

Agenda

**PLANNING COMMISSION REGULAR DOCKET  
TUESDAY, May 13, 2014 – 5:30 P.M.  
CITY COUNCIL CHAMBERS**

**I. PLANNING COMMISSION GATHERING -- 4:30 P.M. (Held in the NDS Conference Room)**  
Commissioners gather to communicate with staff. (4:30-5:30 P.M.)

**II. REGULAR MEETING -- 5:30 P.M.**

**A. COMMISSIONERS' REPORTS**

**B. UNIVERSITY REPORT**

**C. CHAIR'S REPORT**

**D. DEPARTMENT OF NDS**

**E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA**

**F. CONSENT AGENDA**

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - January 14, 2014 – Regular meeting
2. Minutes - March 11, 2014 – Regular meeting
3. Minutes - April 8, 2014 – Pre meeting
4. Minutes - April 8, 2014 – Regular meeting
5. Notes – April 22, 2014 – Panel Discussion

**G. Entrance Corridor Review**

- a. Country Inn & Suites (1600 N. Emmett Street)

**H. FUTURE MEETING SCHEDULE**

Date and Time	Type	Items
Tuesday, May 27, 2014 – 5:00 PM	Work Session	Long Range Transportation Plan and Multimodal Plan
Tuesday, June 10, 2014 – 4:30 PM	Pre- Meeting	
Tuesday, June 10, 2014 – 5:30 PM	Regular Meeting	Woodland Subdivision (Woodland Drive) Entrance Corridor - Fulton Bank (901 Seminole Trail) Rezoning – Lyman Street

**Anticipated Items on Future Agendas**

- LID Guideline Review
- Zoning Text Amendment - PUD ordinance updates
- Entrance Corridor - 5<sup>th</sup> Street Station,
- Rugby Road Historic Conservation District (July)
- Site Plans – Stonehenge PUD & Burnett Commons III

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**PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.**

**PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.**

**LIST OF SITE PLANS APPROVED ADMINISTRATIVELY  
3/1/2014 TO 4/30/2014**

1. Final Hill Street Road Improvement Plans
2. Amendment Salvation Army Store (604 Cherry Avenue)

**LIST OF SUBDIVISIONS APPROVED ADMINISTRATIVELY  
3/1/2014 TO 4/30/2014**

1. TMP 17-18 3 New Residential Lots  
209 Maury Avenue Commonwealth Land Surveying, LLC  
File No. 1522 Final  
Final Signed: 4/11/14  
Signed by: Ebony Walden & Kurt Keesecker

MINUTES  
PLANNING COMMISISON MEETING  
January 14, 2014  
CITY COUNCIL CHAMBERS

**Commissioners Present:**

Mr. Dan Rosensweig (Chairperson)  
Mr. Kurt Keesecker  
Ms. Genevieve Keller  
Ms. Natasha Sienitsky  
Ms. Lisa Green  
Mr. John Santoski  
Mr. Michael Osteen

**Staff Present:**

Mr. Jim Tolbert, NDS Director  
Ms. Missy Creasy, AICP, Planning Manager  
Mr. Brian Haluska, AICP, Neighborhood Planner  
Ms. Ebony Walden, AICP, Neighborhood Planner  
Mr. Michael Smith, Neighborhood Planner

**Also Present**

Mr. David Neuman, Ex-officio, UVA Office of the Architect  
Ms. Lisa Robertson, Chief Deputy City Attorney

Mr. Rosensweig called the meeting to order.

**A. Commissioner's Report**

Genevieve Keller discussed the PLACE Task Force meeting, in which new officers were elected and priorities were set for the upcoming year. She also noted the ongoing Executive Director search for the TJPDC.

Natasha Sienitsky noted the upcoming Parks and Recreation Committee meeting

Michael Osteen had nothing to report.

Kurt Keesecker noted the upcoming PACC Tech Committee meeting.

Mr. Santoski noted the Free Bridge meeting occurring at Martha Jefferson Hospital

Ms. Lisa Green mentioned the upcoming MPO Technical Committee and ongoing CDBG meetings.

**B. University Report**

Mr. Neuman highlighted the 29North Vortex project occurring in the Architecture School. Also, he reiterated the PACC Tech meeting occurring soon and noted that PACC will meet on February 6<sup>th</sup>.

**C. Chair's Report**

Dan Rosensweig stated the Housing Advisory Committee (HAC) has been meeting as a full body, as well as in subcommittees, to discuss elements of Sec. 34-12 of the City Code. Also, broader discussions are occurring to update Housing Policy #1.

**D. Department of NDS**

Ms. Creasy noted the upcoming Planning Commission Work Session which would focus on PUDs. Following Ms. Creasy's report, Mr. Tolbert approached the Commission to update them on the Context Sensitive Design Resolution.

#### **E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA**

Jack Brown, 1505 Dairy Road, spoke in opposition to the Meadowbrook Flats project. Concerns noted: scale of project, height of structure fronting on Barracks Rd, and organization of buildings on the site, and pedestrian amenities.

Kurt Woerpel, 2021 Spotswood Road, spoke in opposition to Meadowbrook Flats. Concerns noted: lack of future plan for the entire site, pedestrian access, potential negative impact to Meadow Creek, and traffic.

Tim Heaphy, 2028 Barracks Road, spoke in opposition to Meadowbrook Flats and believes that the application is in conflict with the Entrance Corridor Guidelines.

Rachel Harmon, 1852 Westview Road, spoke in opposition to Meadowbrook Flats, noting the project was inconsistent with the entrance corridor guidelines, specifically its height, setback, and pedestrian access.

Holly Mason, 1910 Barracks Road, spoke in opposition to Meadowbrook Flats due to its mass and scale, incompatibility to the surrounding neighborhood, and lack of green space.

Nancy Summers, 1201 Blue Ridge Road, spoke in opposition to Meadowbrook Flats, believing the development would compromise the historic character of the neighborhood.

Bill Niebel, 2707 Eton Road, thanked Ms. Ebony Walden for all her assistance in regard to the Eton Road project.

Carol Hendrickson, 2706 Eton Road, spoke in opposition to the Eton Road subdivision, noting 83 residents of the neighborhood signed a petition in 2012 when the applicant was proposing a PUD.

Morgan Butler, 1500 Jamestown Road, spoke in reference to the Eton Road subdivision, specifically the critical slope component of the project. Speaking on behalf of SELC, Mr. Butler noted it was not their understanding that the current critical slopes ordinance did not apply to by-right residential development.

#### **F. Consent Agenda**

1. Minutes - October 22, 2013 – Joint CC/PC Discussion
2. Minutes - November 12, 2013 – Pre meeting
3. Minutes - November 12, 2013 – Regular meeting
4. Minutes - November 19, 2013 – Joint Council, Planning Commission, PLACE Work session
5. Minutes - November 26, 2013 – Planning Commission Work session
6. Major Subdivision – Eton Road

Mr. Santoski asked to pull item #6, Eton Road subdivision.

Ms. Green made a motion to approve the consent agenda with minor amendments made to the minutes and removal of item #6 to the regular agenda.

Mr. Keesecker seconded the motion.

#### **G. JOINT PUBLIC HEARINGS**

1. **Charlottesville Capital Improvement Program FY 2015-2019:** Consideration of the proposed 5-year Capital Improvement Program totaling \$71,750,289 in the areas of Education, Economic Development, Neighborhood Improvements, Public Safety & Justice, Facilities Management, Transportation & Access, Parks & Recreation, Technology Infrastructure, Stormwater Initiatives and General Government Infrastructure. **Report prepared by Ryan Davidson, Office of Budget and Performance Management.**

Jim Tolbert presented data on CIP projects completed during the last 3 years followed by a presentation of the CIP by Ryan Davidson.

### **Questions from the Commission for staff**

Mr. Rosensweig asked for clarification of the review process.

### **Speakers**

Mr. Rosensweig opened the public hearing.

Rick Zeller, 603 Lexington Ave, spoke on behalf of the Martha Jefferson Neighborhood Association and thanked the Commission for considering traffic improvements in the CIP at Lexington and High Street.

Tom McCrystle, 308 10<sup>th</sup> St NE, would like to see better coordination of services. He doesn't want to see new streets being dug up.

Mark Kavit, 400 Altamont Street, would like to see better coordination on widening and paving of sidewalks. He would also like to know how much money is being proposed for this project.

Mr. Rosensweig closed the public hearing

### **Summary of Discussion**

Ms. Green wanted to make sure there was money allocated to the joint County and City fire range.

Mr. Santoski feels there are conflicting priorities. He asked if we are being diligent on public transit and emergency services vehicle enhancements.

Mr. Keesecker feels more money should be allocated to Economic Development to link to the SIA.

Ms. Sienitsky would also like to see more money allocated to the SIA. She asked if there was money allocated in the CIP for the firing range.

Ms. Keller would like to see smaller fire trucks. She would also like more funding to go to the SIA. She would like funds to go to undergrounding of utilities, connections to SUP conditions and rezoning proffers. She made a request to pay more attention to the North Downtown and Martha Jefferson sidewalk network, as well as enhanced maintenance on the Mall.

Mr. Rosensweig would like to see more funds go towards the SIA. He would also like to see the SIA report match the CHF funding schedule.

### **Motion**

Ms. Sienitsky recommended approval of the CIP as presented to City Council with the following recommendations;

1. To provide funding for the SIA for first year implementation as well as provide funding for future years.
2. Have enough funding for one small area plan in an amount of \$150,000 to \$300,000. Augment substantial funding increase to underground utility funding.
3. Funding of CHF (Charlottesville Housing Fund) consistent with the housing advisory table 8 and list the details that were noted previous.
4. Reallocate funds from the firing range project, if possible not to impact that project.
5. To augment substantial funding increase for underground utilities.

Ms. Keller seconded the motion

Ms. Creasy provided the roll call.

Ms. Keller     yes  
Ms. Sienitsky   yes  
Mr. Osteen     yes  
Mr. Keesecker   yes  
Mr. Santoski    yes  
Ms. Green       yes  
Mr. Rosensweig  yes

Motion passes

1. **Spot Blight Abatement (Landmark Hotel):** A request for the Planning Commission to make findings and recommendations to City Council concerning the repair or other disposition of the property located at 201 East Water Street, which has been determined to be a blighted property pursuant to City Code Article V, Division 5. The property is identified on the City Real Property Tax Maps as Tax Map 28 Parcel 31, having frontage on West Water Street and containing approximately 0.2760 acres. **Report prepared by Jim Tolbert, NDS Director.**

Mr. Tolbert presented the staff report.

#### **Questions from the Commission for staff**

Commissioners asked for clarification of the historic marble wall, its structural integrity and whether a structural report could be required of the property owner. The Commissioners additionally asked about installing security cameras and the details associated with the proposed fencing of the property. Commissioners also asked if Council could compel the property owner to authorize law enforcement right of entry.

The property owner, nor a representative of the owner, was in attendance.

Mr. Rosensweig opened the public hearing

#### **Speakers**

Mark Kavit, 400 Altamont Street, spoke in favor of securing the property and was in support of deeming the property blighted.

Michael Williams, 101 3rd St SE, spoke in favor of the City doing what needed to be done in order to ensure safety of the site and adjacent buildings.

Bob Stroh, 1412 Kenwood Lane, representing Charlottesville Parking Center and the Downtown Business Association, encouraged the Commission to determine this property as a blighted property and take the most aggressive approach available to protect the public.

Janet Yance, Gleason Building, spoke on the danger of the building in its current state. She feels this building is very dangerous.

Jill Williams, 101 3<sup>rd</sup> St SE, was concerned about the debris from the structure and the many entries to the building that allows people to get in that shouldn't be in the building.

Mr. Rosensweig closed the public hearing

## **Summary of Discussion**

All Commissioners agreed that the property was blighted; however, the Commission was split between option #1 and option #2. Ms. Robertson provided clarification to the Commission on their review and the evaluation they could make on the structure's current impact to the health, safety, and welfare of the public. The Commission continued to deliberate various scenarios and timelines in which to secure the structure, inspect its structural integrity, and evaluate following the study.

## **Motion**

Ms. Green made a motion to recommend the property at 201 Water Street a blighted property based on the finding that it fits within the definition of a blighted property as outlined in Code Section 5-192.

Ms. Keller seconded.

Ms. Creasy provided the roll call.

Ms. Keller       yes  
Ms. Sienitsky   yes  
Mr. Osteen       yes  
Mr. Keesecker   yes  
Mr. Santoski    yes  
Ms. Green        yes  
Mr. Rosensweig  yes

Motion approved 7-0

Ms. Sienitsky made the motion to recommend approval of the remediation plan noted in Option 1. In addition, the full building must be weatherized within 30 days and evaluation of the historic portion of the building occur for structural concerns and appropriate remediation taken in consultation with the BAR.

Mr. Osteen seconded.

Ms. Creasy provided the roll call.

Ms. Keller       yes  
Ms. Sienitsky   yes  
Mr. Osteen       yes  
Mr. Keesecker   yes  
Mr. Santoski    yes  
Ms. Green        yes  
Mr. Rosensweig  yes

Motion approved 7-0

Mr. Keesecker made the motion to recommend a longer term remediation plan for the site requiring that the applicant provide a structural report by a Virginia licensed professional for the building with the first report provided within 90 days. Following that submission, every four months an updated report must be provided for the entire building. Upon finding of a structure concern, it would be schedule for a Commission meeting. Information reports will be forwarded to the Planning Commission regularly.

Mr. Santoski seconded.

Ms. Creasy provided the roll call.

Ms. Keller       yes  
Ms. Sienitsky   yes

Mr. Osteen    yes  
Mr. Keesecker yes  
Mr. Santoski   yes  
Ms. Green     yes  
Mr. Rosensweig yes

Motion passes

1. **ZM-13-07-11 -Water Street PUD:** An application to rezone the vacant parcel adjacent to Water Street from Downtown Extended (DE) Mixed-Use Corridor with Individually Protected Property Overlay (portion) to Planned Unit Development (PUD) with Individually Protected Property Overlay (portion) with proffers. Proffers include a contribution to the City’s Affordable Housing fund and dedication of property to the City. The parcel is bordered by CSX Railroad to the south, 10<sup>th</sup> Street commercial properties to the west, commercial properties fronting along E. Market Street to the north, and the City Walk project to the east. The property is further identified as Tax Map 57 Parcel 157A having road frontage on Water Street and containing approximately 91, 911 square feet of land or 2.11 acres. The PUD zoning allows an applicant to present a proposal independent of established zoning categories for consideration by the governing body. This proposal consists of 24 single-family dwelling units. The general uses called for in the Land Use Plan of the 2013 Comprehensive Plan are for Mixed Use. **Report prepared by Michael Smith, Neighborhood Planner.**

The report was presented by Michael Smith.

**Questions from the Commission for staff**

Ms. Keller was concerned there was a lack of architectural standards noted in the PUD application and wondered how more clear standards could be expressed in the application. Additionally, Councilors questioned the availability of open space and visibility of the units. Councilors and Commissioners also questioned the function of the proposed donation of open space within the proffer statement.

**Applicant’s Presentation**

Allen Taylor, Riverbend Associates, gave a presentation on the project. He also explained how the development will be keeping with the Downtown Corridor. They will also be giving \$100,000 to the affordable housing fund.

**Questions from the Commission for the applicant**

The Commission had concerns with the road and asked if the project could withstand losing one house. They also asked about parking and landscaping. Members of City Council had concerns with the alley and how the trash would be collected. City Council also asked about storm water management being a part of the site plan. The Commission asked about design continuity and how many houses would actually be on the side of the coal tower. City Council asked if there were any type of utility conflicts.

Mr. Rosensweig opened the public hearing

**Speakers**

Bruce Odell, 878 Locust Ave, thanked the applicant for being available and briefing the community on the development. He listed concerns that they had and hoped that the Planning Commission would take their concerns into consideration.

Judy Zeigler, 200 Douglas, had concerns with the City Walk development and the PUD. She feels with these two developments in the works, the Coal Tower needs some attention.

Mr. Rosensweig closed the public hearing



## Summary of Discussion

The Planning Commission feel this is one of the more appropriate PUD's they have seen in a long time. They would like to see the noise ordinance on construction allowances reviewed. They have concerns with houses being near the Coal Tower and not having any on street parking. They feel that having an HOA is very important. It was noted that concrete between the houses is not really environmentally safe and concerns were raised with the open space and would like to see it utilized better.

## Motion

Mr. Keesecker moved to recommend the approval of this application, including submitted proffers, to rezone the subject property from Downtown Extended Mixed-Use (DE) with Individually Protected Property Overlay to PUD with Individually Protected Property Overlay, on the basis that the proposal would serve the interests of the general public welfare and good zoning practice.”

Ms. Sienitsky seconded the motion

Ms. Creasy provided the roll call.

Ms. Keller	yes
Ms. Sienitsky	yes
Mr. Osteen	yes
Mr. Keesecker	yes
Mr. Santoski	yes
Ms. Green	no
Mr. Rosensweig	yes

Motion passes

- 1. SP-13-10-19 (1000 West Main Street):** An application for a special use permit for a mixed use development pursuant to City Code sec. 34-641, to allow for increased residential density of up to 193 units per acre, instead of the 43 units per acre allowed by right; and pursuant to City Code sec. 34-637(b) to allow an additional 31 feet in height, in addition to the 70 feet allowed by right. The subject property has an address of 1000 West Main Street, and consists of approximately 1.2777 acres of land fronting on West Main Street and Roosevelt Brown Boulevard. The subject property is further identified on City Real Property Tax Map 10 as Parcels 68 and 70. The subject property is zoned WMS (West Main Street South Corridor) with Architectural Design Control Overlay District, and Parking Modified Zone. The Land Use Plan generally calls for Mixed Use. **Report prepared by Brian Haluska, Neighborhood Planner.**

The report was presented by Brian Haluska.

## Questions from the Commission for staff

Commissioners had concerns with the zoning of West Main, when the zoning was determined and if any of the current or past projects had utilized the zoning. They asked if the traffic study would address the left turn lane and what comments had been provided by the West Main consultants.

City Council has issues with the way 10<sup>th</sup> St is being designed and if pedestrian friendly measures are being taken on Main Street. They asked what type of mix use would go into the development.

## Applicant's Presentation

The applicant gave a presentation and answered concerns. They outlined the type of retail expected in the development.

## Questions from the Commission for the applicant

Concerns from Commissioners include: had there been a market rate analysis done on student housing in the area and questions about the maximum height and setbacks.

Mr. Rosensweig opened the public hearing

**Speaker**

Jim Morris, 520 Woodlands Road, was supportive of the project.

Christopher Murray, 1217 Hazel Street, feels the project will be senior friendly and although they are unable to live there now, it is nice to know in the future that they can.

Joe Bonistalli, 455 Valley Circle, feels this is the answer to the complaint from the community of the market to want to rent to UVA students and not having housing for families.

Gordon Walker, 1512 East Market Street, feels this project will allow other property owners to convert units away from students and free up housing for UVA employees and their families

James Treakle, Park Street, feels that this project and the other two will bring more people downtown and will make West Main and Downtown more vibrant.

Dick Gibson, 1431 Grove Road, would like for Commissioners to support the project. He is the Chair of JABA and they have looked into the project and feel it will be great for the area.

Marta Keane, Earlysville, Va, is in support of the project. She feels with the increase in student population and faculty at UVA that this project is greatly needed.

Craig VanderLinde, feels the building will be great and it will not have a great impact on West Main. He likes the fact that students will be concentrated.

Bob Perkins, 514 West Main Street, owns a few properties on West Main and feels there are only overpriced restaurants there. He would love to see more people there to give back to West Main.

Otist Amory for JD Shisler, 901 Rugby Road, Mr. Shisler has lived in Charlottesville his entire life. He remembers when West Main was a thriving place. He now feels there is nothing there and this project will bring more vibrancy to the area.

Donna Deloria for Ivy Land Trust and U Station LLC, noted they are in favor of height, density and economic vitality.

Thomas Harkins, Earlysville, VA, is representing The University of Virginia. He noted some concerns that the University has with the project.

Stewart Kessler, stated that West Main used to be gasoline alley. He feels this project is right for this area. He agrees with the height and density.

Ivo Romenesko is in favor of the project. He would like to see rentals pulled out of residential neighborhoods and he feels this will do it.

Mr. Rosensweig closed the public hearing

**Summary of Discussion**

The Commissioners would like to see a reduction in the number four bedroom units. They would also like to see a traffic study done and see a more diverse type of housing in this project. They have concerns on how this development would affect the University as well as the height, traffic and street activity.

## Motion

Mr. Keesecker moved to recommend approval of this application for a special use permit for additional height and density in the West Main South zone for 1000 West Main Street, with the conditions listed in the staff report with the following amendment of changes:

1. The applicant will complete a traffic study to help identify and eliminate impact on emergency vehicle access to UVA hospital.
2. The applicant will complete a traffic study that will take into account the cumulative account proposed developments adjacent to them during both construction and occupancy.
3. The applicant will complete an airflow study of the site as written in the report
4. The applicant will complete all filings with federal aviation administration to ensure the building and its construction doesn't interfere with the operation of the helipad for the UVA medical center.
5. The applicant will show in the site plan how the loading and unloading to support the commercial space will be accomplished internal to the site.
6. The applicant will confirm with the City of Charlottesville on an annual basis that they have provided civil seminars to their residents.

Mr. Osteen seconded the motion

Ms. Creasy provided the roll call.

Ms. Keller	No
Ms. Sienitsky	No
Mr. Osteen	Yes
Mr. Keesecker	Yes
Mr. Santoski	No
Ms. Green	No
Mr. Rosensweig	Yes

Motion was denied

Ms. Keller feels that she would be able to support this if there was a condition added concerning the number of four bedroom units were reduced.

Ms. Green moved to recommend approval of this application for a special use permit for additional height and density in the West Main south zone for 1000 West Main Street, with the following conditions:

1. The applicant will complete a traffic study that will take into account the impacts on emergency vehicle access to the University Hospital.
2. The applicant will complete a traffic study that will take into account the cumulative effect of proposed development on the streets immediately adjacent to the site.
3. The applicant and the University of Virginia will collaborate on an airflow study of the site and surrounding properties to ensure that the operation of the existing buildings adjacent to the proposed structure will not suffer because of the construction of the building. Additionally, the study should ensure that exhaust from the adjacent generators can be accommodated without impacting the residents of the proposed development.
4. The applicant will complete all required filings with the Federal Aviation Administration to ensure that the building and the construction of the building does not interfere with the operation of the heliport at the University Medical Center.
5. The applicant shall in the preliminary site plan demonstrate how the loading and unloading of deliveries to support the commercial space can be accomplished internal to the site.
6. Confirm with the city annually that the residents have received safety and civil living information.
7. The number of four bedroom units will be reduced by 25%. (Reduction from 106 4-bedroom units to 80 4-bedroom units)."

Ms. Keller seconded the motion

Ms. Creasy provided the roll call.

Ms. Keller Yes

Ms. Sienitsky Yes

Mr. Osteen Yes

Mr. Keesecker Yes

Mr. Santoski No

Ms. Green Yes

Mr. Rosensweig Yes

Motion was approved

- 1. CP-13-11-20: (Comprehensive Plan Amendment)** - The Planning Commission and City Council will jointly conduct a public hearing on a proposed amendment to the 2013 Comprehensive Plan to include the contents of the Strategic Investment Area (SIA) Plan (dated November 26, 2013) as supplemental provisions of the plan. The SIA plan provides guidance for the future redevelopment and investment, including improvements to affordable housing, multimodal connections and employment opportunities for an area of the city (the Strategic Investment Area, or "SIA") inclusive of property bounded by the CSX Buckingham Rail Line, Rialto Street, Ridge Street and Palatine Avenue, extending north to include an area bounded by East High, 8<sup>th</sup> Street NE and 10<sup>th</sup> Street in total containing approximately 330 acres. The SIA includes portions of the following neighborhood planning areas: Belmont, Martha Jefferson, Ridge Street, Fifeville and North Downtown. The SIA implements one of the small area plans referenced in the implementation chapter of the 2013 Comprehensive Plan and the guidance referred to in the SIA Plan will supplement, and in some cases will amend and supersede, the existing Comprehensive Plan recommendations for portions of those neighborhoods. The SIA Plan, including a map of the areas affected, may be viewed at <https://www.charlottesville.org/index.aspx?page=3409> City Council has referred the SIA Plan to the Planning Commission, for the Commission's review as a proposed Comprehensive Plan Amendment. Following the joint public hearing the Planning Commission may recommend to City Council that it should approve the SIA Plan as presented, make recommendations for changes to the SIA Plan and recommend approval of the SIA Plan with the recommended changes, or disapprove the proposed SIA Plan as a Comprehensive Plan amendment. **Report prepared by Jim Tolbert, Director.**

The report was presented by Jim Tolbert

Mr. Rosensweig opened the public hearing

### **Speakers**

Ludwig Kuttner, Keene VA, owner of the IX Property, feels the SIA is a great project and he is looking forward to what is being done.

Mr. Rosensweig closed the public hearing.

### **Summary of Discussion**

They were really impressed with the SIA report and hope they are able to enjoy and benefit from the study.

### **Motion**

Ms. Keller moved to recommend approval of the amendment to the comprehensive plan of the SIA plan of 2013 along with the goals and objectives.

Mr. Santoski seconded the motion

Ms. Creasy provided the roll call.

Ms. Keller     yes  
Ms. Sienitsky   yes  
Mr. Osteen     yes  
Mr. Keesecker   yes  
Mr. Santoski    yes  
Ms. Green       yes  
Mr. Rosensweig  yes

Motion was approved

H. Entrance Corridor Review  
    a. Meadowbrook Flats

Mr. Rosensweig gaveled out of the Planning Commission meeting and into the meeting of the Entrance Corridor Review Board for this application.

Ms. Creasy provided the staff report

**Questions from the Commission for staff**

They asked for an explanation to what they are recommending and what part zoning plays in their decision.

**Applicant's Presentation**

The applicant came forward and answered all questions and concerns that the Commissioners had. He explained that an updated application and comments that were made.

**Questions from the Commission for the applicant**

They have concerns with how the buildings relate to each other on the site and how they will affect the entrance of the site.

**Summary of Discussion**

Some Commissioners do not have concerns with the extra traffic on Emmet and Barracks Rd. They feel if traffic can't be put there where else could they put traffic. This area will be the only area that will be able to take the building size if zoning allows it. They feel this project is not suitable for the area and don't see this project moving forward. The guidelines were not addressed appropriately. They feel the entire site should not be developed.

The applicant requested a deferral from the Planning Commission and the Commission has granted the applicant a deferral.

Mr. Rosensweig gaveled out of Entrance Corridor and back into the regular meeting.

**Return to the item pulled from Consent**

1. Major Subdivision – Eton Road

Ebony Walden provided the report

**Questions from the Commission for staff**

They had concerns to whether there was a conflict with the subdivision ordinance and the E & S ordinance.

**Applicant's Presentation**

The applicant wasn't prepared to present a presentation, but he offered to answer any questions that may arise.

**Summary of Discussion**

Commissioners have a lot of concerns with different issues and some feel they are unable to approve this. They would like confirmation that a critical slope is not being disturbed.

Ms. Robertson explained the way the motion could be worded to protect critical slopes.

**Motion**

Mr. Santoski made a motion to recommend approval subject to verification that each building site is outside of critical slopes and the final plat comes back to the Planning Commission for final review.

Ms. Green seconded the motion.

Ms. Creasy provided the roll call.

Ms. Keller	No
Ms. Sienitsky	Yes
Mr. Osteen	No
Mr. Keesecker	Yes
Mr. Santoski	Yes
Ms. Green	Yes
Mr. Rosensweig	Yes

Motion was approved

Ms. Green made a motion to adjourn to the second Tuesday in February

MINUTES  
PLANNING COMMISISON MEETING  
March 11, 2014  
CITY COUNCIL CHAMBERS

**Commissioners Present:**

Mr. Dan Rosensweig-Chairperson  
Mr. Kurt Keesecker-Vice Chairperson  
Ms. Genevieve Keller  
Mr. Michael Osteen  
Ms. Lisa Green  
Mr. John Santoski

**Staff Present:**

Ms. Missy Creasy, AICP, Planning Manager  
Ms. Mary Joy Scala, AICP, Preservation and Design Planner

**Also Present**

Mr. David Neuman, Ex-officio, UVA Office of the Architect  
Ms. Lisa Robertson, Chief Deputy City Attorney

**II. REGULAR MEETING**

**A. COMMISSIONERS' REPORTS**

Ms. Green-No report

Mr. Santoski-No report

Mr. Keesecker-No report

Mr. Osteen attended the regular BAR meeting and he announced the new projects that they will be looking at. He attended the Tree Commission meeting and noted they will have 4 vacancies in the next few months.

Ms. Keller gave a brief report on West Main small area planning. She stated there was a West Main presentation at the library on "Placemaking" and the attendance was great.

**B. UNIVERSITY REPORT**

Mr. Neuman reminded everyone that the students were on spring break. He announced there will be a neighborhood meeting concerning West Main and they have invited the three new student housing developers in addition to the usual attendees.

**C. CHAIR'S REPORT**

Mr. Rosensweig announced that he attended the HAC meeting and gave a brief description on items that were discussed. He also explained the reason why there have not been work sessions so far this year, and noted that we are back into the swing of things and will be really busy in the coming months.

**D. DEPARTMENT OF NDS**

Ms. Creasy reminded the Planning Commission that the material for the March work session went out and homework needs to be completed and turned in by next Tuesday.

**E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA**

No one was there to speak.

**F. CONSENT AGENDA**

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - January 14, 2014 – Regular meeting
2. Minutes - February 11, 2014 – Regular meeting
3. Site Plan – 1000 West Main Street

Ms. Keller made a motion to approve the Consent Agenda with item 1 being pulled.

Mr. Keesecker seconded the motion.

By acclamation the Consent Agenda was approved.

**G. PLANNING AWARDS**

Mr. Rosensweig announced the winners and Mr. Keesecker and Ms. Creasy presented the awards as follows:

NDS Staff Member of the Year  
2014 Winner: Kathy McHugh

The Herman Key, Jr., Access to the Disabled Award  
2014 Winner: Jim Herndon

The Eldon Fields Wood Design Professional of the Year  
2014 Winner: Cunningham Quill Architects

Neighborhood of the Year  
2014 Winner: West Main

Outstanding Neighborhood Effort  
2014 Winner: Strategic Investment Area (SIA)

Outstanding Plan of Development  
2014 Winner: Jefferson School City Center

Citizen Planner of the Year  
2014 Winner: Bill Emory

Outstanding Sustainable Development  
2014 Winner: City Schoolyard Garden



All winners were congratulated and it was noted that Council would recognize the winners at its April 7<sup>th</sup> meeting.

Mr. Rosensweig announced that he would gavel into the Entrance Corridor Review Board and start review of the application. Once members of City Council, arrive we will go back to the public hearing and continue the Entrance Corridor item at the end of the meeting.

a. Fulton Bank

Ms. Scala provided the staff report.

**Questions from the Commission**

Ms. Green asked for an explanation as to what street trees the applicant were referring to and Ms. Scala stated that one tree would have to be removed because of sight distance and the others on Hydraulic Road would actually work. Ms. Green asked if the street trees and sidewalk were reversed would they affect any power lines that are there and Ms. Scala said they would not.

Valerie Long, 321 East Main St representative for the applicant was there to answer any questions concerning traffic issues and any other questions they may have.

Due to City Council presence, Mr. Rosensweig gavelled out of the Entrance Corridor Review Board and back into the Planning Commission meeting for the hearing.

**H. JOINT PUBLIC HEARINGS**

- 1. Community Development Block Grant (CDBG) and HOME Funding—2nd Year Action Plan, FY 14-15:** The Planning Commission and City Council are considering projects to be undertaken in the 2nd Year Action Plan of the multi-year Consolidated Plan utilizing CDBG & HOME funds for the City of Charlottesville. In Fiscal Year 14-15 it is expected that the City of Charlottesville will receive about \$400,000 for Housing and Community Development needs and \$66,000 in HOME funds for affordable housing from HUD. CDBG funds will be used in the City to conduct facility improvements, improvements to the ‘Block by Block’ section of 10th and Page, Economic Development activities, and several programs that benefit low and moderate income citizens. HOME funds will be used to support the housing needs of low and moderate income citizens. **Report prepared by Melissa Thackston, Grants Coordinator.**

Mr. Rosensweig announced that he would be recusing himself due to the fact that he is the director of Habitat for Humanity and they have an application under consideration. He turned the meeting over to Mr. Keesecker the Vice Chairperson and then left the room.

Ms. Creasy provided the staff report.

Ms. Green was on the Task Force and she stated that as they reviewed the applications, they were looking at getting the best bang for their buck. They looked at past years allocations and how the money was utilized as well as how many people were being helped with the least amount of dollars.

**Questions from Council**

Ms. Szakos asked if the IDA application was targeted at a specific neighborhood or available city wide. Ms. Creasy replied by saying there were a lot of funds that were targeted in the block by block program (10<sup>th</sup> and Page area) and it has been allocated for that, but the specifics of what that may be has not been determined.

Ms. Szakos asked about Abundant Life noting that they only target a specific area. Ms. Creasy stated that IDA stands for Individual Development Account and it is a matching program where an individual puts money in and it is matched. The funds can go towards education as well as some homeowner expenses as long as clients meet the income requirements. It was later clarified that the contract would be set so it would be available city wide.

Ms. Keller asked if this was consistent with past neighborhoods and had funds been made available to other neighborhoods because there were funds available and this is city wide. Ms. Creasy stated that this is part of a social program and those applications are submitted for many types of things.

Mr. Keesecker opened the public hearing.

Edith Goode, 305 2<sup>nd</sup> Street, stated that she is a member of PHAR and she would like them to be considered in the CDBG action plan.

With no one left to speak Mr. Keesecker closed the public hearing.

Mr. Keesecker asked for discussion or a motion.

Ms. Keller made a motion to recommend approval to City Council for the Community Development Block Grant and HOME funding for the second year action plan for 2014-2015.

Mr. Santoski seconded the motion.

Ms. Creasy asked if the reallocation of the program funds can be added to the motion.

Ms. Keller accepted the amendment.

Mr. Santoski seconded the motion with the amendment.

Ms. Keller thanked Lisa for the effort she put into being on the Task Force.

Mr. Keesecker called the question.

- Ms. Keller Yes
- Mr. Osteen Yes
- Mr. Santoski Yes
- Ms. Green Yes
- Mr. Keesecker Yes

Motion passes.

**IV. REGULAR AGENDA (continued)**

H. Entrance Corridor Review  
a. Fulton Bank (901 Seminole Trail)

Mr. Rosensweig gaveled out of the Planning Commission meeting and into the Entrance Corridor Review Board. They resumed the discussion from earlier in the meeting.

**Questions from the Commission**

Mr. Osteen had a question related to design principle # 1 and wanted to know how the applicant felt about this principle.

Ms. Long stated that the applicant has worked really hard with Ms. Scala to ensure they are meeting all of the design guidelines and receive as much feedback as possible.

Mr. Osteen asked about the design elements included in this building and Ms. Long said that she could not speak to that, but she does know that with meeting with staff, they have flushed out some of the design elements.

William Krebs with Fulton Bank stated that this design for this location is one of a kind. They have taken elements from other sites but this design is different from their other banks in Virginia.

Ms. Green feels this branch is a large building for the amount of tellers and asked if they saw this branch as more of a drive-thru branch. Mr. Krebs stated that they didn't see it that way. The bank is half retail banking and the other half is mortgage. Retail meaning teller services such as making deposits, cashing checks and money withdraws. He stated that the mortgage side and the retail side have different hours.

Ms. Green wanted Ms. Scala to explain the addition of the new lane the City of Charlottesville is proposing and taking of some of the applicant's property. Ms. Scala said that she thinks it will be another right turn lane but she is not sure.

Mr. Graham Perry has seen the plans, but really can't remember the layout. He is pretty sure there will not be three right turn lanes.

Mr. Rosensweig asked what made the applicant push the building back to its maximum setback. He asked if the circulation was necessary or could the building be pushed back closer to the street. Mr. Perry stated that the circulation was necessary. With speaking with the City attorney and planners, they felt it was necessary to come around the building due to the odd shape of the property. Losing acreage due to the Hydraulic Road expansion it made it difficult to put a building on this property in any other location.

Ms. Long explained that the circulation lane was only one way.

**Discussion**

Ms. Green stated that she knows they can't consider the road design, but she hopes our engineering department really takes a look at this. She knows that it used to be a bank before, but we are in a different time now and we have more traffic and more developments.

Mr. Perry said that Jared Buchanan, city assistant traffic engineer stated that the volumes of traffic would not present a problem.

Mr. Osteen has a problem with the building type. He feels it looks like a strip mall.

Ms. Keller feels that with the design she is seeing today that it is not showing a signature design at the intersection. She feels that it is our duty to preserve history and when the building was built in the late 60's or 70's it gave that intersection a signature look.

Ms. Long stated that they are looking for feedback on design of the building and they will take this back and do what is asked.

The Commission gave suggestions on what they feel would be a signature building in the area.

Mr. Santoski feels the applicant should accept Mr. Osteen's offer to work with the applicant to provide a better design.

Mr. Perry asked for guidelines on flipping the trees having them as street trees and doing what staff has recommended and the Commission agreed.

The applicant asked the Commission for a deferral and they accepted the applicants request for a deferral.

Mr. Rosensweig gaveled out of the Entrance Corridor Review Board back into the Planning Commission.

Ms. Keller made a motion to adjourn to the second Tuesday in April and Ms. Green seconded the motion.

All in favor.

Motion passes

**CITY OF CHARLOTTESVILLE  
PLANNING COMMISSION PRE MEETING  
TUESDAY, April 8, 2014 -- 4:30 P.M.  
NDS CONFERENCE ROOM**

**Planning Commissioners present**

Mr. Dan Rosensweig, Chair  
Ms. Genevieve Keller  
Ms. Natasha Sienitsky  
Mr. John Santoski  
Ms. Lisa Green  
Mr. Michael Osteen

**Staff Present:**

Mr. Jim Tolbert, Director  
Ms. Missy Creasy, Planning Manager  
Mr. Doug Ehman, Parks Division Manager  
Mr. Marty Silman, Assistant City Engineer  
Ms. Mary Joy Scala, Preservation Planner  
Ms. Lisa Robertson, Chief Deputy City Attorney

The Commission began to gather at 4:30 and was called to order at 5:00pm.

Lisa Robertson provided background and overview of the Water Resources related code updates. Her update included background on required updates to Chapter 10 and the needed updates to Chapters 29 and 34 to address those changes. Lisa Green noted that this type of review occurs regularly at the County. Ms. Robertson denoted the needed changes to the review processes can allow the City to comply with state regulations. Some commissioners noted that it was difficult to determine which changes were required to meet state code compliance and what were extra changes. It was noted that none of these changes were required by the state however without the changes, we could not effectively implement the changes which are required.

The discussion adjourned at 5:25pm.

MINUTES  
PLANNING COMMISISON MEETING  
April 8, 2014  
CITY COUNCIL CHAMBERS

**Commissioners Present:**

Mr. Dan Rosensweig (Chairperson)  
Ms. Genevieve Keller  
Ms. Natasha Sienitsky  
Ms. Lisa Green  
Mr. John Santoski  
Mr. Michael Osteen

**Staff Present:**

Ms. Missy Creasy, AICP, Planning Manager

**Also Present**

Ms. Lisa Robertson, Chief Deputy City Attorney

**Not Present**

Mr. David Neuman, Ex-officio, UVA Office of the Architect

Mr. Rosensweig called the meeting to order.

**A. Commissioner's Report**

Genevieve Keller announced that the TJPDC had hired an Executive Director and his is name is Chip Wells from Baton Rouge, LA.

Natasha Sienitsky attended the parks and recreation monthly meeting and a number of topics were discussed including the Rives Park upgrade timeline and the McIntire Park East master plan.

Mr. Osteen attended the BAR monthly meeting and several projects were discussed and approved such as the Regal Cinema renovation and the details and material for 1000 West Main. There was an application for renovations to a fraternity house that was approved that had support from neighbors. He also attended the meeting of the Tree Commission and many projects are moving forward.

Mr. Santoski attended the Free Bridge meeting and they will be coordinating a walk from Riverview Park. He will keep everyone posted on the date.

Ms. Green stated that the MPO has not met, but will be meeting in May and she will have a report at that time.

**C. Chair's Report**

Mr. Rosensweig attended the Housing Advisory Committee meeting on March 19<sup>th</sup>. The committee reviewed the draft revision of the Housing Policy Report, which outlines the guidelines for awarding housing funds. He stated that the items that were discussed were sent to the subcommittee and they will meet next Tuesday to

discuss. Mr. Rosensweig stated the March 25<sup>th</sup> work session was postponed and will take place this evening after the regular meeting. He reminded everyone of the panel discussion on April 22, 2014.

#### **D. Department of NDS**

Ms. Creasy added that after the panel discussion there will be another viewing of the webinar on Complete and Green Streets.

#### **E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA**

There was no one present to speak.

#### **F. Consent Agenda**

1. Minutes - January 14, 2014- Regular meeting
2. Minutes - March 11, 2014 – Pre meeting
3. Minutes - March 11, 2014 – Regular meeting
4. Zoning Text Initiation-Water Resources Regulatory Updates

The Commission would like to pull item # 1.

Ms. Sienitsky made a motion to approve the consent agenda with item # 1 being pulled.

Mr. Osteen seconded the motion.

By acclamation the motion passes.

#### **G. Rives Park Master Plan Amendment-Presentation and Comment.**

Mr. Ehman explained to the Commission that the amendment requires no action this evening and any comments provided will be forwarded to City Council. He went over the changes proposed to Rives Park by the parks and recreation advisory committee after input from public meetings.

#### **Discussion and Concerns**

The Commission has concerns with maintaining community gardens in that park due to the proximity of residences. Commissioners provided additional input which was to be included in a memo forwarded to Council.

#### **H. JOINT PUBLIC HEARINGS**

**1. ZT-14-03-01 – Water Resources Updates – Zoning Ordinance:** An ordinance to amend and reordain § 34-827 and § 34-828 of the Zoning Ordinance of the City of Charlottesville, to reflect new procedures and requirements of the City’s local Virginia storm water management program (VSMP) and to provide for the integration of the VSMP with the City’s procedures for approving development which requires site plan approval. Pursuant to revised § 34-827 preliminary site plans will need to include a concept plan and information describing how the VSMP requirements of Chapter 10 of the City Code will be achieved, and pursuant to revised § 34-828 final site plans will need to include the details and specifications required by Chapter 10 of the City Code for an approved storm water management plan.

**2. SO-14-03-02 – Water Resources Updates – Subdivision Ordinance:** An ordinance to amend and reordain §§ 29-2, 29-76, 29-111, 29-161, 29-202, 29-231, 29-232, and 29-260 of the Subdivision Ordinance of the City of Charlottesville, to reflect new procedures and requirements of the City’s local Virginia storm water

management program (VSMP) and to provide for the integration of the VSMP with the City's procedures for approving subdivision and development of land, and coordination of both processes with the requirements of the City's local Virginia Erosion and Sediment Control Program (VESCP). Preliminary subdivision plats will need to include a concept plan and information describing how the VSMP requirements of Chapter 10 of the City Code will be achieved, and final subdivision plats will need to include the details and specifications required by Chapter 10 of the City Code for an approved storm water management plan. The amendments to clarify the timing of subdivision approvals and the approvals required by Chapter 10, to clarify the

Mr. Rosensweig announced that the items in the joint public hearing will be considered together.

Ms. Lisa Robertson provided the report.

Mr. Santoski asked if the word "subdivider" would only be used in some places and replaced with "developer." Ms. Robertson stated that those terms can be used interchangeably. She explained how the person that brings in the application may not necessarily be the developer.

Ms. Keller asked when the word "developer" is used in the document does it mean something specific and Ms. Robertson stated no, that she just used the same language from the enabling legislation to make it consistent.

Ms. Keller asked if the Planning Commission would be responsible for clarifying the difference between the developer and the subdivider in their definitions to make it clear that those terms are interchangeable. Mr. Rosensweig stated that the question would be parked for later discussion.

Ms. Keller asked where manmade is referenced, do we need to use that term or can we use a gender neutral term. Ms. Robertson said that is a term used for erosion sediment and storm water management.

Mr. Rosensweig stated that in section 202-A he wanted to address a few languages choices to see if they were from state code. Minimizing disturbance seems a little objective. He also expressed concern with the term natural drainage area. Was there a conscious choice to make it natural drainage area and not streams? Ms. Robertson asked for Mr. Silman's assistance in answering the question. Mr. Silman stated that a natural drainage area is where at a certain point an area receives drainage.

Mr. Rosensweig asked if there was another place in the code where natural drainage areas are being protected and Ms. Robertson stated that they are trying to get as much information on the topographic sites. They are requiring applicants to provide a topographic survey that identifies specific things.

Mr. Rosensweig stated that it is not just identifying, it is minimizing the disturbance. Ms. Robertson stated that the statement can be changed.

Most of the Commission like the term natural drainage and would like to keep it.

Mr. Rosensweig asked a question about 29-11 - are landscape architects allowed to make the same decisions as an engineer and Ms. Robertson said the legislation allows for that in this case. Ms. Keller asked Mr. Osteen to clarify that they are now registered and not certified and he stated that was correct. Ms. Keller feels the state terms should be used for those professions used by the state of Virginia and she made that recommendation.

### **Questions from Council**

Ms. Szakos asked about Ms. Robertson's answer to 29-202 - she felt the answer was more about the drainage rather than the area that was being protected and she was wondering if the word "area" could be removed. Ms. Robertson stated that it could be taken out.



Mr. Rosensweig opened up the public hearing and with no one to speak he closed the public hearing.

Ms. Green feels this is less challenging since she does this every day.

Ms. Green moved to recommend that City Council adopt the amendments to the city's subdivision ordinance and zoning ordinance as presented ZT-14-03-01 and SO-14-03-02 to also include the definition of developer, subdivider and to include the language from the state code 29-11-2, where it notes who should prepare the materials for state storm water management (by an engineer or a landscape architect) and mimic the state requirements as to who can submit the requirements and define that the proposed amendments define for public necessity and public general welfare in compliance with state law and regulations.

Ms. Sientisky seconded the motion

Ms. Creasy called the roll

Ms. Keller Yes

Ms. Sientisky Yes

Mr. Osteen Yes

Mr. Santoski Yes

Ms. Green Yes

Mr. Rosensweig No

The motion passes.

1. Entrance Corridor Review

- A. Country Inn & Suites (1600 N. Emmett Street)

Ms. Scala provided the staff report.

Ms. Keller asked for clarification of the signage and gable. Ms. Scala stated that the gable is there to accommodate the sign.

Ms. Green asked what color the building would be and Ms. Scala stated that most of the building will be a cream color. She also asked if there will be a lighted path on the Emmet St. sidewalks to accommodate people walking up the street and Ms. Scala stated that the applicant would have to answer that.

Mr. Santoski asked if the exit ramp would keep straight across the intersection and Ms. Scala stated no.

The applicant, Julia Skare, from Draper Aden and Associates was present and addressed the questions the Commission had asked. She stated that the property in question had been divided and a parking agreement will not be needed.

Mr. Osteen feels a more robust landscape plan is needed. He would like to see some large trees on the site.

The applicant stated that it's a small hotel and they are trying to get more bang for their buck. They will make Emmet St. more pedestrian friendly. They don't want to see too many colors used on the hotel.

Ms. Green would like to see the Emmet Street side be more appealing. She feels this is a major thoroughfare and would love to see something better on that façade.

Ms. Keller agrees with the staff report and she would like to see the sidewalk separated from the trees and the sidewalk. She is also critical of the use of the brick design. She would like to see Emmet St beefed up a little with the landscaping and design. Maybe creating some bays on the building would be better.

Ms. Sientisky agrees with the staff report and Ms. Keller about the sidewalks.

Mr. Santoski feels the sidewalk will not be a deal breaker, but he would love to see more done with the back of the building.

Mr. Rosensweig feels there is consensus for a deferral, but would like to provide some clear guidance for the applicant, which includes a more robust landscape plan that includes verticality on the south west corner and also trees buffering the bypass ramp from the building. Have planters through the parking lot to soften the asphalt and create a pedestrian connection between Emmet St and create a dual entrance to the building to make it look like an entrance to the building.

The applicant requested a deferral and by acclamation the deferral was granted.

Mr. Rosensweig announced that the Planning Commission would now be moving to the NDS conference room to have their work session.

### **Planning Commission Work Session**

Ms. Creasy went over the homework that was given concerning the different city projects. She stated that some issues are out of their purview such as, affordable housing, vested rights and design control.

### **Code Audit**

Mr. Tolbert explained that City Council is asking for an audit on the codes and regulations. He announced that Amanda Poncy has been working with him and Ms. Creasy on this process. The SIA and West Main consultant has done an audit for part of the City.

Mr. Tolbert feels there are a lot of bullet points that need to be addressed. He feels if we aren't achieving what our code allows or we aren't allowing our code to allow us to do certain things, this should be addressed.

Mr. Tolbert stated that staff will be going through an extensive research process and presenting this to committees and the public. There will be a four day charette in May and a lot of the issues will be discussed. They will be asking the committees what is missing and a six month review period will take place and the differences will come from that.

Staff feels the West Main consultants have given a lot of useful feedback.

### **Comments or Questions**

Ms. Sienitsky feels "The Standard" would be relevant. The exterior courtyard should be open to the public in a development. She would like to have a list of issues given to them, so they can be looked at and those conditions can be addressed.

Ms. Keller feels that if you are providing public space, let it be public space. She would like to know what they feel is more desirable, balconies, decks or a blind wall. She feels that staff does not provide a lot of guidance to the Planning Commission. She feels the staff report rarely refers to how staff sees the project.

Mr. Rosensweig feels that height in the code should be addressed.

Mr. Osteen feels that in a mixed use development what is on the 1<sup>st</sup> floor could be moved to the 2<sup>nd</sup> floor.

Ms. Green would like the applicant taken out of the picture when the Planning Commission is asked to rezone a piece of property.

Mr. Tolbert stated that he would love for the Planning Commission to say “no” occasionally. He feels it would be helpful for staff to know what the Planning Commission wants.

Ms. Creasy stated that many projects do not come to the Planning Commission after initial discussions with staff.

Mr. Rosensweig feels they have sent bad development back to the drawing board and they should have said no.

Mr. Santoski wanted to know why the Planning Commission is approving items if staff is disapproving.

Mr. Rosensweig feels that the bad applications never get to them and staff is telling the applicant they will not be approved.

Mr. Tolbert stated that the codes need to be right to generate better developments.

### **Public Comment**

Lena Seville stated she enjoy the meeting and the comments that were made.

Mr. Rosensweig adjourned the meeting.

NOTES  
INNOVATION AND REGULATION PANEL DISCUSSION  
April 22, 2014  
CITY COUNCIL CHAMBERS

Panelists:

Lauren Hildebrand, Director of Utilities  
Brian Haluska, Senior Planner  
Charles Werner, Fire Chief  
Tim Hughes, Urban Forester  
Charlie Armstrong, Southern Development  
Valerie Long, Williams Mullen  
Tim Mohr, Tim Mohr DESIGNS  
Bruce Wardell, Bruce Wardell Architects

Moderator:

Brian Wheeler, Charlottesville Tomorrow

Commissioners Present:

Mr. Dan Rosensweig (Chairperson)  
Mr. Kurt Keesecker  
Mr. John Santoski

Councilors Present:

Kathy Galvin  
Bob Fenwick  
Dede Smith  
Mayor Huja

Staff Present:

Mr. Jim Tolbert, NDS Director  
Ms. Missy Creasy, AICP, Planning Manager

Mr. Tolbert and Mr. Rosensweig provided opening remarks and turned the time to Mr. Wheeler for the panel discussion. Each member of the panel provided opening remarks followed by a question answer period by the audience.

The following are highlights of the opening remarks:

Ms. Hildebrand noted the importance of field verifying engineering plans and the importance of developing good plans in the beginning to minimize changes in the field.

Mr. Hughes noted the importance of avoiding monoculture in tree planting and that soil volumes need to meet the needs of the trees planted. He noted that it would be helpful to have soil volume regulations.

Mr. Werner urged that access to buildings and space for apparatus and operations was important for fighting fires. He noted there are options for small “specialty apparatus” but additional staff would be needed to run additional vehicles.

Mr. Haluska stated that due to length of codes, not all applicants review them carefully.

Ms. Long noted the importance of early outreach to the neighborhood and city staff for input. She noted that applicants are concerned with uncertainty and cost of discretionary reviews. Tighter guidelines which allow for more by-right development could be helpful.

Mr. Armstrong noted that the City vision needs to be further codified so it can be built. Flexible codes would be helpful keeping in mind that safety must be maintained.

Mr. Mohr noted that more flexibility in zoning (especially in the residential areas) can take the city closer to its vision.

Mr. Wardell stated that he goes straight to the code exceptions when beginning a project because that provides a lot of guidance. Today's codes don't allow for the creation of many places that people still value today. Codes prevent bad things but don't necessarily allow for good things. It would be helpful to include diagrams of the vision which can help to clarify what truly is desired.

Mr. Wheeler asked the group to provide good examples of innovation and examples where things did not work out. The fire lane on the Mall, soil volume technology, and the new fire station were noted as good examples while the Woonerf Road design, mixed use buildings and financing, and lack of design control in all areas of the city were noted as areas of challenge.

Mr. Rosensweig asked what other tools are needed to allow for urban form to be safe and have good design?

Mr. Werner noted that having sprinkled buildings changes the discussion for site fire suppression. If the building is sprinkled, there are more options for means of accessing the building.

Mr. Mohr noted it would be helpful to have a smaller road approach requirement for the Belmont Bridge.

Mr. Haluska highlighted that many areas of the City were created prior zoning requirements and change does cause many concern until it becomes part of the community fabric.

Mr. Wardell noted that it would be helpful to find a way to maintain and create character in various areas of the City which may mean asking the State for more local discretion.

There was a brief discussion about development on West Main Street. It was noted that the word "density" causes concern but many are not able to visualize what density means if they are only provided with a number. It was noted that height can be a concern in some locations but appropriate in others. It was noted that stepback requirements on West Main aid in minimizing potential canyon effects. The commercial space should be open to the public at large in mixed use buildings.

Ms. Bitsy Waters noted that it is important to think about public spaces and creating livable areas. This requires a balance of maintaining the infrastructure and fitting everything else in safely.

Mr. Wardell noted the importance of public private partnerships. Many applicants are not going to come forward until they see public investment in the area.

Mr. Rosensweig summarized by noting topic areas including utility conflicts and general safety. It was also stated that we want codes which will move us closer to our vision.

Following the panel discussion those present were invited to view the webinar showing of [All In: The Value of Investing in Complete and Green Streets](#).

**CITY OF CHARLOTTESVILLE**  
**DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES**  
**STAFF REPORT TO THE ENTRANCE CORRIDOR REVIEW BOARD**  
**(ERB)**



**ENTRANCE CORRIDOR**  
**CERTIFICATE OF APPROPRIATENESS**

**DATE OF PLANNING COMMISSION MEETING: May 13, 2014**  
**(Deferred from April 8, 2014)**

**\*\*NOTE: Changes to report are shown in bold\*\***

**Project Name:** Country Inn and Suites  
**Planner:** Mary Joy Scala, AICP  
**Applicant:** BBP Charlottesville Hotel, LLC (Bhupen B Patel)  
**Applicant's Representative:** Neil Bhatt  
**Applicant's Relation to Owner:** Architect

**Application Information**

**Property Street Address:** 1600 Emmet Street  
**Property Owner:** BBP Charlottesville Hotel, LLC (Bhupen B Patel)  
**Tax Map/Parcel #:** Tax Map 40A, Parcel 15 (Online Record: 40A015000)  
**Total Square Footage/Acreage Site:** 1.39 acres  
**Comprehensive Plan (Land Use Plan) Designation:** Mixed Use  
**Current Zoning Classification:** Highway Corridor Mixed Use with Entrance Corridor (EC) Overlay  
**Entrance Corridor Overlay District:** §34-307(a)(1) Route 29 North  
**Current Usage:** Days Inn (building to be demolished)

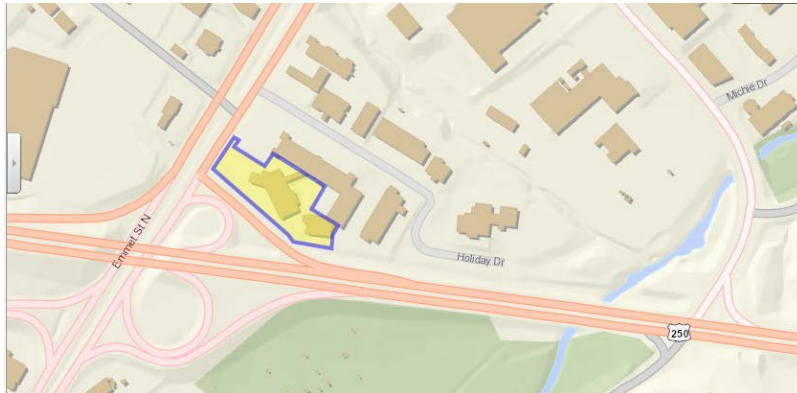
**Background**

The ERB reviews Entrance Corridor Certificate of Appropriateness applications when the proposal is for new construction. **On April 8, 2014 the ERB accepted the applicant's request for deferral to make changes that were suggested at the meeting.**

**Applicant's Request**

The applicant is requesting approval of a certificate of appropriateness to construct a four-story hotel building (approximately 229 feet x 61 feet) on a site previously occupied by motel buildings. Part of the existing Days Inn that is currently located on this parcel will be demolished. Days Inn will continue to operate on the abutting parcel to the north; and the existing Quality Inn will continue to operate on the abutting parcel to the east. The site also abuts Emmet Street to the west and an exit ramp from the Rt. 250 Bypass to the south.

Surface parking consisting of 86 spaces out of a total 256 spaces on site will be provided for the Country Inn and Suites.



### **Existing conditions**

There are currently two vehicular entrances off Emmet Street. The southern entrance will be closed with this plan. The northern entrance is located at a traffic signal, which allows both north and south turns. There is an existing 5-foot City sidewalk located close to Emmet Street.

Three Sweetgum street trees are proposed along Emmet Street near a 5-foot high retaining wall that is located at the southwest corner of the hotel. Additional Sweetgums and dwarf Burford Hollies are shown as a buffer between parking and the exit ramp. Parking lot landscaping includes White Ash, Golden Sugar Maple and Red Maple trees, and dwarf Buford Hollies.

Building materials consist of brick, fiber cement board panels and lap siding, metal and flat roofs, and simulated wood trim at the entry. Windows are metal with clear glass.

Three pole parking lights and a monument sign location at the entrance are shown. The perspectives show four additional wall signs on the building that are not permitted.

### **Standard of Review**

The Planning Commission serves as the entrance corridor review board (ERB) responsible for administering the design review process in entrance corridor overlay districts. This development project requires a site plan, and therefore also requires a certificate of appropriateness from the ERB, pursuant to the provisions of §34-309(a)(3) of the City's Zoning Ordinance. The ERB shall act on an application within 60 days of the submittal date, and shall either approve, approve with conditions, or deny the application. Appeal would be to City Council.

### **Standards for considering certificates of appropriateness:**

In conducting review of an application, the ERB must consider certain features and factors in determining the appropriateness of proposed construction, alteration, etc. of buildings or structures located within an entrance corridor overlay district. Following is a list of the standards set forth within §34-310 of the City Code:

**§34-310(1): Overall architectural design, form, and style of the subject building or structure, including, but not limited to: the height, mass and scale;**

The overall form is a contemporary, four-story, rectangular shape with traditional gable element over the center portion. The proposed building is approximately 229 feet long x 61 feet wide; and is approximately 50 feet in height to the top of the flat roof, and approximately 60 feet in height to the top of the metal roof. There is a one-story pool pavilion at the east end of the building.

**Staff Analysis:**

A building of this height, mass and scale is appropriate in this area.

**§34-310(2): Exterior architectural details and features of the subject building or structure;**

This building contains four stories. The front façade faces north into the parking lot, and has twelve bays of windows, and a central gable element that contains the main pedestrian entrance with windows above. The rear elevation is similar, with a central door providing access to a rear patio. Three bays of windows and two minor doorways face Emmet Street. The applicant describes the design as, “an interpretation of traditional architecture of Charlottesville in a contemporary style.”

**Staff Analysis:** A contemporary interpretation of traditional architecture is an appropriate concept. **The building design has been revised to add more variation and articulation. One additional section on the south elevation has been made to project slightly so that it can be changed to the darker color scheme. The perspective of the east elevation shows more articulation with color, and changes in building planes.**

**§34-310(3): Texture, materials and color of materials proposed for use on the subject building or structure;**

The proposed building materials/colors consist of:

- Brick: **Taylor Products wirecut modular Pink #313**
- Fiber cement board panels:
  - #1 Sherwin Williams Oyster White**
  - #2 Sherwin Williams Refuge**
  - #3 Sherwin Williams Tempe Star**
- Fiber cement lap siding Sherwin Williams Oyster White
- Metal roof: **ATAS 13 Dove Gray**
- Window frames: Kawneer Colonial White
- Window and door glass: clear tempered with low E coating on 2<sup>nd</sup> surface
- PTAC grill covers to match adjacent finish color (**Oyster White**)
- Patio railing: metal black painted

**Staff Analysis:** **Brick as used on all four sides of the foundation is important to provide continuity with the corridor. The brick color has been changed from red to pink.**



Fiber cement is also a recommended, sustainable material. The fiber cement panel boards are appropriate. **The lap siding is limited in placement, so is also appropriate. The projecting parts of the building are a medium blue, with a slightly darker blue used very sparingly around some windows. The additional areas shown on the perspective drawings as the darker color scheme adds enough variation and articulation to make the building more interesting.**

**The signage has correctly been removed from the upper parts of the building. Two signs are permitted.**

**§34-310(4): Design and arrangement of buildings and structures on the subject site;**

This is an auto-oriented zoning district. The building is appropriately located close to the property lines with parking to the rear. **New landscaping is shown around the building, along the streetscape, and in the parking lot.**

**Staff Analysis:** The layout appears to adequately accommodate the desired hotel functions. The vehicular circulation is improved with the elimination of one entrance.

**The public sidewalk has been moved closer to the building, so that the street trees can be located between the sidewalk and Emmet Street. A landscaped, lighted pedestrian walkway from the City sidewalk to the building entrance has been added. This helps create a more welcoming entrance; it helps re-orient the building toward Emmet Street rather than the parking lot; and it importantly distinguishes this new hotel as a separate business.**

**§34-310(5): The extent to which the features and characteristics described within paragraphs (1)-(4), above, are architecturally compatible (or incompatible) with similar features and characteristics of other buildings and structures having frontage on the same EC street(s) as the subject property.**

**Staff Analysis:** The goals are to make the site function well for the users of this site and the corridor, and to have an attractive development that is compatible with its surrounding context.

**The building and site have been re-designed, as suggested at the previous meeting.**

**§34-310(6): Provisions of the Entrance Corridor Design Guidelines.**

Relevant sections of the guidelines include:

**Section 1 (Introduction)**

The Entrance Corridor design principles are expanded below:

**• Design For a Corridor Vision**

New building design should be compatible (in massing, scale, materials, colors) with those structures that contribute to the overall character and quality of the corridor. Existing developments should be encouraged to make upgrades consistent with the corridor vision. Site designs should contain some common elements to provide continuity along the corridor. New development, including franchise

development, should complement the City's character and respect those qualities that distinguish the City's built environment.

- **Preserve History**

Preserve significant historic buildings as well as distinctive architecture from more recent periods. Encourage new contemporary design that integrates well with existing historic buildings to enhance the overall character and quality of the corridor.

- **Facilitate Pedestrian Access**

Encourage compact, walkable developments. Design pedestrian connections from sidewalk and car to buildings, between buildings, and between corridor properties and adjacent residential areas.

- **Maintain Human Scale in Buildings and Spaces**

Consider the building scale, especially height, mass, complexity of form, and architectural details, and the impact of spaces created, as it will be experienced by the people who will pass by, live, work, or shop there. The size, placement and number of doors, windows, portals and openings define human scale, as does the degree of ground-floor pedestrian access.

- **Preserve and Enhance Natural Character**

Daylight and improve streams, and retain mature trees and natural buffers. Work with topography to minimize grading and limit the introduction of impervious surfaces. Encourage plantings of diverse native species.

- **Create a Sense of Place**

In corridors where substantial pedestrian activity occurs or is encouraged, or where mixed use and multi-building projects are proposed, one goal will be creating a sense of place. Building arrangements, uses, natural features, and landscaping should contribute, where feasible, to create exterior space where people can interact.

- **Create an Inviting Public Realm**

Design inviting streetscapes and public spaces. Redevelopment of properties should enhance the existing streetscapes and create an engaging public realm.

- **Create Restrained Communications**

Private signage and advertising should be harmonious and in scale with building elements and landscaping features.

- **Screen Incompatible Uses and Appurtenances:**

Screen from adjacent properties and public view those uses and appurtenances whose visibility may be incompatible with the overall character and quality of the corridor, such as: parking lots, outdoor storage and loading areas, refuse areas, mechanical and communication equipment, Where feasible, relegate parking behind buildings. It is not the intent to require screening for utilitarian designs that are attractive, and/or purposeful.

- **Respect and Enhance Charlottesville's Character**

Charlottesville seeks new construction that reflects the unique character, history, and cultural diversity of this place. Architectural transplants from other locales, or shallow imitations of historic architectural styles, for example, are neither appropriate nor desirable. Incompatible aspects of franchise design or corporate signature buildings must be modified to fit the character of this community.

## Section 2 (Streetscape)

There are currently two vehicular entrances off Emmet Street. The southern entrance will be closed with this plan. The northern entrance is located at a traffic signal, which allows both north and south turns. There is an existing 5-foot City sidewalk located close to Emmet Street.

**Four new October Glory Red Maple street trees** and a 5 foot high retaining wall are proposed near the building.

**Staff Analysis:**

**The street trees have been re-located between the sidewalk and Emmet Street. A landscaped, lighted pedestrian walkway has been added from the City sidewalk to the building entrance.**

**Details are still needed on the material and design of the retaining wall.**

Section 3 (Site):

Additional landscaping is proposed on site, including Sweetgums, **Red Maples, and European Hornbeams. Shrubs and trees are now shown as a buffer between parking and the exit ramp. Parking lot landscaping includes Red Maple trees, and Hornbeams, and shrubs.**

Proposed lighting consists of three pole parking lights **and several bollard lights.**

A screened **brick** trash enclosure is located in the rear, and a transformer **screened with shrubs** is located near a proposed monument sign in the front.

**Staff Analysis:**

**More landscaping is shown along all public boundaries, within parking areas, around the building, and at the building entrance walkway.**

A monument sign is appropriate but it must meet the sign regulations for size.

Section 4 (Buildings):

Pertinent guidelines for buildings include architectural compatibility, mass, scale, height, façade organization, materials, color, and details.

**Staff Analysis:**

A contemporary interpretation of traditional architecture is an appropriate concept. **The building design has sufficient variation and articulation.**

Section 5 (Individual Corridors):

Route 29 North Vision:

*While much of the growth of this corridor is expected to be within Albemarle County's section as it extends north, there is great opportunity to redevelop Charlottesville's parts with more intense retail and mixed uses. Scale of development will go from large to medium as you move south towards the City. More pedestrian scaled, mixed-use infill opportunities exist in the Barracks Road area as opposed to the auto-oriented north end.*

*Route 29 North Sub-Area A: Northern corporate limits to 250 overpass Vision:*

*As Route 29 traffic enters the City this area should serve to calm traffic and create a transition from auto-oriented, suburban development to more pedestrian friendly, urban scale development. Planting and maintaining street trees along the existing Route 29 sidewalks, and locating buildings close to the road will assist in this effort. Although wide roads and large traffic volumes discourage pedestrian crossings, a pedestrian environment can be encouraged within developments. Providing walking and driving linkages between developments and providing for transit will also create alternatives to having to drive on Route 29. Individual building designs should complement the City's character and respect the qualities that distinguish the City's built environment. This corridor is a potential location for public way-finding signage.*

## **Public Comments Received**

No public comments have been received to date.

## **Staff Recommendations**

**The site plan will be approved administratively.**

**The building plan and east elevation drawing need to be made consistent with the color perspective of the east elevation.**

**The retaining wall material and design is needed.**

**The ERB may wish to comment on the use of pink brick instead of red brick.**

## **Suggested Motion**

**"I move to approve a Certificate of Appropriateness for the proposed Country Inn and Suites hotel located at Emmet Street and the Route 250 Bypass with the following modifications...**

- 1...**
- 2..."**

## **Attachments:**

**Application Form (1 page)**

**Narrative (2 pages)**

**11 x 17 Color Plan and Building Perspectives (4 pages)**

**Building Layouts, Elevations, Site Layout and Landscape Plan (9 pages)**

**Revised Signage Sheet A-501 (1 page)**

**Siding, roof, and brick colors (2 pages)**

~~over fee \$375.00~~

P14-0029



### Entrance Corridor Review Application (ERB) Certificate of Appropriateness

Please Return To: City of Charlottesville  
Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.  
For a new construction project, please include \$350 application fee. For all other projects requiring ERB approval, please include \$100 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Checks payable to the City of Charlottesville.  
The ERB meets the second Tuesday of the month.  
Deadline for submittals is Tuesday 3 weeks prior to next ERB meeting by 4 p.m.

ERB ED

FEB 25 2014

#### Information on Subject Property

Physical Street Address: 1600 N. Emmet

Name of Historic District or Property: NO

City Tax Map/Parcel: 40 A 015000

Do you intend to apply for Federal or State Tax Credits for this project? NO

#### Applicant

Name: BBP Charlottesville, Hotel LLC

#### Signature of Applicant

Address: 14006 South Shore Rd  
Midlothian, VA 23112

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Email: \_\_\_\_\_

Phone: (W) 804 304 9082 (H) \_\_\_\_\_

FAX: 804 639 7456

Bhupen Bhal 2/24/2014  
Signature Date

#### Property Owner (if not applicant)

Name: 1

Address: \_\_\_\_\_

Email: \_\_\_\_\_

Phone: (W) \_\_\_\_\_ (H) \_\_\_\_\_

FAX: \_\_\_\_\_

#### Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Neil Bhatt nbhatt@nbjarch.com Bhupen Bhal 2/24/2014  
Signature Date

Description of Proposed Work (attach separate narrative if necessary): New Country Inn + Suites w/ parking + landscaping

Attachments (see reverse side for submittal requirements): \_\_\_\_\_

#### For Office Use Only

Received by: DE

Approved/Disapproved by: \_\_\_\_\_

Fee paid: 375 Cash/Ck. # 3445

Date: \_\_\_\_\_

Date Received: 2/25/2014 1608

Conditions of approval: \_\_\_\_\_

ENTRANCE CORRIDOR REVIEW: You can review the Entrance Corridor Overlay District regulations in the

HW  
1.39 ac.

Country Inn and Suites, Charlottesville, VA Building and Site Narrative Updated April 22, 2014:

The project is a four story 52,000 SF Country Inn and Suites Hotel, located at the South-East corner of Rte.29 and Rte. 250, in Charlottesville. The building design is an interpretation of the traditional Architecture of Charlottesville in a Contemporary style. The building is located close to the curb line on Rte. 29 to create an urban edge relating to the pedestrian traffic.

The building mass is modulated by the use of different materials and colors. The color pallet has been rethought in order to best represent the contemporary interpretation of Charlottesville architecture. Traditional rose brick is used for the base of the building to pay homage to the traditional architecture of Charlottesville. Additional articulation has been added to the rear and side of the building in order to provide balance and appropriate detail to the façade.

The middle portion of the building is clad in Fiber Cement Lap Siding and the window fenestrations with painted grill covers for HVAC units creating vertical bays reducing the building mass.

The top and ends of the building are defined through the use of Fiber Cement Board paneling in a matching color to the middle portion of the building, creating traditional proportions through a the use of varied textures.

The center element at the entry is topped with sloping metal roof recalling traditional sloping roof buildings in the area. The entry porte-cochere is covered with Red Cedar Trellis and the front entry is clad with Red cedar paneling to create a warm welcoming building entrance.

The contemporary style of the building is similar to the architectural style of the buildings facing Entrance corridor at nearby Stonefield development.

The project will be designed in compliance of sustainable design principles using recycled and local materials to the greatest extent possible. Day light harvesting, Energy efficient light fixtures and energy management system will ensure the conservation of energy to the greatest extent. Low water use plumbing fixtures will be utilized to minimize water consumption by the hotel.

A Country Inn and Suites monument sign, meeting the City sign criteria, is proposed along US 29 on the northwest corner of this lot.

A retaining wall is proposed along US29 and the 250 bypass exit ramp which will complement the brick portion of the building.

As noted on the site plan, the sanitary sewer will be extended from the east. A sanitary main, located in an easement, will be proposed across the adjacent property. The lateral will extend from the manhole on the Quality Inn/Country Inn property line to the building.

Domestic water will be accessed from Holiday Lane as well as connection for a fire sprinkler line. A fire hydrant has been added to an island on the north side of the building. A second fire hydrant has been added to the end of the water main coming from the east.

Power is proposed from the transformer which will be relocated. The existing line in the VEPCO easement will be relocated by Dominion Power in the proposed on site easement parallel to US 29 and the 250 exit ramp.

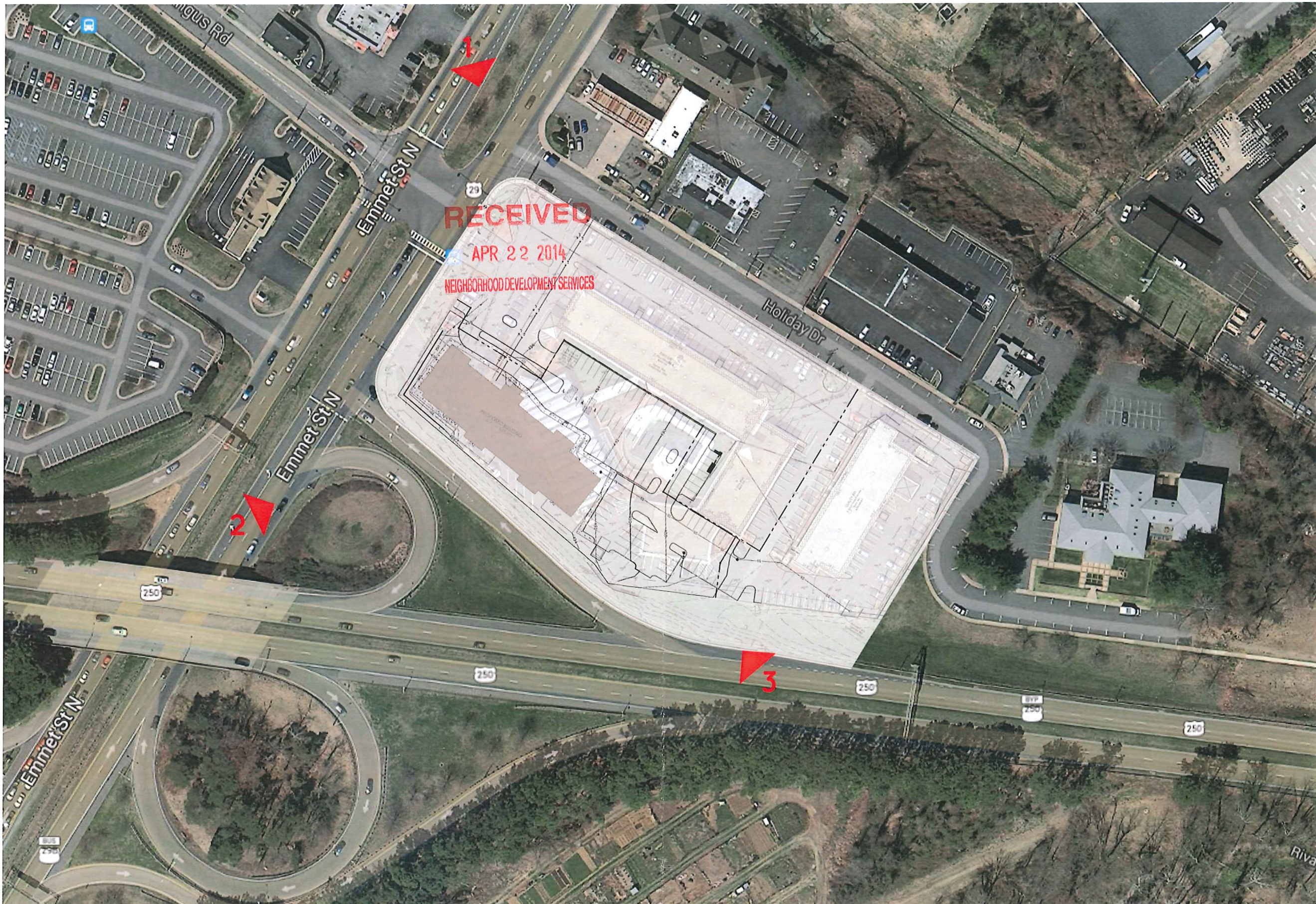
The existing southern approach will be closed off of US 29 will be closed.

The existing sidewalk along US 29 will be removed and relocated to the east, but still in the right-of-way. We worked to align the sidewalk such that it could be extended to the north, to the entrance in a straight line, without conflicting with signs and/or flag poles. We connected this sidewalk to the sidewalk on the property across the entrance of the building.

The dumpster screening will also be brick to complement the brick portion of the building.

An upgraded landscape plan has been included with additional plantings in the parking lot island, along US 29 between the sidewalk and the property line, along the southern property line (US 250 Bypass Ramp) and in front of the building. We have revised the type of trees as well as the spacing of the trees. White ashes were removed.

We have indicated additional bollard lighting along portions of the sidewalk to be used in combination with the pole lighting previously shown. All lighting will comply with Dark Sky provisions.



RECEIVED

APR 22 2014

NEIGHBORHOOD DEVELOPMENT SERVICES





  
**COUNTRY**  
INNS & SUITES  
Charlottesville, VA

**View 1:** Looking South on Route 29





  
**COUNTRY**  
INNS & SUITES  
Charlottesville, VA

**View 2:** Looking North on Route 29







# COUNTRY

## INN & SUITES

BY CARLSON<sup>SM</sup>

CHARLOTTESVILLE, VA

PRELIMINARY DESIGN  
APRIL 22, 2014

### DRAWING INDEX

**GENERAL:**

A-100 COVER SHEET

**ARCHITECTURAL:**

A-401 FIRST FLOOR PLAN  
A-402 SECOND FLOOR PLAN  
A-403 TYPICAL FLOOR PLAN  
A-501 FRONT 4 SIDE ELEVATION  
A-502 BACK 4 ELEVATION

**nbj** ARCHITECTURE  
A Professional Limited Company  
GROVE PARK SQUARE  
11537-B NUCKOLS ROAD  
Richmond, Virginia 23059  
☎ (804) 273-9811 fax: (804) 273-9843



**COUNTRY INN  
AND SUITES**  
CHARLOTTESVILLE, VA

COVER SHEET

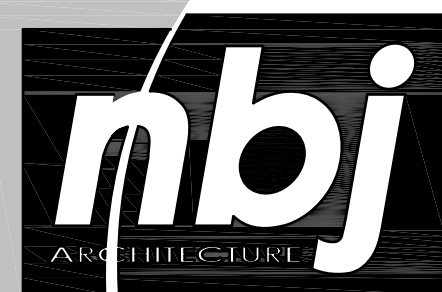
Date: APRIL 22, 2014

REVISIONS

NO.	DATE

Sheet  
**A-100**

File Number



**nbj** ARCHITECTURE

A Professional Limited Company

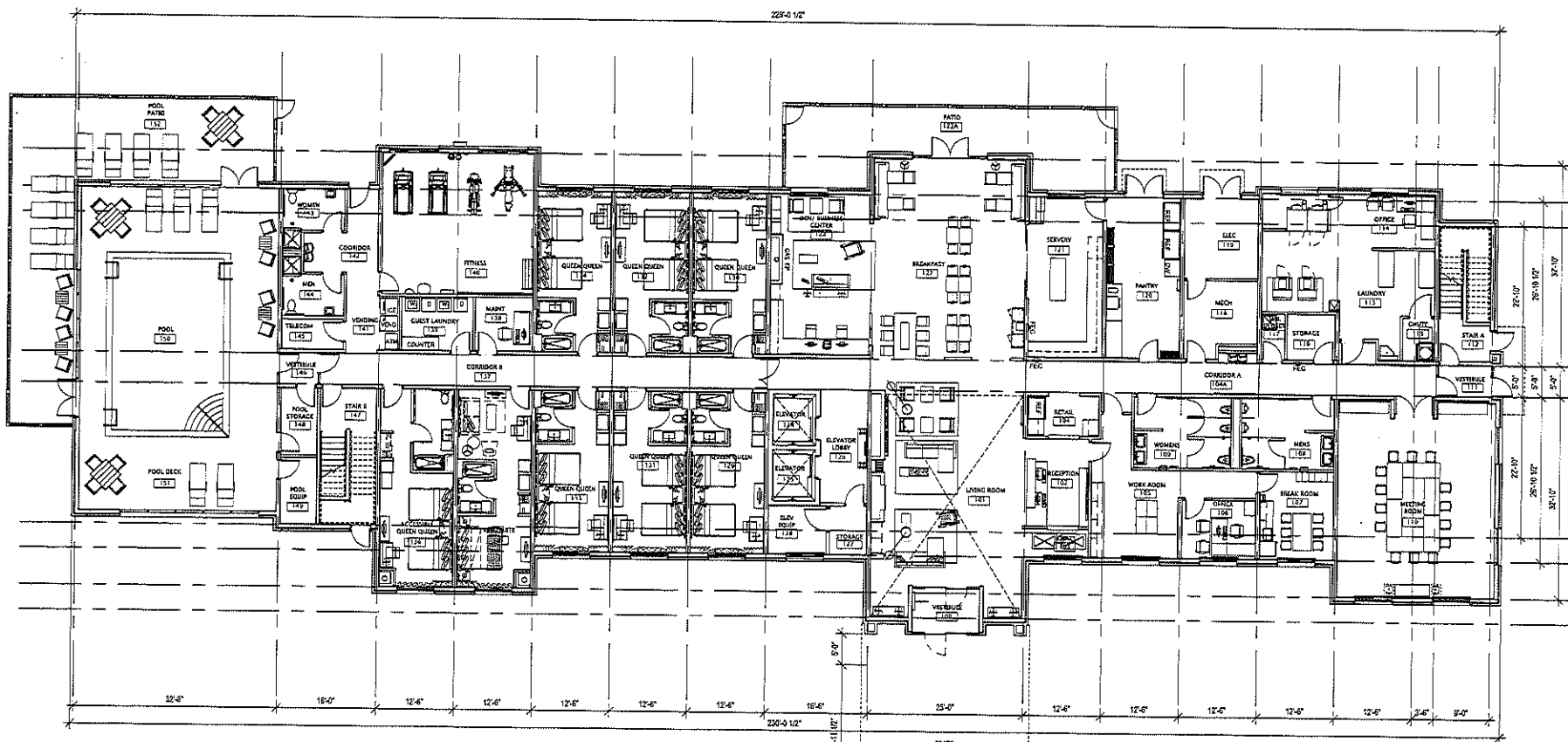
Grove Park Square  
11537-B Nuckols Road  
Glen Allen, Virginia 23059

www.nbjarch.com ☎ (804) 273-9811 📠 (804) 273-9843

CIVIL ENGINEERS:

**DRAPER ADEN ASSOCIATES**

700 HARRIS STREET, SUITE E  
CHARLOTTESVILLE, VA 22903  
PH: 434-295-0700 F: 434-295-2015



GUEST ROOM MIX					
	FIRST FL.	SECOND FL.	THIRD FL.	FOURTH FL.	TOTAL
KING ROOM	-	3	5	6	16
ACCESSIBLE KING ROOM	-	1	1	-	2
Q/G ROOM	6	8	8	8	30
ACCESSIBLE Q/G ROOM	1	1	-	-	2
KING SUITE	1	1	9	10	21
ACCESSIBLE KING SUITE	-	-	1	-	1
<b>TOTAL</b>	<b>8</b>	<b>25</b>	<b>21</b>	<b>21</b>	<b>81</b>
AREA (SF)	14,620	8,954	2,151	2,151	52,880

**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**mbj ARCHITECTURE**  
A PROFESSIONAL CORPORATION  
GROVE PARK SQUARE  
11537-B NUCKOLLS ROAD  
RICHMOND, VIRGINIA 23059  
PH: (804) 273-5811 FAX: (804) 273-8843



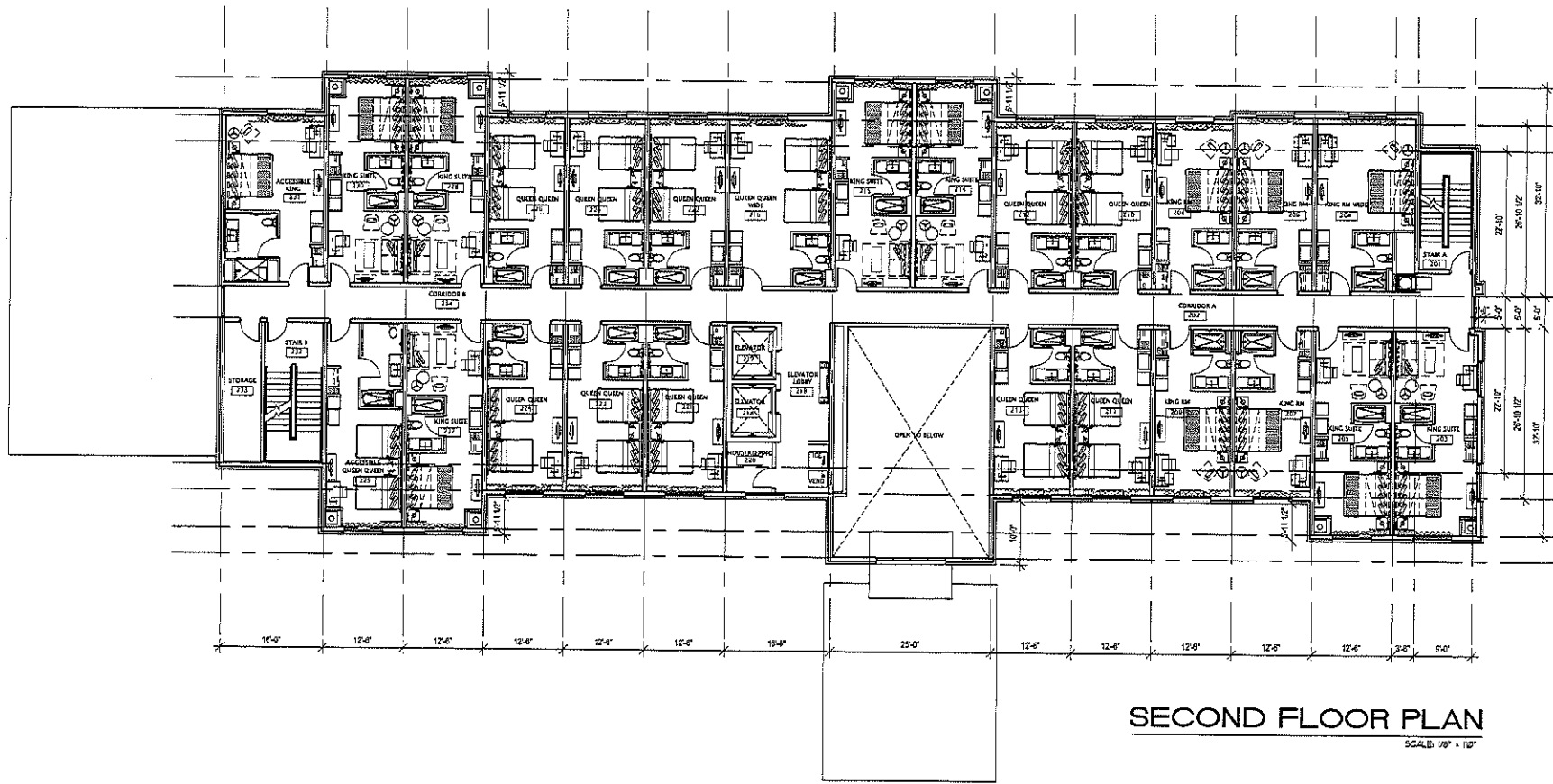
**COUNTRY INN  
AND SUITES**  
CHARLOTTESVILLE, VA

**FIRST FLOOR PLAN**

Date:	APRIL 22, 2014
REVISIONS	
NO.	DATE

Sheet  
**A-401**  
File Number

PRELIMINARY DESIGN



**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**nbi** ARCHITECTURE  
GROVE PARK SQUARE  
1137-B NUCKOLS ROAD  
Richmond, Virginia 23095  
tel: (804) 773-8511 fax: (804) 773-8843



**COUNTRY INN  
AND SUITES**  
CHARLOTTESVILLE, VA

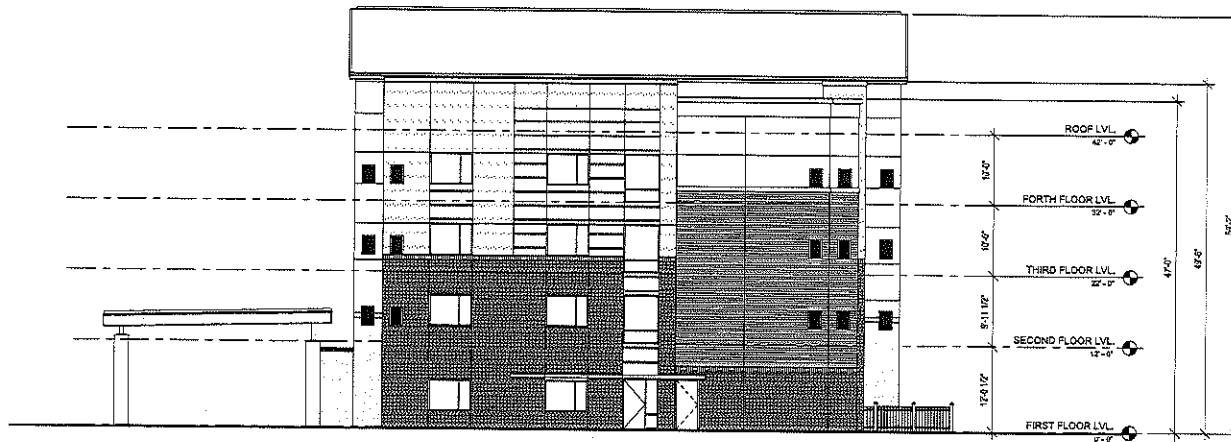
**SECOND FLOOR PLAN**

Date:	APRIL 23, 2014
REVISIONS	
NO.	DATE

Sheet  
**A-402**  
File Number

PRELIMINARY DESIGN





**SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND			
1	PIPER CEMENT BRK 1	SHERWIN WILLIAMS OYSTER WHITE T631	
2	PIPER CEMENT BRK 2	SHERWIN WILLIAMS REFRAZ AZR	
3	PIPER CEMENT BRK 3	SHERWIN WILLIAMS TEMPE STAR 625	
4	BRICK	SHERWIN WILLIAMS OYSTER WHITE T631	
5	BRICK	TAYLOR PRODUCTS MURETT MODULAR RD PINK	
6	SHALATED WOOD	ARCH-L GRADE WOOD (WEATHERED RED CEDAR)	
7	METAL ROOF	ATAS 13 DOWE GRAY	
8	TORTAR COLOR	CLUF	
9	MVAC GRILL COVER	SHERWIN WILLIAMS OYSTER WHITE T631	

NOTES:  
 1. ALL EXTERIOR GLASSING IN DOORS AND WINDOWS TO BE CLEAR TEMPERED GLASSING WITH LOW E COATING ON INS SURFACE EXTERIOR REFLECTIVITY TO LESS THAN 1%  
 2. WINDOW FRAMES AND MULLIONS TO BE KANSAS COLONIAL WHITE  
 3. METAL GRILL COLOR TO MATCH ADJACENT FINISH COLORS  
 4. PATIO FLOORING TO BE METAL BLACK PAINTED



**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

**mbj ARCHITECTURE**  
 A Member of the HOK Group  
 GROVE PARK SQUARE  
 11537-B RUCKEL'S ROAD  
 Richmond, Virginia 23059  
 Tel: (804) 273-9811 Fax: (804) 273-8843



**COUNTRY INN  
 AND SUITES**  
 CHARLOTTESVILLE, VA

**BUILDING ELEVATIONS**

REVISIONS	
NO.	DATE

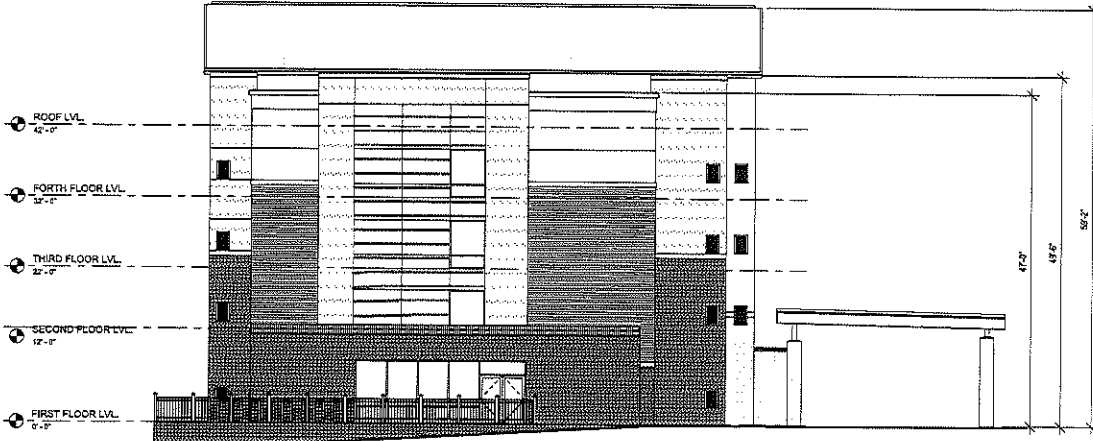
Date: FEBRUARY 25, 2014  
 Sheet **A-501**  
 File Number

PRELIMINARY DESIGN





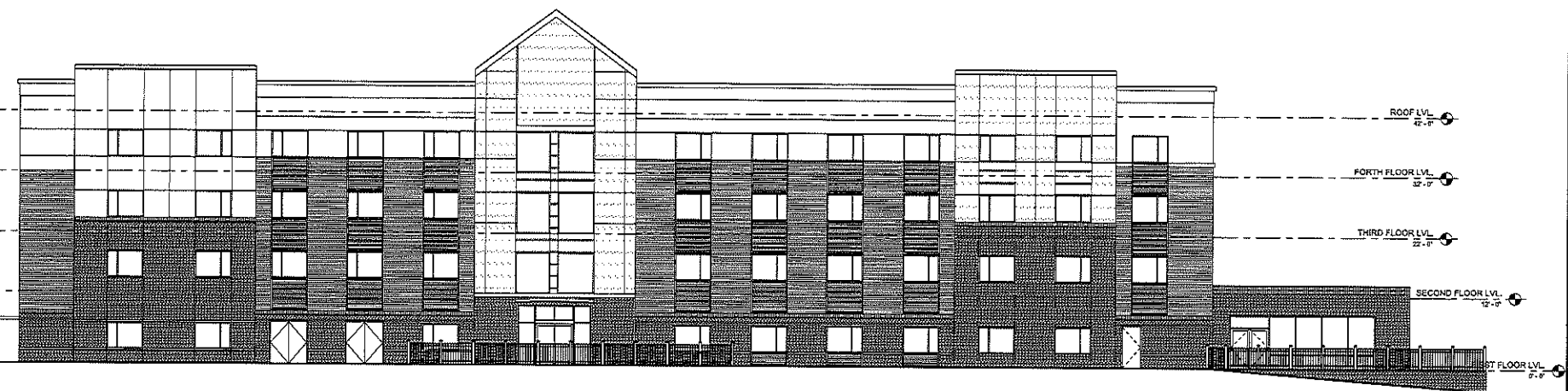
Date:	FEBRUARY 25, 2014
REVISIONS	
NO.	DATE



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
1	FIBER CEMENT DRD 1 SHERWIN WILLIAMS OTTER WHITE T&T
2	FIBER CEMENT DRD 2 SHERWIN WILLIAMS RENDE AZIS
3	FIBER CEMENT DRD 3 SHERWIN WILLIAMS TEMPE STAR 629
4	BRICK SHERWIN WILLIAMS OTTER WHITE T&T
5	BRICK TAYLOR PRODUCTS WIRECUT PEOPLAR 100 PAK
6	SPUNLATH WOOD ARCH-L GRADE WOOD (WESTERN RED CEDAR)
7	METAL ROOF ATAS 3 DOVE GRAY
8	MORTAR COLOR BUFF
9	WALL GRILL COVER SHERWIN WILLIAMS OTTER WHITE T&T

**NOTES:**  
 1. ALL EXTERIOR GLAZING IN DOORS AND WINDOWS TO BE CLEAR THERMOSEAL GLAZING WITH LOW E COATING ON INS. SURFACE. EXTERIOR REFLECTIVITY TO BE LESS THAN 76.  
 2. WINDOW FINISHES AND TRIMMINGS TO BE KAUNZEER EXTERIOR WHITE.  
 3. METAL GRILLS COLOR TO MATCH ADJACENT FINISH COLORS.  
 4. PATIO FINISHING TO BE METAL BLACK PAINTED.



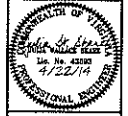
**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

TR 484-5  
 TYPICAL 10'x10'  
 10' 110.0'-0" 112'  
 10' 101'-0" 104' 104'

TR 484-6  
 TYPICAL 10'x10'  
 10' 101'-0" 104' 104'

TR 484-7  
 TYPICAL 10'x10'  
 10' 101'-0" 104' 104'

BUILDING	PARKING SCHEDULE	PARKING PROVIDED	PROPERTY AREA
DAYS INN (EXIST.)	86	107	71,850 SF (1.65 AC)
QUALITY INN (EXIST.)	63	63	39,227 SF (0.90 AC)
PROPOSED COUNTRY INN	86	86	63,389 SF (1.46 AC)
TOTAL	245	256	



**Draper Aden Associates**  
 Engineering • Surveying • Environmental Services  
 Charlottesville, VA  
 700 North Street, Suite 100  
 612-524-1116  
 draperaden.com

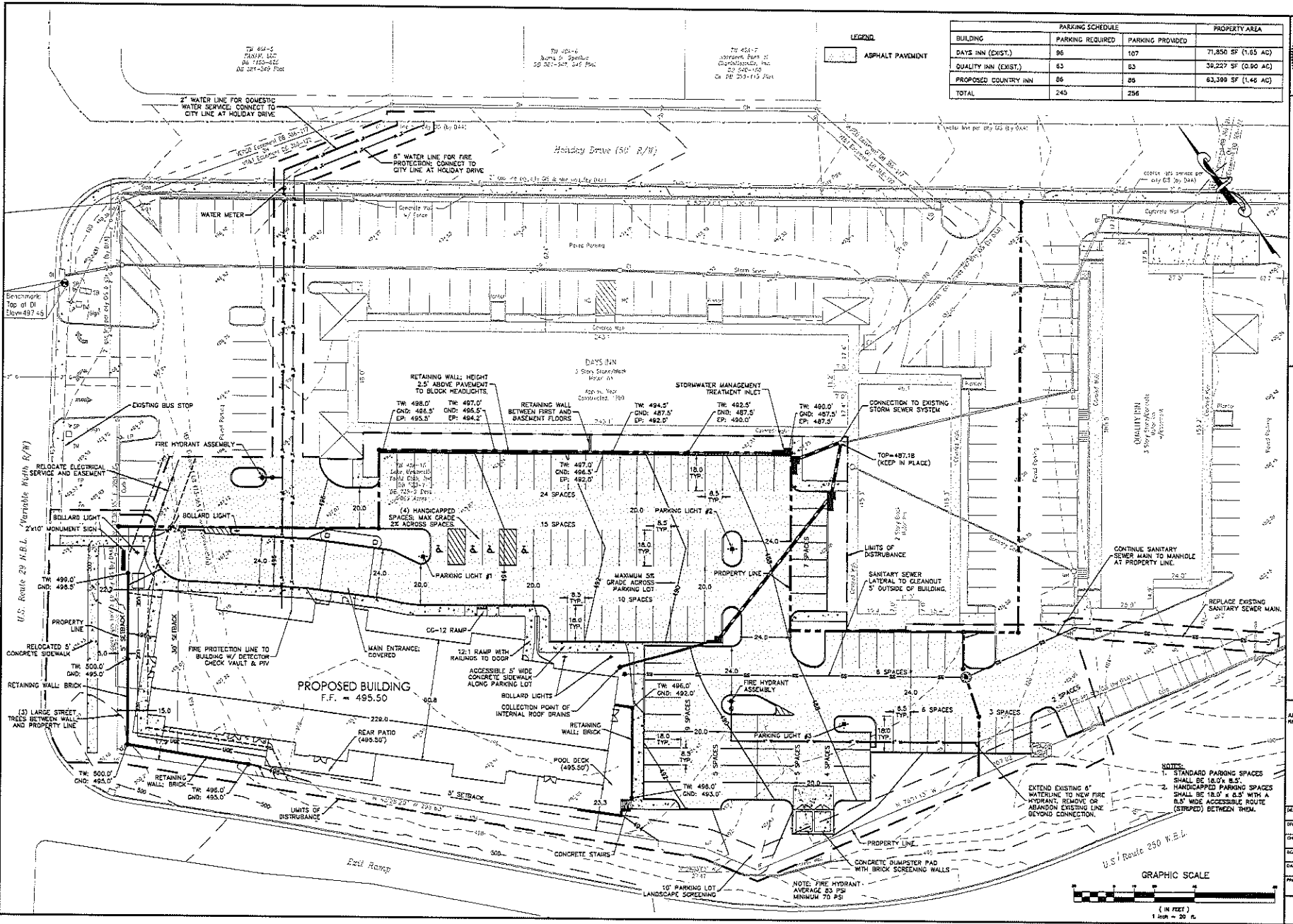


**SITE LAYOUT**  
**ENTRANCE CORRIDOR REVIEW APPLICATION (ERR)**  
**COUNTRY INN AND SUITES**  
 1600 N. EMMET STREET, CHARLOTTESVILLE, VIRGINIA

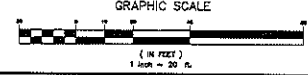
**REVISIONS**  
 APRIL 22, 2014  
 REVISED FOR CC COMMENTS

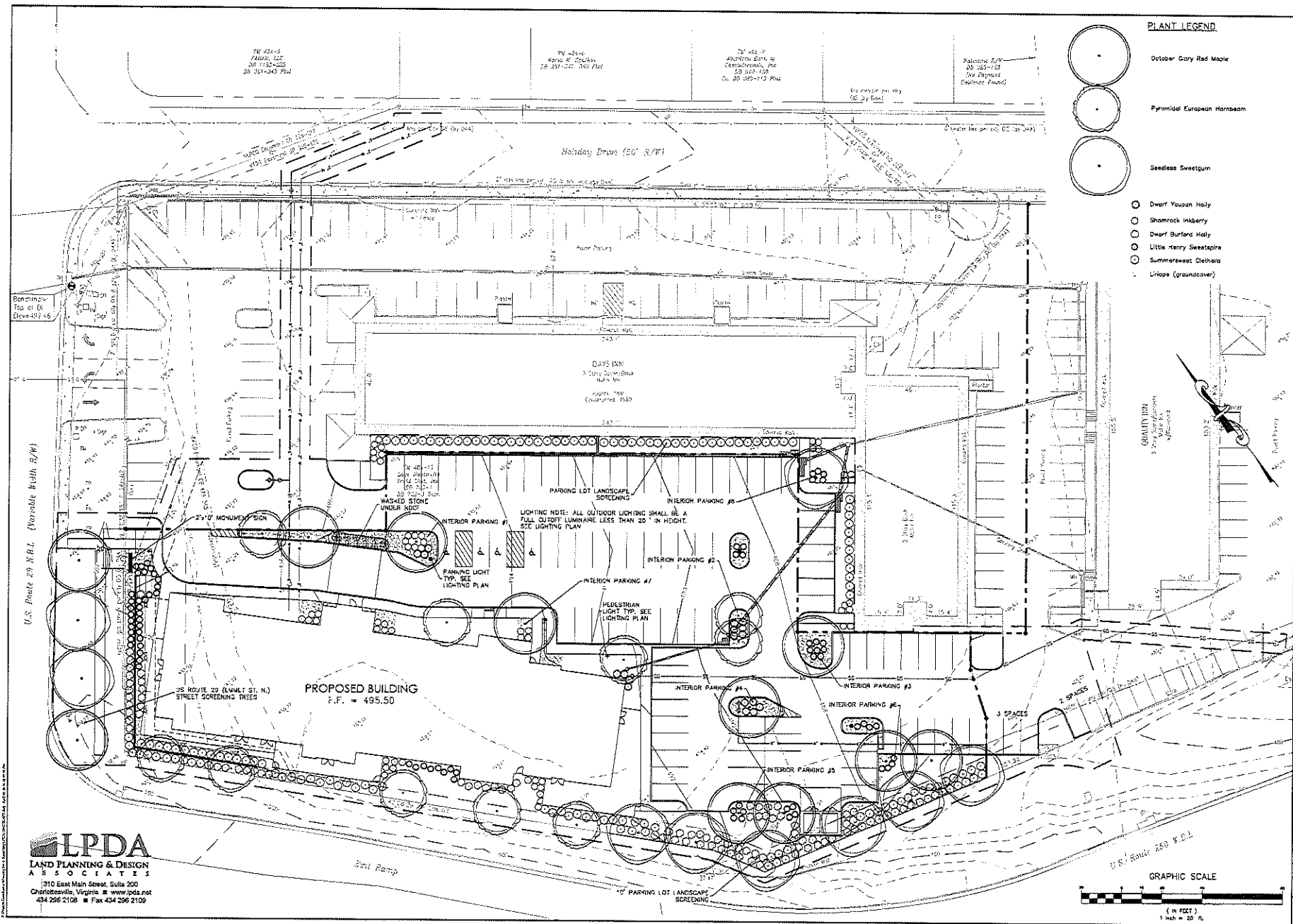
DESIGNED BY: JMS  
 DRAWN BY: ECB  
 CHECKED BY: DWG  
 SCALE: 1" = 20'  
 DATE: FEBRUARY 25, 2014  
 PROJECT NUMBER: C10103C-06

C1

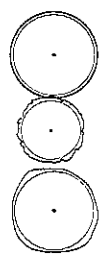


**NOTES:**  
 1. STANDARD PARKING SPACES SHALL BE 18.0' x 8.5'.  
 2. HANDICAPPED PARKING SPACES SHALL BE 18.0' x 8.5' WITH A 8.5' WIDE ACCESSIBLE ROUTE (STRIPED) BETWEEN THEM.  
 3. EXTEND EXISTING 6" WATERLINE TO NEW FIRE HYDRANT. REMOVE OR ABANDON EXISTING LINE BEYOND CONNECTION.





**PLANT LEGEND**



- October Cory Red Maple
- Pyramidal European Hornbeam
- Seedless Sweetgum
- Dwarf Yaupon Holly
- Shamrock Inkberry
- Dwarf Burford Holly
- Little Henry Sweetspine
- Summersweet Clethra
- Linole (groundcover)

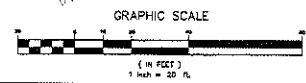


**Draper Aden Associates**  
 Engineering • Surveying • Environmental Services  
 Charlottesville, VA  
 1000 N. Emmet Street, Charlottesville, VA 22902  
 434-980-1234 FAX 434-980-1235  
 www.dra-aden.com

**LANDSCAPE PLAN**  
**COUNTRY INN AND SUITES**  
 1600 N. EMMET STREET, CHARLOTTESVILLE, VIRGINIA

**REVISIONS**  
 APRIL 22, 2014  
 REVISED PER EC COMMENTS

DESIGNED BY	JACQUES
DRAWN BY	TACUES
CHECKED BY	JCS
SCALE	1" = 20'
DATE	APRIL 25, 2014
PROJECT NUMBER	C10103C-06



**LPDA**  
 LAND PLANNING & DESIGN  
 A S S O C I A T E S  
 310 East Main Street, Suite 200  
 Charlottesville, Virginia 22902  
 434 286 2108 ■ Fax 434 296 2109

L1.0

LANDSCAPE SUMMARY

NO.	SCIENTIFIC NAME	COMMON NAME	QTY	UNIT	SIZE	SPACING	CANOPY	A.P.R.	MINIMUM ROOT BALL WIDTH	MINIMUM ROOT BALL DEPTH	COMMENTS
A	October Glory Red Maple	October Glory Red Maple	11	EA	2'-2.5" cal.	AS SHOWN ON PLANS	200	1.2-1 Yrs	24"	24"	Single Leader, Full Branching
A	Pyramidal European Hornbeam	Pyramidal European Hornbeam	18	EA	18"-24"	AS SHOWN ON PLANS	100	1.2-1 Yrs	24"	14"	Multicaudex, Compact
A	Seedless Sweetgum	Seedless Sweetgum	9	EA	2'-2.5" cal.	AS SHOWN ON PLANS	200	1.2-1 Yrs	24"	24"	Single Leader, Full Branching
D	Deciduous Shrub - Large - Small	Summerweet Clematis	547	EA	18"-24"	4' OC		2.2-3 Yrs	43 CONT		Uniform Size & Shape
D	Little Heavy Sweetgum	Little Heavy Sweetgum	12	EA	18"-24"	3' OC		2.2-3 Yrs	43 CONT		Uniform Size & Shape
D	Dwarf Burford Holly	Dwarf Burford Holly	82	EA	18"-24"	3' OC		3-3.5 Yrs	43 CONT		Uniform Size & Shape
D	Shamrock Hiberny	Shamrock Hiberny	18	EA	18"-24"	3' OC		3-3.5 Yrs	43 CONT		Uniform Size & Shape
D	Dwarf Yaupon Holly	Dwarf Yaupon Holly	18	EA	18"-24"	3' OC		3-3.5 Yrs	43 CONT		Uniform Size & Shape
F	Groundcover	Blue Star Creeper	371	EA	18" x 18"	2' OC		12-1	18" CONT		

INTEGRAL AREA	SF	TREE	QTY	SIZE	CANOPY	TOTAL CANOPY	SHRUBS	QUANTITY
1	576	October Glory Red Maple	2	M	387	794	Shamrock Hiberny	11
1	1	Pyramidal European Hornbeam	1	M	205	105		6
1	128	Pyramidal European Hornbeam	2	M	205	210	Dwarf Yaupon Holly	5
3	325	October Glory Red Maple	1	M	397	397	Little Heavy Sweetgum	4
4	207	October Glory Red Maple	1	M	397	397	Dwarf Yaupon Holly	5
5	341	October Glory Red Maple	2	M	225	450	Dwarf Burford Holly	9
6	663	October Glory Red Maple	2	M	387	794	Little Heavy Sweetgum	7
7	145	October Glory Red Maple	1	M	397	397	Shamrock Hiberny	4
8	145	Seedless Sweetgum	1	M	206	206	Little Heavy Sweetgum	4
TOTAL	2536		13		2626	2750		70

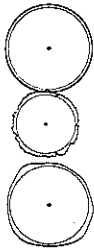
STREET	LF	SIZE	QTY PROVIDED	SIZE	CANOPY	TOTAL CANOPY
US-29	114	October Glory Red Maple	2	L	377	754
US-29	114	Seedless Sweetgum	2	L	206	412
Exit Ramp 250 Bypass	240	Pyramidal European Hornbeam	5	L	105	525
Exit Ramp 250 Bypass	200	Seedless Sweetgum	6	L	206	1236
TOTAL	668		15		1081	2927

LOCATION	SF	SHRUBS	QUANTITY
250 Bypass	2000	Dwarf Burford Holly	52
		Summerweet Clematis	32
TOTAL	2000		84

LOCATION	SF	SHRUBS	QUANTITY
LOC 2000		Shamrock Hiberny	21
		Summerweet Clematis	28
TOTAL	2000		49

Total Property SF	63399
25% cover req'd	5340
Area provided	3750+2031+6661

Total Parking SF	33550
25% cover req'd	1578
Area provided	2364



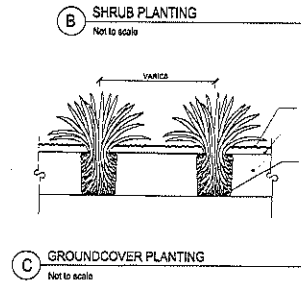
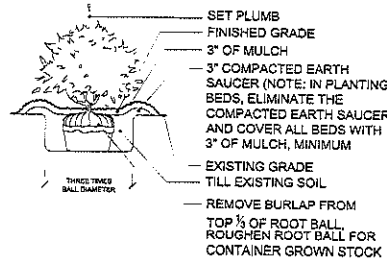
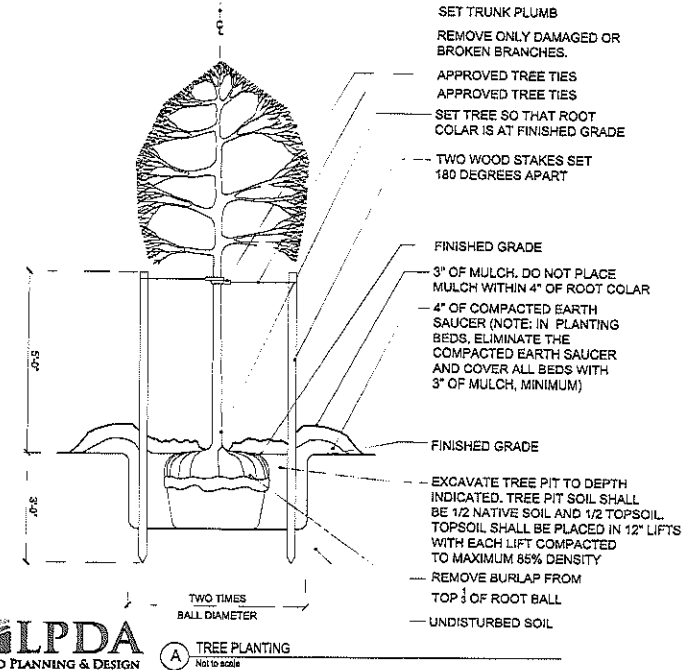
PLANT LEGEND

October Glory Red Maple

Pyramidal European Hornbeam

Seedless Sweetgum

- Dwarf Yaupon Holly
- Shamrock Hiberny
- Dwarf Burford Holly
- Little Heavy Sweetgum
- Summerweet Clematis
- Liriope (groundcover)



LANDSCAPE NOTES

- All planting shall be in accordance with VDOT 2007 Road and Bridge Specifications and VDOT Road and Bridge Standards dated February 2005.
- All planting and site work shall be within the right of way, unless identified.
- The planting season for this project shall generally be from: October 1 through: April 30
- Size of plants indicated on this summary sheet refer to size of plants delivered to the project site, not after they have been pruned.
- Plants shall be set in the planting pit, at the proper depth, on tamped soil mix. Soil mix shall then be filled around the roots to approximately 75% of the depth of the pit, tamped, and thoroughly watered. After settlement of the soil, the remainder of the pit shall be filled with soil mix, fertilized, tamped, and again watered, all within the same day of planting. The same procedure shall be followed in planting replacements.
- During the establishment period the contractor shall water each plant with the following minimum quantities of water for each watering, unless otherwise directed by the Engineer.
  - (A) Deciduous Trees over 10' Ht. - 12 gallons per pit
  - (B) Deciduous Trees 10' Ht. or less - 6 gallons per pit
  - (C) Evergreen Trees - 8 gallons per pit
  - (D) Shrubs over 18" Ht. - 2 gallons per pit
  - (E) Shrubs under 18" - 1 gallon per pit
  - (F) Ground Covers and Vines - .25 gallon per pit
- The Contractor shall water all living plants every 4 weeks during the period between April 1 and May 31; every 2 weeks during the period between June 1 and September 30; and every 4 weeks during the period between October 1 and November 30. For Contractor's bidding purposes, this assumes a total of 14 times per year.
- Should the ball size exceed the minimum size given, the pit size need not be increased provided that there is sufficient space between the ball and the side of the pit to backfill and tamp properly.
- The Engineer or their designee shall be given the opportunity to inspect and approve all plant material at its source prior to digging or delivery. If this opportunity is waived, a representative sample of each species may be required for approval prior to shipment of the total quantity.
- Utility data has not been collected for this project. Prior to any construction, excavation, or landscaping, the contractor shall assume the responsibility of locating and verifying all utilities, above and/or below ground, public and/or private that may exist and cross through the area of construction.
- The Contractor shall coordinate, through the Engineer, the location and delineation of City assets that may exist in the project area.
- Major trees shall not be planted under overhead wires at any time.
- Location of plant materials shown on the plans are schematic only and shall be adjusted as required for changes due to actual field conditions when directed by the Engineer.
- On center spacing of plant material shall be indicated in the Landscape Summary or plan, unless otherwise directed by the Engineer.
- The location of all plant material shall be staked in the field by the contractor for approval by the Engineer prior to excavation of planting pits and/or beds and installation of any plant material.
- The mulching material for this project shall be: SHREDDED HARDWOOD BARK
- Definition of abbreviation:
  - CAL - Caliper
  - HGT - Height
  - B & B - Balled & Burlapped
  - CONT - Container
  - B.R. - Bareroot
  - EA - Each
  - L.F. - Linear Foot
  - C.Y. - Cubic Yard
  - S.F. - Square Feet
  - HR - Hour
- Planting pits for container material shall be twice the width of the container or root ball and equal to the depth of the container or root ball.

**LPDA**  
LAND PLANNING & DESIGN  
ASSOCIATES  
310 East Main Street, Suite 200  
Charlottesville, Virginia • www.lpda.net  
434.298.2106 • Fax: 434.298.2109



**Draper Aden Associates**  
Engineering • Surveying • Environmental Services  
Charlottesville, VA  
Richmond, VA  
Roanoke, VA  
Rappahannock County, VA

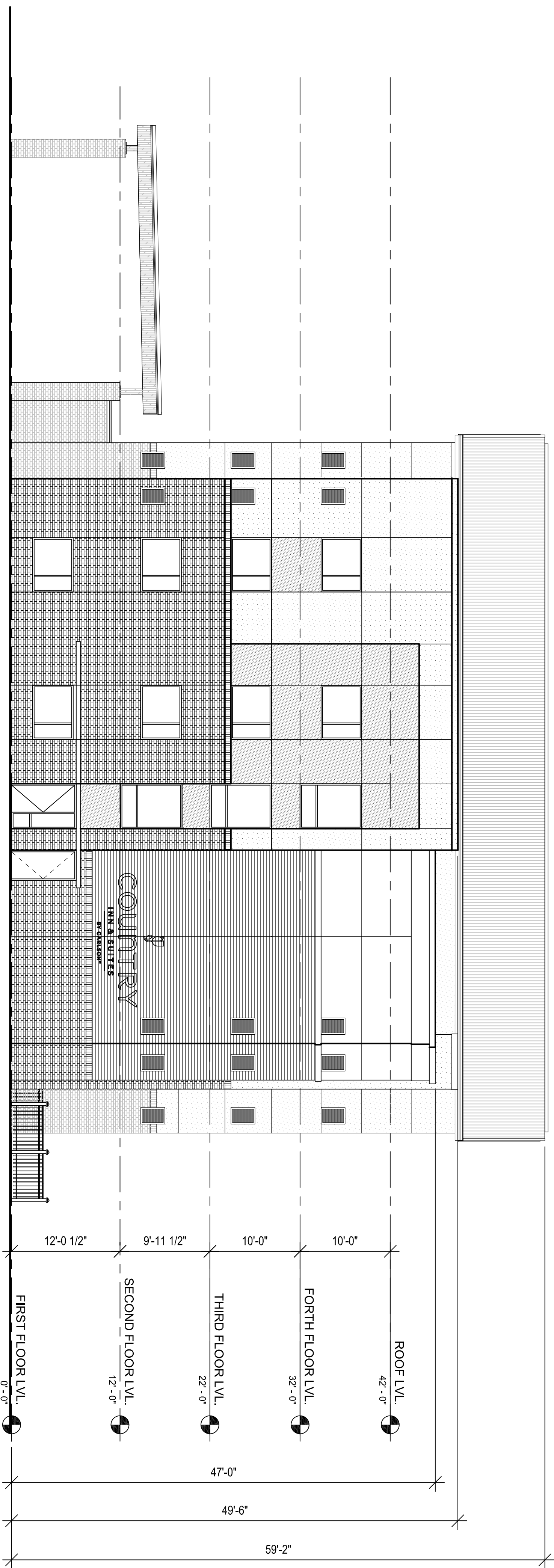


LANDSCAPE DETAILS AND SUMMARY

COUNTRY INN AND SUITES  
1500 N. EMMETT STREET, CHARLOTTESVILLE, VIRGINIA

REVISIONS  
APRIL 25, 2014  
REVISED PER EC COMMENTS

DESIGNED BY: JWR/JCS  
DRAWN BY: JWR/JCS  
CHECKED BY: JCS  
SCALE: NTS  
DATE: APRIL 25, 2014  
PROJECT NUMBER: C10103C-06  
L1.1

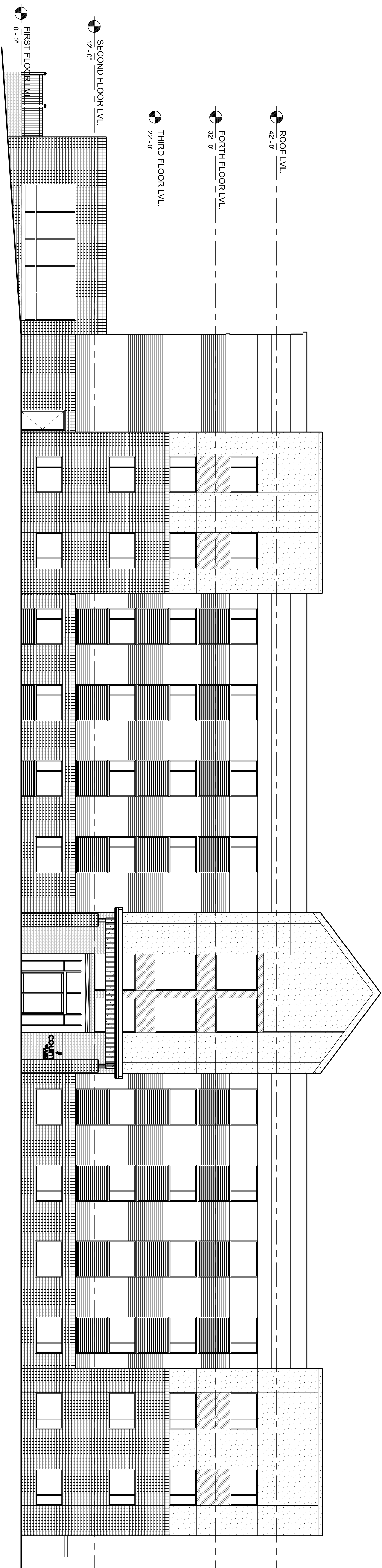


**SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		
1	FIBER CEMENT BRD 1	SHERWIN WILLIAMS OYSTER WHITE 1631
2	FIBER CEMENT BRD 2	SHERWIN WILLIAMS REFUGE 6228
3	FIBER CEMENT BRD 3	SHERWIN WILLIAMS TEMPE STAR 6229
4	SIDING	SHERWIN WILLIAMS OYSTER WHITE 1631
5	BRICK	TAYLOR PRODUCTS WIRECUT MODULAR 913 PINK
6	SHIMLATED WOOD	ARCHIL GRADE WOOD (WESTERN RED CEDAR)
1	METAL ROOF	ATAS D DOVE GRAY
	HORIZONTAL COLOR	BLUF
	HVAC GRILL COVER	SHERWIN WILLIAMS OYSTER WHITE 1631

- NOTES:
1. ALL EXTERIOR GLAZING IN DOORS AND WINDOWS TO BE CLEAR TEmPERED GLAZING WITH LOW E COATING ON INSIDE SURFACE. EXTERIOR REFLECTIVITY TO BE LESS THAN 18%.
  2. ALL WINDOWS AND WALLS TO BE KAIHER COLOR 1111.
  3. PLACE DETAIL COLOR TO MATCH ADJACENT FINISH COLORS.
  4. PATIO FLOORING TO BE METAL BLACK PAINTED.



**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

**BUILDING ELEVATIONS**

**COUNTRY INN AND SUITES**  
CHARLOTTESVILLE, VA



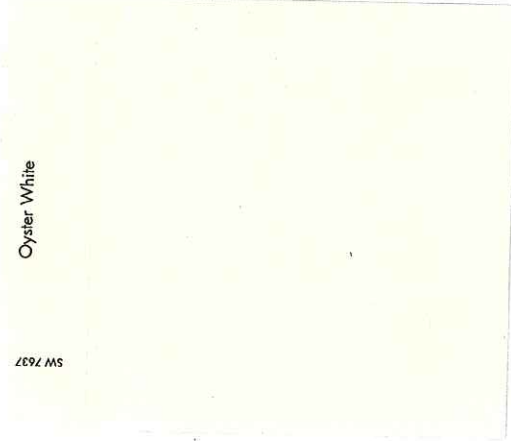
**nbj** ARCHITECTURE  
A Professional Limited Company  
GROVE PARK SQUARE  
11537-B NUCKOLS ROAD  
Richmond, Virginia 23059  
(804) 273-9811 fax: (804) 273-9843

Date	APRIL 22, 2014
REVISIONS	
NO.	DATE
Sheet	A-501
File Number	

PRELIMINARY DESIGN

Oyster White

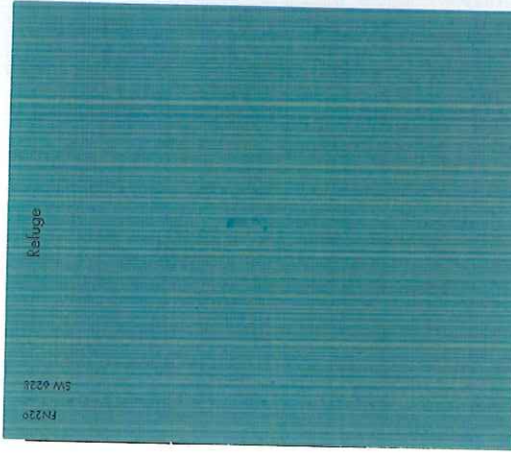
SW 7637



FIBER CEMENT BOARD  
COLOR 1

Keluge

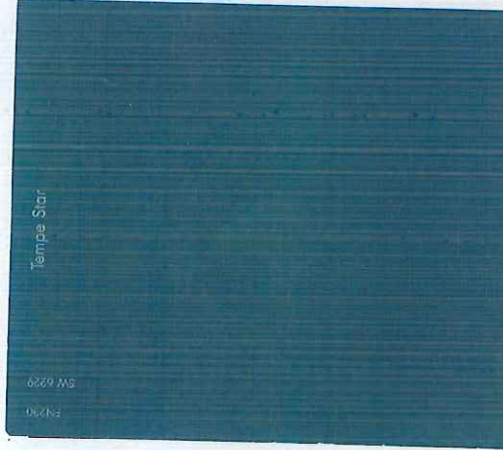
FN229  
SW 6226



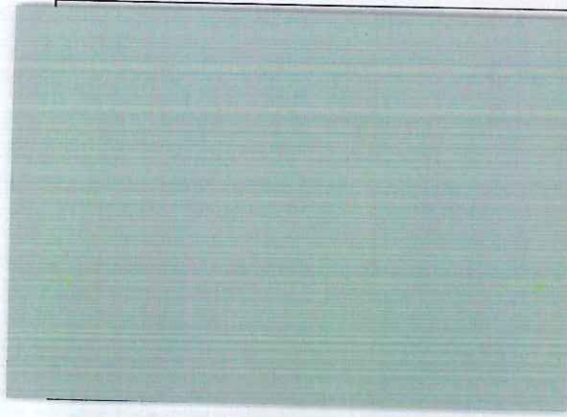
FIBER CEMENT BOARD  
COLOR 2

Tempis Star

FN230  
SW 6229



FIBER CEMENT BOARD  
COLOR 3



STANDING SEAM METAL ROOF

**nbj** ARCHITECTURE  
A PROFESSIONAL LIMITED COMPANY

Grove Park Square  
11537-B Nuckolls Road  
Glen Allen, Virginia 23059  
☎ (804) 273-9811 fax: (804) 273-9843

PROJECT:

**COUNTRY INN**  
CHARLOTTESVILLE, VA

DATE

APRIL 22,  
2014

**MATERIAL FINISH BOARD**

**TAYLOR** CLAY PRODUCTS INC

P.O. BOX 2128 SALISBURY, NC 28145 (704)636-2411

COLOR: #313 PINK

SIZE: MODULAR

TEXTURE: WIRECUT

*WHERE QUALITY IS FIRST*



AVERAGE SHADE SUBJECT TO  
NORMAL SHADE VARIATIONS

RIVERSIDE BRICK & SUPPLY CO., INC.  
1900 ROSENEATH ROAD  
RICHMOND, VA 23230  
(804) 353-6681 FAX (804) 353-7770  
800-616-6673  
www.riversidebrick.com

**TAYLOR**  
CLAY PRODUCTS INC.

