

Agenda

PLANNING COMMISSION REGULAR DOCKET TUESDAY, October 14, 2014 – 5:30 P.M. CITY COUNCIL CHAMBERS

I. PLANNING COMMISSION GATHERING -- 4:30 P.M. (Held in the NDS Conference Room)
Commissioners gather to communicate with staff. (4:30-5:30 P.M.)

II. REGULAR MEETING -- 5:30 P.M.

A. COMMISSIONERS' REPORTS

B. UNIVERSITY REPORT

C. CHAIR'S REPORT

D. DEPARTMENT OF NDS

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - September 9, 2014 – Pre meeting
2. Minutes - September 9, 2014 – Regular meeting
3. Minutes - September 23, 2014 – Work Session

III. JOINT PUBLIC HEARINGS (Beginning at 6:00 P.M.)

G. JOINT PUBLIC HEARINGS

1. **SP-14-08-07 (708 Page Street):** An application for a special use permit to allow for a Municipal/government office use in an R-3 Medium Density Residential Zoning District at 708 Page Street. The subject property is further identified on City Real Property Tax Map 31 as Parcel 293. The subject property is zoned R-3 Residential and is approximately 0.170 acres or 7405 square feet. The Land Use Plan generally calls for High Density Residential. **Report prepared by Brian Haluska, Senior Planner.**
2. **SP-14-08-08 (100 Block - West Water Street):** An application for a special use permit for a mixed use development pursuant to City Code sec. 34-744, to allow for increased residential density of up to 60 units per acre, instead of the 43 units per acre allowed by right; pursuant to City Code sec. 34-742 to allow an additional 31 feet in height, in addition to the 70 feet allowed by right; pursuant to City Code sec. 34-796 to allow for Farmer's Market and Auditorium, theaters (Maximum capacity greater than or equal to 300 persons.) The subject properties are contained within the 100 block of West Water Street, and consist of approximately 1.18 acres of land with road frontage on South Street, West Water Street, and 2nd Street SW. The subject property is further identified on City Real Property Tax Map 28 as Parcels 69,71, 72, 73, 74 and 75. The subject property is zoned WSD (Water Street District Corridor) with Architectural Design Control Overlay District, and Parking Modified Zone. The Land Use Plan generally calls for Mixed Use. **Report prepared by Brian Haluska, Senior Planner.**

IV. REGULAR MEETING – (continued)

H. Preliminary Major Subdivision

- a. Woodland Subdivision

I. Site Plan

a. 923 & 925 East Market Street

I. FUTURE MEETING SCHEDULE

Date and Time	Type	Items
Tuesday, October 28, 2014 – 5:00 PM	Work Session	Development Review Ordinances
Tuesday, November 11, 2014 – 4:30 PM	Pre- Meeting	
Tuesday, November 11, 2014 – 5:30 PM	Regular Meeting	

Anticipated Items on Future Agendas

- Zoning Text Amendment - PUD ordinance updates
- Locklyn Hill PUD
- Site Plan and Subdivision Ordinance Revisions
- Johnson Village Phase III Site Plan and Entrance Corridor review

**Persons with Disabilities may request reasonable accommodations by contacting
ada@charlottesville.org or (434)970-3182**

PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.

PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.

**LIST OF SITE PLANS APPROVED ADMINISTRATIVELY
8/1/2014 TO 9/30/2014**

- | | |
|--------------|---|
| 1. Amendment | Public Works Building Addition (4 th Street) |
| 2. Amendment | Arlington and Millmont Phase 2 |
| 3. Amendment | Coca-Cola Building (Preston Avenue) |
| 4. Final | 1000 West Main Street |
| 5. Amendment | St Anne's Belfield Theater Addition |

CITY OF CHARLOTTESVILLE
PLANNING COMMISSION PRE MEETING
TUESDAY, September 9, 2014 -- 4:30 P.M.
NDS CONFERENCE ROOM

Planning Commissioners present

Mr. Dan Rosensweig, Chair
Mr. Kurt Keesecker
Ms. Genevieve Keller
Mr. John Santoski
Mr. Lisa Green
Mr. Jody Lahendro
Ms. Taneia Dowell

Staff Present:

Ms. Missy Creasy, Planning Manager
Mr. Brian Haluska, Senior Planner
Ms. Carrie Rainey, Urban Designer
Ms. Lisa Robertson, Chief Deputy City Attorney

The Commission began to gather at 4:30 and was called to order at 5:00pm.

Ms. Keller asked questions about the subdivision process since it had been a while since one was reviewed and Ms. Robertson answered those questions.

It was noted that Ms. Keller would not be voting on the St. Anne's project, not because of a conflict but because she would be working on a long term project in that area of the community. Mr. Lahendro noted that he has children at the school but no conflict. Additionally, Ms. Green noted that she performs her code enforcement duties in this area of the County but has no concern being part of the discussions.

Ms. Robertson provided further guidance on the Conflicts of Interest Act including forms to assist commissioners in providing any necessary clarity.

The Commission noted that the Woodland Subdivision would be pulled from the consent agenda for discussion.

The guidelines for a preliminary discussion were reviewed.

The discussion adjourned at 5:25pm.

**MINUTES
PLANNING COMMISSION MEETING
September 9, 2014 - 5:30 P.M.
CITY COUNCIL CHAMBERS**

Planning Commissioners Present

Dan Rosensweig – Chairperson
Taneia Dowell
Lisa Green
Kurt Keesecker
Genevieve Keller
Jody Lahendro
John Santoski

Staff Present

Ms. Missy Creasy, Planning Manager
Ms. Lisa Robertson, Chief Deputy City Attorney

The meeting was called to order by Chairman, Dan Rosensweig at 5:30 pm, in which he extended a welcome to the two new members of the commission, Jody Lahendro and Taneia Dowell. Mr. Rosensweig said the commissioners are looking forward to working together to do their part in making Charlottesville a better place.

A. Commissioner's Report

Mr. Keesecker- No Report

Mr. Santoski stated that the school CIP committee will be meeting in September.

Mr. Osteen- No Report

Ms. Keller welcomed the new commissioners and stated that the Thomas Jefferson Planning District did not meet this month. Also she was absent from the PLACE Task Force meeting and therefore had no report.

Mr. Lahendro – No Report

Ms. Green stated that next Tuesday, September 16th at 10:00 am, the MPO technical committee will meet at the Water St. Center. Sarah Rhodes is moving to another position and she is unsure who the next staff person will be.

Ms. Dowell – No Report

B. CHAIR'S REPORT - Mr. Rosensweig reported that the Housing Advisory Committee met in sub-committees this month to begin a scoping exercise for two housing studies.

C. Report of the Nominating Committee

Mr. Santoski reported that he and Mr. Keesecker were on the nominating committee and spent a quite a bit of time considering the nominations for this year, and took into consideration the comments and viewpoints of some of the other planning commissioners as they were deliberating. The recommendations are Mr. Dan Rosensweig as Chairman and Kurt Keesecker as Vice-Chairman for the upcoming year. Additional nominations were called for and none were provided. At that point a vote was called to accept the slate of officers for the coming year.

The motion passed 6-1 with Ms. Green abstaining.

D. DEPARTMENT OF NDS - Ms. Creasy said the annual report is a review of what the commissioners have done over the last year and includes decisions on items, workshops offered, and topics of what was discussed throughout the last year. The majority of work sessions held during this time period focused on

Comprehensive Plan Implementation and preparation for the multiple long range projects. The following efforts began during this timeframe: Bike and Pedestrian Plan Update, Streets That Work Plan, Code and Policy Audit, and the Green Infrastructure Plan. The 2001 Bike and Pedestrian Plan update began in Spring 2014, with the assistance of Toole Design, as a part of implementing the City Council's Complete Streets resolution. The "Streets That Work" plan ties into this as well with the additional objective of providing guidance on how community streets can be designed in a manner to accommodate all modes of travel, while providing for place making within the community. The Code and Policy Audit is a comprehensive review of Charlottesville's regulatory practices to determine if they are consistent with community vision and goals.

Mr. Rosensweig asked about an update on the Standards and Design manual.

Ms. Creasy said that it is being folded into the Code Audit, since it will inform that document.

Mr. Rosensweig said he would like to see this come forward as part of a work session.

Ms. Keller said it would be useful to have regular check-ins for all of these major issues that are on-going. She said she feels it is appropriate to have a mini report at the work sessions so the Planning Commission would know where their projects are going and they could request a detailed report on some aspect as it is identified.

Ms. Creasy said the work session on the 23rd will be a joint session on the Code Audit and an additional update on the other items will be provided at future sessions.

Ms. Keller said we have a general idea of what is coming before us in our regular meetings, if you have identified projects that might come if we knew aspects of the Code and Policy Audit and Streets that Work were being worked on by staff, we would have some idea to how it is progressing rather than one big amount of information at once.

Ms. Green asked are the parking lot items being looked at because some things in the parking lot might fall into categories of things we are dealing at this time. She said one thing that was a concern was the necessity to lower the speed limits in certain neighborhoods.

Ms. Creasy stated the parking lot is a visual she looks at every day in her office and she said there are things in the forefront and we will talk about how to work these concerns into these projects.

Mr. Rosensweig said the work session plans, up to now, started with looking at the parking lot in January and trying to get as many work sessions dealing with the parking lot items but we probably have some items that are new to that list, and because of this they need to come up with another work plan.

Ms. Keller said if these issues could be identified by commissioners for the annual report with the included disclaimer that these were not the general consensus of all commissioners, but were concerns of some, and would act as a record of issues that were brought up during the year.

Mr. Rosensweig said there is a visual quality of the parking lot and will start next month re-incorporating the big visual piece of paper.

Mr. Keesecker said that they should have a broad discussion with the full Commission on the small area plan and ideas, as well in a bigger context on how to order and provide some priorities. He said the work sessions should tack on in an efficient management way to move through subject matter one item at a time.

Ms. Creasy said that Mathew Alfele is the new planner and stated interviews are beginning for the other planner position. She stated soon we will have all positions filled which will allow her to do more of the things the commissioners are asking her to do.

F. Consent Agenda

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - August 12, 2014 – Pre meeting
2. Minutes - August 12, 2014 – Regular meeting
3. Minutes - August 26, 2014 – Work Session

Ms. Green pulled item #4. Major Subdivision – Woodland Subdivision and it was moved to the end of the agenda.

Mr. Rosensweig abstained from item F5.) Major Subdivision – Burnett III PUD since he serves as the Executive Director of Habitat for Humanity and they have an interest in this development. His vote will not be included for this item.

Mr. Santoski abstained from item F6. Stonehenge PUD because he doesn't feel it is consistent to vote yes for something he has been opposed to. He will be voting on all the other items but abstaining from F6.

Ms. Green and Ms. Keller also abstained from item F6. Stonehenge PUD because they don't feel it is consistent to vote yes to something they are opposed to, but will be voting on all the other items but abstaining from F6.

Mr. Keesecker motioned to accept the Consent Agenda excluding #F4, seconded by **Ms. Keller**, motion passes 7-0 with the abstaining so noted.

G. Critical Slope Waiver Request

- a. St. Anne's Belfield Theater Building- Brian Haluska provided the staff report.

Mr. Lahendro stated that he has 3 children who attend St Anne's Belfield but this will no way affect his opinion on the application.

Ms. Keller said she is not disqualified from voting on this, but she is going to abstain because her major project this year at the University of Virginia will deal with the Ivy Road corridor and would prefer not to vote on this.

Ms. Green said she works for the County of Albemarle and this property is adjacent to her area for code enforcement but does not feel this will hinder her decision making ability.

The applicant provided a report and answered questions posed by the Commissioners.

Mr. Keesecker moved "to recommend approval of the steep slope waiver for Tax Map 7, Parcel 1.10, 2132 Ivy Road, based on a finding that the public benefits of allowing the disturbance outweigh the benefits afforded by the existing undisturbed critical slope, per City Code 34-1120(b)(6)(d.i) with the following conditions:

1. A preservation plan shall be developed for the 60" poplar tree identified on the plan, and that plan shall be approved by the City Arborist.

2. The limits of disturbance on the site plan and E&S plan shall adhere to the limits as shown on the page of the site plan titled "Erosion and Sediment Control Plan Phase 1" Sheet c103a, dated June 20, 2014, revision number 0.

Ms. Green seconded the motion. The Commission voted 6-0 to recommend approval of the critical slope waiver. Ms. Keller abstained from the vote.

H. Preliminary Discussion

A. Presented by Brian Haluska, Planner Neighborhood Development Services.

Market Plaza Special Use Permit (200 2nd Street SW)

PowerPoint Presentation Presented by Greg Powell, architect for Keith O. Woodard

Market Plaza: the focus of this destination complex is an half an acre civic plaza designed to be the home of the City Market on market days, and used for festivals and family recreational activities during the other days of the week, oriented southward and eastward to capture the morning sun, and accessed by a grand stairway directly aligned with First Street (the street to be closed to extend the plaza) and convenient elevator. Above the brick and stone plaza will be canvas "sail" sculptural elements providing shade for market goers and weekday visitors alike. The weekday focus of the plaza is a water fountain with several programmable vertical water jets contained in a very shallow pool flush with the plaza, illuminated in the evenings, and turned off for full plaza access to market vendors on market days.

Market Plaza will become a major focal point within downtown Charlottesville, providing a civic outdoor gathering place for the City's residents and visitors, assuring a permanent home downtown for our City Market, helping animate and complete the retail character along Water Street, while bringing 100 new downtown residents and upwards of 250 new office workers downtown to support the Mall and other downtown businesses.

The program of uses maximizes the value of one of a very few remaining downtown underdeveloped city blocks, with this mix of residential, office and commercial retail, café and events uses. It also provides 102 public parking places plus private spaces for each residential unit and for office executives (also providing office customers to lease parking spaces in the underutilized Water Street Garage).

The building is massed and detailed to be respectfully contextual to the neighboring buildings, while also bringing a dramatic new terraced profile to the downtown skyline.

2. Conforming to Comprehensive Plan:

Market Plaza will contribute significantly to forwarding the goals of the City's comprehensive Plan:

1. Land Use: The dynamic mix of uses planned for Market Plaza: 69 residences, 50,000 SF of office, 17,000 SF of retail, further many of the goals of the comprehensive plan for downtown, bringing new downtown economic activity and increased City tax base.

2. Community Facilities: the creation of the major urban plaza and urban park space contributes significantly to the quality of life of downtown Charlottesville.

3. Economic Sustainability: 250 new office workers and 100 new downtown residents will contribute to the growth of the downtown economy, benefitting all downtown businesses.

The scale of the project will stimulate the (re)development of the entire downtown south neighborhood and help jump start the redevelopment envisioned in the Strategic Investment Area predominantly directly south of this property. Street oriented- retail/café will reinforce and help complete the Water Street commercial street corridor, and an events space will become one of the largest meeting venues in town, overlooking the plaza fountain.

4. Environment: The streetscape around the property will provide environmentally responsible landscape design, with a bio-filter planting strip, a significant number of new trees and ground plantings to enhance the streetscape quality.

5. Housing: The project will significantly increase the downtown housing stock with the addition of 69 new urban residences to the heart of downtown.

6. Transportation: Market Plaza will provide 270 on site public and private parking, all underground so as to eliminate unsightly downtown surface parking, accessed from the Water Street arterial.

7. Historic Preservation & Urban Design: Market Plaza is designed to be respectful to its surrounding cultural and historic contexts. Its streetscape, massing, street wall detailing, generous plantings and major plaza/urban park amenity contribute significantly to enhancing the downtown neighborhood.

3. Compliance with Building Code Regulations

This high-rise vertical mixed-use complex will be designed to the latest building codes and life safety standards. Its fire resistant all-concrete structure and fully sprinklered spaces will meet today's most stringent life safety standards. Its careful planning will effectively separate its six different functions while creating a dynamic synergy between its complimentary uses. Its mechanical and electrical systems will be designed to be environmentally responsible through energy saving systems. Its storm water management system will dramatically reduce current storm water into the City system through the use of such elements as green roof, rain water bio-filter filtration and cistern storage for reuse for the development's significant landscape plantings.

4. Neighborhood Conditions

The Market Plaza concept has been carefully conceived to be respectful of its neighborhood context, urbane in its urban design, environmentally responsible, maximizing the positive economic impacts on the City and its Mall and other downtown businesses:

- Traffic or parking congestion: The project anticipates a pedestrian friendly environment. The vehicular access to the complex is only from the Water Street arterial, providing 102 public parking spaces, a private parking space for each of its 69 residential units (22 of which will be tandem spaces), and office parking at a rate of 1 space per +/- 600 SF, plus abundant underutilized available monthly parking at the Water Street Garage one block away.
- Natural environment: the proposed residential, office and retail uses are not noise or pollution generators. Mechanical systems including cooling towers to be screened on the rooftop and have sound attenuators and isolators. Any food service kitchens will be vented per stick building codes. Systems will be designed following energy conservation principles. Several "green architecture" elements will be incorporated including rain water reuse, green roofs, etc.
- Displacement of existing residents or businesses: this is one of the few properties in downtown which is totally vacant and in need of redevelopment to complete the urban fabric of the downtown south neighborhood. No businesses or residents will be displaced and we shall increase the downtown residential population by upwards of 100 residents (69 apartments) and upwards of 250 office workers (52,000 SF) who will increase business for Mall and other downtown businesses
- Discouragement of economic development: We shall increase the tax base of the City substantially through the development of 69 new residences, 20,000 SF of new office space and

more than 17,000 SF of retail/restaurant/events space. With 100+ new downtown residents and 250+ new downtown office workers, business for downtown commercial enterprises will also increase.

- Undue density of population or intensity of use: This project enhances public amenities in the City with the contribution of a major urban park and civic plaza. This scale of development is encouraged through the downtown zoning which was planned with an awareness of the existing downtown infrastructure.

Ms. Dowell stated she was mainly concerned about the noise ordinance.

Mr. Haluska said the noise ordinance allowed 65 dB in the day and 55 dB at night and did not predict this venue would produce nearly that much to violate the noise ordinance.

Lisa Robertson, Deputy Attorney, stated that noise would be considered in the SUP.

After much discussion by the commissioners, it appeared that the main focus of questions was centered on the corner of 1st and South Street. Ms. Keller, Mr. Keesecker, and Ms. Green all voiced concerns for pedestrian safety.

Mr. Rosensweig asked if they would consider having on-street parking in front of the building in order to slow down traffic on the street.

Mr. Powe said that would be up to the city, but that the turn lane onto Second Street SW could perhaps be eliminated. He said he would have to adjust the form of the storm water management features. "I think we're open to discussion of that and I do share the quieting benefits of parking," Powe said. He added that it could be a benefit to potential retail establishments.

Commissioners were generally favorable to the project, but offered potential conditions.

Ms. Keller was concerned about the way First Street had been redesigned in the conceptual plan. "I'm looking for some design gestures that would delineate the traditional alignment of First Street," Ms. Keller said. "It is called out on the Downtown Mall as the center of our city."

Ms. Keller also said she wanted an archaeological study of the site to document the history of a section of one of the oldest parts of the city.

Mr. Powe said he hopes to break ground on the project by next summer.

Mr. Rosensweig summed up the general consensus of the commissioners:

1. Issues regarding impact to the pedestrians experience along 2nd and South streets in regards to closing of the right of way and to invite people to use the cross street from the mall to ACAC.
2. Concerns about ADU requirements are going to require payment into the CHF and comprehensive plan is plastered with a preference for onsite affordable housing (if dealt with in Phase II) but we always try to have a mixture of income across all sectors of the city.
3. Pedestrian concerns at 2nd and South is a difficult design challenge and the commission would like to see more sense of how to create that life on the street along the Water's Street (perhaps in partnership with the city) by rethinking the right of way and including on street parking. How are you going to deal with the conflict of pedestrian and vehicular entrance and exit by the time you get the commercial size entrances you are talking about a very wide curb cut there and a lot of room for cars and a very long stretch for pedestrians to travel. Mr. Rosensweig said he would like see by the next time they come forward how they are going to deal with that and make it more inviting for pedestrians.

4. To get an archeological survey to document what is underground.
5. Mr. Lahendro's concern is with the plaza. He said a lot of what appeals to us in these renderings are the sails and water feature. If they disappear it is a different plaza.

Ms. Keller said she shares that same concern. She said she is fond these days of saying everything old is new again and we are reviving a lot of things from the 1970's and Charlottesville has been fortunate that the mall has thrived and been born again but the great urban plazas have not fared well so she feels they should consider some contingencies and she is concerned for the space on market days but what adapted use could this serve should the market need to relocate for whatever reason.

Consent Agenda#4. Major Subdivision – Woodland Subdivision

Presented by Missy Creasy, Planning Manager, Neighborhood Development Services

Justin Shimp, acting as agent for AB Holding Charlottesville has submitted a subdivision application for the property located off of the Woodland Drive and Porter Avenue right-of-ways. The applicant is proposing to re-divide the nine existing lots to create the same number of lots, a new public street and close a portion of the existing Woodland Drive right of way. This subdivision is considered major because it includes more than 6 lots and a road extension. The property is further identified on City Real Property Tax Map 20 Parcels 21-25 having frontage on the Woodland Drive and Porter Avenue right-of-ways. The site is zoned R-1S Single Family Residential and the total project area is 101,009 square feet or approximately 2.32 acres. The applicant submitted a subdivision plan on December 18, 2013. Attached is the subdivision plan layout with engineering, landscaping and utility details.

Ms. Green asked if there were other lay outs as opposed to closing Woodland and creating three dead end streets.

Mr. Santoski said regarding the Huntley PUD and how it comes up to Sunset it circles around and comes up Huntley Drive and that is quite a steep hill which has to be more than 10%. He said it would seem that there would be some way to connect Woodland to the next street. Mr. Santoski stated that there is continued conversation on how the Fire Department needs to have more than one way in and out of properties when there is a fire and he is wondering why the fire chief isn't having a fit about this situation.

Mr. Lahendro said the Stonehenge subdivision is more than 10%.

Mr. Rosensweig said you can't build a road less than 10% at this site. He said there's strong consensus among the commissioners that the standards are inadequate to produce the kind of urban feel that should be required on this site and can't see any other way around it if the ordinance does not allow it.

Mr. Santoski asked on either side of Woodland Road "there seems to be a property here and a property there and are you saying that this couldn't connect is if it is too steep to make the turn down Woodland Drive"?

The applicant said the right of way is not wide enough to build a street because of the slope and they cannot build a road through that section.

Mr. Rosensweig said it is not wide enough to build a city standard road there.

Ms. Keller said it is too narrow and too steep and the street has already been officially closed by City Council. Does the city have the authority to change those standards?

Mr. Santoski said there should be some kind of flexibility to change the regulations.

Mr. Rosensweig said we are in agreement with these difficult conditions and want to do something outside of the box and people continue come to us because the box is so small. Staff is working very hard and he really wants to get as much changed as soon as possible.

Ms. Robertson stated the city standards say what you want development to look like right now is what you have to work with on this application. Unless there is no possible use of this property that would be allowed under these current standards before you subdivide it or with any number of lots, if there is no development that can be done then there is an issue, but you don't have to design this or make it work for somebody so let's look at the context – the number of lots they would like to be able to do and meet the street standards.

The standards you have to work with are in section 29-181a of the sub-division ordinance “All streets within and contiguous to a subdivision shall be coordinated with other existing or planned streets, and such streets shall also be coordinated with existing or planned streets in existing or future adjacent or contiguous to adjacent subdivisions, as to location, widths, grades and drainage”.

The grade requirement section is 29-181c Exceptions. The agent or commission may vary or grant exceptions to the requirements of subsection (a). (1)The agent or commission reviewing a proposed variance or exception shall consider, in addition to the matters set forth in section 29-36: (i) the engineering requirements for coordination and connection; (ii) whether the need for coordination and connection outweighs the impacts on environmental resources such as streams, stream buffers, steep slopes, and floodplain; (iii) whether there is an alternative street connection from another location in the subdivision that is preferable because of design, traffic flow, or the promotion of the goals of the comprehensive plan, including the applicable neighborhood plan.

The Layout of each street shall be configured, to the extent practicable, to conform to the natural topography, to minimize the disturbance of critical slopes and natural drainage areas, and to provide vehicular, bicycle and pedestrian interconnections within the subdivision and existing or future development on adjoining lands. Streets that do not align with existing streets shall have an offset of no less than one hundred fifty (150) feet between centerlines, unless otherwise approved by the traffic engineer”.

She also said under certain circumstances to the connectivity requirements or to the grant the engineering requirement to serve that, the grade requirement maximum allowable street grade shall be 8% traffic engineer may vary or grant exceptions to the requirement pursuant to section 29-36 above, or to no more than 10% or the layout to conform to the natural topography to minimize the disturbance of critical slopes and natural drainage areas and to provide vehicular interconnections within the subdivision and existing or future development on adjoining lands.

The applicant said he would love to have that waiver in the city but we are hindered by the ordinance. Ms. Robertson stated there is no other configuration from the property (land within the lots) then she is not clear why the existing configuration approval can't be granted.

Mr. Santoski asked from Oaklawn Court is it possible for Manila to connect to Harris?

The applicant said they do not own that land and he knows that the road cannot be built to standard.
Section 189.2A

Ms. Green asked if they could at least get a second opinion on the ordinance.

Ms. Green said connectivity is what we talk about; at the very least we need to look at how Woodland Drive connects to Porter which is better than 3 dead ends.

The applicant continued to refer back to the street standards.

Ms. Creasy said at least two engineers have looked at this.

After much discussion it was moved by Ms. Keller to defer and ask staff to work with the applicants and other applicable city staff to investigate any other alternatives to make this an improved subdivision with the connectivity that the ordinance and plans desire, motion seconded by Ms. Green.

Dan Rosensweig – Yes

Tanea Dowell - Yes

Lisa Green - Yes

Kurt Keesecker - Yes

Genevieve Keller - Yes

Jody Lahendro - Yes

John Santoski – Yes

Motion passed 7-0.

Mr. Lahendro motioned to adjourn until the 2nd Tuesday in October.

A Joint Work Session of the Charlottesville City Council,
Planning Commission, Board of Architecture Review and the PLACE Task Force
September 23, 2014 at 5:00 p.m.
Water Street Center (407 East Water Street)

AGENDA

1. Code Audit Presentation and Discussion - Allison Linney, Facilitator

NDS

Jim Tolbert
Missy Creasy
Amanda Poncy
Carrie Rainey
Brian Haluska
Mary Joy Scala

City Council

Dede Smith
Satyendra Huja
Kristin Szakos
Kathy Galvin
Bob Fenwick
Lisa Robertson, Ass't City Attorney

Planning Commission

Kurt Keesecker
Dan Rosensweig
Gennie Keller
Taneaia Dowell
Lisa Green
Jody Lahendro
John Santoski

PLACE

Rachel Lloyd
Paul Josey
Mark Watson
Claudette Grant

Scott Paisley
Tim Mohr
Galin Boyd

BAR

Melanie Miller
Carl Schwarz
Laura Knott
Candace DeLoach

Tree Commission

Bitsy Waters

Public

Lena Seville
Bill Emory
Bill Niebel
Amanda Barbage
Rebecca Quinn
Mark Rylander
Julia Williams

Ms. Poncy said that staff found the vision was generally very good but there were some policy areas where minor corrections were needed and others that needed major adjustments. She presented the work of the staff group that had come up with a list of 40 general topic areas.

Ms. Rainey gave an overview on the Comprehensive Plan goals associated with codes, policies and design. She said we want spaces that are sustainable and beautiful, and a lot of the corresponding aspects of the Comprehensive Plan speak to those ideas.

Mr. Haluska discussed the implementation strategy commenting that city staffers are tracking the implementation as they go through all of the identified items in the code audit. He also said the priorities were determined by deficiencies and pressing needs, such as establishing block length standards.

Ms. Creasy highlighted the key recommendations staff provided as part of the report.

Following Ms. Creasy's report, Ms. Linney asked those in attendance to ask any questions for clarity prior to beginning the dialogue.

Rachel Lloyd (PLACE) asked about prioritization and whether they will be able to implement the update to the codes and the guideline documents piece by piece or will it be an ongoing process.

Missy Creasy (NDS) – said she's not sure if it will ever be complete but we are working through our development review policies now and anticipate something happening with it in the fall. We are now getting information from the West Main Street study and form base codes and soon as that is finish we will start working through code language to bring to the appropriate boards in the Spring.

Lisa Green (PC) – asked if parking lot items are included and asked if the noise ordinance could be looked at as well.

Missy Creasy (NDS) - said the noise ordinance will be looked at as an environmental concern and will be added to the list for review.

Kathy Galvin (CC) – asked how hard and fast are the recommendations and the discussion of code audit summary.

Kristin Szakos (CC) – said regarding the section on comprehensive plan goals and value, there were no housing values included.

Missy Creasy (NDS) – said that is just a summary and there is a long list which includes more of the comprehensive plan.

Kristin Szakos – commented on the language about housing as stated in the Comprehensive Plan, Housing Chapter, and that it should be included in the executive summary.

Gennie Keller (PC) – asked for information about the process of street width and street trees with conflicting objectives.

Missy Creasy (NDS) –said we will sit down and talk through the details. There is a limited amount of space in our Right of ways and we are hoping some street designs can work in certain areas.

Dan Rosensweig (PC) – said we have multiple conflicting values with the Comprehensive plan as a guiding document to flushing out these specific code changes and he is wondering if there is an opportunity to get a fresh set of eyes on the recommendations. We should look for someone who has done code audits and produced an outcome that we like. He said his sense is that this is a lot of work and he is worried – what we will end up with compromise rather than resolution.

Rachel Lloyd (PLACE) – said she has found that using case studys is a good solution, by just picking up the phone and call planners in other communities who

have faced the same problems as we have is very helpful.

Satyendra Huja (CC, Mayor) – said “If not broke don’t fix it” – some things are useful in some areas that are not useful in others.

Lisa Green (PC) – said people have asked her what it means to change from zoning to form based codes and the public needs to know what they should expect.

Jim Tolbert (NDS) – said there is an assumption that we are doing this to form a form based code, but that cannot be done without a lot of public engagement, education and communication. This is a comprehension look at our codes and form based codes may be a solution that we come to in some areas but it may not.

Kathy Galvin (CC) – asked if there are any field observations of streets that exemplify our Comprehensive Plan.

Bitsy Waters (TC) – said the tree commission had several things that were not tree friendly, one is utilities, and zero lot lines where all street trees could be waived. She said the words in the Comp Plan treats trees as nuisances. Trees and green is so high on policies – why can’t we just plant smaller trees.

Jim Tolbert (NDS) – said not everybody likes or wants trees and we didn’t just have tree people looking at trees, we had everybody looking at trees. All the utility conflicts are in there.

Melanie Miller (BAR) – said her concerns are sidewalk widths and how they are calculated and is there any account of utility poles factored into their width?

Jim Tolbert (NDS) – said when the committee looked at sidewalk widths we were looking at clear width – look at 5 foot sidewalks in residential areas, put a mailbox on it and you still can’t pass. We know that is something we will have to deal with no answer to clear width.

Kristin Szakos (CC) - said that the 79 page document is very helpful because of the stream of consciousness and whatever the discussions are, we should keep this history so we will understand the issues.

Laura Knott (BAR) - said she was concerned about view sheds within the city limits along with street closures.

Gennie Keller (PC) – she said looking at pages 5 and 6, the executive summary should be reworked and made parallel so we all can have the same understanding.

Dan Rosensweig (PC) – said he feels there is too much detail at this point and needs to look at higher levels. He does not want to address details at this point and feels there are places we would like build but can’t build anymore in Charlottesville. He questioned how do we create these things?

Paul Josey (PLACE, TC) - asked about the next steps and how do we address our comments and to whom? He said utility work with a certain distance is a general city requirement and tree lines, combined soil lines, and soil lines because trees

like to be together. He asked to have more tree lines because there will be a lower volume of trees if we put them together.

Kurt Keesecker (PC) – stated it would be helpful to articulate a couple of different patterns and the standard and design manual could be altered by some methods that would be fast tracks for applicants so they didn't have a concurrent process in the standard and design manual in the future.

Jim Tolbert (NDS) – said one thing is the process of bringing in a new idea and it doesn't have to go through a lengthy amendment process to get it done. We want to simplify with fewer words as we can make them.

Mark Watson (PLACE) –asked if there was any code with interaction with the rail system, fencing, and crossing and issues associated with the color of rock.

Jim Tolbert (NDS) – said the Code of Virginia notes we have to leave them alone; we cannot clean it up or send someone in to clean it up and pay them to do it.

Kristin Szakos (CC) –said one thing she would like to see is congregate housing. She likes the idea of sidewalks staying level and driveways going over them rather than dipping down.

Kathy Galvin (PC) – said she was answering a question on what is being over looked. She said we are missing a city wide look at where we want high density and intensity development. And where we want a low density and how it transitions in between. She said once we establish those kinds of different creations in zones she wants to know we are using the idea of contact sensitive zones that in the ITE manual and in the Comp Plan that generates this whole process.

Bill Emory (Public) – said his concerns are site plans and thru truck restriction and it would be nice if there was a public parking lot where we could take all the comments.

Lena Seville (Public) – said her concerns are solar panels and how we need code protection for solar panel

Rebecca Quinn (Public) – asked if the staff generated ranks of high, medium and low? What about Priorities?

Kristin Szakos (CC) – commented on putting into policy or code ways to make up for stuff we do in other areas like blacktop or trees. Another comment was the river and that the river needs some attention as a unique eco-system.

Dede Smith (CC) – said she had some concerns under page 6 and 7, to achieve a more walkable community and historic preservation is not listed.

Dan Rosensweig (PC) – said things not listed are setbacks, front setbacks, street redo.

Lisa Green (PC) – commented on page 6 regarding “protect the pedestrian.” She

would it to say “convenience pedestrian experience”.

Gennie Keller (PC) – stated that she would like attention paid to specialty pavement in historic areas and the policy on how to deal

Tim Mohr - spoke on off street parking and he would like clarity on livestock rules.

Satyendra Huja (CC, Mayor) – said he would like consideration of public art.

Bill Emory – said he would like to see a policy when we deal with land use issues in the small area plan. He wants to know the direction of how these issues will be addressed, and how they will be prioritized.

Melanie Miller (BAR) – asked are we looking at the policies on alleys and looking at the code to discourage alley closings, utilities- can we do anything about pole location and crossings?

Jim Tolbert (NDS) – This is not a code issue but a policy issue. Do we have anything regarding trimming trees crisscrossing poles across the street is a Dominion Power issue, and yes we need to take a look at outages and other problems we have.

Paul Josey (PLACE) –asked if we could put a priority on underground utilities in main corridors?

Amanda Barbage (Public)–she said she wanted to see more strategies on the transit system.

Kristin Szakos (CC) – regarding the HEAL Resolution, she would like to see language about Public health within the code, such as stairs more visual than the elevator. We also need a policy to address the cleaning of alley ways for those who are unable to care for themselves because these people don’t have the resources to clean them up.

Dan Rosensweig (PC) – commented on how to write codes with flexibility and context (Jim to look at performance standards)

Jim Tolbert (NDS) – said we are trying to get to a performance standard that we are trying to meet these performance standards and if you can meet the performance stands then the options are out there for you. Street design will be a range of options to get there and then there is one that is completely different and we will have to come up with a better way to do it, and be much more flexible to what the bottom lines are.

Rachel Lloyd (PLACE) – said there is a gap between the comprehensive plan and the goals ordinance and there are no other policies besides complete streets and HEAL. Are there policies to address urban design?

Jim Tolbert (NDS) – said embedded in this is so much of this not necessary to a policy

Kathy Galvin (CC) – commented on the implementation strategy and asked if zoning categories are appropriate and how much will we look at LU charges. The LU map meets goals and looking at mixed use ratios maybe different from one corridor to another.

Jim Tolbert (NDS) – The Comprehensive plan has some land use, to make some assumption while looking at mixed use ratios vertical or horizontal; we have to identify that as something to talk about.

Mark Rylander (Public) – spoke on clarity, to make sure the policies are clearly organized policies to address character, dimensions, space environment and stay on task.

John Santoski (PC) – said for him the most frustrating part for him on the Planning Commission regarding codes. It seems like our hands are tied either by the State or our own codes. When we're decided on zoning, housing, cross walks it's always so complicated. The question is why it can't be clear and practical. Why can't it be clear, simple and creative?

Jim Tolbert (NDS) – When we rewrote the comprehensive plan, people wanted mix use developed in 2001 and the idea then was to mix it vertically and put percentages in, then we rewrote the code in 2003. We said to enforce this you would have 25%, a lot of reasons we didn't see a lot of that because financing was difficult in a vertical building to get commercial and residential and during the time the prevailing thought started to change and realized the 25% is not working. Zoning is the worse common denominator because there is always somebody that is going to do something you don't want.

Kathy Galvin (CC) – asked if we can replace SADM with a new document that ties to something that shows how streets elements relate within the context of the streetscape.

Lisa Green (PC) --stated she would like to have enforcement as a key issue.

Dan Rosensweig (PC) –asked how do performance standards affect the dialogue that incorporates the kind of context sensitive place base design that we want and we don't end up with everyone saying how we get there. How do we affect that dialogue?

Jim Tolbert (NDS) – said we are going to have to have all of the players to sit down in a conversation and somebody is going to have to make the decision that this is what we want our communities to be and this is the standard that is going to be in place. Everybody might not like it but that's government and it is what it is.

Rachel Lloyd (PLACE) – said that is what the Comprehensive Plan does, gives certain priorities

Julia Williams – commented that she feels the interpretation of codes are important and she is concerned about mixed use

Rebecca Quinn (Public) –stated regarding enforcement and compliance, she needs to understand what is required.

Satyendra Huja (CC, Mayor) - He noted that consideration for multimodal transportation is important but cars should not be forgotten.

Kathy Galvin (CC) – commented on Design guidelines.

Jim Tolbert (NDS) – said there are some things we can incorporate in design guide line into the code.

Bitsy Waters (TC) – said trees are a high priority, and looking at the plans and goals, she wonders where are these things going to help and she is very comfortable with where are we and feels we need to step back and take a look at it.

Jim Tolbert (NDS) –said we would love to put everything as a high priority because everything is a pressing issue to somebody, obviously we can't do everything at once. They all are inter-relative and it is so hard to pull any one piece out to be highest priority. We are going to have to do some work collectively on how we are going to address them and work through the individual details and have a bigger picture of understanding. It is going to be difficult to say what is high or low priorities.

Kurt Keesecker (PC) – gave advice on how he analyzed the 79 page memo by using 4 boxes (categories).

Kristin Szakos (CC) – stated one of the items that should be high priority should be the work load of the day to day positions that are frustrated to the Planning Commission and City Council to have the policies and ordinance to help make those things driven by where things are being developed now.

Kathy Galvin (CC) –stated we need a big picture discussion exercise about where do we want to grow and where do we want to preserve, how to get from high density to low density.

Jim Tolbert (NDS) said we think that our comp plan, zoning code tells us that we know where corridors allow intensity- density corridors and mix use or where we want that to happen. It may be that we need to step back and have some conversations around the fact of do we agree with those; we need to be careful how we approach it but by having that conversation might be the next step that we take. He said let's validate or change where we see those things that we have now. We assume that the community (because we had a lot of community involvement) feels we are in the right place. The issue of transition is huge and we have a lot of existing zoning districts where you have industrial right up against residential, how do we transition that given previous rights that have been there and making and seeing that change happen.

Dede Smith (CC) – asked Mr. Tolbert to clarify where the discussion of zones intersect with the code audit.

Jim Tolbert (NDS) – said it was not anticipated that they were going to do a major overhaul of zoning. He said to put together a discussion on a higher level of zoning is where we want low intensity, medium, and high intensity; and if different from what we have now, then that's the first thing we need to address now to start filling in the details.

Kathy Galvin (CC) - West Main Street is a great example of how our values conflict with each other and can be used as a way to investigate where our codes need to be sensitive to our values.

Jim Tolbert (NDS) – said he should get some recommendations on West Main street- a long process we are going to have to go through to take it from their recommendations to a good understanding to getting it adopted to making sure that we as a community are good with it, and that's the unfortunate thing is West Main street was fine until everybody said “do we want that”? He said there was a lag time and things were approved before we had a time to massage things to make them better.

Dan Rosensweig (PC) – said he is not sure the comprehensive plan validates the existing zoning which can be noted by the inclusion of the establishment of additional small area plans (small area plans to look at other areas, other big picture items)

Jim Tolbert (NDS) said all comments are due by October 3rd from groups to Missy Creasy.

Kristin Szakos (CC) – Thanking the entire citizen's volunteer on behalf of the mayor - thank you.

Claudette Grant (PLACE) – asked what is next after this meeting?

Jim Tolbert (NDS) - said this has raise questions and we will figure out the details. He said when we come back we will have a proposed outline of how we will do the process. It will be a proposed, because we want to hear your thoughts on it. He also said we have to figure out how to involve the community in this.

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT

APPLICATION FOR A SPECIAL USE PERMIT
PLANNING COMMISSION AND CITY COUNCIL JOINT
PUBLIC HEARING

DATE OF HEARING: October 14, 2014
APPLICATION NUMBER: SP-14-08-07

Project Planner: Brian Haluska, AICP
Date of Staff Report: September 17, 2014

Applicant: City of Charlottesville
Applicant's Representative: Kathy McHugh, Housing Coordinator
Current Property Owner: City of Charlottesville

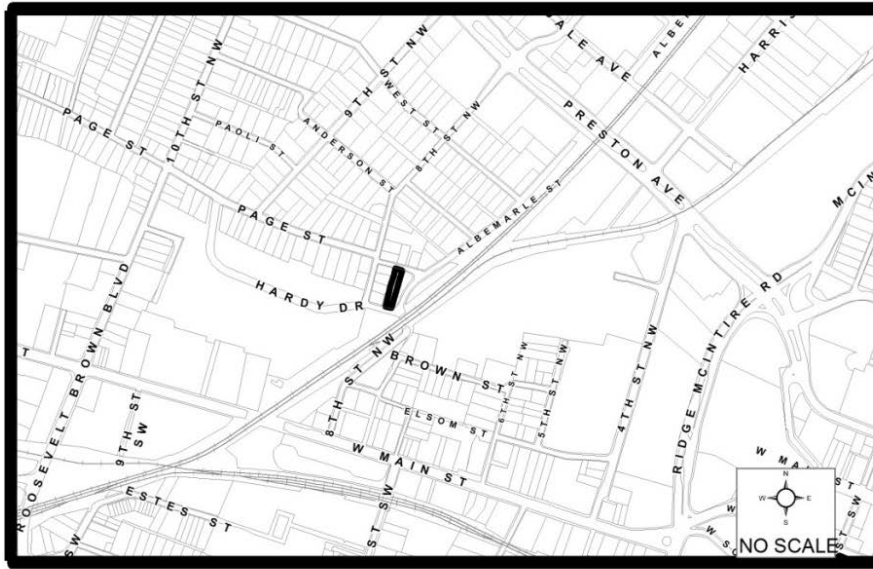
Application Information

Property Street Addresses: 708 Page Street
Tax Map/Parcel #: Tax Map 31, Parcel 293
Total Square Footage/Acreage Site: 0.17 acres
Comprehensive Plan (Land Use Plan) Designation: High Density Residential
Current Zoning Classification: R-3 Residential
Tax Status: The property is tax exempt.

Applicant's Request

Special Use Permit (City Code Sec. 34-420) for location of a municipal/government office at the R-3 Residential property located at 708 Page Street.

Vicinity Map



Background/ Details of Proposal

Kathy McHugh, Housing Coordinator for the City of Charlottesville has submitted a special use permit application for an existing residential structure located at 708 Page Street. The property has additional street frontage on Hardy Drive.

The R-3 Zoning district permits municipal/governmental office by special use permit. The City is in need of space for the office of the City of Promise program within this neighborhood.

About City of Promise: City of Promise is a program funded, in substantial part, by a federal planning grant awarded by the U.S. Department of Education, a multi-year grant from the Va. Dept. of Criminal Justice Services, and additional funding and services from the City of Charlottesville and related entities. Children Youth and Family Services, Inc. (a local nonprofit organization) applied for the grant, in partnership with numerous community stakeholders, including the City of Charlottesville, who have joined in a Memorandum of Understanding (MOU) setting forth their roles and responsibilities. The City government, City Schools, Housing Authority, Commission for Children and Families, local health department, MACAA and UVA are each participants are among the membership of the governing board/ steering committee of the City of Promise.

Land Use and Comprehensive Plan

EXISTING LAND USE; ZONING AND LAND USE HISTORY:

The property is currently a vacant residential structure that was acquired by the City of Charlottesville in July 2014.

Section 34-350(c) of the City Code describes the purpose and intent of the multi-family residential zoning districts:

Multifamily. The purpose of the multifamily residential zoning district is to provide areas for medium- to high-density residential development. The basic permitted use is medium-density residential development; however, higher density residential development may be permitted where harmonious with surrounding areas. Certain additional uses may be permitted, in cases where the character of the district will not be altered by levels of traffic, parking, lighting, noise, or other impacts associated with such uses. There are three (3) categories of multifamily residential zoning districts:

(1) R-3, consisting of medium-density residential areas in which medium-density residential developments, including multifamily uses, are encouraged;

(2) R-UMD ("university medium density"), consisting of areas in the vicinity of the University of Virginia campus, in which medium-density residential developments, including multifamily uses, are encouraged; and

(3) R-UHD ("university high density"), consisting of areas in the vicinity of the University of Virginia campus, in which high-density residential developments, including multifamily uses, are encouraged.

Zoning History: In 1949, the property was zoned B-2 Business. In 1958, the property was rezoned to its current R-3 Residential designation.

SURROUNDING LAND USES AND ZONING DISTRICTS

North: Immediately north of the property are several low-density residential structures. These properties are zoned R-3.

South: Immediately south of the property is Hardy Drive and railroad right-of-way. The property is not zoned.

East: Immediately adjacent to the east is a vacant parcel of land owned by the Southern Railway Company, and 7th Street NW. The property is zoned R-3. Further east is the Southern Railroad right-of-way.

West: Immediately adjacent to the west are five residential lots zoned R-3. Only one of these lots has a structure located on it, a residential structure located at 208 8th Street NW. Further to the west are two occupied lots on 8th Street NW that are zoned R-1S.

NATURAL RESOURCE AND CULTURAL FEATURES OF SITE:

The site does not have any notable natural resources. The existing structure on the lot is close to the road, and the rear yard is grass. The nearby trees are on the adjacent property owned by the Southern Railway Company.

COMPREHENSIVE PLAN ANALYSIS:

The Comprehensive Plan is generally supportive of higher density residential uses in this area, in keeping with the zoning decisions made in the past, and acknowledging the adjacent Westhaven development. The Comprehensive Plan also places a strong emphasis on supporting development that is multi-modal, particularly developments that encourage biking and walking.

Specific items from the Comprehensive Plan are as follows:

Land Use

- When considering changes to land use regulations, respect nearby residential areas. (Land Use, 2.1)

Economic Sustainability

- Explore programs for City of Charlottesville youth that will expose them to the principles of financial literacy, economics and entrepreneurship. (Economic Sustainability, 6.1)

Public and Other Comments Received

PUBLIC COMMENTS

Staff has received no comments from the public as of the drafting of this report.

IMPACT ON CITY SERVICES:

Public Works (Water and Sewer):

Staff does not anticipate any problems with serving the projected demands.

Public Works (Storm Drainage/Sewer):

Staff does not anticipate any changes to the storm drainage on the site.

Staff Analysis and Recommendation

ANALYSIS

Assessment of the Development as to its relation to public necessity, convenience, general welfare, or GOOD ZONING PRACTICE:

The City has zoned this block as R-3 to provide the opportunity for medium residential density development. The zoning ordinance provides for the possibility of locating a government office in an R-3 zone. While locating a large government complex like City Hall in this location would certainly present a dramatic impact on the neighborhood, the scale of the proposed use in this case is one that is in keeping with the surrounding neighborhood. Additionally, the use will provide convenient access to some clients of this office, by locating it in a residential neighborhood rather than in a commercial area.

Assessment of Specific Potential Impacts of the Proposed Development:

1. Massing and scale of the Project, taking into consideration existing conditions and conditions anticipated as a result of approved developments in the vicinity

The existing building is similar in massing and scale to the surrounding structures.

2. Traffic or parking congestion on Page Street

The proposed project will impact parking on the streets adjacent to the building. The current structure has what appears to be a driveway entrance to the east of the property. This parking area, however, is on an adjacent property that is not owned by the City. All other parking demand generated by the use would be accommodated via on-street parking in the neighborhood. There is available on-street parking along several surrounding streets, and the demand for these spaces is currently low due to the number of vacant lots on the block with the house at 208 Page Street. The City's parking ordinance would require a new office structure of this size to provide four on-site spaces.

One concern that the application raises is the potential for a governmental agency to locate on the site in a new building that would require a larger amount of parking and present a larger impact to the surrounding neighborhood. Staff has addressed this by proposing a condition that would limit the number of on-site spaces on the property.

3. Noise, lights, dust, odor, vibration

Staff does not anticipate that the noise, lights, dust, odor or vibration generated by the proposed use will be greater than what can be anticipated in a low-density residential district.

4. Displacement of existing residents or businesses

The proposal would not displace any existing residents or businesses, as the property is currently vacant. The proposed use would change the use of the property from a residential use to an office use.

5. Ability of existing community facilities in the area to handle additional residential density and/or commercial traffic

The building will create additional commercial traffic through switching the use of the structure to office space. Staff anticipates that the impact to community facilities will be negligible.

6. Impact (positive or negative) on availability of affordable housing

The proposed permit would remove a single unit of housing from the market and convert it to an office use.

RECOMMENDATION

Staff finds that the proposal is supported by the City's Comprehensive Plan, that the proposed use is reasonable at this location, and that the impacts of the development will not create an undue burden on the surrounding neighborhood.

Staff recommends approval with the following condition:

1. There will be no more than 4 parking spaces on site.
2. Any municipal/government office use will be limited to 2,000 gross square feet of internal space.

Attachments

1. Photographs of the subject property.
2. Copy of City Code Sections **34-157** (General Standards for Issuance) and **34-162** (Exceptions and modifications as conditions of permit)
3. Copy of City Code Section **34-350** (Residential Districts – Purpose)
4. Suggested Motions and Resolution
5. Application and Supporting Materials

RESOLUTION
RECOMMENDING APPROVAL OF A SPECIAL USE PERMIT
TO ALLOW A PROPOSED MUNICIPAL/ GOVERNMENT OFFICE USE
AT 708 PAGE STREET

WHEREAS, the City of Charlottesville, through its Housing Coordinator (“Applicant”) has submitted application No. SP-14-08-07 (“Application”) seeking approval of a special use permit for property owned by the City and located at 708 Page Street, identified on City Tax Map 31 as Parcel 293 (“Subject Property”). The Subject Property consists of approximately 0.17 acre. The special use permit seeks authorization to use the Subject Property for a municipal/ government office; and

WHEREAS, the Subject Property is zoned “R-3” (R-3 medium-density multifamily residential), and pursuant to §34-420, City Council may authorize the use of the Subject Property for municipal/ government offices by approval of a special use permit; and

WHEREAS, following a joint public hearing before this Planning Commission and City Council, duly advertised and held on October 14, 2014, the Planning Commission has reviewed this application and hereby finds that the proposed special use permit will serve the interests of the public necessity, convenience, general welfare or good zoning practice, and will conform to the criteria generally applicable to special permits as set forth within §§ 34-156 et seq. of the City Code; now, therefore

BE IT RESOLVED by the Planning Commission of the City of Charlottesville, Virginia that a special use permit is hereby recommended to City Council for approval, to authorize the use of the Subject Property for municipal/ government offices; provided, however, that the Planning Commission further recommends that the special use permit be subject to the following conditions:

- (1) **Use limited to existing building**: the municipal/ government offices shall be located within the existing building that is located on the Subject Property as of the date of special use permit approval.
- (2) **On-site parking limitation**: No alteration or expansion of the existing building located on the Subject Property, no new construction, and no use of any building on the Subject Property, shall be permitted if such alteration, expansion, construction or use would require more than four (4) parking spaces to be located on the Subject Property.

Attachment 1



The structure located on the property.



The 700 block of Page Street. On-street parking is permitted on a portion of the left side of the street.



8th Street NW. Parking is permitted on the right side of the street.



The subject property viewed from Hardy Drive. The yellow structure is the only other structure on the block.



The corner of Page Street and 7th Street NW. 7th Street proceeds up an incline to an underpass, and eventually to an intersection with West Main Street. The trees in the picture are on property owned by the Southern Railway Company.

Attachment 2

Sec. 34-157. General standards for issuance.

(a) In considering an application for a special use permit, the city council shall consider the following factors:

- (1) Whether the proposed use or development will be harmonious with existing patterns of use and development within the neighborhood;
- (2) Whether the proposed use or development and associated public facilities will substantially conform to the city's comprehensive plan;
- (3) Whether proposed use or development of any buildings or structures will comply with all applicable building code regulations;
- (4) Whether the proposed use or development will have any potentially adverse impacts on the surrounding neighborhood, or the community in general; and if so, whether there are any reasonable conditions of approval that would satisfactorily mitigate such impacts. Potential adverse impacts to be considered include, but are not necessarily limited to, the following:
 - a. Traffic or parking congestion;
 - b. Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment;
 - c. Displacement of existing residents or businesses;
 - d. Discouragement of economic development activities that may provide desirable employment or enlarge the tax base;
 - e. Undue density of population or intensity of use in relation to the community facilities existing or available;
 - f. Reduction in the availability of affordable housing in the neighborhood;
 - g. Impact on school population and facilities;
 - h. Destruction of or encroachment upon conservation or historic districts;
 - i. Conformity with federal, state and local laws, as demonstrated and certified by the applicant; and,
 - j. Massing and scale of project.
- (5) Whether the proposed use or development will be in harmony with the purposes of the specific zoning district in which it will be placed;
- (6) Whether the proposed use or development will meet applicable general and specific standards set forth within the zoning ordinance, subdivision regulations, or other city ordinances or regulations; and
- (7) When the property that is the subject of the application for a special use permit is within a design control district, city council shall refer the application to the BAR or ERB, as may be applicable, for recommendations as to whether the proposed use will have an adverse impact on the district, and for recommendations as to reasonable conditions which, if imposed, that would mitigate any such impacts. The BAR or ERB, as applicable, shall return a written report of its recommendations to the city council.

(b) Any resolution adopted by city council to grant a special use permit shall set forth any reasonable conditions which apply to the approval.

Sec. 34-162. Exceptions and modifications as conditions of permit.

(a) In reviewing an application for a special use permit, the city council may expand, modify, reduce or otherwise grant exceptions to yard regulations, standards for higher density, parking standards, and time limitations, provided:

(1) Such modification or exception will be in harmony with the purposes and intent of this division, the zoning district regulations under which such special use permit is being sought; and

(2) Such modification or exception is necessary or desirable in view of the particular nature, circumstances, location or situation of the proposed use; and

(3) No such modification or exception shall be authorized to allow a use that is not otherwise allowed by this chapter within the zoning district in which the subject property is situated.

(b) The planning commission, in making its recommendations to city council concerning any special use permit application, may include comments or recommendations regarding the advisability or effect of any modifications or exceptions.

(c) The resolution adopted by city council to grant any special use permit shall set forth any such modifications or exceptions which have been approved.

Attachment 3

Sec. 34-350. Purpose.

- (a) *Single-family (R-1)*. The single-family residential zoning districts are established to provide and protect quiet, low-density residential areas wherein the predominant pattern of residential development is the single-family dwelling. There are four (4) categories of single-family zoning districts:
 - (1) R-1, consisting of low-density residential areas;
 - (2) R-1(S) ("small lot"), consisting of low-density residential areas characterized by small-lot development;
 - (3) R-1U ("university"), consisting of low-density residential areas in the vicinity of the University of Virginia campus; and
 - (4) R-1U(S) ("university, small lot"), consisting of low-density residential areas in the vicinity of the University of Virginia campus, characterized by small-lot development.
- (b) *Two-family (R-2)*. The two-family residential zoning districts are established to enhance the variety of housing opportunities available within certain low-density residential areas of the city, and to provide and protect those areas. There are two (2) categories of R-2 zoning districts:
 - (1) R-2, consisting of quiet, low-density residential areas in which single-family attached and two-family dwellings are encouraged. Included within this district are certain areas located along the Ridge Street corridor, areas of significant historical importance;
 - (2) R-2U ("university"), consisting of quiet, low-density residential areas in the vicinity of the University of Virginia campus, in which single-family attached and two-family dwellings are encouraged;
- (c) *Multifamily*. The purpose of the multifamily residential zoning district is to provide areas for medium- to high-density residential development. The basic permitted use is medium-density residential development; however, higher density residential development may be permitted where harmonious with surrounding areas. Certain additional uses may be permitted, in cases where the character of the district will not be altered by levels of traffic, parking, lighting, noise, or other impacts associated with such uses. There are three (3) categories of multifamily residential zoning districts:
 - (1) **R-3, consisting of medium-density residential areas in which medium-density residential developments, including multifamily uses, are encouraged;**
 - (2) R-UMD ("university medium density"), consisting of areas in the vicinity of the University of Virginia campus, in which medium-density residential developments, including multifamily uses, are encouraged; and
 - (3) R-UHD ("university high density"), consisting of areas in the vicinity of the University of Virginia campus, in which high-density residential developments, including multifamily uses, are encouraged.
- (d) *McIntire/Fifth Street Residential Corridor*. The purpose of this district is to encourage redevelopment in the form of medium-density multifamily residential uses, in a manner that will complement nearby commercial uses and be consistent with the function of McIntire Road/Fifth Street Extended as a gateway to the city's downtown area.

Attachment 4

1. I move to recommend approval of this application for a special use permit for a municipal/government office use in the R-3 zone for 708 Page Street with the conditions listed in the staff report.

OR

2. I move to recommend approval of this application for a special use permit for a municipal/government office use in the R-3 zone for 708 Page Street, with the following conditions:
 - a. ...
 - b. ...

OR,

3. I move to recommend denial of this application for a special use permit for a municipal/government office use in the R-3 zone for 708 Page Street

CITY OF CHARLOTTESVILLE

"A World Class City"

Department of Neighborhood Development Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.org

August 26, 2014

City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911
Charlottesville, VA 22902

SUBJECT: Special Use Permit (SUP) Application for 708 Page Street

To Whom it May Concern,

Pursuant to City of Charlottesville Code Section 34-158(a), please see the following responses to the enumerated items:

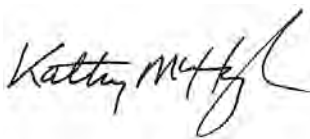
- 1) The subject SUP application will not trigger the requirement for a site plan per Sec. 34-802.
- 2) The City of Charlottesville owns this property and proposes to allow usage by the City of Promise staff for programming. The Executive Director of the City of Promise is a City employee.
- 3) Only minimal earthwork/site disturbance is planned to provide an off street ADA compliant parking space at 210 8th Street N.W. The low impact development worksheet is attached showing a score of zero.
- 4) No alteration of the existing footprint of the building is planned.
- 5) The existing dwelling unit located on this site does not meet the City's definition of an affordable dwelling unit. The property is currently vacant.
- 6) For factors set forth within City of Charlottesville Code Section 34-157, see below.

Pursuant to City of Charlottesville Code Section 34-157(a), please see the following responses to the enumerated items:

- 1) The proposed use by the City of Promise will be harmonious with existing development within the neighborhood. The City of Promise is a coalition whose purpose is to improve the educational and developmental outcomes of children and youth in the Tenth and Page, Westhaven, and Star Hill neighborhoods. By locating staff directly in the Tenth and Page neighborhood, adjacent to those that they serve, it is hoped that programmatic impacts and outcomes will improve.
- 2) The proposed use will foster a healthy and vibrant community while integrating access to the City of Promise facility and services. These services will potentially impact area youth and their ability to succeed both educationally and in future careers.

- 3) The City's building official has inspected the existing structure and an independent home inspection was performed to identify any building code issues. The City is working with a licensed architect to develop a scope of work suitable for bidding necessary/identified upgrades, as well as ADA accessibility.
- 4) See the following:
 - a) Traffic and parking will primarily be limited to staff; however, there may be occasional meetings that generate some additional traffic/parking needs. By moving the City of Promise into the neighborhood that they serve, it is hoped that most people can walk to the proposed facility. ADA/Handicap Parking will be provided at 210 8th Street, an adjacent City owned property that is also zoned R-3.
 - b) No impact is anticipated from noise, lights, dust, odor, fumes, vibration or other factors which adversely affect the natural environment.
 - c) There will be no displacement of existing residents or businesses, as this property is currently vacant, having been purchase by the City because of reoccurring problems with flooding in the crawl space area under the house. As noted above, the City is in process of identifying necessary steps to resolve these issues, pending approval of the SUP.
 - d) No negative impact is anticipated to economic development, employment or the City's tax base. The City of Promise is a cradle to college and career pathway program that should improve long term outcomes for area youth, thus cultivating the potential for positive economic impacts.
 - e) The proposed use will not have an undue impact (due to density or intensity of use) on existing community facilities. City of Promise staff will likely use less water/sewer than a residential application and there will be no impact to storm water and/or streets and sidewalks that would be atypical to continued residential use. Typical staffing levels (including part-time personnel/volunteers) are not expected to be in excess of six to twelve persons at any one time, with significant staff time spent in the field and at other locations.
 - f) The existing structure is currently vacant and was not previously considered to be affordable housing. Accordingly, no reduction of affordable housing is anticipated.
 - g) The impact on the school population should be positive, as the City of Promise works with children and youth to improve educational and developmental outcomes. No impact on school facilities is anticipated.
 - h) This property is not in a conservation or historic district.
 - i) To the best of my knowledge, the proposed use by the City of Promise is in conformity with federal, state and local laws.
 - j) There will be no adverse impact to massing and scale.
- 5) The proposed use will be beneficial to the neighborhood as a whole and the presence of the City of Promise at 708 Page Street should only improve their ability to positively impact the children and youth of the in the Tenth and Page, Westhaven, and Star Hill neighborhoods.
- 6) To the best of my knowledge, the proposed use by the City of Promise is in conformity with the zoning ordinance, subdivision regulation, and other city ordinance/regulations.
- 7) The property is not located in a design control district

Sincerely,

A handwritten signature in black ink, appearing to read "Kathy McHugh", with a stylized flourish at the end.

Kathy McHugh



SPECIAL USE PERMIT APPLICATION

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
Post Office Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3182 Fax (434) 970-3359

For Non-Residential and Mixed Use projects, please include \$1,500 application fee. For Residential projects, please include \$1,800 application fee; checks payable to the City of Charlottesville. All petitioners must pay \$1.00 per required mail notice to property owners, plus the cost of the required newspaper notice. Petitioners will receive an invoice for these notices and approval is not final until the invoice has been paid.

I (we) the undersigned property owner(s), contract purchaser(s) or owner's agent(s) do hereby petition the Charlottesville City Council for a special permit to use the property located at: 708 Page Street (address), zoned: R3, for: the City of Promise.

A. Property Information – Please note on the back of this form any applicable deed restrictions.

1. ~ 32.5 feet of frontage on Page Street (name of street)
2. Approximate property dimensions: ~ 32.5 feet by ~ 183.5 feet.
3. Property size: ~ 0.1700 (square feet or acres)
4. Present Owner: City of Charlottesville (Name) as evidenced by deed recorded in Deed Book Number 2014 Page 2465, with the Clerk of the Circuit Court.
5. Mailing Address of Present Owner: P.O. Box 911, Charlottesville VA 22902
6. City Real Property Tax Map Number 310 Parcel(s) 293, _____; Lot(s): 000, _____

B. Adjacent Property Owners' Addresses (Use the back of this form if necessary.)

- | Property Owner Name | Mailing Address | City Tax Map and Parcel # |
|--|---|---------------------------|
| 1. <u>Silk Purse Properties</u> | <u>360 Ardwood Road, Earlysville 22936</u> | <u>310289000</u> |
| 2. <u>Southern Railroad Comp.</u> | <u>1120 W. Washington St. Greenville SC 29601</u> | <u>310294000</u> |
| 3. <u>Brown, Tracy H. & Joy S. Minor</u> | <u>838 Ridge St. Charlottesville 22903</u> | <u>310287000</u> |
| 4. <u>Radjavi, Ali</u> | <u>709 Page St. Charlottesville 22903</u> | <u>310283000</u> |
- Back

C. Applicant Information – Please note that if the applicant is not the owner, proof of status as contract purchaser or owner's agent must be furnished. (Office Use: Proof Furnished _____)

Applicant's Name KATHY McHUGIT
Mailing Address P.O. Box 911, Neighborhood Development SERVICES
Applicant's Phone Number(s): 434-970-3315 Work _____ Home _____
Applicant's Signature Kathy McHugh

D. Attachments Submitted by the Applicant

1. A required site plan was previously submitted on NA (Date) with the required fee, for a pre-application review conference on NA (Date). This site plan was prepared by:
Name: _____
Address: _____
Phone: _____
2. Other attachments as required by Section 34-158 of the City Code (Office Use: Submitted _____). see 8/26/14 letter
3. The correct application fee (see above).

For Office Use Only

I certify that the sign(s) as required by Section 34-44 of the City Code as amended has been posted on the following date: _____

Signature: _____ (Zoning Administrator)

Amt. Paid _____ Date Paid _____ Cash/Check # _____ Received by _____

<u>NAME</u>	<u>Mailing Address</u>	<u>Parcel ID#</u>
Braucher, Stephen & Sandra	1050 North Taylor St. #214 Arlington VA 22201	310 282000
Henderson, Antoinette A.	705 Page St. Charlottesville 22903	310 281000
city of Charlottesville	P.O. Box 911 Charlottesville VA 22902	310 288000 310 290000 310 291000 310 292000

Project Name: City of Promise SUP Request - 708 Page Street

LID Checklist Points	LID Measure	Total Points
5 points or 1 point for each 18% of the total acreage	Compensatory Plantings (see city buffer mitigation manual). 90% of restorable stream buffers restored.	—
7 points or 1 point for each 7% of parking and driveway surface area	Pervious pavers for parking and driveways with stone reservoir for storage of 0.5 inches of rainfall per impervious drainage area. Surface area must be >1,000 ft. ² or ≥ 50% of the total parking and driveway surface area.	—
5 points or 1 point for each 6% of parking surface area eliminated.	Shared parking (must have legally binding agreement) that eliminates > 30% of on-site parking required.	—
8 points	Impervious Disconnection. Follow design manual specifications to ensure adequate capture of roof runoff. (e.g. cisterns, dry wells, rain gardens).	—
8 points or 1 point for each 10% of site treated.	Bioretention. Percent of site treated must exceed 80%. Biofilter surface area must be ≥ 5% of impervious drainage area.	—
8 points or 1 point for each 10% of lots treated	Rain gardens. All lots, rain garden surface area for each lot ≥ 200 ft. ² .	—
8 points or 1 point for each 10% of site treated	Designed/constructed swales. Percent of site treated must exceed 80%, achieve non-erosive velocities, and able to convey peak discharge from 10-year storm.	—
8 points or 1 point for each 10% of site treated	Manufactured sand filters, filter vaults (must provide filtering rather than just hydrodynamic). Percent of site treated must exceed 80%. Sizing and volume for water quality treatment based on manufacturer's criteria.	—
8 points	Green rooftop to treat ≥ 50% of roof area.	—
TBD, not to exceed 8 points	Other LID practices as approved by NDS engineer.	—
5 points	Off-site contribution to project in city's water quality management plan. This measure to be considered when on site constraints (space, environmentally sensitive areas, hazards) limit application of LID measures. Requires preapproval by NDS director.	—
TOTAL POINTS (must equal 10 or more)		0

street parking w/ handicap spot on adjacent property
roof downspouts tie into city drainage

Submitted by: KATHY McHUGH
(Name of applicant)

Approved by: _____ (date) _____
(City Engineer)

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT

APPLICATION FOR A SPECIAL USE PERMIT

**PLANNING COMMISSION AND CITY COUNCIL JOINT
PUBLIC HEARING**

DATE OF HEARING: October 14, 2014
APPLICATION NUMBER: SP-14-08-08

Project Planner: Brian Haluska, AICP

Date of Staff Report: September 16, 2014

Applicant: Greg Powe, Powe Studio Architects, authorized representative of Market Plaza, LLC

Current Property Owners:

City of Charlottesville: 200, 210, 212 2nd St., SW and 207 1st Street, S.; ROW for 1st St. S, between Water Street and W. South St.

WP South Street LLC: 101 W. South Street

Application Information

Property Tax Map/Parcel # and Street Addresses:

Tax Map 28

Parcel 69: 101 W. South St.

Parcel 71: 207 1st St., S

Parcel 73: 2nd St. SW

Parcels 72, 74, and 75: 200, 210 and 212 2nd St. SW

Also: the application contemplates possible future use and occupancy of the ROW of 1st St., South, between Water Street and W. South Street

Total Square Footage/Acreage Site: 1.18 acres

Comprehensive Plan (Land Use Plan) Designation: Mixed-Use

Current Zoning Classification: Water Street Corridor with Architectural Design Control District and Parking Modified Zone Overlays

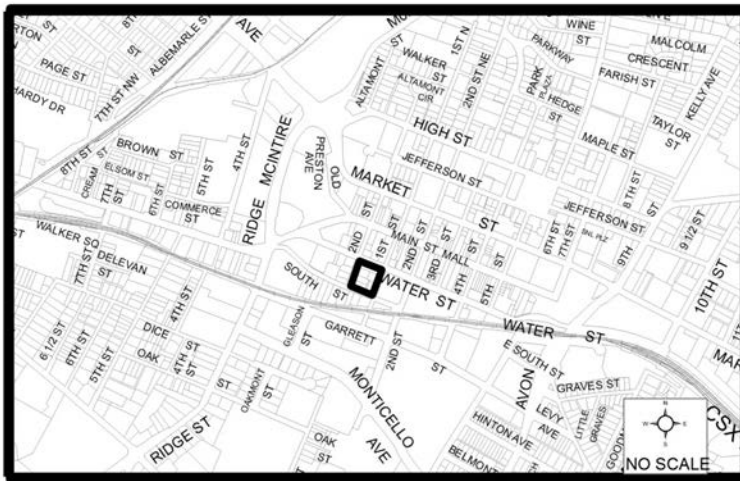
Tax Status: The City Treasurer's office confirms that the taxes for the properties were current as of the drafting of this report.

Applicant's Request

Special Use Permit for:

1. **Height** up to 101 feet, per City Code Sec. 34-742, and modification of streetwall regulations, per City Code 34-743
2. **Density** up to 60 dwelling units per acre, per City Code Sec. 34-744
3. **Special uses** of the Property, per City Code Sec. 34-796: Farmer's Market, and Auditorium, theater (maximum capacity 300 or more persons).

Vicinity Map



Background/ Details of Proposal

The Applicant has submitted an application seeking approval of a Special Use Permit in conjunction with a site plan for a new mixed-use building located at the 100 block of West Water Street. The Property has additional street frontage on 2nd Street SW, 1st Street S, and West South Street. The proposed development plan shows a 101 foot tall building with 70 residential units (i.e., density of 60 DUA); 56,660 square feet of office space (inclusive of the events space for which SUP approval is requested); 19,311 square feet of interior retail space; and a 24,390 square foot open plaza that would host a weekly Farmer's Market. The building would have parking for 279 cars located in structured parking under the building.

The Water Street Corridor zoning permits a maximum height of 70 feet by right, and 101 feet by special use permit. The maximum density permitted by right is 43 units per acre, and up to 240 units per acre by special use permit.

Land Use and Comprehensive Plan

EXISTING LAND USE; ZONING AND LAND USE HISTORY:

The properties are currently used as surface parking lots. Parcel 71 (207 1st St., S.) was the location of an office building that had previously housed H&R Block, and was used by the City until it was destroyed by a fire in 2013.

Section 34-541 of the City Code describes the purpose and intent of the Water Street Corridor zoning district:

“The intent of the Water Street Corridor District is to provide for a mix of commercial, retail and entertainment uses in a way that complements and supports the Downtown Pedestrian Mall area. As the Downtown Pedestrian Mall develops, the natural spillover will be to this area. While not a complete pedestrian zone, it contains many characteristics thereof. Development therefore should blend the pedestrian scale with a slightly more automobile oriented feel to achieve this supportive mixed-use environment.”

Zoning History: In 1949, the property was zoned **B-2 Business**. In 1958, the property was zoned **B-3 Business**. In 1976, the property was zoned **B-4 Business**. In 1991, the property was zoned **B-4 Business**. In 2003, the property was rezoned to **Downtown Corridor**. In 2008, City Council rezoned the property to the **Water Street (Mixed Use Corridor)** district.

SURROUNDING LAND USES AND ZONING DISTRICTS

North: Immediately north of the property are several mixed-use multi-story structures. The ground floors of these buildings are used for retail and restaurant uses, and the upper stories are apartments. One block further north is the Downtown Pedestrian Mall. These properties are zoned Downtown Corridor with ADC District Overlay.

South: Immediately south of the property are multi-story structures that house a mix of uses. These properties are zoned Water Street Corridor with ADC District Overlay. Further south are the Buckingham Branch Railroad lines, and properties zoned Downtown Extended.

East: Immediately adjacent to the east is a surface parking lot zoned Water Street Corridor. Further east is the Water Street Parking Garage, a five-level structured parking facility that serves the downtown area. These properties are zoned Water Street Corridor with ADC district Overlay.

West: Immediately adjacent to the west are several two-story structures that are used for commercial purposes. The lone exception is the property that fronts on Water Street across 2nd Street SW, which houses the Mono Loco restaurant, and is a single-story. The other structures on 2nd Street SW exhibit a residential character despite their use as commercial establishments, and have long served to frame the western edge of the void of the two parking lots. These properties are zoned Water Street Corridor with ADC district Overlay.

NATURAL RESOURCE AND CULTURAL FEATURES OF SITE:

The site does not have any notable natural resources. The site is mostly paved and used for parking. There are some small trees between the City-owned lot and the private owned lot on the corner of South Street and 1st Street.

COMPREHENSIVE PLAN ANALYSIS:

The Comprehensive Plan is generally supportive of high density, mixed-use developments along the major corridors in the City, especially along Water Street. The Comprehensive Plan also contains language that supports creation of housing opportunities for all residents of the City. Lastly, the Comprehensive Plan places a strong emphasis on supporting development that is multi-modal, particularly developments that encourage biking and walking.

Several concerns arise from a review of the project against the Comprehensive Plan. Primary among these is the Comprehensive Plan's preference for mixed-income housing.

Specific items from the Comprehensive Plan are as follows:

Land Use

- When considering changes to land use regulations, respect nearby residential areas. (Land Use, 2.1)
- Enhance pedestrian connections between residences, commercial centers, public facilities and amenities and green spaces. (Land Use, 2.3)
- Expand the network of small, vibrant public spaces, particularly in areas that are identified for higher intensity uses and/or potential higher density. (Land Use, 2.5)
- Enhance existing neighborhood commercial centers and create opportunities for others in areas where they will enhance adjacent residential area. Provide opportunities for nodes of activity to develop, particularly along mixed-use corridors. (Land Use, 3.2)

Economic Sustainability

- Continue to encourage private sector developers to implement plans from the commercial corridor study. (Economic Sustainability, 6.6)

Housing

- Achieve a mixture of incomes and uses in as many areas of the City as possible. (Housing, 3.3)
- Consider the range of affordability proposed in rezoning and special use permit applications, with emphasis on provision of affordable housing for those with the greatest need. (Housing, 3.5)
- Promote housing options to accommodate both renters and owners at all price points, including workforce housing. (Housing, 3.6)
- Offer a range of housing options to meet the needs of Charlottesville's residents, including those presently underserved, in order to create vibrant residential areas or reinvigorate existing ones. (Housing, Goal 7)

- Ensure that the City’s housing portfolio offers a wide range of choices that are integrated and balanced across the City to meet multiple goals including: increased sustainability, walkability, bikeability, and use of public transit, augmented support for families with children, fewer pockets of poverty, sustained local commerce and decreased student vehicle use. (Housing, Goal 8)
- Encourage mixed-use and mixed-income housing developments. (Housing, 8.1)
- Encourage housing development where increased density is desirable and strive to coordinate those areas with stronger access to employment opportunities, transit routes, and commercial services. (Housing, 8.3)
- Promote redevelopment and infill development that supports bicycle and pedestrian-oriented infrastructure and robust public transportation to better connect residents to jobs and commercial activity. (Housing, 8.5)

Transportation

- Encourage a mix of uses in priority locations, such as along identified transit corridors and other key roadways, to facilitate multimodal travel and increase cost effectiveness of future service. (Transportation, 2.4)
- Promote urban design techniques, such as placing parking behind buildings, reducing setbacks and increasing network connectivity, to create a more pedestrian friendly streetscape and to reduce speeds on high volume roadways. (Transportation, 2.6)
- Encourage the development of transit-oriented/supportive developments. (Transportation 6.6)

Historic Preservation and Urban Design

- Promote Charlottesville’s diverse architectural and cultural heritage by recognizing, respecting and enhancing the distinct characteristics of each neighborhood. (Historic Preservation and Urban Design, 1.2)
- Facilitate development of nodes of density and vitality in the City’s Mixed Use Corridors, and encourage vitality, pedestrian movement, and visual interest throughout the City. (Historic Preservation and Urban Design, 1.3)
- Encourage the incorporation of meaningful public spaces, defined as being available to the general public, into urban design efforts. (Historic Preservation and Urban Design, 1.6)

Public and Other Comments Received

PUBLIC COMMENTS

The City held a preliminary site plan review conference on September 4, 2014. Seventeen members of the public attended along with the applicant. One of the chief points raised in the meeting was regarding the process, as the building as shown would require the sale of City land and the closure of 1st Street. The attendees also expressed concern about the scale of the building, particularly in relationship to the adjacent structures, as well as the traffic impact on the nearby

streets. There was also discussion about the possibility of changes to 2nd Street and South Street in conjunction with the West Main Street study's recommendations for the intersection of Water Street, South Street, McIntire Road, 5th Street and West Main Street.

COMMENTS/RECOMMENDATIONS OF THE BAR

The Board of Architectural Review considered the Special Use Permit request at their meeting on September 16, 2014, and took the following action:

The BAR recommended (8-0) to City Council that the special use permit to allow increased density (from 43 units per acre to 60 units per acre) and additional building height (from 70 feet to 101 feet), with an exception for a 12 foot setback on Water Street, for the redevelopment of 200 2nd Street SW into a mixed use development including the City Market and other public assembly events that may be in excess of 300 people, will not have an adverse impact on the Downtown Architectural Design Control (ADC) District, and the BAR recommends approval of the Special Use Permit, subject to the usual BAR review.

The BAR also made preliminary comments regarding the proposed design of the building and site:

- Massing is thoughtful, tallest part in right place;
- Plaza side is more successful than Water/2nd Street facades;
- Revisit forcing context with 25 ft. modules, be less literal in modulating facades, use details of wall to break down plane, think of it as single large composition;
- Simplify base, upper and lower elevations need to hang together more, fenestration on brick base needs work, Deco effect on upper brick stories is good and reflects warehouse-industrial context;
- Revisit NW glass corner that incorrectly reads as an entrance;
- Revisit enormous, projecting balconies, prefer negative corners;
- Need thoughtful design of intersections of glass and masonry corners;
- Revisit metal spine above stairs on South Street terraces;
- Want bolder pedestrian connection from 2nd Street to plaza;
- Like the change in brick color, like the tactility of brick material, would be concerned if all glass, don't like strong contrast between brick colors.
- Revisit design of 1st Street stairs and waterfall and area between stairs and building, simplify stairs, make stairs more gentle, follow topo more closely, want the space to be there;

PLANNING COMMISSIONS COMMENTS AT PRELIMINARY DISCUSSION

1. **Use of the plaza on weekdays.** Commissioners were concerned about how successful the public plaza would be at encouraging activity on days when the City Market was not operating, especially in light of the visual separation between the plaza and the Downtown Mall.

2. **Noise.** Commissioners raised the point that events on the plaza and the adjacent spaces could trigger noise complaints from nearby residents. The site is not subject to the Downtown noise ordinance.
3. **Archeology.** Commissioners mentioned that the site has a history beyond its current use as a parking lot, and once the project is built, all access to any archeological artifacts will be lost. The applicant was encouraged to conduct a Phase 1 Archeological study.
4. **Pedestrian Experience on adjacent streets.** The project as designed would dramatically alter the experience of pedestrians moving around the block. Of particular concern is the pedestrian experience along the 1st Street right-of-way between Water Street and South Street if the pedestrians are moving around the site rather than through it. The high retaining wall necessary to create a level surface for the plaza creates an unattractive edge next to the public sidewalk.
5. **Closing 1st Street.** The Commission expressed concern about the potential closure of 1st Street, and the changes it would make to the downtown area. One suggestion was that the design adhere to the topography of 1st Street, as well as maintaining its function as a pedestrian connection between the Warehouse District and the Downtown Mall. The grand stairway proposed at the present corner of 1st and Water was mentioned as a dramatic departure from the current fabric of the downtown area.

IMPACT ON CITY SERVICES:

Public Works (Water and Sewer):

The applicant has sent the projected impact of the structure on the City water and sewer services, and the loads have been passed on to the Rivanna Water and Sewer Authority for the required letter of acceptance. Staff does not anticipate any problems with serving the projected demands.

Public Works (Storm Drainage/Sewer): The proposed project will develop an area of land that is currently almost entirely impervious surface, and the resulting development will be required to provide Stormwater management and treatment in accordance with current state regulations and engineering standards. Applicant is required to provide a stormwater management plan as part of a final site plan submission. A preliminary site plan is required to detail the developer's "Stormwater concept" prepared by a professional engineer or landscape architect, in accordance with current provisions of City Code 34-827(d)(9).

Staff Analysis and Recommendation

ANALYSIS

Assessment of the Development as to its relation to public necessity, convenience, general welfare, or GOOD ZONING PRACTICE:

The City has zoned Water Street to encourage mixed-uses and higher residential densities. This is an attempt to enhance and expand on the existing vibrant character of the Downtown Mall. The Water Street zone was created in 2008 so that the buildings along Water Street would not be mirrored on the Mall, but would instead follow the

heights and setbacks that had been established on Water Street by the LiveArts Building, the Water Street Parking deck and other projects.

Height: The increased height afforded by a special use permit in the Water Street Corridor is a means of increasing the intensity of structures and uses on sites where higher intensity is appropriate. As stated by the Board of Architectural Review's recommendation, the increased height will not have an impact on the surrounding historic district, and will provide additional floor area for density and intensity in the downtown area in keeping with the goals and visions of the City's Comprehensive Plan.

Density: The density requested by the applicant is actually similar to the density of several adjacent mixed-use structures, in spite of the larger size of the proposed building. Increased density in downtown urban areas provides increased commercial viability for businesses, as well as offering different lifestyle options for persons looking to minimize their reliance on automobiles.

A concern that has been raised with the project is the nature of the residential units located in the building. The footprint of the units suggest that the units will be larger multi-family units. The argument could be made that the density requested by the applicant is actually *lower* than what the City envisions for a building of the size proposed. The lower the number of residential units in a building increases the likelihood that those units will be affordable to a smaller portion of the population.

Uses: Assembly uses and farmer's markets are best located in centrally located areas of higher residential density that permit people to use modes of transportation other than automobiles. The urban areas also provide multiple options for parking for those visitors that do use automobiles. Additionally, the proximity to complementary uses can reduce the amount of single purpose car trips.

Assessment of Specific Potential Impacts of the Proposed Development:

1. Massing and scale of the Project, taking into consideration existing conditions and conditions anticipated as a result of approved developments in the vicinity.

The height of the building is roughly similar to the height of the nearby Landmark Hotel project and the Lewis and Clark building at the corner of McIntire-5th and Water Street. The height is not out of character for the location in which it is proposed.

Staff has mentioned the concern about the transition between the height of the proposed building and the adjacent structures on South and 2nd Streets. These structures are 1-3 stories in height. The zoning ordinance makes an effort to maintain this scale through the use of setbacks after 45 feet of streetwall height. An example of how this impacts the massing and scale of a building can be found at the Battle Building on west Main Street, where the building steps back after 3 stories. A condition is recommended to address this concern.

2. Traffic or parking congestion on adjacent streets.

The proposed project will impact traffic on the streets adjacent to the building. The applicant shows vehicular access on Water Street.

3. Noise, lights, dust, odor, vibration

The proposed project represents a use that is similar to surrounding uses in terms of impacts from lights, dust, odor and vibration. Vibration from parking cars will be internal to the site. The lighting external to the building will be required to meet the City's lighting regulations.

The noise generated from this building, however, will be different than a typical mixed-use building because of the proposed uses – especially the farmer's market and large scale assembly. Staff has proposed a condition to address the impact of any potential noise based on the regulations that apply to properties on the Mall.

4. Displacement of existing residents or businesses

The proposal would not displace any existing residents or businesses, as the properties are currently vacant.

5. Ability of existing community facilities in the area to handle additional residential density and/or commercial traffic

As stated above, the residential density proposed in the project is similar to adjacent mixed-use properties. This proposed residential use will not present an undue burden on community facilities.

The construction of residential units on the south side of the Mall does raise the question of whether future residential projects on the south side of the Mall will eventually create demand for a park or other neighborhood recreational facility on the south side of the Downtown Mall, which has been previously addressed by the Pollocks Greenway element in the Strategic Investment Area plan.

6. Impact (positive or negative) on availability of affordable housing

The proposed project would not directly impact the availability of affordable housing, as the property is currently vacant, and the applicant does not propose to include on-site affordable units to meet the requirements of the City's Affordable Dwelling Unit Ordinance.

RECOMMENDATION

Staff finds that the proposal is supported by the City's Comprehensive Plan, that the increase in height and density is reasonable at this location, the uses requested are appropriate for this

location, and that the impacts of the development can be addressed through conditions placed on the special use permit.

Staff recommends approval, subject to the following conditions:

1. The setback on Water Street shall be modified from a maximum of 5 feet to a maximum of 12 feet.
2. A stepback of 5 feet after 45 feet in height on 2nd Street SW.
3. The property shall be subject to section 16-10 “Sound levels; Downtown Business District.” of the City Code.

Attachments

1. Copy of City Code Sections **34-157** (General Standards for Issuance) and **34-162** (Exceptions and modifications as conditions of permit)
2. Copy of City Code Section **34-541** (Mixed-Use Districts – Intent and Description)
3. Suggested Motions and the text of an SUP (Resolution) for your consideration

Attachment 1

Sec. 34-157. General standards for issuance.

(a) In considering an application for a special use permit, the city council shall consider the following factors:

- (1) Whether the proposed use or development will be harmonious with existing patterns of use and development within the neighborhood;
- (2) Whether the proposed use or development and associated public facilities will substantially conform to the city's comprehensive plan;
- (3) Whether proposed use or development of any buildings or structures will comply with all applicable building code regulations;
- (4) Whether the proposed use or development will have any potentially adverse impacts on the surrounding neighborhood, or the community in general; and if so, whether there are any reasonable conditions of approval that would satisfactorily mitigate such impacts. Potential adverse impacts to be considered include, but are not necessarily limited to, the following:
 - a. Traffic or parking congestion;
 - b. Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment;
 - c. Displacement of existing residents or businesses;
 - d. Discouragement of economic development activities that may provide desirable employment or enlarge the tax base;
 - e. Undue density of population or intensity of use in relation to the community facilities existing or available;
 - f. Reduction in the availability of affordable housing in the neighborhood;
 - g. Impact on school population and facilities;
 - h. Destruction of or encroachment upon conservation or historic districts;
 - i. Conformity with federal, state and local laws, as demonstrated and certified by the applicant; and,
 - j. Massing and scale of project.
- (5) Whether the proposed use or development will be in harmony with the purposes of the specific zoning district in which it will be placed;
- (6) Whether the proposed use or development will meet applicable general and specific standards set forth within the zoning ordinance, subdivision regulations, or other city ordinances or regulations; and
- (7) When the property that is the subject of the application for a special use permit is within a design control district, city council shall refer the application to the BAR or ERB, as may be applicable, for recommendations as to whether the proposed use will have an adverse impact on the district, and for recommendations as to reasonable conditions which, if imposed, that would mitigate any such impacts. The BAR or ERB, as applicable, shall return a written report of its recommendations to the city council.

(b) Any resolution adopted by city council to grant a special use permit shall set forth any reasonable conditions which apply to the approval.

Sec. 34-162. Exceptions and modifications as conditions of permit.

(a) In reviewing an application for a special use permit, the city council may expand, modify, reduce or otherwise grant exceptions to yard regulations, standards for higher density, parking standards, and time limitations, provided:

(1) Such modification or exception will be in harmony with the purposes and intent of this division, the zoning district regulations under which such special use permit is being sought; and

(2) Such modification or exception is necessary or desirable in view of the particular nature, circumstances, location or situation of the proposed use; and

(3) No such modification or exception shall be authorized to allow a use that is not otherwise allowed by this chapter within the zoning district in which the subject property is situated.

(b) The planning commission, in making its recommendations to city council concerning any special use permit application, may include comments or recommendations regarding the advisability or effect of any modifications or exceptions.

(c) The resolution adopted by city council to grant any special use permit shall set forth any such modifications or exceptions which have been approved.

Attachment 2

Sec. 34-541. Mixed use districts—Intent and description.

- (1) *Downtown Corridor.* The intent of the Downtown Corridor district is to provide for a mixture of commercial and residential uses, and encourage such development by right, according to standards that will ensure harmony with the existing commercial environment in the city's downtown area. Ground-floor uses facing on primary streets should be commercial in nature. The area within this zoning district is the entertainment and employment center of the community and the regulations set forth within this district are designed to provide appropriate and convenient housing for persons who wish to reside in proximity to those activities. Within the Downtown Corridor district the following streets shall have the designations indicated:

Primary streets: All streets are primary.

Linking streets: None.

- (2) *Downtown Extended Corridor.* Historically, the areas within the Downtown Extended district contained manufacturing uses dependent upon convenient access to railroad transportation. In more recent times, use patterns within this area are similar to those within the Downtown district. The intent of this district is to encourage an inter-related mixture of high-density residential and commercial uses harmonious with the downtown business environment, within developments that facilitate convenient pedestrian and other links to the Downtown area. Within the Downtown Extended district, the following streets shall have the designations indicated:

Primary streets: Garrett Street, Monticello Avenue, 6th Street, Market Street, Carlton Road and 10th Street, N.E.

Linking streets: Avon Street, Dice Street, 1st Street, 4th Street, Gleason Street, Goodman Street, Oak Street, and Ware Street.

- (3) *North Downtown Corridor.* The Downtown North Corridor district is the historic center of the City of Charlottesville, and contains many historic structures. In more recent years this area has also developed as the heart of the city's legal community, including court buildings and related law and professional offices, and commercial and retail uses supporting those services. Within this area, residential uses have been established both in single-use and in mixed-use structures. Many former single-family dwellings have been converted to office use. The regulations for this district are intended to continue and protect the nature and scale of these existing patterns of development. Within the Downtown North Corridor district, the following streets shall have the designations indicated:

Primary streets: 8th Street, N.E. (between High Street and Jefferson Street), 5th Street, N.E., 1st Street, 4th Street, N.E., High Street, Jefferson Street, Market Street, 9th Street, 9th Street, N.E., 2nd Street, N.E., 2nd Street, N.W., 7th Street, N.E., 6th Street, N.E., and 3rd Street, N.E.

Linking streets: East Jefferson Street (east of 10th Street, N.E.), 8th Street, 11th Street, N.E., Lexington Street, Locust Street, Maple Street, Sycamore Street.

- (4) *West Main North Corridor.* The West Main North district is established to provide low-intensity mixed-use development at a scale that respects established patterns of commercial and residential development along West Main Street and neighborhoods adjacent to that street. When compared with the area further south along West Main Street, lots within this area are smaller and older, existing buildings (many of them historic in character) have been renovated to accommodate modern commercial uses. Within this district, established buildings are located in close proximity to the street on which they front, and one (1) of the primary goals of this district is to provide a uniform street wall for pedestrian-oriented retail and commercial uses. Within the West Main Street North district, the following streets shall have the designations indicated:

Primary streets: 4th Street, 14th Street, 10th Street, Wertland Street, and West Main Street.

Linking streets: Cream Street, Commerce Street, 8th Street, Elsom Street, 7th Street, 6th Street, 10½ Street and, 12th Street.

- (5) *West Main South Corridor.* Property on the south side of West Main Street are much deeper, and generally larger in size, than those to the north, and established non-commercial uses typically are separated from adjacent residential neighborhoods by railroad tracks and street rights-of-way. The purpose of this zoning district is to encourage pedestrian-friendly mixed-use development, at an intensity slightly greater than that to the north of West Main. The permitted uses and building heights, those allowed by-right and by special permit, respect the scenic character of the West Main Street corridor. Within the West Main Street South district, the following streets shall have the designations indicated:

Primary streets: Jefferson Park Avenue, 9th/10th Connector, Ridge Street, 7th Street, and West Main Street.

Linking streets: Dice Street, 11th Street, 5th Street, 4th Street, and 7th Street.

- (6) *Cherry Avenue Corridor.* This zoning classification establishes a district designed to encourage conservation of land resources, minimize automobile travel, and promote employment and retail centers in proximity to residential uses. It permits increased development on busier streets without fostering a strip-commercial appearance. It is anticipated that development will occur in a pattern consisting of ground-floor commercial uses, with offices and residential uses located on upper floors. This district is intended to promote pedestrian-oriented development, with buildings located close to and oriented towards the sidewalk areas along primary street frontages. Within the Cherry Avenue Corridor district the following streets shall have the designations indicated:

Primary streets: Cherry Avenue, 9th/10th Connector.

Linking streets: 4th St., 5th St., Delevan St., Estes St., Grove St., King St., Nalle St., 9th St., 6th St., 6½ St., 7th St.

- (7) *High Street Corridor.* The areas included within this district represent a section of High Street that has historically developed around medical offices and support services, as well as neighborhood-oriented service businesses such as auto repair shops and restaurants. The regulations within this district encourage a continuation of the scale and existing character of uses established within this district, and are intended to facilitate infill development of similar uses. Within the High Street corridor district the following streets shall have the designations indicated:

Primary streets: East High Street and Meade Avenue.

Linking streets: 11th Street, Gillespie Avenue, Grace Street, Grove Avenue, Hazel Street, Moore's Street, Orange Street, Riverdale Drive, Stewart Street, Sycamore Street, Ward Avenue, and Willow Street.

- (8) *Neighborhood Commercial Corridor district.* The intent of the Neighborhood Commercial Corridor district is to establish a zoning classification for the Fontaine and Belmont commercial areas that recognize their compact nature, their pedestrian orientation, and the small neighborhood nature of the businesses. This zoning district recognizes the areas as small town center type commercial areas and provides for the ability to develop on small lots with minimal parking dependent upon pedestrian access. The regulations recognize the character of the existing area and respect that they are neighborhood commercial districts located within established residential neighborhoods. Within this district the following streets shall have the designations indicated:

Primary streets: Bainbridge St., Carlton Ave., Douglas Ave., Fontaine Ave., Garden St., Goodman St., Hinton Ave., Holly St., Lewis St., Maury Ave., Monticello Rd., and Walnut St.

Linking streets: None.

- (9) *Highway Corridor district.* The intent of the Highway Corridor district is to facilitate development of a commercial nature that is more auto oriented than the mixed use and neighborhood commercial corridors. Development in these areas has been traditionally auto driven and the regulations established by this ordinance continue that trend. This district provides for intense commercial development with very limited residential use. It is intended for the areas where the most intense commercial development in Charlottesville occurs. Within this district the following streets shall have the designations indicated:

Primary streets: Bent Creek Road, Carlton Rd., Emmet Street, 5th Street, Harris Road, Hydraulic Road, Monticello Ave., and Seminole Trail.

Linking streets: Angus Road, East View Street, Holiday Drive, India Road, Keystone Place, Knoll Street, Linden Avenue, Line Drive, Michie Drive, Mountain View Street, Seminole Circle, and Zan Road.

- (10) *Urban Corridor.* The intent of the Urban Corridor district is to continue the close-in urban commercial activity that has been the traditional development patterns in these areas. Development in this district is both pedestrian and auto oriented, but is evolving to more of a pedestrian center development pattern. The regulations provide for both a mixture of uses or single use commercial activities. It encourages parking located behind the structure and development of a scale and character that is respectful to the neighborhoods and university uses adjacent. Within this district the following streets shall have the designations indicated:

Primary streets: Barracks Road, Emmet Street, and Ivy Road.

Linking streets: Arlington Boulevard, Cedars Court, Copeley Drive, Copeley Road, Earhart Street, Massie Road, Meadowbrook Road, Millmont Street and Morton Drive.

- (11) *Central City Corridor.* The intent of the Central City Corridor district is to facilitate the continued development and redevelopment of the quality medium scale commercial and mixed use projects currently found in those areas. The district allows single use development, but encourages mixed

use projects. The regulations are designed to encourage use of and emphasize proximity to natural features or important view sheds of natural features. Development allowed is of a scale and character that is appropriate given the established development that surrounds the district. Within the Central Corridor district the following streets shall have the designations indicated:

Primary streets: East High Street, Harris Street, Long Street, Preston Avenue, Rose Hill Drive, 10th Street, Preston Avenue, and River Road.

Linking streets: Albemarle Street, Booker Street, Caroline Avenue, Dale Avenue, 8th Street, Forest Street, 9th Street, and West Street.

- (12) ***Water Street Corridor District.*** The intent of the Water Street Corridor District is to provide for a mix of commercial, retail and entertainment uses in a way that complements and supports the Downtown Pedestrian Mall area. As the Downtown Pedestrian Mall develops, the natural spillover will be to this area. While not a complete pedestrian zone, it contains many characteristics thereof. Development therefore should blend the pedestrian scale with a slightly more automobile oriented feel to achieve this supportive mixed-use environment.

Primary streets: All.

Linking streets: None.

- (13) ***South Street Corridor District.*** Adjacent to the downtown area and wedged against the railroad tracks is a small grouping of large historic homes, many of which have been converted to offices and/or apartments. In order to preserve the rich character and style of these few remaining structures from another era, the South Street Corridor District has been created. This district is intended to preserve the historic pedestrian scale, recognizing the importance of this area to the history of the downtown area.

Primary streets: South Street.

Linking streets: None.

- (14) ***Corner District.*** The Corner District is established to provide low-intensity missed-use development to primarily serve the area surrounding the University of Virginia. It encourages development at a scale that respects the established character of the historic commercial area adjacent to the central grounds of the University. Within the district two- and three-story buildings front the streets establishing a pedestrian scale for retail and commercial uses.

Primary streets: University Avenue, West Main Street, Wertland Street, Elliewood Avenue 13th Street and 14th Street.

Linking streets: Chancellor Street, 12th Street, 12½ Street and 13th Street.

Attachment 3

Approval Options:

I move to recommend approval of the attached Resolution granting a special use permit.

OR

I move to recommend approval of the attached Resolution granting a special use permit, subject to the following revisions of the listed conditions:

Denial Options:

I move to recommend denial of this application for a special use permit; OR

Combined Approval/ Denial

I move to recommend approval of the request for an SUP, but only for the following components subject to the conditions recommended by staff that relate specifically to these components
[identify only those recommended for approval]:

- ☐ additional height
- ☐ modification of setback requirements
- ☐ additional density
- ☐ Farmer's Market Use
- ☐ Auditorium/ theater Use

Further, my motion is to deny all components of the request for an SUP other than those I have specifically mentioned for approval.

1.

RESOLUTION
RECOMMENDING APPROVAL OF A SPECIAL USE PERMIT
AS REQUESTED BY APPLICATION NO. SP-13-10-19
FOR A PROPOSED MIXED USE DEVELOPMENT ON WATER STREET
PROPOSED BY MARKET PLAZA, LLC

WHEREAS, Market Plaza, LLC (“Applicant”) has submitted application No. SP-13-10-19 (“Application”) seeking approval of a special use permit for property located between Water Street and W. South Street, bounded by the existing 2nd Street, S.W. and 1st Street South, identified on City Tax Map 28 as Parcels 69, 71, 72, 73, 74 and 75, and the undeveloped portion of the undeveloped right-of-way of 1st Street, S. (“Subject Property”). The Subject Property consists of approximately 1.18 acres. The special use permit seeks the following: (1) additional height, up to 101 feet, per City Code §34-742(3); (2) modification of the streetwall regulations to allow a setback of 12 feet along Water Street, per §34-162(a); (3) increased density, up to 60 dwelling units per acre, per §34-744; and (4) authorization of the following special uses of the Subject Property, as required by §34-796: an auditorium/ theater with capacity for 300 or more persons, and a Farmer’s Market (retail) use; and

WHEREAS, the Subject Property is zoned “WSD” (Water Street Corridor District), subject to the requirements of the City’s Parking and Downtown architectural design control overlay districts, and, pursuant to §34-742(3) and §34-744 of the City Code, respectively, WSD zoning permits a maximum height of 101 feet and a maximum density of 240 dwelling units per acre by special use permit; pursuant to §34-743(b)(1)-(2), a minimum setback of 5 feet is required for all buildings located on Water Street, and at least seventy-five (75) percent of a building’s streetwall must be built to this required setback line, but, pursuant to a special use permit, up to fifty (50) percent of the streetwall of a building may be set back 20 feet; separately, however, the general provisions of City Code §34-162(a)(1)-(3) allow City Council to modify or otherwise grant exceptions to any yard regulations, such as those set forth within §34-743; and

WHEREAS, following a joint public hearing before this Planning Commission and City Council, duly advertised and held on October 14, 2014, the Planning Commission has reviewed this application and hereby finds that the proposed special use permit will serve the interests of the public necessity, convenience, general welfare or good zoning practice, and will conform to the criteria generally applicable to special permits as set forth within §§ 34-156 et seq. of the City Code; now, therefore

BE IT RESOLVED by the Planning Commission of the City of Charlottesville, Virginia that a special use permit is hereby recommended to City Council for approval, to allow: (i) additional height, up to 101 feet, per City Code 34-742(3); (ii) modification of streetwall regulations, per 34-743(a), to allow a maximum setback of 12-feet for up to one hundred (100) percent of the streetwall along the Subject Property’s Water Street frontage; (iii) increased density, up to 60 dwelling units per acre, per 34-744; and (iv) authorization of the following special uses of the Subject Property, as required by 34-796: an auditorium/ theater with capacity for 300 or more persons, and a Farmer’s Market (retail) use; provided, however, that the Planning Commission further recommends that the special use permit be subject to the following conditions:

- (1) **Noise:** on and within the open air plaza, and other exterior areas of the Subject Property, no human voice, and no instrument, machine or device, including any device that amplifies sound, shall be used or operated in a manner that causes a sound generation of seventy-five (75) db(A) or more, at a distance of ten (10) feet or more from the source of the sound generation. The prohibition of this condition shall not apply to any sound generation which occurs as part of the Farmer’s Market authorized by this permit.
- (2) **Additional setback along 2nd St., S.W.:** Along the Subject Property’s frontage on 2nd Street, S.W., the minimum height of the streetwall of any building or structure shall be forty (40) feet, and the maximum height shall be forty-five (45) feet; any building or structure shall contain only three (3) floors within such height. Above the streetwall height specified within this condition, there shall be a minimum setback of five (5) feet along the length of such streetwall.



Market Plaza Mixed-Use Development Special Use Permit Application

Requested Permission for:

1. Permitted Uses: City Market
2. Permitted Uses: 9,000 SF Events Space
3. Residential Density: 60 DUA
4. Water Street Setback: 12 feet
5. Building Height: 101 feet

City Market/Mixed-use Development RFP Introduction:

“The City is looking for a creative approach to development that **accommodates the market** and **enables significant mixed-used development** to occur on the Site.”

RFP Required Elements:

“Vertical Mixed-use: Interested developers must incorporate a **vertical mixed-use development** that **recognizes the value of the Site** as one of the few remaining undeveloped sites in the downtown area.”



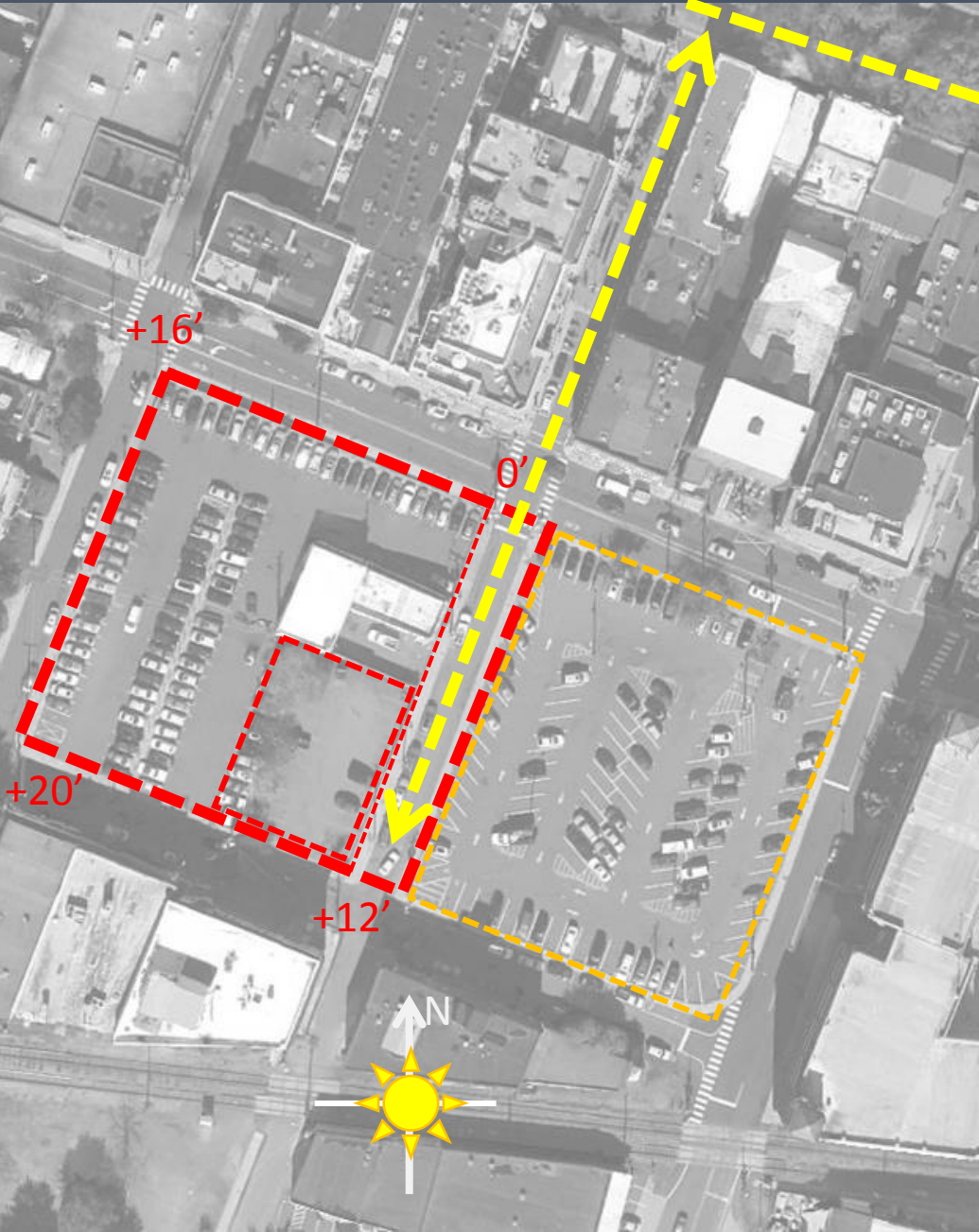
Water Street: 3 to 4 story retail/mixed-use



First Street: Parking lots: redevelopment sites



Second Street: 2 story historic residential/commercial



South Street: 2 to 3 story historic warehouses

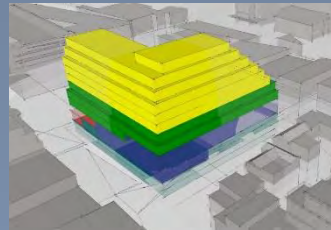
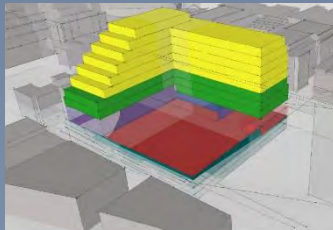
Neighborhood Context



Looking northwest toward plaza from South and First Streets



Looking southeast from the corner of Water Street and Second Street SE



Levels 5 to 9 (+ PH)	Residential:	69 apartments
Levels 2 to 4	Office:	52,000 SF
Level 1	Retail & Plaza:	17,500 SF retail + 24,500 SF plaza
Levels P-1 to P-3	Parking:	102 public + 160 private spaces
Total Building Area		310,000 GSF



SUP General Standards Compliance

Complies with Comprehensive Plan: downtown urban mixed-use

- 69 new apartment units
- 52,000 SF Class “A” Office
- 18,000 SF Retail, Water St and large new events venue
- 270+ new underground parking spaces: 102 public & 160+ new private (& Water St garage)
- Major new urban plaza and urban park
- Permanent home for City Market

Provides Significant Economic Benefits

- Increased City tax base
- Increased customers for all downtown businesses
- Downtown South and SIA (re)development stimulus
- New public amenity: urban park & civic plaza

Respectful Design Concept

- Massing & detail sensitive to neighborhood context
- Environmentally responsible (reduce storm water, “green architecture” features)
- Replace open parking lot with urban streetscape (no displacement: housing or historic)
- Pedestrian friendly urban environment
- Minimal impact on existing infrastructure
- Major new city gathering place

SUP General Standards Compliance

Five Requested SUP Items for Approval:

1. Permitted Uses: City Market

(requires SUP, also outdoor public assembly)

2. Permitted Uses: 9,000 SF Events Space

(requires SUP for 300+ person capacity)

3. Dwelling Units per Acre: 60 DUA

(SUP permits up to 240 DUA)

4. Water St Street Wall: 12 feet setback

(from required 5 feet street wall)

5. Building Height: 101 feet:

(SUP permits up to 101 feet)

Zoning Summary	Water Street District: WSD	Market Plaza Concept
As-of Right Uses	Mixed-use: multifamily, retail, office...	All proposed uses compliant: retail, office, residential, parking except city market & events space
Height max.	min 40 ft, max 70 feet: SUP up to 101 Ft	Building height less than 101 ft, complaint with SUP
South St. Stepback	45 ft, step back 45 ft	Not applicable to this block; building does step back building per these regs.
Water St Setback	5 feet	12 ft setback for wider streetscape requested
Street Wall	First, Second & South St: zero 75% frontage, 5 ft 25% frontage	Project complies, continuous street walls, (except no street wall for open space along South Street for Plaza)
Residential Density	multifamily mixed-use: min 21 DUA	Mixed-use: n/a
	multifamily = 43 DUA	Mixed-use: n/a
	multifamily SUP: up to 240 DUA	proposed 70 units = 60 DUA, within SUP requirements
Add'l requirements	no residential on ground floor	compliant
	loading off street	loading docks accessed through garage to minimize curb cuts on public sidewalks
Parking Reqt's	In Parking Exempt Overlay District	102 public spaces and 160+ private spaces = +/- 270 spaces provided

SUP: 5 Requested Approval Items



SUP Request 1: Permitted Uses: add City Market (permitted by SUP)



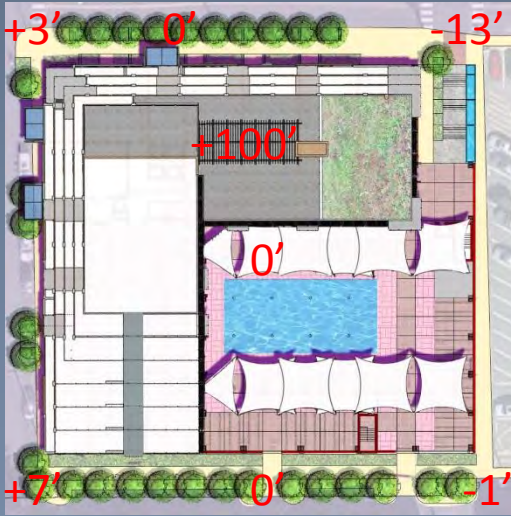
SUP Request 2: Permitted Uses: add 9,000 SF Events Space (large interior public assembly; greater than 300 persons)



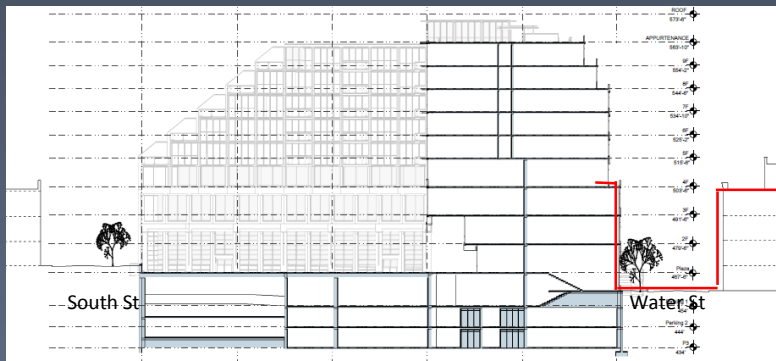
SUP Request 3: Increased Residential Density: 60 DUA (69 units total)



SUP Request 4: Water St. streetwall setback: increase to 12 feet (currently 5 feet streetwall zoning requirement)



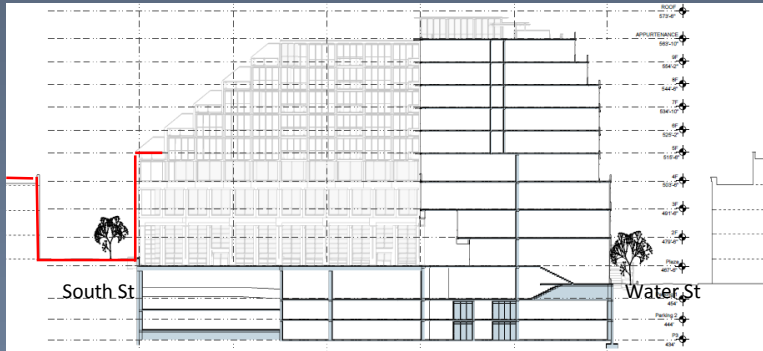
SUP Request 5: Building Height 101 Feet



Water Street Elevation



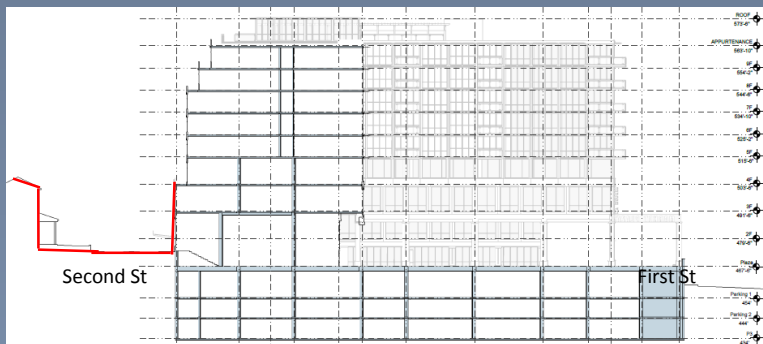
Water Street neighboring buildings



South Street Elevation



South Street neighboring buildings



Second Street SE Elevation



Second Street SE neighboring buildings



SUP Request 5: Building Height 101 Feet

Market Plaza, an Urban Mixed-Use Development, Charlottesville, VA 10.14.2014
Planning Commission/City Council Public Hearing: Special Use Permit

Powe Studio Architects with Keith O. Woodard, RA
Market Plaza LLC, a joint venture led by Woodard Properties



Aerial looking north at Downtown South neighborhood



Aerial looking south at Downtown South neighborhood



Market Plaza, an Urban Mixed-Use Development, Charlottesville, VA 10.14.2014
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Special Use Permit Application

Request Permission for:

- Permitted Uses: City Market
- Permitted Uses: 9,000 SF Events Space
- Residential Density: 60 DUA
- Water Street Setback: 12 feet
- Building Height: 101 feet



Water Street (north) Elevation



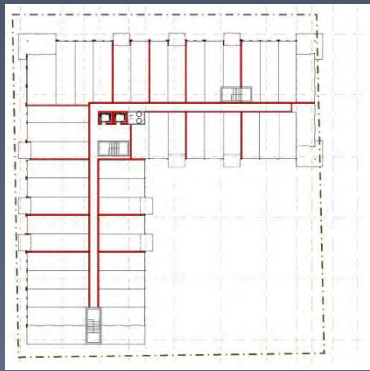
Second Street (west) Elevation



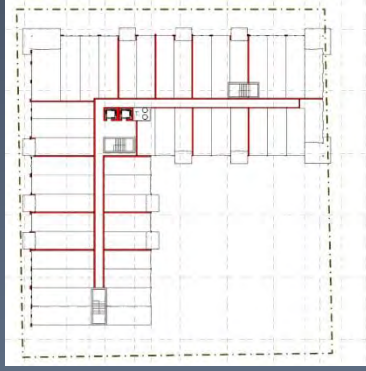
South Street (south) Elevation



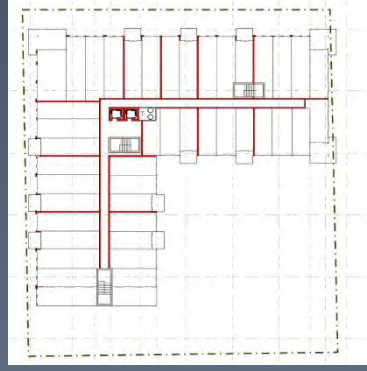
First Street (east) Elevation



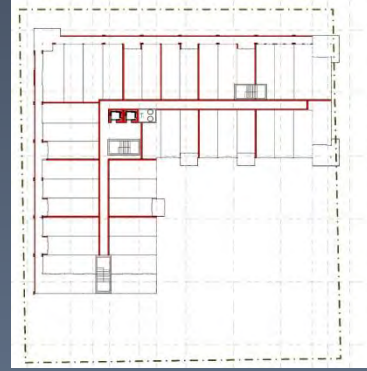
Level 5: 15 Apartments



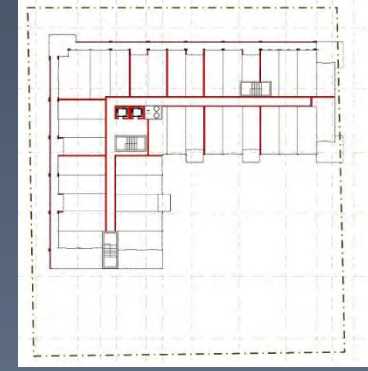
Level 6: 15 Apartments



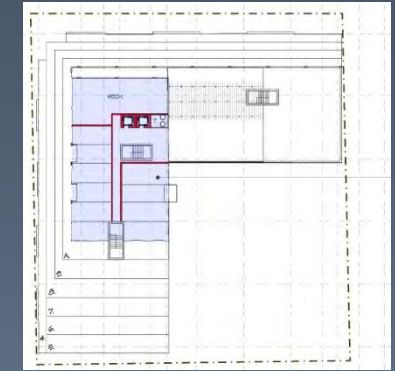
Level 7: 13 Apartments



Level 13: Apartments



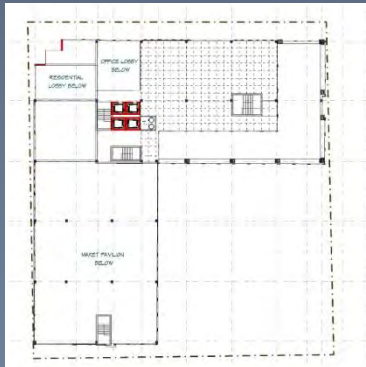
Level 9: 11 Apartments



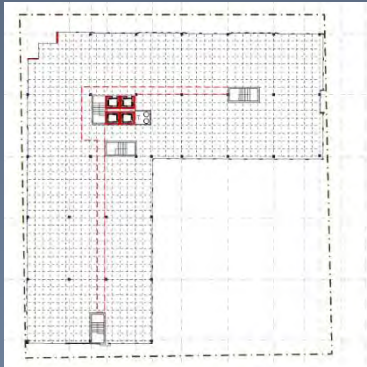
Roof Level: 2 Apartments & Terrace



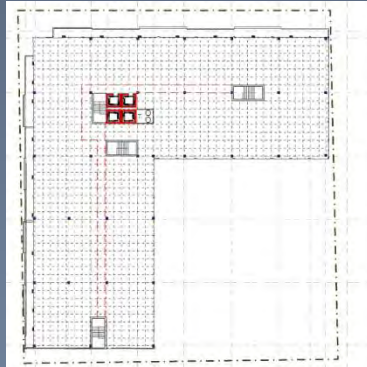
Plaza Level: Retail & Plaza



Level 2: Office 7,300 SF



Level 3: Office 25,100 SF



Level 8: Office 23,400 SF



Level P-3: Parking 92 spaces



Level P-2: Parking 123 spaces



Level P-1: Parking & Loading 64 spaces



Plaza: Weekday Urban Park

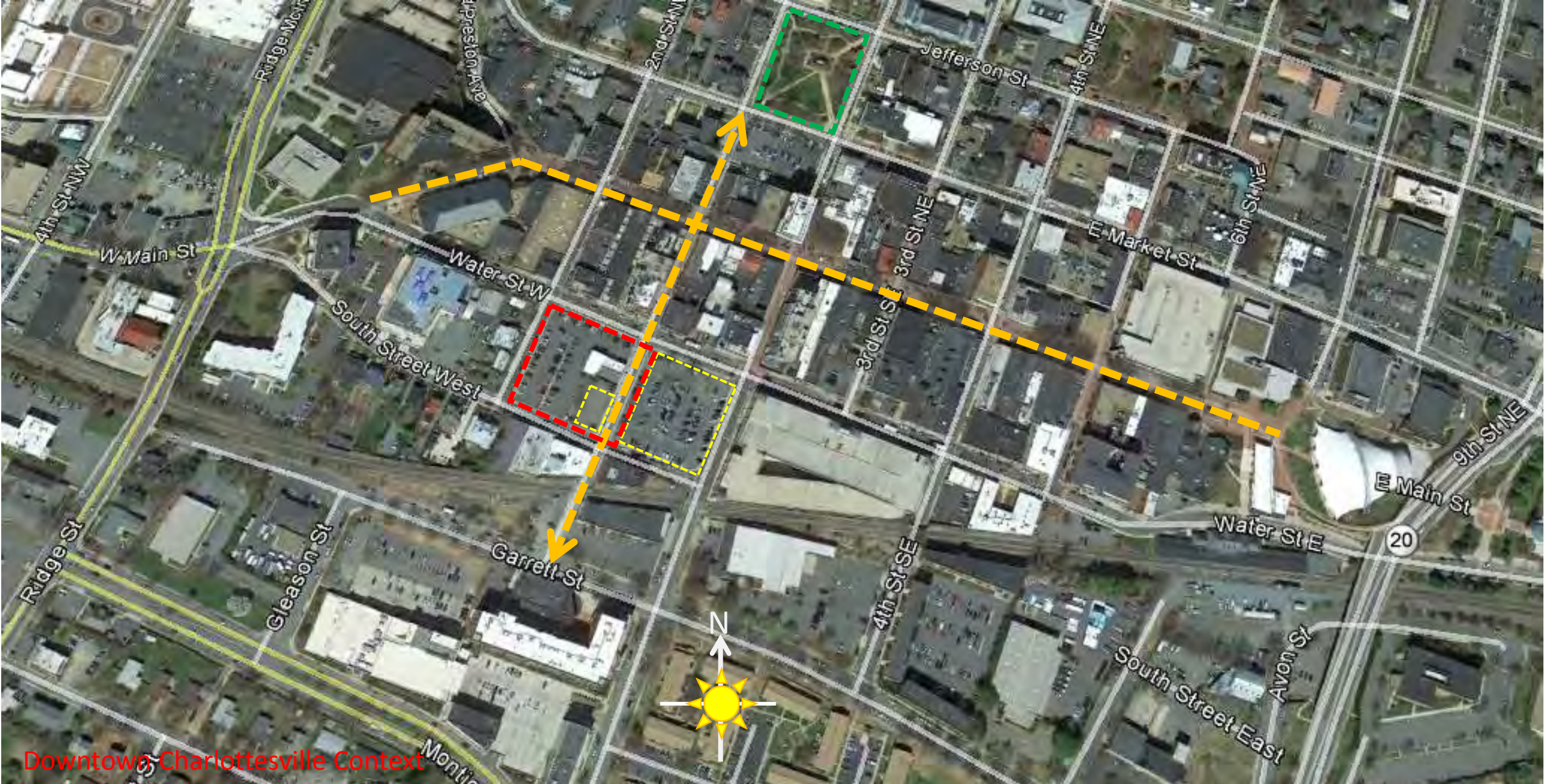


Plaza: City Market Days

Building Floor Plans

Market Plaza, an Urban Mixed-Use Development, Charlottesville, VA 10.14.2014
Planning Commission/City Council Public Hearing: Special Use Permit

Powe Studio Architects with Keith O. Woodard, RA
Market Plaza LLC, a joint venture led by Woodard Properties



Downtown Charlottesville Context

CITY OF CHARLOTTESVILLE

"A World Class City"

Office of The City Manager

P.O. Box 911 • Charlottesville, Virginia 22902

Telephone 434-970-3101

Fax 434-970-3890

www.charlottesville.org



July 24, 2014

Keith O. Woodard
Market Plaza LLC
224 14th Street, NW
Charlottesville, VA 22903

Gregory Powe, AIA
Powe Studio Architects, PC
455 Second Street, SE, Suite 101
Charlottesville, VA 22902

Re: Land Use Approvals -- City Market Site
Parcels 71, 72, 73, 74 and 75 on City Real Property Tax Map 28

Gentlemen:

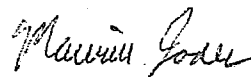
At the direction of the Charlottesville City Council, you and City staff have started negotiations for the sale and development of the above referenced City-owned properties (collectively the "Property"). It is anticipated that the development of this site as proposed by Market Plaza LLC will require a number of regulatory reviews and approvals, including but not limited to approvals of a special use permit, site plan, subdivision plat, certificate of appropriateness and street and / or alley closing permits. Given the amount of time needed to negotiate the sale and development agreement, and in order for the project to proceed as expeditiously as possible and to minimize the potential disruption of the current City Market operation, you have asked for authorization to begin making submissions for the necessary land use approvals. By this letter the City hereby evidences its written consent for Market Plaza LLC, or its authorized agents, to apply for and seek any and all land use and zoning approvals necessary for the intended use of the Property. This consent is subject to the following conditions:

- All costs and expenses associated with the submittals and applications shall be the responsibility of Market Plaza, LLC;
- During the time period when this authorization is in effect Market Plaza will make no representation that it is the owner or contract purchaser of the Property;

- The City's authorization shall not be construed as a representation that it will grant or approve any particular application submitted by Market Plaza, which is otherwise within the City's discretion to approve or deny;
- Any approvals or permits granted pursuant to this authorization shall not be construed as permission or consent to begin any work or to install any improvements on the Property, without the prior written consent of the City of Charlottesville City Manager; and,
- This consent shall automatically terminate when: (i) the parties have executed a purchase and development agreement, so that Market Plaza can continue pursuing the necessary approvals as a contract purchaser; or (ii) either the City or Market Plaza LLC gives notice that it is terminating the negotiations for a purchase and development agreement.

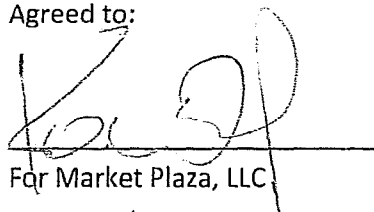
If these conditions are acceptable please sign one copy of this letter and return it to Mr. Watts. You may keep the additional copy for your files. We continue to look forward to working with Market Plaza on this important project.

Sincerely,



Maurice Jones
City Manager

Agreed to:


For Market Plaza, LLC

Title: Manager

Date: 8/14/14

cc: Aubrey Watts
Chris Engel
Craig Brown

MEMORANDUM

TO: Planning Commission

FROM: Lisa Robertson; Missy Creasy; Hugh Blake

DATE: September 26, 2014

RE: Proposed Subdivision at Woodland Drive
Application # P13-0204

The above-referenced application seeks approval of a re-subdivision of land within the Oaklawns Subdivision (orig. platted 1927). Following below we provide additional information, relative to whether or not the proposed re-subdivision of property meets the City's current subdivision ordinance requirements for connectivity of streets.

Please refer to the attached pictures for the points of reference noted below:

1. **Connectivity from Point A to Point B.**

The proposed subdivision appears to meet the requirement in City Code Sec. 28-181(a) for connectivity, between Points A and B. The developer will be required to construct a public street within this segment, to current City standards, along the length of the property that is the subject of the application. You will note that the developer is also voluntarily providing an unpaved pedestrian trail from Point B connecting to Woodland Drive.

This will leave a portion of platted Porter Avenue, from Point B to its intersection with Woodland Drive, undeveloped. This area is considered "off-site" for purposes of the proposed development, and will need to be improved when the lots adjacent to the segment are later developed or redeveloped. (There is one house located just beyond Point B (*1 Porter Ave., TMP 200020000, owner "Big Red Investments LLC" of Elkton, Va.*)). The house was built in 1948, prior to the City's ordinance prohibiting use of a lot for residential purposes without having frontage on an improved street.

2. **Connectivity from Point C to Point D.**

The proposed subdivision appears to meet the requirement in City Code Sec. 29-181(a) for connectivity between Points C and D. The area beyond Point C (i.e., the remaining undeveloped, platted portion of Woodland Drive, to its intersection with the undeveloped, platted ROW for Manila Street) is considered "off-site" and will need to be improved as the area beyond Point C is developed.

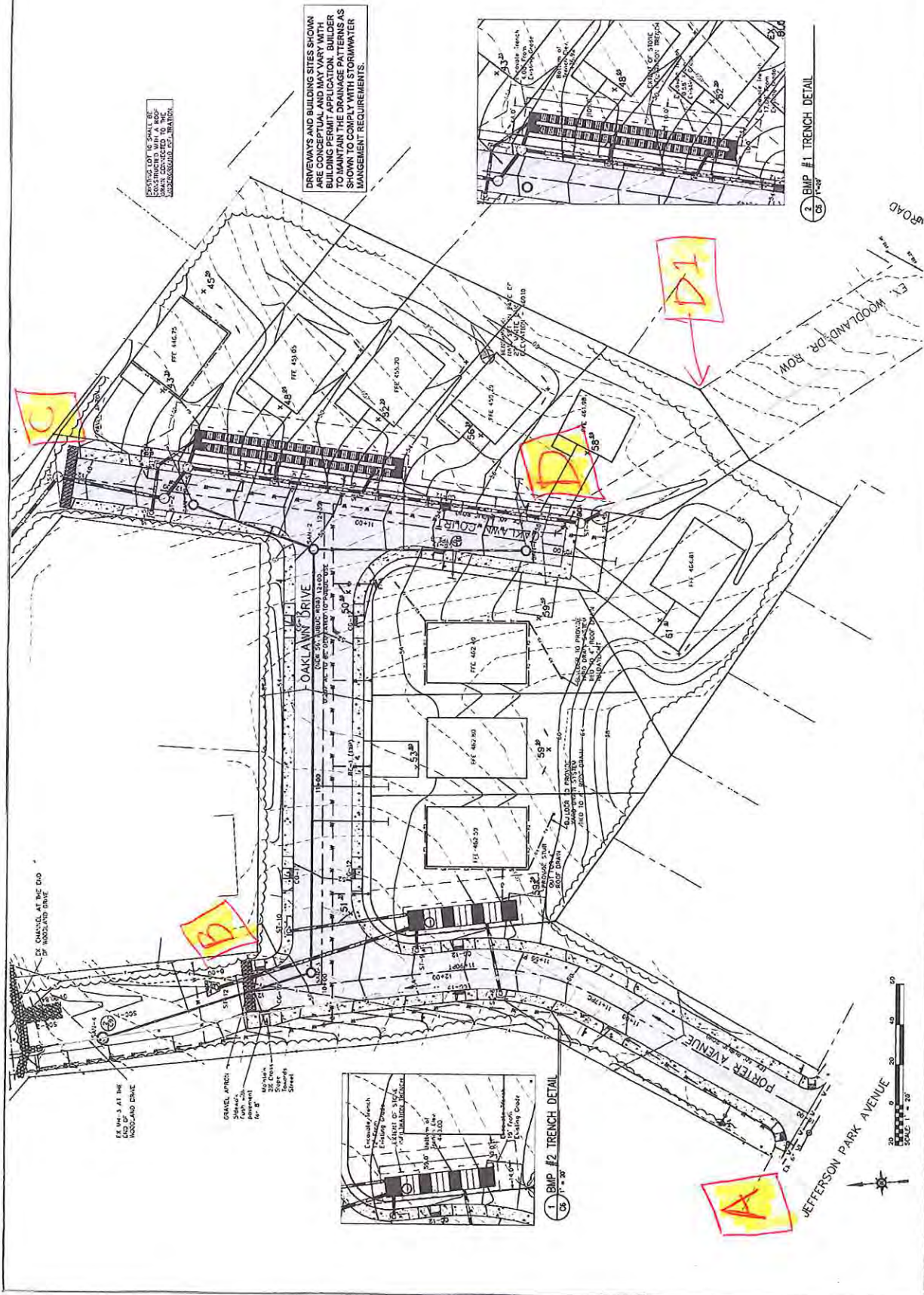
3. **Point D to Point D1.**

This area was lawfully closed/ vacated earlier in 2014, by Earl Burton, et al. (the owners of Lots 23 and 24 within this application). The closing was done administratively, in accordance with state law and City policy.

However, the proposed re-subdivision does not meet the connectivity requirement of City Code 29-181(a) for connectivity from Point D to Points D1. Therefore, you have **three options**:

- (1) You could deny the application for failure to meet the connectivity requirement of City Code Sec. 29-181(a) between D and D1.
- (2) You could require a dedication of new public ROW between Point D and Point D1, and either:
 - a. Require that area to be improved to City street standards all the way to Point D1, in accordance with City Code Sec. 29-181(b). This would essentially reverse the previous street closing, and establish a new ROW, but it is [technically] a possibility because the owner of Lots 23 and 24 is a required party to this subdivision application. However, even if you do this, you will still be left with an unattractive dead end, and it is highly unlikely that the segment from Point D1 to Point E (Harris Road) can be established as a public street, as platted in 1927, because **(i)** a vehicular connection cannot safely be made at the intersection with Harris Road (Point E), and **(ii)** within the platted ROW, the necessary grades cannot be achieved.
 - b. OR you could, pursuant to City Code Sec. 29-181(b), require the dedication of a new ROW between Points D and D1, to provide for a future pedestrian connection between Point D and Harris Road (Point E). This ROW could be established in the same space as the utility easement that will be required in the same space.
- (3) You can grant an exception to the connectivity requirement, pursuant to Sec. 29-181(c).
 - a. Pursuant to City Code Sec. 29-181(c)(1)(i): Grant an exception to the connectivity requirement, based on the information that has been given to you describing the difficult engineering requirements for coordination and connection of a future public street between Point D and Harris Road.
 - b. If an exception is granted, the conditions referenced in Sec. 29-181(c)(2) must be met-- in short: you could require a ROW to be re-dedicated from Point D to Point D1, but allow it to remain unconstructed. *(The developer would be required to complete construction of a public street, but only as already shown on the proposed plat, i.e., to the point at which adjacent lots would rely on finished grade for improvements)*. Again, this is not a desirable outcome, because it is unlikely that a public street can be constructed between Point D1 and E in the future, due to grade issues and insufficient ROW at the intersection of Harris (Point E).

A copy of City Code Sec. 29-181 is attached.



PINK AREA
CLOSED 2014

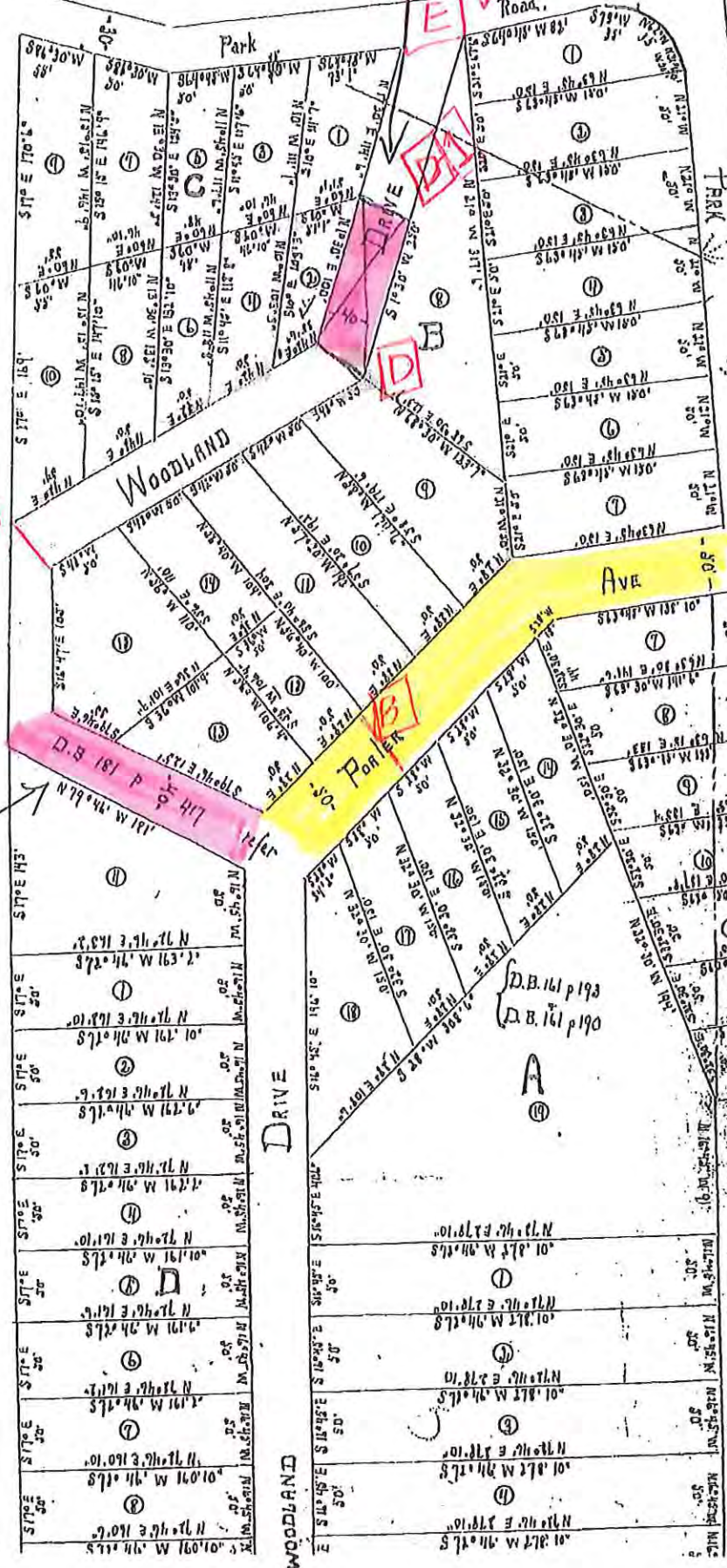
NEW
HARRIS
ROAD

Exhibit A

C

CLOSED
1977

F. M. SMITH, JR.



Porter Ave
Never previously
opened or
accepted

(1927)
MAP OF
OKLAHOMA
SITUATED NEAR
PAYS SPRING
IN
D. B. 161 p 193

Subdivision Ordinance

Sec. 29-181. Coordination and extension of streets.

(a)

Coordination. All streets within and contiguous to a subdivision shall be coordinated with other existing or planned streets, and such streets shall also be coordinated with existing or planned streets in existing or future adjacent or contiguous to adjacent subdivisions, as to location, widths, grades and drainage.

(1)

Street names. Where a street is planned as a continuation of an existing street, it shall bear the same name as the existing street. Street names must be approved by the agent. New street names shall be different from existing street names within the city or in Albemarle County, but an exception may be made for culs-de-sac which have the same name as the road from which they originate (example: "Rugby Circle" which originates from "Rugby Road").

(2)

Street signs. The subdivider shall purchase and install, in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, all applicable street signs.

(b)

Extension. All streets within a subdivision shall be extended and constructed to the abutting property lines, except in the case of culs-de-sac, to provide vehicular, bike and pedestrian interconnections to future development on adjoining lands in accordance with the Standards and Design Manual. The arrangement of the streets shall provide adequate access to adjoining lands within the subdivision where necessary to provide for the orderly development of the city, including, but not limited to, reserving temporary construction easements of sufficient area to accommodate the future completion of the street when the adjoining lands are developed.

(c)

Exceptions. The agent or commission may vary or grant exceptions to the requirements of subsection (a).

(1)

The agent or commission reviewing a proposed variance or exception shall consider, in addition to the matters set forth in [section 29-36](#): (i) the engineering requirements for coordination and connection; (ii) whether the need for coordination and connection outweighs the impacts on environmental resources such as streams, stream buffers, steep slopes, and floodplain; (iii) whether there is an alternative street connection from another

location in the subdivision that is preferable because of design, traffic flow, or the promotion of the goals of the comprehensive plan, including the applicable neighborhood plan.

(2)

If the agent or commission grants a variance or exception: (i) the street shall be constructed past the point at which the primary structures on the lots abutting the street would rely on the finished grade for landscaping and other improvements, but in no case less than thirty (30) feet beyond the curb line or ditch line on those lots; (ii) the subdivider shall dedicate the required right-of-way to the abutting property line, along with all easements required to allow the street connection to be constructed in the future; (iii) the required easements shall prohibit any improvements being established therein; (iv) the subdivider shall provide a surety guarantee or an escrow of funds for its share of the cost to complete the extension if determined by the agent to be necessary; the type of surety guarantee or the escrow shall be acceptable to the city engineer and be approved by the city attorney; and (v) the agent may require that the subdivider install and maintain a sign at the end of the constructed portion of the street stating that the street is a future through street, and that the sign shall be maintained until the city grants final approval of an extension of the street to the abutting property.

(4-21-08(1))

October 1, 2014

Dear Missy Creasy and Planning Commission,

The residents and neighbors of Woodland Drive, as represented by the signatures below, would like to express our support as presented by the applicant and NDS for the Item 4 from the Sept 9, 2014 Planning Commission Meeting titled "Woodland Drive Subdivision". We would like for the following points to be recognized and included with the notes for any future discussion of this agenda item or future changes that may be applied for by this Applicant and this project:

1) Planning Commission Notes for Vehicle Interconnectivity from Sept 9th meeting - Planning Commissioners discussed with the Applicant about the ability to connect Woodland Drive to Porter Avenue by vehicle access. We oppose this vehicle connectivity in the strongest possible language. Please do NOT make this vehicle connection. The topography does not support this connection. The road widths on Woodland Drive and Porter Avenue do not support this connection. The Woodland Drive to Cleveland Avenue intersection and the Porter Avenue to Jefferson Park Avenue intersection do not support this connection. The residents of Woodland Drive do not support this connection.


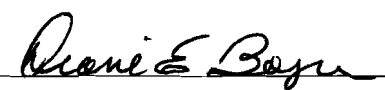
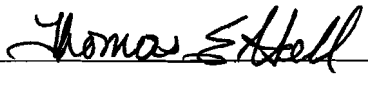
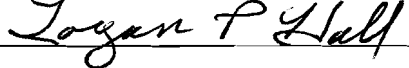
2) Designed in Bike and Pedestrian connectivity in the Applicants' drawings and NDS Staff Checklist - In the Staff Checklist Item A - Sub-item C, Staff notates that the Applicant has proposed a ~~5 foot wide~~ trail connecting Porter Avenue to Woodland Drive. We DO support this trail and request that this trail be constructed with NDS guidance by the Bicycle and Pedestrian Coordinator.


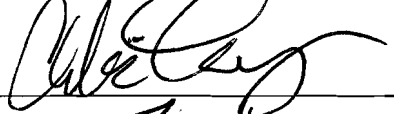
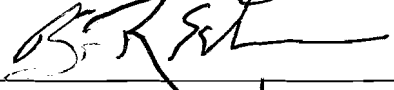

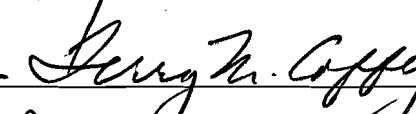
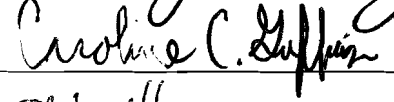


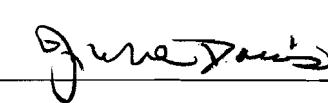
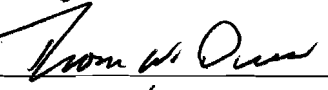

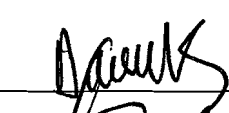
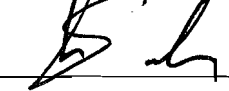


3) Additional Request for connectivity - We DO support the addition to the Applicant's plan for a trail from the end of Manila Street to Oaklawn Court in the Applicant's Right Of Way. This connectivity would satisfy a long held opinion to connect Jefferson Park Avenue to Manila Street via Safe Routes utilizing this plan's sidewalks and trails. This connection would further serve the new residents of these homes to Safe Routes to School as well as to commercial points of interest on Harris Road.

Finally, the above points 1, 2, and 3 express the opinions of the signed residents below and do NOT represent support for any changes to the Applicants plan, except for item 3 above, now or in the future.

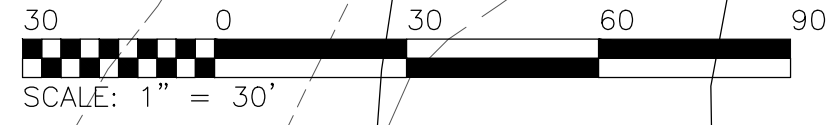
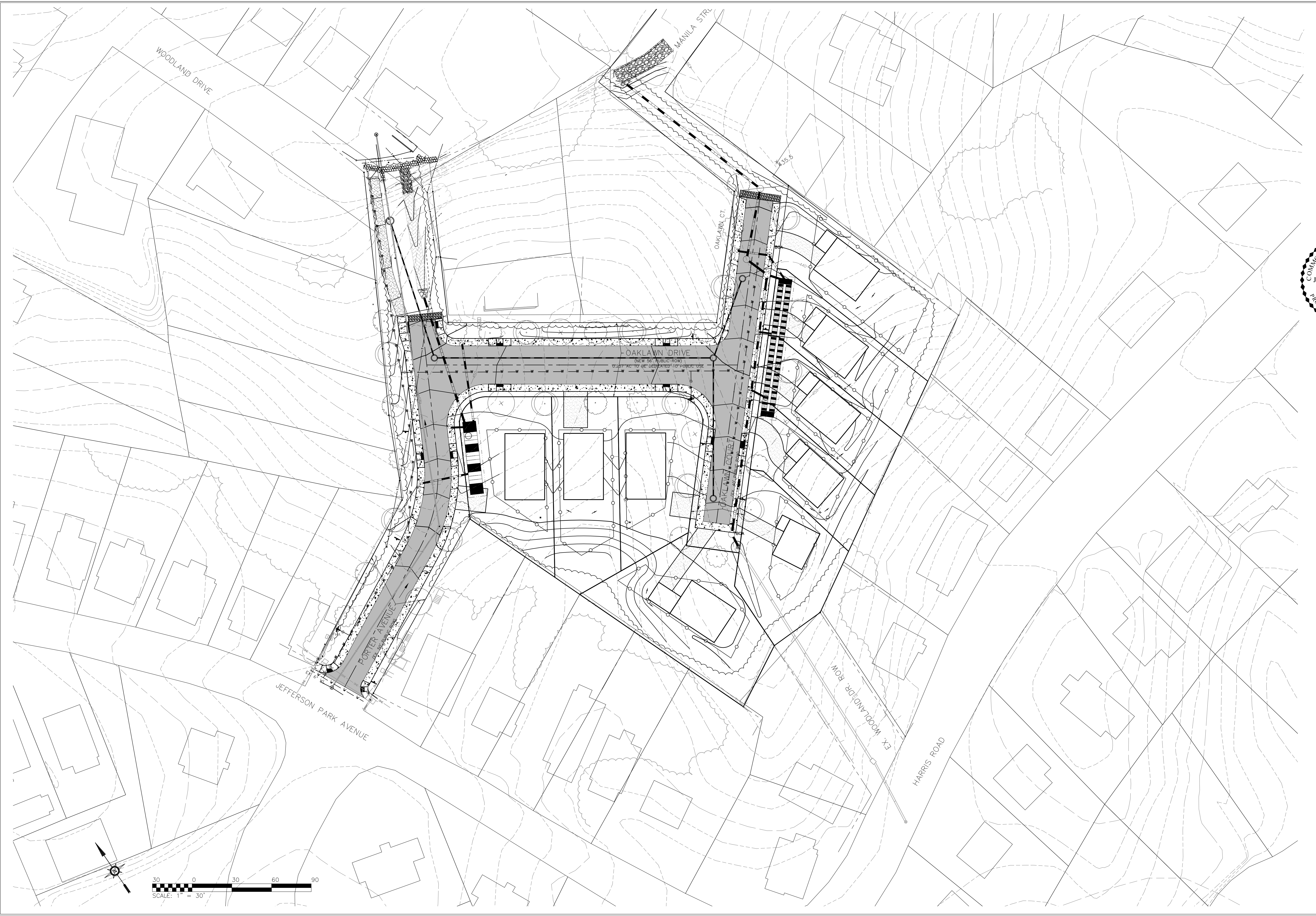
Hardy Whitten
434-760-1971

Signed by the Residents and Neighbors of Woodland Drive

Print Name	Address	Signature
HARDY WHITTEN	2521 WOODLAND DRIVE	
Diane Boyer	2513 WOODLAND DR	
Ed Hall	2513 WOODLAND DR	
Logan Hall	2513 WOODLAND DR	

Print Name	Address	Signature
HILLARY BRACKEN	2507 Woodland Dr	
CHLOE TAYLOR	2505 WOODLAND DR.	
Brian Eshenour	2522 WOODLAND DR	
MARYLUCE HOSTETTER	2526 WOODLAND DR.	
TERRY M. COFFEY	2526 WOODLAND DR	
Caroline Goffigon	2530 Woodland Dr.	
SONG NGUYEN	2540 woodland dr	Ch'ville
Pete Pleasants	2544 Woodland Dr.	
M. KIRBY MOORE	2550 A Woodland Dr	
JUNE DAVIS	2554 Woodland Dr.	
TOM DUCKER	2541 Woodland Dr.	
SHEILA McMillen	2531 WOODLAND DR.	
Danchoe Gyaltzen	2529 Woodland	
Shawn Moray	2520 Woodland Dr.	
SUSAN LEE FOARD	2528 Woodland Dr.	
Gregg Meukow	2542 Woodland Dr	

[illegible]



SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
201 E. MAIN ST., SUITE M
CHARLOTTEVILLE, VA 22902
PHONE: (434) 207-8086
JUSTIN@SHIMP-ENGINEERING.COM



SITE OVERVIEW

Rev #	Date	Description
1	7/18/14	Revisions Per City Comments
2	8/18/14	Revisions Per City Comments
3	8/20/14	Utility & Trail Revisions
4	8/22/14	Trail Revisions
5	8/26/14	Trail Revisions

SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTEVILLE, VIRGINIA

Date	12/18/13
Scale	1" = 30'
Sheet No.	C3 OF 16
File No.	13.026

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



PLANNING COMMISSION REVIEW

DATE OF PLANNING COMMISSION MEETING: September 9, 2014

Author of Staff Report: Ebony Walden, Senior Planner

Date of Staff Report: June 18, 2014

Project Name: Woodland Drive Subdivision

Property Owner: AB Holding of Charlottesville, LLC and Earl H. Burton

Applicant: AB Holding of Charlottesville

Applicant's Representative: Justin Shimp (Engineer)

Applicable City Code Provisions: 29-1 through 29-126 (Subdivision)

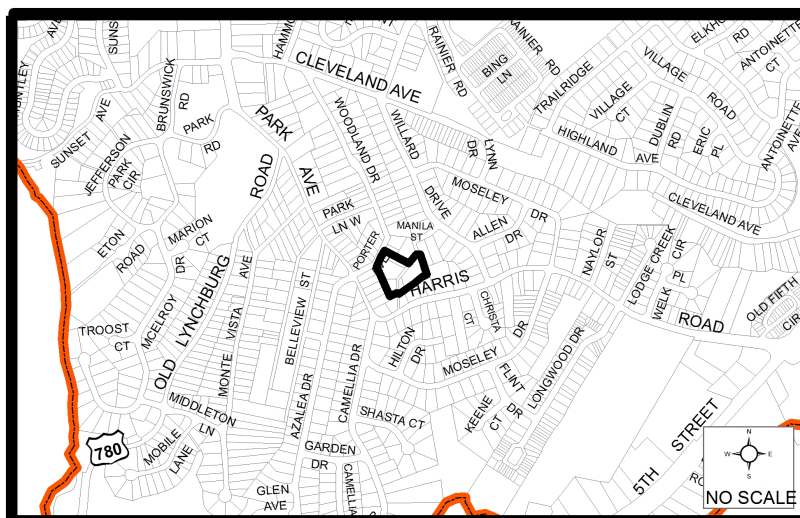
Zoning District: R-1S

Date Subdivision was submitted: December 18, 2013 (last revision August 26, 2014)

Legal Standard of Review

Approval of a major subdivision is a *ministerial* function, as to which the Planning Commission has little or no discretion. When an applicant has submitted a subdivision that complies with the requirements of the City's Subdivision Ordinance, then approval of the plan *must* be granted. In the event the Planning Commission determines there are grounds upon which to deny approval of a subdivision, the motion must clearly identify the deficiencies in the plan, that are the basis for the denial, by reference to *specific* City Code sections and requirements. Further, upon disapproval of a subdivision, the Planning Commission must identify the modifications or corrections that would permit approval of the plan.

Vicinity Map



Executive Summary

Justin Shimp, acting as agent for AB Holding Charlottesville has submitted a subdivision application for the property located off of the Woodland Drive and Porter Avenue right-of-ways. The applicant is proposing to re-divide the nine existing lots to create the same number of lots, a new public street and close a portion of the existing Woodland Drive right of way. This subdivision is considered major because it includes more than 6 lots and a road extension. The property is further identified on City Real Property Tax Map 20 Parcels 21-25 having frontage on the Woodland Drive and Porter Avenue right-of-ways. The site is zoned R-1S Single Family Residential and the total project area is 101,009 square feet or approximately 2.32 acres. The applicant submitted a subdivision plan on December 18, 2013. Attached is the subdivision plan layout with engineering, landscaping and utility details.

Staff Checklist

- A. Compliance with design standards and improvements (*per Subdivision Ordinance §§29-160 - 29-163*):
 - a. Blocks: One new block approximately 150 feet. (Oaklawn Drive) will be created as a result of this division of land.
 - b. Lots: The applicant is proposing to reconfigure the existing 9 lots that comprise the site. Lots 4, 6, 8, and 10 will remain as platted. Lots 4 and 5 will gain the land from the closure of a portion of the Woodland Drive right of way and three lots will be created to front along the proposed new road (Oaklawn Drive). Oaklawn Drive will connect Porter Avenue to the Woodland Drive right-of-way (Proposed Oaklawn Court). The request to close an approximately 100' portion of the Woodland Drive right of way is an administrative approval by the City under the Street Closure Policy. That application was submitted to the City Attorney's office for processing and was approved (see attachment)
 - c. Parks, Schools, and other Public Land: This plan includes the dedication of 0.257 acres of land along Porter Avenue and the new Oaklawn Drive and Oaklawn Court for the construction of a 5' public sidewalk and the roads. The applicant has proposed to build a 5' wide trail connection from Porter Avenue to the existing Woodland Drive.
 - d. Preservation of natural features and amenities: The applicant is preserving 3 existing trees.
 - e. Soil Erosion and Sediment Control: The applicant has submitted an erosion and sediment control plan, which has been reviewed by the Engineering Division and will be approved prior to final plat approval.
 - f. Monuments: Monuments will be used in the subdivision as needed.
- B. Compliance with Street Standards for Subdivisions (*per Subdivision Ordinance §§29-180 - 29-183*): The subdivision includes the creation of a new public road, Oaklawn Drive and the construction of pavement and sidewalks in the Porter Avenue and Woodland Right of Way (Proposed Oaklawn Court).

- C. Compliance with Utility Standards for Subdivisions (*per Subdivision Ordinance §§29-200 -29-204*): The utility layout and configurations have been reviewed by Public Utilities as a part of the plan review process.
- D. Compliance with applicable zoning district regulations (*per Zoning Ordinance §34-350-420*): The residential lot regulations have been addressed as required, and the plat layout conforms to the minimum requirements for single family residential lots. The existing lots of record are buildable as long as applicable setbacks are met and the new lots meet minimum setback and building standards.
- E. Compliance with the City's Erosion and Sediment Control Ordinance, City Code, Chapter 10: As noted before, the applicant has submitted an erosion and sediment control plan, which will be approved prior to final plat approval.

Public Comments Received

The Fry's Spring Neighborhood Association has been forwarded the subdivision and the Director of Neighborhood Development Services took the plan to a neighborhood association meeting earlier this year for their information. Staff has spoken to various neighborhood association members about the project and answered people's initial questions via telephone and email.

Recommendation

Staff recommends preliminary subdivision approval.

Suggested Motions

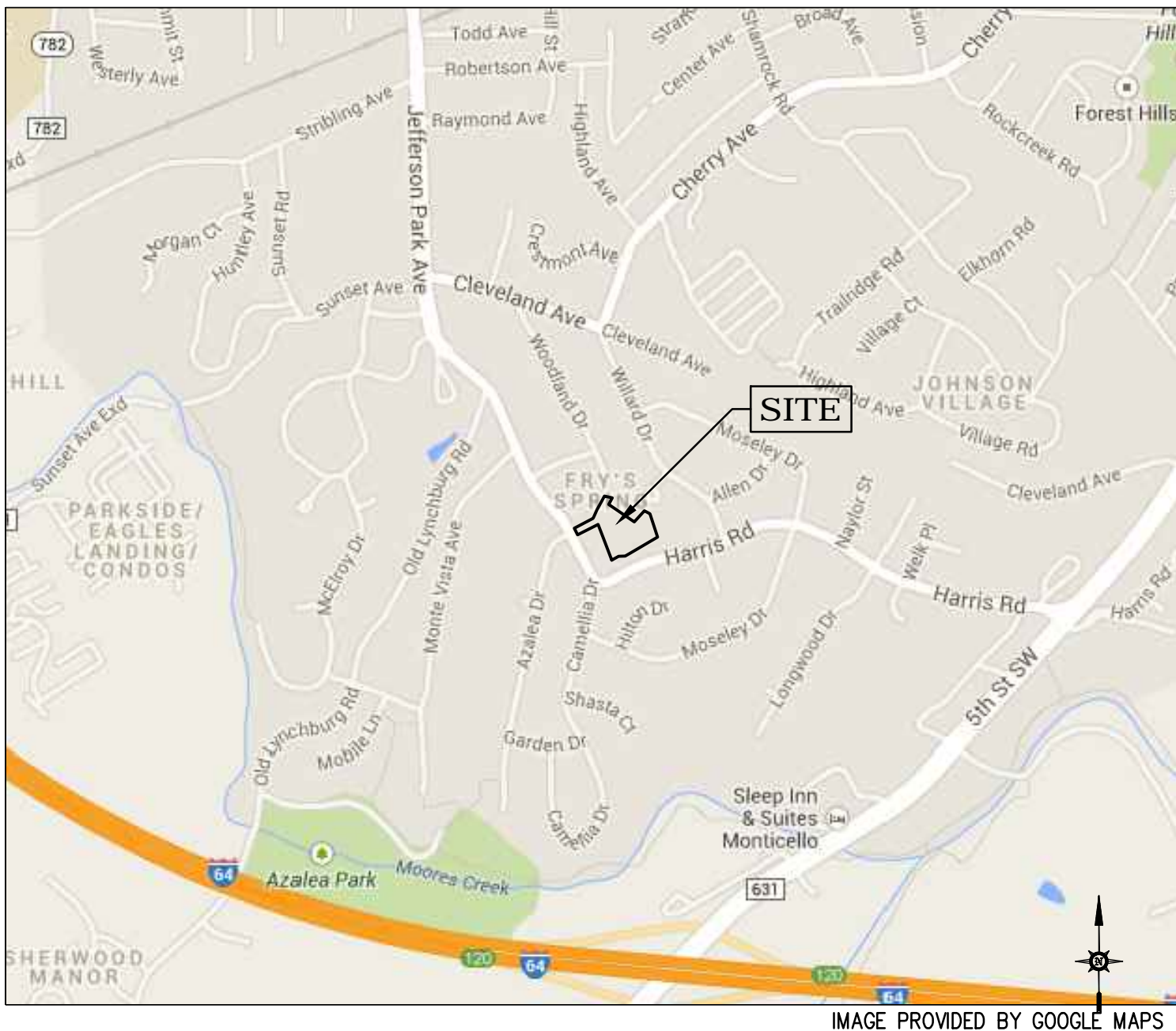
1. I move to approve the proposed subdivision located at Tax Map 20 Parcels 21-25 with the conditions that any remaining staff comments be addressed prior to final plat approval.

SUBDIVISION PLAN FOR
WOODLAND DRIVE
TAX MAP 20, PARCELS 21-25
CITY OF CHARLOTTESVILLE, VIRGINIA

LEGEND		
EXIST	NEW	DESCRIPTION
16" TC	x 12" TC	TOP OF CURB ELEVATION
16"	x 12"	SPOT ELEVATION
16" TW	x 12" TW	TOP OF WALL ELEVATION
16" BW	x 12" BW	BOTTOM OF WALL ELEVATION
		BENCHMARK
		STORM SEWER
		ROOF DRAIN
		SEWER LINE
		WATER LINE
		GAS LINE
		OVERHEAD ELECTRIC WIRE
		UNDERGROUND ELECTRIC
		OVERHEAD TELEPHONE LINE
		UNDERGROUND TELEPHONE LINE
		DRAIN INLET (DI)
		STORM/SANITARY MANHOLE
		PLUG
		WATER VALVE & BOX
		FIRE HYDRANT
		WATER METER
		LIGHT POLE
		UTILITY POLE
		PROPERTY LINE
		ADJACENT PROPERTY LINE
		VACATED PROPERTY LINE
		BUILDING SETBACK
		PARKING SETBACK
		SANITARY EASEMENT
		GRADING EASEMENT
		DRAINAGE EASEMENT
		UTILITY EASEMENT
		WATER EASEMENT
		ACCESS EASEMENT
		STORM DRAINAGE EASEMENT
		TREE LINE
		FENCE
		STREAM
		INTERVAL CONTOUR
		INDEX CONTOUR
		STANDARD 6" CURB
		COMBINATION 6" CURB & GUTTER
		CONCRETE PAVEMENT / SIDEWALK
		RIPRAP
		ASPHALT
		GRASS
		EC-2 MATTING
		EC-3 MATTING
		WETLAND
		PARKING COUNT
		CROSSWALK
		HANDICAP ACCESSIBLE AISLE
		CG-12
		HANDICAP PARKING

NOTE:

1. THE SIZE OF THE SYMBOLS MAY VARY FROM WHAT IS SHOWN.



SHEET INDEX

- SHEET C1 - COVER SHEET
- SHEET C2 - EXISTING CONDITIONS & DEMOLITION PLAN
- SHEET C3 - SITE OVERVIEW
- SHEET C4 - SITE PLAN
- SHEET C5 - UTILITY PLAN
- SHEET C6 - GRADING PLAN
- SHEET C7 - LANDSCAPE PLAN
- SHEET C8 - PORTER AVE. & OAKLAWN DR. ROAD PLANS & PROFILES
- SHEET C9 - OAKLAWN CT. ROAD PLAN & PROFILE & ROAD DETAILS
- SHEET C10 - SITE DETAILS
- SHEET C11 - UTILITY PROFILES
- SHEET C12 - SANITARY DETAILS & WATERLINE PROFILE
- SHEET C13 - WATERLINE DETAILS
- SHEET C14 - EROSION CONTROL NARRATIVE
- SHEET C15 - EROSION CONTROL PLAN
- SHEET C16 - EROSION CONTROL DETAILS

NOTES

- All excavation for underground pipe installation must comply with OSHA Standards for the Construction Industry (29 CFR Part 1926).
- The location of existing utilities across or along the line of the proposed work are not necessarily shown on the plans and where shown based on "MISS UTILITY" markings and are only approximately correct. The contractor shall locate all underground lines and structures as necessary.
- The contractor shall verify the locations of all boundaries, buildings, existing elevations, vegetation and other pertinent site elements. Contractor shall immediately report any discrepancies to the engineer of record.
- The contractor shall be responsible for notifying "MISS UTILITY" - 1-800-552-7001.
- Any damage to existing utilities caused by the contractor or its subcontractors shall be the contractor's sole responsibility to repair. This expense is the contractor's responsibility.
- All paving, drainage related materials and construction methods shall conform to current specifications and standards of the City of Charlottesville unless otherwise noted.
- An erosion and sediment control plan is required with this site plan.
- All slopes and disturbed areas are to be fertilized, seeded and mulched. The maximum allowable slope is 2:1. Where it is reasonably obtainable, lesser slopes of 3:1 or better are to be achieved.
- Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the Engineer it is deemed necessary in order to stabilize a drainage channel.
- All traffic control signs shall conform to the 2011 Virginia Supplement to the 2009 Manual on Uniform Control Devices.
- Unless otherwise noted all concrete pipe shall be reinforced concrete pipe - Class III.
- All material inside concrete forms shall be clean and free of all rocks and other loose debris. Sub-base material shall be compacted by mechanical means. Remove all standing water from area inside forms.
- Concrete and asphalt shall not be placed unless the air temperature is at least 40 degrees in the shade and rising. Material shall not be placed on frozen subgrade.
- All existing curbs, curb and gutters and sidewalks to be removed shall be taken out to the nearest joint.
- Existing asphalt pavement shall be saw cut and removed as per VDOT Road and Bridge Specifications 2007. Removal shall be done in such a manner as to not tear, bulge or displace adjacent pavement. Edges shall be clean and vertical. All cuts shall be parallel or perpendicular to the direction of traffic.
- The contractor shall exercise care to provide positive drainage to the storm inlets or other acceptable drainage paths in all locations.
- Contact information for any necessary inspections with City: E&S inspector, NDS- 970-3182 (for the E&S inspections) Project Inspectors, NDS-970-3182 (for other construction items like sidewalk, pavement patches, road, storm sewer etc) Water and Sanitary Sewer-Public Works 970-3800 Street cut, Public Works 970-3800 Other public ROW issues-City Engineer 970-3182.
- Any sidewalk and/or curb damage identified in the site vicinity due to project construction activities as determined by City inspector shall be repaired at the contractor's expense.
- A temporary street closure permit is required for closure of sidewalks, parking spaces and roadways and is subject to approval by the City Traffic Engineer.

OWNER / DEVELOPER

Owner:
TM 20 Parcels 21-22 & 25
AB Holding of Charlottesville, LLC

TM 20 Parcels 23 & 24
Earl H. Burton
5858 Advance Mills Rd.
Ruckersville, VA 22968

Developer:
Core Real Estate & Development, LLC.
195 Riverbend Dr.
Charlottesville, VA 22911

ZONING

Zoned R-1S

LEGAL REFERENCE

TM 20 Parcels 21-22 & 25.
DB 2012 PG 5410, DB 199 PG 64 (Plat)

TM 20 Parcels 23 & 24
D.B. 2012 PG 4626, DB 199 PG 64 (Plat)

BENCHMARK

Benchmark is a nail set in the base of an existing 27" white oak on lot 6.
Elevation = 460.10

SOURCE OF BOUNDARY & TOPO

Boundary information from a current field survey by:
Roger W Ray and Associates Inc.
1717-1B Allied St.
Charlottesville, VA 22903

Topographic survey performed on 09/13/2013 by:
Roger W Ray and Associates Inc.
1717-1B Allied St.
Charlottesville, VA 22903

BUILDING HEIGHT

Maximum: 35' By Right

SETBACKS

Front: 25'
Side: 5', 20' (Corner)
Rear: 25'

EXISTING USE

9 Vacant Lots

PROPOSED USE

9 Detached Single Family Residential Lots

Gross Residential Density:
9 Units/1.41 Acres = 6.38 Units Per Acre

LAND USE SCHEDULE

EXISTING	Area	%
Building	0 SF	0%
Pavement	6,490 SF	0%
Sidewalk	0 SF	0%
Impervious area	6,490 SF	6.4%
Open space	94,519 SF	93.6%
Total=	101,009 SF (2.32 ac.)	
PROPOSED	Area	%
Pavement	19,059 SF	18.9%
Sidewalk	7,910 SF	7.8%
Impervious area	26,969 SF	26.7%
Open space	74,040 SF	73.3%
Total=	101,009 SF (2.32 ac.)	

11,195 SF to be dedicated for public right of way

LAND DISTURBANCE

2.18 acres of total land disturbance is proposed with this subdivision plan.

ITE TRIP GENERATION

10 average vehicle per day per unit = 90 vtpd
AM peak hour=1 vtpd x 9=9 vtpd
PM peak hour=1 vtpd x 9=9 vtpd

STORMWATER COMPLIANCE

This subdivision plan provides stormwater management facilities designed to meet the standards for preliminary plans.

SIGNS

All signs and pavement markings shall conform with the MUTCD 2009 Guidelines.

FIRE MARSHALL'S NOTES

- SITE PLAN:
- IFC 505-The building street number to be plainly visible from the street for emergency responders.
 - Overhead wiring or other obstructions shall be higher than 13 feet 6 inches.
 - An approved water supply for fire protection shall be made available as soon as combustible material arrives on the site. Fire hydrants shall be installed and useable prior to the start of any building construction.
 - All pavement shall be capable of supporting fire apparatus weighing 75,000 lbs.
 - Required vehicle access for fire fighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.

CONSTRUCTION & DEMOLITION:

- IFC 1404.1 - Smoking to be allowed in only designated spaces with proper receptacles.
- IFC 1404.2 - Waste disposal of combustible debris shall be removed from the building at the end of each workday.
- IFC 1410.1-Access to the building during demolition and construction shall be maintained.
- IFC 1404.6 - Operations involving the use of cutting and welding shall be done in accordance with Chapter 26, of the International Fire Code, addressing welding and hotwork operations.
- IFC 1414.1-Fire extinguishers shall be provided with not less than one approved portable fire extinguisher at each stairway on all floor levels where combustible materials have accumulated.
- Required vehicle access for fire fighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections, if any.

CRITICAL SLOPES

There are no critical slopes within the project area.

LIGHTING

Street lighting will not be provided.

FLOOD ZONE

According to the FEMA Flood Insurance Rate Map, effective date February 4, 2005 (Community Panel 51003C0269D), this property does not lie within a Zone A 100-year flood plain.

CITY PERMITS

- The contractor shall be responsible for obtaining a street cut permit from the City.
- A Temporary Street Closure Permit is required for closure of sidewalks, parking spaces and roadways and is subject to approval by the City Traffic Engineer. The contractor contact information will be provided with the final plans.

WATER & SANITARY SERVICES

All materials used for water and sanitary sewer service lines are to comply with requirements as outlined in both the BOCA Code and the regulations used by the Department of Public Works for the City of Charlottesville.

ELECTRIC / TELEPHONE / CABLE TV

If feasible, all new service lines for electricity, telephone and cable TV are to be installed underground. Care is to be taken to assure their location does not conflict with any other aspects of the proposed site plan.

UTILITY MARKINGS

Utilities marked on or before October 28, 2013
Miss Utility ticket #B327601536

BMP INFORMATION

Type of BMP:
BMP #1 2 - 65" Underground Infiltration 48" CMP
BMP #2 60" Underground Infiltration 60" CMP
The BMP is to be owned and maintained by the HOA.
The BMP's both empty into Lodge Creek.
Number of acres treated by each BMP:
1.85 Ac to BMP #1
0.92 Ac to BMP #2
Maintenance for the BMP's:
The underground infiltration systems should be checked quarterly for the first year then annually after that. The observation wells should be checked to ensure the water drains. The weir plates should also be periodically inspected.

APPROVALS:

DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES DATE

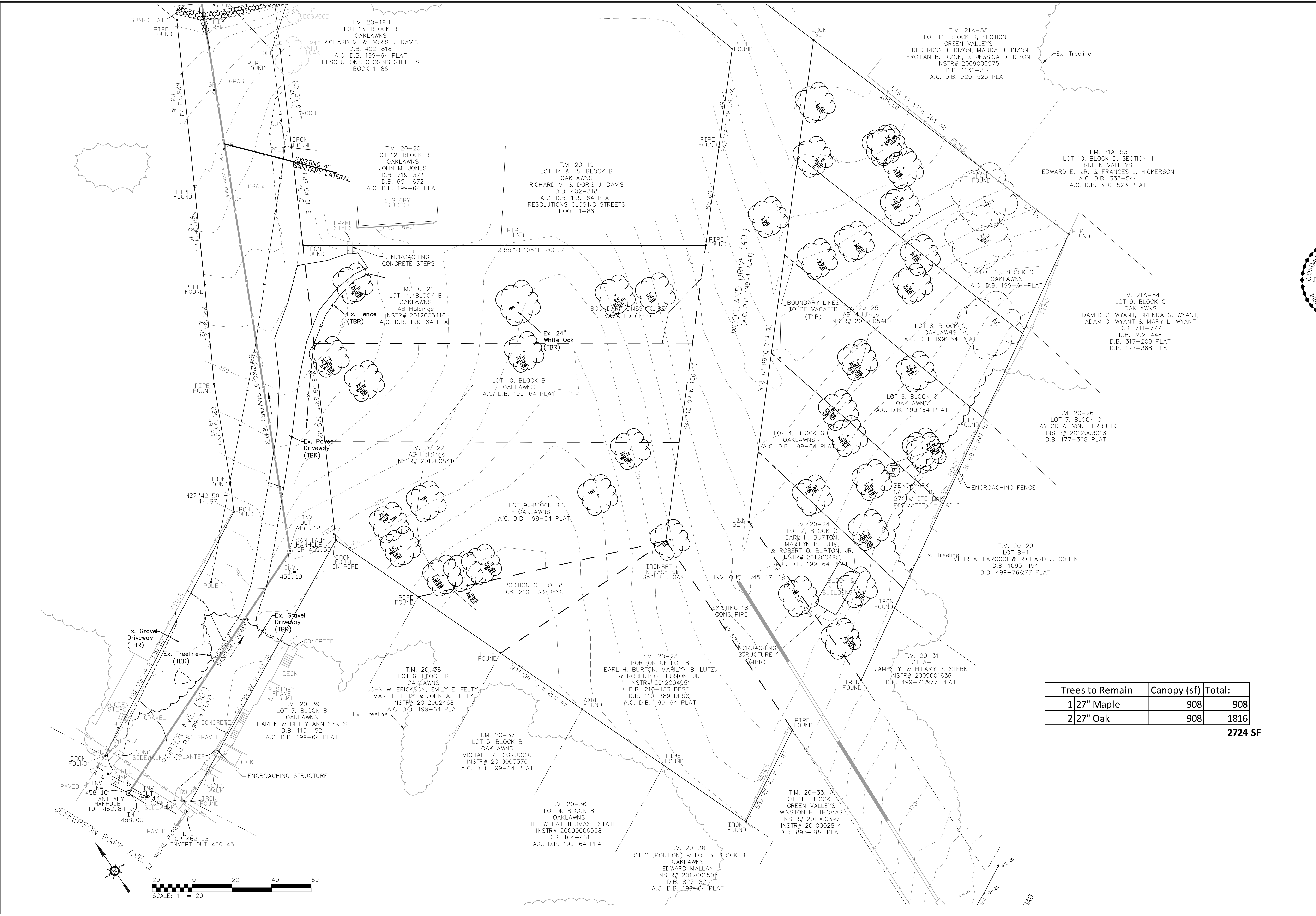
SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
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COVER SHEET				
Rev #	Date	Description	Revisions Per City Comments	Revisions Per City Comments
1.	7/18/14			
5.	8/19/14			
6.	8/20/14			
7.	8/22/14			
8.	8/26/14			

SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTESVILLE, VIRGINIA

Date	12/18/13
Scale	N/A
Sheet No.	C1 OF 16
File No.	13.026



Trees to Remain	Canopy (sf)	Total:
1 27" Maple	908	908
2 27" Oak	908	1816

2724 SF

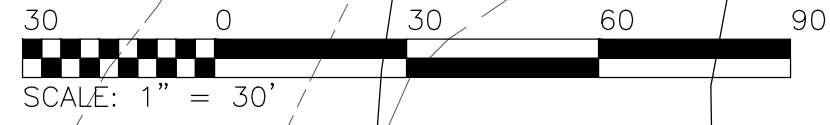
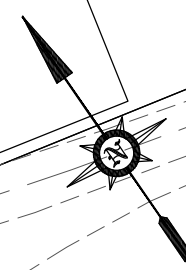
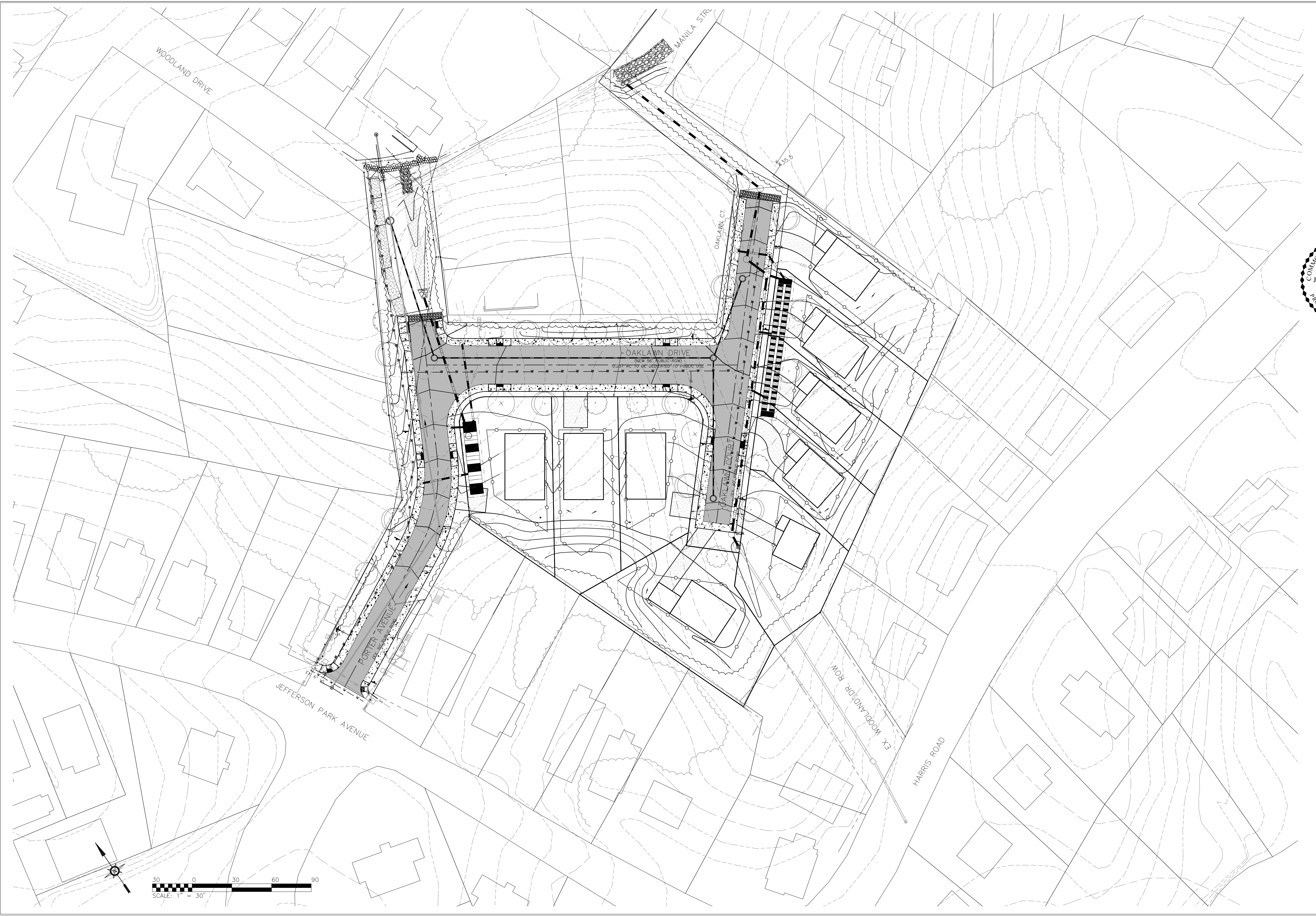
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COMMONWEALTH OF VIRGINIA
JUSTIN M. SHIMP
Lic. No. 45183
PROFESSIONAL ENGINEER

EXISTING CONDITIONS & DEMOLITION PLAN			
Rev #	Date	Description	
1	7/18/14	Revisions Per City Comments	
2	8/18/14	Revisions Per City Comments	
3	8/20/14	Utility and Trail Revisions	
4	8/22/14	Trail Revisions	
5	8/26/14	Trail Revisions	

SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTEVILLE, VIRGINIA

Date	12/18/13
Scale	1" = 20'
Sheet No.	C2 OF 16
File No.	13.026



SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTESVILLE, VIRGINIA

Date
12/18/13

Scale
1" = 30'

Sheet No.
C3 OF 16

File No.
13.026

SITE OVERVIEW		
Rev #	Date	Description
1	7/16/14	Revisions Per City Comments
2	8/18/14	Revisions Per City Comments
3	8/20/14	Utility & Trail Revisions
4	8/22/14	Trail Revisions
5	8/26/14	Trail Revisions

COMMONWEALTH OF VIRGINIA

JUSTIN M. SHIMP

Lic. No. 45183

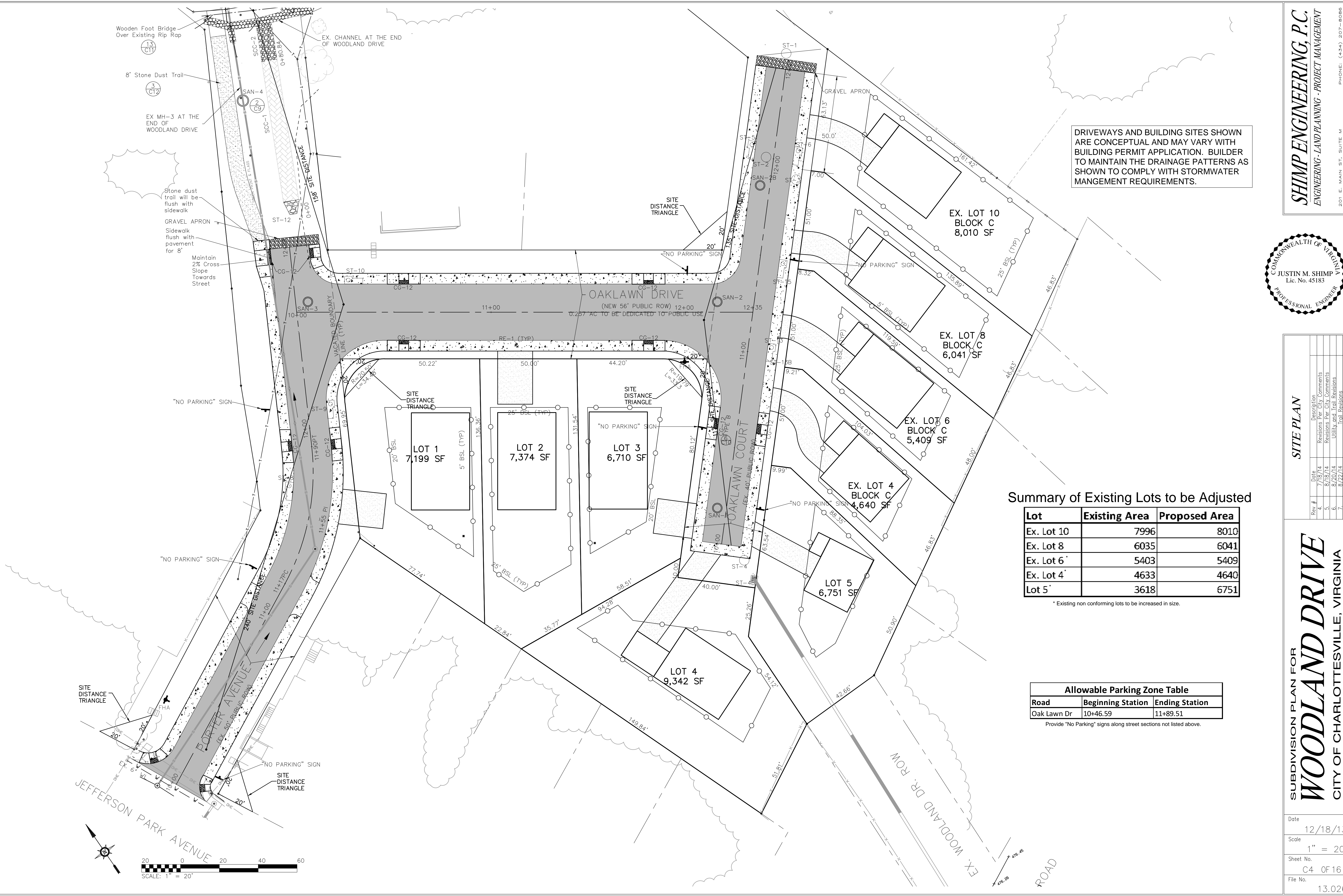
PROFESSIONAL ENGINEER

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DRIVEWAYS AND BUILDING SITES SHOWN ARE CONCEPTUAL AND MAY VARY WITH BUILDING PERMIT APPLICATION. BUILDER TO MAINTAIN THE DRAINAGE PATTERNS AS SHOWN TO COMPLY WITH STORMWATER MANGEMENT REQUIREMENTS.

Summary of Existing Lots to be Adjusted

Lot	Existing Area	Proposed Area
Ex. Lot 10	7996	8010
Ex. Lot 8	6035	6041
Ex. Lot 6	5403	5409
Ex. Lot 4	4633	4640
Lot 5	3618	6751

* Existing non conforming lots to be increased in size.

Allowable Parking Zone Table		
Road	Beginning Station	Ending Station
Oak Lawn Dr	10+46.59	11+89.51

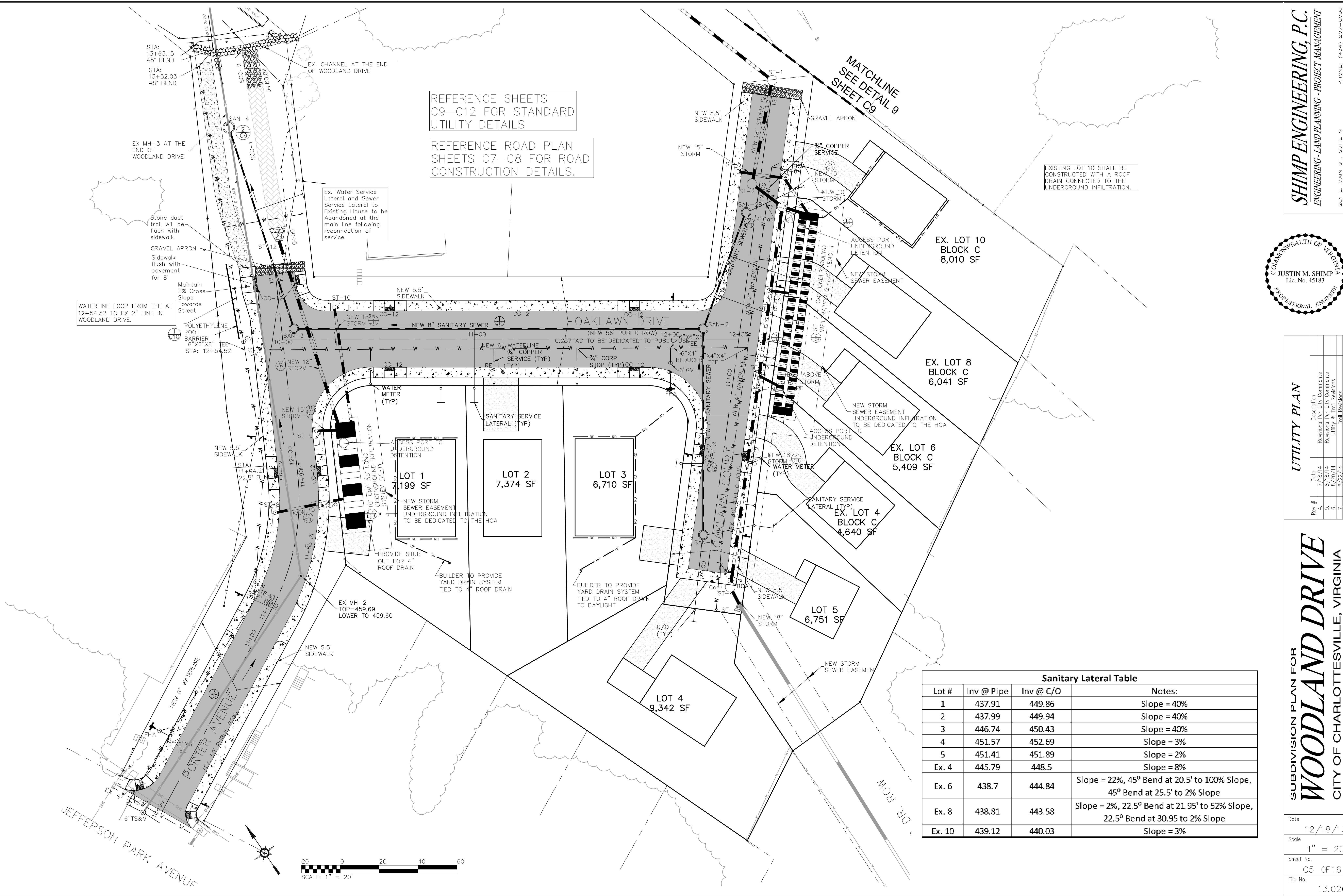
Provide "No Parking" signs along street sections not listed above.



SITE PLAN

Rev #	Date	Description
1	7/18/14	Revisions Per City Comments
2	8/18/14	Revisions Per City Comments
3	8/18/14	Utility and Trail Revisions
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5	8/26/14	Trail Revisions

SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTEVILLE, VIRGINIA



REFERENCE SHEETS
C9-C12 FOR STANDARD
UTILITY DETAILS

REFERENCE ROAD PLAN
SHEETS C7-C8 FOR ROAD
CONSTRUCTION DETAILS.

MATCHLINE
SEE DETAIL 9
SHEET C9

EXISTING LOT 10 SHALL BE
CONSTRUCTED WITH A ROOF
DRAIN CONNECTED TO THE
UNDERGROUND INFILTRATION.

WATERLINE LOOP FROM TEE AT
12+54.52 TO EX 2" LINE IN
WOODLAND DRIVE.

Ex. Water Service
Lateral and Sewer
Service Lateral to be
Abandoned at the
main line following
reconnection of
service

GRAVEL APRON
Sidewalk flush with
pavement
for 8'

Maintain
2% Cross
Slope
Towards
Street

POLYETHYLENE
ROOT
BARRIER
6"x6"x6" TEE
STA: 12+54.52

WATER
METER
(TYP)

SANITARY SERVICE
LATERAL (TYP)

LOT 1
7,199 SF

LOT 2
7,374 SF

LOT 3
6,710 SF

LOT 4
9,342 SF

LOT 5
6,751 SF

EX. LOT 4
BLOCK C
4,640 SF

EX. LOT 6
BLOCK C
5,409 SF

EX. LOT 8
BLOCK C
6,041 SF

EX. LOT 10
BLOCK C
8,010 SF

Sanitary Lateral Table			
Lot #	Inv @ Pipe	Inv @ C/O	Notes:
1	437.91	449.86	Slope = 40%
2	437.99	449.94	Slope = 40%
3	446.74	450.43	Slope = 40%
4	451.57	452.69	Slope = 3%
5	451.41	451.89	Slope = 2%
Ex. 4	445.79	448.5	Slope = 8%
Ex. 6	438.7	444.84	Slope = 22%, 45° Bend at 20.5' to 100% Slope, 45° Bend at 25.5' to 2% Slope
Ex. 8	438.81	443.58	Slope = 2%, 22.5° Bend at 21.95' to 52% Slope, 22.5° Bend at 30.95 to 2% Slope
Ex. 10	439.12	440.03	Slope = 3%

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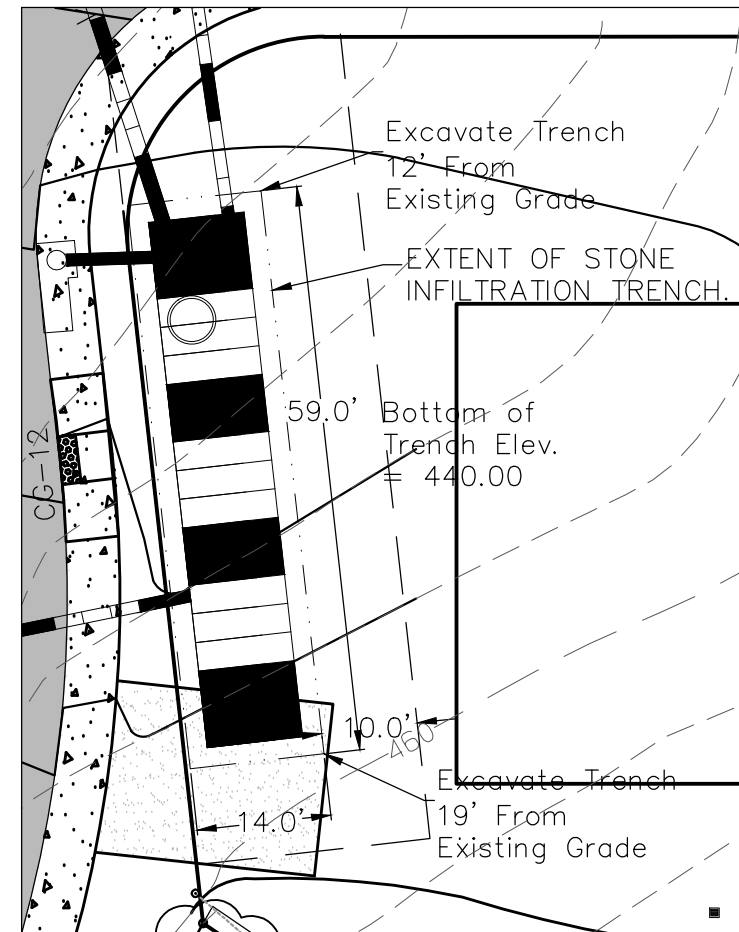
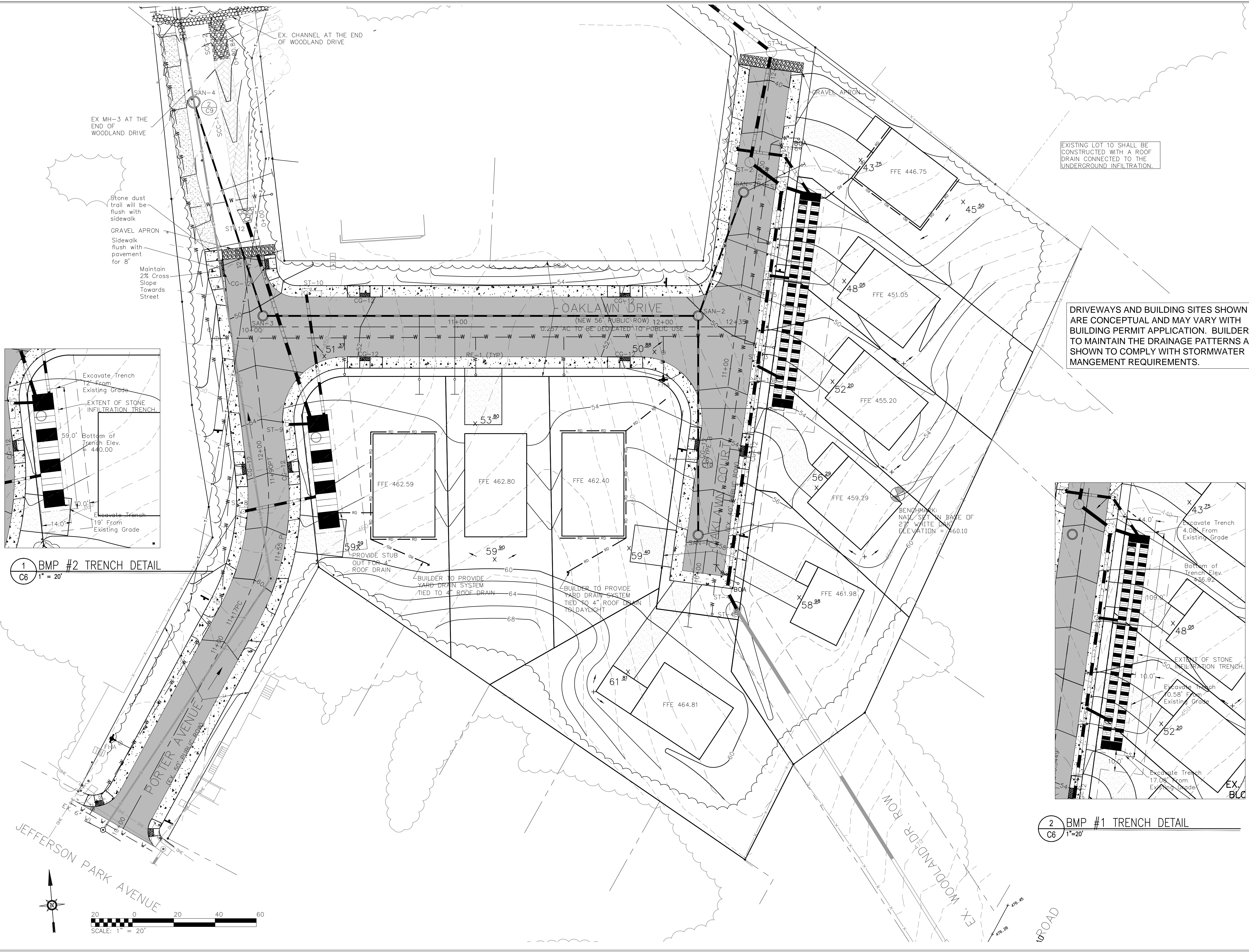


UTILITY PLAN

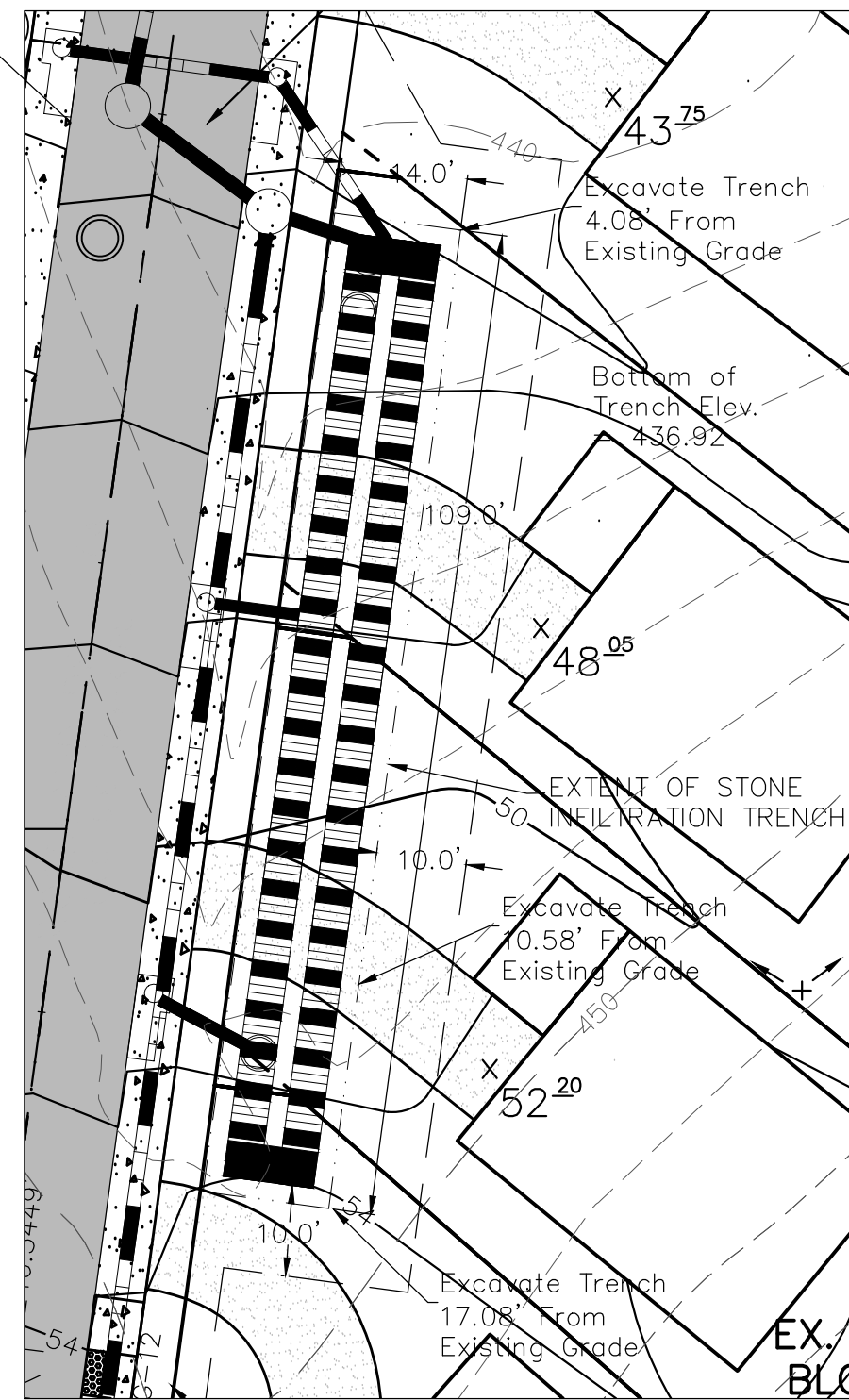
Rev #	Date	Description
1	7/18/14	Revisions Per City Comments
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SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTEVILLE, VIRGINIA

Date 12/18/13
Scale 1" = 20'
Sheet No. C5 OF 16
File No. 13.026



1 BMP #2 TRENCH DETAIL
C6 1" = 20'



2 BMP #1 TRENCH DETAIL
C6 1" = 20'

EXISTING LOT 10 SHALL BE
CONSTRUCTED WITH A ROOF
DRAIN CONNECTED TO THE
UNDERGROUND INFILTRATION.

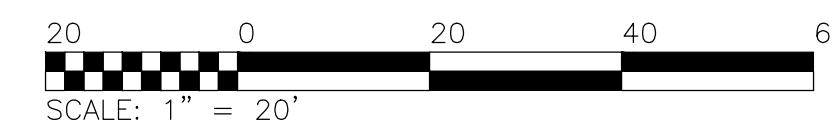
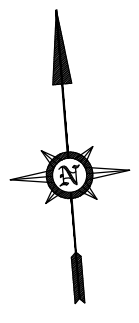
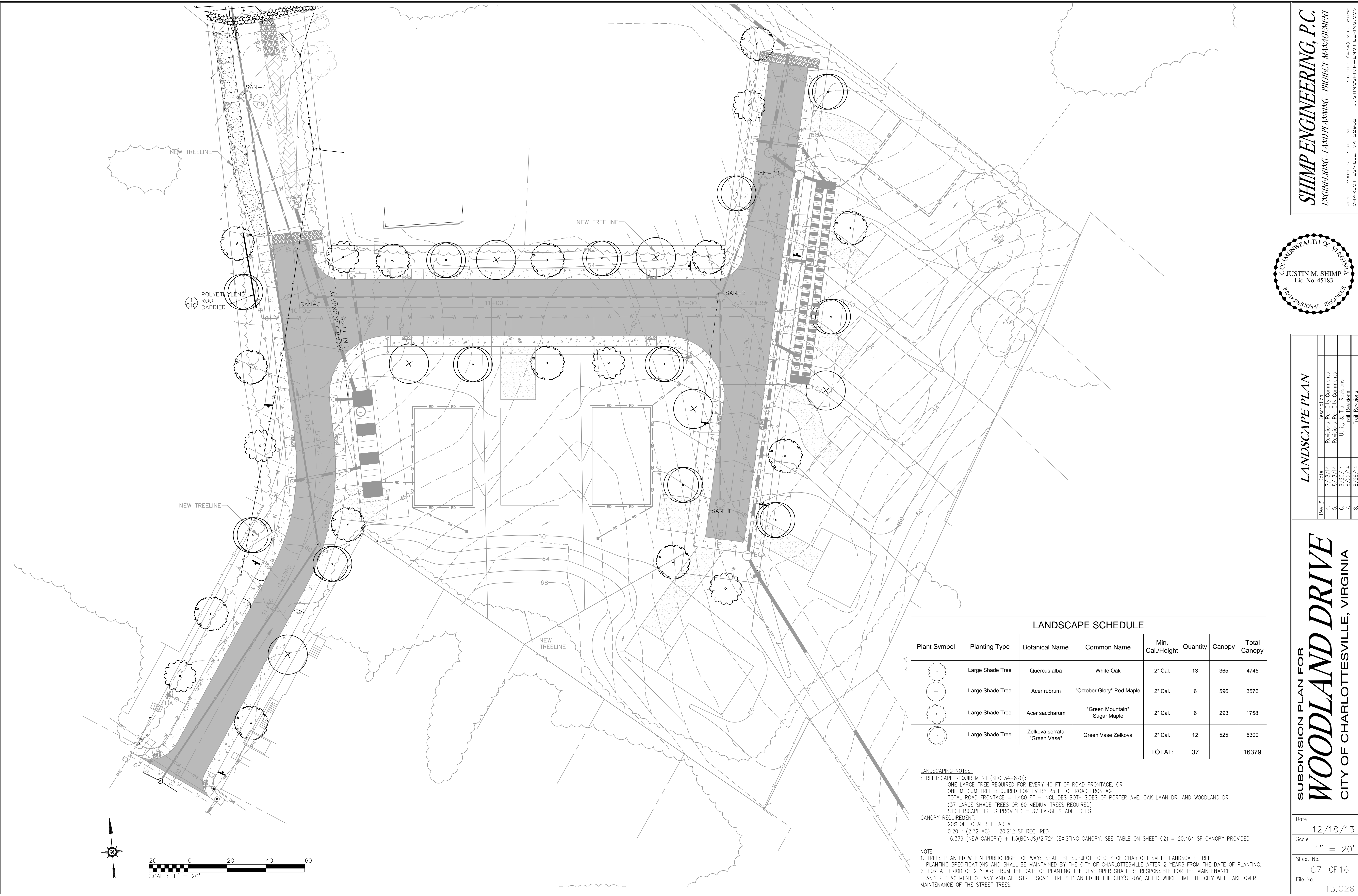
DRIVEWAYS AND BUILDING SITES SHOWN
ARE CONCEPTUAL AND MAY VARY WITH
BUILDING PERMIT APPLICATION. BUILDER
TO MAINTAIN THE DRAINAGE PATTERNS AS
SHOWN TO COMPLY WITH STORMWATER
MANGEMENT REQUIREMENTS.



GRADING PLAN

Rev #	Date	Description
1	7/18/14	Revisions Per City Comments
5	8/18/14	Utility & Trail Revisions
6	8/20/14	Trail Revisions
7	8/22/14	Trail Revisions
8	8/26/14	Trail Revisions

SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTESVILLE, VIRGINIA



LANDSCAPE SCHEDULE							
Plant Symbol	Planting Type	Botanical Name	Common Name	Min. Cal./Height	Quantity	Canopy	Total Canopy
	Large Shade Tree	Quercus alba	White Oak	2" Cal.	13	365	4745
	Large Shade Tree	Acer rubrum	"October Glory" Red Maple	2" Cal.	6	596	3576
	Large Shade Tree	Acer saccharum	"Green Mountain" Sugar Maple	2" Cal.	6	293	1758
	Large Shade Tree	Zelkova serrata "Green Vase"	Green Vase Zelkova	2" Cal.	12	525	6300
TOTAL:					37		16379

LANDSCAPING NOTES:
STREETSCAPE REQUIREMENT (SEC 34-870):
ONE LARGE TREE REQUIRED FOR EVERY 40 FT OF ROAD FRONTAGE, OR
ONE MEDIUM TREE REQUIRED FOR EVERY 25 FT OF ROAD FRONTAGE
TOTAL ROAD FRONTAGE = 1,480 FT - INCLUDES BOTH SIDES OF PORTER AVE, OAK LAWN DR, AND WOODLAND DR.
(37 LARGE SHADE TREES OR 60 MEDIUM TREES REQUIRED)
STREETSCAPE TREES PROVIDED = 37 LARGE SHADE TREES

CANOPY REQUIREMENT:
20% OF TOTAL SITE AREA
0.20 * (2.32 AC) = 20,212 SF REQUIRED
16,379 (NEW CANOPY) + 1.5(BONUS)*2,724 (EXISTING CANOPY, SEE TABLE ON SHEET C2) = 20,464 SF CANOPY PROVIDED

NOTE:
1. TREES PLANTED WITHIN PUBLIC RIGHT OF WAYS SHALL BE SUBJECT TO CITY OF CHARLOTTESVILLE LANDSCAPE TREE
PLANTING SPECIFICATIONS AND SHALL BE MAINTAINED BY THE CITY OF CHARLOTTESVILLE AFTER 2 YEARS FROM THE DATE OF PLANTING.
2. FOR A PERIOD OF 2 YEARS FROM THE DATE OF PLANTING THE DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE
AND REPLACEMENT OF ANY AND ALL STREETSCAPE TREES PLANTED IN THE CITY'S ROW, AFTER WHICH TIME THE CITY WILL TAKE OVER
MAINTENANCE OF THE STREET TREES.

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LANDSCAPE PLAN

Rev #	Date	Description
1	7/18/14	Revisions Per City Comments
5	8/18/14	Revisions Per City Comments
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7	8/22/14	Trail Revisions
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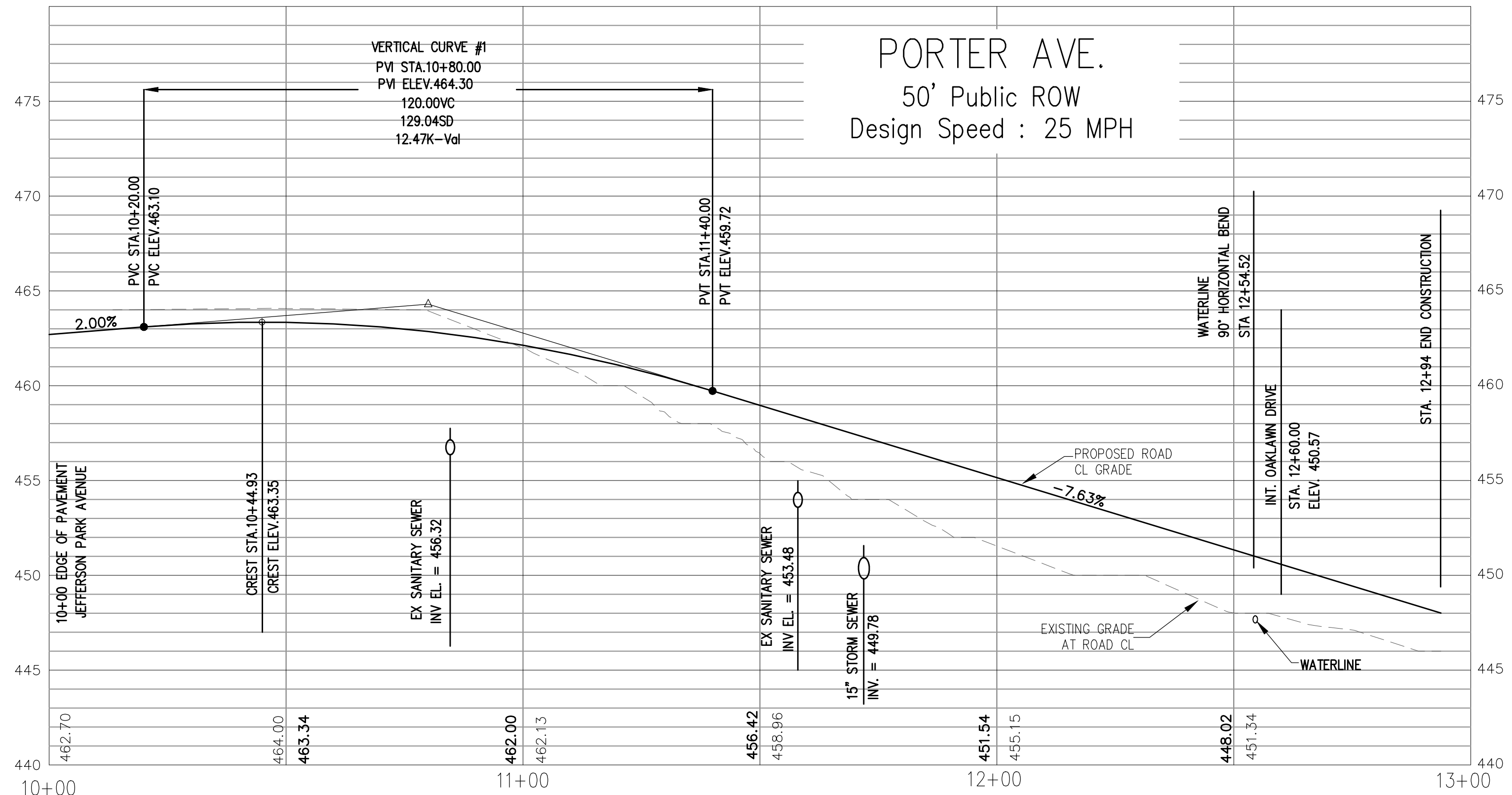
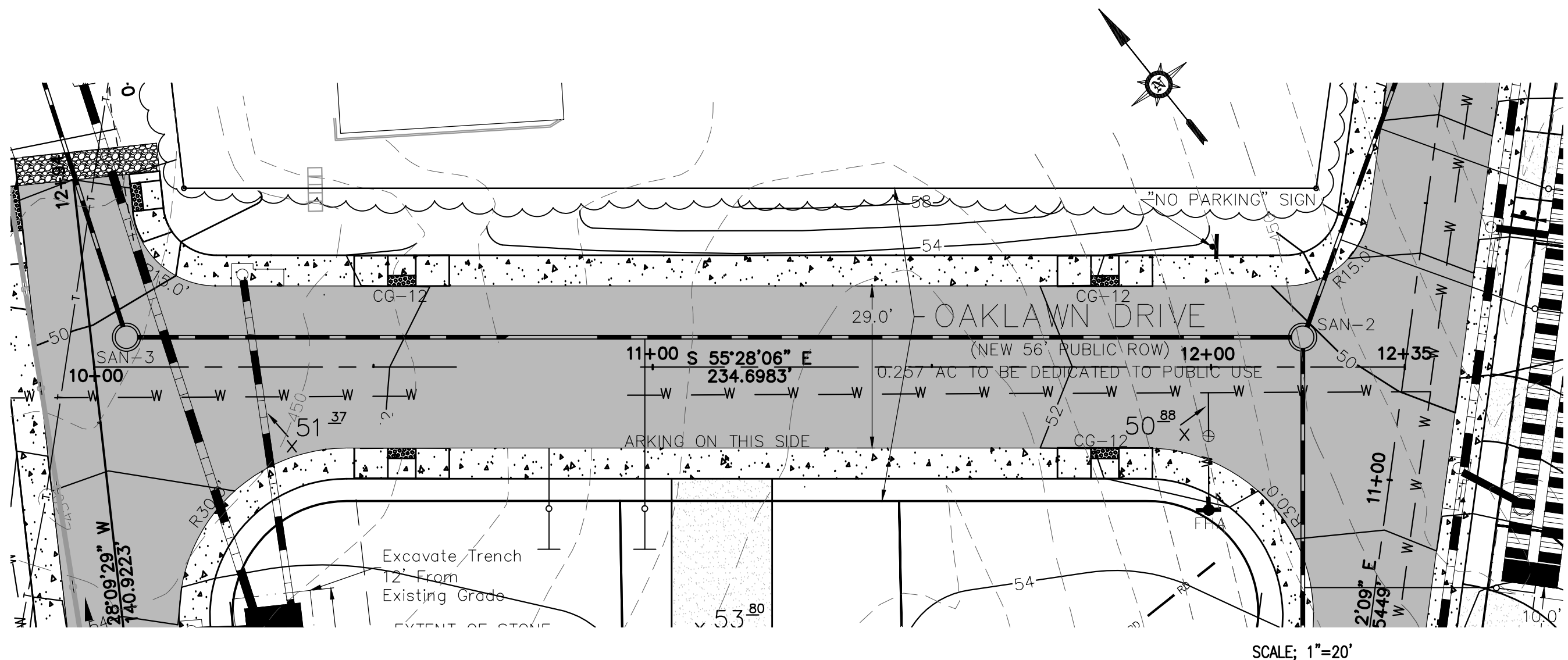
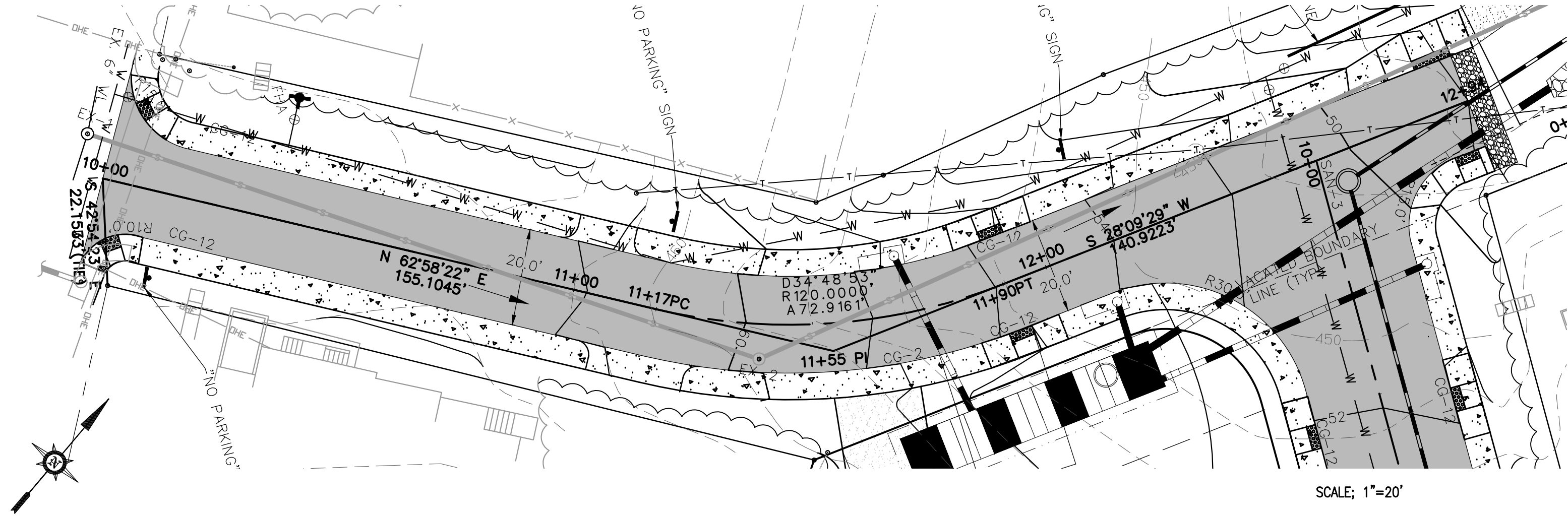
SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTESVILLE, VIRGINIA

Date
12/18/13

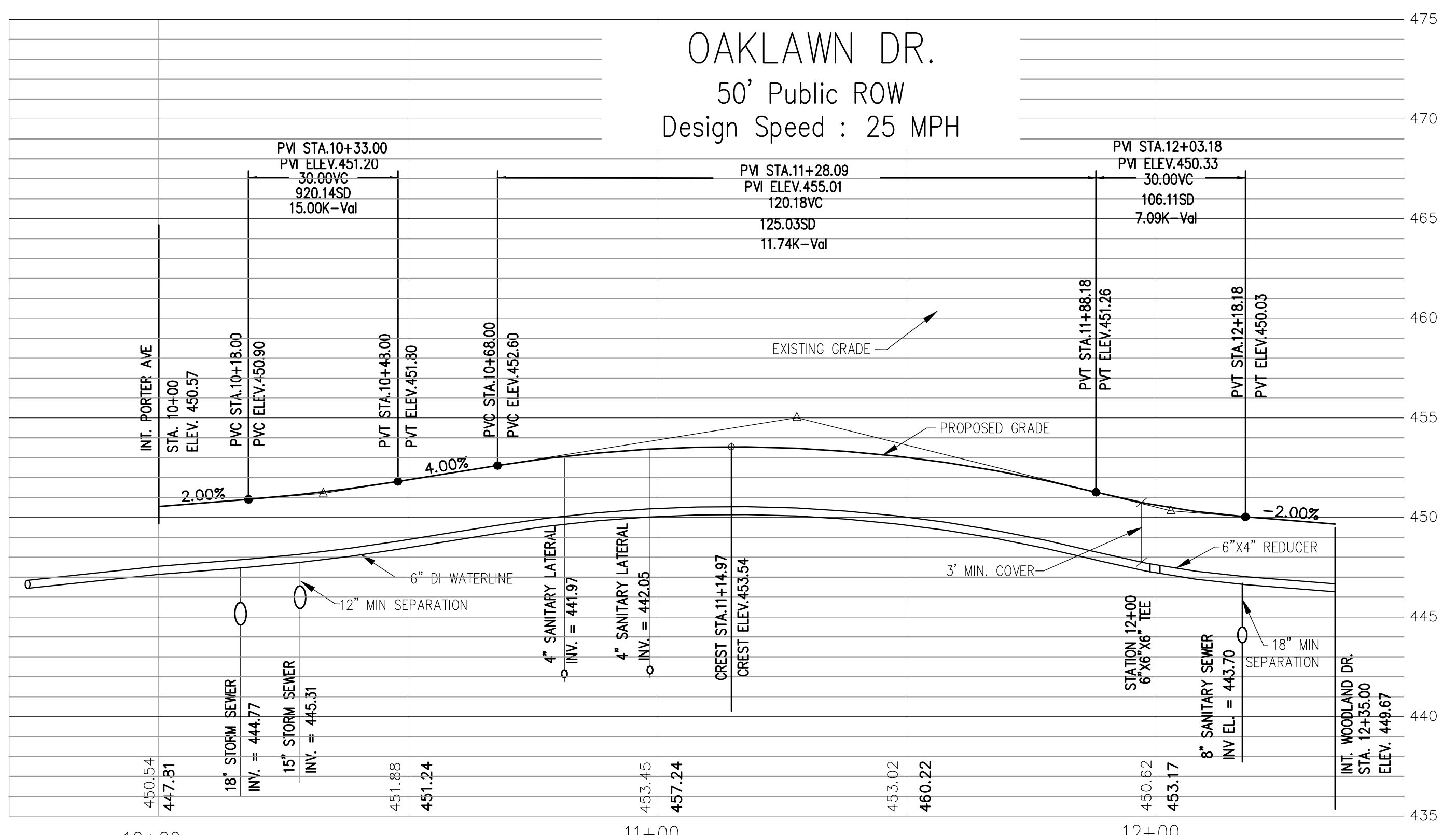
Scale
1" = 20'

Sheet No.
C7 OF 16

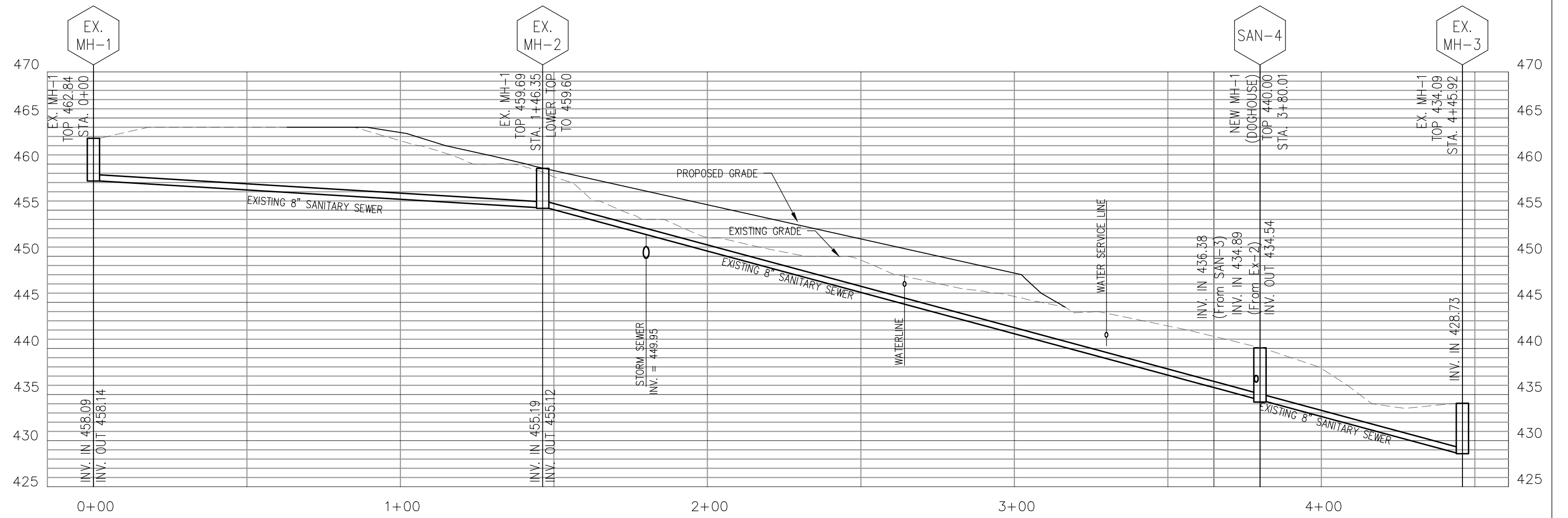
File No.
13.026



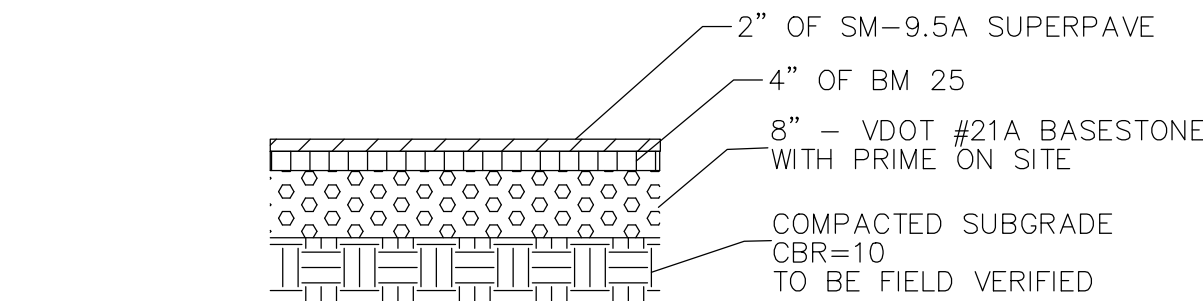
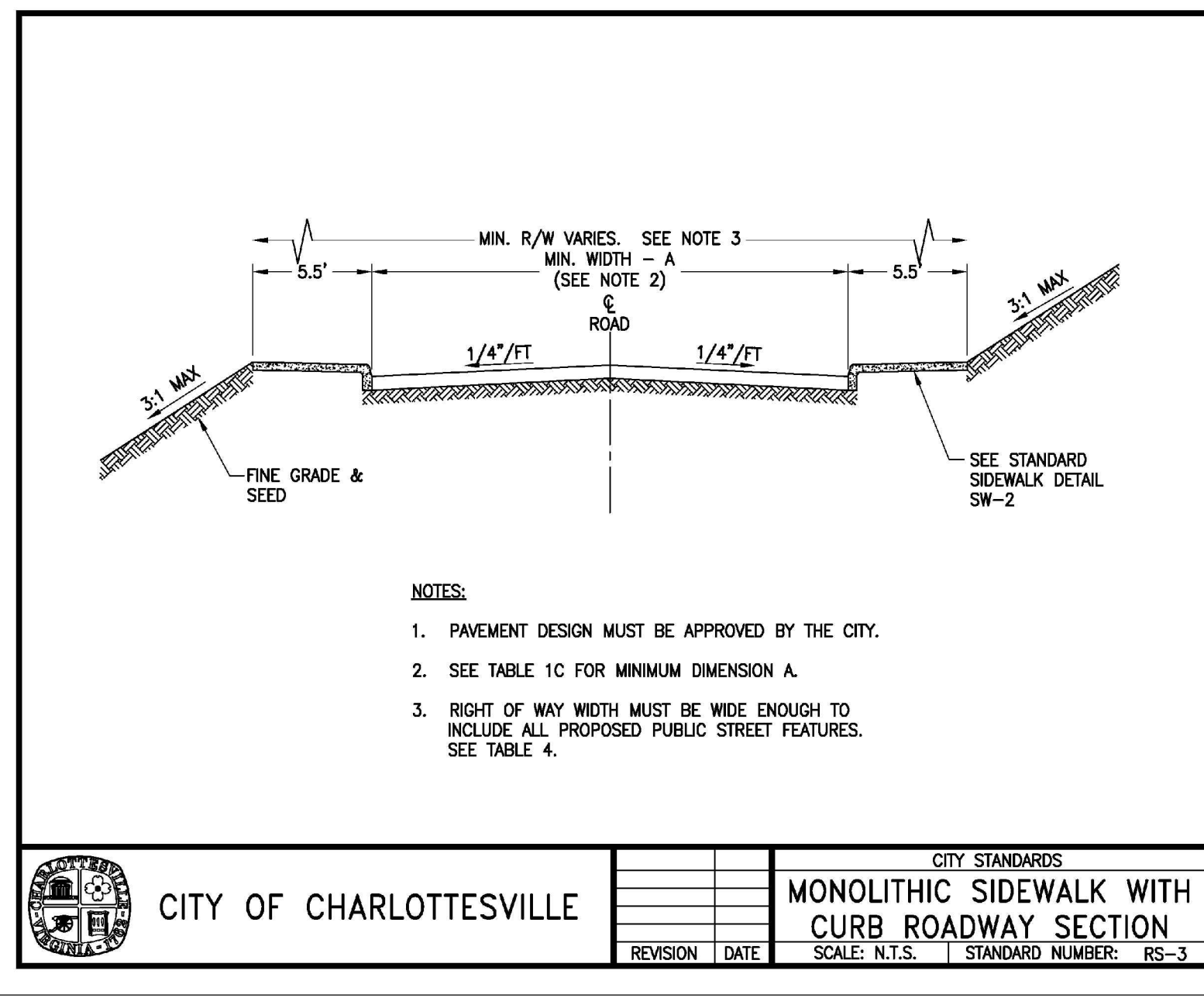
1 PORTER AVENUE ROAD PROFILE
SCALE: H: 1"=20', V: 1"=5'



2 OAKLAWN DRIVE ROAD PROFILE
SCALE: H: 1"=20', V: 1"=5'



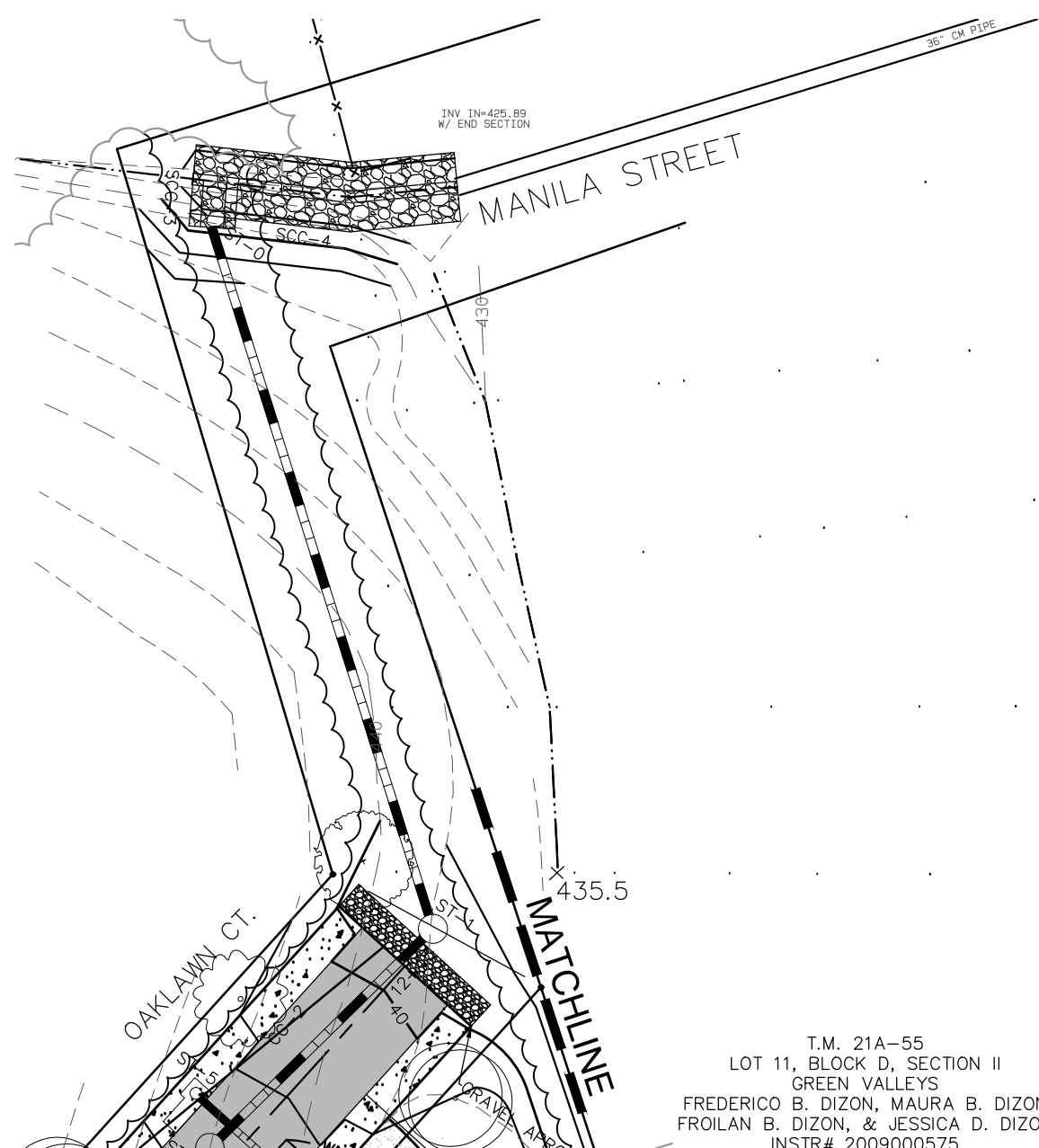
3 EXISTING SANITARY PROFILE
SCALE: H: 1"=30', V: 1"=10' (DIRECTION REVERSED TO MATCH ROAD PROFILE)



Road	Station	Pavement Width
Porter Ave	10+00	20'
Porter Ave	11+17.48	Varied Width
Porter Ave	12+02.25	20'
Oak Lawn Dr	10+00	29'
Woodland Dr	10+00	20'

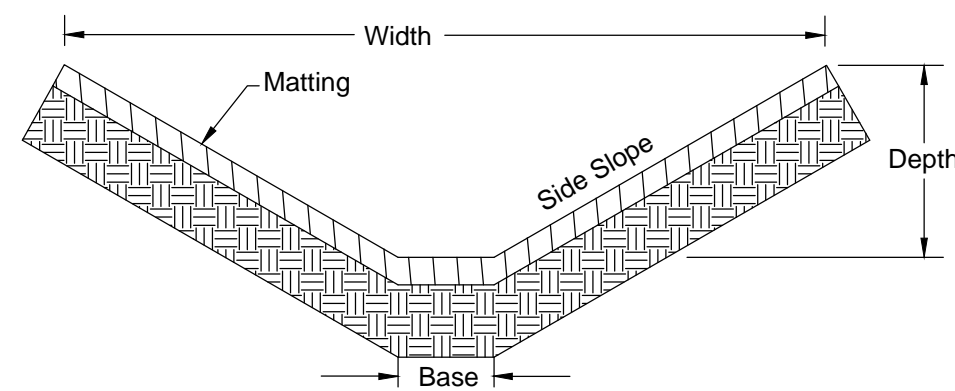
5 ROAD WIDTH TABLE
NOT TO SCALE

POTER AVE. ROAD PLAN & PROFILES & ROAD DETAILS			
Rev #	Date	Description	
1	7/18/14	Revisions Per City Comments	
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3	8/20/14	Utility & Trail Revisions	
4	8/22/14	Trail Revisions	



T.M. 21A-55
LOT 11, BLOCK D, SECTION II
GREEN VALLEYS
FREDERICO B. DIZON, MAURA B. DIZON
FROILAN B. DIZON, & JESSICA D. DIZON
INSTR# 2009000575
D.B. 1136-314
A.C. D.B. 320-523 PLAT

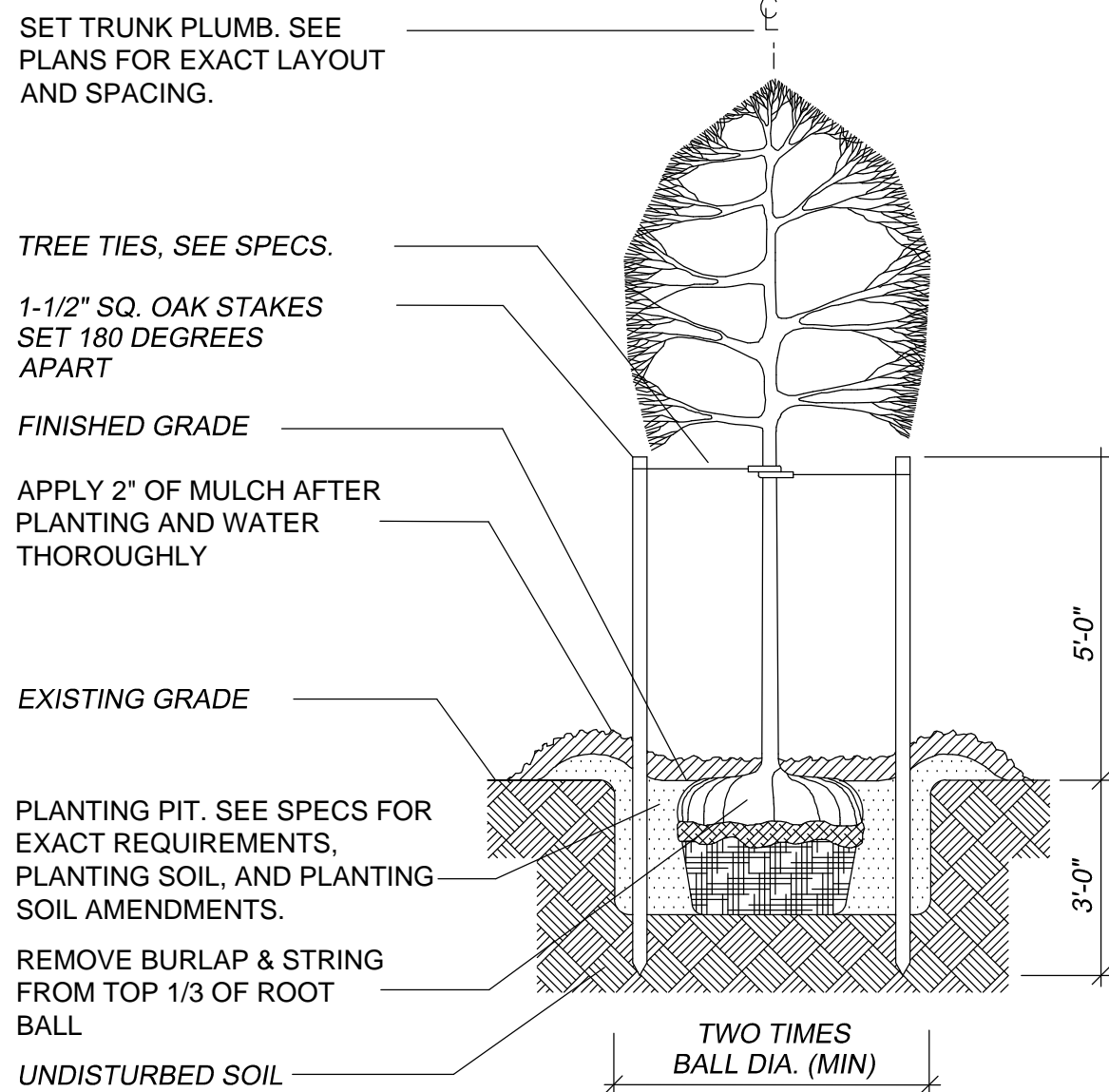
9 OFFSITE PIPE DETAIL
C9 SCALE: 1"=30'



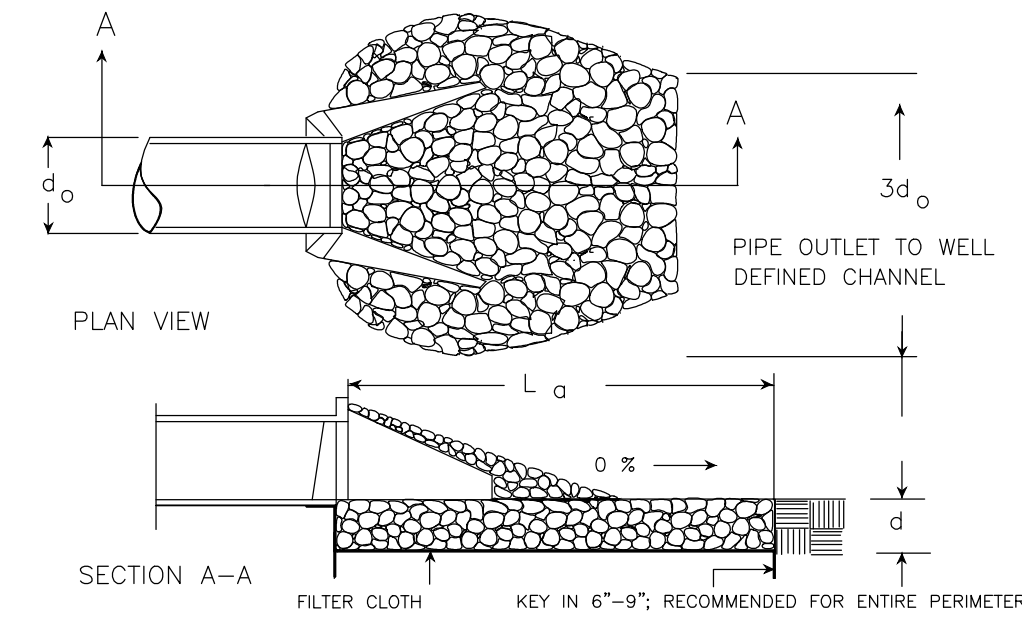
Ditch Sections						
Section	Lining	Channel Depth	Channel Width	Channel Base	Channel Side Slope	2-Yr Velocity
SCC-1	EC-2 Matting	1.0	8	2	3:1	2.59
SCC-2	Rip Rap	1.0	8	2	3:1	3.39
SCC-3	Rip Rap	1.0	8	4	2:1	8.90
SCC-4	Rip Rap	2.5	12	2	2:1	9.32

*SCC-2 Begins at Station 0+88.84 along the Ditch

2 DITCH DETAIL
C9 Not To Scale



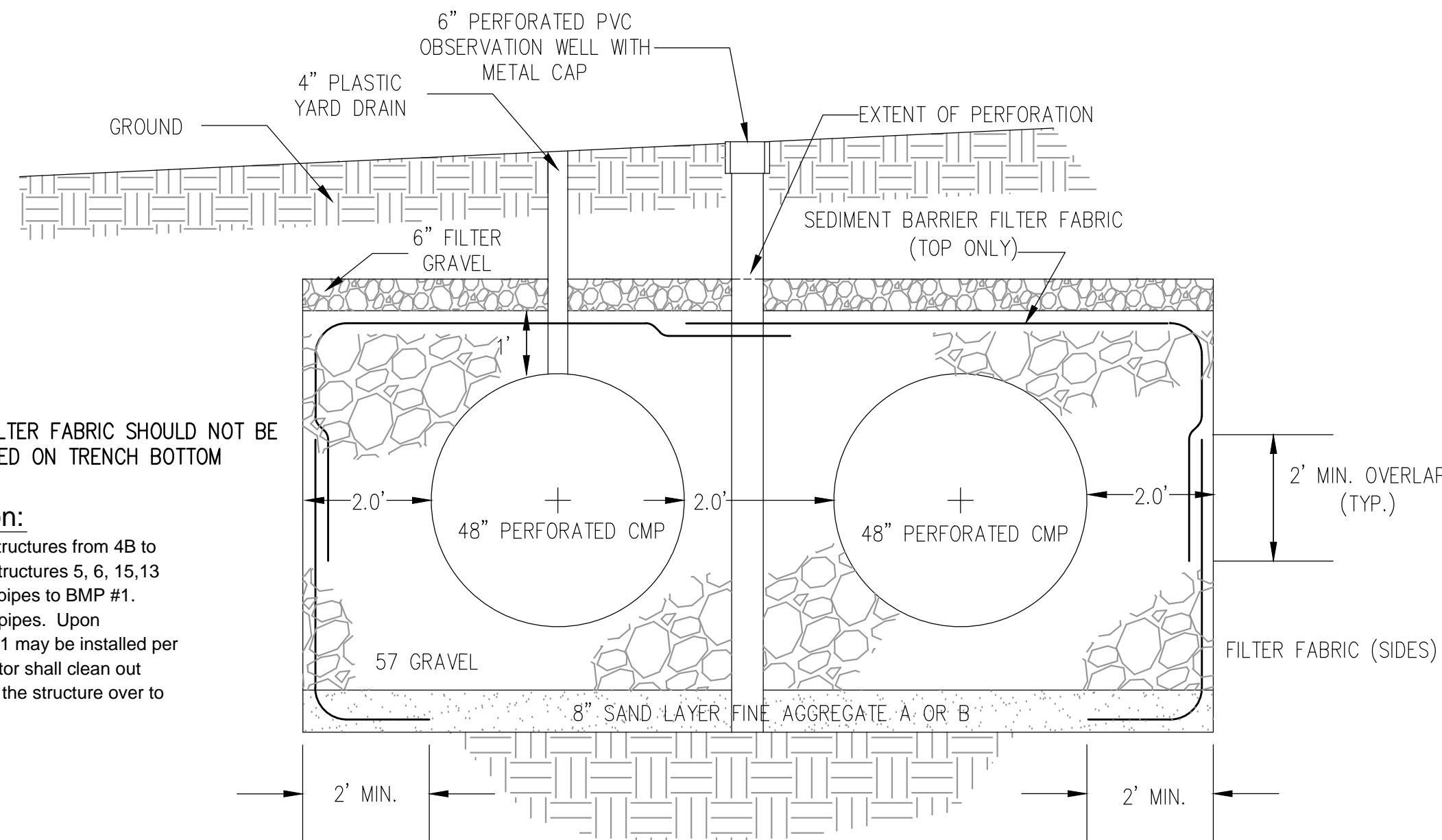
1 TREE PLANTING DETAIL
C9 Not To Scale



NOTES: 1. APRON LINING MAY BE RIPRAP, GROUTED RIPRAP, GABION BASKET, OR CONCRETE.
2. L_a IS THE LENGTH OF THE RIPRAP APRON AS CALCULATED USING PLATES 3.18-3 AND 3.18-4.
3. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER, BUT NOT LESS THAN 6 INCHES.

	La (ft)	Do (ft)	3Do (ft)	d (in)
ST-0	11	1.50	4.50	9
ST-12	9	1.50	4.50	9

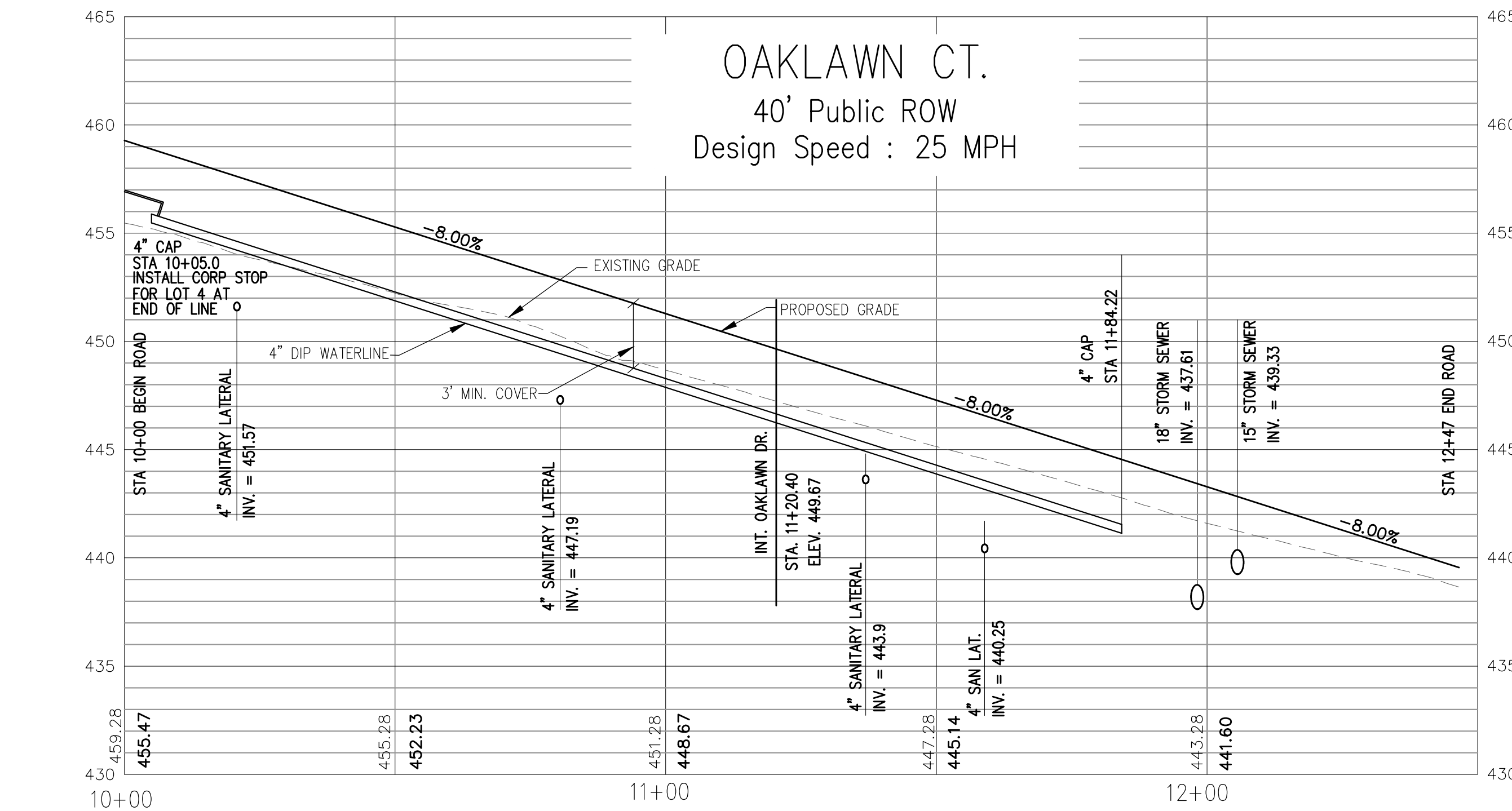
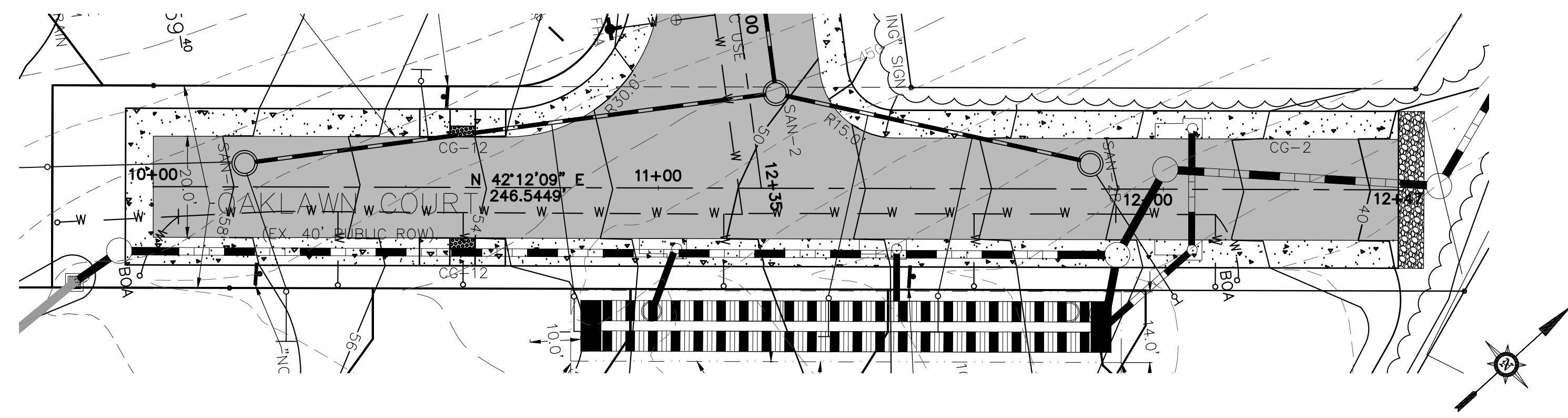
8 OUTLET PROTECTION TO CHANNEL (OP)
C9 Not To Scale



3 UNDERGROUND DETENTION DETAIL BMP#1 (ST-7)
C9 Not To Scale

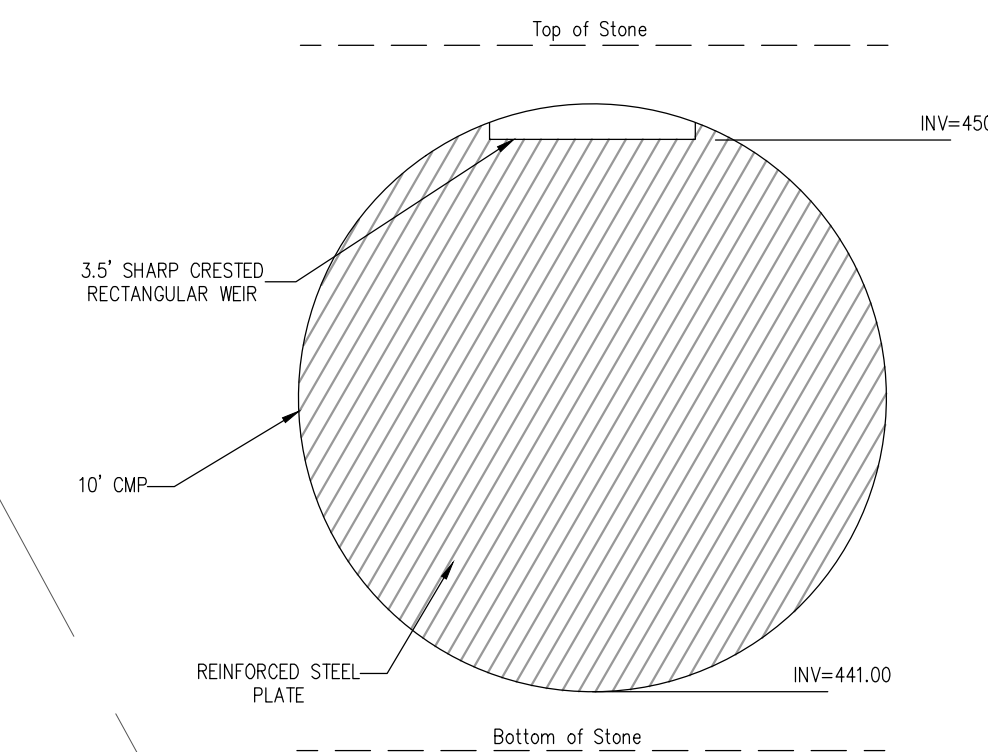
Underground Infiltration Installation:

Concurrent with site mass grading install bypass structures from 4B to ST-1. After mass grading of the site storm sewer structures 5, 6, 15, 13 should be constructed with their associated storm pipes to BMP #1. Excavate trench for BMP #1 and cap storm sewer pipes. Upon stabilization of road with construction stone BMP #1 may be installed per the detail. After complete site stabilization contractor shall clean out BMP #1, removing any silt or debris before turning the structure over to the owner.

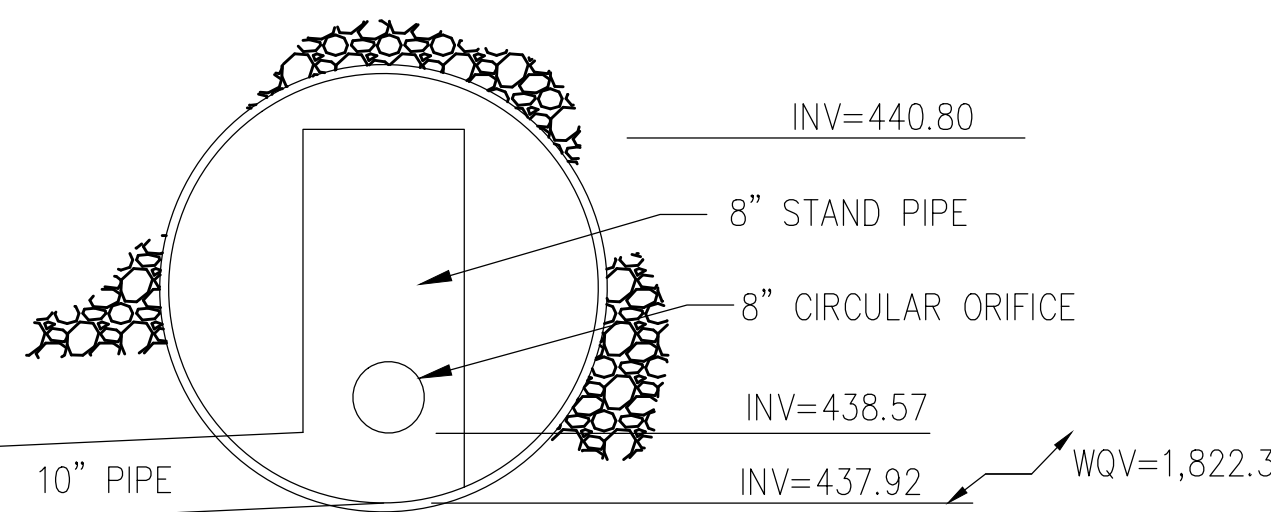


4 OAKLAWN COURT ROAD PROFILE
C9 SCALE: H: 1"=20', V: 1"=5'

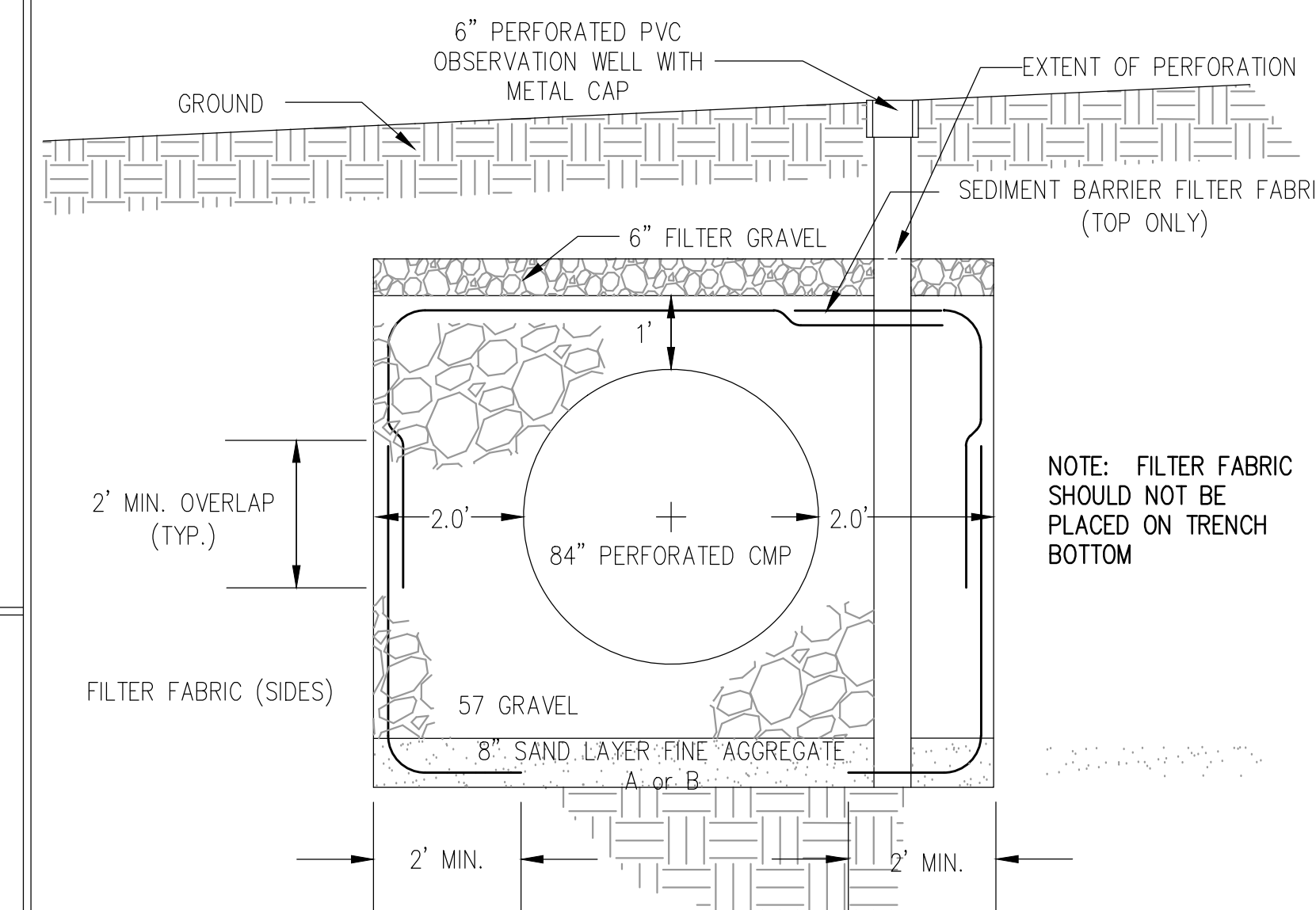
SANITARY LATERAL INVERTS ARE GIVEN AT WATERLINE CROSSING



5 BMP#2 WEIR PLATE DETAIL (ST-11)
C9 Not To Scale



6 BMP#1 STAND PIPE DETAIL (ST-7)
C9 Not To Scale

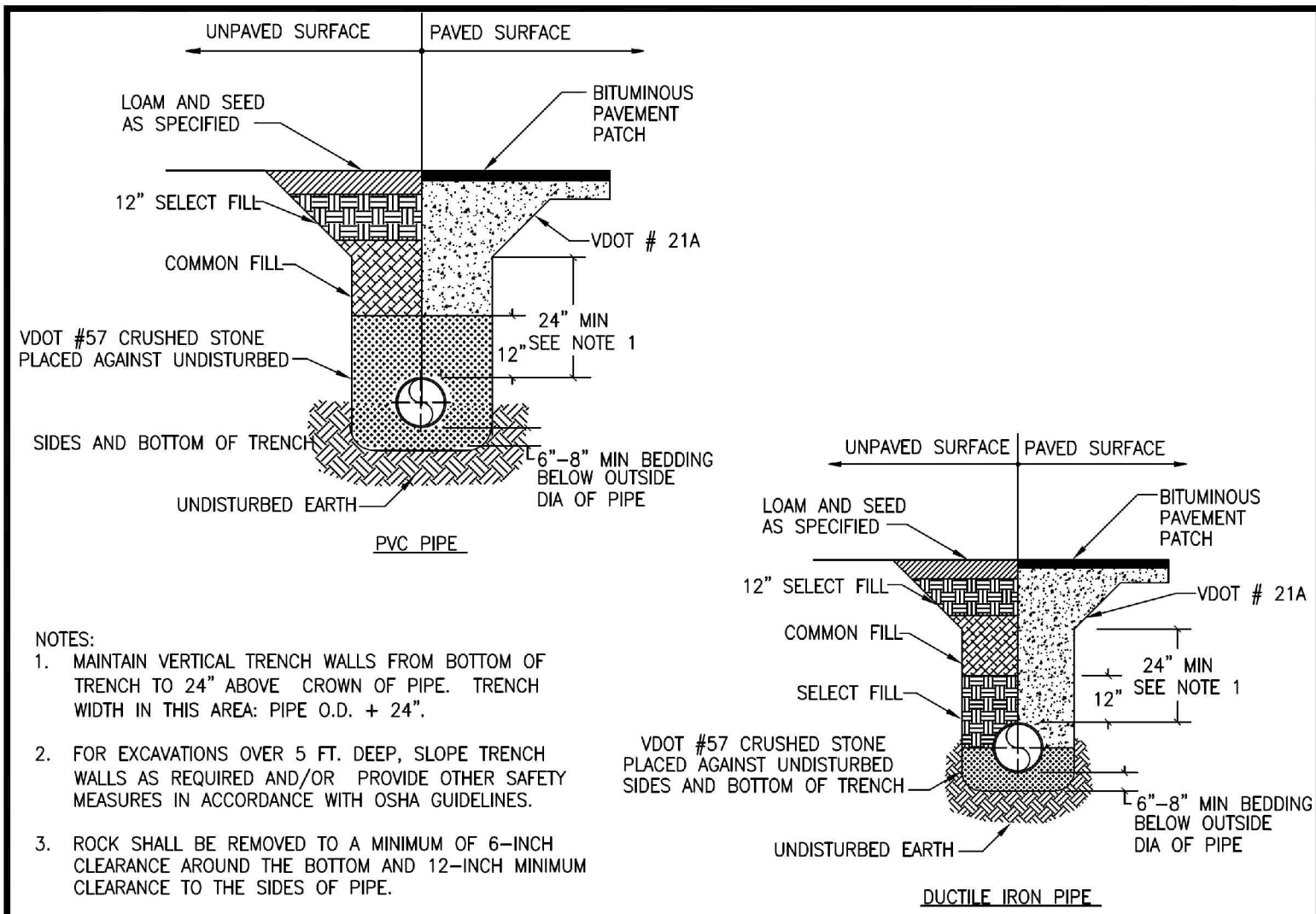


7 UNDERGROUND INFILTRATION DETAIL BMP#2 (ST-11)
C9 Not To Scale

Underground Infiltration Installation:

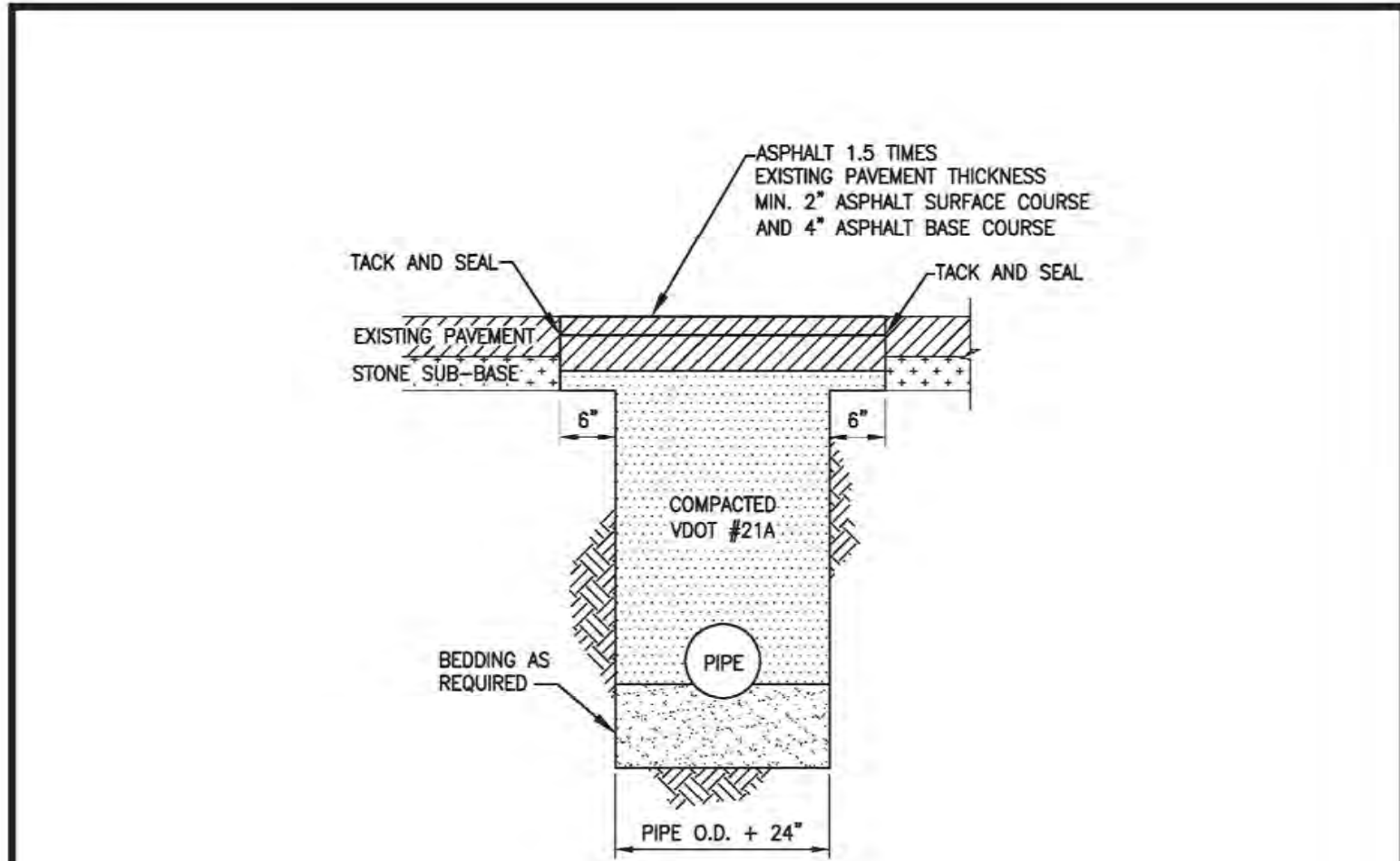
After mass grading of the site storm sewer structures 8, 9, 10 should be constructed with their associated storm pipes to BMP #2. Excavate trench for BMP #2 and cap storm sewer pipes. Upon stabilization of road with construction stone BMP #2 may be installed per the detail above. After complete site stabilization contractor shall clean out BMP #2, removing any silt or debris before turning the structure over to the owner.

Rev #	Date	Description
1	7/14/14	Revisions Per City Comments
2	8/18/14	Revisions Per City Comments
3	8/19/14	Revisions Per City Comments
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8	8/26/14	Trail Revisions



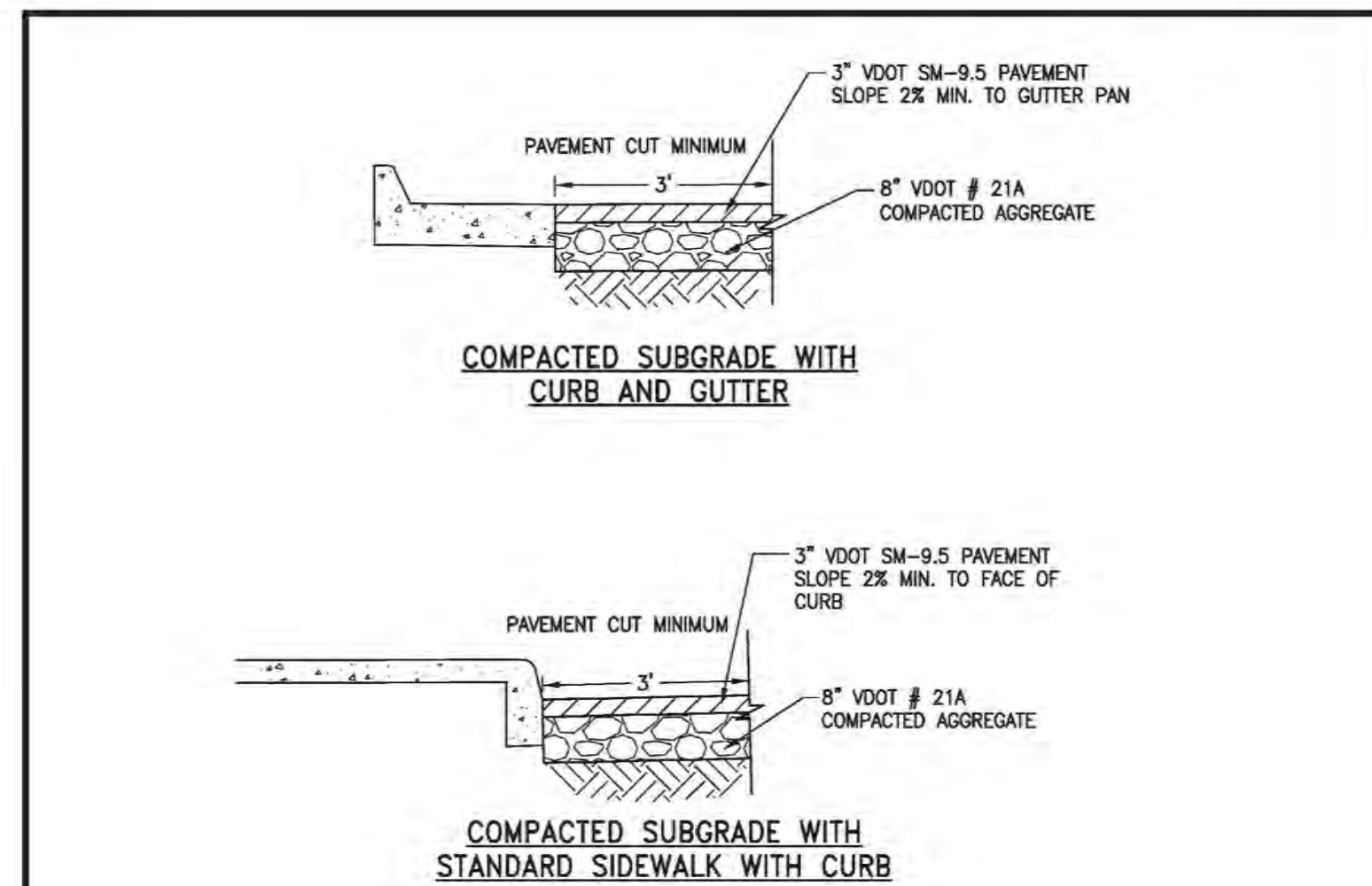
CITY OF CHARLOTTESVILLE	JAN 2012		CITY STANDARDS	
	REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: WW-1.0

PIPE TRENCHING AND BEDDING - TYPICAL



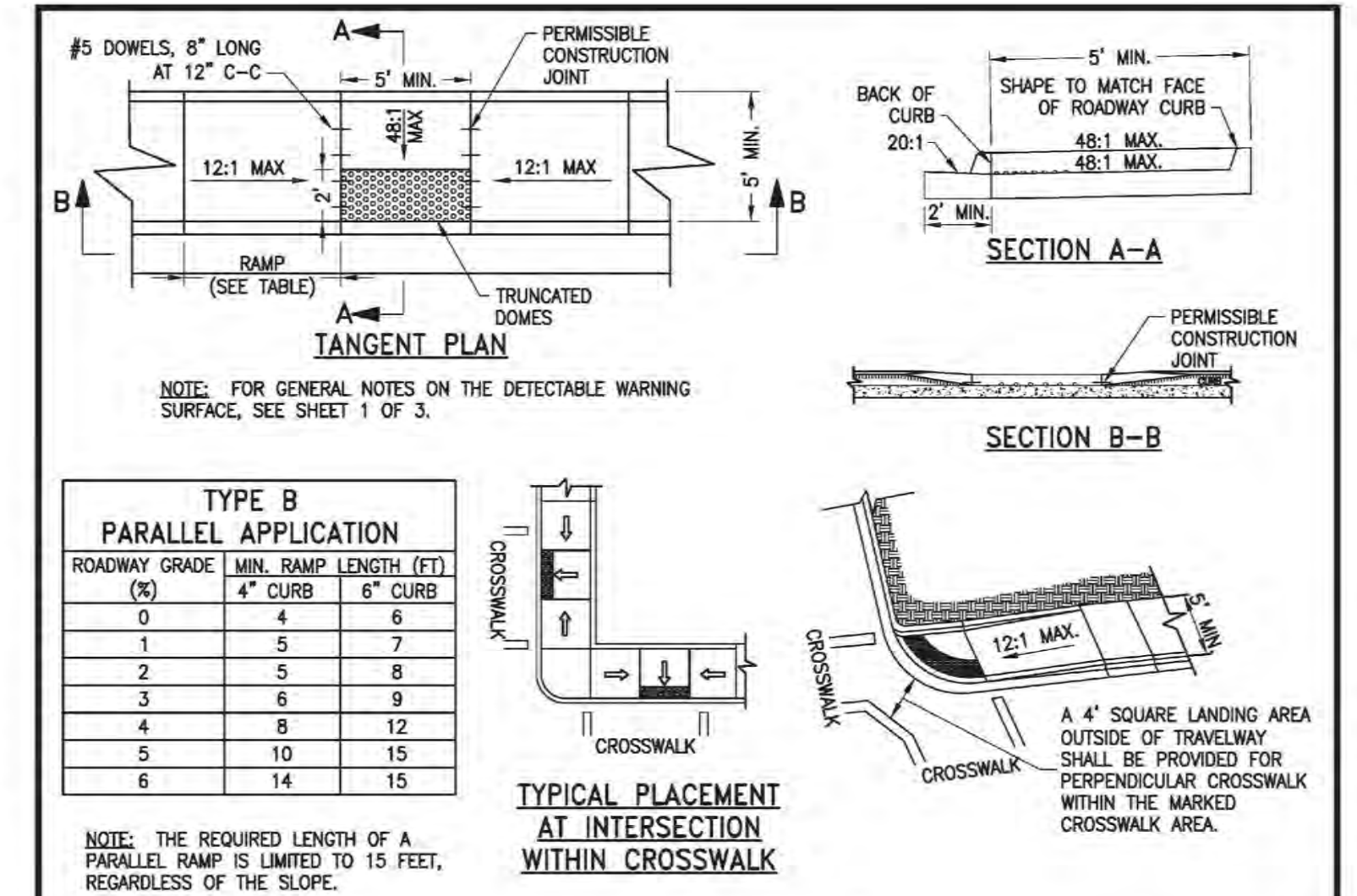
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	REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: PR-1

PERMANENT PAVEMENT REPAIR



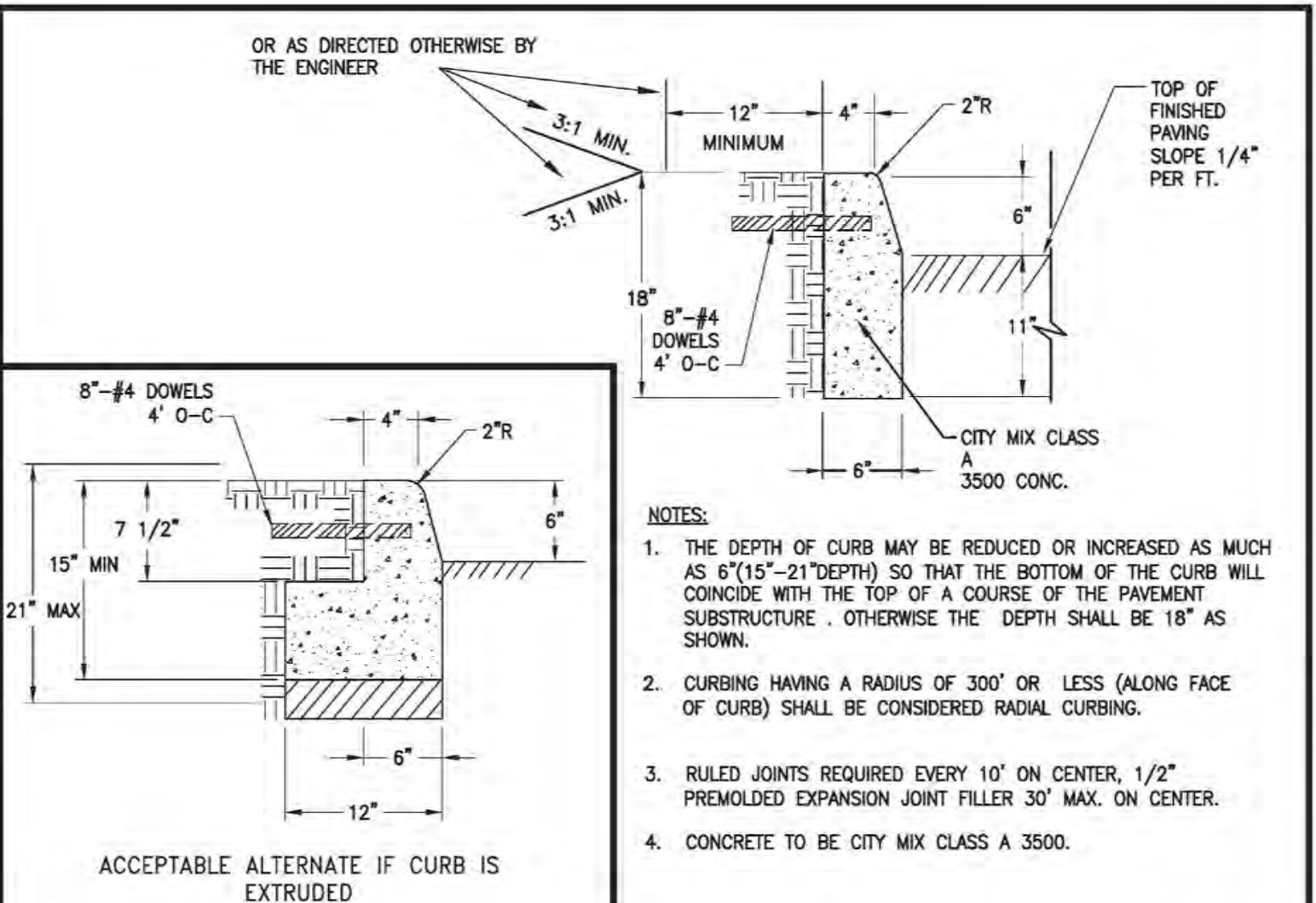
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MINIMUM PAVEMENT PATCH



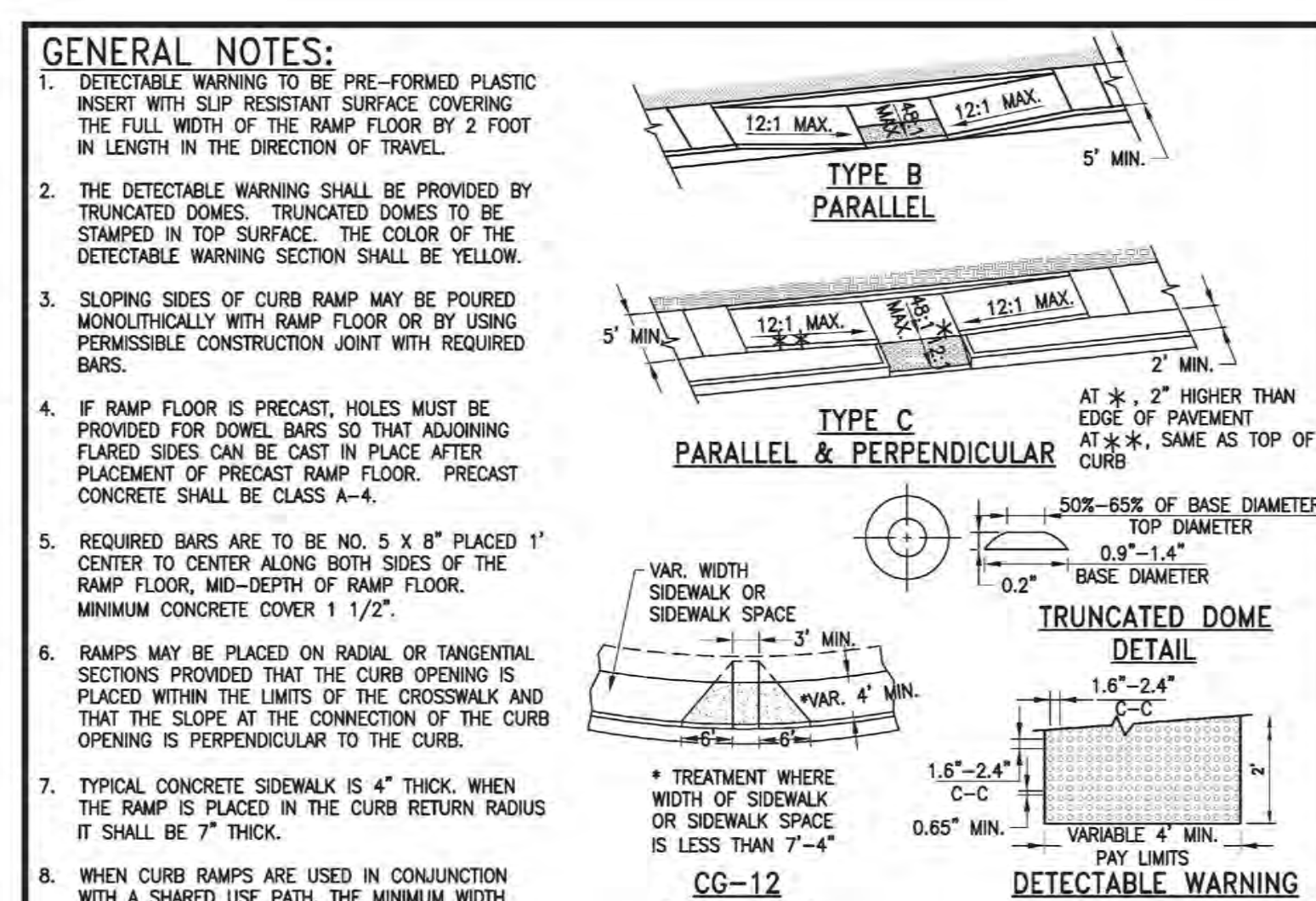
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CG-12 DETECTABLE WARNING SURFACE TYPE B (SHEET 2 OF 3)



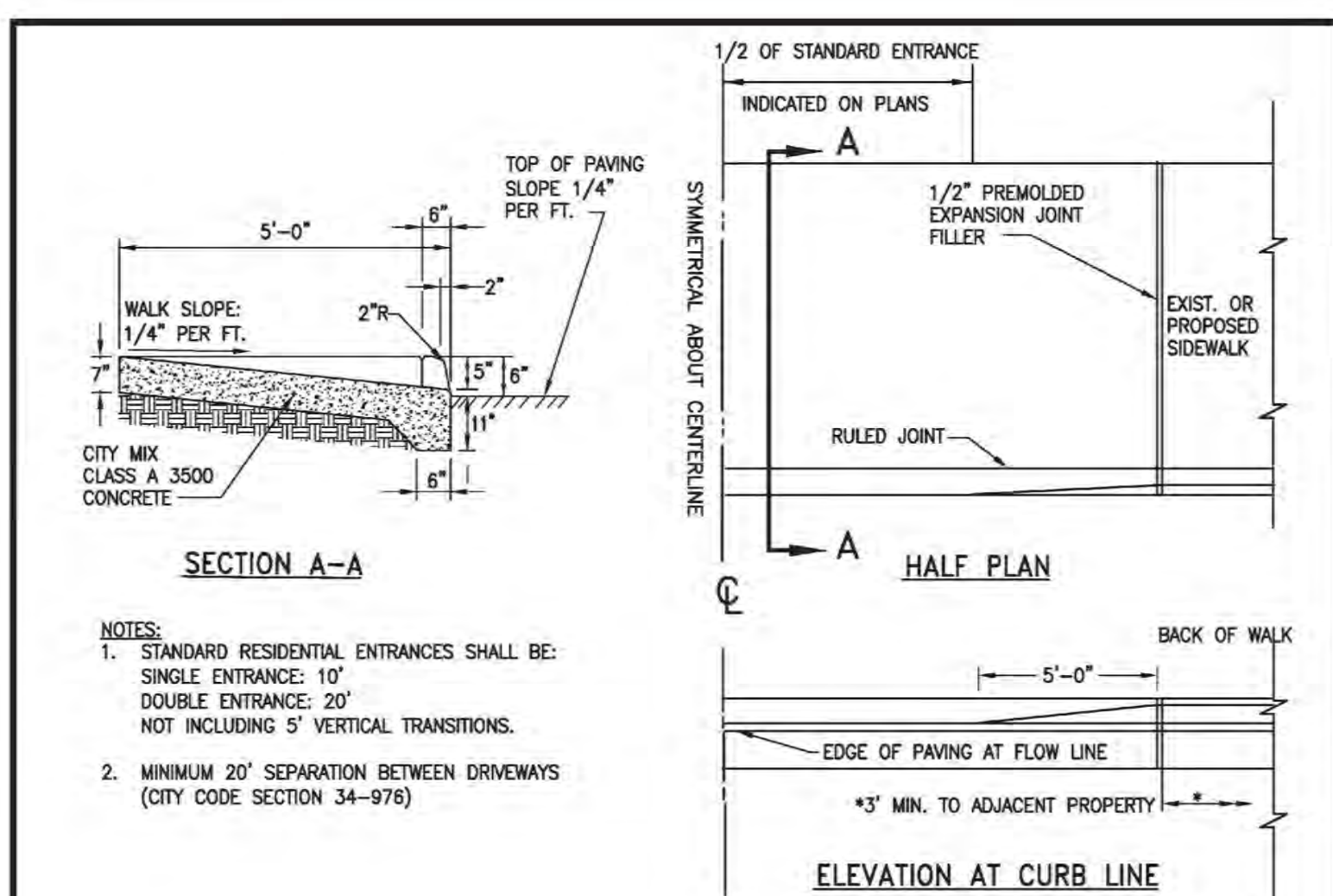
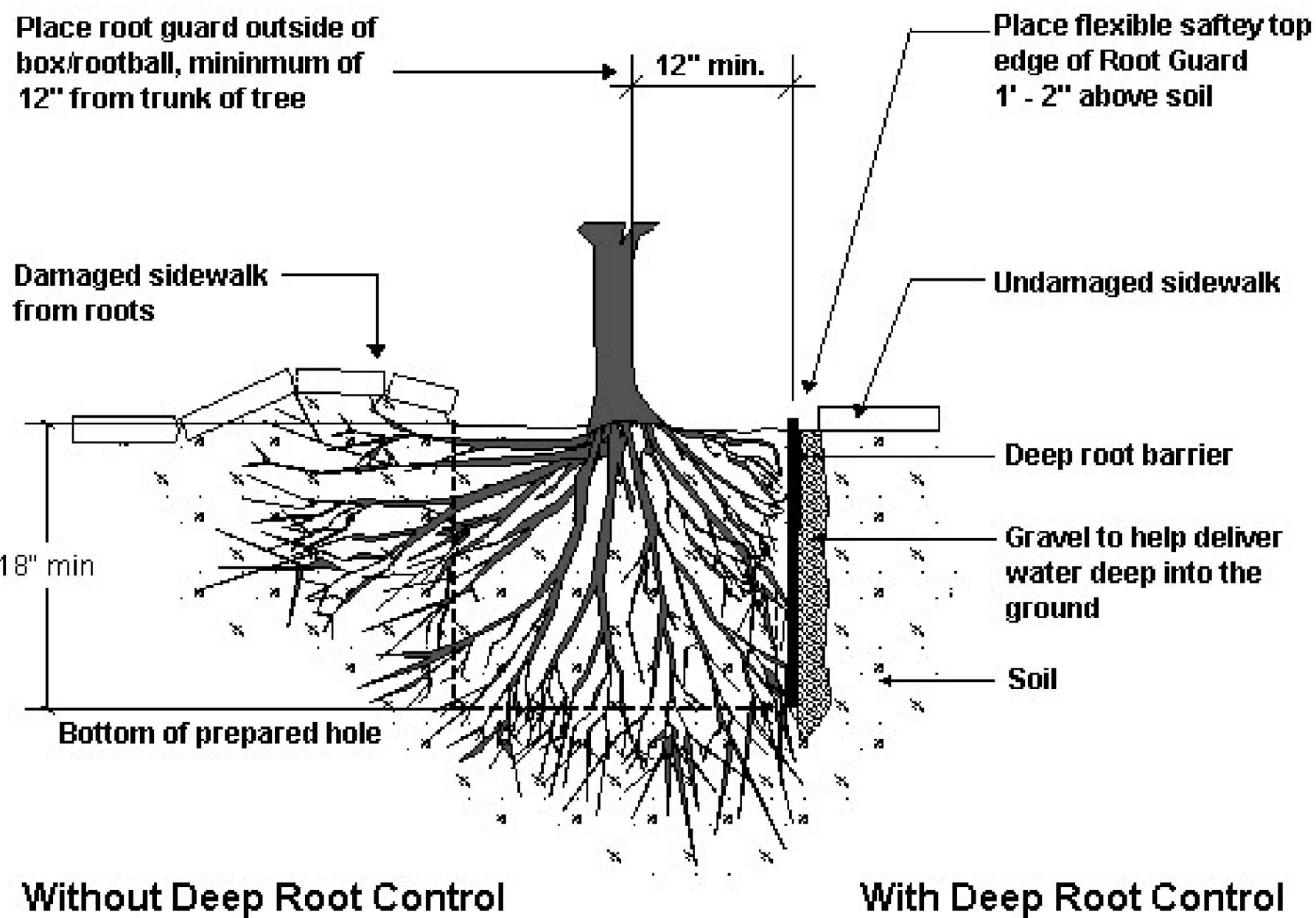
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STANDARD CURBING



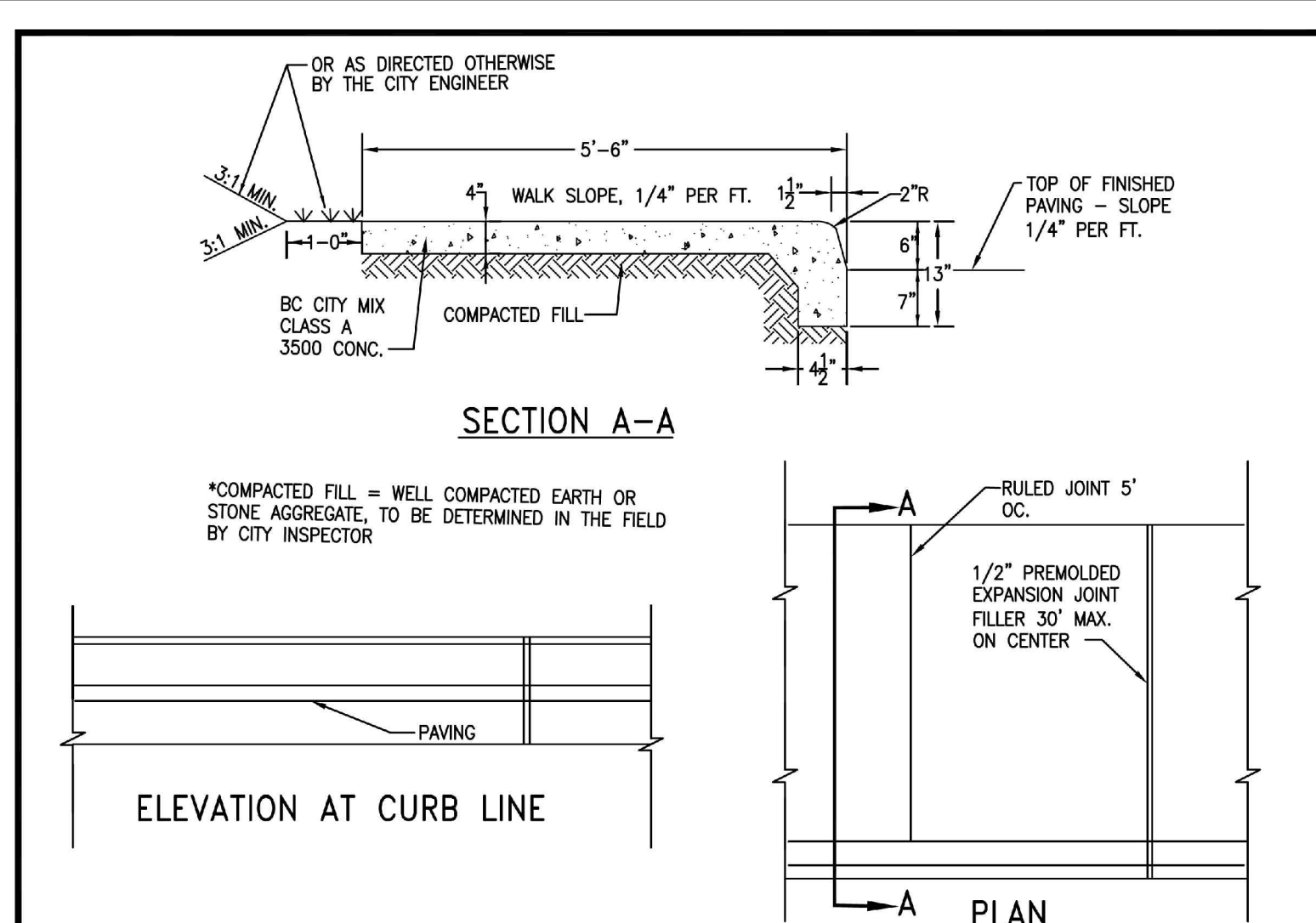
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	REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: CG-12

CG-12 DETECTABLE WARNING SURFACE GENERAL NOTES (SHEET 1 OF 3)



CITY OF CHARLOTTESVILLE	JAN 2012		CITY STANDARDS	
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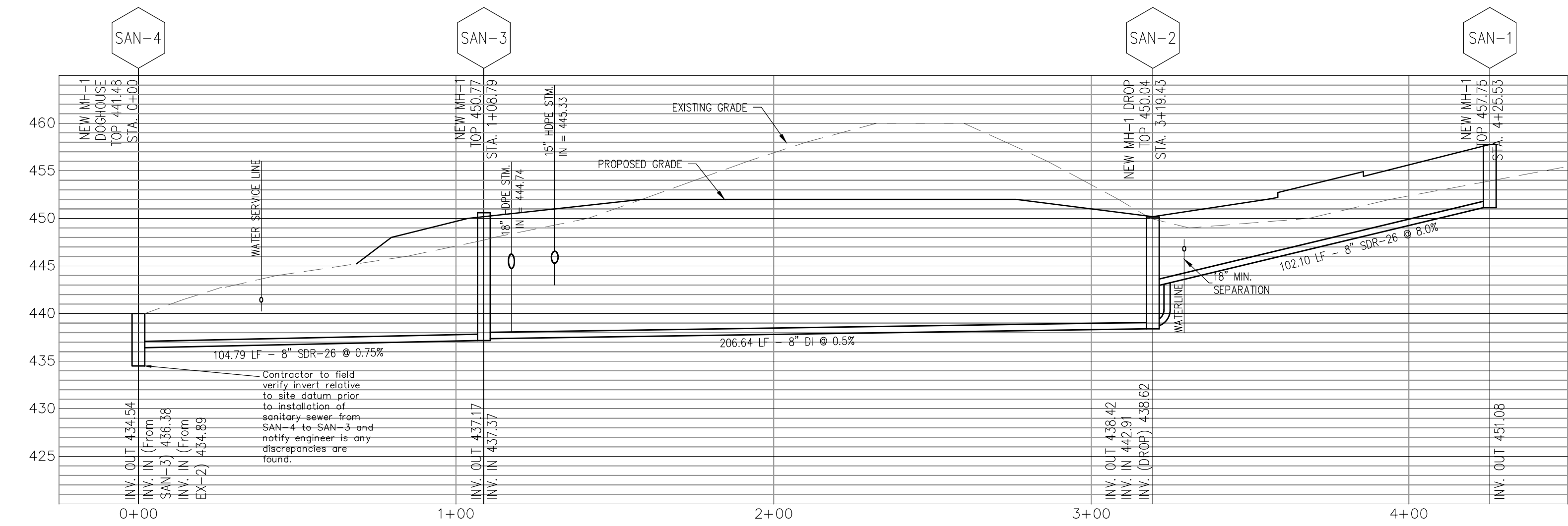
STANDARD ENTRANCE WITH 5' MONOLITHIC SIDEWALK AND CURB



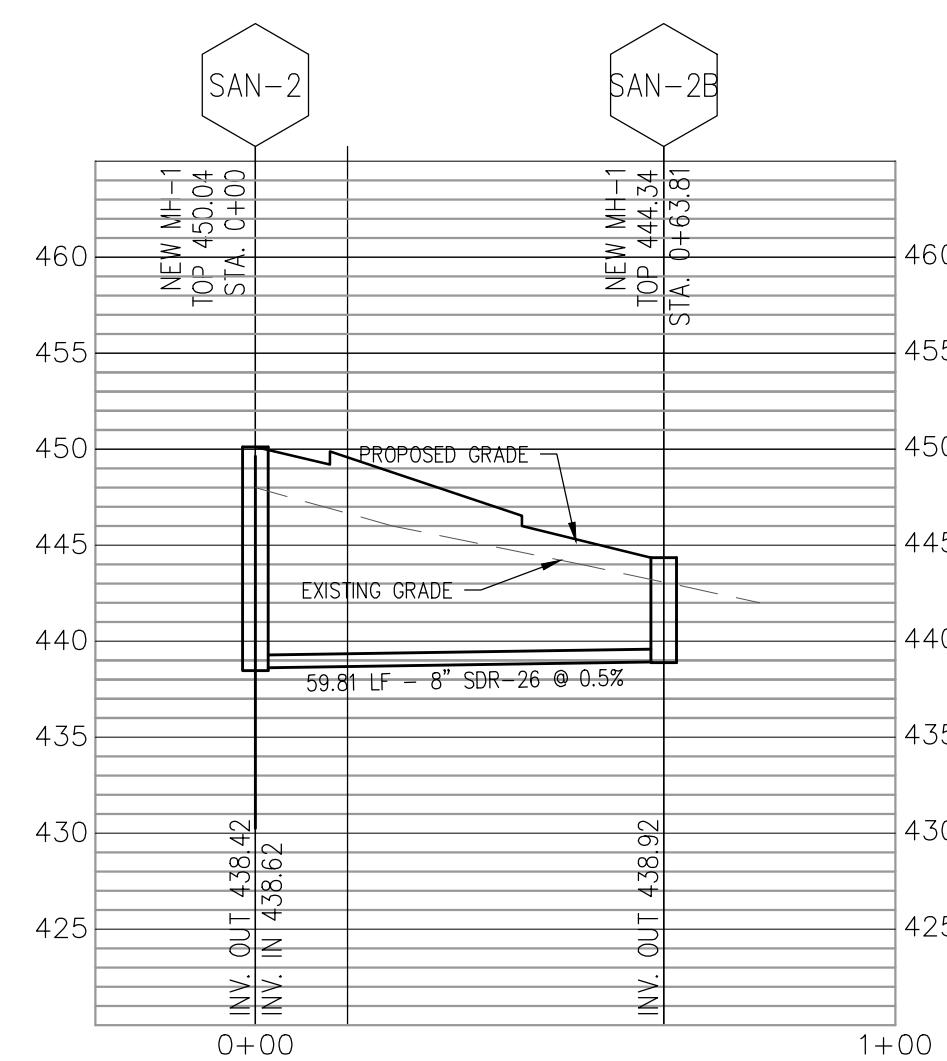
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STANDARD SIDEWALK MONOLITHIC WITH CURB

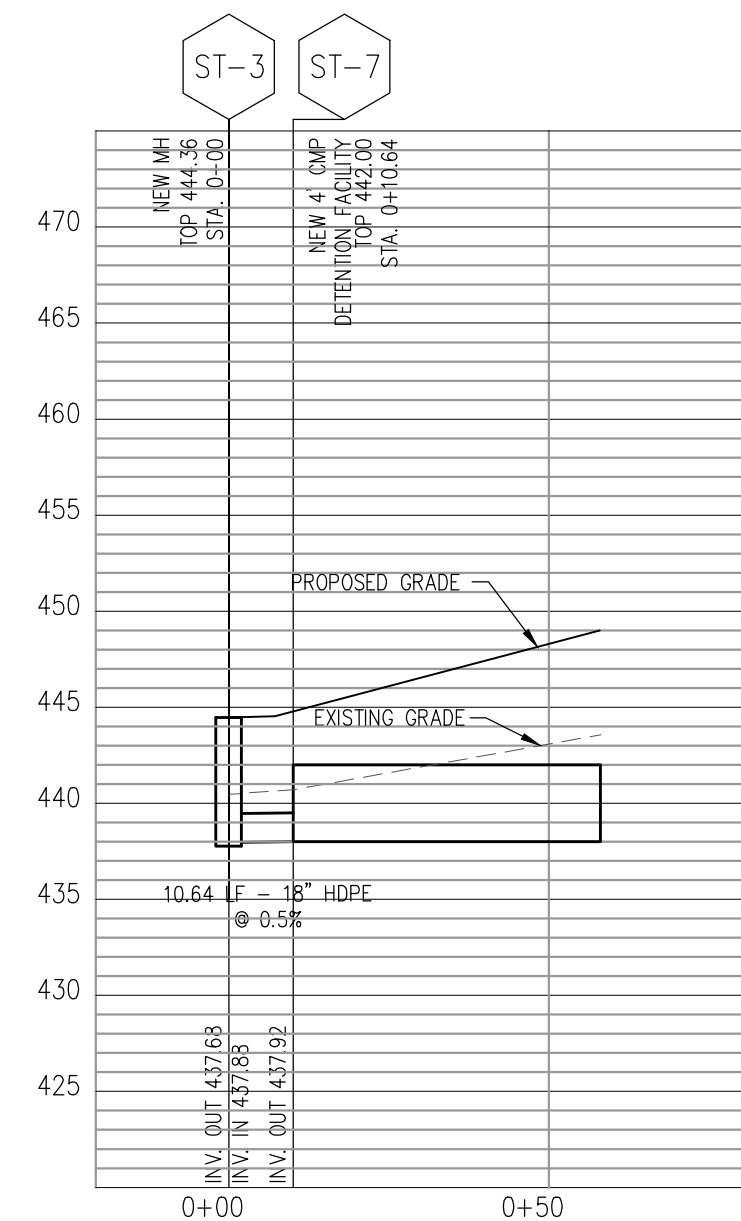
Rev #	Date	Description
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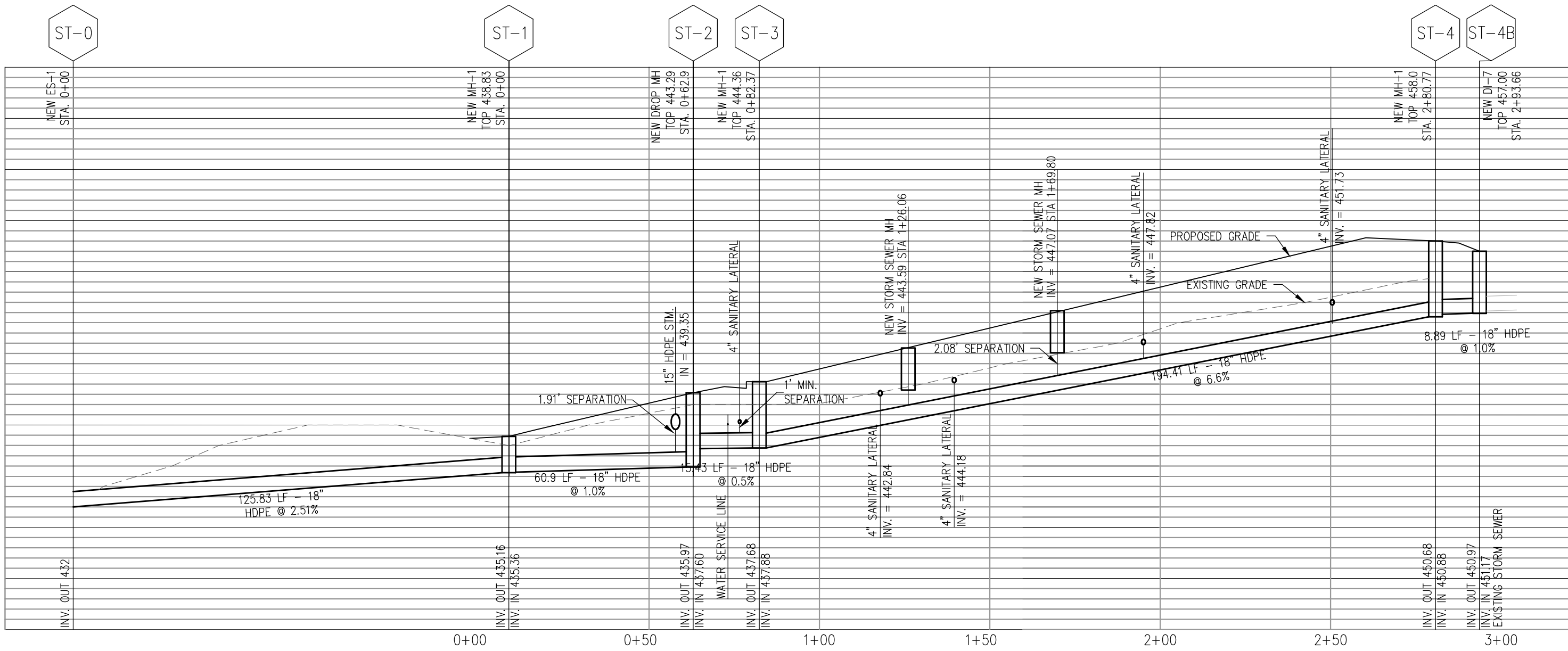
1 SANITARY SEWER PROFILE: SAN-1 THRU SAN-5
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'



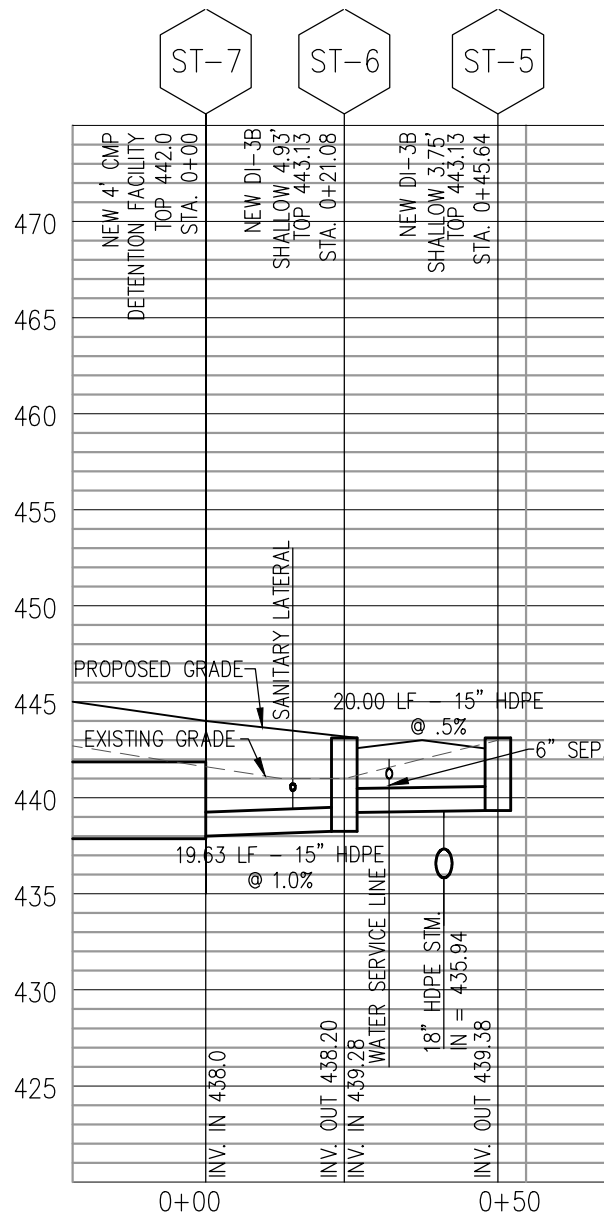
2 SANITARY SEWER PROFILE: SAN-2B TO SAN-2
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'



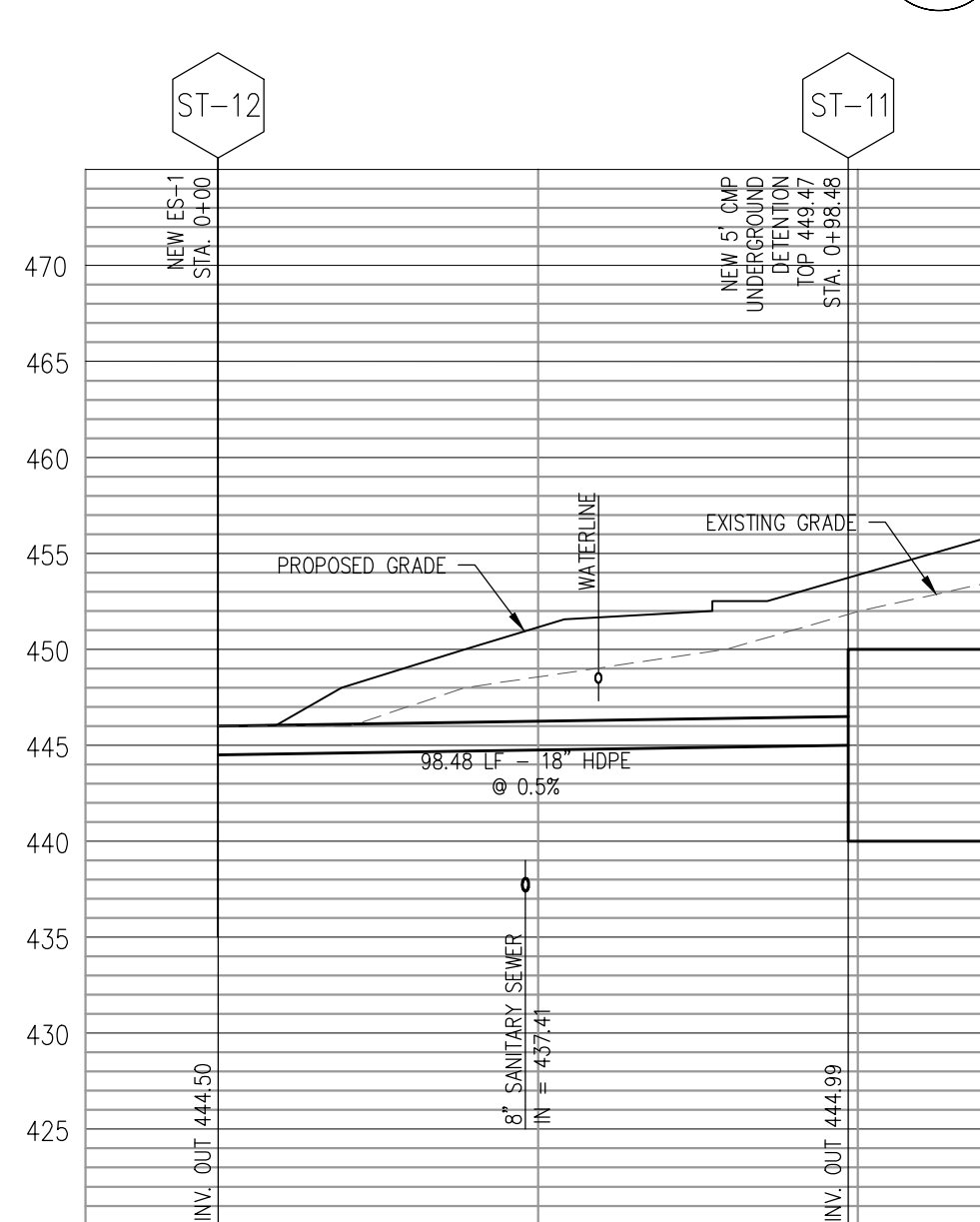
3 STORM SEWER PROFILE: ST-7 TO ST-3
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'



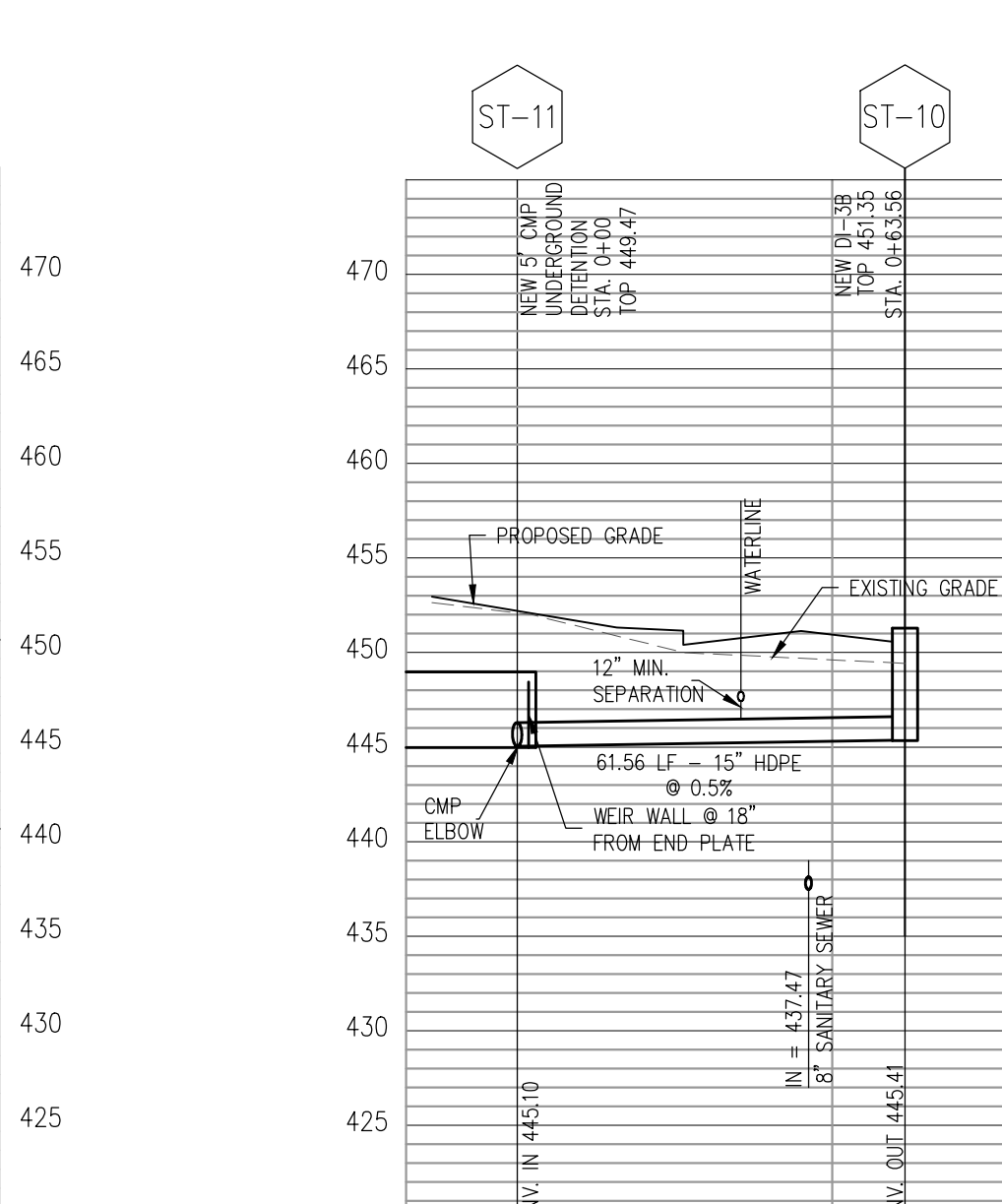
4 STORM SEWER PROFILE: ST-1 THRU ST-4 (BYPASS FLOW THROUGH SITE)
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'



5 STORM SEWER PROFILE: ST-5 THRU ST-7
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'



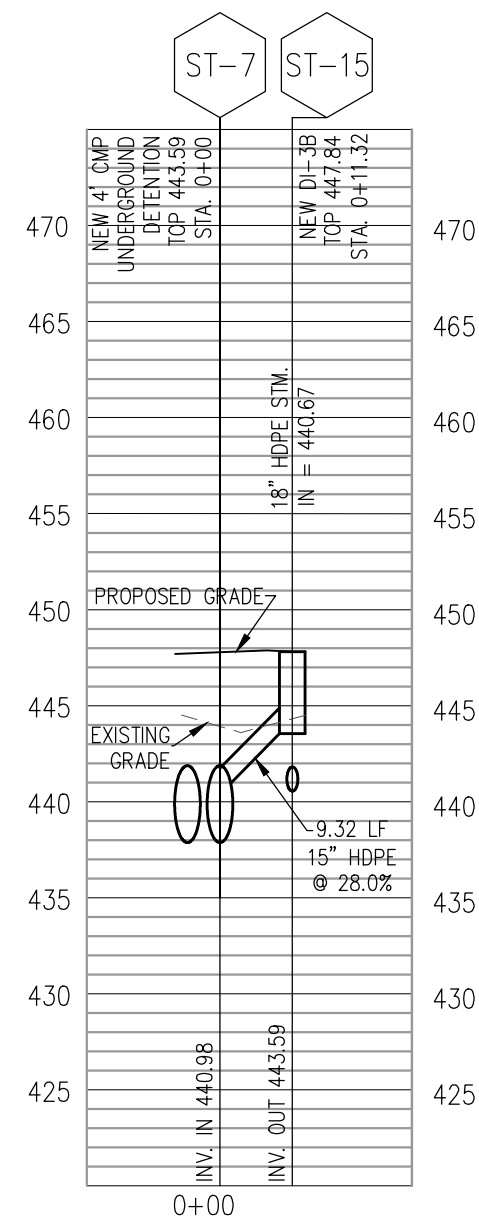
6 STORM SEWER PROFILE: ST-11 TO ST-12
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'



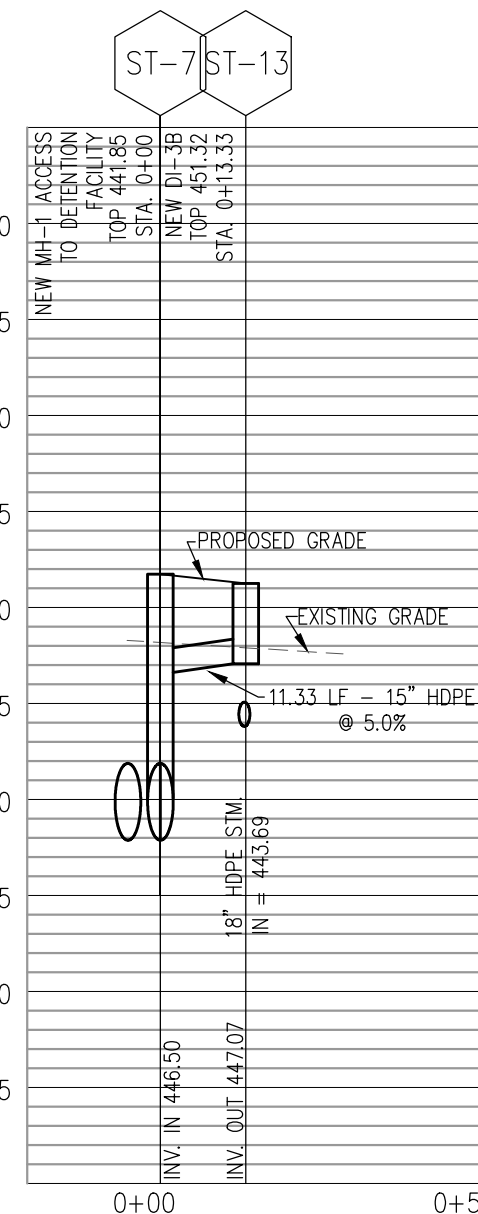
7 STORM SEWER PROFILE: ST-10 TO ST-11
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'

Structure Number	Inlet Type	Curb Opening (ft)
ST-5	DI-3B	8
ST-6	DI-3B	12
ST-8	DI-3B	6
ST-9	DI-3B	14
ST-10	DI-3B	8
ST-13	DI-3B	12
ST-15	DI-3B	14

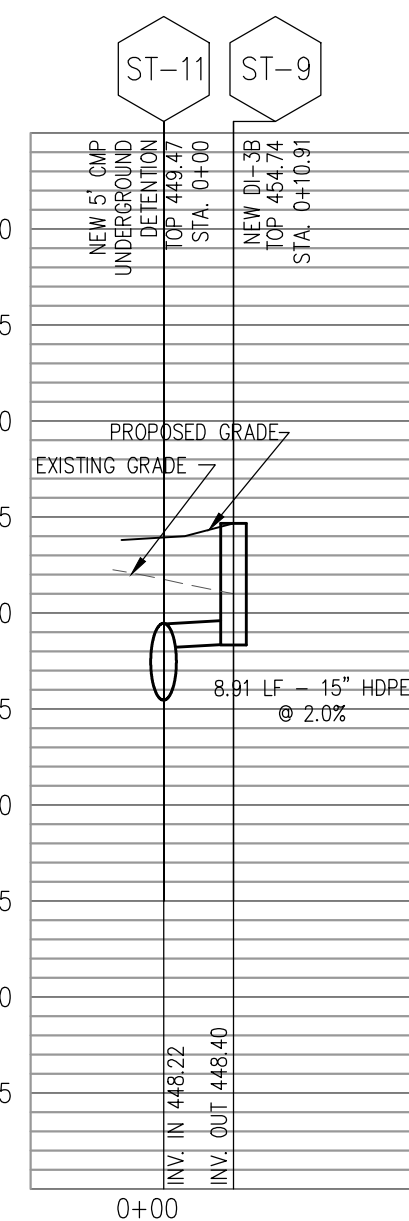
8 STORM SEWER SCHEDULE
C11 NOT TO SCALE



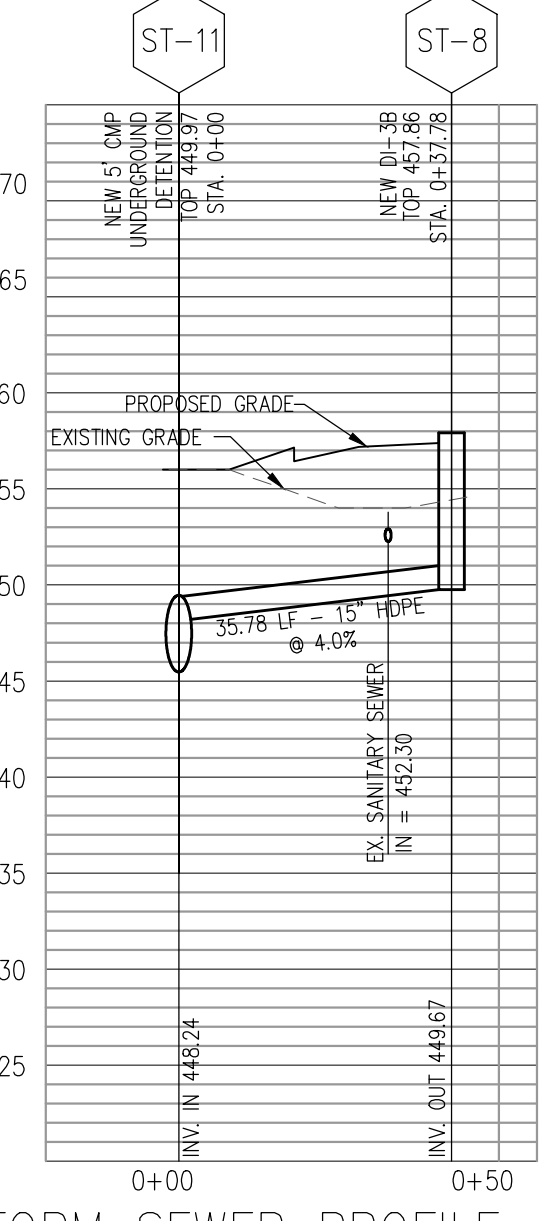
10 STORM SEWER PROFILE: ST-7 TO ST-15
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'



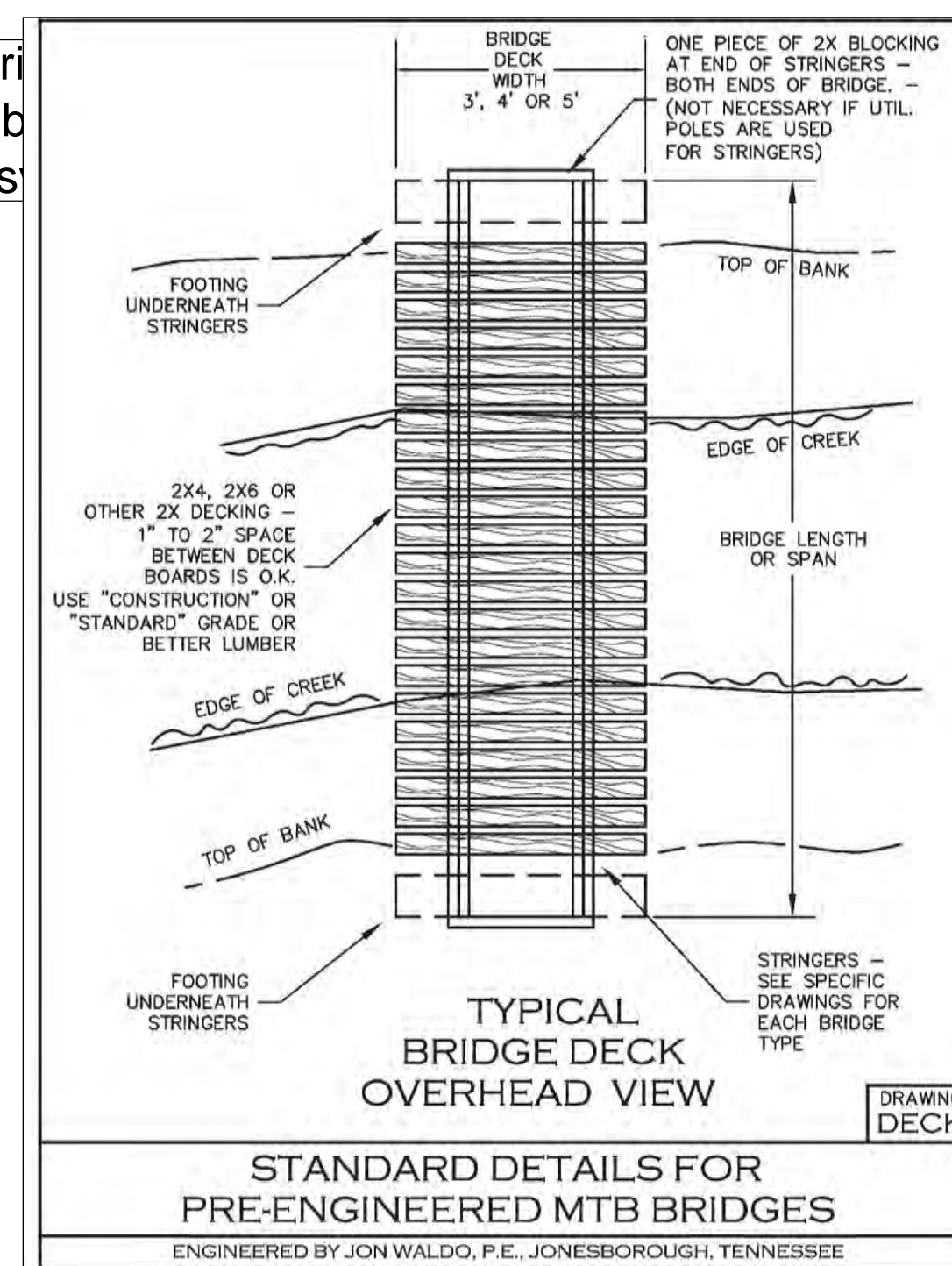
11 STORM SEWER PROFILE: ST-9 TO ST-11
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'



12 STORM SEWER PROFILE: ST-8 TO ST-11
C11 SCALE: HORZ: 1"=30' VERT: 1"=10'



Typical Bridge Provided by Charlottesville



SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
201 E. MAIN ST., SUITE M
CHARLOTTESVILLE, VA 22902
PHONE: (434) 207-8086
JUSTIN@SHIMP-ENGINEERING.COM

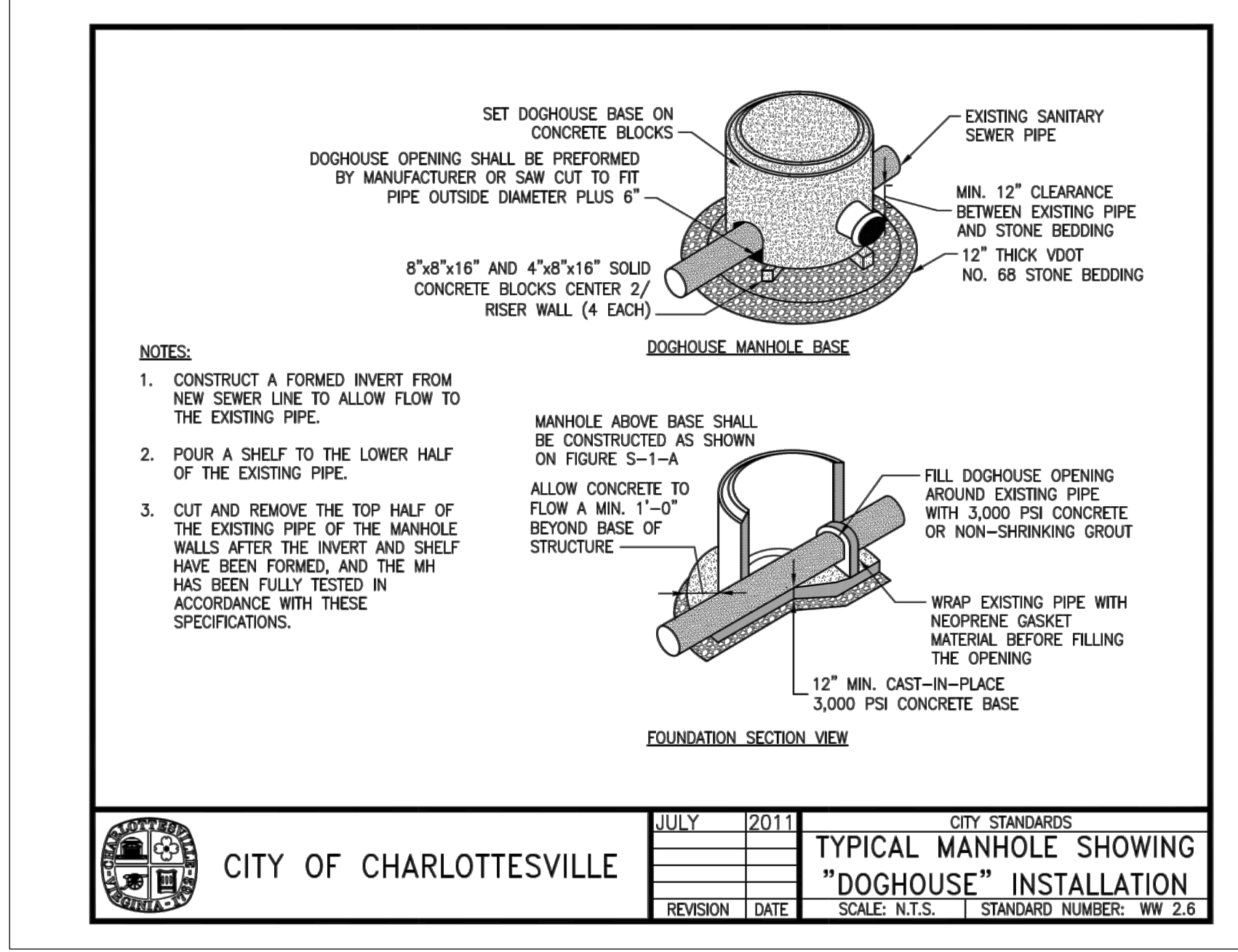
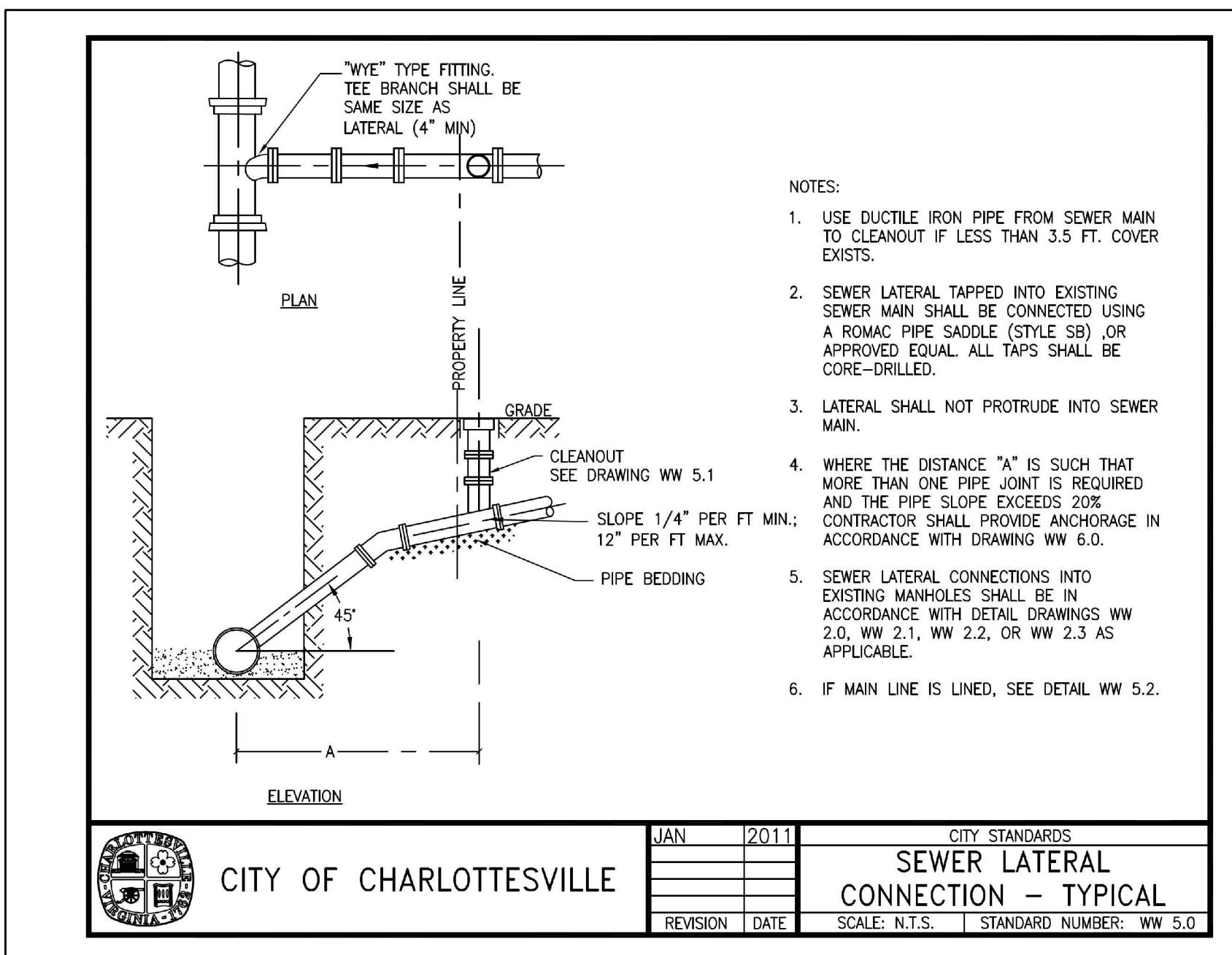
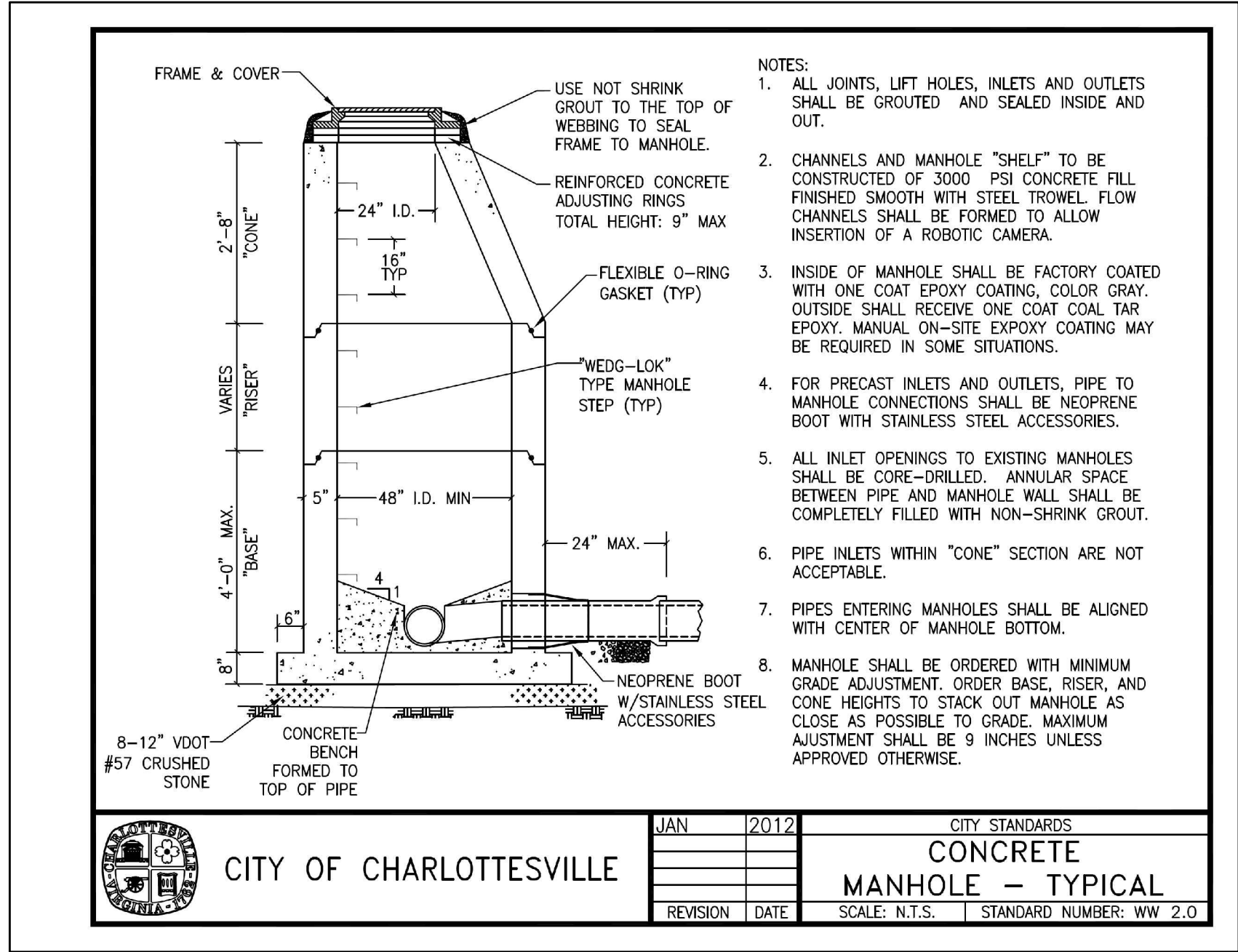


UTILITY PROFILES

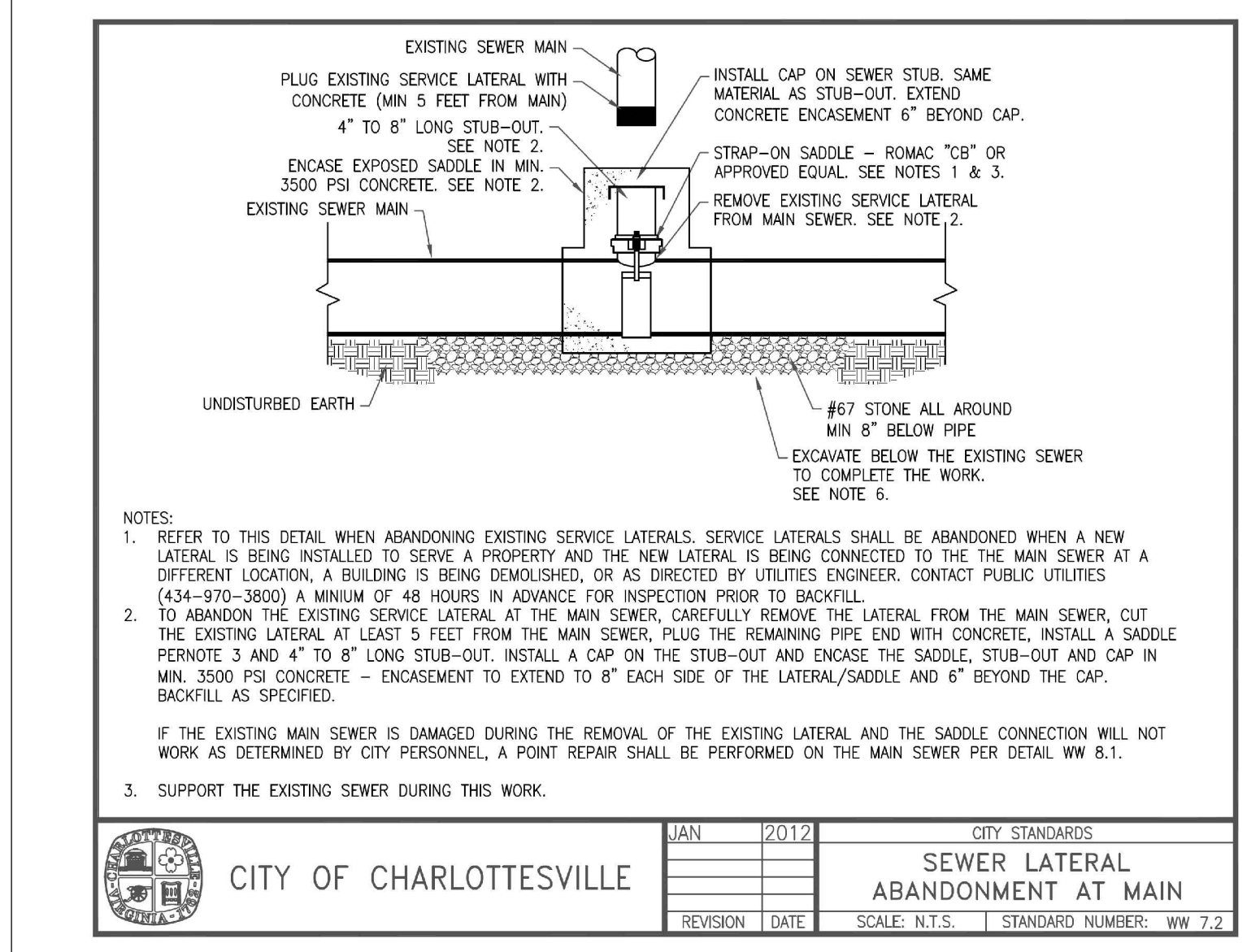
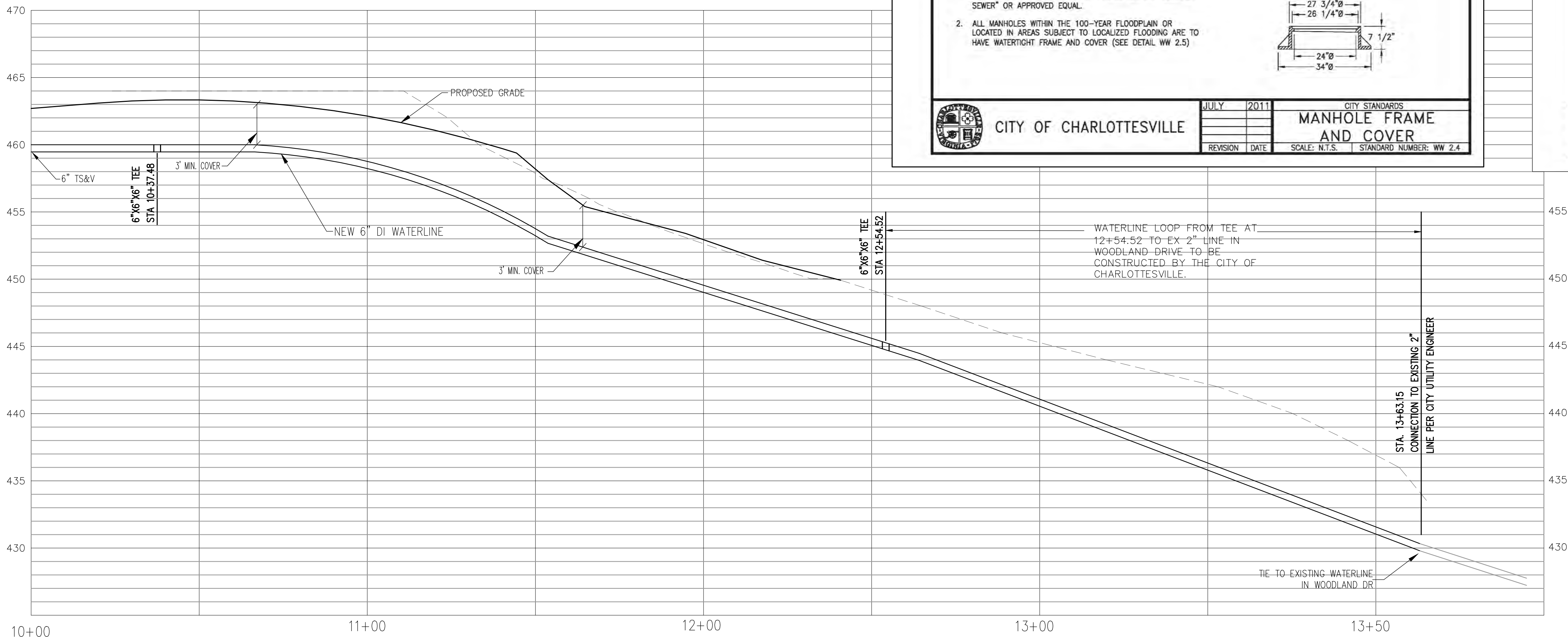
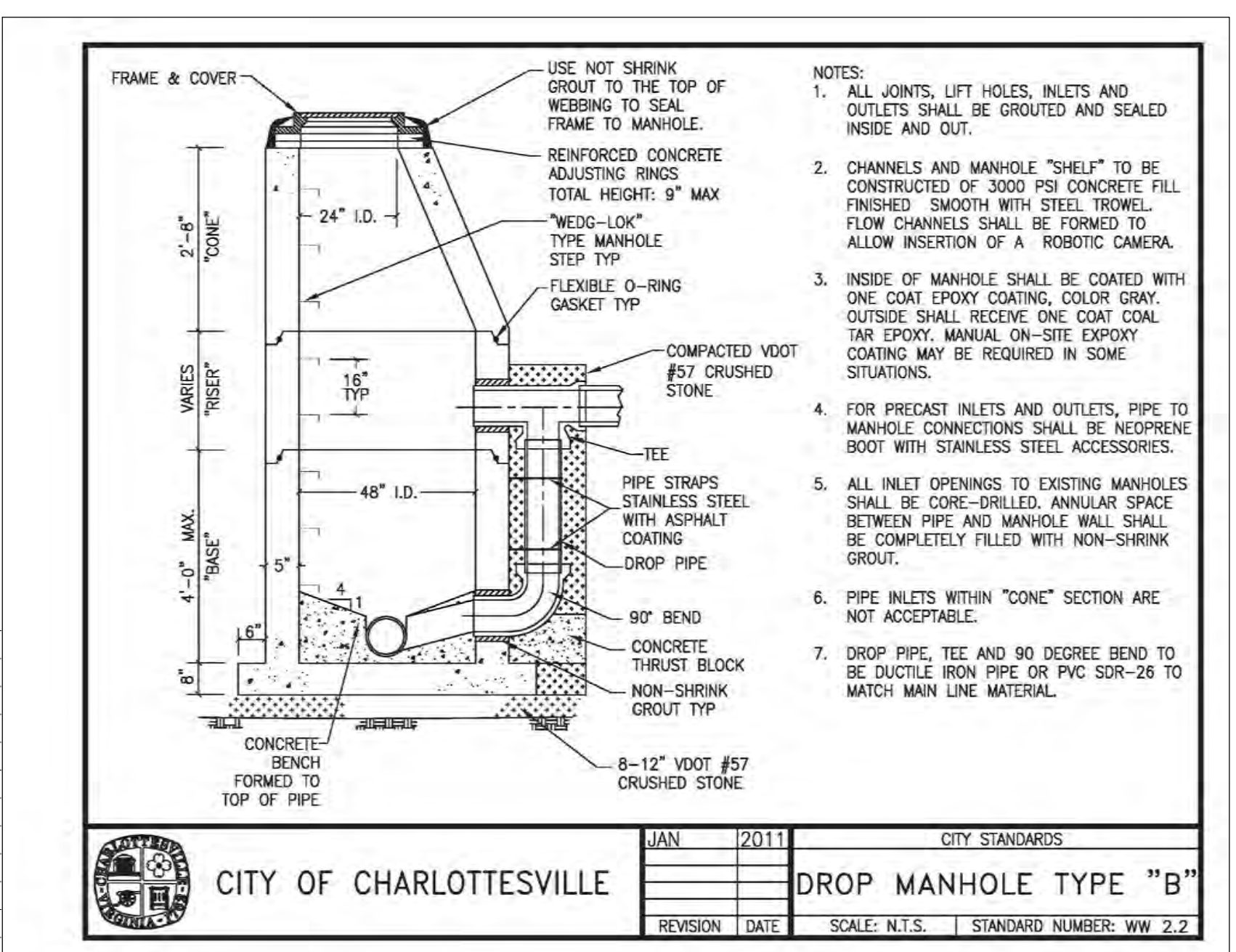
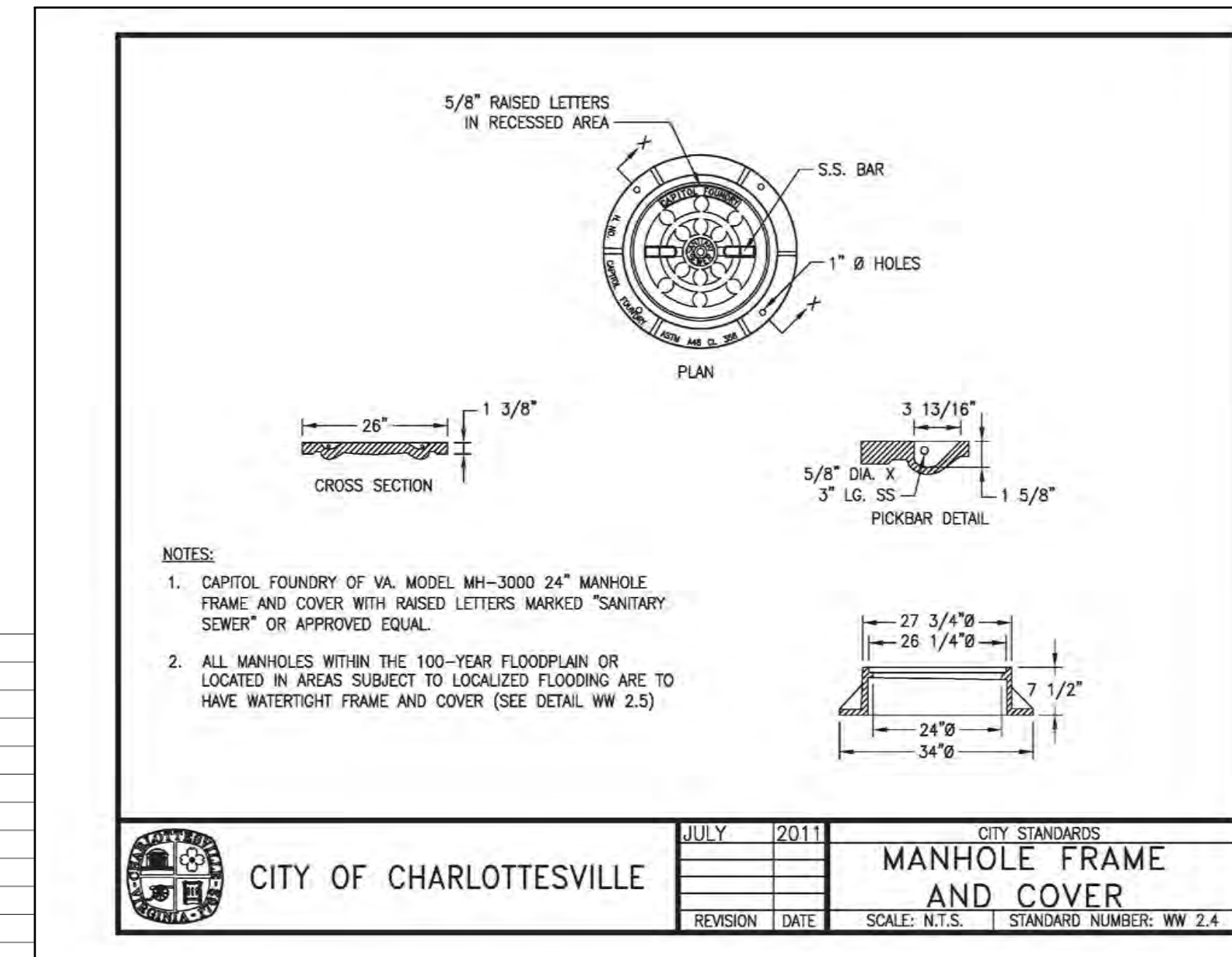
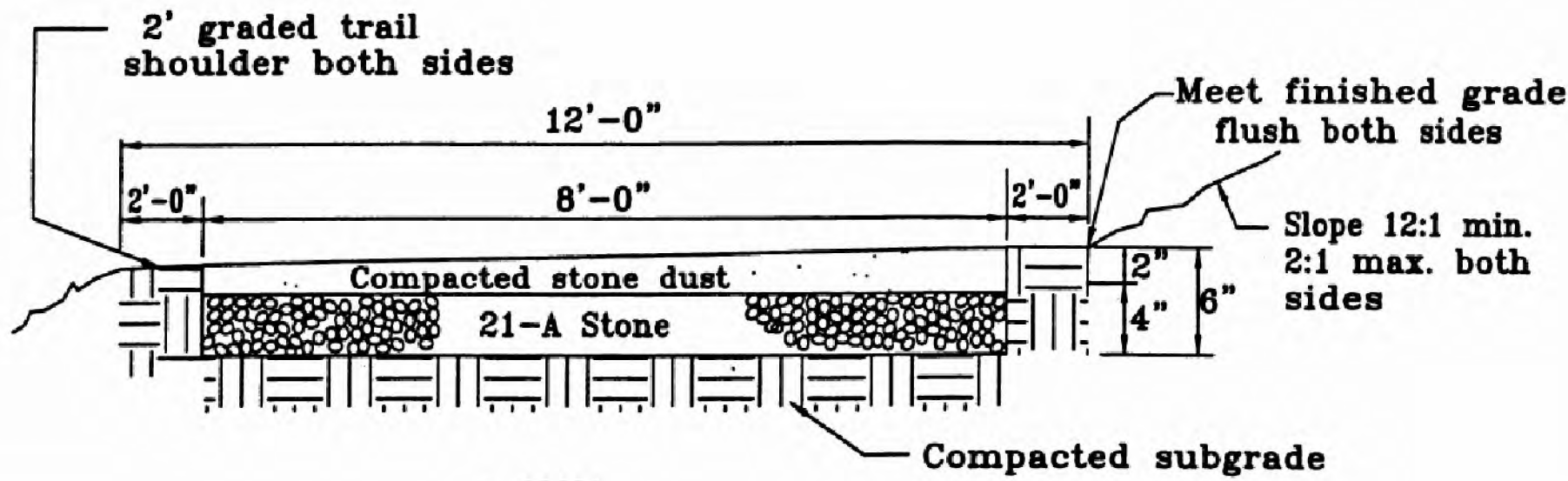
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SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTESVILLE, VIRGINIA

Date	12/18/13
Scale	1" = 30'
Sheet No.	C11 OF 16
File No.	13.026



Gravel Trail Details - Average Width 8' / 1,000' LF



1 PORTER AVE WATERLINE PROFILE
C12 SCALE: H: 1"=20', V: 1"=5'

SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT

COMMONWEALTH OF VIRGINIA
JUSTIN M. SHIMP
Lic. No. 45183
PROFESSIONAL ENGINEER

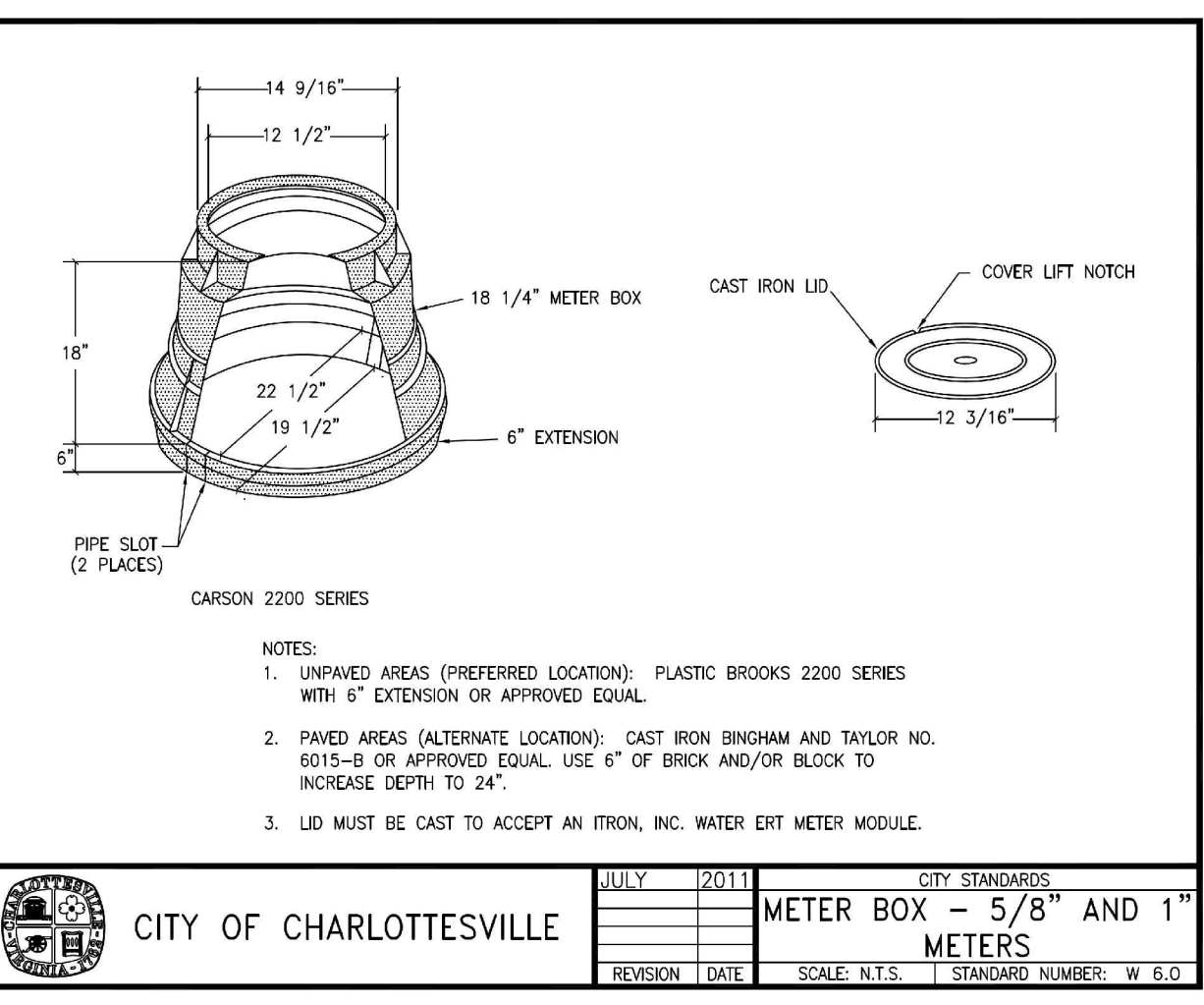
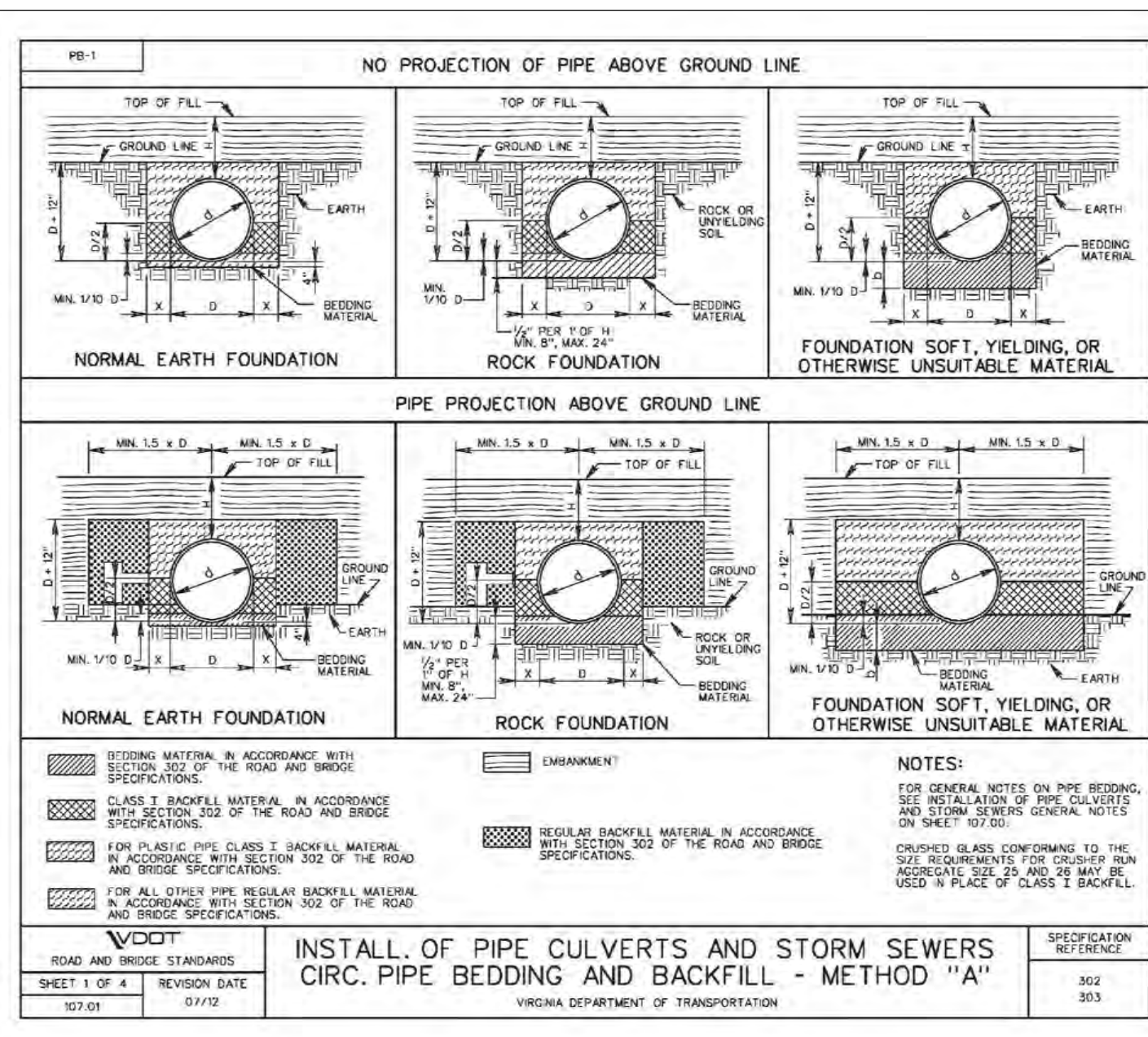
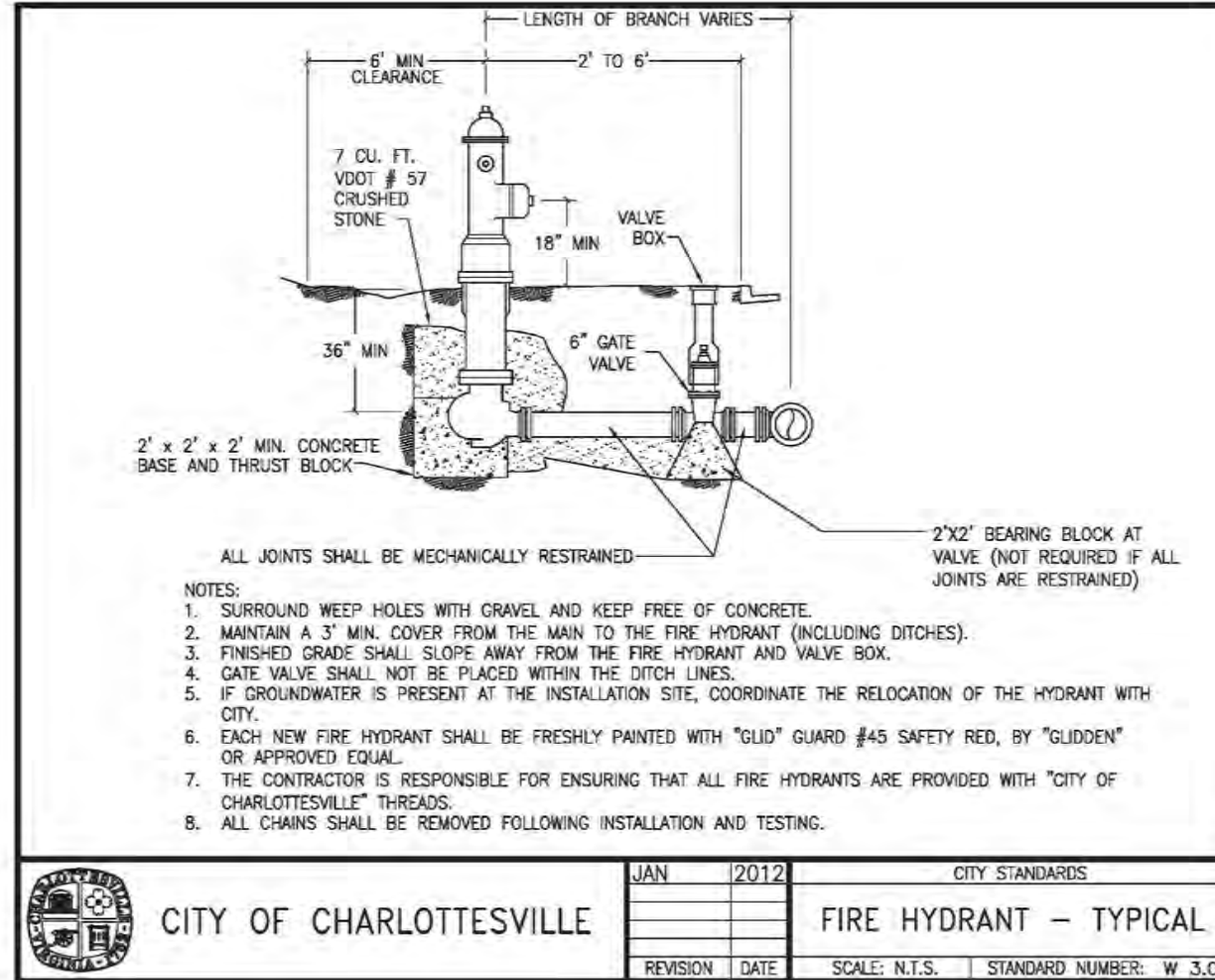
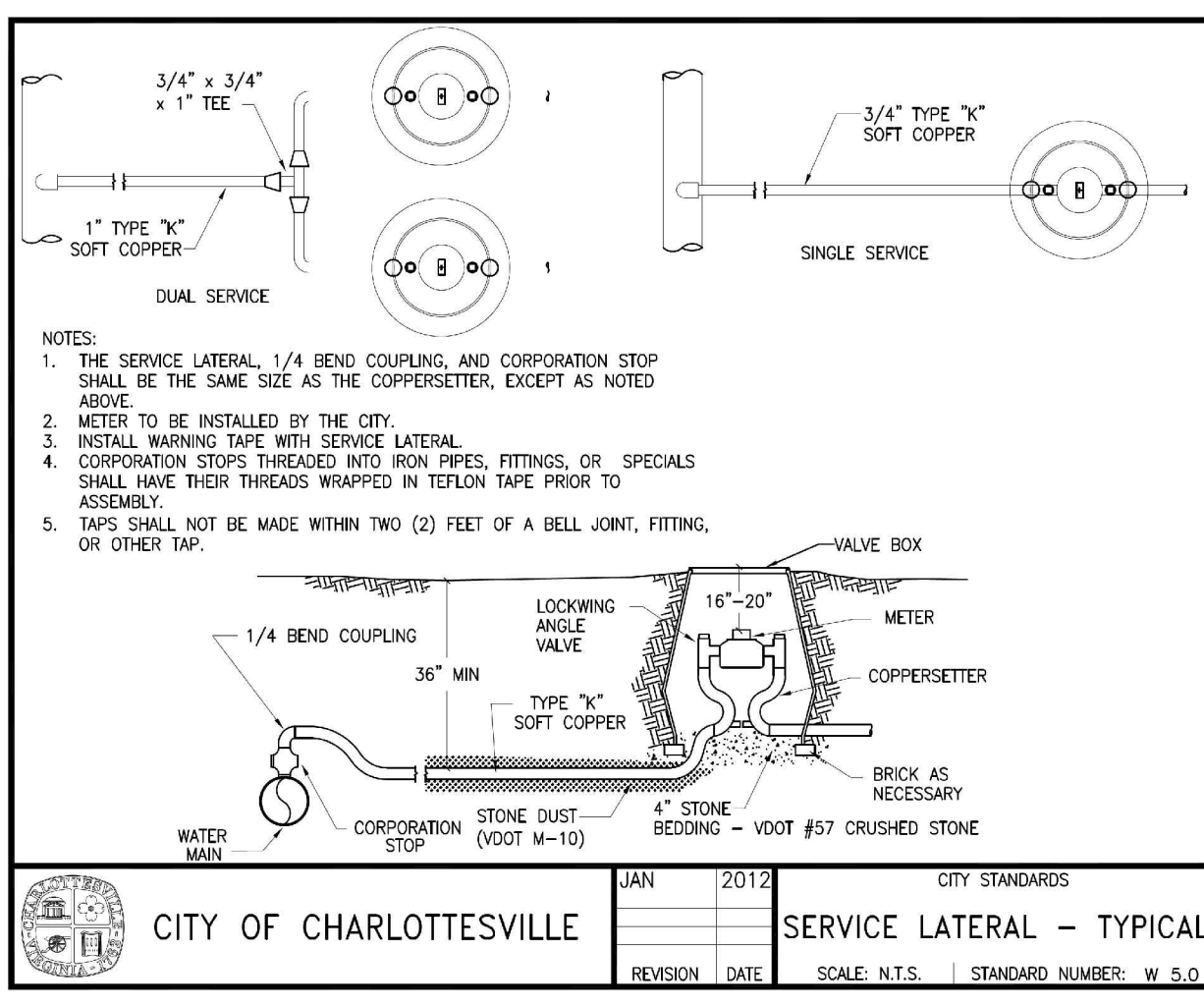
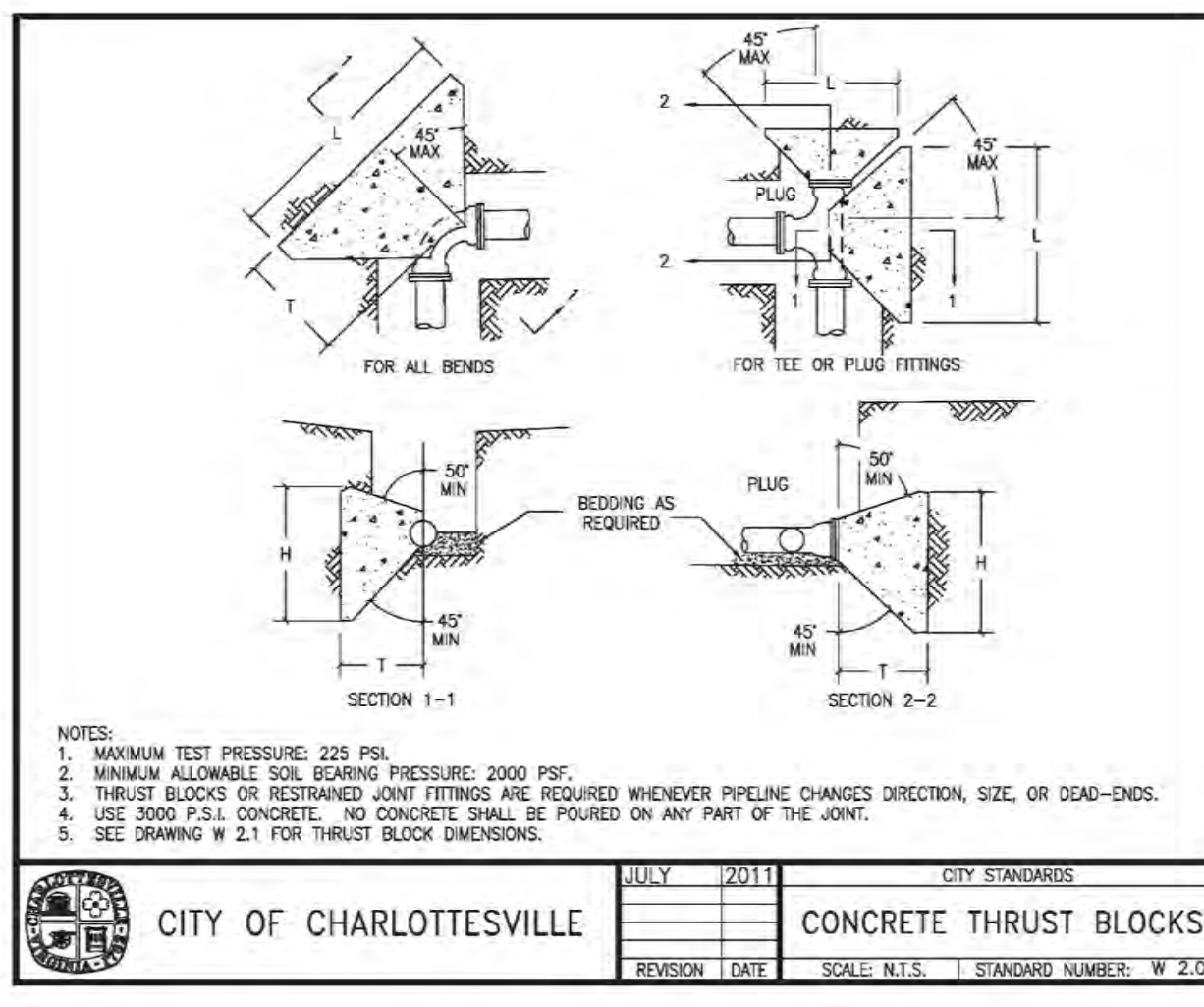
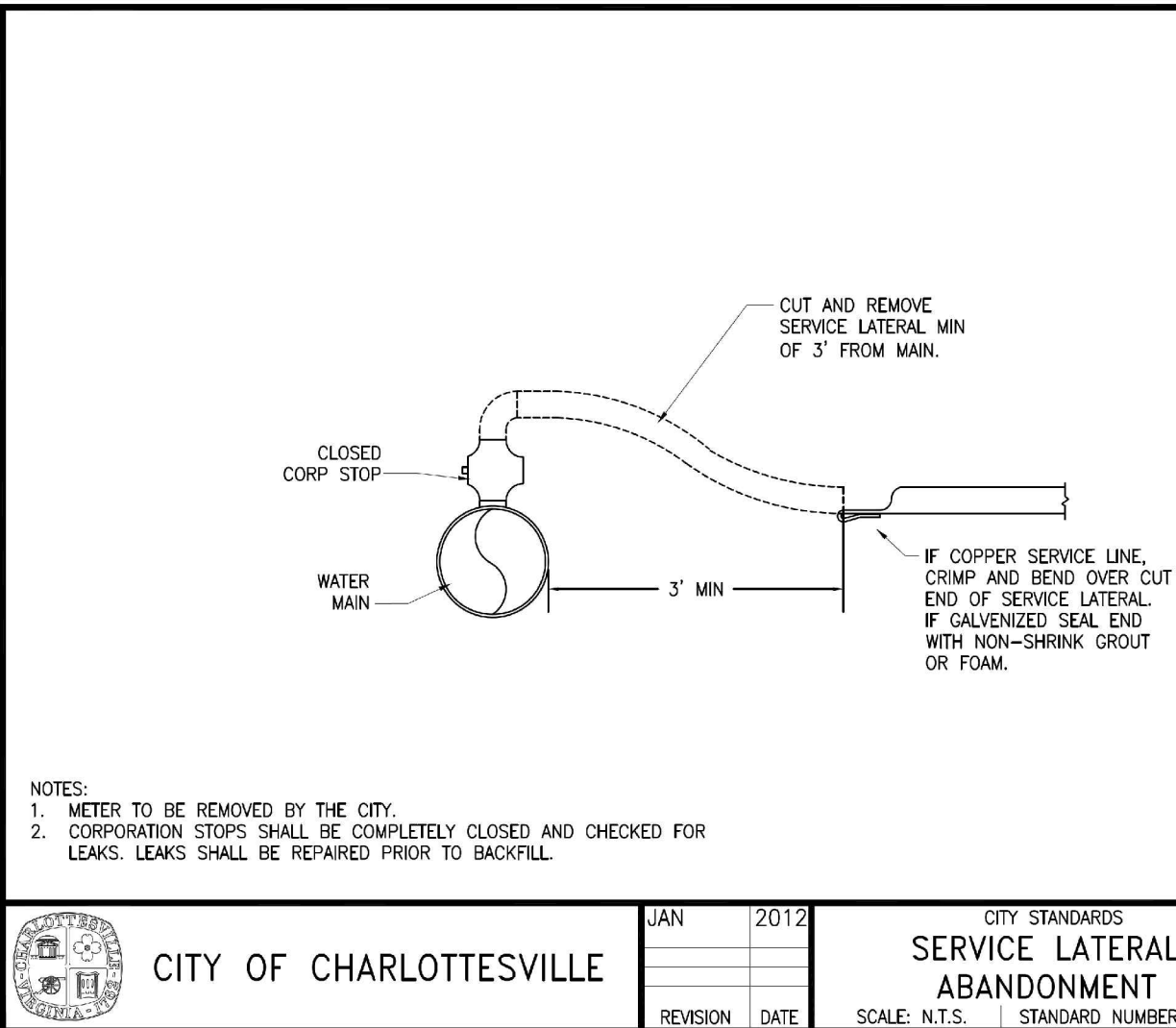
201 E. MAIN ST., SUITE M
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JUSTIN@SHIMP-ENGINEERING.COM

SANITARY DETAILS & WATERLINE PROFILE

Rev #	Date	Description
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SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTESVILLE, VIRGINIA

Date 12/18/13
Scale N/A
Sheet No. C12 OF 16
File No. 13.026




PIPE SIZE	DEGREE OF BEND	BEND (FT)			MIN. PIPE COVER (FT)	TEE AND PLUG (FT)			MIN. PIPE COVER (FT)
		L	H	T		L	H	T	
4" & 6"	90°	3.00	2.50	3.01	3	2.00	2.30	2.50	3
	45°	2.00	2.30	2.60					
	22 1/2°	1.50	2.00	2.50					
	11 1/4°	1.50	2.00	2.50					
8" & 10"	90°	4.50	3.50	3.20	3	3.20	3.00	3.00	3
	45°	3.00	2.50	2.70					
	22 1/2°	2.00	2.60	2.70					
	11 1/4°	1.70	2.60	2.70					
12" & 14"	90°	7.50	4.00	3.60	4	4.30	4.00	2.80	4
	45°	4.50	3.60	3.30					
	22 1/2°	3.30	2.60	2.90					
	11 1/4°	.80	2.30	2.90					
16" & 18"	90°	10.70	5.50	3.40	5	6.30	4.80	3.80	5
	45°	6.50	4.00	3.00					
	22 1/2°	4.50	3.30	3.00					
	11 1/4°	2.80	2.70	3.00					

REFERENCE DRAWING 2.0 FOR DIMENSION LOCATIONS

NOTES:

1. MAXIMUM TEST PRESSURE: 225 PSI.
2. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF.
3. USE MINIMUM 3000 P.S.I. CONCRETE.
4. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR VERIFICATION OF ADEQUACY OF ALL THRUST BLOCKS.



CITY OF CHARLOTTESVILLE

JULY

2011

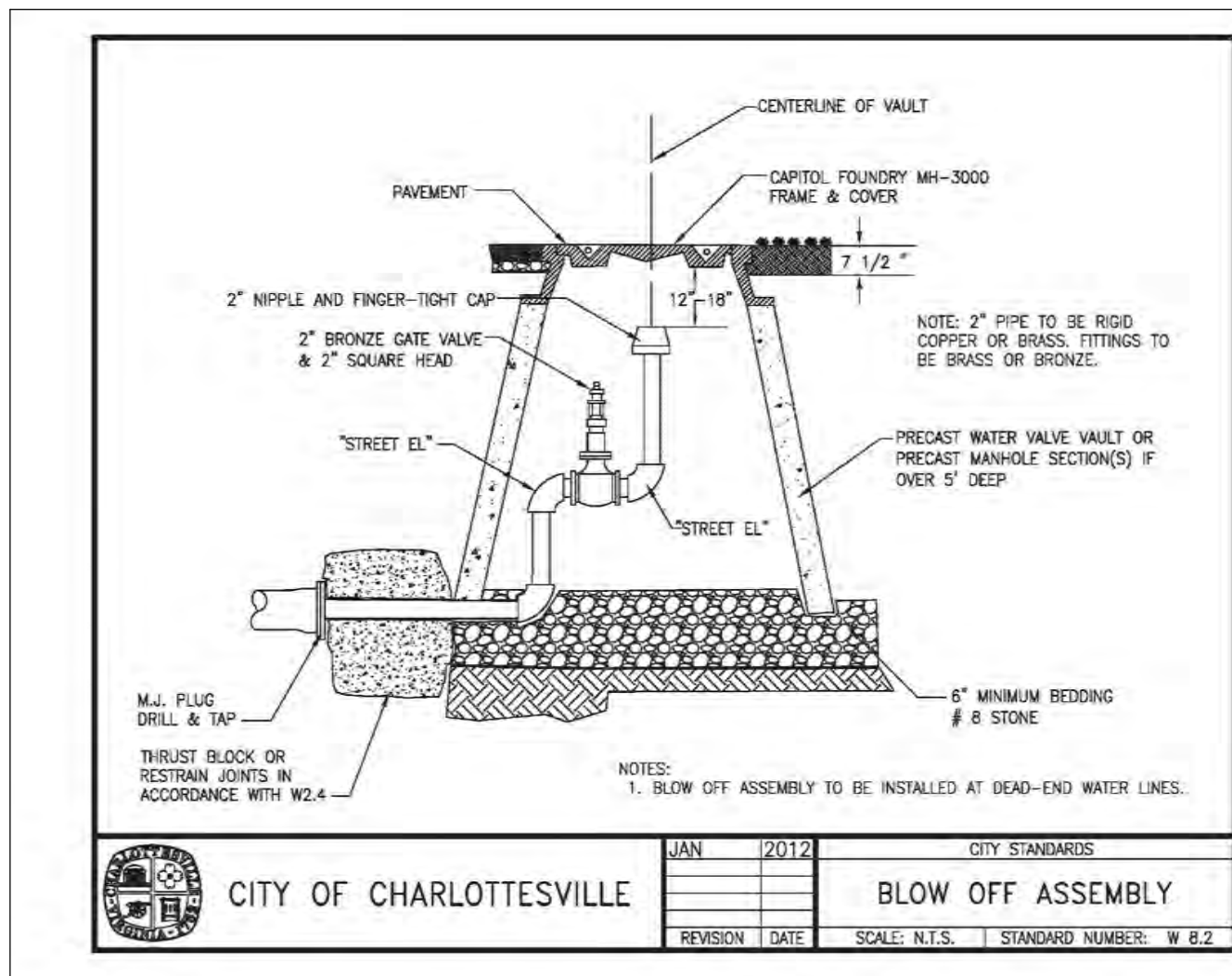
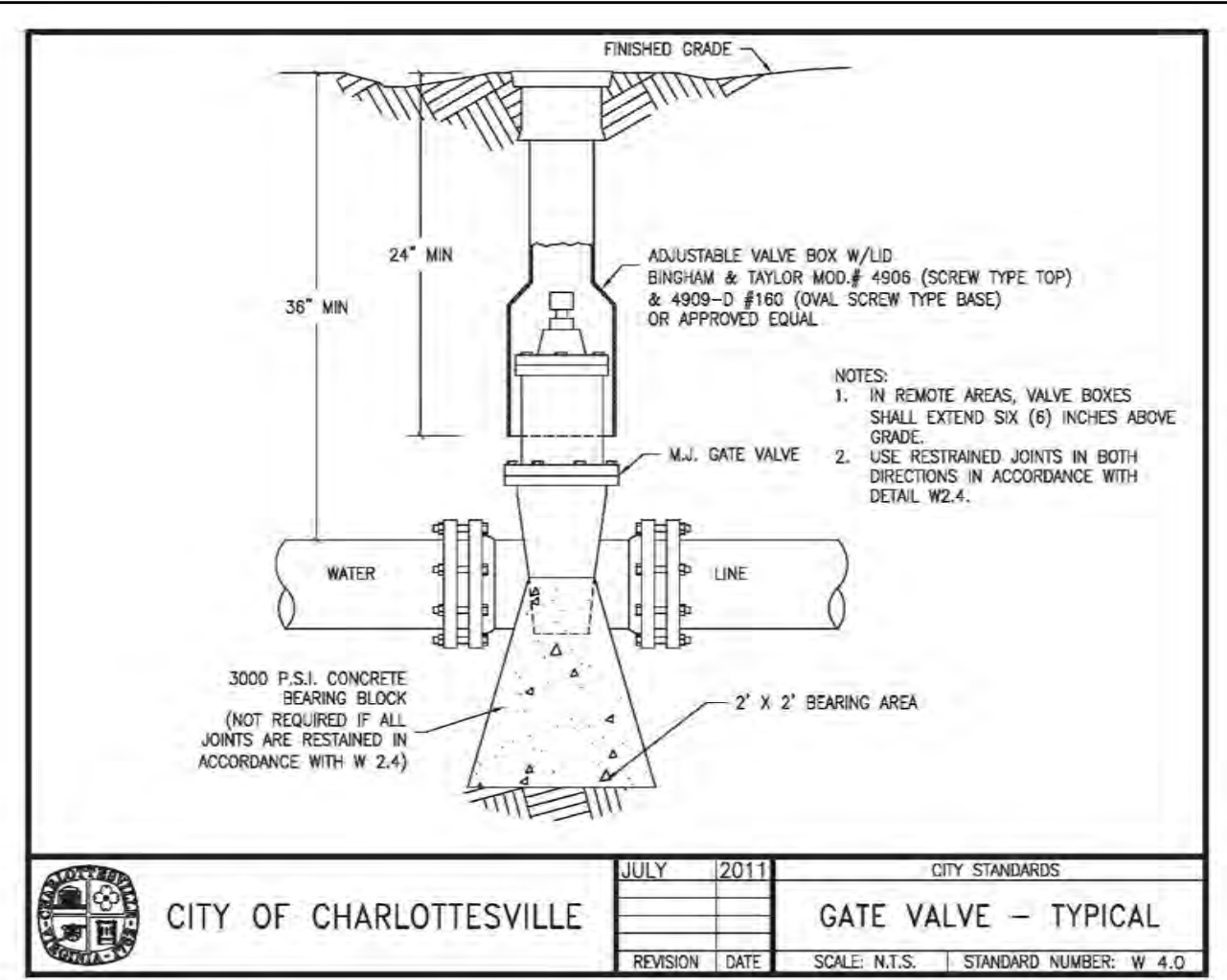
REVISION

DATE

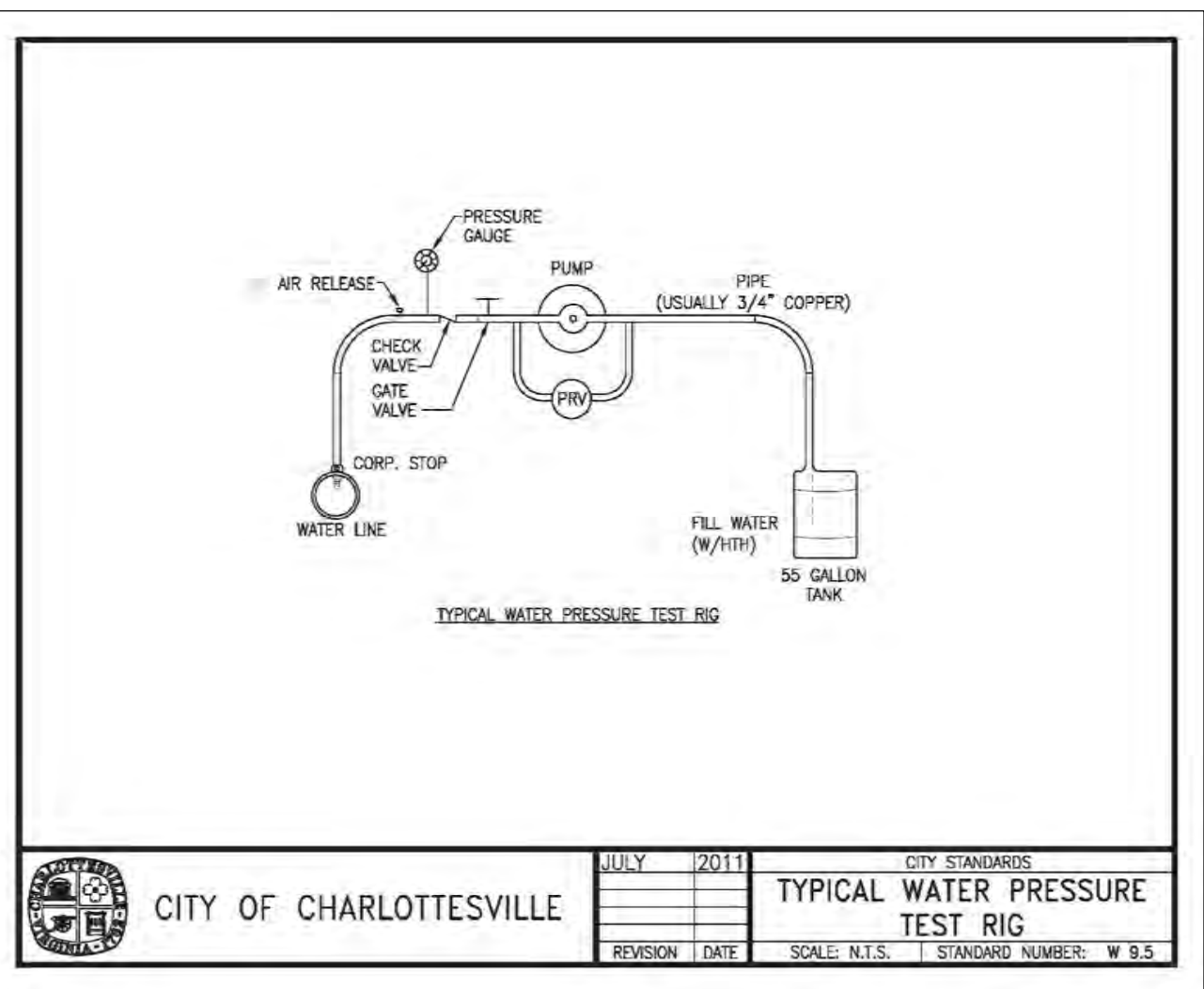
CITY STANDARDS

CONCRETE THRUST BLOCK DIMENSIONS

SCALE: N.T.S. STANDARD NUMBER: W. 2.



Fittings and Valves:		Tests and Wyes:		Reducers:	
Type	Run Diameter	Branch Diameter	Run Diameter	Large Diameter	Small Diameter
90-degree bend	4-inch 13 19 25 31 36	4-inch 13 13 13 13 13	4-inch N/A N/A N/A N/A N/A	4-inch N/A N/A N/A N/A N/A	4-inch N/A N/A N/A N/A N/A



WATERLINE DETAILS

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SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTESVILLE, VIRGINIA

PROJECT DESCRIPTION, GENERAL NOTES, EROSION & SEDIMENT CONTROL NOTES, AND SEQUENCE OF CONSTRUCTION

PROJECT DESCRIPTION

THIS SITE IS A PROPOSED RESIDENTIAL NEIGHBORHOOD.

THE TOTAL AREA OF DISTURBANCE IS 2.18 ACRES

THE PROJECT INVOLVES THE FOLLOWING WORK ACTIVITIES:

1. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE EROSION AND SEDIMENT PERMITTING REQUIREMENTS AND MAINTAIN ALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE PERMIT REQUIREMENTS.
2. INSTALLATION OF TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN AND DETAILS.
3. INSTALLATION OF STORM SEWER FOR SITE DRAINAGE.
4. CONSTRUCTION OF STRUCTURES AND PARKING AREAS SHOWN ON THE SITE DEVELOPMENT PLAN.

EXISTING SITE CONDITIONS

THE SITE IS CURRENTLY A GRAVEL DRIVEWAY AND VACANT LOTS.

ADJACENT PROPERTIES

THE SITE IS BOUNDED ON EVERY SIDE BY SINGLE FAMILY DWELLING UNITS WITHIN THE FRY'S SPRING NEIGHBORHOOD.

OFF-SITE AREAS

THERE ARE NO OFFSITE ACTIVITIES.

SOILS

127B ELIOAK-URBAN LAND COMPLEX, 2 TO 7 PERCENT SLOPES
134C GLENEIG-URBAN LAND COMPLEX, 7 TO 15 PERCENT SLOPES

CRITICAL EROSION AREAS

THERE ARE NO CRITICAL EROSION AREAS

EROSION & SEDIMENT CONTROLS

UNLESS OTHERWISE INDICATED, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. THE MINIMUM STANDARDS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY VARIANCE.

TEMPORARY CONSTRUCTION ENTRANCE (CE) - 3.02
A STONE PAD HAS BEEN CONSTRUCTED AT THE ENTRANCE THE SITE TO PROVIDE A MEANS OF REMOVING SEDIMENT FROM THE TIRES OF CONSTRUCTION VEHICLES LEAVING THE WORK SITE. THE CONTRACTOR SHALL REMOVE ANY MUD FROM THE EXISTING ROAD SURFACE BY MEANS OF SWEEPING AND SHOVELING.

SILT FENCE (SF) - 3.05
SILT FENCING WILL BE INSTALLED AS A FIRST STEP IN CONSTRUCTION ACTIVITIES. LOCATION AND DETAILS ARE SHOWN ON THE PLANS.

INLET PROTECTION (IP) - 3.07
INLET PROTECTION MEASURES AROUND THE NEW DI-7 SHALL BE PROVIDED IN ACCORDANCE WITH STANDARD SPECIFICATION 3.07. SILT FENCE, STRAW BALES OR TEMPORARY STONE APPLICATIONS SHALL BE APPLIED AS APPROPRIATE FOR CURRENT GRADING CONDITIONS.

TEMPORARY DIVERSION DIKE (DD) - 3.09
A TEMPORARY DIVERSION DIKE SHALL BE USED TO BOTH DIVERT STORM RUNOFF FROM UPSLOPE DRAINAGE AREAS AWAY FROM UNPROTECTED DISTURBED AREAS TO A STABILIZED OUTLET AND TO DIVERT SEDIMENT-LADEN RUNOFF FROM A DISTURBED AREA TO A SEDIMENT-TRAPPING FACILITY. LOCATION AND DETAILS ARE SHOWN ON THE PLANS.

RIGHT-OF-WAY DIVERSION (RWD) - 3.11
A STONE RIGHT-OF-WAY DIVERSION SHALL BE PROVIDED ACROSS THE CONSTRUCTION ENTRANCE TO PREVENT SILT LADEN RUNOFF FROM BYPASSING THE SEDIMENT TRAP AND ENTERING THE STREET. THE DIVERSION SHALL BE MAINTAINED AT ALL TIMES TO DIVERT RUNOFF INTO THE SEDIMENT TRAP.

DIVERSION (DV) - 3.12
DIVERSIONS SHALL BE INSTALLED AS SHOWN ON THE PLAN ALONG THE PERIMETER OF THE SITE TO CAPTURE RUNOFF FROM THE SITE AND DIVERT IT INTO SEDIMENT TRAPPING MEASURES. THE DIVERSION DITCHES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND SHALL BE IN PLACE PRIOR TO ON-SITE GRADING ACTIVITIES.

TEMPORARY SEDIMENT TRAP (ST) - 3.14
SEVERAL TEMPORARY SEDIMENT TRAPS SHALL BE INSTALLED AS THE FIRST STEP IN CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL INSTALL SILT FENCE BELOW THE TOE OF SLOPE PRIOR TO CONSTRUCTION OF THE TRAPS AND SHALL TAKE CARE NOT TO KEEP OUTSIDE OF THE LIMITS OF THE TRAP STREAM BANKS.

DUST CONTROL (DC) - 3.39
DUST CONTROL MEASURES IN ACCORDANCE WITH STANDARD AND SPECIFICATION 3.39 SHALL BE IMPLEMENTED ONSITE TO PREVENT AIRBORNE MOVEMENT OF DUST. MEASURES INCLUDE IRRIGATION, MULCHING OR OTHER MEASURES AS OUTLINED IN THE SPECIFICATIONS.

PERMANENT STABILIZATION

PERMANENT SEEDING - 3.32
A PERENNIAL VEGETATIVE COVERING SHALL BE ESTABLISHED ON DISTURBED AREAS WITHIN 7 DAYS OF BEING BROUGHT TO FINAL GRADE ON AREAS NOT OTHERWISE PROTECTED. SELECTION OF THE SEED MIXTURE SHALL DEPEND ON THE TIME OF YEAR IT IS TO BE APPLIED ACCORDING TO THE PERMANENT SEED SCHEDULE AS SHOWN ON THE DRAWING. SEEDED AREAS SHALL BE LIMED WHEN NECESSARY AT A RATE OF 2 TONS PER ACRES, AND FERTILIZED AT A RATE OF 1,000 LBS. PER ACRE OF 10-20-10 (10 LBS. PER 1,000 SQUARE FEET) OR EQUIVALENT.

MULCHING - 3.35
ALL SEEDED AREAS SHALL BE MULCHED WITH STRAW IMMEDIATELY FOLLOWING SEEDING OPERATIONS. STRAW MULCH SHALL BE APPLIED AT A RATE OF TWO TONS PER ACRE.

SOIL STABILIZATION BLANKETS AND MATTING - 3.36
SOIL STABILIZATION MATTING SHALL BE APPLIED IN THE CONVEYANCE AREAS OF THE DESIGNED DIVERSIONS TO HELP REDUCE VELOCITIES AND AID IN THE ESTABLISHMENT OF VEGETATION. A DETAIL SHOWING THE PROPER MATERIALS AND INSTALLATION IS SHOWN ON THE PLAN.

STORM WATER MANAGEMENT
STORM WATER QUALITY WILL BE ADDRESSED BY A COMBINATION OF ONE UNDERGROUND INFILTRATION TRENCH AND ONE FILTERRA. ADEQUATE CHANNELS WILL BE PROVEN DOWNSTREAM OF THE SITE.

GENERAL NOTES

1. ALL ELEVATIONS INDICATED REFER TO SITE DATUM OF NAVD88.
2. THE INFORMATION AND DATA SHOWN OR INDICATED WITH RESPECT TO THE EXISTING UNDERGROUND UTILITIES AT OR CONTIGUOUS TO THE SITE ARE BASED ON INFORMATION AND DATA FURNISHED TO THE OWNER AND ENGINEER BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR OTHERS. THE OWNER OR ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR CONFIRMING THE ACCURACY OF THE DATA FOR LOCATING ALL UNDERGROUND UTILITIES, FOR COORDINATION OF THE WORK WITH OWNERS OF SUCH UNDERGROUND UTILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. ALL OF THESE CONDITIONS SHALL BE MET AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL CONTACT "MISS UTILITIES" OF VIRGINIA AT 1-800-552-7001 PRIOR TO THE START OF WORK.
3. WHEN WORKING ADJACENT TO EXISTING STRUCTURES, POLES, ETC., THE CONTRACTOR SHALL USE WHATEVER METHODS THAT ARE NECESSARY TO PROTECT STRUCTURES FROM DAMAGE. REPLACEMENT OF DAMAGED STRUCTURES SHALL BE AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE STRUCTURES FROM DAMAGE AND COORDINATING WORK SO THAT THE OWNER CAN MAKE NECESSARY ARRANGEMENTS TO MODIFY/PROTECT EXISTING STRUCTURES FROM DAMAGES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS, ADJACENT LAND OWNERS WHOSE PROPERTY MAY BE IMPACTED AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO COMPLETING ANY OFF-SITE WORK.
6. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL WORK INVOLVING EXISTING UTILITIES WITH UTILITY OWNERS, AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS TO THE OWNER AND ENGINEER.
8. CONTRACTOR SHALL ADJUST ALL APPURTENANCES AS REQUIRED TO MATCH NEW GRADES. THE EXACT LOCATION OF APPURTENANCES SHALL BE COORDINATED WITH THE OWNER.
9. CONTRACTOR SHALL SUBMIT FOR THE APPROVAL OF THE OWNER SUBMITTALS OF ALL SPECIFIED MATERIALS LISTED IN THE PLANS, TO INCLUDE SHOP DRAWINGS, MANUFACTURER'S SPECIFICATIONS AND LABORATORY REPORTS. THE OWNER'S APPROVAL OF SUBMITTALS WILL BE GENERAL AND WILL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF ADHERENCE TO THE CONTRACT AND FOR ANY ERROR THAT MAY EXIST.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS VR 625-02-00 EROSION AND SEDIMENT CONTROL REGULATIONS.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
5. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
6. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
7. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
8. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
9. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
10. ALL FILL MATERIAL TO BE TAKEN FROM AN APPROVED, DESIGNATED BORROW AREA.
11. ALL WASTE MATERIALS SHALL BE TAKEN TO AN APPROVED WASTE AREA. EARTH FILL SHALL BE INERT MATERIALS ONLY, FREE OF ROOTS, STUMPS, WOOD, RUBBISH, AND OTHER DEBRIS.
12. BORROW OR WASTE AREAS ARE TO BE RECLAIMED WITHIN 7 DAYS OF COMPLETION PER ZONING ORDINANCE SECTION 5.1-26.
13. ALL INERT MATERIALS SHALL BE TRANSPORTED IN COMPLIANCE WITH SECTION 13-301 OF THE CODE OF ALBEMARLE.
14. BORROW, FILL OR WASTE ACTIVITY INVOLVING INDUSTRIAL-TYPE POWER EQUIPMENT SHALL BE LIMITED TO THE HOURS OF 7:00AM TO 9:00PM.
15. BORROW, FILL OR WASTE ACTIVITY SHALL BE CONDUCTED IN A SAFE MANNER THAN MAINTAINS LATERAL SUPPORT, OR ORDER TO MINIMIZE ANY HAZARD TO PERSONS, PHYSICAL DAMAGE TO ADJACENT LAND AND IMPROVEMENTS, AND DAMAGE TO ANY PUBLIC STREET BECAUSE O SLIDES, SINKING, OR COLLAPSE.
16. THE DEVELOPER SHALL RESERVE THE RIGHT TO INSTALL, MAINTAIN, REMOVE OR CONVERT TO PERMANENT STORMWATER MANAGEMENT FACILITIES WHERE APPLICABLE ALL EROSION CONTROL MEASURES REQUIRED BY THIS PLAN REGARDLESS OF THE SALE OF ANY LOT, UNIT, BUILDING OR OTHER PORTION OF THE PROPERTY.
17. TEMPORARY STABILIZATION SHALL BE TEMPORARY SEEDING AND MULCHING. SEEDING IS TO BE AT 75 LBS/ACRE, AND IN THE MONTHS OF SEPTEMBER TO FEBRUARY TO CONSIST A 50/50 MIX OF ANNUAL RYEGRASS AND CEREAL WINTER RYE, OR IN MARCH AND APRIL TO CONSIST OF ANNUAL RYE, OR MAY THROUGH AUGUST TO CONSIST OF GERMAN MILLET. STRAW MULCH IS TO BE APPLIED AT 80LBS/100SF. ALTERNATIVES ARE SUBJECT TO APPROVED BY THE CITY EROSION CONTROL INSPECTOR.
18. PERMANENT STABILIZATION SHALL BE LIME AND FERTILIZER, PERMANENT SEEDING, AND MULCH. AGRICULTURAL GRADE LIMESTONE SHALL BE APPLIED AT 90LBS/1000SF, INCORPORATED INTO THE TOP 4-6 INCHES OF SOIL. FERTILIZER SHALL BE APPLIED AT 1000LBS/ACRE AND CONSIST OF A 10-20-10 NUTRIENT MIX. PERMANENT SEEDING SHALL BE APPLIED AT 180LBS/ACRE AND CONSIST OF 95% KENTUCKY 31 OR TALL FESCUE AND 0-5% PERENNIAL RYEGRASS OR KENTUCKY BLUEGRASS. STRAW MULCH IS TO BE APPLIED AT 80LBS/100SF. ALTERNATIVES ARE SUBJECT TO APPROVAL BY THE CITY EROSION CONTROL INSPECTOR.
19. MAINTENANCE: ALL MEASURES ARE TO BE INSPECTED WEEKLY AND AFTER EACH RAINFALL. ANY DAMAGE OR LOGGING TO STRUCTURAL MEASURES IS TO BE REPAIRED IMMEDIATELY. SILT TRAPS ARE TO BE CLEANED WHEN 50% OF THE NET STORAGE VOLUME IS FILLED WITH SEDIMENT. ALL SEEDED AREAS ARE TO BE RESEEDDED WHEN NECESSARY TO ACHIEVE A GOOD STAND OF GRASS. SILT FENCE AND DIVERSION DIKES WHICH ARE COLLECTING SEDIMENT TO HALF THEIR HEIGHT MUST BE CLEANED AND REPAIRED IMMEDIATELY.
20. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED WITHIN 30 DAYS OF FINAL SITE STABILIZATION, WHEN MEASURES ARE NO LONGER NEEDED, SUBJECT TO APPROVAL BY THE CITY EROSION CONTROL INSPECTOR.
21. THIS PLAN SHALL BE VOID IF THE OWNER DOES NOT OBTAIN A PERMIT WITHIN 1 YEAR OF THE DATE OF APPROVAL. (WATER PROTECTION ORDINANCE SECTION 17-204c.)
22. PERMANENT VEGETATION SHALL BE INSTALLED ON ALL DENUDED AREAS WITHIN NINE (9) MONTHS AFTER THE DATE THE LAND DISTURBING ACTIVITY COMMENCED. (WATER PROTECTION ORDINANCE SECTION 17-207b)

MANAGEMENT STRATEGY AND SEQUENCE OF CONSTRUCTION

THE FOLLOWING ARE THE PROPOSED MANAGEMENT STRATEGIES AND DETAILED SEQUENCE OF CONSTRUCTION. REQUIRED PERMITS MUST BE IN-HAND BEFORE WORK BEGINS:

STAGE 1

1. INSTALL CONSTRUCTION ENTRANCE.
2. INSTALL SAFETY FENCING AROUND EACH PRESCRIBED INFILTRATION AREA
3. INSTALL SILT FENCE
4. CLEAR AND GRADE ONLY THE AREAS REQUIRED TO INSTALL STORM SEWER ST-4B TO ST-0. KEEP TOP OFF ST-1 AND INSTALL INLET PROTECTION AT ST-1.
5. INSTALL SEDIMENT TRAPS AND PERIMETER DIVERSIONS

STAGE 2

1. CONTACT THE ENGINEER AND CHARLOTTESVILLE CITY FOR INSPECTION AND APPROVAL OF ALL E&S CONTROL MEASURES.

STAGE 3

1. UPON APPROVAL OF E&S CONTROL MEASURES, BEGIN WHOLESALE CLEARING, GRADING, AND STOCKPILING.
2. BEGIN CONSTRUCTION OF ROADS AS SHOWN ON THE SITE DEVELOPMENT PLAN.
3. KEEP ALL STORM SEWER INLETS THAT DRAIN TO THE INFILTRATION TRENCHES BLOCKED.
4. MAINTAIN SILT FENCE, DIVERSIONS, AND CONSTRUCTION ENTRANCE.
5. ONCE SITE IS STABILIZED INFILTRATION PIPES SHALL BE INSPECTED AND ANY SEDIMENT REMOVED.

STAGE 4

- ESTABLISH AND MAINTAIN PERMANENT STABILIZATION, INCLUDING VEGETATION OF ALL SLOPES AND GRASSED AREAS.

CONSTRUCTION MAINTENANCE

THE FOLLOWING CONSTRUCTION MAINTENANCE PRACTICES SHALL BE FOLLOWED AT THE SITE.

5. ALL E&S CONTROL MEASURES WILL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAIN EVENT. ALL DEFICIENCIES IDENTIFIED DURING THESE INSPECTIONS SHALL BE CORRECTED AS SOON AS PRACTICABLE.
6. THE SILT FENCE BARRIER SHALL BE REGULARLY CHECKED FOR UNDERMINING, DETERIORATION OR SIGNICANT EROSION. SEDIMENT SHALL BE REMOVED AFTER EACH STORM EVENT AND WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALF THE HEIGHT OF THE CONTROL.
7. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL MAINTENANCE REQUIREMENTS SET FORTH IN THE CURRENT EDITION OF THE VIRGINIA SEDIMENT AND EROSION CONTROL MANUAL, OTHER APPLICABLE COMMONWEALTH OF VIRGINIA REGULATIONS AND THE PROJECT SPECIFICATIONS.
8. ALL SEEDED AREAS WILL BE REGULARLY CHECKED TO ENSURE THAT A GOOD STAND OF GRASS IS MAINTAINED.
5. AREAS WITH RIP-RAP SHOULD BE REGULARLY INSPECTED TO DETERMINE IF HIGH FLOWS HAVE DAMAGED THESE CONTROLS OR CAUSED EXCESSIVE SEDIMENT DEPOSITION. ALL AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS E&S CONTROL PLAN.

ENVIRONMENTAL CONTROLS

1. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL ENVIRONMENTAL CONTROL MEASURES SO AS TO COMPLY WITH LOCAL ORDINANCES, STATE AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO WATER POLLUTION IN WATERS OF THE STATE AND IN INTERSTATE WATERS.
2. CONTRACTOR SHALL MINIMIZE THE POTENTIAL FOR AIR POLLUTION BY THE USE OF EMISSION CONTROL EQUIPMENT ON CONTRACTOR OPERATED EQUIPMENT, SHUT-DOWN OF MOTORIZED EQUIPMENT WHEN NOT IN USE, AND ACTIVELY CONTROLLING DUST EMISSIONS THROUGHOUT THE PROJECT.
3. ANY WASTE DISCOVERED DURING THE PROJECT SHALL NOT BE MOVED WITH OUT PRIOR AUTHORIZATION OF THE OWNER AND BE DIRECT-LOADED INTO COVERED ROLL-OFF CONTAINERS FOR TEMPORARY STORAGE PRIOR TO DISPOSAL IN A PERMITTED LANDFILL.

EROSION & SEDIMENT CONTROL PERMITTING

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE EROSION AND SEDIMENT CONTROL PERMITS AND MAINTAINING ALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE PERMIT REQUIREMENTS.

CHESAPEAKE BAY PROTECTION AREA (CBPA) REQUIREMENTS:

1. THE DISTURBED AREA OF THIS SITE IS IN EXCESS OF 1.0 ACRES. A VSPM GENERAL PERMIT IS REQUIRED FROM VA DEQ. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION OF THE PERMIT APPLICATION AND ACCOMPANYING SWPPP.

MINIMUM STANDARDS (MS):

All applicable Virginia Erosion and Sediment Control Regulations and Minimum Standards shall be adhered to during all phases of construction. These include, but are not limited to the following:

1. STABILIZATION OF DENUDED AREAS:
Permanent or temporary soil stabilization shall be applied to bare areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade, but will remain dormant or undisturbed for longer than 30 days. Permanent stabilization shall be applied at areas that are to be left dormant for more than 1 year.
2. STABILIZATION OF SOIL STOCKPILES:
During construction of the project, soil stockpiles shall be stabilized or protected with sediment trapping measures. The applicant is responsible for temporary protection and permanent stabilization of all soil stockpiles on site as well as soil intentionally transported from the project site.
3. PERMANENT VEGETATIVE COVER
A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieve that, in the opinion of the city inspector, is uniform and mature enough to survive to inhibit erosion.
4. TIMING & STABILIZATION OF SILT TRAPPING MEASURES:
Sediment basins and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land disturbing activity and shall be made functional before upslope land disturbance takes place.
5. STABILIZATION OF EARTHEN STRUCTURES:
Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.
6. SEDIMENT TRAPS AND BASINS:
A sediment basin shall control surface runoff from disturbed areas that is comprised of flow from drainage areas greater than or equal to three acres. The sediment basin shall be designed and constructed to accommodate the anticipated sediment loading for the land disturbing activity. The outfall device or system device shall take into account the total drainage area flowing through the disturbed area to be served by the basin.
7. CUT AND FILL SLOPES:
Cut and fill slopes shall be designed and constructed in a manner that will minimize erosion. Slopes that are found to be eroding excessively within one year of permanent stabilization shall be provided with additional slope stabilizing measures until the problem is corrected.
8. CONCENTRATED RUN-OFF DOWN CUT OR FILL SLOPES:
Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume, or slope drain structure.
9. WATER SEEPS FROM A SLOPE FACE:
Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.
10. STORM SEWER INLET PROTECTION:
All storm sewer inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.
11. STABILIZATION OF OUTLETS:
Before newly constructed stormwater conveyance channels are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel.
12. WORK IN LIVE WATERCOURSES:
When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction. Nonerodible material shall be used for the construction of causeways and cofferdams. Earthen fill may be used for these structures if armored by nonerrodible cover materials.
13. CROSSING A LIVE WATERCOURSE:
When a live watercourse must be crossed by construction vehicles more than twice in any six month period, a temporary stream crossing constructed of nonerrodible materials shall be provided.
14. APPLICABLE REGULATIONS:
All applicable federal, state and local regulations pertaining to working in or crossing live watercourses shall be met.
15. STABILIZATION OF BED AND BANKS
The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse is completed.
16. UNDERGROUND UTILITIES:
Underground utilities shall be installed in accordance with the following standards in addition to other criteria:
 - a.No more than 500 linear feet of trench may be opened at one time.
 - b.Excavated material shall be placed on the uphill side of trenches
 - c.Effluent for dewatering operations shall be filtered or passed through approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or offsite property.
 - d.Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
 - e.Restabilization shall be accomplished in accordance with these regulations.
 - f. Applicable safety regulations shall be complied with.
17. CONSTRUCTION ACCESS ROUTES:
Where construction vehicle access routes intersect paved public roads, provisions shall be made to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transported on to a public road surface, the road shall be cleaned thoroughly at the end of each day. Sediment shall be removed by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This provision shall apply to individual lots as well as to larger land disturbing activities.
18. TEMPORARY E&S CONTROL MEASURE REMOVAL:
All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after temporary measures are no longer needed, unless otherwise authorized by the local program authority. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures shall be permanently stabilized to prevent further erosion and sediment.
19. ADEQUACY OF RECEIVING CHANNELS:
Properties and waterways downstream from the development site shall be protected from sediment deposition, erosion and damage, due to increases in volume, velocity and peak flow rates of stormwater runoff for the stated frequency storm of 24-hour duration.



EROSION CONTROL NARRATIVE

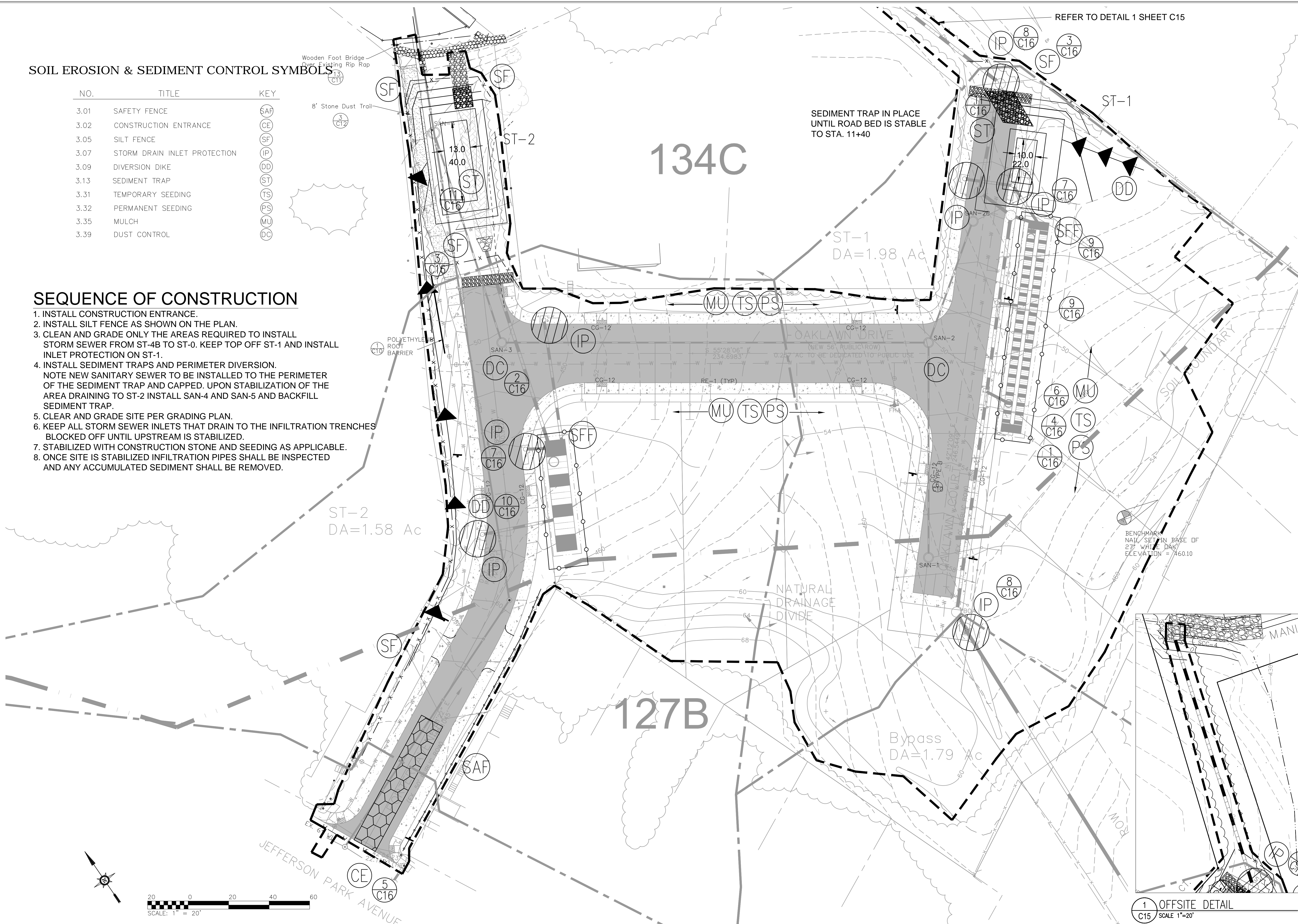
Rev #	Date	Description	Revisions Per City Comments	Utility & Trail Revisions	Trail Revisions
1	7/18/14				
5	8/18/14				
6	8/20/14				
7	8/22/14				
8	8/26/14				

SOIL EROSION & SEDIMENT CONTROL SYMBOLS

NO.	TITLE	KEY
3.01	SAFETY FENCE	(SAF)
3.02	CONSTRUCTION ENTRANCE	(CE)
3.05	SILT FENCE	(SF)
3.07	STORM DRAIN INLET PROTECTION	(IP)
3.09	DIVERSION DIKE	(DD)
3.13	SEDIMENT TRAP	(ST)
3.31	TEMPORARY SEEDING	(TS)
3.32	PERMANENT SEEDING	(PS)
3.35	MULCH	(MU)
3.39	DUST CONTROL	(DC)

SEQUENCE OF CONSTRUCTION

1. INSTALL CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCE AS SHOWN ON THE PLAN.
3. CLEAN AND GRADE ONLY THE AREAS REQUIRED TO INSTALL STORM SEWER FROM ST-4B TO ST-0. KEEP TOP OFF ST-1 AND INSTALL INLET PROTECTION ON ST-1.
4. INSTALL SEDIMENT TRAPS AND PERIMETER DIVERSION. NOTE NEW SANITARY SEWER TO BE INSTALLED TO THE PERIMETER OF THE SEDIMENT TRAP AND CAPPED. UPON STABILIZATION OF THE AREA DRAINING TO ST-2 INSTALL SAN-4 AND SAN-5 AND BACKFILL SEDIMENT TRAP.
5. CLEAR AND GRADE SITE PER GRADING PLAN.
6. KEEP ALL STORM SEWER INLETS THAT DRAIN TO THE INFILTRATION TRENCHES BLOCKED OFF UNTIL UPSTREAM IS STABILIZED.
7. STABILIZED WITH CONSTRUCTION STONE AND SEEDING AS APPLICABLE.
8. ONCE SITE IS STABILIZED INFILTRATION PIPES SHALL BE INSPECTED AND ANY ACCUMULATED SEDIMENT SHALL BE REMOVED.



REFER TO DETAIL 1 SHEET C15

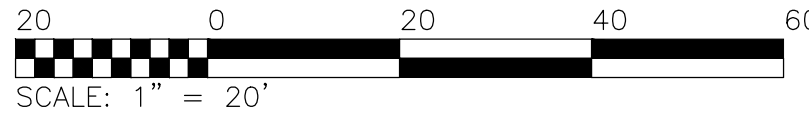
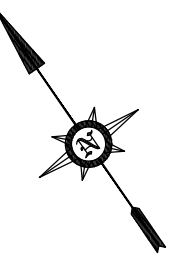
SEDIMENT TRAP IN PLACE UNTIL ROAD BED IS STABLE TO STA. 11+40

ST-1
DA=1.98 Ac

ST-2
DA=1.58 Ac

127B

Bypass
DA=1.79 Ac



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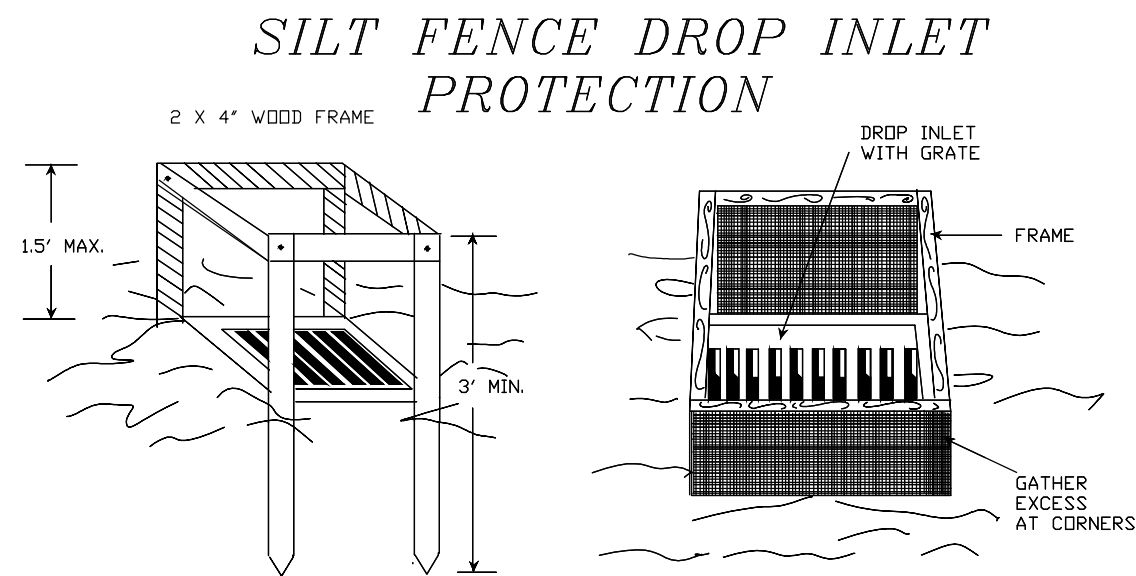


EROSION & SEDIMENT CONTROL PLAN

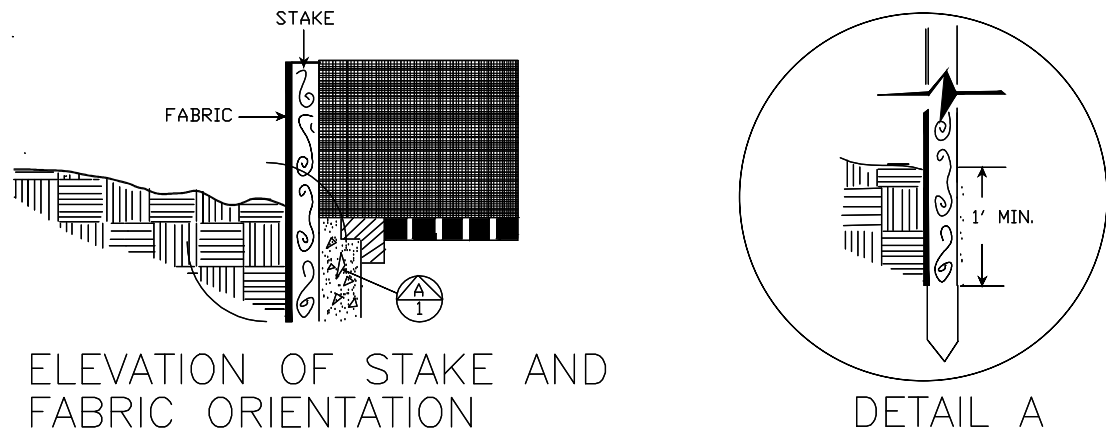
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8	8/26/14	Trail Revisions

SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTEVILLE, VIRGINIA

Date	12/18/13
Scale	1" = 30'
Sheet No.	C15 OF 16
File No.	13.026



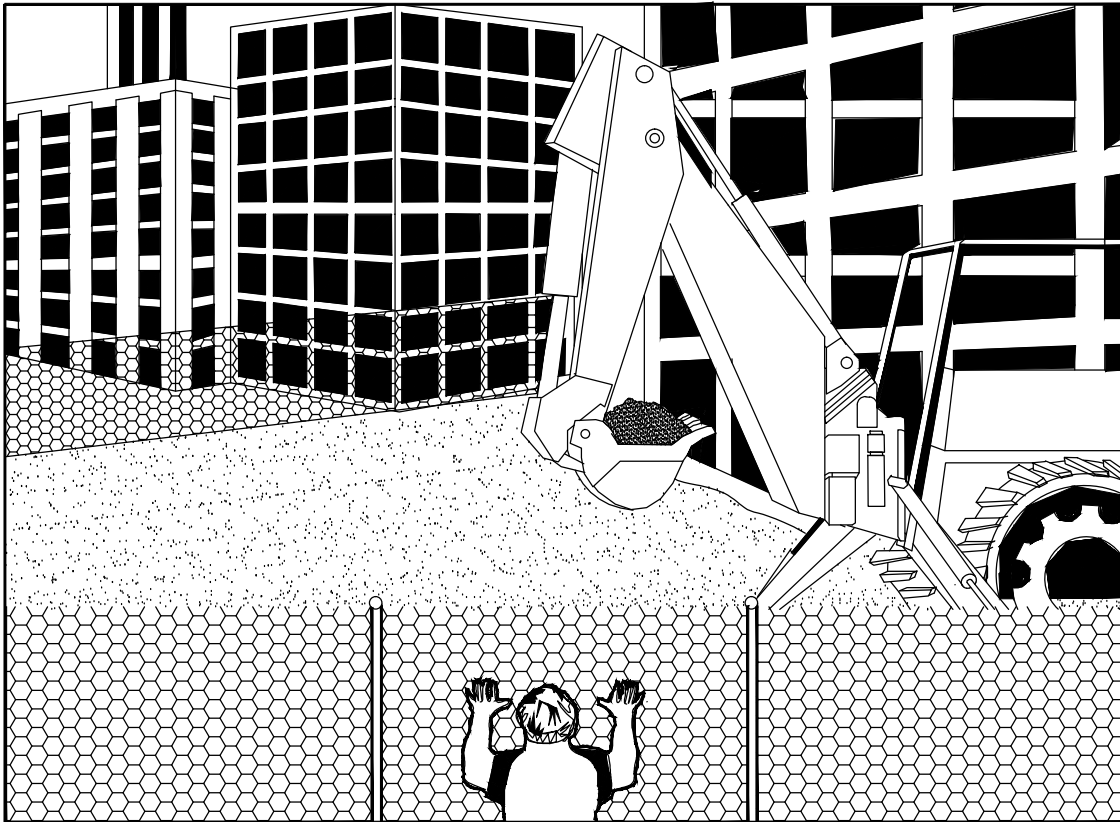
PERSPECTIVE VIEWS



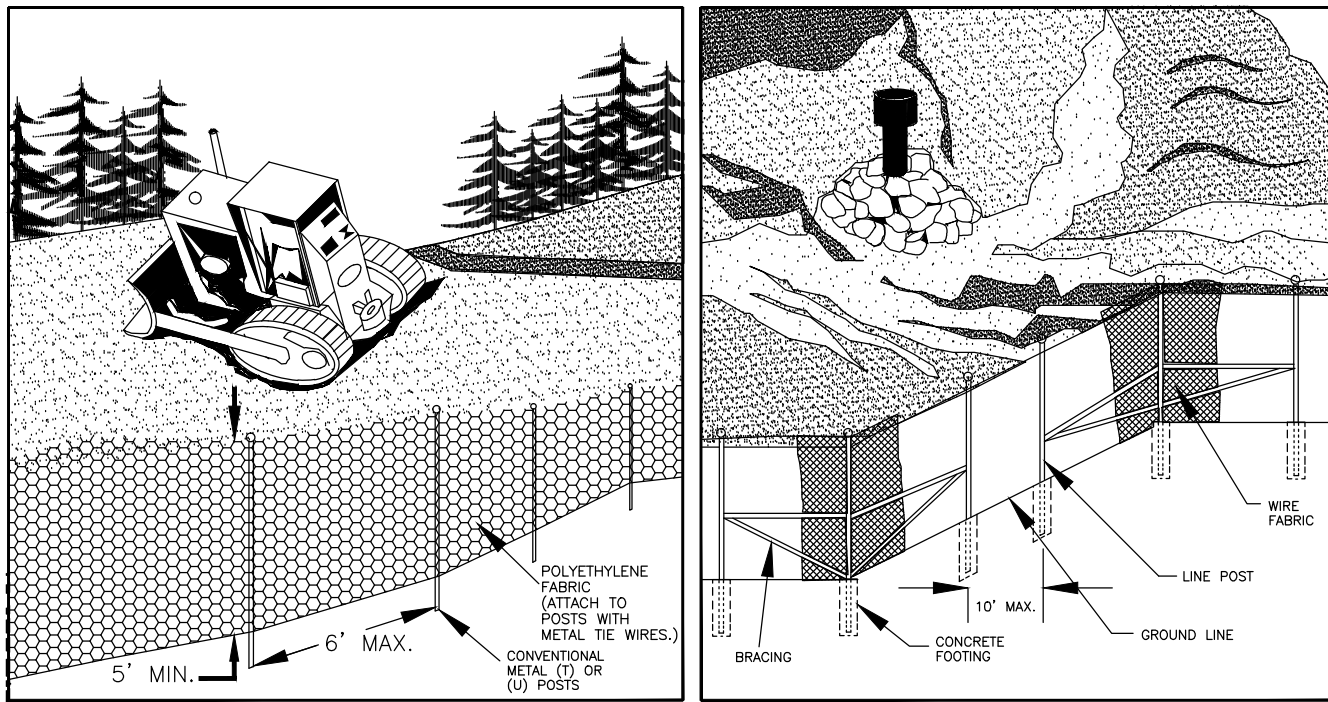
SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) WHERE THE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 C.F.S.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

8 INLET PROTECTION (IP)
C16 Not To Scale



PERSPECTIVE VIEW



PERSPECTIVE VIEW
PLASTIC FENCE

PERSPECTIVE VIEW
METAL FENCE

9 SAFETY FENCE (SFF)
C16 Not To Scale

TABLE 3.39-A
ADHESIVES USED FOR DUST CONTROL

Adhesive	Water Dilution (Adhesive: Water)	Type of Nozzle	Application Rate Gallons/Acre
Anionic Asphalt Emulsion	7:1	Coarse Spray	1,200
Latex Emulsion	12.5:1	Fine Spray	235
Resin in Water	4:1	Fine Spray	300
Acrylic Emulsion (Non-Traffic)	7:1	Coarse Spray	450
Acrylic Emulsion (Traffic)	3.5:1	Coarse Spray	350

2 DUST CONTROL (DC)
C16 Not To Scale

PERMANENT SEEDING SPECIFICATIONS

February 16 through April 30:
Kentucky 31 Fescue – 128 lbs/acre; Red Top Grass – 2 lbs/acre;
Annual Rye – 20 lbs/acre. Add 20 lbs/acre Indian grass when slopes are greater than 3:1.

May 1 through August 15:
Kentucky 31 Fescue – 128 lbs/acre; Red Top Grass – 2 lbs/acre;
Foxtail Millet – 20 lbs/acre. Add 20 lbs/acre Indian grass when slopes are greater than 3:1.

August 16 through October 31:
Kentucky 31 Fescue – 128 lbs/acre; Red Top Grass – 2 lbs/acre;
Annual Rye – 20 lbs/acre. Add 20 lbs/acre Indian grass on slopes greater than 3:1.

MULCHING SPECIFICATIONS:
Straw or hay at a rate of 2 tons/acre. Must be anchored. Spread with mulch blower or by hand.

LIME AND FERTILIZER SPECIFICATIONS:
Lime and fertilizer needs should be determined by soil tests. Soil tests may be performed by the Cooperative Extension Service Soil Testing Laboratory at VM&SU, or by a reputable commercial laboratory. Information concerning the State Soil Testing Laboratory is available from CITY Extension Agents. Under unusual conditions where it is not possible to obtain a soil test, the following soil amendments will be applied:
For Permanent Seeding: Seeded areas shall be limed at a rate of 2 tons per acre, and fertilized at a rate of 1,000 lbs. per acre of 10–20–10 (10 lbs. per 1,000 square feet) or equivalent.
For Temporary Seeding: Seeded areas shall be limed at a rate of 2 tons per acre, and fertilized at a rate of 600 lbs. per acre of 10–20–10 (10 lbs. per 1,000 square feet) or equivalent.

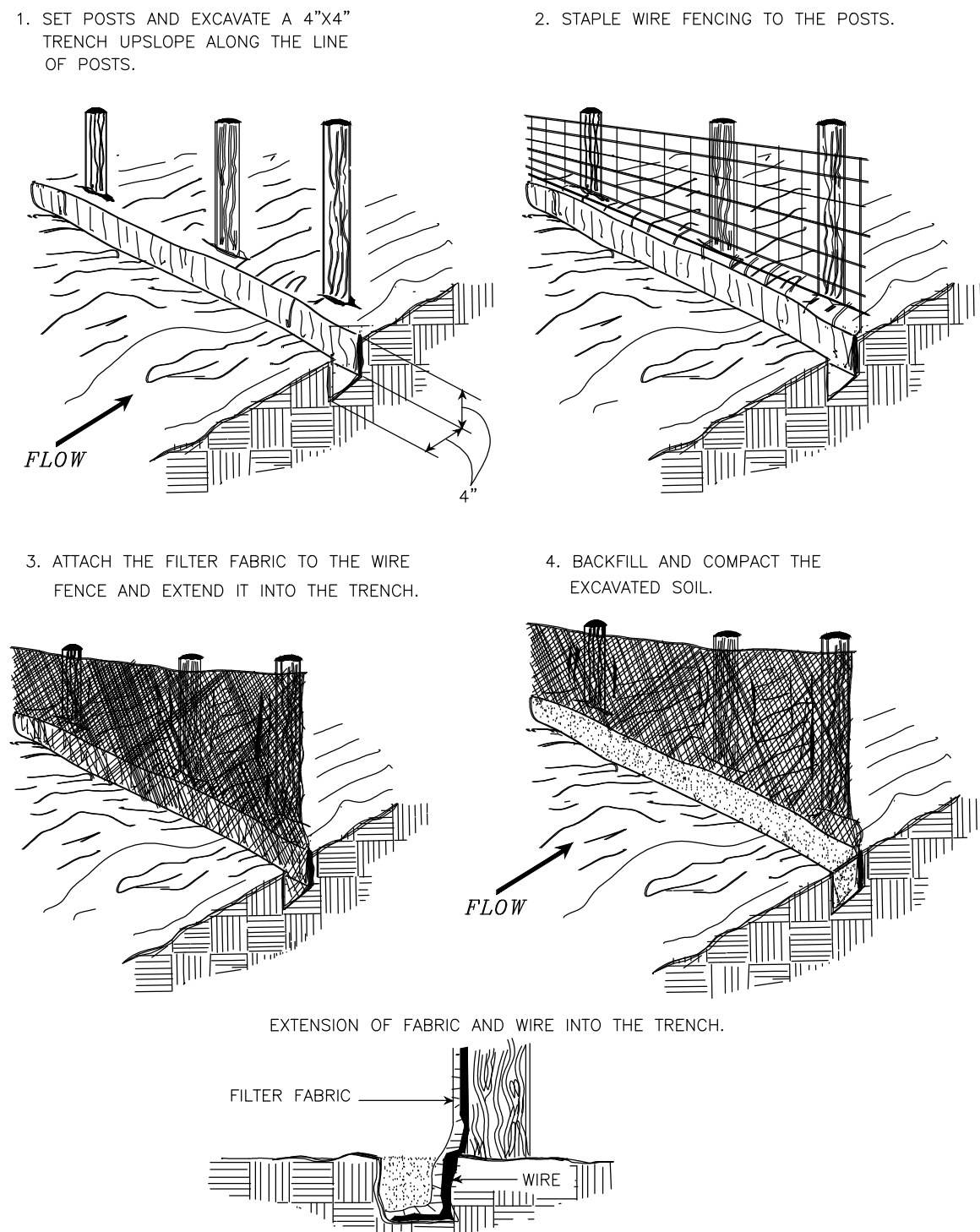
1 PERMANENT SEEDING (PS)
C16 Not To Scale

TABLE 3.31-C
TEMPORARY SEEDING PLANT MATERIALS, SEEDING RATES, AND DATES

SPECIES	SEEDING RATE Acres	1000 ft ²	NORTH ^a						PLANT CHARACTERISTICS
			3/1 to 4/30	5/1 to 8/15	9/1 to 11/1	12/1 to 2/15	3/1 to 4/30	5/1 to 11/15	
OATS (<i>Avena sativa</i>)	3 lbs. (up to 100 lbs., not less than 50 lbs.)	2 lbs.	X	-	-	X	-	-	Use spring varieties (e.g., Noble).
RYE ^b (<i>Secale cereale</i>)	2 lbs. (up to 100 lbs., not less than 50 lbs.)	2.5 lbs.	X	-	X	X	-	X	Use for late fall seedings, winter cover. Tolerates cold and low moisture.
GERMAN MILLET (<i>Syntherisma italica</i>)	50 lbs.	approx. 1 lb.	-	X	-	-	X	-	Warm-season annual. Dine at first frost. May be added to summer mix.
ANNUAL RYEGRASS ^c (<i>Lolium multiflorum</i>)	40 lbs.	1 1/2 lbs.	X	-	X	X	-	X	May be added in mixes. Will move out of most stands.
WEEDING LOVEGRASS (<i>Eragrostis canadensis</i>)	15 lbs.	3/4 lbs.	-	X	-	-	X	-	Warm-season perennial. May handle. Tolerates hot, dry slopes and acid, infertile soils. May be added to mixes.
KOREAN LESPEDEZA ^d (<i>Lespedeza stuebesii</i>)	25 lbs.	approx. 1 1/2 lbs.	X	X	-	X	X	-	Warm season annual legume. Tolerates acid soils. May be added to mixes.

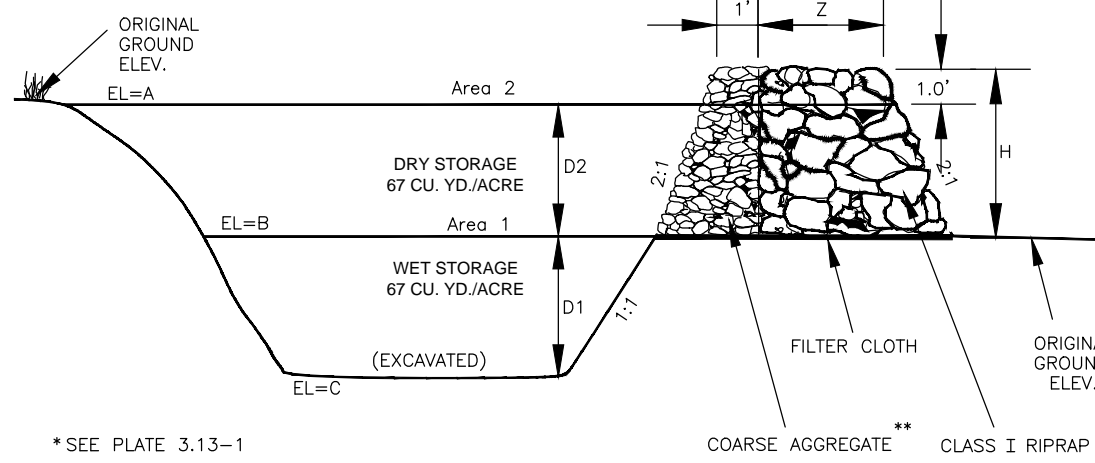
4 TEMPORARY SEEDING (TS)
C16 Not To Scale

CONSTRUCTION OF A SILT FENCE (WITH WIRE SUPPORT)

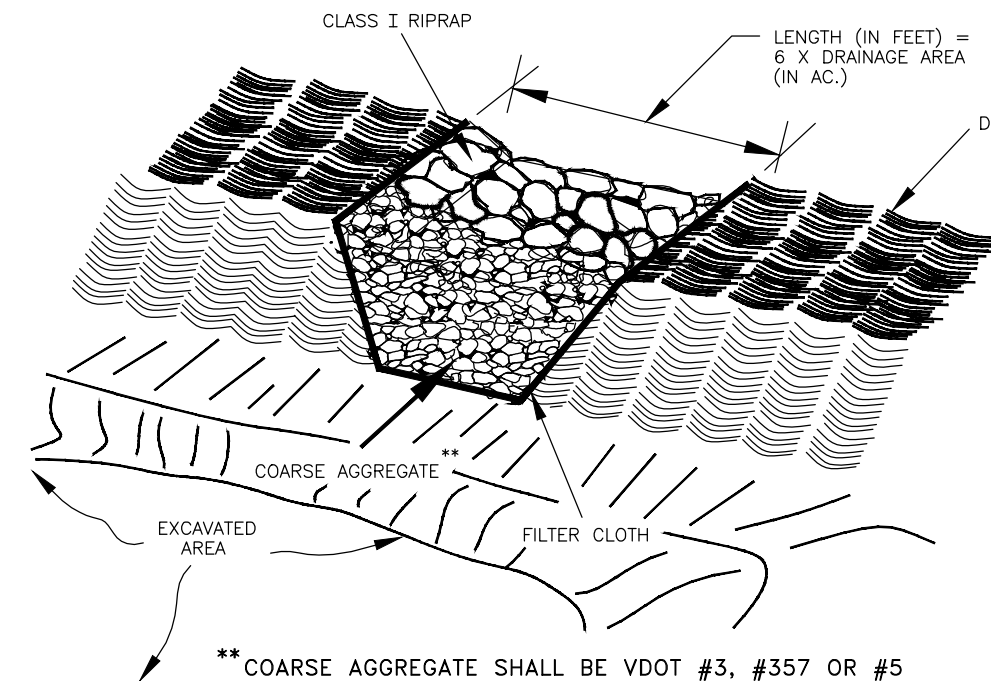


3 SILT FENCE (SF)
C16 Not To Scale

Sediment Trap Design Data												
No.	A	B	C	H (ft.)	Z (ft.)	Weir Length (ft.)	DA (Ac.)	Wet Vol. (Req.) (ft.)	D1 (ft.)	Wet Vol. Cy (Prov.)	Dry Vol. (Req.) (ft.)	D2 (ft.)
1	440	436	432.0	5.0	3	12	1.98	133	3	68	133	4.0
2	442	440.0	437.0	3.0	1	9	1.58	106	3.0	109	106	2.0

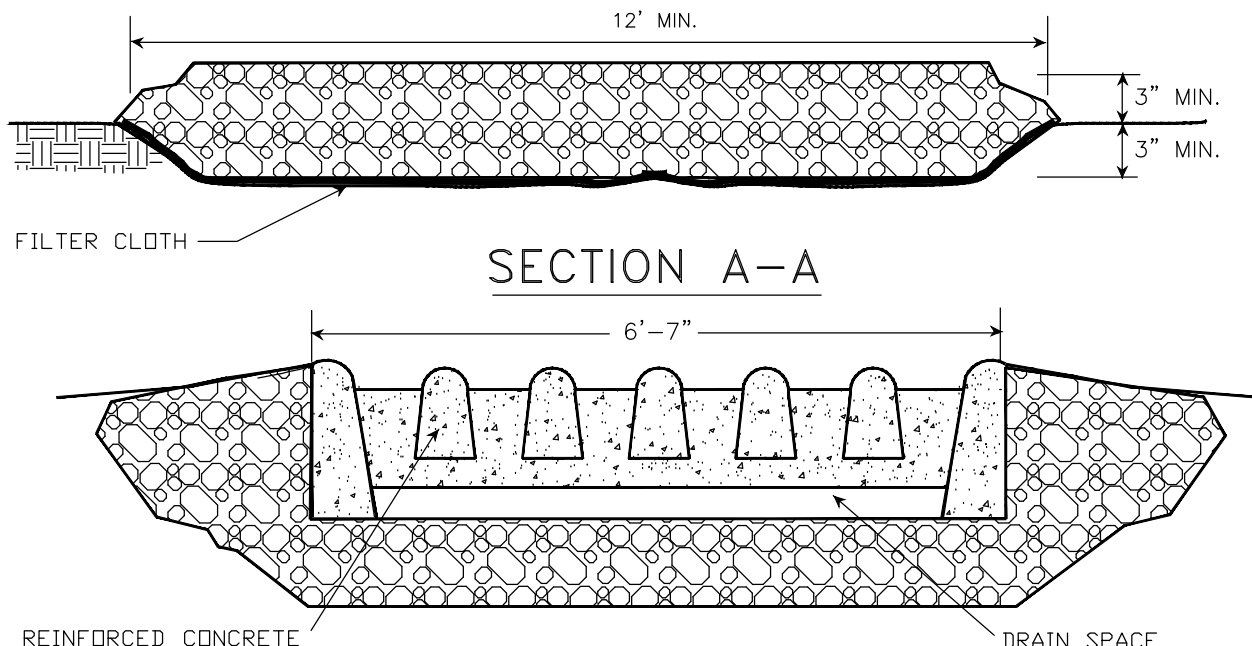
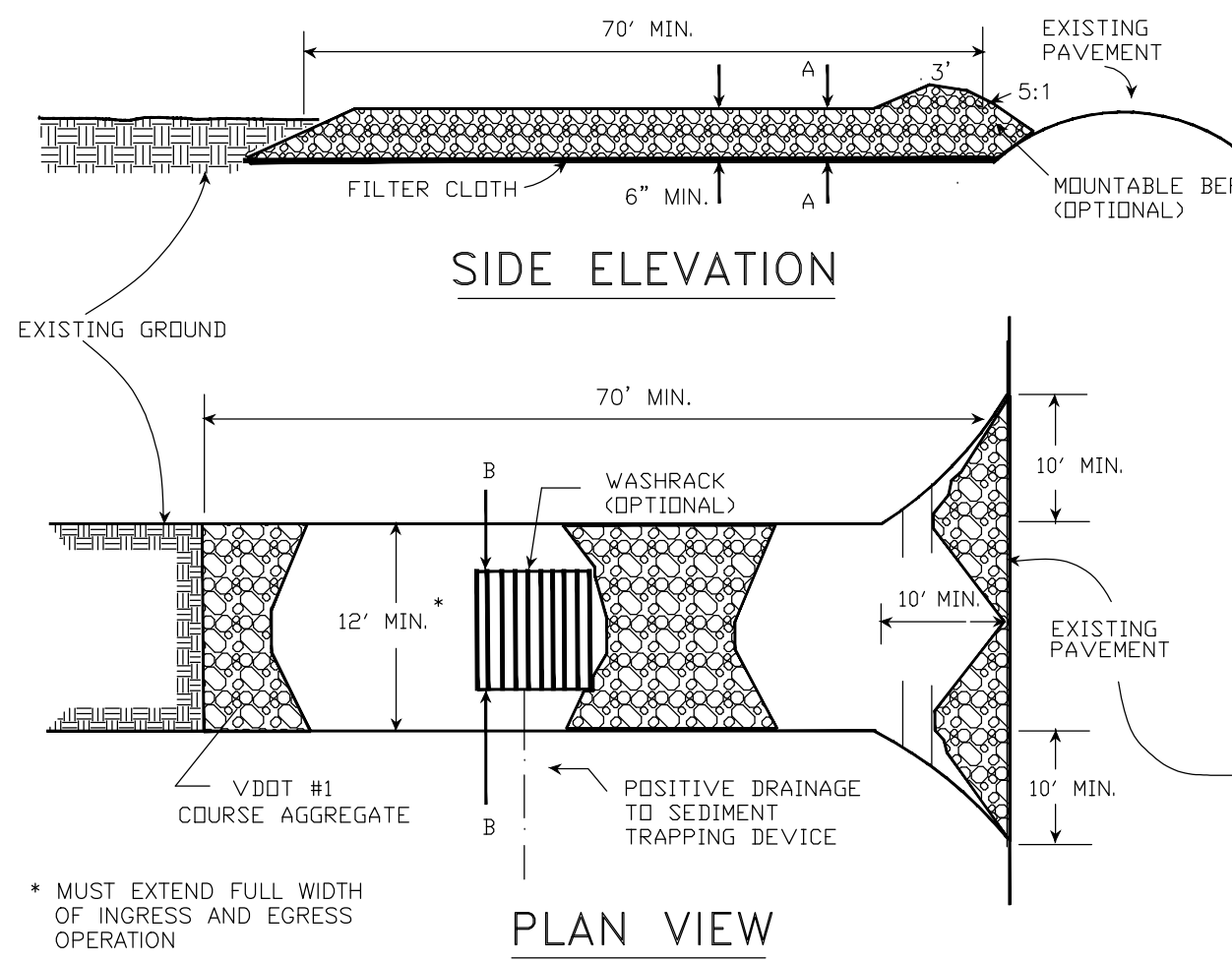


CROSS SECTION OF OUTLET



OUTLET (PERSPECTIVE VIEW)

11 TEMPORARY SEDIMENT TRAP (ST)
C16 Not To Scale



5 STONE CONSTRUCTION ENTRANCE (CE)
C16 Not To Scale

TABLE 3.35-A
ORGANIC MULCH MATERIALS AND APPLICATION RATES

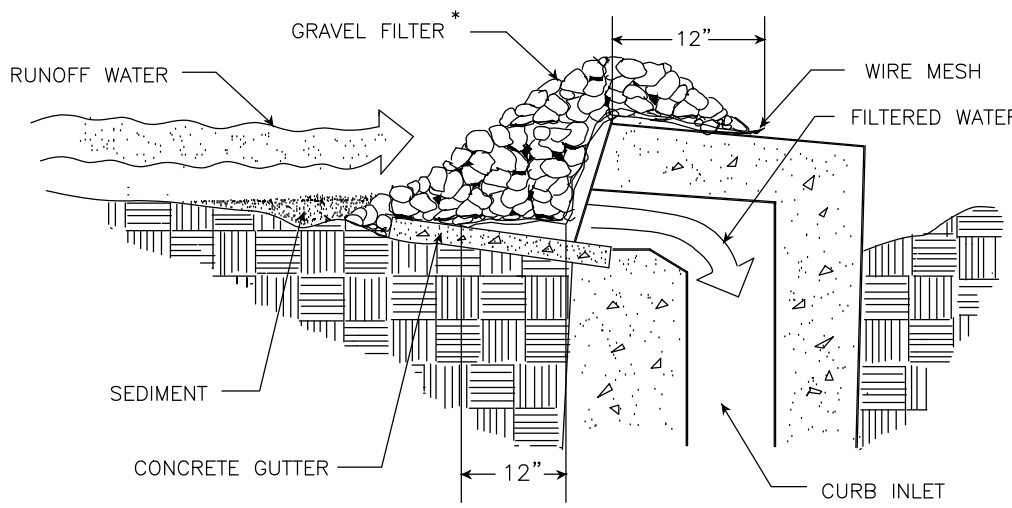
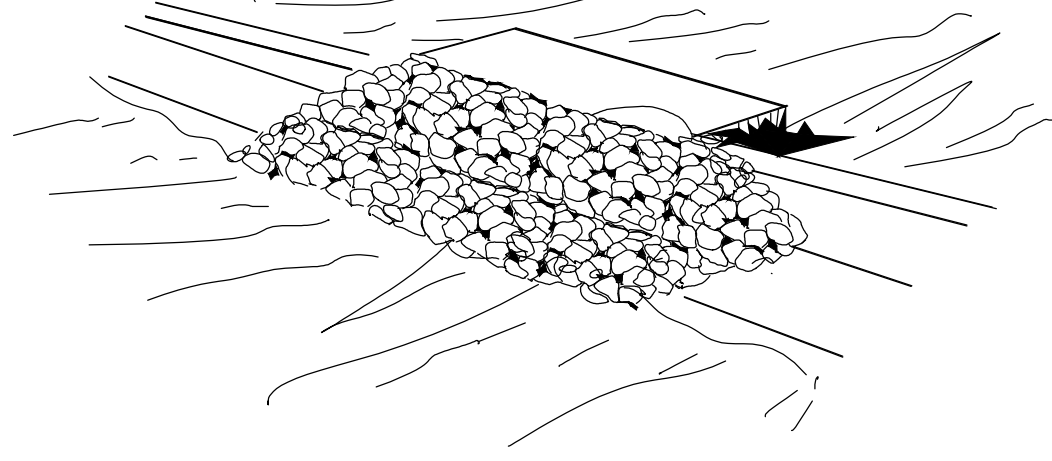
MULCHES:	RATES:		NOTES:
	Per Acre	Per 1000 sq. ft.	
Straw or Hay	1 1/2 - 2 tons (Minimum 2 tons for winter cover)	70 - 90 lbs.	Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand.
Fiber Mulch	Minimum 1500 lbs.	35 lbs.	Do not use as mulch for winter cover or during hot, dry periods.* Apply as slurry.
Corn Stalks	4 - 6 tons	185 - 275 lbs.	Cut or shredded in 4-6" lengths. Air-dried. Do not use in fine turf areas. Apply with mulch blower or by hand.
Wood Chips	4 - 6 tons	185 - 275 lbs.	Free of coarse matter. Air-dried. Treat with 12 lbs nitrogen per ton. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.
Bark Chips or Shredded Bark	50 - 70 cu. yds.	1-2 cu. yds.	Free of coarse matter. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.

* When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2000 lbs./ac. or 45 lbs./1000 sq. ft.

Source: Va. DSWC

6 MULCHING (MU)
C16 Not To Scale

GRAVEL CURB INLET SEDIMENT FILTER



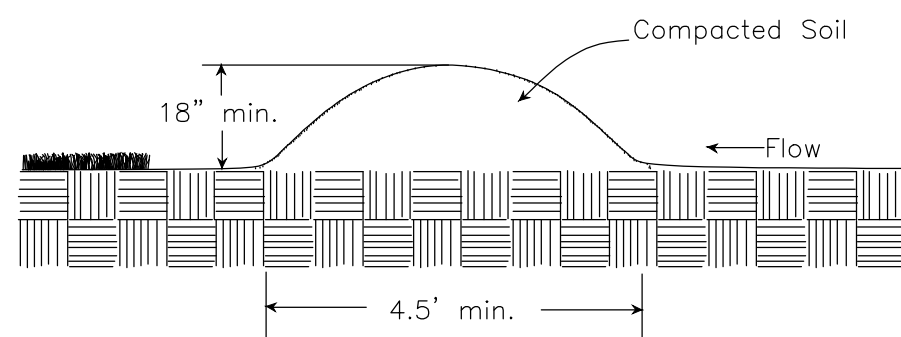
SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS NOT LIKELY TO CAUSE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

* GRAVEL SHALL BE VDOT #3, #357 OR 5 COARSE AGGREGATE.

7 INLET PROTECTION (IP)
C16 Not To Scale

TEMPORARY DIVERSION DIKE (DD)



10 TEMPORARY DIVERSION DIKE (DD)
C16 Not To Scale

EROSION CONTROL DETAILS

Rev #	Date	Description
1	7/1/14	Revisions Per City Comments
2	8/18/14	Revisions Per City Comments
3	8/18/14	Revisions Per City Comments
4	8/18/14	Revisions Per City Comments
5	8/18/14	Revisions Per City Comments
6	8/18/14	Revisions Per City Comments
7	8/18/14	Revisions Per City Comments
8	8/18/14	Revisions Per City Comments

SUBDIVISION PLAN FOR
WOODLAND DRIVE
CITY OF CHARLOTTESVILLE, VIRGINIA

Date	12/18/13
Scale	N/A
Sheet No.	C16 OF 16
File No.	13.026

SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT



PHONE: (434) 207-8086
JUSTIN@SHIMP-ENGINEERING.COM
201 E MAIN ST, SUITE M
CHARLOTTESVILLE, VA 22902

Prepared by: Nathan S. Koch, Esq. (VSB #80568)
Boyle, Bain, Reback & Slayton
420 Park Street
Charlottesville, VA 22902-4738

Parcel ID No.: 200023000, 200024000
Title Insurance: Unknown to preparer
Assessed Value: \$0
Consideration: \$10

This deed is exempt from recordation taxes and fees pursuant to Section 58.1-811C(4) of the *Code of Virginia*, as amended.

DEED OF VACATION

THIS DEED, made this 7th day of March, 2014, by and among the **CITY OF CHARLOTTESVILLE, VIRGINIA**, a municipal corporation, Grantor; and Earl H. **BURTON**, Grantee, whose address is 5858 Advance Mills Road, Ruckersville, VA 22968;

WITNESSETH:

That for and in consideration of the sum of **TEN DOLLARS (\$10.00)** cash in hand paid, receipt of which is hereby acknowledged, the Grantor does hereby close, vacate, release, quitclaim, and discontinue as a public street of the City of Charlottesville, Virginia, and convey unto the Grantees the real estate hereinafter described as follows:

ALL THAT certain part or parcel of land, being formerly a portion of the right of way comprising Woodland Drive, as shown on plat titled "Exhibit showing Portion of Woodland Drive to be vacated" and adjoining property owned by the Grantee, identified on the City Real Estate Tax Map 20 as Parcels 23 and 24, said portion of land to be COMBINED WITH and ADDED TO City of Charlottesville TMP No: 20-24.

This conveyance is made expressly subject to all easements, restrictions, conditions, and reservations contained in duly recorded deeds, plats, and other instruments constituting constructive notice in the chain of title to the property hereby conveyed, which have not expired by limitation of time contained therein or have not otherwise become ineffective. Grantor hereby

reserves unto itself a perpetual easement ten feet in width on either side of the center line of any water, gas, sanitary or storm sewer mains presently located in the area being vacated, including the perpetual right of ingress and egress over the vacated area for the purpose on installing, maintaining, repairing, or replacing such utility lines or mains.

As evidenced by the signature, following below, of a duly authorized attorney in the Office of the Charlottesville City Attorney, the form of this deed has been approved by the City Attorney.

WITNESS the following signatures and seals:

CITY OF CHARLOTTESVILLE, VIRGINIA, a
municipal corporation

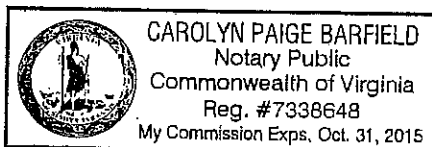
By: Satyendra Singh Huja (SEAL)
Satyendra Huja, Mayor

COMMONWEALTH OF VIRGINIA
CITY OF CHARLOTTESVILLE:

The foregoing Deed was acknowledged before me this 11th day of July, 2014,
by Satyendra Huja, as Mayor of the City of Charlottesville, Virginia.

Paige Barfield (SEAL)
Notary Public

My Commission Expires: Oct. 31, 2015
Notary Certificate Number: 7338648



APPROVED AS TO FORM:
Office of the City Attorney

By: Lisa Robertson
Title: Chief Deputy City Attorney

[signature page 1 of 2]

ACKNOWLEDGED AND AGREED:

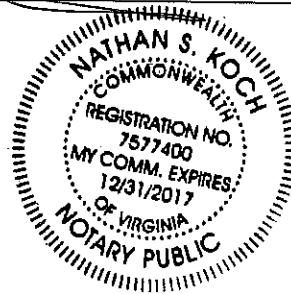
Earl H. Burton (SEAL)
EARL H. BURTON

COMMONWEALTH OF VIRGINIA
CITY OF CHARLOTTESVILLE:

The foregoing Deed was acknowledged before me this 29th day of April, 2014,
by Earl H. Burton.

[Signature] (SEAL)
Notary Public

My Commission Expires: 12/31/2017
Notary Certificate Number: 7577400



[signature page 2 of 2]

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT

**APPLICATION FOR APPROVAL OF
PRELIMINARY SITE PLAN**

PLANNING COMMISSION REGULAR MEETING
DATE OF PLANNING COMMISSION MEETING: October 14, 2014

Author of Staff Report: Carrie Rainey, RLA

Date of Staff Report: September 22, 2014

Project Name: 923 and 925 E. Market Street

Applicant: CMB Development, LLC

Applicant's Representative: Guy Blundon, CMB Development, LLC

Contact: Justin Shimp, Shimp Engineering

Applicable City Code Provisions: 34-800 - 34-827 (Site Plans), 34-867 (Landscape Plans)

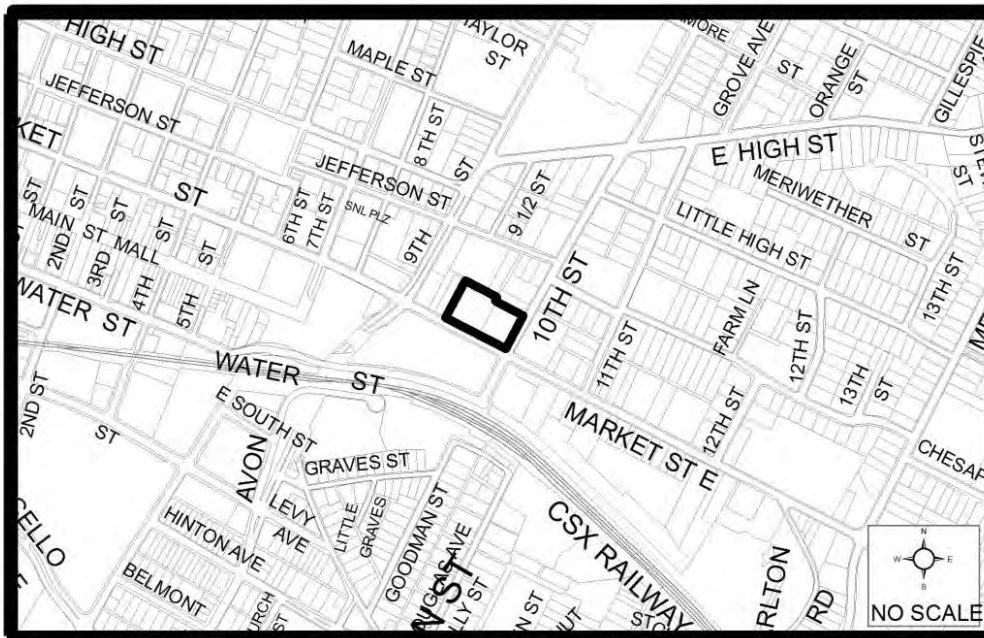
Zoning District: DN- Downtown North Mixed-Use Corridor

Date of Preliminary Site Plan Submission: June 25, 2013

Date of Site Plan Review Conference: July 17, 2013

Reason for Planning Commission Review: Section 34-820 requires the Planning Commission to review preliminary site plans submitted in connection with an existing or proposed special use permit.

Site Map



Legal Standard of Review

Approval of a site plan is a **ministerial** function, as to which the Planning Commission has little or no discretion. When an applicant has submitted a site plan that complies with the requirements of the City's Site Plan Ordinance, then approval of the plan **must** be granted. In the event the Planning Commission determines there are grounds upon which to deny approval of a site plan, the motion must clearly identify the deficiencies in the plan, that are the basis for the denial, by reference to **specific** City Code sections and requirements. Further, upon disapproval of a site plan, the Planning Commission must identify the modifications or corrections that would permit approval of the plan.

Executive Summary

Justin Shimp of Shimp Engineering, acting as agent for CMB Development has submitted a site plan for a mixed use building at 925 E. Market Street. The property at 923 E. Market Street will also be altered to provide access to the mixed use building. The properties are further identified on City Real Property Tax Map 53, Parcels 286 and 288.

The site plan proposes a new mixed use development with residential units, office space, and structured parking. The site is zoned DN (Downtown North Mixed-Use Corridor) and is approximately 0.63 acres. The plan indicates 56 new residential units. The plan indicates 16,157 square feet of office space and 1,400 square feet of restaurant space.

Site Plan Compliance

The preliminary site plan is currently under review, and the applicant will be required to comply with staff comments. There have been four rounds of review by City reviewers. Site plans are reviewed for compliance with city codes and standards. An overview of site plan requirements and the location of those items on the site are outlined below.

Site Plan Requirements

A. Compliance with applicable zoning district regulations

Downtown North - (*per Zoning Ordinance §34-596 -- §34-603*)

The project received a special use permit from City Council on October 7th, 2013 that permits up to 89 units per acre. The project complies with all regulations in the Downtown North zoning district.

B. Compliance with the City's Erosion and Sediment Control ordinance, City Code, Chapter 10:

The applicant's erosion and sediment control plan is currently under review, and the applicant will be required to comply with staff comments.

C. Compliance with General Standard for site plans (Sections 34-800 through 34-827)

Section 34-827 Preliminary site plan contents

1. General site plan information, including but not limited to project, property, zoning, site and traffic information: **Found on sheet C1.**
2. Existing conditions and adjacent property information: **Found on sheet C2.**
3. Demolition Plan: **Demolition Plan provided on sheet C2.**
4. Proposed use, building, improvements, site plan layout and offsite improvements: **Found on sheets C3, C4, C5, and C6.**
5. Written schedules or data as necessary to demonstrate that the site can accommodate the proposed use: **Found on sheet C1.**
6. Phase lines: **Project to occur in one phase.**
7. Proposed conceptual layout for water and sanitary sewer facilities and storm drain facilities including:

Drainage Plan: **Found on sheets C3, C4, C5, and C6.**

Utility Plan: **Found on sheets C3, C4, C5, and C6.**

8. Landscape plan: **Found on sheets C4 and C6.**
9. For proposed signs: **The signs for this development will be submitted to the zoning administrator under separate application.**

D. Additional information to be shown on the preliminary site plan as deemed necessary by the director or Commission in order to provide sufficient information for the director or Commission to adequately review the preliminary site plan.

No additional information has been required.

E. Compliance with Additional Standards for Specific Uses (*Site Plan Ordinance §§34-930 – 34-934*)

- Section 34-930 Car washes: **This site does not contain a car wash.**
- Section 34-931 Gas Stations: **This site does not contain a gas station.**
- Section 94-932 Dumpsters: **This site does not contain a dumpster.**
- Section 34-933 Animal shelters, boarding facilities and hospitals: **This site does not contain an animal shelter, boarding facility or hospital.**
- Section 94-934 Parking garages: **This site does contain a parking garage, however, the zoning administrator has issued a ruling this section only applies to standalone parking structures.**

Public Comments Received

A site plan conference was held on July 17, 2013. No comments specific to the site plan were received.

Recommendation

Staff recommends approval of the preliminary site plan for 923 and 925 E. Market Street with the condition that the items below be addressed and submitted as part of the final site plan submittal.

1. The concept of the stormwater facilities is acceptable however additional information will be needed during the final plan submission with regards to access and maintenance. The access has been provided as requested, however there are still concerns about the ability to maintain the facility due to space constraints. It will need to be demonstrated that the appropriate equipment will actually be able to fit in the garage to pull the Bayfilter cartridges and that a vacuum truck will be able to service the vault.
2. Please verify that the Bayfilter has been accepted by the state. Per the new stormwater regulations, proprietary BMP's that have not received state approval cannot be used.
3. For final plans, the stormwater calculations need to take into account all area within the Limits of Disturbance. It appears that only water quality is being provided for the site at 925 E. Market but should include the offsite disturbance as well.
4. For final submittal, please provide all analysis used in calculating the energy balance equation and show all pre and post development calculations for each storm event.
5. The approach to install a 6' doghouse manhole and new curb inlet will be reviewed in more detail during the final plan submission when existing inverts and more detail is provided. There is concern that this approach may not be constructible. Also, a new structure will need to be installed where the existing structure #3 is currently located. This may also be included in the final plans.
6. Regarding the existing BMP, staff has been unable to find plans for TMP 53-288, however it appears that this is some sort of rain garden. The proposed design shows that this rain garden will be paved over. The removal of the existing BMP and loss of water quality will need to be accounted for in the water quality calculations during final plan stage.
7. The Traffic Impact Assessment may be completed during final site plan development. Scoping can be discussed at that time. The assessment is required before final approval.
8. For the final site plan, please include both long term bicycle storage facilities (per Sec. 34-881) and short-term bicycle parking facilities to the site plan. Please show these improvements in a "Details Sheet."
9. Calculation of the fire flow required for the site shall be shown on the site plan. Also, verification that the needed fire flow (NFF) is available on site shall be noted on the site plan. The minimum required fire flow for all buildings, with the exception of one and two-family dwellings, is 1500 gpm (sprinkler protected or non-sprinkler protected in accordance with the International Fire Code – Section B105.2 and Table B105.1.

WATER:

10. Please provide the calculations for sizing the water meter.

11. The relocation of the water line will require a shutdown of the 12" line in 10th Street. The contractor will be required to provide notification to all impacted residents and businesses. Please add a note to the plans indicating such and that the contractor will have to coordinate with public utilities to schedule and plan the disruption.
12. Adjust the alignment of the relocated waterline such that the fire line connection comes off the waterline perpendicular to the building.
13. The relocated portion of the waterline will require a profile. I highly recommend verifying the depth of the waterline during design phase to determine if it will be in conflict with the proposed storm pipes.

SEWER:

14. A cleanout will be required on the lateral at the property line.



P.O. Box 78
Charlottesville, VA 22902
(434) 977-2791
(434) 977-0593 (FAX)

925 EAST MARKET STREET
CHARLOTTESVILLE, VIRGINIA

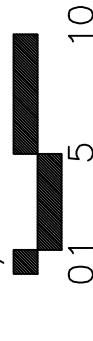
CHARLOTTESVILLE, VIRGINIA

REVISIONS	
NO	DESCRIPTION DATE

REVISIONS

TERRACE
FLOOR PLAN5,052 s.f
COMMERCIAL

SCALE $1/8" = 1'-0"$



DATE 8-13-14

DWN BY JDB

CHECKED BY RJFJR

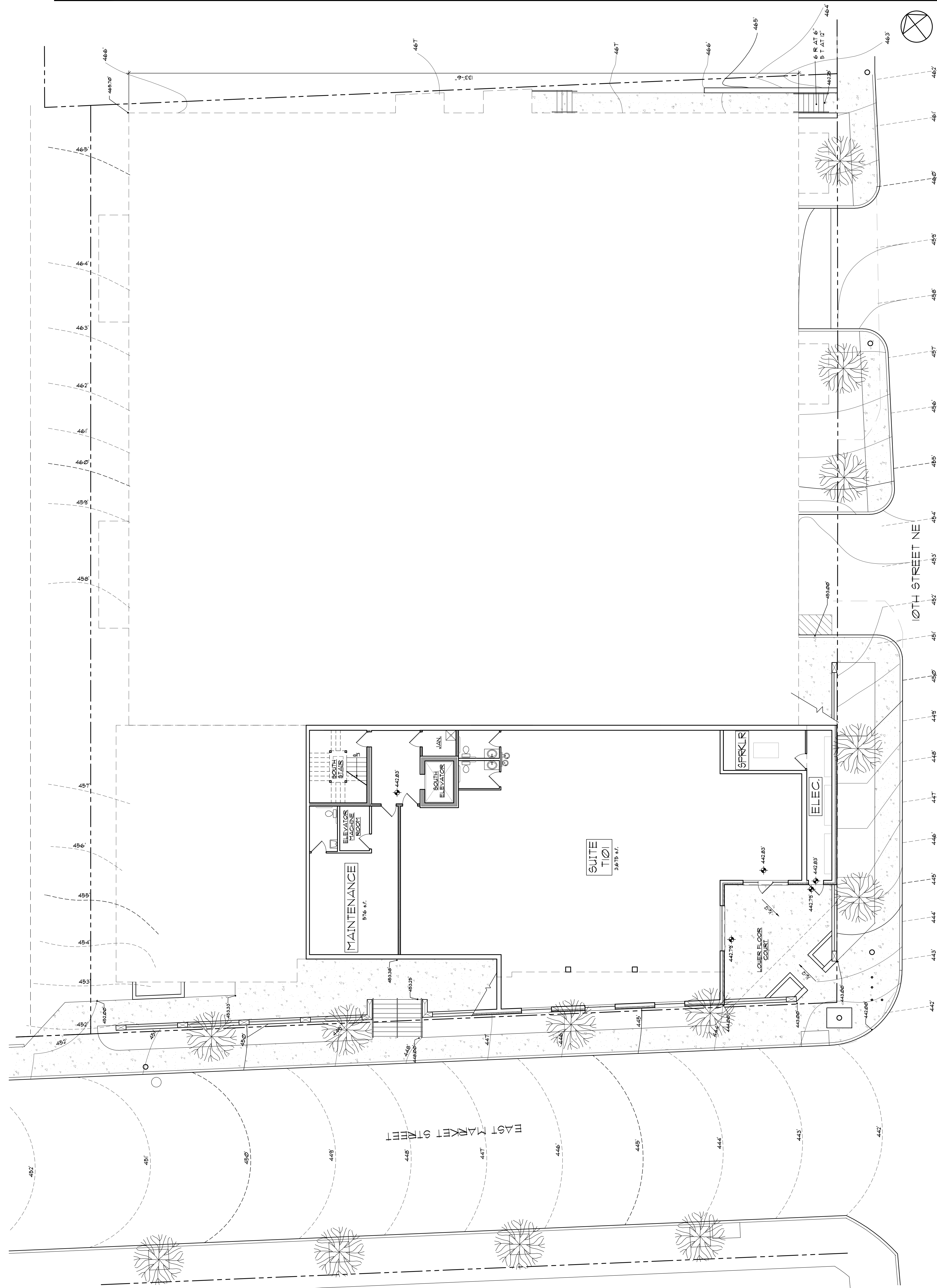
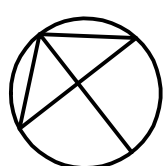
PROJECT NO

V130.

DRAWING NO

1
A

OF 16



dbf

Associates
Architects

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(434) 977-0593 (FAX)

925 EAST MARKET STREET
CHARLOTTESVILLE, VIRGINIA

NO	DESCRIPTION	DATE
----	-------------	------

REVISIONS
GROUND
FLOOR PLAN

6,455 s.f.
COMMERCIAL
16,368 s.f.
PARKING

SCALE
1/8" = 1'-0"

DATE 8-13-14

DWN BY JDB

CHECKED BY RJFJR

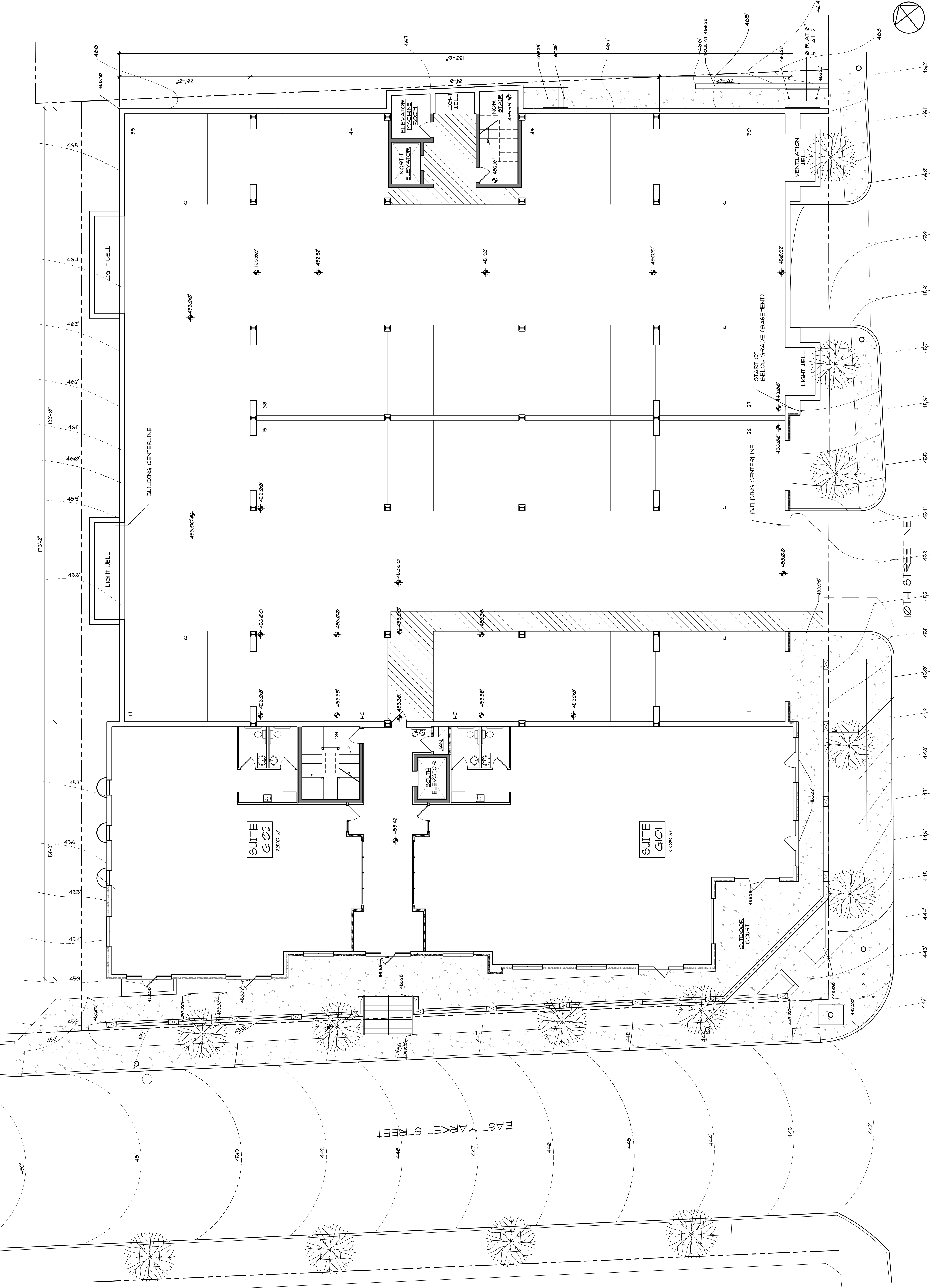
PROJECT NO

V1302

DRAWING NO

A2

OF 16



dbf

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Architects

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Charlottesville, VA 22902
(434) 977-2791
(434) 977-0593 (FAX)

925 EAST MARKET STREET
CHARLOTTESVILLE, VIRGINIA

NO DESCRIPTION DATE

REVISIONS

FIRST FLOOR
PLAN

6,455 s.f.
COMMERCIAL
16,368 s.f.
PARKING

SCALE
1/8" = 1'-0"

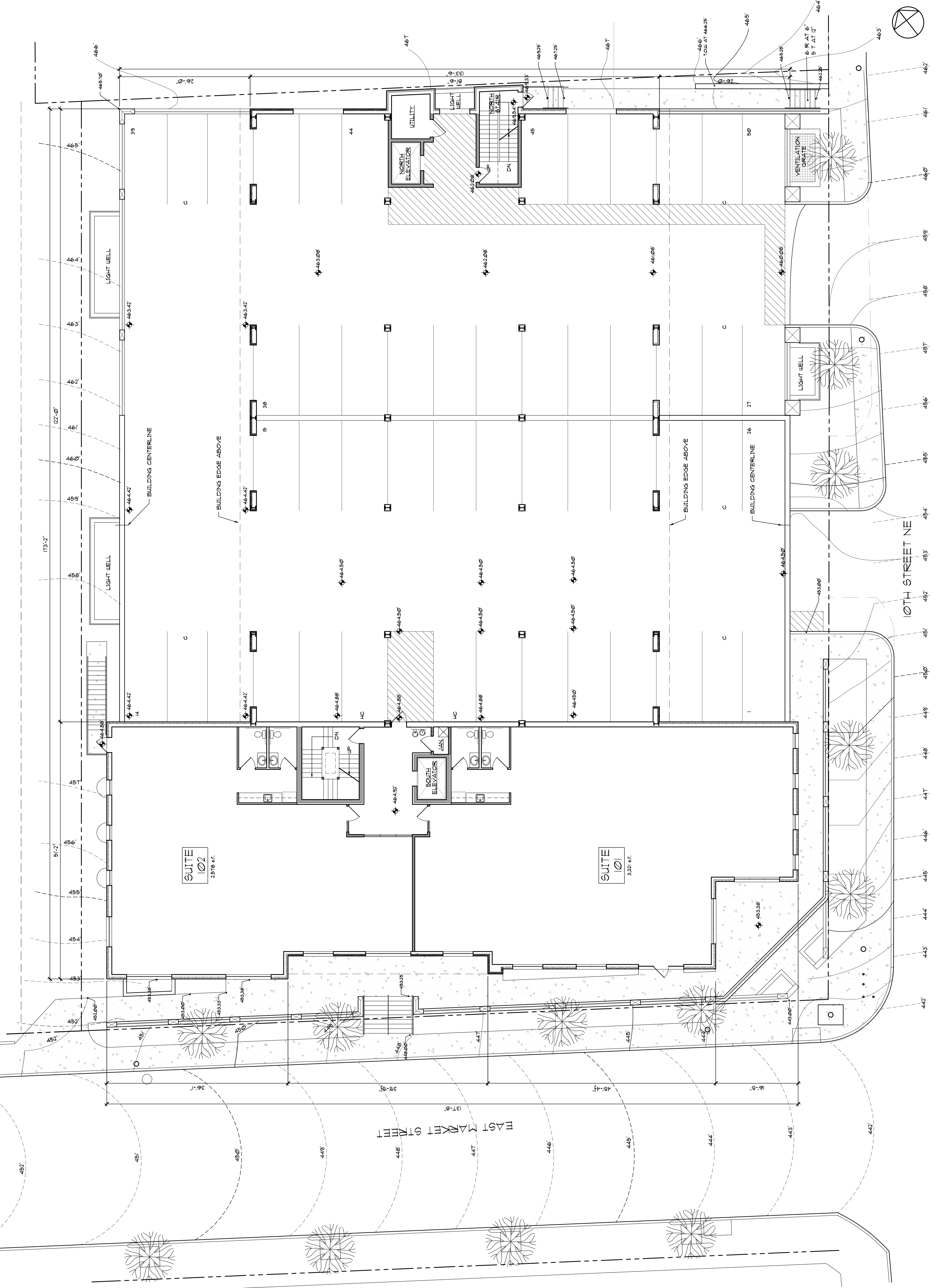
DATE 8-13-14
DWN BY JDB
CHECKED BY RJUJR

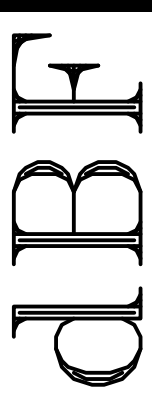
PROJECT NO
V1302

DRAWING NO

A3

OF 16





Associates
Architects

P.O. Box 78
Charlottesville, VA 22902
(434) 977-2791
(434) 977-0593 (FAX)

925 EAST MARKET STREET
CHARLOTTESVILLE, VIRGINIA

NO DESCRIPTION DATE

REVISIONS

SECOND FLOOR PLAN

5,356 s.f.
COMMERCIAL
10,313 s.f.
RESIDENTIAL

SCALE

1/8" = 1'-0"

01 5 10

DATE 8-13-14

DWN BY JDB

CHECKED BY RJFJR

PROJECT NO

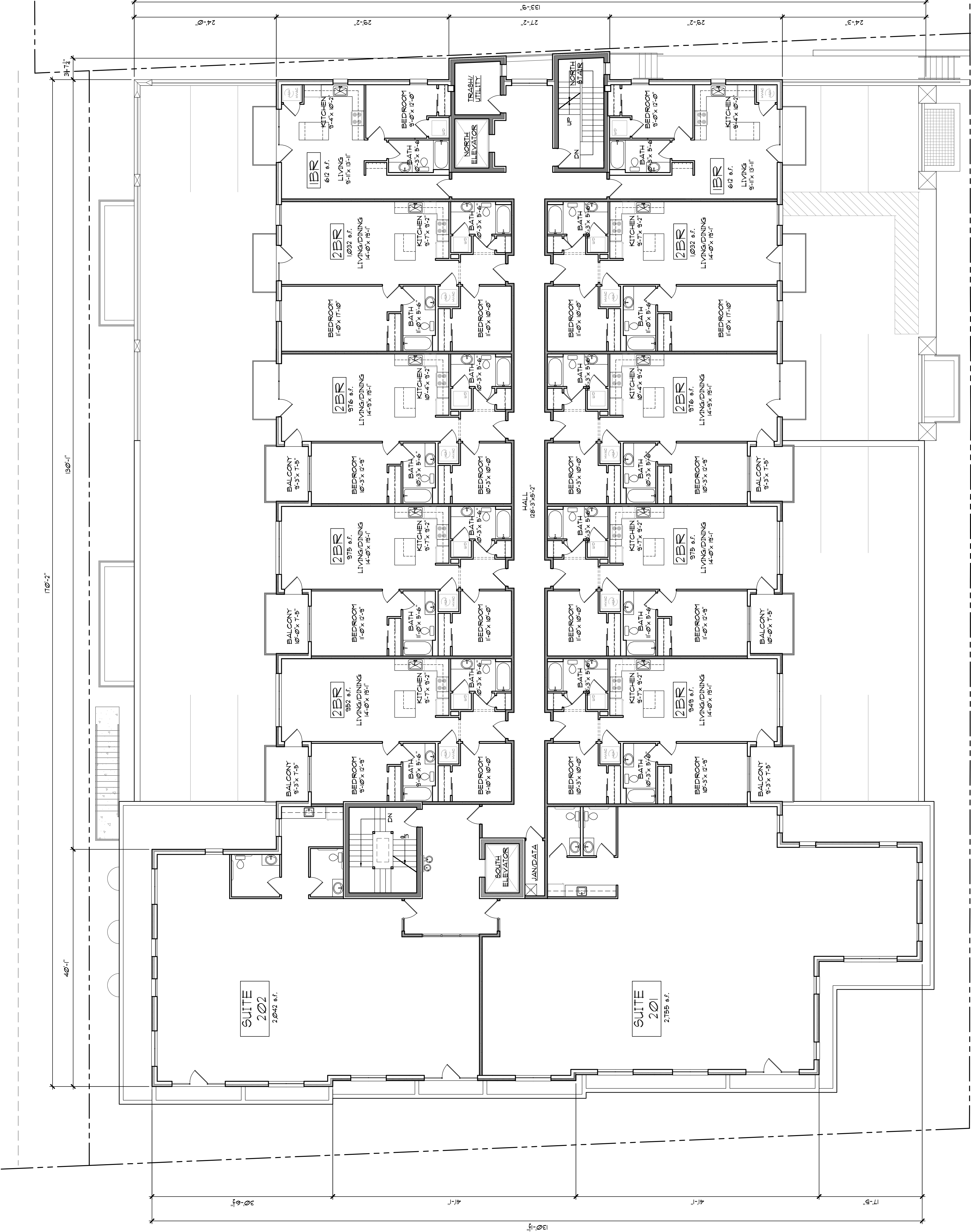
V1302

DRAWING NO

A4

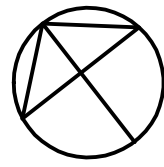
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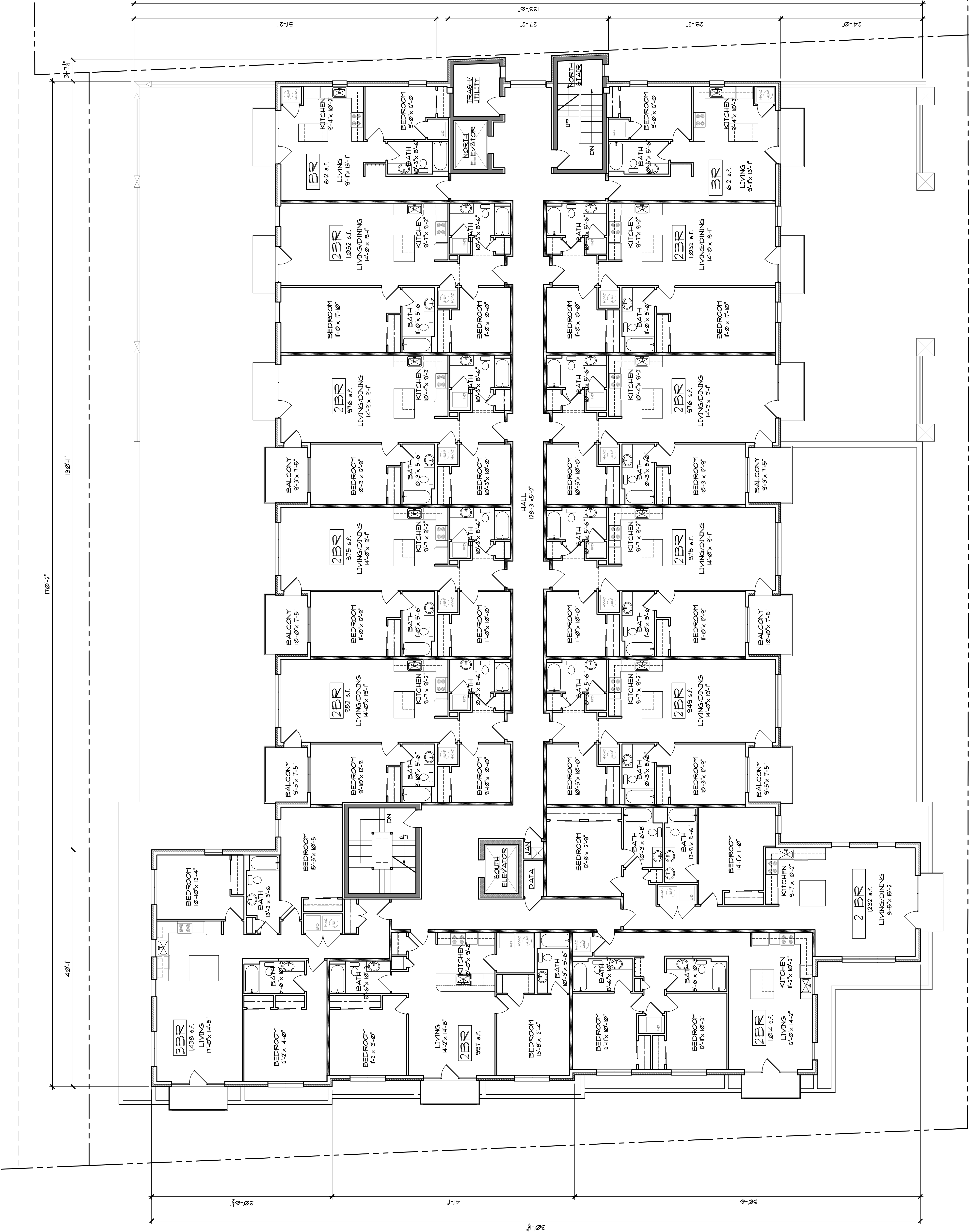
16



UNIT SUMMARY

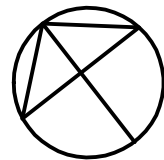
	STUDIO	1 BR	1 BR/DEN	2 BR	2 BR/DEN	3 BR	TOTAL UNITS	TOTAL BEDROOMS
2nd FLOOR	0	2	0	0	0	0	10	18
3rd FLOOR	0	2	0	0	0	0	14	27
4th FLOOR	0	2	0	0	0	0	14	27
TOTAL	0	6	0	0	0	0	38	72





UNIT SUMMARY

	STUDIO	1 BR	1 BR/DEN	2 BR	2 BR/DEN	3 BR	TOTAL UNITS	TOTAL BEDROOMS
2nd FLOOR RESIDENTIAL	0	2	0	0	0	0	0	0
3rd FLOOR RESIDENTIAL	0	2	0	11	0	1	14	27
4th FLOOR RESIDENTIAL	0	2	0	11	0	1	14	27
5th FLOOR RESIDENTIAL	0	2	0	11	0	1	14	27
TOTAL	0	6	0	41	0	3	52	99



dbf

Associates
Architects

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Charlottesville, VA 22902
(434) 977-2791
(434) 977-0593 (FAX)

925 EAST MARKET STREET
CHARLOTTESVILLE, VIRGINIA

NO DESCRIPTION DATE

REVISIONS

FIFTH FLOOR
PLAN

15,696 sq
RESIDENTIAL

SCALE
1/8" = 1'-0"

DATE 8-13-14

DWN BY JDB

CHECKED BY RJFJR

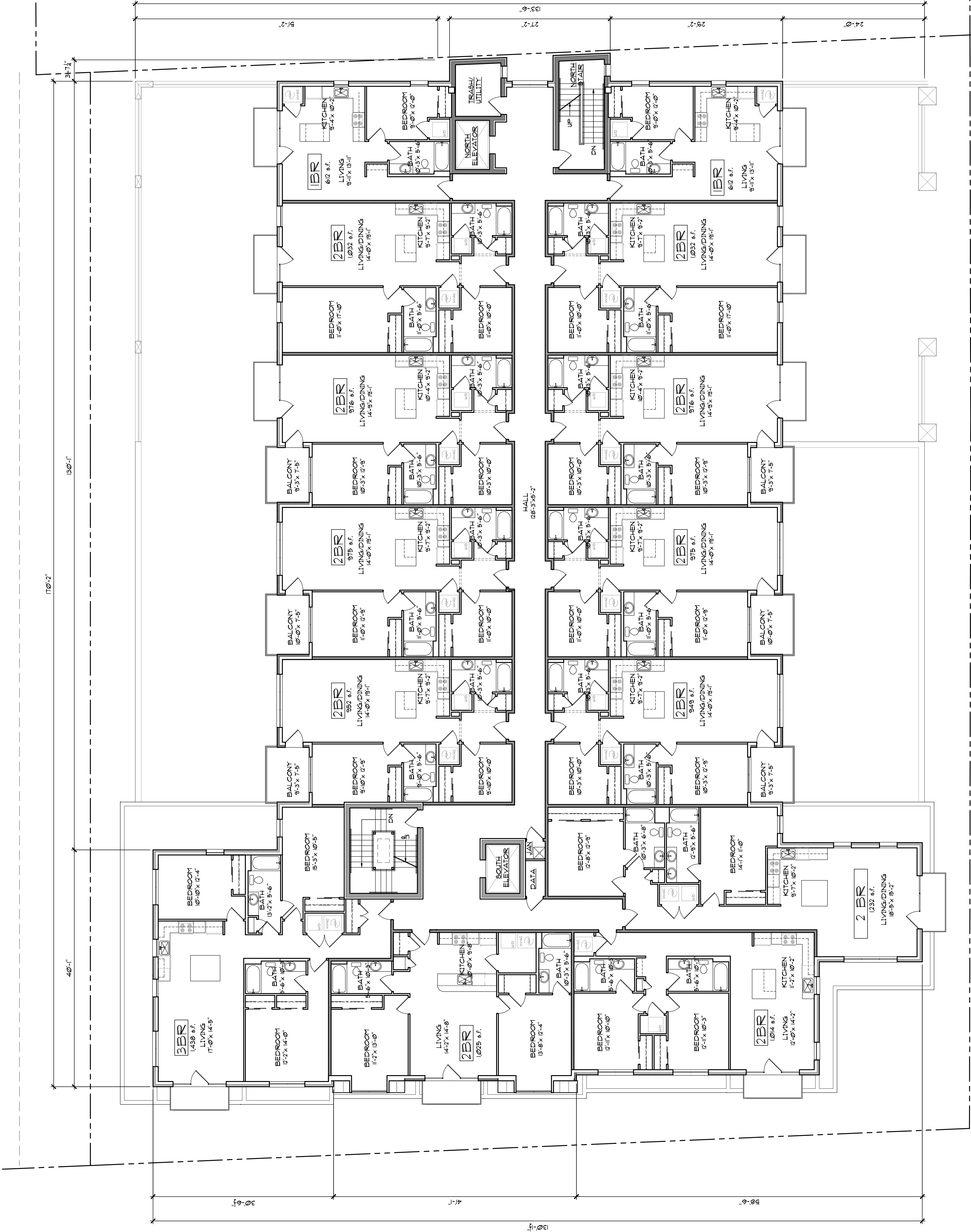
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V1302

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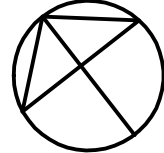
A6

OF 16



UNIT SUMMARY

	STUDIO	1 BR	1 BR/DN	2 BR	2 BR/DN	3 BR	TOTAL UNITS	TOTAL BEDROOMS
2nd FLOOR	0	2	0	0	0	0	10	18
3rd FLOOR	0	2	0	0	0	1	14	27
4th FLOOR	0	2	0	0	0	1	14	27
5th FLOOR	0	2	0	0	0	1	14	27
TOTAL	0	8	0	0	0	3	52	99



PRELIMINARY SITE DEVELOPMENT PLAN FOR
923 & 925 EAST MARKET STREET
TAX MAP 53, PARCELS 286 & 288
CITY OF CHARLOTTESVILLE, VIRGINIA

APPROVALS:

DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES DATE

SIGNS

All signs and pavement markings shall conform with the MUTCD Guidelines.

FIRE MARSHALL'S NOTES

The closest known existing City fire hydrant is located on the corner of E Market St & 10th Street NE at the "Ten Market Condo Building" of 100 10th Street NE.

SITE PLAN:

1. IFC 505--The building street number to be plainly visible from the street for emergency responders.
2. IFC 506.1--An approved key box shall be mounted to the side of the front or main entrance.
3. Overhead wiring or other obstructions shall be higher than 13 feet 6 inches.
4. Landscaping installed in the area of fire department connections shall be of the type that will not encroach on the required five (5) foot radius on maturity of the landscaping.

CONSTRUCTION & DEMOLITION:

1. IFC 1404.1 -- Smoking to be allowed in only designated spaces with proper receptacles.
2. IFC 1404.2 -- Waste disposal of combustible debris shall be removed from the building at the end of each workday.
3. IFC 1410.1--Access to the building during demolition and construction shall be maintained.
4. IFC 1404.6 -- Operations involving the use of cutting and welding shall be done in accordance with Chapter 26, of the Virginia Statewide Fire Prevention Code, addressing welding and hotwork operations.
5. IFC 1414.1--Fire extinguishers shall be provided with not less than one approved portable fire extinguisher at each stairway on all floor levels where combustible materials have accumulated.
6. Required vehicle access for fire fighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections, if any.
7. Fire hydrants, fire pump test header, fire department connections or fire suppression system control valves shall remain clear and unobstructed by landscaping, parking, or other objects.
8. An approved water supply for fire protection shall be made available as soon as combustible material arrives on the site.
9. If the floor level of the highest story is more than 30 feet above the lowest level of fire department vehicle access, then a Class I standpipe system must be installed in addition to the sprinkler system.
10. Where a building has been constructed to a height greater than 50 feet or four (4) stories, at least one temporary lighted stairway shall be provided unless one or more of the permanent stairways are erected as the construction progresses.
11. Buildings four or more stories in height shall be provided with not less than one standpipe for use during construction. Such standpipes shall be installed when the progress of construction is not more than 40 feet in height above the lowest level of fire department access. Such standpipe shall be provided with fire department hose connections at accessible locations adjacent to usable stairs. Such standpipes shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring.

CRITICAL SLOPES

There are no critical slopes on this site.

FLOOD ZONE

According to the FEMA Flood Insurance Rate Map, effective date February 4, 2005 (Community Panel 51003C0288D), this property does not lie in a Zone A 100--year flood plain.

CITY PERMITS

1. The contractor shall be responsible for obtaining a street cut permit from the City.
2. The contractor shall be responsible for obtaining a temporary street closure permit from the City if required prior to construction activities.

PARKING SCHEDULE

Required Parking:

Commercial:

- 1 space per 500 SF of GFA of Office Space. -- 16,157/500 = 33 Spaces Req.
- 1 space per 250 SF of Restaurant Seating Area (Coffee Shop) -- 1,400/250 = 6 Spaces Req.

Residential:

- 1 space per 1-2 bedroom residential unit. = 52 Units X 1 = 52 Spaces Req.
- 2 spaces per 3-4 bedroom residential unit. = 4 Units x 2 = 8 Spaces Req.

Handicap Parking: 2 Spaces Per 50 Total Req. = 100/50 = 2X2 = 4 Spaces of Total in HC Req.

Total Required: 99 Spaces

Provided Parking:

- 50 spaces on lower parking deck & 50 spaces on upper parking deck.
- 100 Spaces Total Provided.
- Includes 4 spaces as Van Handicap Accessible.
- Includes 12 as Compact Spaces (8'X18') = 12% of Total (Designated with a "C" on the plan)

ELECTRIC / TELEPHONE / CABLE TV

If feasible, all new service lines for electricity, telephone and cable TV are to be installed underground. Care is to be taken to assure their location does not conflict with any other aspects of the proposed site plan.

ITE TRIP GENERATION

Use Description	ITE	Qty	Daily	In	Out	In	Out
Apartment	220	56	463	6	25	31	17
Commercial Office	710	20.053	388	47	6	17	8
Total			851	53	31	49	101
			19	0	0	1	1
Total 5+ trips After Reductions			831	53	31	48	100
Total Trips			831	53	31	48	100
Total Peak			831	84		148	

NOTE:

Trip generation per standard ITE tables reflecting suburban areas.
Please see attached letter for details.

OWNER

923 E. Market St, LLC.
923 E. Market St.
Charlottesville, VA 22902

DEVELOPER

Guy Blundon
OMB Development, LLC.
P.O. Box 54
Somerset, VA 22972

ZONING

DN -- Downtown North

LEGAL REFERENCE

Tax Map 53 Parcel 286 -- DB 2011 PG 2940
Tax Map 53 Parcel 288 -- DB 2011 PG 2940

BENCHMARK

TBM#1: P.K. Nail Set in Pavement. Elevation=463.50'

SOURCE OF BOUNDARY & TOPO

Boundary and Topographic Survey provided by:
Kirk Hughes & Associates
Land Surveyors & Planners
220 East High Street
Charlottesville, Virginia 22902
(434) 296-6942

A title report was not provided. All easements and encumbrances may not be shown on this plan.

BUILDING HEIGHT

Minimum Height = 2 Stories
Maximum Height = 5 Stories (Primary Street), 3 Stories (Linking Street)

SETBACKS

Front: No Min. 15' Max.
Side: None
Rear: None

EXISTING USE

Child Daycare & Automotive Repair Shop

PROPOSED USE

Residential, Professional Offices, & Coffee Bar

Residential Density = 56 Units/0.632 Acs. = 88.6 Units Per Acre
43 DUA Is Allowed By-Right. A Special Use Permit Has Been
Approved By City Council on 10/7/2013 To Allow The Proposed
Higher Density To Not Exceed 89 DUA.

LAND USE SCHEDULE

PORTION OF EXISTING BOB'S WHEEL ALIGNMENT (TMP 53-288)			NEW MIXED USE BUILDING (TMP 53-286)		
EXISTING	Area	%	EXISTING	Area	%
Building	0 SF	0.0%	Building	11,065 SF	36.1%
Concrete	758 SF	9.9%	Concrete	1,840 SF	6.0%
Pavement	6,917 SF	90.1%	Pavement	6,317 SF	20.6%
Impervious area	7,675 SF	100%	Impervious area	19,222 SF	62.8%
Open space	0 SF	0.0%	Gravel	1,568 SF	5.1%
Total=	7,675 SF (0.18 ac.)		Open space	9,831 SF	32.1%
			Total=	30,621 SF (0.70 ac.)	
PROPOSED	Area	%	PROPOSED	Area	%
Building	0 SF	0.0%	Building	23,177 SF	75.7%
Concrete	371 SF	4.9%	Concrete	3,821 SF	12.5%
Pavement	6,479 SF	84.4%	Pavement	909 SF	3.0%
Impervious area	6,850 SF	89.3%	Impervious area	27,907 SF	91.2%
Open space	825 SF	10.7%	Open space	2,714 SF	8.8%
Total=	7,675 SF (0.18 ac.)		Total=	30,621 SF (0.70 ac.)	

Total Area To Be Disturbed = 0.18 Acres

Total Area To Be Disturbed = 0.70 Acres

LANDSCAPING

See detail 4 on sheet C6 for the proposed landscaping schedule and requirements.

WATER & SANITARY SERVICES

1. All materials used for water and sanitary sewer service lines are to comply with requirements as outlined in both the BOCA Code and the regulations used by the Department of Public Works for the City of Charlottesville.
2. Water and sewer layouts shown are preliminary and subject to approval by city engineering and utility division.
3. The contractor shall be responsible for locating the existing sanitary lateral at the time of demolition. The contractor shall also abandon the line at the sanitary main within E Market St.
4. The contractor shall demolish the existing water meter and service line to the main in E Market St.

SHEET INDEX

- SHEET C1 - COVER SHEET
SHEET C2 - EXISTING TOPOGRAPHY & DEMOLITION
SHEET C3 - SUB BASEMENT SITE AND UTILITY PLAN
SHEET C4 - LEVEL 1 PARKING, SITE, AND UTILITY PLAN
SHEET C5 - LEVEL 2 PARKING, SITE, AND UTILITY PLAN
SHEET C6 - ADJACENT PARKING IMPROVEMENTS
SHEET C7 - SITE DETAILS

VICINITY MAP SCALE: 1"=500'



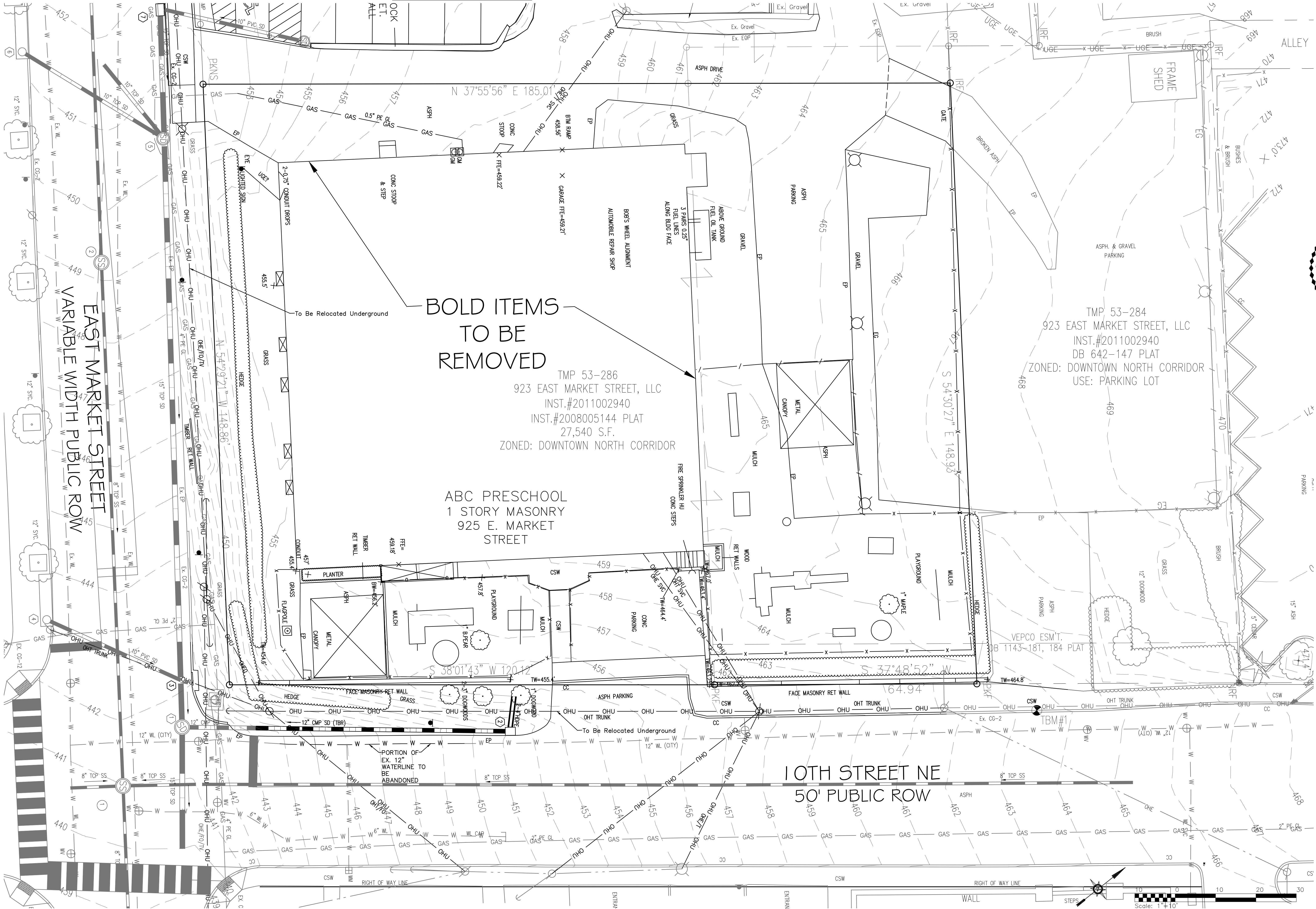
NOTES

1. All excavation for underground pipe installation must comply with OSHA Standards for the Construction Industry (29 CFR Part 1926).
2. The location of existing utilities across or along the line of the proposed work are not necessarily shown on the plans and where shown based on "MISS UTILITY" markings and are only approximately correct. The contractor shall locate all underground lines and structures as necessary.
3. The contractor shall verify the locations of all boundaries, buildings, existing elevations, vegetation and other pertinent site elements. Contractor shall immediately report any discrepancies to the engineer of record.
4. The contractor shall be responsible for notifying "MISS UTILITY" -- 1-800-552-7001.
5. Any damage to existing utilities caused by the contractor or its subcontractors shall be the contractor's sole responsibility to repair. This expense is the contractor's responsibility.
6. All paving, drainage related materials and construction methods shall conform to current specifications and standards of the City of Charlottesville unless otherwise noted. Where City specifications do not address a particular item, then materials and/or construction for that item shall conform to VDOT specifications.
7. Erosion and siltation control measures shall be provided in accordance with the approved erosion control plan and shall be installed prior to any clearing, grading or other construction.
8. All slopes and disturbed areas are to be fertilized, seeded and mulched. The maximum allowable slope is 2:1. Where it is reasonably obtainable, lesser slopes of 3:1 or better are to be achieved.
9. Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the Engineer it is deemed necessary in order to stabilize a drainage channel.
10. All traffic control signs shall conform to the Virginia Manual for Uniform Traffic Control Devices.
11. Unless otherwise noted all concrete pipe shall be reinforced concrete pipe -- Class III.
12. All material inside concrete forms shall be clean and free of all rocks and other loose debris. Sub--base material shall be compacted by mechanical means. Remove all standing water from area inside forms.
13. Concrete and asphalt shall not be placed unless the air temperature is at least 40 degrees in the shade and rising. Material shall not be placed on frozen subgrade.
14. All existing curbs, curb and gutters and sidewalks to be removed shall be taken out to the nearest joint.
15. Existing asphalt pavement shall be saw cut and removed as per the specifications. Removal shall be done in such a manner as to not tear, bulge or displace adjacent pavement. Edges shall be clean and vertical. All cuts shall be parallel or perpendicular to the direction of traffic.
16. The contractor shall exercise care to provide positive drainage to the storm inlets or other acceptable drainage paths in all locations.
17. Contact information for any necessary inspections with City:
E&S inspector, NDS-- 970-3182 (for the E&S inspections)
Project Inspectors, NDS-970-3182 (for other construction items like sidewalk, pavement patches, road, storm sewer etc)
Water and Sanitary Sewer--Public Works 970-3800
Street cut, Public Works 970-3800
Other public ROW issues--City Engineer 970-3182.
18. Any sidewalk and/or curb damage identified in the site vicinity due to project construction activities as determined by City inspector shall be repaired at the contractor's expense.
19. A Temporary Street Closure Permit is required for closure of sidewalks, parking spaces, and roadways and is subject to approval by the City Traffic Engineer.



COVER SHEET

REFER TO SHEET C6



**BOLD ITEMS
TO BE
REMOVED**

TMP 53-286
923 EAST MARKET STREET, LLC
INST.#2011002940
INST.#2008005144 PLAT
27,540 S.F.
ZONED: DOWNTOWN NORTH CORRIDOR

ABC PRESCHOOL
1 STORY MASONRY
925 E. MARKET
STREET

TMP 53-284
923 EAST MARKET STREET, LLC
INST.#2011002940
DB 642-147 PLAT
ZONED: DOWNTOWN NORTH CORRIDOR
USE: PARKING LOT

10TH STREET NE
50' PUBLIC ROW

SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
201 E. MAIN ST., SUITE M
CHARLOTTEVILLE, VA 22902
PHONE: (434) 207-8086
JUSTIN@SHIMP-ENGINEERING.COM



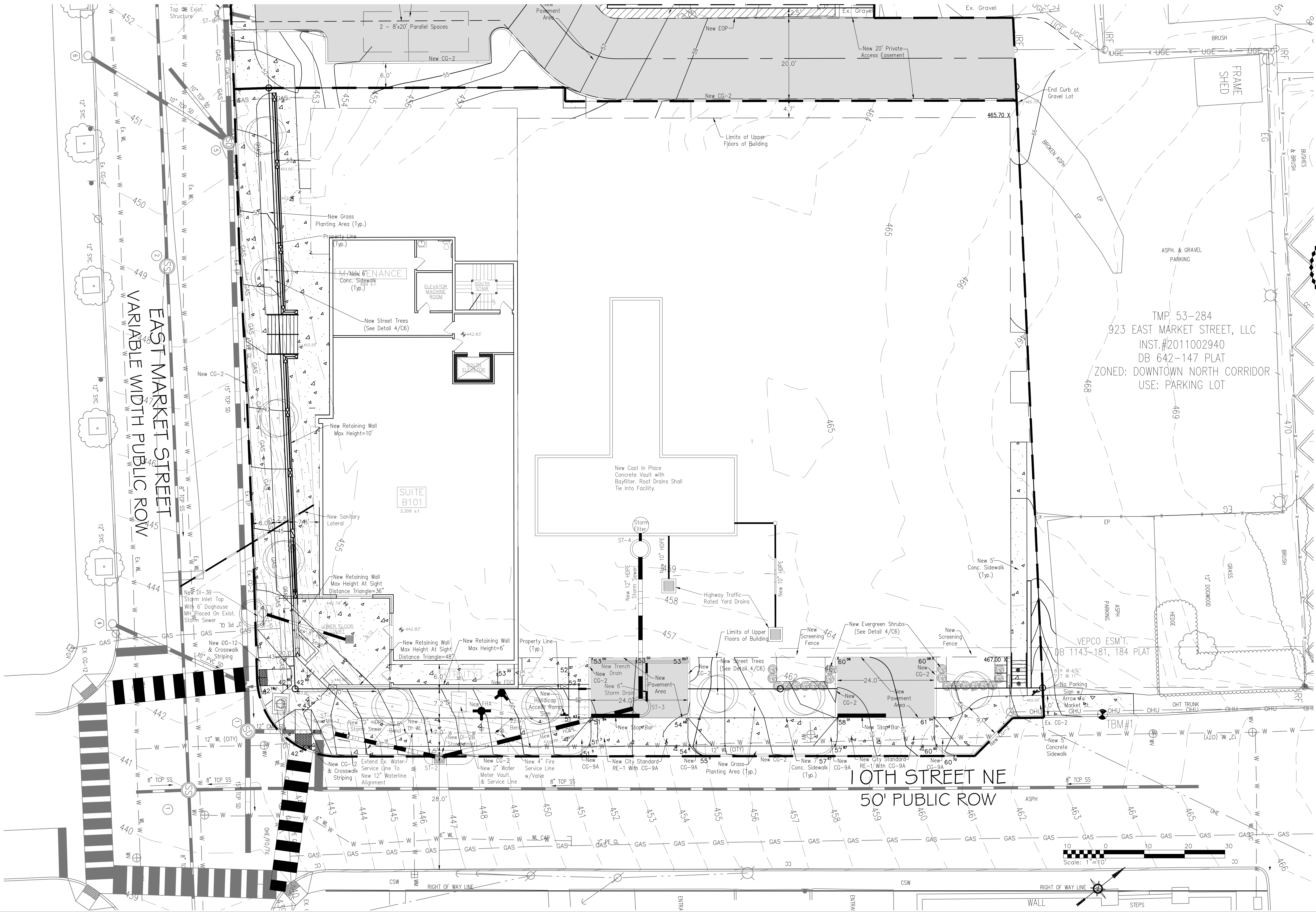
EXIST. TOPO & DEMO PLAN

Rev #	Date	Description
1	07/10/13	Revisions for Bid Documents
2	6/11/14	Revisions for Bid Documents
3	6/24/14	Revisions Per City Comments
4	08/07/14	Revisions Per City Comments
5	09/05/14	Revisions Per City Comments

**PRELIMINARY SITE DEVELOPMENT PLAN FOR
923 & 925 E MARKET STREET
CHARLOTTEVILLE, VIRGINIA**

Date
06/25/2013
Scale
1"=10'
Sheet No.
C2 OF 7
File No.
13.018

REFER TO SHEET C6



SHIMP ENGINEERING, P.C.
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PHONE: (434) 207-8086
JUSTIN@SHIMP-ENGINEERING.COM



TMP 53-284
923 EAST MARKET STREET, LLC
INST.#2011002940
DB 642-147 PLAT
ZONED: DOWNTOWN NORTH CORRIDOR
USE: PARKING LOT

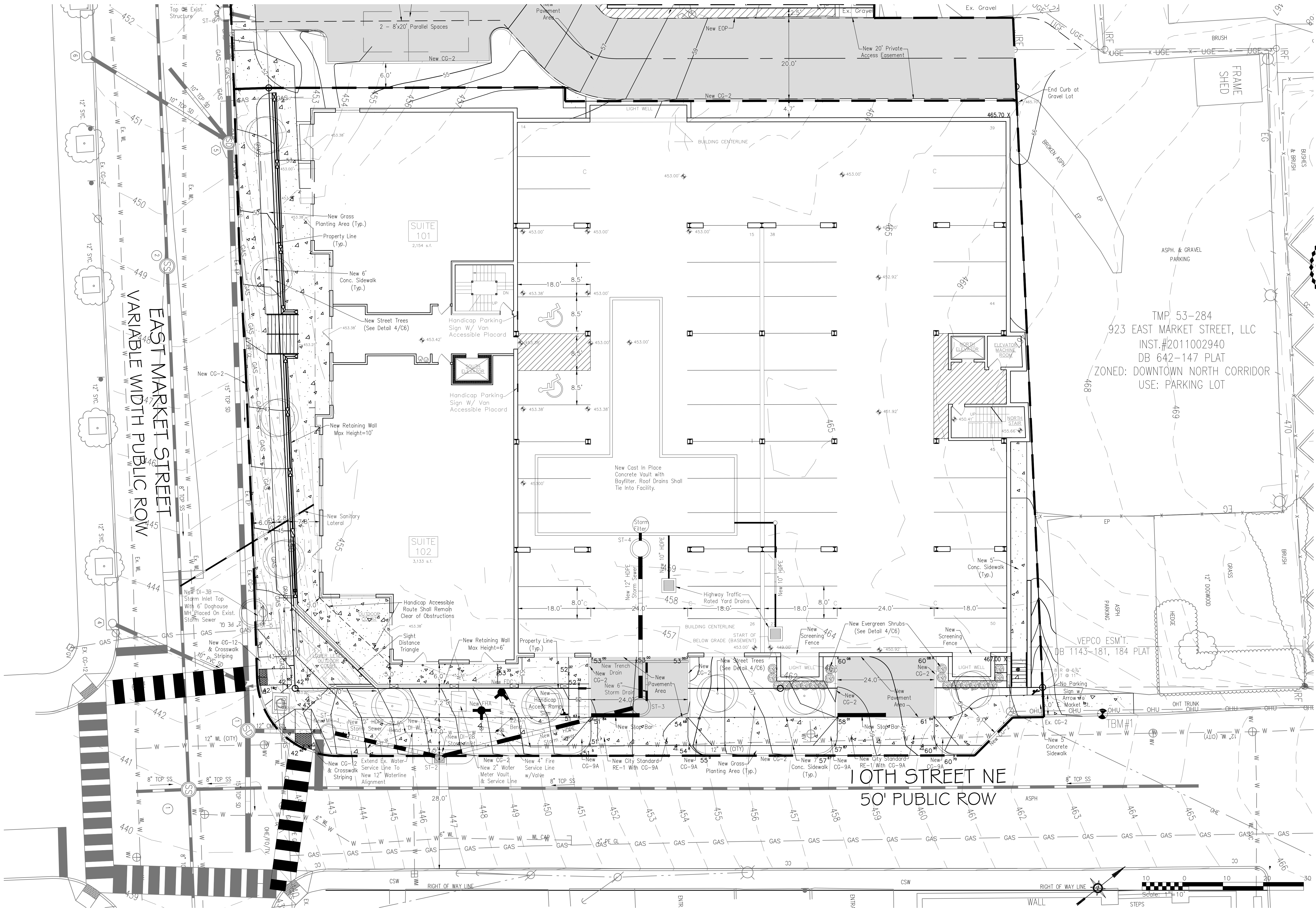
**SUB BASEMENT SITE
& UTILITY PLAN**

Rev #	Date	Description
1	10/17/13	Revisions Per City Comments
2	6/11/14	Revisions Per Bid Documents
3	6/24/14	Revisions Per City Comments
4	08/07/14	Revisions Per City Comments
5	09/05/14	Revisions Per City Comments
6		

**PRELIMINARY SITE DEVELOPMENT PLAN FOR
923 & 925 E MARKET STREET
CHARLOTTESVILLE, VIRGINIA**

Date	06/25/2013
Scale	1"=10'
Sheet No.	C3 OF 7
File No.	13.018

REFER TO SHEET C6



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TMP 53-284
923 EAST MARKET STREET, LLC
INST.#2011002940
DB 642-147 PLAT
ZONED: DOWNTOWN NORTH CORRIDOR
USE: PARKING LOT

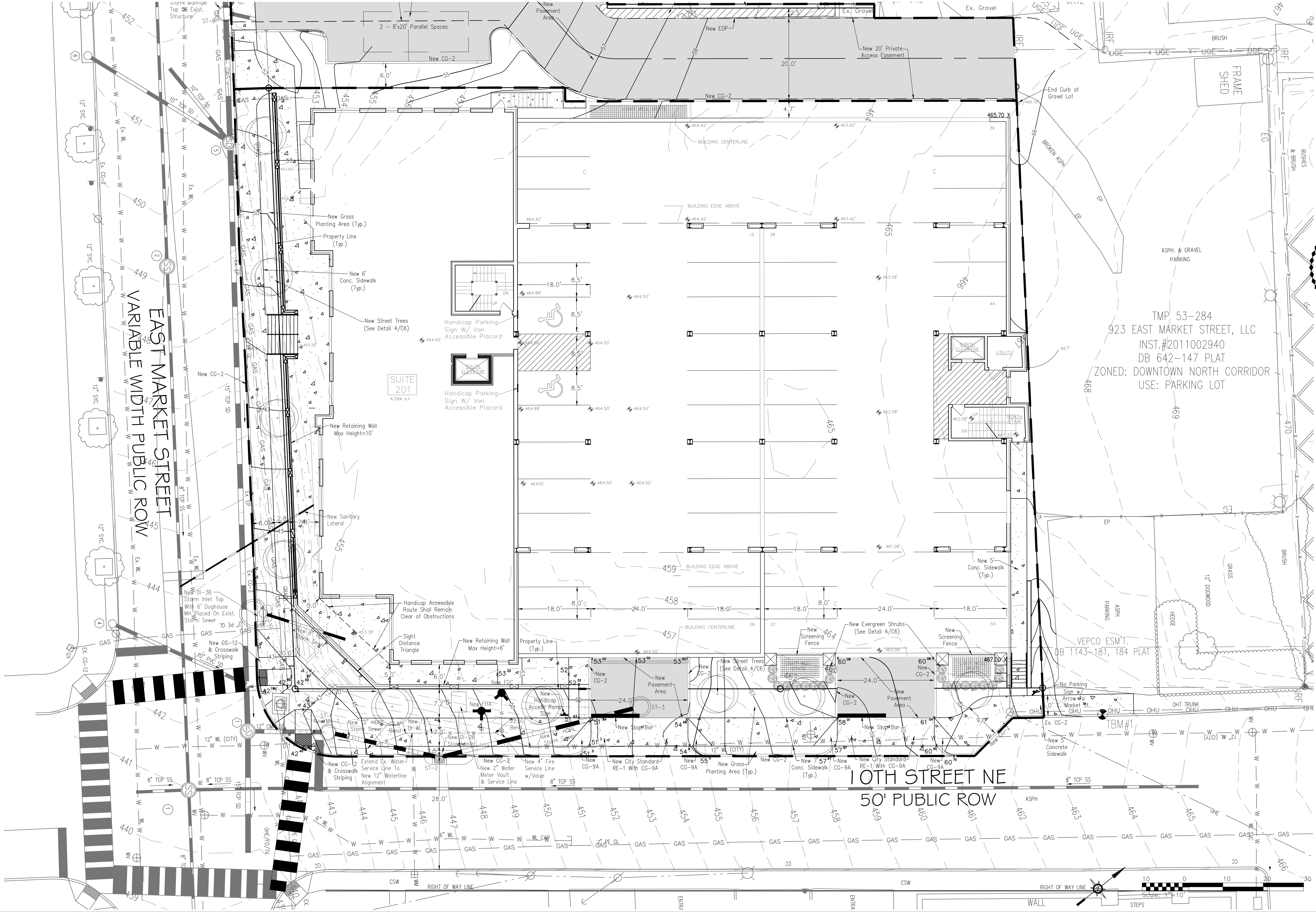
**LEVEL 1 PARKING, SITE
& UTILITY PLAN**

Rev #	Date	Description
1	10/27/13	Revisions for City Comments
2	6/17/14	Revisions for Bid Documents
3	6/17/14	Revisions Per City Comments
4	08/07/14	Revisions Per City Comments
5	08/07/14	Revisions Per City Comments
6	09/05/14	Revisions Per City Comments

**PRELIMINARY SITE DEVELOPMENT PLAN FOR
923 & 925 E MARKET STREET
CHARLOTTESVILLE, VIRGINIA**

Date
06/25/2013
Scale
1"=10'
Sheet No.
C4 OF 7
File No.
13.018

REFER TO SHEET C6



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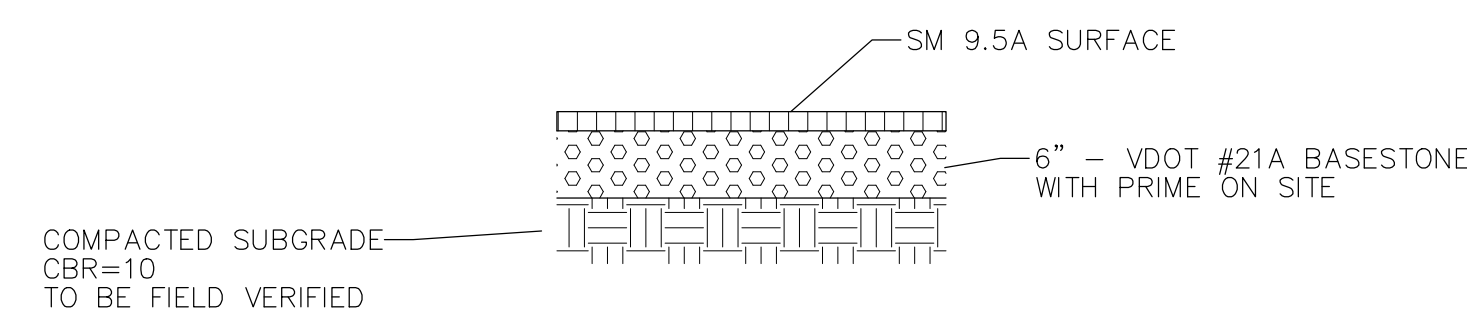
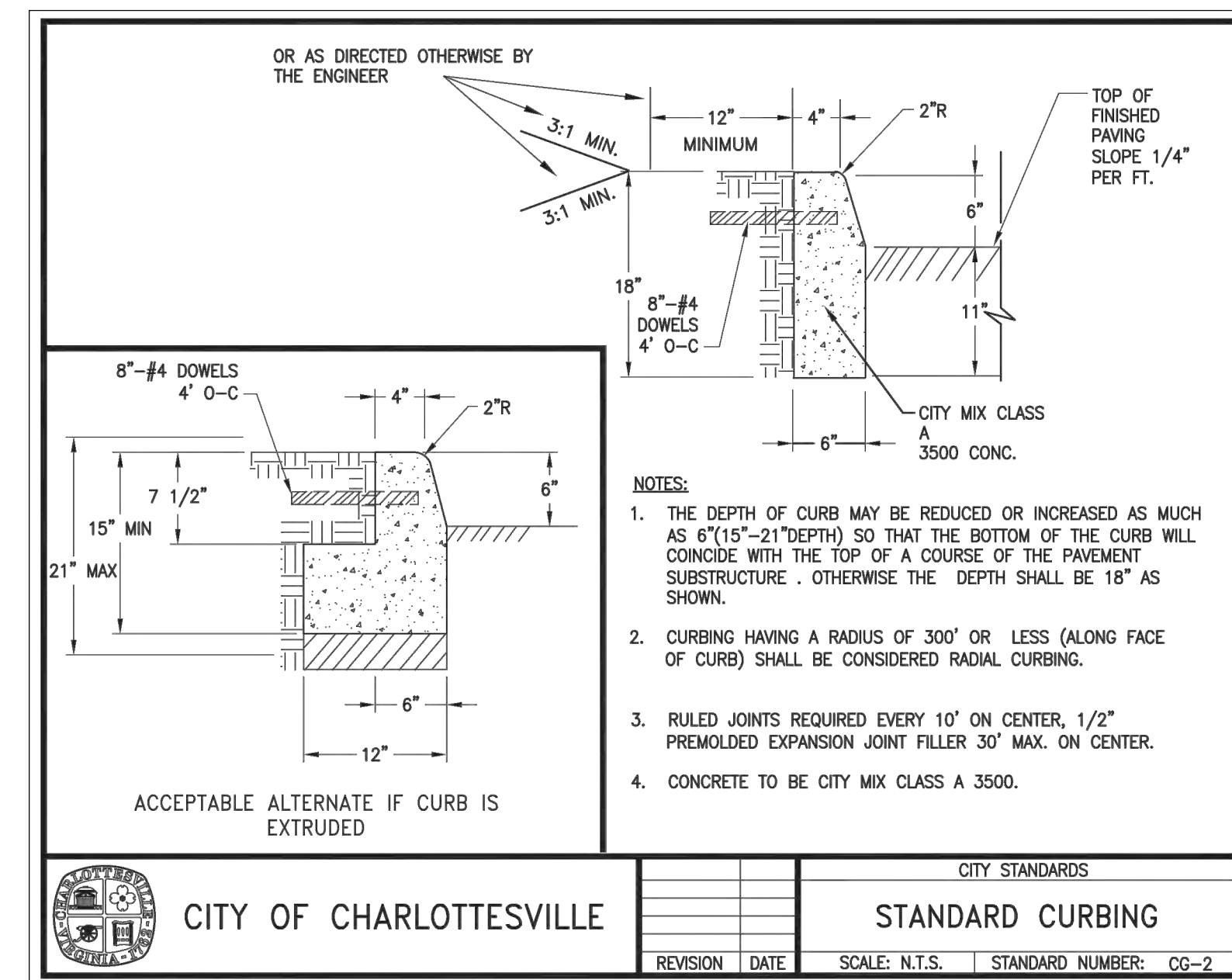
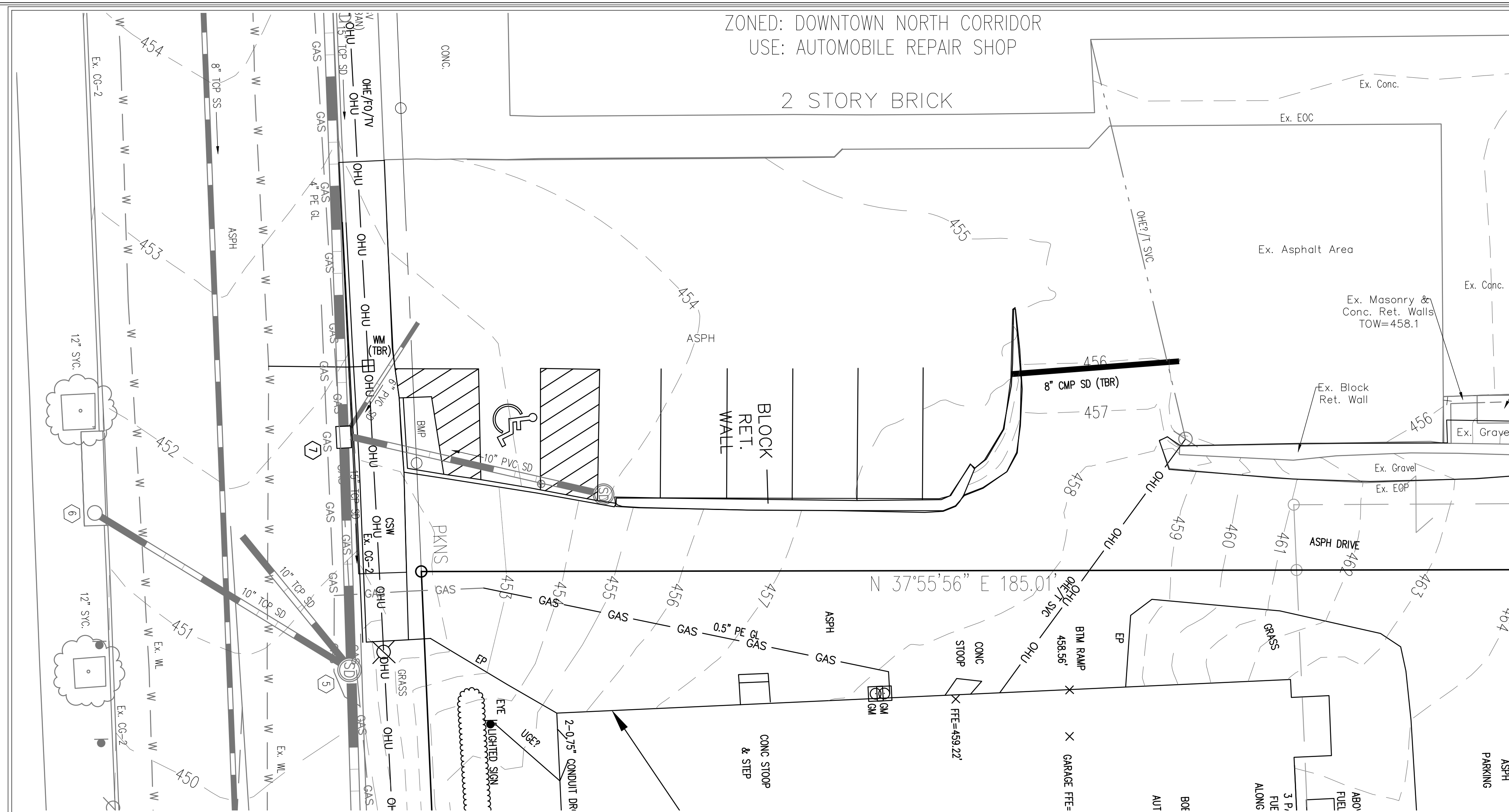




LEVEL 2 PARKING, SITE, & UTILITY PLAN

Rev #	Date	Description
1	10/13/13	Revisions Per City Comments
2	6/17/14	Revisions Per Bid Documents
3	6/17/14	Revisions Per City Comments
4	08/07/14	Revisions Per City Comments
5	08/07/14	Revisions Per City Comments
6	09/05/14	Revisions Per City Comments

PRELIMINARY SITE DEVELOPMENT PLAN FOR
923 & 925 E MARKET STREET
CHARLOTTEVILLE, VIRGINIA

Date: 06/25/2013
Scale: 1"=10'
Sheet: C5 OF 7
File No: 13.018



LANDSCAPE SCHEDULE							
Plant Symbol	Planting Type	Botanical Name	Common Name	Min. Cal./Height	Quantity	Canopy SF	Total Canopy SF
	Street Tree	Platanus occidentalis	American Planetree	2" Cal.	9	1253	11277
	Evergreen Shrub	Buxus microphylla	Littleleaf Boxwood	18" Height	20	4	80
						TOTAL SF:	11357

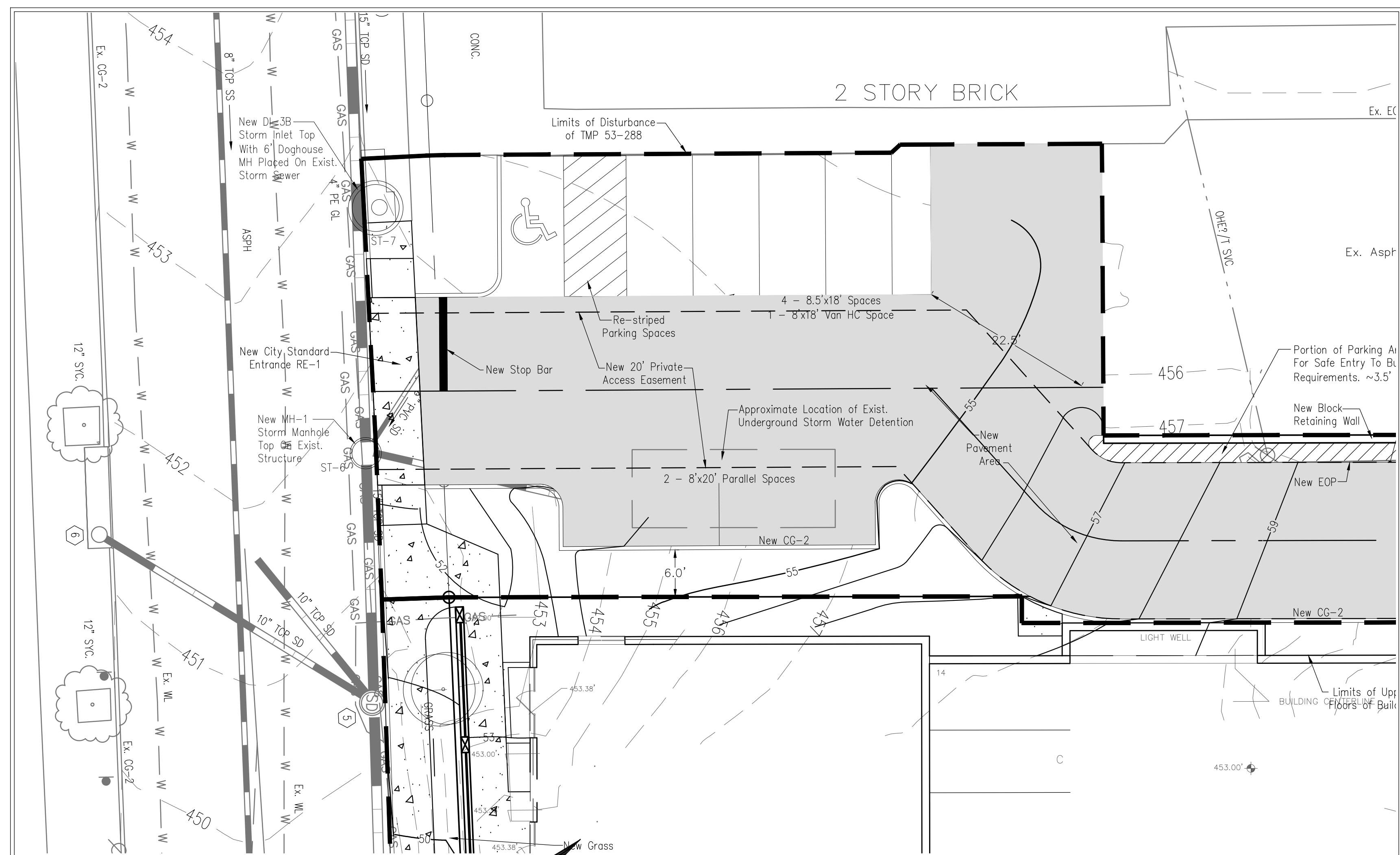
LANDSCAPING NOTES:

TREE COVER REQUIREMENT (SEC 34-869):
 10% FOR A DEVELOPMENT ZONED FOR RESIDENTIAL USE AT A DENSITY OF 20 OR MORE UNITS PER ACRE.
 $27,540 \times .10 = 2,754$ SF REQUIRED
 11,357 SF OF CANOPY AREA PROVIDED. SEE TABLE ABOVE.

STREETSCAPE REQUIREMENT (SEC 34-870):
1 LARGE SHADE TREE PER 40' OF ROAD FRONTAGE.
334 LF/40 = 9 TREES REQUIRED
PROVIDED: 9 TREES

SCREENING REQUIREMENT (SEC 34-872):
SCREENING IS NOT REQUIRED AS THERE IS NO ADJACENT LOW DENSITY RESIDENTIAL TO SCREEN FROM.

PARKING LOTS - SCREENING AND LANDSCAPING REQUIREMENTS (SEC 34-873):
NEW COVERED PARKING SPACES PROVIDED = 82 NEW OUTDOOR PARKING SPACES PROVIDED = 18
OF THE 100 PROPOSED PARKING SPACES THERE IS ONLY 18 THAT ARE "OPEN".
"THE TERM "PARKING LOT" SHALL MEAN AND REFER ONLY TO A PARKING LOT CONTAINING 20 OR MORE SPACES"
NO LANDSCAPING REQUIRED.



SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT

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201 E. MAIN ST., SUITE M
CHARLOTTESVILLE, VA 22902



ADJACENT PARKING IMPROVEMENTS

Rev #	Date	Description
2.	10/21/13	Revisions Per City Comments
3.	6/17/14	Revisions for Bid Documents
4.	6/24/14	Revisions Per City Comments
5.	08/07/14	Revisions Per City Comments
6	09/05/14	Revisions Per City Comments

PRELIMINARY SITE DEVELOPMENT PLAN FOR
923 & 925 E MARKET STREET
CHARLOTTESVILLE, VIRGINIA

Date
06/25/2013

Scale
 $1'' = 10'$

Sheet No.

File No.

