goals are aligned upward to the City Council Strategic Vision. Therefore P3 must be implemented as an ongoing process that is integrated in the organization’s culture, not simply the production of a document.

The long term goal of Plan, Perform, Perfect, or P3, is to have in place a system of performance management that enables the City to do the following:

- Focus on results, rather than activities
- Align results to City Council's Strategic Vision and Initiatives
- Serve as a management tool for the City Manager and Department Heads on which to evaluate progress of various programs and services
- Report to City Council and the public on what the City is doing and how well we are doing it
- Create a more comprehensive budget process, with decisions based on data, research and evidence and includes greater participation from City staff and the public; and
- Improve transparency in all areas of the organization

We have included measures related to the work of the commission with this report.

Public Hearing Items

Month/Year	Zoning Code	Project Name	Address/Location	Type of Application	Description	Planning Commission Decision	City Council Decision	Additional Comments
Jul-12	ZM-12-03-04	Lochlyn Hill	Off Rio and Penn Park Lane	PUD	residential development	approval		
Jul-12	SP-12-05-08	Waterhouse	218 W Water Street	SUP	increased height 70 to 82.6	approval		
Jul-12		Stonefield	Hydraulic/Route 29	Appeal	Appeal E&S plan violation	Support staff recommendation	Approve staff & PC recommendation	
Aug-12	ZM-12-04-06	Stonehenge PUD	Stonehenge Avenue	PUD	29 Single Family Units	deferred by applicant		
Aug-12	SP-12-06-09	715 Nalle Street	715 Nalle Street	Infill SUP	Add one single family lot	approval	approved	
Sep-12	SP-12-07-10	1304 E Market Street	1304 E Market St	SUP	for music hall	approval with conditions	denial	
Oct-12	ZM-12-04-06	Stonehenge PUD	Stonehenge Avenue	PUD	29 Single Family Units	deferred by applicant		
Nov-12	SP-12-09-11	Plaza at Main Street	West Main Street	SUP	height and density increases	approval with conditions	approved	
Nov-12	ZT-12-10-12	BAR Housekeeping code changes		ZTA	civil penalties and application timeframes	approval	approved	
Nov-12	ZT-12-10-13	Medical Laboratories in Downtown North		ZTA	allowance by SUP for medical laboratorites over 4000 SF	approval	approved	
Dec-12	ZT-12-11-14	715 Nalle Street	715 Nalle Street	Infill SUP	Add one single family lot - amendment	approval	approved	
Jan-13	ZT-12-12-15	Mobile Food Units		ZTA	regulations for mobile food units	defered		
Feb-13	ZM-12-04-06	Stonehenge PUD	Stonehenge Avenue	PUD	29 Single Family Units	denial	returned to PC	
Feb-13	SP-12-12-17	501 Locust Avenue	Locust Ave	SUP	To locate a medical laboratory in excess of 4000 sf	approval	approved	
Mar-13	ZM-13-01-01	Lyman Street Rezoning	Lyman and Douglas	Rezoning	R-1 & PUD to Downtown Extended	deferral by applicant		
Mar-13		CDBG			2013-14 Action Plan	approval	approval	
Mar-13	ZT-12-12-15	Mobile Food Units		ZTA	regulations for mobile food units	approval	approval	
Mar-13	ZM-13-01-02	Johnson Village PUD amendment	Cleveland Ave	PUD	update allowable uses for one block of Johnson Village PUD	approval	approval	

Public Hearing Items

Month/ Year	Zoning Code	Project Name	Address/Location	Type of Application	Description	Planning Commission Decision	City Council Decision	Additional Comments
Mar-13	ZM-12-12-16	Elliott Ave PUD	Elliott Ave	PUD	up to 50 lots and one non-residential use. R-3 to PUD	approval	approval	
Apr-13	ZT-13-03-03	Affordable Dwelling Units		ZTA	amend ADU regulations to identify the correct housing index	approval	approval	
Apr-13	SP-13-02-04	Family Dayhome	600 McIntire	SUP	family dayhome over 5 children	approval	approval	
Apr-13	SUB-13-03-07	Sidewalk Provisions		Subdivision Ordinance	amend sidewalk provisions to allow for payment into a sidewalk fund per state legislation	approval	approval	
Apr-13	CP-13-03-06	Comprehensive Plan		CP	5 year update of Comprehensive Plan	approval	deferral	
Apr-13	ZM-12-04-06	Stonehenge PUD	Stonehenge Avenue	PUD	29 Single Family Units	denial	approval	
May-13	SP-13-02-05		1335 Carlton Avenue	SUP	Allowance for residential in M-I zoning	approval	approval	
May-13		ADA Transition Plan				approval	approval	
May-13		Closing of a portion of Garrett Street	Garrett Street	Street Closure	request to close part of ROW adjacent to 204 Ridge Street	deferral until completion of SIA		
Jun-13	ZT-13-04-08	West Main Street Requirements	West Main Street	ZTA	housekeeping clarification changes to zoning text	approval	approval	

Planning items						
Month/ Year	Project Name	Project Number	Address/Location	Description	Planning Commission Recommendation	Additional Comments
Aug-12	Nominating Committee Announcement			Kurt and Lisa were appointed		
Aug-12	Willoughby Place Appeal		Harris Road	Site plan denial by staff due to not meeting entrance standards	staff ruling upheld	
September-12	Annual meeting			Election of Officers	Chair - Genevieve Keller Vice Chair - Dan Rosensweig	
October-12	RRBC			Presentation on Snapshot and Watershead Management planning		
January-13	Elliot Ave PUD			Preliminary discussion		
January-13	Comprehensive Plan Work Session			Review of Comprehensive Plan Draft materials		
February-13	Comprehensive Plan Work Session			Review of Comprehensive Plan Draft materials		
April-13	ZTA - Surface Parking lots and Parking garges			review of the Zoning ordinance to see if any changes should be recommended to support changes made in the Towing codes.	No need for changes at this time.	
May-13	Meadowcreek Stream Valley Master Plan Report			Presentation from Parks Department on specific parks master plan	provided comments to forward to City Council	

Subdivisions						
Month/ Year	Project Name	Address/Location	Preliminary/Final/Both	Description	Planning Commission Decision	Additional Comments
Feb-13	Belmont Cottages	Avon and Palantine	Preliminary & Final	15 residential lots, 2 lots for open space and parking	approval	
Apr-13	Burnett Commons Phase II	Elliott Avenue	Preliminary & Final	residential lots and open space	approval	

Site Plans						
Month/ Year	Project Name	Address/Location	Preliminary/ Final/ Both	Description	Planning Commission Decision	Additional Comments
Nov-12	Burnett Commons Phase II	Elliott Avenue	Preliminary	Residential	approved	

Entrance Corridor Reviews					
Month/Year	Project Name	Address/Location	Description	Planning Commission Decision	Additional Comments
Nov-12	Former Shell Station at Barracks Road	973 Emmet Street	commercial	approved	

Slope Waiver					
Month/Year	Project Name	Address/Location	Description	Planning Commission Decision	Additional Comments
Aug-12	Stonehenge PUD	Quarry, Stonehenge	PUD	deferred	
Oct-12	Stonehenge PUD	Quarry, Stonehenge	PUD	deferred	
Feb-13	Stonehenge PUD	Quarry, Stonehenge	PUD	denial	goes to Council for determination
Apr-13	Stonehenge PUD	Quarry, Stonehenge	PUD		Feb 2013 recommendation stands
Jun-13	Seminole Sq Expansion	Seminole Court	retaining wall placement	deferral by planning commission	
Jun-13	Pepsi Cola Plant Expansion	Seminole Court	retaining wall placement	deferral by planning commission	

Zoning Initiations					
Month/ Year	Project Name	Address/Location	Description	Planning Commission Recommendation	Additional Comments
Sep-12	PUD, SUP and Rezoning Process		Review of these processes to assure adequate information is supplied	initiated	
Oct-12	BAR Housekeeping		address demolition and deferral timeframes	initiated	
Oct-12	Bioscience and Tech Uses		Evaluate appropriate locations for these uses.	initiated	
Apr-13	Allowances in West Main North and South		update codes for clarity	initiated	

Public Hearing Items

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The Livability Project April 5, 2013

In 2011, the U.S. Department of Housing and Urban Development (HUD) awarded a \$999,000 grant to the Thomas Jefferson Planning District Commission (TJPDC) to develop a Livability Implementation Plan for the Charlottesville-Albemarle MPO area. The process to develop this plan, referred to as the Livable Communities Planning Project (Livability Project), builds upon the region's 1998 Sustainability Accords and other area planning documents to integrate cross-cutting strategies for land use, transportation, housing, economic vitality, air and water quality, and energy use. The Livability Project was launched in April 2011 in conjunction with the kick off to the Charlottesville & Albemarle County Comprehensive Plan and Long Range Transportation Plan updates. Since the kick off, project staff have assisted in coordinating public input into the three plan updates.

The process to develop the Livability Project has been a continuation of decades of cooperative planning efforts formally set in place in 1986 through the Three Party Agreement. This Agreement between the City of Charlottesville, Albemarle County, and the University of Virginia (UVA) created the Planning Action Coordination Council (PACC) to oversee planning and development coordination in areas of adjoining or overlapping jurisdiction.

Areas "A," "B," and "C" were shown on a map to delineate the areas of adjoining or overlapping jurisdiction. Area "A" are University-owned properties, Area "B" contains privately-owned properties that span the City-County boundary, and for which mutual interest exists. Area "C" is everything that is not part of Area "A" or "B." In years past, properties in Area B had specific plans to guide future development. These specific plans are updated and are expected to be part of the City and County's Comprehensive Plans. In addition to Area B work, Charlottesville, Albemarle and University of Virginia have worked with TJPDC on regional transportation planning under the auspices of the Charlottesville-Albemarle Metropolitan Planning Organization (MPO). The partners also work closely on planning related to diverse issues of mutual concern.

The grant expectations are for completion of five primary products:

1. Common Map

This product is a single map depicting in a consistent fashion the Future Land Use Plans of Charlottesville and Albemarle County, the UVA Grounds Plan and fiscally constrained transportation projects in the CA MPO Long Range Transportation Plan. This product is intended to assist all participants including Planning Commissions and the public in visualizing the future plans for the area.

2. Performance Measurement System

This product is intended to depict the most important measurements of the status of the Charlottesville-Albemarle area through quantitative data. The measurements being selected are those that portray the priorities for the area as expressed in the Comprehensive Plans of the two localities. Data that is incorporated into the Performance Measurement System has been chosen due to its ready availability and regular schedule for updates allowing the performance measurements to be easily updated and tracked in the future.

3. Code and Ordinance Review

The Code and Ordinance Review is intended to create a list of topics in the Charlottesville and Albemarle Zoning Ordinance and Subdivision Ordinance that should be reviewed based on policy changes adopted in the updated Comprehensive Plans. It is intended to be used by Planning Commissioners and staff over the next several years to make sure that the policy changes in the Comprehensive Plans get incorporated into the Zoning and Subdivision ordinances which are the legal implementing documents.

4. Sustainability Initiatives

The Sustainability Initiatives report will identify key sustainability issues facing the area and suggest approaches by which public and private community leaders can work cooperatively to address those issues.

5. Comprehensive Plan Recommendations

The purpose of this product is to support the required updates of the Comprehensive Plans of the City of Charlottesville and Albemarle County.

Specific activities expected in development of the plan included the following:

1. Development of a Local Plans Database

This product was created by the TJPDC staff to provide a tool to efficiently search a compilation of over 12,000 goals, objectives, strategies and action items based on key issues and topics identified in 82 local planning documents from the project study area. Use of the Local Plans Database allows members of the public to quickly access goals, objectives, strategies and recommendations related to any topic or combination of topics. It also can be used by staff members to quickly identify everything that has been adopted by the localities on any topic.

2. Expanded Public Input

An expanded public input process was provided for both the City and County Comprehensive Plan updates through the following activities:

- a. Community Outreach Series - In the fall and winter of 2011/12 a Community Outreach series was conducted. These workshops touched on a wide variety of issues, including environment, land use, transportation, housing, economic drivers, community facilities and services, and historic resources. Attendees were asked to provide feedback on existing goals and actions being taken to implement the goals.
- b. Questionnaires – Public input was also sought to support the Comprehensive Plan updates through a number of questionnaires. These questionnaires were distributed online or at events and broadened the number of people that provided input on the issues. Questionnaires sought input on the Performance Measurement System, Housing and Economic Drivers, Transportation, Historic and Scenic Resources and on Community Priorities. Received input was analyzed by project staff and reported to the public, Planning Commissioners and locality staff for consideration in the Comprehensive Plans.
- c. OneCommunity Conversations – The OneCommunity Conversations were a series of workshops held in October 2012. These workshops shared findings from the Community Priorities Questionnaire and solicited feedback on shared planning goals for Charlottesville and Albemarle County. Four workshops were held at different locations, but all included the same content and format. The workshops utilized a focus group approach structured around facilitated small groups whose comments were written down by recorders.

3. A Joint Planning Commission Process

One of the most important activities in the Sustainable Communities Planning Project was the Joint Planning Commission process. Over the course of a year and a half, the Charlottesville and Albemarle Planning Commissions met together nine times in joint session. These sessions allowed Planning Commissioners to discuss issues of overlapping concern, share existing approaches and identify key issues that needed to be addressed by both localities. Through the course of this process, the two Planning Commissions identified eight areas of joint interest for discussion and recommendations; Economic Development, Entrance Corridors, Environment, Housing, Land Use, Transportation, Parks and Recreation, and Historic Preservation. The Planning Commissions ultimately

agreed on an overall direction in these areas that are important for both the localities.

At the January 2013 Joint Planning Commission meeting the two commissions identified two priorities for implementation:

1) Planning for a unified vision of the Rivanna River Corridor by the two localities that supports the river corridor as a destination and develops a shared vision for parks, trails and recreational opportunities associated with the river;

2) Planning for a coordinated sidewalk network across City-County boundaries and dedicated bike-pedestrian connections across physical barriers within the community.

These priorities are identified in each locality's Comprehensive Plan Draft as of April 5, 2013.

The final version of the Vision and Goal Statements, as approved by the two planning commissions at their meeting on January 15, 2013, is below. The Vision and Goal Statements will be incorporated into the updated Comprehensive Plans by the two local governments using approaches that are appropriate within the structure of the updated Comprehensive Plan documents. As a result, the presentation of the Vision and Goal Statements is somewhat different in the two plans and may be modified by City Council and Board of Supervisors. One of the most important benefits of the HUD Sustainable Communities Planning project for the Charlottesville-Albemarle area has been the input from the entire community, opportunities to learn about how each locality addresses areas of common interest and collaborative efforts by the two Planning Commissions to jointly identify and prioritize vision and goals for the entire community.

Charlottesville & Albemarle County Joint Vision and Goal Language

Final February 19, 2013

Economic Development

Charlottesville and Albemarle County recognize the necessity of vibrant regional economic relationships and will work together toward a strong, diversified economy creating stability and opportunities for advancement in our communities.

To do this, the City and County will:

- Continue to coordinate staff efforts to support regional economic development, including collaboration with the University of Virginia.
- Improve opportunities for employment centers that are connected to community amenities, housing, and services in the City and in the County's Development Areas.
- Coordinate with education partners – elementary, middle, high schools, as well as PVCC and CATEC – to provide training for locally based jobs.
- Support a range of businesses in identified target industry areas (bioscience & medical, business & financial, information technology & defense, and agribusiness).
- Encourage land use practices and policies that promote vibrancy in the local economy through cultural industries including heritage tourism, entertainment, agritourism, local food, and art, and entertainment.
- Improve opportunities for entrance and re-entry into, and advancement within the workforce by encouraging a diversity of training and placement programs designed to help all citizens, regardless of education or income, secure and retain jobs in our community.
- Identify opportunities for small businesses and entrepreneurship and develop policies that encourage innovation.

Entrance Corridors

Charlottesville and Albemarle County will work together to more consistently enhance the visual quality and multi-modal experiences along the corridors.

To do this, the City and County will:

- Enhance communication among the University of Virginia and, City and County Boards and Commissions related to proposed changes within Entrance Corridors and other shared boundaries.
- Create distinctive destinations and places through multiple means such as landscaping and urban area walkability
- Establish a consistent approach to signage.

- Coordinate continuity of corridor guidelines between the City and County.
- Enhance and improve the scenic and historic character of each corridor, while connecting historic resources – such as Monticello, Ashlawn-Highland, the University of Virginia, and Court Square – within the community.

Environment

Charlottesville and Albemarle County will continue to promote a community of green neighborhoods, healthy waterways, clean air, and sustainable natural resources.

To do this for each aspect of the environment, the City and County will:

- **Air Quality**
 - Encourage multi-modal transportation and focus development and redevelopment in urban areas that are supported by multi-modal transportation facilities that will help to reduce emissions of air pollutants and greenhouse gases.
 - Encourage industries to be clean and environmentally responsible.
- **Water Quality**
 - Protect drinking water supplies, and associated watershed protection areas.
 - Improve water quality of all of our waterways.
 - Recognize the connection between land use practices and water quality in decision making.
 - Coordinate actions intended to address and meet all appropriate water quality standards.
- **Stormwater**
 - Improve stormwater infrastructure and reduce stormwater runoff.
 - Encourage low-impact development techniques and practices through land development regulations, education, and incentives.
- **Agriculture**
 - Improve the viability of local agriculture through concentrating development in the city areas identified for greater intensity of use and higher densities and county development areas while strengthening measures that protect agriculture in the rural areas.
 - Recognize the shared interests between the City and County in promoting a strong local food economy.
- **Vegetation and Biodiversity**
 - Recognize the benefits of biological diversity and encourage the retention and use of native plants.
 - Encourage establishment, maintenance, and replenishment of urban tree canopy in the developed areas, as a means of promoting urban green space, as well as supporting stormwater runoff reduction efforts
- **Energy Efficiency and Conservation**
 - Continue to develop resource and energy conservation strategies and practices applicable to both public and private facilities.

- **Disposal Practices**
 - Promote re-use and recycling.
 - Encourage programs to eliminate roadside litter.

Historic Preservation

Charlottesville and Albemarle County will enhance the historic character of the region by fostering community awareness of our historic and cultural resources and promoting the preservation of designated structures and areas.

To do this, the City and County will:

- Prepare and maintain coordinated information detailing requirements, responsibilities and support programs for eligible, significant and designated resources.
- Collaborate on tourism outreach related to historic resources.
- Prepare, maintain, and make publically available a single map of formally designated City and County historic resources to be made available as a layer on both city and county data systems.
- Encourage designation of historic buildings, sites, districts, structures and objects through state and federal programs.
- Encourage local historic designations where appropriate in cooperation with neighborhoods.
- Collaborate with the University of Virginia, Ashlawn-Highland, and Monticello and other community organizations on historic preservation matters.

Housing

Charlottesville and Albemarle County will each have a range of housing types that support various incomes, ages, and levels of mobility. These housing types should be connected to community amenities, parks, trails and services in the City and in the County's Development Areas.

To do this, the City and County will:

- Develop joint City-County housing goals, both for market-priced and affordable units.
- Explore the idea of a Regional Housing Authority.
- Encourage mixed income communities.
- Facilitate collaboration and coordination among various housing staff, committees, builders and organizations to ensure an appropriate range of housing choices for all community members.

- Develop policies to encourage housing opportunities suitable for healthy aging and for people with disabilities, located in close proximity to community services and amenities, recreational resources and connected to multi-modal transportation corridors.
- Promote housing located near employment centers in the City and County Development Areas and optimal multi-modal transportation links between those areas and major employment centers.
- Increase the range of housing type choices, focusing especially on the creation of additional workforce (60%-120% AMI), affordable housing (25%-60% AMI), and deeply affordable (0%-25% AMI) units in the City and the County.

Land Use

Charlottesville and Albemarle County will support neighborhoods and places that allow residents to live, work, and play near their homes and where attention to the character of new development and redevelopment enhances quality of life.

To do this, the City and County will:

- Encourage development and redevelopment in areas of the City identified for increased density and greater intensity of use, and in County Development Areas where appropriate in order to preserve open space, rural areas, and agricultural areas.
- Promote land use patterns that encourage multi-modal transportation opportunities.
- Coordinate City and County Development Areas land use and infrastructure policies.
- Maintain the distinct character of the Rural Areas.
- As a means of decision coordination, continue to actively participate in the Planning and Coordination Council (PACC), which brings City, County and University leaders together to discuss issues of common concern and interest.
- Establish policies that provide for consideration of development effects on the neighboring locality and shared community resources.
- Create a unified vision for land uses adjacent to the Rivanna River that supports the river corridor as a destination while ensuring the protection and improvement of the river's water quality.

Parks and Recreation

Charlottesville and Albemarle County will provide a system of high quality public parks, recreation facilities and programming to meet the needs of all residents of the community.

To do this, the City and County will:

- **Share community visions.**
 - Explore shared use facilities as a first option when contemplating new or replacement recreation facilities within either jurisdiction.
 - Explore the possibility of a Regional Park Authority to manage shared resources including, but not limited to Ivy Creek Natural Area and Darden Towe Park.
 - Develop and implement a shared vision for parks, trails and recreation opportunities associated with the Rivanna River.
 - Work with the Virginia Department of Conservation and Recreation (DCR) to develop a shared vision for recreation opportunities associated with Biscuit Run State Park.
- **Encourage healthy choices among all of our residents.**
 - Create multi-modal connections to and between parks and recreation areas and employment centers.
- **Coordinate shared parks and recreation resources.**
 - Utilize existing Needs Assessment documents to initiate a dialogue on meeting recreation needs.
 - Evaluate existing user fees associated with all parks, facilities and programs to explore reciprocity programs.
 - Coordinate with UVA to identify both active and passive recreation opportunities that may be shared with the larger community.
 - Create a common city/county park, recreation and programming "amenity matrix", and an associated map of amenity locations.
 - Create a regional plan to address need for additional recreational fields.

Transportation

Charlottesville and Albemarle County will promote regional multi-modal and accessible transportation options.

To do this, the City and County will:

- Coordinate transportation planning between Charlottesville, Albemarle County, and the University of Virginia through the Metropolitan Planning Organization by;
 - Storing transportation data in the same format.
 - Coordinating collection of transportation data to facilitate sharing information among Charlottesville, Albemarle County, the University of Virginia, and the Metropolitan Planning Organization.
- Increase and expand transit network efficiency and use.
- Coordinate building the sidewalk network across City-County boundaries and addressing barriers to pedestrian connectivity.
- Provide community education regarding transportation options.
- Collaborate to strengthen intrastate and interstate rail and air transportation opportunities.

- Coordinate to provide and enhance multi-modal connections between employment centers and areas of high residential density.
- Create dedicated bike-pedestrian connections across physical barriers within community.
 - Rivanna River
 - Route 250 – East and West
 - Interstate 64
 - Railroad network
 - City and VDOT system connection
 - Route 29

2012-13 PLANNING COMMISSION COMMITTEE ASSIGNMENTS

Committees	Current Member
<p><u>Thomas Jefferson Planning District Commission</u> Encourage planning for the physical, social and economic Development of the region and provides local governments with planning and coordination assistance as requested. Provides professional assistance in areas of land use, housing, economic development, human resources, resource conservation, and transportation. Meets on the 1st Thursday at 7:00 p.m.</p>	Genevieve Keller
<p><u>Board of Architectural Review</u> The Board of Architectural Review considers proposed construction in the Historic Preservation and Architectural Design Control District (ADC) to preserve and protect the old, historic or architecturally worthy structures, spaces and neighborhoods and their environs and settings which serve as visible reminders of the history and the cultural and architectural heritage of the City, state and nation. The Board establishes requirements to ensure that any new development or alteration of existing structures and spaces is in harmony with the historic or architectural character of the area. Meets monthly on the 3rd Tuesday at 5:00 p.m.</p>	Michael Osteen
<p><u>School Board CIP Committee</u> This is a School Capital Improvement Program Committee appointed by the School Board. One Planning Commission member serves on this Committee. Meets 2-3 times during the fall/winter</p>	John Santoski
<p><u>Parks & Recreation Advisory Committee</u> Consult with Department of Parks and Recreation and advise on allocation of funds to the Five-Year Capital Improvement Program for neighborhood and regional parks, including use of school recreational facilities as neighborhood recreational facilities; discuss and formulate a planning process for parks; review the summer recreation programs and special events from a citizen's prospective and recommend locations of programs and program priorities fore the next year; and review data on summer youth transportation program.</p>	Natasha Sienitsky
<p><u>Board of Zoning Appeals</u> Semi-judicial body appointed by the Circuit Court Judge. This</p>	Genevieve Keller

body is responsible for reviewing any variance or hardship cases as they violate the zoning ordinance. Meets monthly on the 3rd Thursday at 4:00 p.m.	
<u>PACC Technical Committee</u> This committee advises the PACC Policy Committee on coordination of planning between the City/County/University. Includes representation from the City/County/University, staff as well as the Planning Commission. Meets Quarterly (January, April, July, October) on the 3rd Thursday at 3:00 p.m.	Kurt Keesecker
<u>CDBG Task Force</u> The CDBG Task Force advises City Council on the City's physical community development needs, proposed projects to meet such needs, suggested allocation of CDBG funds for such projects and to conduct periodic evaluations of the physical aspects of the CDBG program. The CDBG Task Force also review and comments on recommendations for human service programs. Meets at least monthly Aug - March - Heaviest in Dec/Jan	Lisa Green
<u>MPO Technical Committee</u> This is a City/County transportation planning body mandated by Federal Law, which does transportation planning for the City and Urban areas of the County. Meetings are held monthly on the 4th Tuesday at 10:30 a.m.	Lisa Green
<u>Federation of Neighborhoods</u> Meets Quarterly	Kurt Keesecker
<u>Charlottesville Albemarle Regional Transportation Citizen Advisory Committee (CHART)</u> Meets first Wed every other month	Natasha Sienitsky
<u>Tree Commission</u> - This is a group created to outline initiatives to support the City's goal of increasing tree canopy. 4th Wednesday of the month initially.	Michael Osteen
<u>Ad Hoc Committees</u>	
• UVA Master Planning Council	Natasha Sienitsky
• Housing Advisory Committee	Dan Rosensweig
• Budget Development Committee	John Santoski
• CIP Ranking Committee	John Santoski



Number of Rezoning/SUP Applications Submitted per month

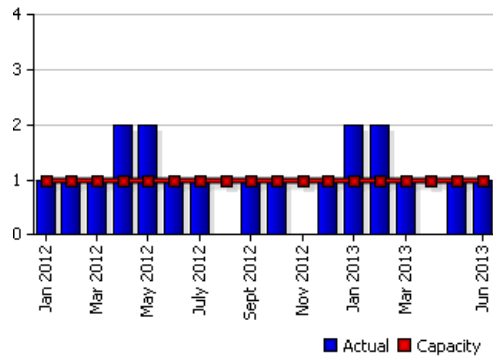
Neighborhood Development Services



Description

Rezoning is a request to change the zoning of a property. Special Use Permits are requests to use a property for a use that is permitted in the City, provided the impacts of that use can be managed so as not to negatively impact surrounding properties. Both rezoning and special use permit applications require Planning Commission and City Council review. The Department of Neighborhood Development Services coordinates the review of these applications, and write the staff reports that accompany these applications through the review process.

Number of rezoning/SUP applications submitted per month



Analysis

The volume of new rezoning and special use permit applications has

Recommendations

No changes are recommended at this time.



Number of Site Plans Submitted

Neighborhood Development Services

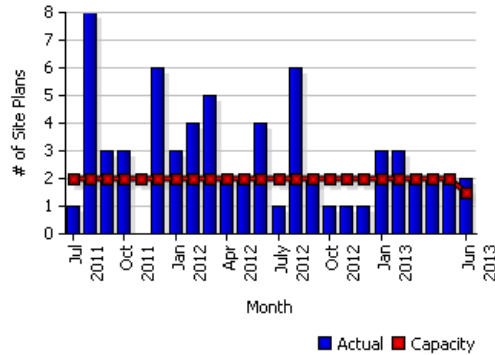


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Description

Site Plans, or Plans of Development, are required submissions for new or modified multi-family, commercial, industrial or mixed-use developments in the City. Neighborhood Development Services performs administrative review for all site plan submissions. This measure shows the number of applications for preliminary site plan approval, final site plan approval and site plan amendment submitted to the department each month.

Number of Site Plans Submitted per Month



Analysis

Following an increase in site plan applications in CY 2011 and 2012, site plan applications have remained steady at above the target number throughout 2013. Staff are seeing strong interest in new developments, along with additions to existing properties.

Recommendations

No staffing changes are anticipated, in spite of the increased volume.

Measure Data

Period	Status	Capacity	Actual
Sep 2008	↑ At or Above Plan	1.50	2
Oct 2008	↑ At or Above Plan	1.50	8
Nov 2008	↑ At or Above Plan	1.50	2
Dec 2008	↑ At or Above Plan	1.50	6
Jan 2009	↑ At or Above Plan	1.50	3
Feb 2009	↑ At or Above Plan	1.50	2
Mar 2009	↑ At or Above Plan	1.50	4
Apr 2009	↑ At or Above Plan	1.50	3
May 2009	↑ At or Above Plan	1.50	6
Jun 2009	↑ At or Above Plan	1.50	3
Jul 2009	↑ At or Above Plan	1.50	7
Aug 2009	↑ At or Above Plan	1.50	3

Sep 2009	 At or Above Plan	1.50	3
			
Nov 2009	 At or Above Plan	1.50	3
			
Jan 2010	 Below Plan	1.50	1
			
Mar 2010	 At or Above Plan	1.50	2
			
May 2010	 Below Plan	1.50	0
			
Jul 2010	 At or Above Plan	1.50	2
			
Sep 2010	 Below Plan	1.50	0
			
Nov 2010	 Below Plan	1.50	1
			
Jan 2011	 At or Above Plan	1.50	5
			
Mar 2011	 At or Above Plan	1.50	2
			
May 2011	 At or Above Plan	2	5
			
Jul 2011	 Below Plan	2	1
			
Sep 2011	 At or Above Plan	2	3
			
Nov 2011	 Below Plan	2	0
			
Jan 2012	 At or Above Plan	2	3
			
Mar 2012	 At or Above Plan	2	5

Apr 2012	↑		
May 2012	↑ At or Above Plan	2	2
	↑		
July 2012	↓ Below Plan	2	1
	↑		
Sept 2012	↑ At or Above Plan	2	2
	↓		
Nov 2012	↓ Below Plan	2	1
	↓		
Jan 2013	↑ At or Above Plan	2	3
	↑		
Mar 2013	↑ At or Above Plan	2	2
	↑		
May 2013	↑ At or Above Plan	2	2
	↑		
Jul 2013	— Not Defined		
	—		
Sept 2013	— Not Defined		
	—		
Nov 2013	— Not Defined		
	—		



Number of BAR cases per month

Neighborhood Development Services

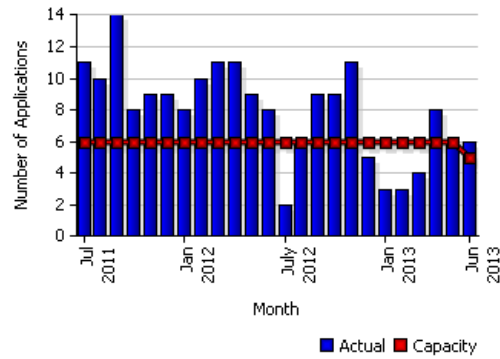


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Description

BAR stands for Board of Architectural Review, the appointed body that reviews building projects within the City's designated historic districts. Historic Districts are areas of the City deemed to have historical significance, and have been designated as locally protected. Neighborhood Development Services performs administrative review for all signs/building permits for projects in historic districts. NDS staff also prepares staff reports for Certificate of Appropriateness applications to be review by the Board of Architectural Review. This measure shows the number of applications forwarded to the BAR each month.

Number of BAR cases per month



Analysis

Increase in number of districts has caused an increase in the number of applications. A large number of applications were submitted in the 2011 and 2012 calendar years. Sixteen applications went before the BAR in April and June 2011, the highest number of items on the BAR agenda in the last five years. There were a large number of applications taken to the BAR throughout 2012. The application numbers have decreased in the early months of 2013, lessening the immediate demand for additional resources needed towards the processing of BAR applications, but recent months have shown another increase in BAR applications.

Recommendations

Closely monitor the number of applications going to the BAR in the next several months. Sustained application volume could necessitate exploring staffing options to provide additional staff time to assist in writing BAR staff reports and managing BAR meetings.