

Agenda

PLANNING COMMISSION REGULAR DOCKET WEDNESDAY, November 9, 2016 – 5:30 P.M. CITY COUNCIL CHAMBERS

I. Commission Work Session (Agenda discussion(s))

Beginning: 4:30 p.m.

Location: City Hall, 2nd Floor, NDS Conference

II. Commission Regular Meeting

Beginning: 5:30 p.m.

Location: City Hall, 2nd Floor, Council Chambers

A. COMMISSIONERS' REPORTS

B. UNIVERSITY REPORT

C. CHAIR'S REPORT

D. DEPARTMENT OF NDS

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - September 13, 2016 – Pre meeting and Regular meeting
2. Minutes - September 27, 2016 – Work Session

III. JOINT MEETING OF COMMISSION/ COUNCIL

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

1. SP16-00008 - Cedars Court Apartments - Management Services Corporation (MSC), owner's agent for the property owned by 1228 Cedars Court, LLC has submitted an application seeking approval of a Special Use Permit (SUP) to allow residential density up to 55 dwelling units per acre (DUA) at property identified on City Real Property Tax Map 40B Parcel 4.5 ("Subject Property"). The zoning classification of the Subject Property is URB (Urban Corridor). Residential units are allowed by-right, including multi-family dwellings, at a density up to 21 DUA, and up to 64 DUA is allowed by SUP. The property has frontage on Cedars Court and contains approximately 0.348 acres or 15,159 square feet. The application proposes nineteen (19) units on-site (19 DUA / 0.348 acre = 55 DUA/ 1 acre). The general usage specified in the Comprehensive Plan for the Subject Property is Mixed Use. Persons interested in this SUP application may contact NDS Planner Heather Newmyer by e-mail (newmyerh@charlottesville.org) or by telephone (434-970-3968).

2. SP16-00009 - 1713 JPA -Piedmont Development Group, agent for Property Owner Alpha Kappa Housing Corporation, has submitted an application seeking approval of a Special Use Permit (SUP) for a fraternity house at 1713 Jefferson Park Avenue ("Subject Property"). The Subject Property is also identified on City Real Property Tax Map 16 as Parcel 10. The zoning district classification of the Subject Property is R-3 (Multifamily) with Entrance Corridor overlay. A fraternity house was established on the Subject Property in 1978, and has never been discontinued; however, the fraternity house is a "nonconforming use" because current zoning regulations allow this use only with a Special Use Permit, per City Code 34-420. If an SUP is approved, the fraternity house will become a conforming use, as allowed by City Code 34-1144(b)(1). The application proposes increasing the number of residents and bedrooms from 5 to 8 in the near term with a final build out of 12 residents and bedrooms. As part of the requested SUP, the applicant is also requesting a modification of required side yards from 1 foot per every 2 feet of building height to 3 feet minimum, and modification of parking standards. (8 on-site parking spaces would currently be required for the proposed expanded use; however, (i) an old variance granted in 1979 relieves the property owner from having to provide on-site parking, and (ii) applicant now wishes to provide 7 on-site parking spaces). The

Subject Property has frontage on Jefferson Park Avenue and Montebello Circle and is approximately 0.32 acres or 13,939 square feet. The general usage specified in the Comprehensive Plan for the Subject Property is High Density Residential. Persons interested in this SUP application may contact NDS Planner Matt Alfele by e-mail alfelem@charlottesville.org) or by telephone (434-970-3636).

3. ZT16-00003 - (Woolen Mills Village Historic Conservation District) – Proposed amendment to the text of the City’s Zoning Ordinance, Section 34-337 of the Code of the City of Charlottesville, 1990, as amended (Conservation Districts), to establish a new zoning overlay district to be named the “Woolen Mills Village Historic Conservation District.” The purpose of the proposed zoning overlay district is to promote the conservation of buildings and structures having an important historic, architectural, or cultural interest. Upon a property’s inclusion within this proposed overlay district, certain alterations and demolitions of existing structures on the property, and any proposed new construction on the property, will be subject to board of architectural review (BAR) as set forth within City Code Section 34-340.

ZM16-0000A - (Woolen Mills Village Historic Conservation District) – A proposed amendment to the Zoning District Map adopted and incorporated as part of the City’s Zoning Ordinance pursuant to Section 34-1 of the Code of the City of Charlottesville, 1990, as amended, to identify individual parcels of land for inclusion within a new overlay zoning overlay district named the “Woolen Mills Village Historic Conservation District,” referenced within the zoning text amendment ZT-16-00003. The proposed Woolen Mills Village Historic Conservation District includes the following properties (vacant parcels are referenced by tax map/ parcel number): 1502 through 1812 East Market Street, including the vacant parcel fronting on East Market Street, City Tax Map 56 Parcel 122; 1601 through 1901 East Market Street; including the vacant parcels fronting on East Market Street, City Tax Map 55A Parcels 144, 145 and 150; 1504 Chesapeake Street; the vacant parcel fronting on Chesapeake Street, City Tax Map 55A Parcel 108; 1700,1730, 1800, and 1804 Chesapeake Street; 1701, 1729, 1731, 1733, 1803, 1803-1/2, and 1805 Chesapeake Street; 102 and 106 Leake Lane; 208, 210, and 214 18th Street, NE; 123 Franklin Street; four vacant parcels fronting on Franklin Street, City Tax Map 56, Parcels 114.2, 114.3, 114.4, and 114.5; 313 Steephill Street; 202 and 203 Riverside Avenue. This amendment does not propose any change in the general usage or density range of any of the affected properties. The general usage and density range set forth in the Comprehensive Plan for the affected properties is: Low Density Residential and Park or Preserved Open Space and up to 15 DUA. A map is available in the Department of NDS. Persons interested in this ZM application may contact Preservation & Design Planner Mary Joy Scala by email scala@charlottesville.org

4. ZT16-00004 – West Main Street Density – A proposed amendment to the text of the City’s Zoning Ordinance, Sections 34-621 and 34-641 of the Code of the City of Charlottesville (1990), as amended. West Main Street Corridor Districts – these proposed text amendments to Sections 34-621 and 34-641 of the City Code would modify the residential density of development allowed by right in the West Main East (WME) Corridor and West Main West Corridor (WMW). Currently WME and WMW allow residential density of up to 43 DUA by right, and permit up to 200 DUA with a special use permit. The proposed amendments would allow up to 64 DUA by right, and up to 180 DUA by special use permit in the WMW, and would allow 120 DUA by special use in the WME Corridor, but no additional density by right. The general usage specified by the Comprehensive Plan for WME and WMW is Mixed Use. The West Main Street Corridor is within the City’s Urban Development Area (UDA), and the City’s Comprehensive Plan contemplates a minimum density of four (4) DUA within the UDA.

5. ZT16-00005 – Water Street Corridor – A proposed amendment to the text of the City’s Zoning Ordinance, Section 34-743 of the Code of the City of Charlottesville (1990), as amended. Water Street District Corridor – this proposed text amendment would require a 25-foot setback for all building facades fronting on Ridge Street and would require a minimum setback of 15 feet after a maximum 45 of streetwall height along all lot lines adjacent to the South Street District.

The proposed zoning text amendments and related materials are available for inspection at the Charlottesville Dept. of Neighborhood Development Services, 610 East Market Street, Charlottesville, 22902. Tel. 434-970-3186. **Staff contact: Brian Haluska, Principal Planner**, Email: haluska@charlottesville.org

IV. COMMISSION'S ACTION ITEMS

Beginning: upon conclusion of all joint public hearings

Continuing: until all action items are concluded

- a. SP16-00008 - Cedars Court Apartments
- b. SP16-00009 - 1713 JPA
- c. ZT16-00003 - Woolen Mills Historic Conservation District
- d. ZM16-0000A - Woolen Mills Historic Conservation District
- e. ZT16-00004 – West Main Street Density and Water Street Corridor
- f. Presentation – Ragged Mountain Trails

V. FUTURE MEETING SCHEDULE/ADJOURN

Tuesday, November 22, 2016 – 5:00 PM	Work Session	Capital Improvement Program
Tuesday, November 30, 2016 – 5:00 PM	Work Session	Joint Work session with City Council on Regulatory Framework and Comp Plan Alignment
Tuesday, December 13, 2016 – 4:30 PM	Pre- Meeting	
Tuesday, December 13, 2016 – 5:30 PM	Regular Meeting	<u>Rezoning</u> – King Street, <u>Entrance Corridor</u> – 1713 JPA, 1300 Emmet Street CVS site, 1200 Emmet – Commercial Site, 1248 Emmet - Zaxby's <u>Minutes</u> - October 11, 2016 – Pre meeting and Regular meeting, October 25, 2016 – Work Session Critical Slope Waiver – East McIntire Park

Anticipated Items on Future Agendas

- ZTA – Height and Grade, Water Street and West Main Code review
- Entrance Corridor – 1200 Emmet Street (commercial site)
- Critical Slope Waiver – Seminole Square Shopping Center and Pepsi Bottling
- Site Plan – 1248 Emmet Street, 1300 Emmet Street

Persons with Disabilities may request reasonable accommodations by contacting

ada@charlottesville.org or (434)970-3182

PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.

PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.

**LIST OF SITE PLANS AND SUBDIVISIONS APPROVED ADMINISTRATIVELY
10/1/2016 TO 10/31/2016**

- 1. Preliminary Site Plans**
- 2. Final Site Plans**
- 3. Site Plan Amendments**
 - a. William Taylor Plaza Phase I (Internal Parking Garage Layout) – October 6, 2016
- 4. Minor Subdivision**
 - a. Water Street Promenade BLA – October 14, 2016

Agenda
PLANNING COMMISSION REGULAR DOCKET
TUESDAY, September 13, 2016 – 5:30 P.M.
CITY COUNCIL CHAMBERS

I. Commission Work Session (Agenda discussion(s))

Beginning: 4:30 p.m.

Location: City Hall, 2nd Floor, NDS Conference

Members Present: Chairman John Santoski Vice-Chair Kurt Keesecker; Commissioners Genevieve Keller, Jody Lahendro, Lisa Green, Taneaia Dowell and Corey Clayborne; UVA representative: Brian Hogg

Commissioner Keller asked if the Planning Commission could consider having a preliminary Entrance Corridor discussion on applications such as the CVS site.

Commissioners noted how STW principles could apply to Emmet and Barracks.

It was noted that the staff recommendation for the CVS site was to defer the application to allow for addressing the application further. Mr. Hogg noted that the Commission should provide guidance to the applicant in preparation for it coming back. He also asked, in reference to the 1713 JPA application, if there was a consideration about how this relates to the historic property on Montebello. Commissioner Lahendro expressed concern about the drawings and how they show the adjacent properties.

Ms. Creasy explained the process for addressing the 1713 JPA applications in the meeting and Ms. Robertson provided further context on the order for the Entrance Corridor recommendation on the SUP request.

Commissioners noted confusion on how the accessory building on the site will be attached and will ask the applicant for further clarification.

II. Commission Regular Meeting

Beginning: 5:30 p.m.

Location: City Hall, 2nd Floor, Council Chambers

Members Present: Chairman John Santoski Vice-Chair Kurt Keesecker; Commissioners Genevieve Keller, Jody Lahendro, Lisa Green, Taneaia Dowell and Corey Clayborne; UVA representative: Brian Hogg

City Council Members: Councilors Bob Fenwick, Kathy Galvin, and Vice-Mayor Wes Bellamy

Staff: Missy Creasy, Matt Alfele, Mary Joy Scala, Carolyn McCray

Call to Order: The meeting was called to order by Chairman Santoski at 5:30

A. COMMISSIONERS' REPORTS

Commissioner Lahendro reported the Housing Advisory Committee met on August 17th and reviewed and discussed the sub-committee study of the RCL and Company comprehensive housing analysis and policy recommendations and sent them forward to City Council for their consideration. Kathy McHugh, Housing Program Coordinator has left the city and her replacement is Stacy Pethia. On August 17, the Parks and Recreation Advisory Board met at Tonsler Park. The splash pad CD's have been completed and they are getting bids now with plans to start construction in the spring and then they will get started on a design for a field-house. The McIntire Park ball field retrofitted the field lights with LED's and is the first such project in Virginia. At Ragged Mountain Natural area there are proposed trails. There will be a Parks and Recreation meeting on the 21st at Key recreation center, where we will get the staff report and have a board discussion. There will be no public discussion in regards to the natural area trails at that time. The comment period ended on August 20th. The Planning and Coordination Committee met on August 18th, where city representatives presented the West Main Street rezoning and streetscape plan as well as the HB2 projects; E. High Street, Lexington, Fontaine and Emmet. The county presented an update on its 29 Solutions project. He discovered that the City and the County have been in talks to study the Hillsdale Drive extension south of Hydraulic and are talking about combining that with a study of the 29 and Hydraulic intersection. On September 6th, he attended the Tree Commission meeting. The tree in Lee Park that came down has been approved to be replaced with an Elm tree, and because of the age of the existing trees, the commission would like to do a master plan for future tree planting which will be coordinated with the Blue Ribbon panel recommendations. For 10th and Page the commission had an informational table at the Westhaven Day event to talk about trees being planted in that neighborhood as that is our target neighborhood over the next year for increasing the trees. We are working with the Charlottesville Re-development and Housing Authority to plant trees in Westhaven. We have identified 36 specimen ash trees on city property for treatment for emerald ash bore and 15 are getting treated this year with the balance next year. The Monticello Gateway project, Route 20 entrance corridor was planted with oak trees last winter in the median strip. That is getting a gold medal award from the Mid-Atlantic International Society of Arborists. We are in the process of doing planting for a follow up project to add another 60 trees in that area this coming November which combines the efforts of the Tree Commission, The Charlottesville Area Tree Stewards, The Albemarle County National Guard, Monticello and the Hallowed Ground National Heritage Trail.

Commissioner Keller reported she attended the Place Task Force and the members of the task force are very interested in following what's going on with the code audit and small area planning, and want to know ways they can assist the Planning Commission and staff and others as those processes development. The Task Force is compiling their annual report to present to Council and possibly the Planning Commission as well at our invitation later this fall. She also attended the TJPDC meeting and we approved a resolution in support of Gov. Terry McAuliffe's Go Virginia initiative which is an economic development program that is designed to encourage regional cooperation in economic development. In our area that initiative will be staffed by the CVPED which is our regional economic development organization and the planning district commission will provide a supportive role in that.

Commissioner Dowell reported she has not had the chance to attend any meetings this month, but will be attending the 10th and Page Priority Task Force meeting tomorrow night at 6:00 p.m.

Commissioner Keesecker attended the BAR meeting on August 17th and, there were a few items of interest to the Planning Commission, 1. Application for the removal and replacement of the side porch of the Dinsmore House on West Main Street, near the Courtyard Marriot. The original conversation had a different approach to the replacement of the structure to the right and after the conversation with the BAR the applicant came back with a different approach and it seems to resonate well. Their intent is to have more access from West Main into their facility so they can serve as a bed and breakfast and a little café. They are really trying to engage West Main 2. Westminster Presbyterian on Rugby asked for permission to put solar panels on the rear portion of their church, as part of their general stewardship, 3. The other project was Phase II work for the William Taylor Plaza project at Ridge and Cherry Avenue. The reaction from the BAR during the preliminary discussion was a little more work needed to be done to fit into Ridge, and he supposes the applicant will be coming back soon. Lastly the BAR has homework for them coming up in the future to revisit the Historic Conservation District guidelines and the ADC guidelines to make them more in line with other zoning changes that are afoot in the city. That work will be ongoing for some time and one of those tasks within that has been an appointed discussion at the BAR to try to identify the areas where the BAR guidelines and the zoning by-right don't seem to mesh with the character of either the neighborhood or the district that they are in so they want to try to bring those to the attention of either the city or us to say that these areas may need some understanding to make the zoning and the BAR sensibilities more closely aligned.

Commissioner Green Attended the Citizens Transportation Advisory Committee on September 7th, where they discussed the Hydraulic, 29 and Hillsdale Dr. area and small area planning. There's funding in the budget to look at the south portion of Hillsdale Drive which we walked at our work session. We also discussed the smart scale application update that will be going forth this September which is HB2 for Virginia. For the city, Free Bridge congestion relief is part of that as well as West Main streetscape, Barracks Road and Emmet intersection improvements. They are trying to get this information together because the MPO is hosting the Free Bridge smart scale funding application meeting September 22nd from 6:30 – 8:30 at Burley Moran Elementary School. The next meeting for CTAC is November 2nd and there are still 2- 3 slots open for community members that are interested.

Commissioner Clayborne no report

B. UNIVERSITY REPORT –Brian Hogg reported that Friday at the Board of Visitors meeting we will be presenting a revised master plan for the re-development of Brandon Ave on the south side of Jefferson Park Avenue. He said those materials were shared with NDS staff about 10 days ago. He said Julia and Mary came down and met with Mr. Ikefuna and they are going forward with the plans to redevelop that street for future use by the University.

C. CHAIR'S REPORT – John Santoski – Belmont Bridge committee has not re-convened because they still working on negotiating the contract.

Report of the Nominating Committee – Vice-Chairman Lisa Green, Chairman – Kurt Keesecker Election Motion passes 7-0 to accept the new officers.

Annual Meeting –Ms. Creasy provided a data report on the different activities the Planning Commission undertook throughout the last fiscal year and as part of the report that went out in the planning commissioners packets denotes the items that the commission has heard, as well as the work sessions that were held and the topics those encompassed. It also includes data on a number

of the application items that came forward. The city has an initiative called P3 to look at performance evaluation and there are a number of items that staff collects on a regular basis. The items that pertain more specifically to the planning commission and other boards and commissions have been included in this as well. We do have this posted on line now.

Commissioner Keesecker said it seemed like a weighty year of subject matter even more so than years past.

Commissioner Keller said she appreciated the bar graphs and asked how you determined capacity.

Ms. Creasy said those number were set a while ago. Capacity includes what we can handle with current staffing and was established a number of year ago. We are struggling a bit on the preservation side of things as we have a lot of new initiatives and new properties and we only have Mary Joy and part-time Camie. This data gives us some good feedback in numbers that helps support requests when something needs attention.

Commissioner Keller said for those that believe that historic preservation and designation might have a chilling effect on development in Charlottesville; it seems that it may be just the opposite. She was intrigued that there were so few ERB cases and wondered if that speaks to the character of our mixed use corridor where we intended for most of our development to occur and maybe that is not happening in the ways that we had anticipated.

Ms. Creasy said it comes in waves. She said we are in a wave right now with four pending applications in various stages. There are entrance corridor items that come up on a daily basis and someone is always trying to get a sign permit or simple changes that would fall within the administrative realm of things. This report indicates those applications that come forward to the commission but there are a lot of smaller scale things that get handled administratively.

Chairman Santoski said we had a lot of good information, and late nights as well as touring with the small area plan areas, lengthy discussion and wonderful public participation. Chair Santoski thanked Lisa Robertson and Missy Creasy because being a chairman was much harder than he thought it would be, and he wished Kurt (Mr. Keesecker) nothing but the best but he looks forward to moving over a few seats and let Lisa and Kurt handle this over the coming year. Thanks again to Ms. Creasy for all the information on the annual meeting.

DEPARTMENT OF NDS – Missy Creasy said they are working through the preliminary stages for the SIA zoning phase one area. As one of our early steps to this, we have to get the regulating plan refined before we jump into zoning changes. We just had our last of a series of meetings with owners within the SIA area. We mailed out to all of the folks who owned property there and we reached out to some of the larger property owners individually and had meetings to talk about what the SIA is as well as get some initial feedback and allow them some time to provide some additional feedback. We had an owners meeting today with about 15-20 folks and we hope to follow-up with all of the owners in hopes that they will provide us some additional feedback so we can get that in a format to you and to Council so we can get the regulating plan into the next phase. There is a Work Session on the 27th, and as of now PHA is scheduled to present on Friendship Court. Water Street and West Main code changes are also on that agenda.

Commissioner Keller said for the regulating plan, is that concentrating on the core SIA that we discussed in the work session?

Ms. Creasy said phase one is not the whole entire area. It includes area zoned downtown extended. The people we met with today talk to us about that and brought some really good things to the table. Staff had noticed that as well as regulating plan comments, it was noted that the major cemeteries are highlighted but the smaller cemeteries were not and we had some folks come to the meeting and talk with us about that today so that will be something else to bring up in a refined plan.

MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA FOR PUBLIC HEARING

Rebecca Quinn 104 4th St., said she wasn't able to attend the last meeting but watched on TV last month and for the most part people are using their microphone which means sitting at home, she can hear you. Just remember when you get into a discussion, it is not a discussion between yourselves but a discussion that the public wants to hear. She said you mention the AirBnB, Todd Divers made a report at the North Downtown Neighborhood Association Meeting while they have taken some steps to reach out to people who are listed on AirBnB, they have backed off some of that enforcement partly because there is action going on in Richmond which may end up effecting what the city can and cannot do. She said it may be back before the commission if indeed the state imposes different controls. She said she agrees that the planning commission dealt with a lot in this past year but doesn't think she is alone being concerned that Council has gone against some of your recommendations. She feels the planning commission has dealt with a lot of complicated things but you have certain perimeters you work from and she feels you apply those fairly. You do a lot of deliberation and it disturbs her that with the talent and resources sitting here and doing what you do on behalf of the city that sometimes your recommendations do not get carried forward. She said despite that carry on.

F. CONSENT AGENDA (Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - August 9, 2016 – Pre meeting and Regular meeting
2. Subdivision – Belmont Station

Motioned by Commissioner Keesecker and Seconded by Commissioner Clayborne, to approve the consent agenda, motion passes 7-0.

G. JOINT MEETING OF COMMISSION/ COUNCIL

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

Piedmont Development Group,

Agent for Property Owner Alpha Kappa Housing Corporation

Presented by Matt Alfele, City Planner, SP16-00009 - 1713 JPA -Piedmont Development Group, agent for Property Owner Alpha Kappa Housing Corporation, has submitted an application seeking approval of a Special Use Permit (SUP) to allow a fraternity house at 1713 Jefferson Park Avenue ("Subject Property"). The Subject Property is identified on City Real Property Tax Map 16 as Parcel 10. The zoning district classification of the Subject Property is R-3 (Multifamily) with Entrance Corridor overlay. A fraternity house was established on the Subject Property in 1978, and has never been discontinued; however, the fraternity house is a "nonconforming use" because current zoning regulations allow this use only with a Special Use Permit, per City Code 34-420. If an SUP is approved, the fraternity house will become a conforming use, as allowed by City Code 34-1144(b)(1). The application proposes increasing the number of residents and bedrooms from 5 to 8 in the near

term with a final build out of 12 residents and bedrooms. As part of the requested SUP, the applicant is also requesting a modification of required side yards from 1 foot per every 2 feet of building height to 3 feet minimum, and modification of parking standards. (8 on-site parking spaces would currently be required for the proposed expanded use; however, (i) an old variance granted in 1979 relieves the property owner from having to provide on-site parking, and (ii) applicant now wishes to provide 7 on-site parking spaces.

Staff recommends the Planning Commission focus on the following items during review: appropriate use, impact to the surrounding neighborhood (noise and trash), and onsite parking. The existing configuration of a 5 bedroom fraternity is allowed to remain.

Commissioner Keller said if there were no fraternity house on this site now and an application were to come in for that general vicinity would you think that would be a good use given the current development patterns and trends we are observing on Jefferson Park Avenue.

Matt Alfele said it is not a bad use but a lot of the ancillary parking issues would need to be addressed. If you had a site that you were doing a complete demo and you were going to build from scratch, he said the parking would need to be adequate for the site so you would not have any spill out onto the street.

Commissioner Keller asked Mr. Alfele what he thought the affects would be if a new fraternity house would apply and what range of conditions would you recommend to the commission and the Council.

Ms. Creasy said if we were to get a request for a new fraternity they would develop the site in a very different manner. She said if we were not working with the history of this site, it may be more valuable in a different format. The report provides some potential for what could be there from a by-right standpoint.

Commissioner Lahendro said one of the adverse impacts to consider is massing and scale of the project and under this the 3 foot setback that's being requesting the staff analysis is at the existing building with that 3 foot setback there would be no impact because it already exists. Did the staff do an analysis of what a replacement building might look like that's built up to 3 foot to the property line that is built to its by-right height. What kind of impact that would have?

Matt Alfele said there was not an exercise done to show that footprint but the property at 1725 was looked at which has a similar distance between the property line and the proposed building as far as the massing at the corner of Montebello and JPA.

Commissioner Lahendro said was that grandfathered situation where they built before the current setback requirements.

Matt Alfele said no, that came last year to increase the density and in part of that they increased setbacks to closer to one or two feet off the property line and that one is in the process of starting construction with plans approved.

Commissioner Lahendro said that is right next door to this.

Matt Alfele said it is about 3 parcels down right there on the corner and no one is living there now. That is one being torn down. The footprint takes up most of the site.

Commissioner Green said we discussed in pre-meeting about how the 3 feet for both sides and you said they are not being used off JPA on the left side but they wanted to be able to use attach the brick building to the structure together and that is why the setback exception would need to be.

Matt Alfele said correct, currently the storage building is non-conforming because it sits over the setback and the house is not because it is separate. Once they attached the out building it becomes part of the house making the house non-conforming.

Commissioner Green said she was confused about that because she did not see this on any of these plans. They show the new addition and the parking but they don't show any difference from the two-story building or the connection that you are discussing.

Matt Alfele said it might show in the elevations.

Commissioner Green said the plan that we are reviewing attached to this SUP that we are literally calling out 7/22/16 with the city comments 8/11/16 they don't show any of this so she is fearful to put this as an attachment to a SUP as it doesn't seem to match what they want to do.

Missy Creasy said this drawing does show that and maybe it's in the wording of clarification if you all decide to move forward to make sure that is accounted for.

Commissioner Lahendro said could you still provide the 2nd floor if the deck stayed 10 feet from the property line. Should you still connect the deck?

Applicant we are not getting any closer to 10-12 feet from the property line and the existing structure is a non-conforming brick shed.

Missy Creasy said if the setback is 8 feet and the building is, you all would be ok with that if he is not encroaching.

Commissioner Green said you are trying to make this conforming.

Missy Creasy said it sounds like you could frame that for seven parking spaces and one ADA accessible space if determined necessary.

Commissioner Keller said what would be your criteria for requiring the van space. Why isn't it an open and shut and why wouldn't we know that?

Matt Alfele said it was more complicated than he thought working with our ADA coordinator. He said there have been different opinions because it has to do with whether the public is using the site and there have been opinions that a fraternity is not public so they are exempt from the ADA requirements

Mr. Hogg said he doesn't see anything in the elevation for there is no drawing showing an exit from the second floor from the shed to the ground.

David Herrington – said he is the President of the Alpha Kappa Corp. He joined the fraternity in the 1980's and has been working on trying to improve the house and make it look better in the neighborhood because there are times over the last 35 plus years that things have not been maintained the way they should have been and we are trying to change. Alpha Ki Sigma is a professional co-ed chemistry fraternity. As a professional fraternity, it was founded in the 1920's and

we have been at the current house since 1979 a few years before his time even. Yes our members have social activities together but the point of the fraternity is to promote chemistry and our fraternity takes that obligation very seriously and does any number of things in the community, every year for instance at some local schools, they have what they call chem-fest. We are more than a Rugby Road social fraternity. We had no idea we needed a SUP until this past summer. We want to repair and improve it so we have a couple of more rooms to rent to members of the fraternity to have more money so we can do some yard maintenance work around the house to do what he thinks is beneficial for the neighborhood.

Public Hearing graveled in by the Planning Commission
Public Hearing graveled in by Council

Rebecca Quinn – She said she is puzzled as to why they need to attach an accessory structure. An accessory structure has specific uses and they are accessory to the primary use. Is there going to be an interior access to this thing? She saw one elevation where there was a doorway coming out of it which kind of makes sense. She said she also heard deck on top of this accessory structure. Are they planning to deck the entire area which she scales to be about 13 x 18 which is a pretty good party space? If they only need to do this for egress especially if it is over the setback maybe it should be limited to the area necessary for egress that may also address some of the concerns about noise because it would limit some of the outside partying.

Closed the Public Hearing by the Planning Commission
Closed the Public Hearing by City Council

Commissioner Santoski move to recommend deferral of this application for a Special Use Permit for a fraternity house with up to 12 bedrooms, at 1713 Jefferson Park Avenue, Seconded by Commissioner Dowell, motion passes 7-0.

IV. COMMISSION'S ACTION ITEMS

Beginning: upon conclusion of all joint public hearings

Continuing: until all action items are concluded

GAVELED INTO ENTRANCE REVIEW BOARD.

a) Entrance Corridor SUP Recommendation – 1713 Jefferson Park Avenue

b) SP16-00009 - 1713 Jefferson Park Avenue

Relevant Code Section: Sec. 34-157(7) When the property that is the subject of the application for a special use permit (SUP) is within a design control district, city council shall refer the application to the Board of Architectural Review (BAR) or Entrance Corridor Review Board (ERB), as may be applicable, for recommendations as to whether the proposed use will have an adverse impact on the district and for recommendations as to reasonable conditions which, if imposed, that would mitigate any such impacts. The BAR or ERB, as applicable, shall return a written report of its recommendations to the city council.

Background: This site is currently occupied by a fraternity that has been in place since 1978, but is considered non-conforming because a special use permit is now required for a fraternity use. The applicant is requesting a SUP to allow a fraternity. There are currently 5 bedrooms, and they propose a rear addition that will add 3 bedrooms for a total of 8 bedrooms. In the future they

would like to allow up to 12 residents/bedrooms. They are requesting a parking modification to allow 7 parking spaces instead of the 10 required for 12 bedrooms. They are also requesting a side yard setback modification to allow 3 feet instead of 10 feet minimum.

Discussion and Recommendations: Before City Council takes action to permit the proposed use, they must consider the ERB's opinion whether there are any adverse impacts to the entrance corridor (EC) district that could be mitigated with conditions. A special use permit is an important zoning tool that allows City Council to impose reasonable conditions to make a use more acceptable in a specific location, and to "protect the welfare, safety and convenience of the public."

This property is located within Sub-Area C (Maury Avenue to Emmet Street) of the Fontaine Avenue/Jefferson Park Avenue Entrance Corridor. "The JPA section serves as a concentration of multi-unit apartment buildings for University students."

In staff opinion, the proposed SUP request to make the existing fraternity conforming, and to allow a rear addition with reduced parking and side yards will not have an adverse impact on the EC district. The addition will have minimal visual impact on the corridor; the reduced side yards will not appear out of character with the corridor; and requiring fewer parking spaces may be viewed as a positive impact.

Commissioner Santoski moved to find that the proposed special use permit to allow a fraternity use with modifications to parking and side yard setbacks at 1713 Jefferson Park Avenue will not have an adverse impact on the Jefferson Park Avenue Entrance Corridor district. Seconded Commissioner Green, motion passes 7-0.

GAVELED OUT OF ENTRANCE REVIEW BOARD.

Break for 10 minutes.

e) ENTRANCE CORRIDOR REVIEW BOARD

1). 1170 Emmett Street (CVS)

Mary Joy Scala gave the staff report – she said there are good aspects of this building design, including the transparent windows, but building details and features could be improved. Main issues are: the general design of the building that focuses (similar to many examples of franchise design) on making the whole building into a sign, rather than the architecture; the location of the primary entrance in relation to the entrance corridors; the lack of importance given to the prominent NW corner; and the lighting located above the twelve feet height limitation.

Three signs are permitted as shown, with a maximum aggregate area of 75 sq. ft. The small pharmacy drive-through sign on the rear canopy is considered directional, so does not require a permit. The red brick is recommended, and the aluminum transparent windows and canvas awning material are appropriate. EIFS should be avoided. Zoning requires lighting to be mounted at maximum 12 feet height because the site is adjacent to low density residential zoning. The applicant should confirm that all lighting will be dark sky compliant when installed.

The goals are to make the site function well for the users of this site and the entrance corridor, and to have an attractive development that is compatible with its surrounding context.

The site design will function as well as possible given it is a by-right development, and existing roadway and traffic constraints. Compared to other buildings and structures having frontage on the same EC street, this site is very prominent and deserves a statement building. Staff has suggested changes that will make it more compatible with the corridor, but the ERB may have additional suggestions.

Staff recommends deferral, so that the following revisions are considered before the entrance corridor certificate of appropriateness is approved:

1. Design the building so it is given the architectural attention that this site deserves;
2. In particular, give more importance to the NW corner of the building, and consider a corner entrance;
3. Make a better connection between the City sidewalk and the building, preferably at the corner;
4. All lighting should be 12' height maximum and should be confirmed as meeting the City's dark-sky requirements;
5. Consider replacing EIFS trim with a more sustainable material such as cultured stone;
6. Submit specifications for the clear glass in the windows. Consider dark aluminum storefront (windows and doors) with vertical orientation;
7. Verify that all mechanical units will be screened- submit screening design for rear;
8. The signage may be red during the day but it should be perforated type design that appears lit white at night;
9. Consider including some Magnolia trees in the site design to reference those on the other side of Emmet Street.

Ashley Davies, Williams Mullen, speaking for the applicant, The Rebkee Company, on behalf of CVS, proposes the construction of a new CVS store at the corner of Emmet Street and Barracks Road. Both streets are Entrance Corridors in the City of Charlottesville. The store will be located on Tax Map Parcels 10-40 & 10-41 in front of the existing Meadowbrook Shopping Center. The buildings that housed ALC Copies, Anderson Seafood and the Tavern will be demolished, and the site will undergo significant upgrades in parking, access control, auto and pedestrian circulation, stormwater quality, lighting and landscaping. Emmet Street has the potential to become more of an urban boulevard, with lively pedestrian activity and a greater mix and integration of uses. Locating the CVS at this important intersection helps define the shopping center as well as the intersection; creating a more urban and pedestrian friendly environment.

Retail uses, shared parking, consolidation of smaller parcels, and upgrades to existing building and site elements are all recommended in the Barracks Road Entrance Corridor. A variety of commercial uses have been located on this site. The CVS store will maintain the retail presence of this shopping center and replace the previous retail establishments. The result is a revitalization of this entire quadrant of the intersection.

CVS shares the City's goal to actively pursue strategies designed to keep the City a thriving and vital retail center of the region by providing high quality retail in this commercial corridor. The Entrance Corridor Guidelines also speak to the importance of infill development in the commercial corridors. CVS is happy to improve the pedestrian experience along Barracks Road and Emmet Street while providing options for walking, bicycling, and transit, promote healthy living and reduce dependence on automobiles and energy use. To this end, the proposed site improvements create a vastly safer and more enjoyable environment for pedestrians by:

- Reducing the number of auto access points from 9 to 2. (Avoid excessive curb cuts for vehicular access across pedestrian ways.)
- Rebuilding sidewalk along the frontages
- Providing ample green space and large shade trees along the sidewalk
- Providing convenient bike racks next to the store entrance
- Providing safe pedestrian connections to both of the buildings on the site as well as between the buildings

The site as it currently exists is almost entirely impermeable with very little landscaping. The proposed plan reduces impervious surfaces from 96% to 81% of the site. Large canopy trees will be planted throughout the site, providing a sense of enclosure, creating shade for the pedestrian and defining the edges of the site along both Entrance Corridors. Plantings are included to buffer the parking area and the internal service area.

The proposed CVS building is oriented towards Emmet Street and Barracks Road, creating an urban presence on the corner as envisioned in the Urban Corridor zoning district. The building entrance is located on a diagonal so it can be oriented towards the corridor and the parking lot. The building will help define the space of the intersection and provide a comfortable backdrop for the pedestrian. Convenient bike facilities are provided on Emmet Street next to the store entrance.

At 24 feet tall and approximately 13,000 square feet, the proposed building is comparable to others in the district in terms of height, scale and massing. Use quality materials consistently on all visible sides of commercial buildings. Durable building materials such as brick, wood, cementations siding, and metal roofs are economical and more compatible with the character of the community. The primary building material is brick in two complementary shades. EIFS is used sparingly for the building's cornice and entry feature.

The proposed CVS is architecturally compatible with other existing buildings in both the Barracks Road and Emmet Street Entrance Corridors. Most buildings along the corridors are one story brick structures with varying levels of glazing and detailing. Encourage the use of awnings at the storefront level to shield displays and entry and to add visual detail. Awnings are used to call attention to the building entrance. Mechanical equipment on the flat roof of building will be fully screened from the Entrance Corridors behind the parapet roof.

Use massing reduction techniques of articulated base, water tables, string courses, cornices, material changes and patterns, and fenestration to reduce the apparent height of a larger building. The building is broken down into components both vertically and horizontally. The side elevations show three primary bays with the cornice line stepping down for each bay. Each larger bay is divided into two smaller bays separated by brick pilasters. The front and the rear of the building has a consistent cornice line with the same rhythm of smaller bays. Two strings courses in the brick give the sense of three vertical zones that coincide with the base of the building, the storefront and the cornice. The lighter color brick in the top third of the building helps to define the cornice zone and differentiate the space from the area of red brick below.

Questions

Chairman Keesecker spoke concerning the sill height for the windows facing from Emmet to Barracks Road; do you happen to know where the bottom of the window is in relation to the slab inside? Ms. Davies said it's 5 ½ on the outside and 8 on the sides.

Commissioner Lahendro said there is 5 ½ foot elevational difference between the intersection and the finish floor so those windows become 10 feet or more from the sidewalk to the intersection to the bottom of the window.

Chairman Keesecker asked about the turning radius for the entry off of Barracks, is it site plan dictated radius related to the speed of cars, or the volume of cars, or something you have some design and flexibility, like pedestrians and cars, distance and speed.

Ms. Davies said the Barrack Road entrance is designed so a delivery truck can navigate that radius and it is something that we have worked a lot with the City traffic and engineering folks on, so she doesn't know how much flexibility is there. She said going from the nine entrances to two will create a much safer condition for anyone trying to access the site.

Chairman Keesecker said visually he compared the entrance on Barracks to the one on Emmet. He said it looked like the one on Barracks was a broader, sweeping curve than the one on Emmet. You are associated with more cars and more speed for some reason. He said addressing deliveries basically, is the answer.

Ms. Davis said there is a taper coming off of Emmet going into the site so cars are able to get out of traffic and there is a little more width there because there's an existing travel lane in front of the shops in the back and the one way that is going toward the CVS. When they first started the design process they both were going two ways and we came to the conclusion that that was way too much confusion and too close to that particular entrance. There had definitely been some negotiations along the way to update how that functions.

Chairman Keesecker said he can appreciate the wide sidewalks on Barracks but was there any conversation about the sequence about the street, sidewalk, curb, planting and having that in a different order. There will be more landscaping between the sidewalk and what could surmount to a relatively busy road. There are a lot of people who run up Barracks toward the neighborhood. He said there is a lot of activity on that side of the street. He said there is not another sidewalk going up into the neighborhood and Barracks is very canopy heavy once you have reached that tunnel of trees, but as we approach this corner it appears that it had to have been some conscious decision to bring that big broad sidewalk out to the street and pull the trees kind of against the building. Was it a technical decision or just an aesthetic decision to order them that way.

He is looking at Barracks at this point so he is thinking of the retaining wall and the sidewalk immediately next to the street with the trees squeezed between them, the broad sidewalk and the building. He said that order of pedestrian realm was dictated by a technical issue related to the site plan that he doesn't know about or just an aesthetic choice that you all had made.

Ms. Davies said on the Barracks Road side there is definitely a pinch point as you get to the back of the building and the retaining wall where there is not a lot of space to work with and right now we have that retaining wall following the back of the sidewalk and some of that has to do with the right of way dedication and what ends up in the City right of way versus not. That has to do with the structuring of where the sidewalk is located. She said she had a conversation with Amanda Poncy because of the Emmet Street plan to update all of the pedestrian features which are really important to the city so they have definitely been responding to all of the requirements given us, but not being an engineer she cannot remember if there was a particular reason why trees are placed on one side or the other. She said if you are providing a wide sidewalk and having the street trees, you are going

to have that shade but why there is a performance for one sidewalk versus the other she does not know the answer.

Commissioner Santoski said he is curious to know about the windows. He said you have the 5 foot windows on the Emmet Street side, but only the 3 foot wide windows partially down Barracks road. Why not go with 5 foot wide windows making it more appealing to pedestrian passing by or anyone driving by instead of seeing just that brick wall. Is that a deliberate decision?

Ms. Davies said that has to do with the layout of the pharmacy and the front area is where the checkout area is so the windows can go lower once you get into the building you have display on the wall so the windows are going above the display area.

Commissioner Santoski asked by cutting off the corner right at Barracks and Emmet Street, instead of having another entrance in there, that would seem to open up and lighten up the space to make it more attractive. He said you have the whole corner coming down Barracks and coming up Emmet toward the entrance and it feels so big box rather than being an inviting entrance to come into. He asked is there anything you can do or is what you see is what you get. Is it true that the city has told them that they can't come all the way out on Emmet and Barracks and we are stuck with that?

Ms. Creasy said there is maximum/minimum setback in that district so they have to follow within the guidelines but we also are working in partnership for potential traffic improvements so it is noted that they are providing some right of way so it can be taken into account in the future. The perspective from the drawings can appear to be a bit more extreme than it actually is.

Ms. Davies said you are referring to the corner where the larger window is.

Mr. Santoski said you have the larger window there, but when you go down either side of the building, you go to a much smaller window. He said he can understand perhaps all the way in the back where the loading dock areas are but the Barracks side just looks like a brick wall. What is so spectacular about this for Charlottesville.

Commissioner Green said it creates an unsafe environment.

Commissioner Santoski asked if that is deliberate to do that same way on the other side.

Brian McNeill Rebkeek Company, said the reason for the narrow window is the shelving to stock the merchandise on the interior of the store is up against those interior walls so the windows are above the shelving so if they were to be brought lower you would see the back of the shelving. He said they could bring the windows down and have nontransparent glass which is a consideration and we have done that before. He said yes that is the reason there is not an entrance at the corner because there is shelving that goes all the way through. He said that particular window is not transparent because it is looking directly in the back of the shelving.

Brian Hogg, UVA Representative, he said you noted earlier in your presentation about the slope of the site and that you were leveling the site by raising the corner. Did you look at the alternative by using the low point where ARC is, as the place to begin and lower the site going south rather than raising it going north. It seems like some of the issues we are identifying with the perceived monumentality of this building arise from the great change at that corner. That might have been a solution that addressed some of the concerns that you are hearing expressed.

Ms. Davies said what she is hearing from one side is that you want monumentality and something that is larger in a building and on the other hand hearing that is not a good thing, so it would be great to have clarity on that.

Brian McNeill said if we were to reverse the topography and use the hard-corner as the low point and cut the site, it would make all entrances on Emmet Street un-usable because the slope would be too much for a car or any vehicle to get down and we would not be able to capture that grade change in enough time.

Comments

Mr. Hogg said the staff is correct in keeping with the zoning guidelines with the one story building. In context with the last exchange maybe monumentality wasn't the right word. He said it summarizes the innuendo there is a general sense that a building which is somewhat more pedestrian friendly than what you have presented would be desirable and partly it's the perceived type from the corner, the height of the sills. This building seems more attuned to a suburban setting instead of a setting where a city's guidelines and goals have discussed creating a pedestrian friendly environment and he thinks that the guidelines and the goals began to talk about the pedestrian's ability to interact with the building and to enter the building and to that end the question of whether the façade is parallel to Emmet Street or not relates to how accessible it seems to a person walking by and that is something that is independent of the right turn lane or the other things because the setbacks are the setbacks and are drawn. Presumably the setbacks are more or less parallel to the property line because they are not out of square with the property line. He said the same is true with the windows, to engage a pedestrian passerby and understanding that every drug store in America now merchandises around the entire perimeter of their building and have shelves on it you still manage at your University Avenue location to work in an old store front where there is perfect visibility into this shop for most of its area. So there must be something between that historic storefront where you operate in to some modest degree or the one on the downtown mall although you have opaque most of the windows there as you have the one on Barracks Road. Something that provides engagement to a passerby even if it's in the form of a poster case, something that is a display in the manner of a storefront in a retail building and while the staff's point about the importance of the northwest corner, is important, it was particular disheartening at the tail end of the conversation to hear that that window is opaque. He could imagine it being a window, a window that a customer could walk up and look out and then it becomes a kind of event within the store and for the pedestrian. He said he doesn't get what the things on the corners are where you have the little wonky things or trellises. He recognizes that it is to add some visual interest to the building but particularly at the corner where you have the projecting eave, the wonky thing and the canopy, there is an awful lot of stuff going on there that seems to be redundant. He said he doesn't take particular issue with design. It is a little on the generic side, a little like every CVS, but it is also true that that stretch of Emmet Street is filled with relatively honest structures. He said as long as it is decently proportioned and decently scaled with appropriate materials it fills the criteria set in the guidelines.

Commissioner Lahendro said during the discussion period that a 10 or 12 foot wide concrete sidewalk next to a street does not make a nice pedestrian experience and it is important that this becomes pedestrian friendly. This is an important intersection. We are trying to get away from the auto-centric type of road that Emmet has been in the past because our urban environment is filling out. He said he asked the question about CVS and where it is now, he can see people wanting to walk across Emmet to get to this CVS and Lord knows we would like them to so they don't get into their cars from one place and drive to the other. We need to do everything we can to encourage people to walk around this building. East of Barracks Road you have large residential communities and they are

fighting CVS and these types of developments because they are turning their backs on the residential areas. In our guidelines for streetscapes, it states to place sidewalks on both sides of streets where feasible and separate them from the curb 5 feet landscape zone where possible. Having a landscape zone between the sidewalk and the street makes the pedestrian feel safer and gives them cover and context and he is surprised at the lack of the number of canopy trees you have in the site plan with as much planted area as you show. He is looking for a way that this corner and intersection can embrace the pedestrian experience and the neighborhoods around it.

Commissioner Green said the words she heard were try to have the building harmonious with existing and is that what we want, she said we are looking for an opportunity. She heard the words compromise, this is another corner where we are looking at wanting to compromise. We want something that is not status quo. The design guidelines for buildings 1) respect and enhance Charlottesville character...incompatible aspects of franchise design or corporate signature buildings must be modified to fix the character of this community. Maybe that is why these square corners are not working so well. Let's do something different. 4) New development should strive to implement the intended vision rather than repeat existing inappropriate development patterns. She said she does not want to repeat Cash and Go.

Commissioner Santoski said Jody and Lisa hit the nail on the head and he agrees with them both. We have to want to see something else on this corner other than a Merchant Tire Store which is what this remains. He asked why the trees aren't over the sidewalk instead of over the store. He said especially when you start going down Emmet Street and Barracks Road right across the street from it and down towards the University, here is a real chance to make this the entranceway to that whole stretch of street as it continues to develop over the years rather than it looking just like everything else that is on Emmet Street. This is a corridor that we should be proud of and we should have something that looks more unique.

Commissioner Keller said it is an area heavily used even after dark. She agrees with Jody, John and Lisa. From section 5, "On Route 29N from Barracks to Ivy Road a potential to become an urban boulevard" and there is nothing urban about this at all. It is really perpetuating the current corridor. The Wheeler Family were early developers in Charlottesville and as such they developed this little center to serve that community. We need a 21st century interpretation of what could be at that signature site. As she was looking at the site today, she was so struck that there were no through streets in the neighborhood until you get to University Avenue and Ivy Road. She asked to be cognizant of the plans for reworking the Emmet Street intersection. Really they are bookends, that is our entrance and the decision that has been made in recent weeks about the block just north of this that is destined to be automotive for the next couple of decades. This site will be semi automotive but should be the place where we introduce pedestrianism and embrace it for that retail center. The neighborhoods that are adjacent and are linked to it and the University because we are not far from that University expansion and re-interpretation of that entrance and this whole thing should reinforce itself and it's an opportunity and she knows you have a business and it is a big box model of putting single use pharmacies at signalized intersections, but please take an opportunity to make this an extremely good one for Charlottesville. She would call your attention to the building across the street that was designed pre-corridor guidelines and replaced an earlier building that we could debate that would have been better. That building does have a richness of material. It plays with traditional elements from Virginia with the brick and the slate and it does in some expectant ways for its time and has depressed parking that shields it from the parking lot. There is a lot of precedent there so she asks you to look at the good things across the street. Along with section 5 of the Route 29N vision, if possible character defining architecture should be incorporated into redevelopment plans and we need some character and we need some character to defining architecture at this site and as

dialectic as they are now, there are two iconic elements there, the roof top and tavern in its unusual form and the seven from the old seven day that was there, those are part of our automotive early suburban history and if there is any way to make reference to those it would make something that is uniquely Charlottesville and it marks that place.

Commissioner Dowell said she was looking at some of the pictures of other CVS stores and if you look at the one from Gainesville Florida, it is pedestrian friendly. There are windows and the shelving; she was wondering how you would accomplish that in the Gainesville Florida image that's in front of us. She said she could see light through the store.

Chairman Keesecker said we have a conflict of design drivers in that the design driver for the facility is floor plan and our guidelines are fortunately from the outside in and the conflict is at the perimeter of the building and the side immediately adjacent. So where there are square corners on the building and 150 x 120 makes perfect sense for the flow of the customer on the interior and it's orientation to the site. Our guidelines speak more directly to how that building perimeter engages the street and so this is where the basis of all our conversation is tonight is shelving vs. windows, square corners vs. engaging the corner of the street, the alignment to Emmet vs. the alignment to not even a great parking lot. He said they all can be sorted out. He said in the future when we talk about the context of Emmet Street and the entrance corridor, it would be helpful if the applicants material would include some references from the immediate site so we could understand that the corner line on Emmet does not change elevation either makes reference to another line somewhere else further up Emmet that does the same thing or chooses to say corner lines along Emmet Street are all over the place and we are going to unify on our building to make a statement. For whatever reason it would be nice to know why the corner line doesn't change on Emmet and it does change to the rear of the building or what does running bond brick or a different color above the window heads mean or this corridor or what reference does that have to our immediate context. We could go out and try to guess what the parallels are but it would be helpful just as we have that conversation in the future what your reasoning is for this pallet and these forms in that location 500 feet up and down the street either way because there are relatively interesting buildings that may or may not play nice with these one as we consider it.

Commissioner Keller moved to defer the Entrance Corridor Certificate of Appropriateness application for the new CVS pharmacy at 1170 Emmet Street so the applicant can address concerns, seconded Commissioner Green, motion passes 8-0.

Chairman Keesecker gaveled out of the Entrance Corridor Review and back into the Planning Commission.

Motioned by Commissioner Santoski, seconded Commissioner Dowell to adjourn (8:51) until the second Tuesday in October.

MINUTES
PLANNING COMMISSION WORK SESSION
Tuesday, September 27, 2016
5:00 – 7:00 p.m.

I. PLANNING COMMISSION WORK SESSION

Location: NDS Conference Room, Charlottesville City Hall, 2nd Floor

Members Present: Chair Keesecker; Commissioners Taneaia Dowell, Genevieve Keller, Jody Lahendro, and John Santoski; UVA representative Brian Hogg

Members Absent: Lisa Green, Corey Clayborne

Staff: Alex Ikefuna, Brian Haluska, Carolyn McCray

Call to Order: by Chairman Kurt Keesecker at 5:00 p.m.

AGENDA

West Main Corridor Density Proposals

The discussion proposal includes the following:

West Main West Corridor: No more than 64 dwelling units per acre by-right, and a maximum of 180 dwelling units per acre by special use permit.

West Main East Corridor: No more than 43 dwelling units per acre by-right and a maximum of 120 dwelling units per acre by special use permit.

Summary

Brian Haluska said these items were referred back to the Planning Commission from the July 18th City Council meeting to consider the West Main density and the recommendation from Councilor Galvin for a different interpretation. When it originally went to Council the density remained unchanged and Council expressed an interest in exploring going up to 200 units per acre by-right, and removing any SUP for density. That recommendation came back to the Planning Commission, and the Planning Commission recommended specifically not to change the density, recommending that the regulations remain 43 dwelling units per acre by-right with up to 200 du by SUP. That is what went to Council and Council returned back a proposal that splits the corridors based on the maximum heights in those corridors. The proposal is that West Main West -- which is the taller of the two corridors -- go to no more than 64 dwelling units per acre by-right which is an increase of 43 and then a maximum of 180 dwelling units per acre by SUP which that would lower from 200 the maximum permitted under Special Use Permit. For West Main East, it would remain 43 dwelling units per acre by-right and allow a maximum of 120 units per acre by SUP. He said that 120 du is already in our ordinance as the maximum density allowed by special use in the Downtown North Corridor. Councilor Galvin pulled 180 du from the Blue Moon project. The Blue Moon project is approved at 70 feet tall which is the maximum height for the West Main West Corridor. We are looking for

approval from the commission that you agree with Councilor Galvin's suggestions then we will schedule this for a public hearing in November.

Commission Keller said this is much more reasonable than what we had previously.

Chairman Keesecker said it seems logical to him.

Brian Haluska said it seems like the commission is supportive of this so we will move forward with the public hearing.

Chairman Keesecker said as the staff report comes together it would be helpful as the public hearing takes place to have some formal listing of the other precedents or examples that are not mentioned in the letter that we have today whether it's Blue Moon or other projects so that there is a feel for what that density means in reality to help people visualize. He said he didn't have any issues with it but could imagine it being hard to visualize for others.

Water Street Code Proposals

Summary

Brian Haluska said at the regular meeting on June 14, 2016, the Planning Commission initiated a review of potential changes to the Water Street Corridor zoning district to address the addition of the Midway Manor property into that district. The Commission forwarded recommended changes to Council for consideration, and requested that staff evaluate and review the setback regulations along Ridge Street and the setback regulations adjacent to the South Street Mixed-Use District that might be appropriate in light of the inclusion of 100 Ridge Street in the Water Street Corridor. Those items are:

- Setback regulations along Ridge Street
- Setback regulations adjacent to the South Street Mixed-Use District

Ridge Street Setback

Currently, the Ridge Street frontage of the property is governed by the primary street frontage setback, which requires at least 75 feet of the streetwall of a building be built on the property line, and the remaining streetwall be a maximum 5 feet from the property line. The code permits a reduction in the amount of the streetwall required to be on the property line to 50% and an increase in the maximum setback to 20 feet to accommodate street trees, or pursuant to a special use permit.

The Tree Commission expressed a desire to see the setback along Ridge Street set at 25 feet minimum to permit adequate space for street trees on private property.

Staff finds no justification for the 25 foot setback, because no other setback regulations in the vicinity of the property are subject to such a regulation. Staff instead recommends using the existing setback regulations that apply to the 200 block of Ridge Street south of the railroad, as well as the buildings across Ridge Street from the site – a required 10 foot minimum setback with a 20 foot maximum.

Commissioner Lahendro said concerning the experience of walking on this sidewalk, the trees provide a canopy between the sidewalk and the street which makes for a more pleasant experience.

Commissioner Keller we are dealing with a unique situation here and what we are looking for is to allow this property to re-develop as it is very likely to do at some point in the future but to do it in a way that you provide a visual terminus to West Main Street. At that point and you would also allow for street animation there it is an asset to the West Main Streetscape design that has not been resolved yet so that's why she would like to see an opportunity to have as generous a setback as we could and this rezoning while it was time consuming basically flowed through with a very straight forward process and some of these objections were raised but staff didn't advertise it that way so this is our opportunity to provide enough space to get it right.

Mr. Hogg said two significant historic houses on the other side of Garrett practically have a zero setback.

Commissioner Keller said she is not talking about a residential context there and that has not been a residential site for a very long time. She said she is not talking about buildings in relation to the street. Using the average front setback on a site scares the dickens out of her. She thinks this is a unique site, it's really a one of a kind site in the City of Charlottesville and obviously we need to do the equitable thing in terms of zoning. She thinks it behooves us as people thinking about the future plans of Charlottesville and the West Main Street Streetscape project to give us a generous area there, where we could have street trees that has been brought up by the Tree Commission or it would provide some sort of area for a plaza for a very significant building.

Commissioner Lahendro said it needs trees. It is a good pleasant pedestrian experience on the east side of Ridge Street. He said the problem is getting across the intersection of McIntire and West Main is so difficult, it is not pedestrian friendly at all and doing anything to improve that, getting street trees, giving people a pleasant pedestrian passage would be a big improvement.

Commissioner Santoski said he doesn't see the need for canopy trees on the corner. He said this is some place he can see not having a setback.

Mr. Hogg said he thinks what is set up on the west side of that intersection is a historic building and a hotel where each meet the sidewalk and have windows to look into as sort of a display and they are beginning to make a sense of enclosure around that statue and it is kind of an urban place. He thinks in a lot of ways the southeast corner isn't holding its own and it isn't providing any sense of enclosure there. While it might be one type of experience to open it up with trees in some ways it is more consistent with the design of the downtown mall (before the mall was made) it had buildings on the street and walking down there and this is the transition moment between downtown and West Main Street. When it came before the BAR, one good thing it did was close that corner much much better than the garage that proceeded it did. He said the deeper setback with big canopy trees makes a prominent corner on that site.

Chairman Keesecker said although it would be a unique condition, he can see a situation where we keep the larger setback and let plans unfold. When the design is on the table we can have some flexibility to do what it needs to do at the time the project comes forward. The setback potentially

allows for more to invade in this case. More height and density or something less and the setback would get smaller.

Chairman Keesecker he thought the South Street stepback is appropriate and some acknowledgement to the adjacent properties would be fine. Commissioner Dowell said she is torn because after being on the planning commission for a while now she sees the world differently when it comes to trees. She said she would be comfortable with finding a way to put in some trees but not necessarily have such a big setback.

South Street Stepback

In the Water Street Corridor, stepbacks are only required along street walls. The Commission expressed concern that even with a 10 foot setback adjacent to the South Street District, a building of 70 feet in height would not be in scale with the 45 foot maximum height in the South Street District, and that further regulations were needed to ensure a transition from the smaller scale South Street buildings to a potential development on the site at 100 Ridge Street.

Staff recommends a 15 foot stepback after 45 feet in building height. The maximum building height in the South Street District is 45 feet tall, and the 15 foot stepback coupled with the 10 foot setback would equal the 25 foot stepback currently required on streetwalls in the Water Street District.

Valerie Long, Williams-Mullen, representing the owners of Midway Manor, and Mark Rinaldi, we have been very involved in this process from the beginning. We are comfortable with what staff suggested, and a lot of what you all are discussing, that provides a nice range putting some borders on where that setback will go but also provides some flexibility that you talked about to design the building which hasn't been done yet; and it is probably five years away from the design. We would ask for that flexibility so we can figure out what is the best setback and design for that parcel. We agree that it is an important parcel. We have been saying that from the very beginning. We are glad to know you all agree, but we don't really think it warrants a special parcel specific setback just because it is important. Every parcel is unique and it is very important and in an important strategic location. We think it makes more sense to have flexibility with borders around it proposed by staff and so we will bring a proposal to you with a design for the commission to weigh in on if it's a special use permit type situation or the BAR regardless, so we would ask for your support on that. There is a good chance that a special use permit would be required with any type of building whether it's for additional density or additional building height, but it may not and so, if the theory is let's require a maximum of 25 feet because we know they are going to require a special use permit we will have a chance to reduce it at the time and that could back-fire. She said she could see a developer saying we are not willing to risk that process, the uncertainty of knowing whether we will be able to get the setback reduced what if we spend 100 thousands of dollars designing this building on this site based on a 15 feet setback and then they say no we want 25 feet setback maybe even more and then we have to go back to the drawing board. Having a range and some borders around the expectation for the setback is important that level of certainty is helpful. She also noted that originally before we were able to request the property be rezoned to water street district, it would have been zoned had we not requested it. It would have been West Main East which would have had the 10 foot minimum and a 20 foot setback. Everyone thought that was fine at the time or at least no one raised that as a concern

at the time. So that is why we thought that was a particularly appropriate range because that's what it would've been. The parcels to the south as Brian mentioned are zoned West Main East, parcels to the west are zoned West Main East so it provides some certainty. The comments about the 25 foot minimum setback that came from the Tree Commission was when she first learned of the 25 foot setback at the Planning Commission meeting. She asked where is this 25 feet coming from. She did not know that was what Planning Commission members had talked about that being sort of the established setback in the end. We did our research and couldn't figure out where that was from. We spoke to Brian and he said I am not sure where that came from either, and so there wasn't any real precedent for the 25 foot and so she doesn't know if the decision for the commission to take this forward based on that mistaken promise, we think a 10 foot minimum 20 foot maximum is a great compromise, it addresses the concerns that you all have for street trees, good public spaces and doesn't artificially constrain the design flexibility so that we can design a building that will warrant such an important location in the city. With regard to the building setback, from the south street zoning district we ask that you think through again whether that is appropriate to make site specific setbacks and setbacks that will only affect one parcel. 1. Had the property not been rezoned, Water Street district as we had asked it would have been West Main Street East there would have been no setback, no building setback from Water Street district and no limitations on ground floor residential. We addressed all of those issues with the first zoning text amendment that you all recommended and Council approved. Those three issues that we felt appropriate for the midway manor parcel regulations to be consistent with all of the other Water Street district regulations and then it added the ground floor limitations on residential which is not in the other Water Street district but is important to carry that restriction as it was added for West Main Street. We are not sure there is a need to have a setback from South Street. We recognize that that is a special zoning district, those are important properties. We don't think there is a real risk or any harm from having a tall building next to a shorter one. There are a lot of examples in the city. Mark pointed out my own firm's building in the old Miller and Rhoads building is obviously taller than building around it. There are five floor buildings, and two floor buildings to the right and to the back. She said she is not an architecture person but thinks that variety of building heights provides lots of visual interest and variety on the downtown mall. She would not like it as much if everything was the same height. It is a three story difference there and she doesn't think it causes any harm. The concept of building setbacks has always been applied in the city from the streetscape and she is not aware of any other examples where it was applied and or opposed on the side of buildings, so she thinks that would be a big policy shift. So that appropriate given for this parcel that's a big change, she could be wrong, there could be others but she is not aware of any. Again had it been zoned West Main East there would have been no setback, no building requirements, it would have been a 70 foot building. The South Street buildings can redevelop, they are limited to 45 feet in height but they can still have maximum redevelopment potential and build right up next to the midway manor parcel without any setbacks or any building setbacks. We have already imposed a 10 foot setback of the entire building and a landscape buffer along that common boundary. We think that addresses the need to protect those properties and we don't think that this is necessary, so ask that you consider that. The Midway Manor property has been zoned for over 4 decades originally up to 101 feet by-right and then when the comprehensive zoning went through because before the West Main street south zoning district came into play it was zone B4, when the mixed use zoning districts were created and implemented in 2003, it was zoned West

Main South and those districts allowed 101 feet by-right. A few years later the regulations were amended to require a SUP go to that height. For many years it was allowed up to 101 feet by-right even with the South Street houses there. She said their contentions were by the time that South Street was created it was thought to be okay that the building at midway manor could be up to 101 feet by-right and even when the zoning district was modified to require an SUP to go from 70–101 there was no additional building setback that was put in place then. We are trying to figure out if it was okay when it was West Main South it wasn't going to be needed if it was going to be West Main East why all of a sudden it is needed when we rezoned it to Water Street district. She said their request is to doctor those issues into your consideration.

Commissioner Keller asked Brian to advertise these at their maximum. She said you don't have to endorse this in the staff report, if this gives you heartburn, but it would give us wiggle room with those who are not here today or if some new information becomes available. She said she recommends that the Planning Commission make a motion not to recommend approval or denial but make a motion that our comments be taken to Council.

Commissioner Santoski said or we can write them up ourselves.

Commissioner Keller said that is where things fall through the cracks. We go through all of the trouble to review something and particularly if we are not in concurrence with the staff report with Parks and Rec or NDS, our comments could just go into cyberspace.

Brian Haluska said the action taken memo reflects the Planning Commission's action. It is a separate document that we generate after the meeting, and is the front page of the item that goes to Council. In the memo is the Planning Commission's complete motion, a summary of the comments and the actual text of the recommendation, plus the motion and the vote. He said the staff recommendation is not in the memo. He will check with Parks and Rec to see how they do theirs.

Commissioner Lahendro said as he understands it, after additional study it is not going to go to a vote it simply is going to accumulate the comments from the Planning Commission be written up separately, and accompany the recommendation that goes to Council.

Brian Haluska said the question that staff will answer for them is what happens to comments that they provide to Parks and Rec staff at their meeting.

Commissioner Santoski said we can always make a motion and have something more formal put together.

Adjourn 6:10

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



APPLICATION FOR A SPECIAL USE PERMIT

**JOINT CITY COUNCIL AND PLANNING COMMISSION PUBLIC
HEARING**

DATE OF HEARING: November 9, 2016

APPLICATION NUMBER: SP-1600008

Project Planner: Heather Newmyer

Date of Staff Report: October 21, 2016

Applicant: Trey Steigman of Management Services Corporation (MSC)

Applicants Representative: Michael Myers, P.E. of Dominion Engineering

Current Property Owner: Douglas E. Caton of 1228 Cedars Court, LLC

Application Information

Property Street Address: 1228-32 Cedars Court (“Subject Property”)

Note: Site is vacant and contains existing surface parking

Tax Map/Parcel #: Tax Map 40B, Parcel 4.5

Total Square Footage/ Acreage Site: approximately 0.348 acre (15,159 square feet)

Comprehensive Plan (Land Use Plan): Mixed Use

Current Zoning Classification: Urban Corridor Mixed Use District (URB)

Tax Status: Parcel is up to date on taxes **paid**.

Completeness: The application contains all of the information required by Zoning Ordinance Secs. 34-41(d), and 34-158(a) and (b). There are no existing dwelling units on the site, and nineteen (19) units are proposed by this development. Graphic materials illustrating the context of the project are attached to this staff report (Attachment E).

The community meeting required by Sec. 34-41(c)(2) was conducted on June 16, 2016, at the following location: 1228 Cedars Court, Suite A.

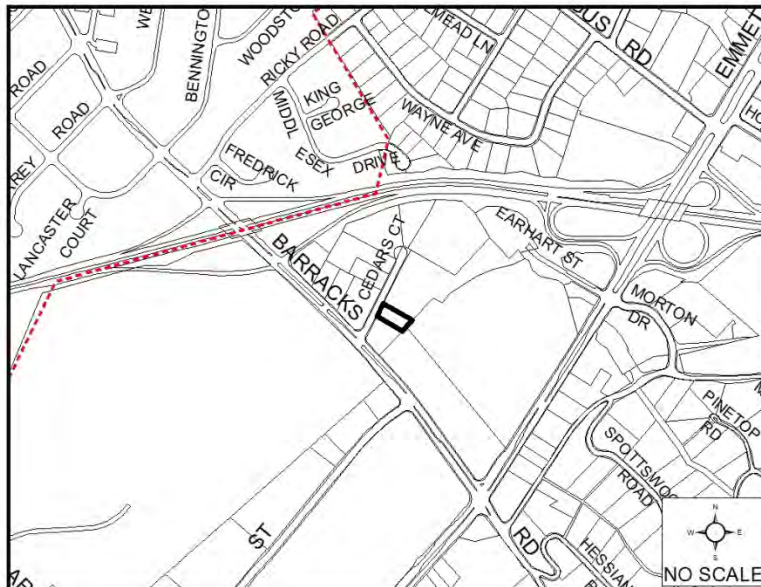
Applicant’s Request

Management Services Corporation (MSC), owner’s agent for the property owned by 1228 Cedars Court, LLC has submitted an application seeking approval of a Special Use Permit (SUP) to allow residential density up to 55 dwelling units per acre (DUA) at the Subject Property. Residential units are allowed by-right, including multi-family dwellings, at a density up to 21 DUA, but up to 64 DUA require Council’s approval of a SUP, per Zoning Ordinance Sec. 34-760.

The existing use of the Subject Property is a surface parking lot containing seventeen (17) spaces that serve as additional parking to the Cedars Court Center office buildings located at the adjacent parcel, 1228-32 Cedars Court (Tax Map 40B Parcel 4.1). The adjacent property is under the same ownership as the Subject Property. Surface parking, nineteen (19) spaces or less, is allowed by-right in the URB zoning district, per Zoning Ordinance Sec. 34-796.

The project proposal narrative (Attachment B) and associated preliminary site plan (Attachment C) proposes to construct a nineteen (19) unit multifamily residential apartment building consisting of three (3) stories of residential space over one (1) story of parking and residential (ground floor handicap accessible apartment). The gross floor area (GFA) is approximately 18,844 SF.

Vicinity Map



Context Map 1

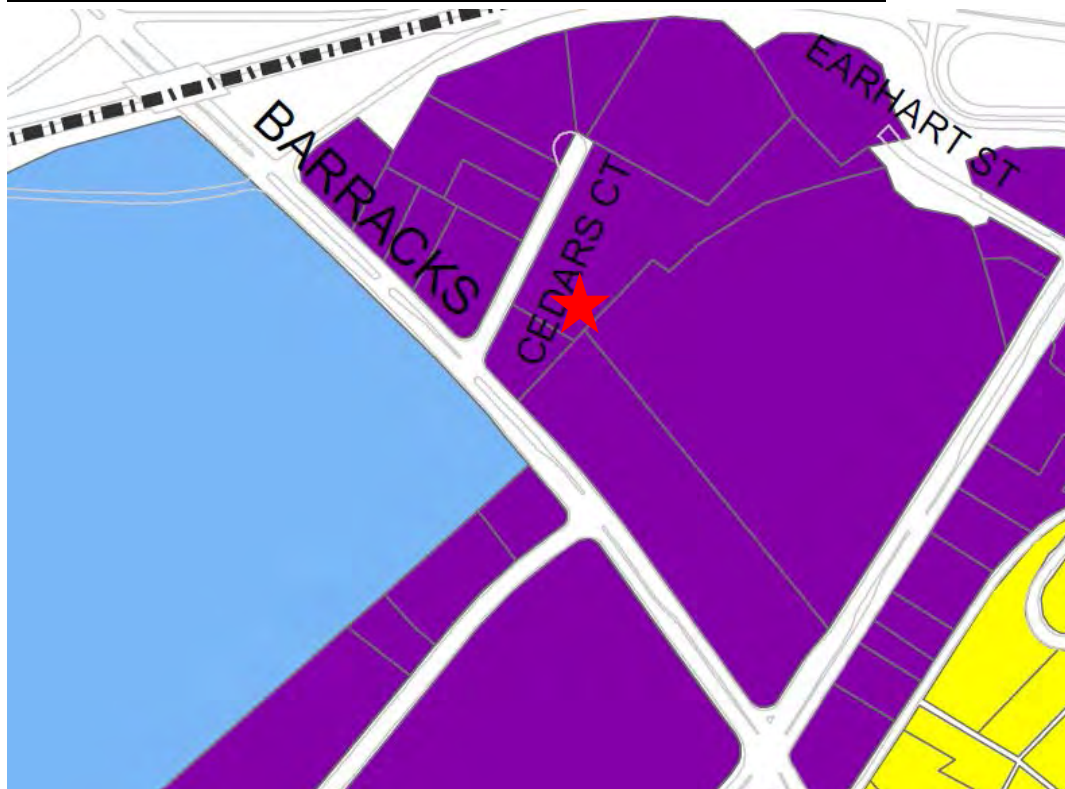


Context Map 2 – Zoning Classifications



KEY - Magenta: URB, Light Blue Hash Mark: Entrance Corridor Overlay

Context Map 3 - General Land Use Plan, 2013 Comprehensive Plan



KEY – Purple: Mixed Use, Yellow: Low Density Residential, Light Blue: Public or Semi-Public

Application Components:

Project proposal narrative (Sec. 34-41(d)(1)): Attachment B

Building massing diagram and elevations (Sec. 34-157(a)(4)): Attachment D & E

Project site plan (Sec. 34-157(a)(1)): Attachment C

Applicant's Comprehensive Plan Analysis: Attachment B

Applicant's public facilities impact statement: Attachment B

Applicant's LID Worksheet (Sec. 34-157(a)(3)): Attachment C (Sheet PS1)

Applicant's Affordable Housing information and data (Sec. 34-157(a)(5)—Attachment B

Standard of Review

City Council may grant an applicant a special permit or special use permit, giving consideration to a number of factors set forth within Zoning Ordinance Sec. 34-157. If Council finds that a proposed use or development will have potentially adverse impacts, and if Council identifies development conditions that could satisfactorily mitigate such impacts, then Council may set forth reasonable conditions within its SUP approval. The role of the Planning Commission is to make an advisory recommendation to the City Council, as to (i) whether or not Council should

approve a proposed SUP and if so, (ii) whether there are any reasonable development conditions that could mitigate potentially adverse impacts of the propose use or development.

Section 34-157 of the City’s Zoning Ordinance lists a number of factors that Council will consider in making a decision on a proposed SUP. Following below is staff’s analysis of those factors, based on the information provided by the Applicant.

Sec. 34-157(a)(1) Whether the proposed use or development will be harmonious with existing patterns of use and development within the neighborhood.

The properties immediately surrounding the subject property are described as:

Direction	Use	Zoning
North	Office Buildings	URB
South	Bank	URB, EC Overlay
East	Retail & Government Building	URB, EC Overlay
West	Bank	URB, EC Overlay

The pattern of development along Cedars Court is characterized by a mix of uses including residential (condominiums), office buildings, a nursing home, salon, banks and doctor’s offices. Cedars Court is located in close proximity to Barracks Road Shopping Center, the University of Virginia Law School and Darden Business School, and the Army JAG School. The surrounding properties are zoned Urban Corridor Mixed-Use District (URB); a number of the surrounding properties fall within the Entrance Corridor Overlay.

Staff Analysis: The proposed use of the Subject Property is a multifamily residential apartment building containing nineteen (19) units with structured accessory parking on the first story contained within the building footprint. Because the use is being proposed in an area that already contains an array of uses, is in walking distance to a major retail center, and is in close proximity to transit lines and the University, the proposed use is harmonious with existing patterns of use and development within the neighborhood.

Sec. 34-157(a)(2) Whether the proposed use or development and associated public facilities will substantially conform to the city’s comprehensive plan.

The applicant states within the project proposal narrative (Attachment B) that the proposed use of the building will conform to a number of aspects within the City’s Comprehensive Plan, including the establishment of a locally-owned operated business, the encouragement of alternate forms of transportation based on proximity to the University, shopping and mass transit lines, the minimization of the impact of parking

facilities and vehicular traffic due to the consolidation of structured parking on site, and the increase in customer diversity for the local shopping area.

Staff Analysis: The 2013 Comprehensive Plan’s General Land Use Plan specifies the Subject Property and its surrounding properties as Mixed-Use. Mixed-Use areas are, according to the Comprehensive Plan, “intended to be zones where the City encourages development of moderate or high intensity, and where a large variety of uses will be permitted, including many commercial uses, residential uses, and some limited research and manufacturing where appropriate.” Staff believes the proposed use conforms to the Comprehensive Plan’s intent for the Mixed-Use area.

Below are specific areas of the Comprehensive Plan for which the development is in compliance:

a. **Land Use**

Goal 2 – Mixed Use

2.3 Enhance pedestrian connections between residences, commercial centers, public facilities, amenities and green spaces.

Staff Analysis: The owner (1228 Cedars Court, LLC) has an ongoing relationship with the Rivanna Trails Foundation (RTF). The owner was previously entered in a lease agreement which allowed RTF access to construct, maintain and use the Subject Property for a trail that served as a connection to the greater RTF trail system. The proposed multifamily residential apartment building creates a conflict with the old lease agreement as the proposed building would locate on top of the future connection. The applicant has updated the lease agreement to allow RTF access to construct, maintain and use the parcel adjacent to the Subject Property, which is under the same ownership, for a trail that serves as a connection to the greater RTF trail system in the area (See Attachment F). In addition to the lease agreement connecting residents to the RTF trail system, the proposed development’s location, should the SUP be approved, will connect residents to Barracks Road Shopping Center, the University and other amenities in proximity to the Subject Property.

b. **Housing**

Goal 3 – Grow the City’s Housing Stock

3.1: Continue to work toward the City’s goal of 15% supported affordable housing by 2025.

Staff Analysis: The applicant will have to comply with the Affordable dwelling unit regulations set forth in Sec. 34-12 and either provide affordable units on-site, off-site or provide a cash contribution to the city's affordable housing fund. The applicant will coordinate with the Housing Program Coordinator to comply with Sec. 34-12.

Goal 8 – Sustainability Principles

8.3: Encourage housing development where increased density is desirable and strive to coordinate those areas with stronger access to employment opportunities, transit routes and commercial services.

8.5: Promote redevelopment and infill development that supports bicycle and pedestrian-oriented infrastructure and robust public transportation to better connect residents to jobs and commercial activity.

Staff Analysis: The proposed infill development is in a location that will connect residents to jobs, commercial activity and the University of Virginia. The proposed development is in close proximity to a number of CAT bus stops and is in walking distance of various commercial destinations and the University of Virginia. In addition, the proposed infill development will have access to future Emmet Street Streetscape Improvements that are to locate between University Avenue/Ivy Road intersection and Arlington Boulevard intersection (a little over a half (1/2) mile from the Subject Property).

*The City has received funding to improve the Emmet Street corridor with an estimated construction schedule: 2020-2022. The project includes a shared use path, improved bike lanes, consolidated bus stops/optimized bus shelters, landscaping, and improved pedestrian crossings at the intersections within the project area. The project implements the Comprehensive Plan, Bicycle and Pedestrian Plan, MPO Long Range Pedestrian Plan and supports the University's long term development plans.

Below are specific areas of the Comprehensive Plan for which the development may not be in compliance:

a. Transportation

1.5: Continue to include bicycle and pedestrian accommodations in conjunction with the planning and design of all major road projects, all new development and road paving projects.

Staff Analysis: There are three (3) proposed stairwells within the ground level parking that can be accessed from the vehicular entry way (See Attachment C & E). With what is currently proposed, there is not a visible primary building entrance that is connected from the public sidewalk to encourage pedestrian access. A primary building entrance should be provided for and will have to meet the requirements of Sec. 34-897 and provide for a connection to a public sidewalk to encourage pedestrian access prior to site plan approval should the SUP be approved. The applicant notes in the project proposal narrative (Attachment B) that suitable storage space is provided for bicycles but it is unclear where or if bicycle parking is provided for in the current draft of the preliminary site plan (Attachment C). The proposed development will have to meet the requirements in Sec. 34-881 and provide one (1) bicycle space for every two (2) dwelling units, or a total of ten (10) bicycle spaces prior to site plan approval should the SUP be approved.

Staff has recommended that the applicant include a primary building entrance on the northeast corner of the building that is for pedestrians and separate from the vehicular entry way. Staff recommends that a dedicated space is located beyond the building entrance in the interior of the northeast corner of the building for bicycle storage facilities required per Sec. 34-881.

b. Streets That Work Plan

The Streets That Work Plan, adopted by City Council September 6, 2016, categorizes Charlottesville's framework streets into six *street typologies*, which are based on Complete Street principles. Framework streets are the most direct routes through the city that connect places, neighborhoods, and districts and also serve as emergency vehicle routes.

Non-framework streets are considered *local streets* and make up the majority of the street network. *Local streets* have no specific associated typology due to the variation of context, right-of-way width, as well as the community's expressed desire to replicate as nearly as possible the feel of older local streets. The Streets That Work Plan notes design elements on Local Streets should not exceed the dimensions specified for *Neighborhood B* streets. Chapter 3: Street Network and Typologies of the Streets That Work Plan include *Neighborhood B*, *Local Streets* and the remaining street typologies with their associated design parameters. Chapter 3 is included as Attachment H of this staff report for reference. To access the full Streets That Work Plan, follow this link: <http://www.charlottesville.org/departments-and->

[services/departments-h-z/neighborhood-development-services/streets-that-work/streets-that-work-plan.](#)

Staff Analysis: The Subject Property fronts on Cedars Court North which is considered a non-framework, *Local* Street. The Streets that Work Plan notes design elements on Local Streets should not exceed the dimensions specified for *Neighborhood B* streets. A minimum of five (5) to six (6) feet of clear walk zone width for sidewalks is recommended for *Neighborhood B* streets. **Sidewalks** and **on-street parking** are noted as the **highest priority street elements** within the *Neighborhood B* typology.

Staff pulls from the *Neighborhood B* design parameters due to Cedars Court having low traffic volumes and being shorter in length with no connection other than entry and exit off of Barracks Rd. Cedars Court is approximately 500' in length and is a dead-end street with a cul-de-sac at the end (Note: The Subject Property has approximately 80' of road frontage on Cedars Court). Cedars Court has existing unmarked on-street parking (7'-8'), existing sidewalks that are approximately four and a half (4.5) feet in width on both sides of the street and has a mix of uses along the street including residential (condominiums), office buildings, a nursing home, salon, banks and doctor's offices. Cedars Court is approximately 56' right-of-way per Sheet PS2 of the preliminary site plan (Attachment C). There is approximately 36' from curb-to-curb. After taking into account on-street parking on both sides (assuming 7'), there is 22' left to account for the two (2) travel lanes. The travel lanes are approximately 11' in width. The on-street parking and travel lane widths are in line with what is recommended in the Streets That Work Plan. The existing sidewalk, 4.5', is less than the recommended clear walk zone width 5'-6'. Please note there is approximately nine (9) feet of right-of-way from edge of curb to the property line that includes the existing 4.5' sidewalk.

Cedars Court's existing conditions contain the highest priority elements listed for *Neighborhood B* streets: sidewalks and on-street parking. While the on-street parking meets the recommended width, the existing sidewalk width is less than what is recommended in the Streets That Work Plan. There is also a portion of existing sidewalk that is cracked and needs replacing in front of the Subject Property (located between the manhole and existing parking lot entrance).

The applicant is required to provide street trees to comply with Sec. 34-870, which will help enhance and frame the street. There is an existing City sewer line that runs

approximately one (1) foot off of the property line and has a public sanitary sewer easement. Sheet PS4 depicts four (4) shrubs proposed to locate adjacent to the public right-of-way and one (1) large tree (Swamp White Oak). While the proposed Swamp White Oak will count towards the street tree requirement, the shrubs do not count towards the street tree requirement in Sec. 34-870(b): "Streetscape trees shall be large canopy trees; however, upon determination by the director that site conditions warrant smaller trees, the director may approve the substitution of a medium canopy tree." The placement of the shrubs is also less than the minimum required spacing for plantings in relation to utilities per the Streets That Work Plan and will need to be reviewed and approved by the Utilities Engineer during site plan review and prior to final site plan approval (5' minimum, 10' preferred; anything less than 10' consult with Utilities Engineer to reach solution). Large streetscape trees are required every forty (40) feet of road frontage per Sec. 34-870(c)(1). The Subject Property has eight (80) feet of road frontage and will require two (2) large street trees.

While Cedars Court includes the *Neighborhood B* highest priority elements, on-street parking and sidewalk, there is opportunity for improvements within the existing right-of-way that will enhance the street along the Subject Property's frontage and support design parameters for other street elements in the Streets That Work Plan. The proposed improvements will replace the portion of damaged sidewalk and bring the sidewalk width up to the recommended width. There is opportunity to utilize the nine (9) feet between curb and property line and install a three (3) to four (4) foot curbside buffer between Cedars Court and the property leaving enough space to install a five (5) foot wide sidewalk between the property line and curbside buffer. Staff has proposed conditions as part of staff's recommendation that would ensure the applicant provide such street improvements if the SUP were to be approved.

As noted in the Streets That Work Plan, any time a street tree is planted less than 10' from a utility line, the Utilities Engineer is to be consulted in order that a solution is reached. If the applicant were to install a four (4) foot curbside buffer, the applicant could opt to plant the street trees in the curbside buffer. If the trees were installed in the curbside buffer, they would meet the 5' minimum distance requirement but would be less than 10' from the existing sanitary sewer line. The applicant would be subject to working with the Utilities Department to provide a solution due to the street trees being less than 10' from the existing sewer line (e.g. providing root barriers) as part of the site plan review and prior to final site plan approval. If the applicant opts to locate the street trees on the Subject Property, the

applicant will be required to show the 10' distance is met or work with the Utilities Department to provide a solution if the tree is less than 10' from the existing sewer line as part of the site plan review.

Staff has recommended that the applicant provide a vegetated curbside buffer between 3-4' as recommended per the *Neighborhood B* guidelines and replace the existing 4.5' sidewalk with 5' sidewalk. This leaves the applicant options as to where they would like to locate the street trees in light of the potential utility conflict with the existing sanitary sewer line. Staff has included "vegetated curbside buffer" so that if the applicant is to place street trees on the Subject Property, grasses or shrubs would still be an option for the curbside buffer portion.

Please note that Planning Commission has the option to provide alternative conditions to those staff have proposed or adjust the proposed conditions as written. See the Staff Recommendation section for more detail.

Sec. 34-157(a)(3) Whether proposed use or development of any buildings or structures will comply with all applicable building code regulations.

Staff Analysis: The proposed development will conform to all applicable building code regulations. Building plans are not yet available for review, but demolition of the existing structure, and construction of the proposed new structure, cannot proceed without separate applications/ review conducted by the City's Building Code Official.

Sec. 34-157(a)(4) Potential adverse impacts, including, but not necessarily limited to:
a) Traffic or parking congestion

Parking: The existing use of the Subject Property is a surface parking lot containing seventeen (17) spaces that serve as additional parking to the Cedars Court Center office buildings located at the adjacent parcel, 1228-32 Cedars Court (Tax Map 40B Parcel 4.1). The adjacent property is under the same ownership as the Subject Property.

If the SUP is approved, and the seventeen (17) spaces are no longer available for the adjacent parcel they currently serve, there will be a total of ninety-six (96) parking spaces to support the office buildings located at Cedars Court Center office buildings

(1228-32 Cedars Court). The parking spaces supporting Cedars Court Center office buildings on-site, not taking into account the existing additional seventeen (17) spaces available on the Subject Property, meet and exceed the parking requirements in the Charlottesville Zoning Ordinance. Per Sec. 34-984, one (1) parking space is required per 500 gross square feet (GFA) of general office space. There is a total of approximately 36,000 GFA of office space on-site which requires seventy-two (72) parking spaces. Cedars Court Center office buildings meet the parking requirements without the additional seventeen (17) spaces that are currently on the Subject Property.

The project proposal narrative (Attachment B) and associated preliminary site plan (Attachment C) proposes to construct a nineteen (19) unit multifamily residential apartment building consisting of three (3) stories of residential space over one (1) story of parking and residential (ground floor handicap accessible apartment) on the Subject Property. Per Sec. 34-984, one (1) space is required per 1 or 2 bedroom unit. The proposed nineteen (19) units have a breakdown of ten (10) 1-bedroom units and nine (9) 2-bedroom units. The apartment building requires 19 spaces and the preliminary site plan (Attachment C) notes there are twenty-two (22) standard spaces and one (1) handicap space for a total of twenty-three (23) parking spaces of structured parking on the ground floor within the building footprint. The proposed twenty-three (23) parking spaces provided on-site meet and exceed the parking requirements of Charlottesville's Zoning Ordinance.

Staff Analysis: The proposed use of the Subject Property meets the required parking per Sec. 34-984 within the building footprint. The proposed use of the Subject Property does not place a burden on the adjacent property by removing the existing seventeen (17) spaces that currently support the Cedars Court Center office buildings as there is ample parking on-site that exceed the parking requirements.

Traffic: The preliminary site plan (Attachment C) notes that, according to the 7th edition of the ITE Trip Generation Manual, a nineteen (19) unit multifamily residential apartment building generates approximately 133 vehicles per day (VPD). During the a.m. peak hour, a nineteen (19) unit multifamily residential apartment building generates 14 vehicle trips and 16 vehicle trips during the p.m. peak hour.

Staff Analysis: Based off of the limited number of trips the proposed develop is said to generate, specifically during the a.m. and p.m. peak hour, the City Traffic Engineer is not requiring any additional data presented in a traffic impact analysis (TIA). Staff

anticipates the proposed development will not have a significant impact to the surrounding area.

b) Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment

Staff Analysis:

Staff does not anticipate there will be significant noise generated from a nineteen (19) unit multifamily residential apartment building given that the Subject Property is located in a mixed-use area that contains commercial and multifamily residential and that the apartment building is proposed to consist of 1 to 2-bedroom units, which are more tailored towards graduate students/young professionals.

Other factors which adversely affect the natural environment: The Subject Property lies within the 100' stream buffer of Meadow Creek and is required, per Sec. 10-74(4), to provide a stream mitigation plan that is approved by the program authority (the City) prior to final site plan approval. The applicant has met with City Staff and is already in the beginning stages of working with Public Works, Environmental Sustainability Division to develop a stream restoration plan that could develop as a combined effort in partnership with the City. The Engineering Department has granted the applicant 8 points for "Other Low Impact Development (LID) practices" to account for the stream restoration plan that is forthcoming. A condition is included in staff's recommendation that accounts for the future stream restoration plan.

Note: The applicant has provided a slope exhibit (Attachment H) indicating that while there are slopes on the property that exceed 25%, the area is less than 6,000 SF and does not warrant a critical slope waiver per Sec. 34-1120(b)(2). The exhibit specifies 825 SF of slopes that exceed 25% will be disturbed should the SUP be approved.

c) Displacement of existing residents or businesses

The project proposal narrative (Attachment B) states there will not be any displacement of existing residents or businesses associated with this project.

Staff Analysis: The lot is an existing surface parking lot; staff agrees there will be no displacement of existing residents or businesses associated with this project.

d) Discouragement of economic development activities that may provide desirable employment or enlarge the tax base

The project proposal narrative (Attachment B) states the infill project provides for re-development of a surface parking lot that will increase the number of residential dwelling units within a major shopping district, increasing the sales tax base.

Staff Analysis: The development will promote increased economic activity from the additional residents that will be located in close proximity to a major retail center in Charlottesville (Barracks Road Shopping Center) should the SUP be approved.

e) Undue density of population or intensity of use in relation to the community facilities existing or available

The City's Comprehensive Plan identifies community facilities as fire protection, police enforcement, and emergency response services; public utilities and infrastructure; and public parks and recreation opportunities. The applicant states in the project proposal narrative (Attachment B) that the project proposes an appropriate density and intensity of use and minimally impacts existing public facilities. The site plan (Attachment C) proposes tie-ins to existing sewer and water mains located on Cedars Court.

Staff Analysis: The proposed development will have an increased impact on physical facilities and services provided as it is proposed to change from a surface parking lot to a nineteen (19) unit multifamily residential building. Impacts, such as impacts on the City's water and sewer facilities, and public streets/sidewalks will be adequately evaluated and further addressed during the site plan process, and final site plan approval is dependent on confirmation of adequate facilities or improvements.

The Subject Property is less than a tenth (1/10) of a mile from the closest CAT transit stop, the Rivanna Trail, and North Wing Barracks Road Shopping Center. In addition, the Subject Property is less than a quarter (1/2) of a mile from Barracks Road Shopping Center, the University of Virginia Law School, among other amenities.

Mixed-Use areas are, according to the Comprehensive Plan, "intended to be zones where the City encourages development of moderate or high intensity, and where a large variety of uses will be permitted, including many commercial uses, residential uses, and some limited research and manufacturing where appropriate." Staff

believes the proposed use is encouraged in designated mixed-use areas and that the surrounding amenities will accommodate the proposed increase in density created by the development.

f) Reduction in the availability of affordable housing in the neighborhood

Staff Analysis: The applicant will have to comply with the Affordable dwelling units regulations set forth in Sec. 34-12 and either provide affordable units on-site, off-site or provide a cash contribution to the city's affordable housing fund. The applicant will coordinate with the Housing Program Coordinator to comply with Sec. 34-12. The applicant's compliance with Sec. 34-12 will increase the availability of affordable housing whether on-site or by the City's use of the affordable housing fund of which the applicant has an option to contribute.

g) Impact on school population and facilities

The applicant states in the project proposal narrative (Attachment B) that the project is expected to have minimal impact on public school population and facilities.

Staff Analysis: The proposed nineteen (19) units have a breakdown of ten (10) 1-bedroom units and nine (9) 2-bedroom units. The breakdown of units and proximity to the University of Virginia will appeal more so to graduate students and young-professionals. However, because housing is open to all, there is a possibility that families with children could take residence here, but the number of bedrooms does not indicate a size/ type of unit that would tend to attract a significant number of families with school-age children. Nonetheless, some impact could be created on school population and facilities.

h) Destruction of or encroachment upon conservation or historic districts

Staff Analysis: The Subject Property is not within any design control district.

i) Conformity with federal, state and local laws, as demonstrated and certified by the applicant

Staff Analysis: The proposed project will comply with federal, state and local laws. This is ensured through final site plan approval.

j) Massing and scale of project

The proposed building has a gross floor area (GFA) of 18,844 SF and is approximately 47' in height (60' allowed in URB). The ground floor contains parking and one (1) apartment unit located in the northwest corner of the building. The ground level building façade on Cedars Court is made up of a blank wall and a vehicular entryway to access parking (See Attachment E).

Staff Analysis: Overall, a building of this height, mass and scale is appropriate in this location. Staff is concerned with the ground level façade as it lacks a clear route for pedestrians that is separate from the vehicular entry and believes there can be improvements made to a portion of the wall in order that it is not blank. Staff recommends that a building entrance is provided for on the northeast corner of the building. Staff recommends the building entrance on the northeast corner of the building is transparent so that it breaks up the blank wall and creates a clear, more inviting space for the pedestrian. See staff's recommendation for more detail.

Sec. 34-157(a)(5) Whether the proposed use or development will be in harmony with the purposes of the specific zoning district in which it will be placed;

Zoning History

In 1976 the property was zoned "B-3" Business District with a SUP for a group home that expired.

In 1991 the property was maintained as "B-3" Business District.

The property is currently zoned Urban Corridor Mixed Use District. The intent of the Urban Corridor District is to continue the close-in urban commercial activity that has been the traditional development patterns in these areas. Development in this district is both pedestrian and auto oriented, but is evolving to more of a pedestrian center development pattern. The regulations provide for both a mixture of uses or single use commercial activities. It encourages parking located behind the structure and development of a scale and character that is respectful to the neighborhoods and university uses adjacent.

Staff Analysis: The proposed project is a nineteen (19) unit multifamily residential apartment building that will locate within close proximity to a mix of commercial uses, the University of Virginia, and with access to pedestrian walkways, transit, and trail systems (the Rivanna Trail). Staff believes the proposed use will promote increased

pedestrian activity and is appropriate. Staff has included conditions in the recommendation and discussed previously in this report that call for improvements to the space between the building and street that conform to Streets That Work, improvements to the ground level façade, provision for a clear pedestrian access from the public right-of-way to the building and bicycle storage that meet zoning requirements. With these additional improvements, staff believes the project is in harmony with the purposes of the Urban Corridor District.

Sec. 34-157(a)(6) Whether the proposed use or development will meet applicable general and specific standards set forth within the zoning ordinance, subdivision regulations, or other city ordinances or regulations; and

Staff Analysis: The proposed project must comply with standards set forth within the zoning ordinance, subdivision regulations and other applicable city ordinances/regulations prior to final site plan and building permit approvals. Note: The applicant has not submitted a preliminary site plan application for review to date.

Sec. 34-157(a)(7) When the property that is the subject of the application for a special use permit is within a design control district, city council shall refer the application to the BAR or ERB, as may be applicable, for recommendations as to whether the proposed use will have an adverse impact on the district, and for recommendations as to reasonable conditions which, if imposed, that would mitigate any such impacts. The BAR or ERB, as applicable, shall return a written report of its recommendations to the city council.

Staff Analysis: The Subject Property is not located in a design control district.

PUBLIC COMMENTS RECEIVED

Per Sec. 34-41(c)(2), the applicant held a community meeting on June 2, 2016 (a City Planner attended as a NDS representative). The public, particularly neighboring residents and business owners voiced their concerns regarding:

- Parking on-site
- Maintaining on-street parking

Those who attended the community meeting expressed concern regarding parking and if there would be enough parking provided on-site for the units as the on-street parking spaces are used during the day by a variety of either patrons travelling to the mix of businesses along

Cedars Court or visitors to those living in residential buildings. Attendees were pleased to know there would be enough parking provided on-site for the proposed multi-residential building and expressed the value of having on-street parking available along Cedars Court.

STAFF'S RECOMMENDATIONS

Staff recommends that the application be approved with the following conditions:

1. A vegetated curbside buffer having a width of at least three (3) feet but can be up to four (4) feet shall be established along the length of the Subject Property's frontage on Cedars Court not including the length of the driveway entrance.
2. Streets trees shall be planted in accordance with Sec. 34-870, the final number and type of tree will be reviewed and approved by Neighborhood Development Services Staff and the Utilities Engineer and the location, type and additional measures if warranted (e.g. root barriers) shall be depicted on the final site plan for the development prior to final site plan approval.
3. A sidewalk having a width of at least five (5) feet shall be established between the curbside buffer and the property line and run the length of the Subject Property's frontage on Cedars Court.
4. A portion of the northeast corner of the building will include a primary building entrance separate from the vehicular entrance that is transparent. The building entrance shall be visible from Cedars Court, where:
 - a. a continuous separated pedestrian connection is provided from the public right-of-way to the building entrance facing Cedars Court
 - b. A dedicated space that is visible from Cedars Court is provided in the interior of the northeast corner of the building for bicycle storage facilities required per Sec. 34-881
 - c. The primary building entrance, pedestrian connection and number and location of bicycle storage shall be depicted on the final site plan for the development.
5. A stream restoration plan, consistent with natural channel design principles and practices, that will concurrently fulfill requirements of Sec. 10-75 shall be completed and included with submission of the proposed final site plan, at a level of detail satisfactory to the City Engineering Department, Public Utilities Division and Environmental Division.
6. No demolition of existing building(s) or improvements shall be commenced prior to approval of a final site plan and approval of a permit authorizing land-disturbing activities pursuant to Sec. 10-9. For purposes of Chapter 10 of the City Code, demolition activities shall be planned and built into the E&S and stormwater management plan (if

- G.** Streets That Work Plan Excerpt
- H.** Slope Exhibit



MSC

Management Services Corporation
Real Property Managers, Developers and Brokers

July 26, 2016

Heather Newmeyer

City Planner
City of Charlottesville
Department of Neighborhood Development Services
610 East Market Street
Charlottesville, VA 22902

By Hand Delivery and Electronic Delivery (newmyerh@charlottesville.org)

Re: Cedars Court Apartments – Special Use Permit Application

Dear Heather:

Enclosed is the submission package for the Cedars Court Apartments Special Use Permit Application.

We look forward to working with you and the City of Charlottesville on this Cedars Court Apartments Special Use permit application.

Please let me know if you have any questions. Thank you for your assistance.

Sincerely,

Trey Steigman
Vice President, Development

Enclosure (1)

cc: Stephen von Storch, Stoneking von Storch Architects
Mike Myers, Dominion Engineering
Steve Houchens, Development Manager, Management Services Corporation





City of Charlottesville

Application for Special Use Permit

Project Name: Cedars Court Apartments

Address of Property: 1228 Cedars Ct., Charlottesville, VA
22901

Tax Map and Parcel Number(s): 40 B 00 75 00

Current Zoning District Classification: URB

RECEIVED

Comprehensive Plan Land Use Designation: commercial mixed use JUL 26 2016

Is this an amendment to an existing SUP? no

NEIGHBORHOOD DEVELOPMENT SERVICES

If "yes", provide the SUP #: _____

Applicant: Management Services Corporation (MSC)

Address: 102 S. 1st Street, Suite 301 22902

Phone: (434) 977-4181 Email: tstigman @ msc-rents.com

Applicant's Role in the Development (check one):

Owner **Owner's Agent** Designer Contract Purchaser

Owner of Record: 1228 Cedars Court, LLC

Address: 102 S. 1st Street, Suite 301 Charlottesville, VA 22902

Phone: (434) 977-4181 Email: tstigman @ msc-rents.com

Reason for Special Use Permit:

Additional height: _____ feet

Additional residential density: 19 units, or 55 units per acre

Authorize specific land use (identify) _____

Other purpose(s) (specify City Code section): _____

(1) Applicant's and (2) Owner's Signatures

(1) Signature [Signature] Print TREY STEIGMAN Date 7/26/16

Applicant's (Circle One): LLC Member LLC Manager Corporate Officer (specify) _____

Other (specify): AUTHORIZED AGENT FOR OWNER

(2) Signature [Signature] Print Douglas E. Caton, Mgr. Date 7/26/16

Owner's (Circle One): LLC Member **LLC Manager** Corporate Officer (specify) _____

Other (specify): _____ SP16-000008



City of Charlottesville

Pre-Application Meeting Verification

Project Name: 1228 Cedars Court

Pre-Application Meeting Date: February 2, 2016

Applicant's Representative: Trey Steigman; Stephen Van Starch

Planner: Heather Newmyer

Other City Officials in Attendance:

Brennen Duncan, Assistant City Engineer

The following items will be required supplemental information for this application and must be submitted with the completed application package:

1. Traffic Impact Narrative

2. Conceptual plan (illustrative drawings)

3. Narrative - overview of Project

4. _____

5. _____

Planner Signature: _____

Heather Newmyer



City of Charlottesville

Application Checklist

Project Name: Cedars Court Apartments

I certify that the following documentation is ATTACHED to this application:

- 34-158(a)(1): a site plan (ref. City Code 34-802(generally); 34-1083(communications facilities))
- 34-158(a)(3): Low-impact development (LID) methods worksheet (required for developments that include non-residential uses, and developments proposing 3 or more SFDs or TFDs)
- 34-158(a)(4): a building massing diagram, and building elevations (required for applications proposing alteration of a building height or footprint, or construction of any new building(s))
- 34-158(a)(5) and 34-12: affordable housing data. (i) how many (if any) existing dwelling units on the property are an "affordable dwelling unit" by the city's definitions? (ii) Will existing affordable units, or equivalent affordable units, remain following the development? (iii) What is the GFA of the project? GFA of residential uses? GFA of non-residential uses?
- 34-157(a)(1) Graphic materials that illustrate the context of the project, and a narrative statement as to compatibility with existing patterns of use and development
- 34-157(a)(2) Narrative statement: applicant's analysis of conformity with the Comprehensive Plan
- 34-157(a)(3) Narrative statement: compliance with applicable USBC provisions
- 34-157(a)(4) Narrative statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts
- 34-158(a)(6): other pertinent information (narrative, illustrative, etc.)
- All items noted on the Pre-Application Meeting Verification.

Applicant

Signature [Signature]

Print Trey Steigman

Date 7/26/16

By Its: Authorized agent

(For entities, specify: Officer, Member, Manager, Trustee, etc.)



City of Charlottesville

Community Meeting

Project Name: Cedars Court Apartments

Section 34-41(c)(2) of the Code of the City of Charlottesville (adopted October 19, 2015) requires applicants seeking rezonings and special use permits to hold a community meeting. The purpose of a community meeting is to provide citizens an opportunity to receive information about a proposed development, about applicable zoning procedures, about applicable provisions of the comprehensive plan, and to give citizens an opportunity to ask questions. **No application for a rezoning shall be placed on any agenda for a public hearing, until the required community meeting has been held and the director of neighborhood development services determines that the application is ready for final review through the formal public hearing process.**

By signing this document, the applicant acknowledges that it is responsible for the following, in connection to the community meeting required for this project:

1. Following consultation with the city, the applicant will establish a date, time and location for the community meeting. The applicant is responsible for reserving the location, and for all related costs.
2. The applicant will mail, by U.S. mail, first-class, postage pre-paid, a notice of the community meeting to a list of addresses provided by the City. The notice will be mailed at least 14 calendar days prior to the date of the community meeting. The applicant is responsible for the cost of the mailing. At least 7 calendar days prior to the meeting, the applicant will provide the city with an affidavit confirming that the mailing was timely completed.
3. The applicant will attend the community meeting and present the details of the proposed application. If the applicant is a business or other legal entity (as opposed to an individual) then the meeting shall be attended by a corporate officer, an LLC member or manager, or another individual who can speak for the entity that is the applicant. Additionally, the meeting shall be attended by any design professional or consultant who has prepared plans or drawings submitted with the application. The applicant shall be prepared to explain all of the details of the proposed development, and to answer questions from citizens.
4. Depending on the nature and complexity of the application, the City may designate a planner to attend the community meeting. Regardless of whether a planner attends, the City will provide the applicant with guidelines, procedures, materials and recommended topics for the applicant's use in conducting the community meeting.
5. On the date of the meeting, the applicant shall make records of attendance and shall also document that the meeting occurred through photographs, video, or other evidence satisfactory to the City. Records of attendance may include using the mailing list referred to in #1 as a sign-in sheet (requesting attendees to check off their name(s)) and may include a supplemental attendance sheet. The City will provide a format acceptable for use as the supplemental attendance sheet.

Applicant: Cedars Court Apartments

By:

Signature

Print

TRACY STEIGMAN

Date

7/26/16

Its:

AUTHORIZED AGENT

(Officer, Member, Trustee, etc.)

AFFIDAVIT

I, Trey Steigman, Vice President, Development, Management Services Corporation, do hereby affirm:

- (1) that on Thursday, June 2, 2016, the attached letter signed by me, providing notice of a community meeting scheduled for Thursday, June 16, 2016 was mailed, via first class U.S. Mail postage pre-paid, to each of the property owners listed on the attached mailing list provided by the City of Charlottesville in conjunction with the pending special use permit application to be filed by Management Services Corporation on behalf of 1228 Cedars Court, LLC for a project known as Cedars Court Apartments; and
- (2) that the copy of said letter and mailing list attached are true copies of the letter mailed and the mailing list utilized for the mailing.

These representations are true and correct to the best of my knowledge.

June 2, 2016

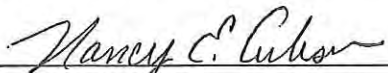
Date



Trey Steigman
Vice President, Development
Management Services Corporation

Commonwealth of Virginia
City of Charlottesville

I, the undersigned Notary Public, do hereby affirm that the foregoing affidavit was signed, sworn to, and acknowledged before me by Trey Steigman, Vice President, Development, Management Services Corporation, this 2nd day of June, 2016.


Notary Public - Nancy E. Gibson

My commission expires: 5/31/17

Notary Registration Number: 305098

NANCY E. GIBSON NOTARY PUBLIC Commonwealth of Virginia Reg. #305098 My Commission Expires May 31, 2017
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MSC

Management Services Corporation
Real Property Managers, Developers and Brokers

June 2, 2016

Re: Community Meeting – 5:30 PM, Thursday, June 16, 2016 - Proposed Cedars Court Apartments

Dear Residents and Businesses:

On behalf of 1228 Cedars Court, LLC and Management Services Corporation (MSC), I am pleased to invite you to a Community Meeting regarding the development of a proposed nineteen (19) unit multi-family residential apartment building, Cedars Court Apartments. This development will construct a new multi-family residential structure consisting of three (3) stories of multi-family residential apartments over a one (1) story surface parking level. The site of the project is the existing surface parking lot adjacent to the BB&T Bank Branch on Cedars Court.

The proposed development requires approval of a Special Use Permit (SUP) application by the City of Charlottesville to allow for increased residential density. The current zoning for the property allows up to twenty-one (21) residential dwelling units per acre, which allows up to seven (7) residential dwelling units for the subject property. The Cedars Court Apartments proposed development is applying for approval to increase the current zoning by twelve (12) residential dwelling units for a total of nineteen (19) multi-family residential apartment units.

The Community Meeting will be held in the conference room of the MSC offices located at 1228 Cedars Court Suite A in the Cedars Court Center at 5:30 PM, Thursday, June 16, 2016. There will be a brief presentation at the beginning of the meeting followed by a question/answer period with the development team.

If you are unable to attend the meeting, but you have any questions, please contact Steve Houchens, MSC Development Manager at shouchens@msc-rents.com.

We look forward to seeing you at the meeting.

Sincerely,

Trey Steigman
Vice President, Development

and

Authorized Agent
1228 Cedars Court, LLC



OBJECT	mpshb121	owner_cur	address1	address2	address3	zipcode
60	00000200	1250 EMMETT LLC		76 COLTHURST DRIVE	CHARLOTTEVILLE VA	22901
174	01000100	1134 EMMETT STREET, LLC		P O BOX 1467	CHARLOTTEVILLE VA	22902
175	01000400	1134 EMMETT STREET, LLC		P O BOX 1467	CHARLOTTEVILLE VA	22902
176	01000400	CABEL MARTIN, JUNE & ANDREW N		3881 GREENTREE DRIVE	OCEANSIDE NY	11372
224	060001804	A & J HOLDINGS, LLC		P O BOX 5784	CHARLOTTEVILLE VA	22905
251	060001881	A & J HOLDINGS, LLC		P O BOX 5784	CHARLOTTEVILLE VA	22905
374	060001840	BUNOH, DOROTHY P & RAYMOND LEE	88 OAK FOREST CIRCLE	2213 WAYNE AVENUE	CHARLOTTEVILLE VA	22901
411	060001840	A S J HOLDING, LLC		P O BOX 5794	CHARLOTTEVILLE VA	22901
453	060001805	CALLAGHAN, ROBERT ETAL TR-HOLIDAY		LANA BOUCHARD	CHARLOTTEVILLE VA	22901
589	0600019410	ARPENTER, STRACHAN D		5285 CELY RD	CHARLOTTEVILLE VA	22901
675	4000025400	ADONAI DEGEL PROPERTIES, LLC		645 NETTLE COURT	CHARLOTTEVILLE VA	22972
740	498018600	ANAS, MARY S & MARTHA A SETTLE		137 PIEDMONT AVE NORTH	CHARLOTTEVILLE VA	22903
856	498070210	CG RENTALS, LLC		1125 ARCTURUS LN	ALEXANDRIA VA	22308
1020	400003000	CITY OF, CHARLOTTEVILLE		P O BOX 911	CHARLOTTEVILLE VA	22901
1152	400003000	ANGUS INVESTORS LLC		1 SLEMAN PKWY STE 270	JACKSONVILLE FL	32216
1327	498070200	CHEN, SHU-CHEN		202 CEDARS COURT B-22	CHARLOTTEVILLE VA	22903
1350	498070290	BAILEY, THOMAS & CAROLINE BERTRAND		2720 MAGNOLIA DRIVE	CHARLOTTEVILLE VA	22901
1534	060001836	BAILEY, WILLIAM W		P O BOX 6700	CHARLOTTEVILLE VA	22903
1535	0600019320	BARBERA, MARY GENE		1882 FIELD ROAD	CHARLOTTEVILLE VA	22903
1562	010634000	BEALL, JEANNETTE	14-601 SWEITZER LN	1243 CEDARS COURT C-13	LAUREL MD	20707
1594	498070440	CHEVY CHASE BANK FSB		REAL ESTATE ADM 17304-0135	CHARLOTTEVILLE VA	20903
1750	400002100	BALLAS, JOHN D, TR CARRIE BALLAS TR		3974 DICK WOODS ROAD	CHARLOTTEVILLE VA	22907
1760	400001100	889 CHARLOTTEVILLE HOTEL, INC		14006 SOUTHSORE RD	MIDLOTHIAN VA	23112
1767	404015000	COOK OUT-CHARLOTTEVILLE, INC		15 LAURA LN STE 300	THOMASVILLE NC	27360
1772	400020270	CONWAY, DOBA R		1912 FENDALL AVENUE	CHARLOTTEVILLE VA	229031602
1823	060001810	CONWAY, DOBA R		1912 FENDALL AVENUE	CHARLOTTEVILLE VA	229031602
1834	060001822	CONWAY, DOBA R		1912 FENDALL AVENUE	CHARLOTTEVILLE VA	229031602
1835	060001832	CONWAY, DOBA R		1912 FENDALL AVENUE	CHARLOTTEVILLE VA	22902
1836	060001838	CONWAY, DOBA R		622 EVERGREEN AVENUE	CHARLOTTEVILLE VA	22902
1941	060001823	BIASOLI, FRANCIS C & ELEANOR T		622 EVERGREEN AVENUE	CHARLOTTEVILLE VA	22902
1942	060001806	BIASOLI, FRANCIS C & ELEANOR T		622 EVERGREEN AVENUE	CHARLOTTEVILLE VA	22902
1943	060001829	BIASOLI, FRANCIS C & ELEANOR T		622 EVERGREEN AVENUE	CHARLOTTEVILLE VA	22902
1944	060001830	BIASOLI, FRANCIS C & ELEANOR T		622 EVERGREEN AVENUE	CHARLOTTEVILLE VA	22902
1945	060001835	BIASOLI, FRANCIS C & ELEANOR T		622 EVERGREEN AVENUE	CHARLOTTEVILLE VA	22902
1946	060001841	BIASOLI, FRANCIS C & ELEANOR T		622 EVERGREEN AVENUE	CHARLOTTEVILLE VA	22901
1948	060001824	BIASOLI, FRANCIS C & ELEANOR T		GEORGES & CO	EARLYVILLE VA	22903
1965	060001825	CORNEJO, RAFAEL & MERCEDES	700 HARRIS ST STE 204	P O BOX 345	SCOTTSDALE VA	2293600345
1982	493070390	COVLES, DEBORAH S		5952 W RIVER ROAD	VIRGINIA BEACH VA	234590
2041	498070180	BLOXSON, RAYMOND E JR & MARYALICE		5728 WARNING STREET	SAN FRANCISCO CA	3346442338
2197	498070220	BOOKER, JAMES L SR, KATHYNN & SONYA		39 ASHBURY ST	CHARLOTTEVILLE VA	22903
2252	498070240	BOYD, PETER		2083 HESSIAN RD	WIRTZ VA	24184
2296	400020000	COVAN, MARY W L, TRUSTEE		85 CATHEDRAL OAKS LANE	CHARLOTTEVILLE VA	22903
2321	060001816	BRATCHER, PATRICIA M		1877 FIELD ROAD	CHARLOTTEVILLE VA	22903
2490	010032000	CROWELL, THOMAS TRUSTEE		1404 E HIGH ST	CHARLOTTEVILLE VA	22903
2536	060001837	DANVAKARIS, ZANNIS		1248 EMMET STREET	RICHFIELD MN	55423
2615	400002500	CPD PROPERTIES, LLC		LEGAL DEPT-REAL ESTATE	CHARLOTTEVILLE VA	22901
2616	493001000	BEST BUY STORES, LP		1243 CEDARS COURT B-12	SPERRYVILLE VA	22740
2703	493070190	CUTTITA, DIANE MARIE		1101 W LEIGH DR	CHARLOTTEVILLE VA	22902
2953	493070190	DUDLEY, ELIZABETH P & JULIE PETERS		5 SHARP ROCK ROAD	CAPE CHARLES VA	22903
2983	493070140	EAST, JAMES D		400 EAST MAIN STREET STE 1	CHARLOTTEVILLE VA	22903
3056	400004000	DITTMAR, WILLIAM D, JR		6207 RIVERSIDE FARM LN	CHARLOTTEVILLE VA	22901
3269	493070100	DAVIS, ROGER HB, JR & JEANNES, TRUST		350 OLD IVY WAY #200	CHARLOTTEVILLE VA	22901
3273	010001100	DKONL, LLC, ETAL		1243 CEDARS CT UNIT C-17	CHARLOTTEVILLE VA	22911
3373	493070480	EGLES, JACOB		2451 LEGO DRIVE	CHARLOTTEVILLE VA	22911
3411	060001847	GRAY, ROGER, MARY & JANIE HUNTER		120 VINCEMINES RD	CHARLOTTEVILLE VA	22911
3429	493070130	GREENSHAW VIRGINIA, LLC		154 SEVERN VY	ARNOLD MD	21012
3438	060001802	GREENSHAW VIRGINIA, LLC		360 ROBIN LN	CHARLOTTEVILLE VA	22901
3599	493070201	ERNST, HOWARD R & TRACET L		2385 CINNAMON RIDGE RD	WILLIAMSBURG VA	23187
3845	493070100	HAUGH, L & C SMITH, JILL, CO-TRUSTES LD TR		P O BOX 1344	ROCKVILLE MD	208524001
3866	493070400	EQUITY TRUST COMPANY		3626 EAST JEFFERSON STREET	POTOMAC MD	20854
3883	493070250	EURE FAMILY, LLC		KATHLEEN WHATLEY	HURRICANE WV	25526
4098	493070330	FLESHMAN, PATRICIA L		JEAN HOLDREN	HURRICANE WV	25526
4119	010001000	FEDERAL REALTY INVESTMENT TRUST		JEAN HOLDREN	CHARLOTTEVILLE VA	22903
4123	400004600	ELLIOTT, HUMPHREY J JR		2161 BARRACKS ROAD	WINSTON SALEM NC	271020167
4126	060001000	H & H CO OF CHARLOTTEVILLE		BB & T PROPERTY TAX DEPT	CHARLOTTEVILLE VA	22901
4127	060001000	H & H, CO OF CHARLOTTEVILLE		2703 NORTHFIELD ROAD	NORTH GARDEN VA	22399
4146	060001000	FINLEY'S SERVICE CENTER INC		4055 EDGE VALLEY RD	ALBANY CA	92018
4152	493004400	FIRST, VIRGINIA BANK-CENTRAL		1985 SEAL RIDGE	LOS ANGELES CA	90068
4170	404005000	FAHAM, LLC		1604 CEDAR HILL RD	CHARLOTTEVILLE VA	22901
4173	493003400	FERNWOOD PARTNERS, LLC		4355 CAMPBELL ROAD	TROY VA	22974
4174	400002000	FIDELITY, AMERICAN BANK CH/VILLE				
4188	400004000	FOR MY GIRLS CORP				
4276	060001845	HELLER, J J & MARJORIE, TR & ALEXANDRIA				
4389	493039000	HIDAYAT, MEHER & KENT PETERSON				
4597	493070430	GATHRIGHT, JOHN JR & LISA LEWIS				

4598	408070350	GATHRIGHT, JOHN S & LISA J LEWIS	37 TANGLEWOOD DRIVE	32974	TROY VA
4599	408070360	GATHRIGHT, JOHN S & LISA J LEWIS	4355 CAMPBELL ROAD	22974	TROY VA
4600	408070420	GATHRIGHT, JOHN S & LISA J LEWIS	4355 CAMPBELL ROAD	22974	TROY VA
4651	060001801	GEIGENS, JEAN-PIERRE V, TRUSTEE	11795 LAURELCREST DR	91604	STUDIO CITY CA
4692	408027000	GILLASPIE, KENNETH L & DIANE D	1089 OLD LYNCHBURG ROAD	22901	CHARLOTTEVILLE VA
4897	060001814	HOLLY RIDGE LLC	2280 BARRACKSIDE FARM	25526	HURRICANE WV
4956	060001860	HIL, LLC	JEAN HOLDREN	13021	AUBURN NY
4959	400020200	GAD, LLC	161 GENESEE ST	13021	AUBURN NY
4960	400020300	GAD, LLC	P O BOX 308	22945	IVY VA
5278	060001313	KAHN, WILLIAM A & CATHERINE F	161 GENESEE ST	22101	MCLAN VA
5344	060001342	INGLESE, CHRISTOPHER J & PATRICIA S	1451 CEDAR AVE	22101	MCLAN VA
5345	408070401	INGLESE, CHRISTOPHER J & PATRICIA S	1451 CEDAR AVE	22101	MCLAN VA
5346	408070440	INGLESE, CHRISTOPHER J & PATRICIA S	1451 CEDAR AVE	22101	MCLAN VA
5353	408070360	SHINA, TORU	4-23-16	1540001	CROZET VA
5358	408070450	KIM, SEI E & CHARLE ROGERS, JR	7116 BRADBURY CT	22901	CHARLOTTEVILLE VA
5511	060001843	KENZOR, LLC	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
5513	060001844	KENZOR, LLC	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
5514	010001318	KENZOR, LLC	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
5516	060001839	HPFMI CORPORATION	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
5563	060001812	KENZOR, LLC	MARROTT BUS SVCS/TAX DEPT	37777	LOUISVILLE TN
5734	409070301	MC COY, STEVEN LTD PENDING SHARING	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
5877	408070260	KRECEK, JEFFREY J, TRUSTEE	7116 BRADBURY CT	22932	CROZET VA
5889	408070900	KUBOTA, YUJI	311 W WASHINGTON ST STE 1030	60602	CHICAGO IL
6133	400041000	KRYZHANOVSKI, V A & N Y ZAVADSKAYA	4580 THREE CHOFT RD	22974	TROY VA
6134	408041000	LI, ZHIDONG & JIANYING ZOU	3-12-503	108-0071	CHARLOTTEVILLE VA
6342	408041000	LURAS, JOHN	1688 RICHMOND RD	22901	KEYSWICK VA
6343	408070401	LURAS, JOHN	3243 CEDARS CT UNIT C-18	22903	CHARLOTTEVILLE VA
6344	408070480	LURAS, JOHN	3243 CEDARS CT UNIT C-18	22903	CHARLOTTEVILLE VA
6344	408070370	LURAS, JOHN	3243 CEDARS CT UNIT C-18	22903	CHARLOTTEVILLE VA
6362	408070280	LUTZ, DAVID PAUL	8049 WELLINGTON ROAD	22901	ALEXANDRIA VA
6391	408042000	MAHANES, MARIORIE B	2305 WAYNE AVENUE	22903	CHARLOTTEVILLE VA
6430	408030600	MARSHALL, THOMAS WILLIAM JR	A NEW BEGINNING	22903	CHARLOTTEVILLE VA
6484	408070500	MARSHALL, THOMAS WILLIAM JR	168 BUTTERCUP LANE	22902	CHARLOTTEVILLE VA
6603	408070380	LUCKENWY PROPERTIES, LLC	P O BOX 4444	22901	CHARLOTTEVILLE VA
6763	408015000	MCCRACKEN, DAWNIA & JOHN T	2224 WAYNE AVENUE	22966	RUCKERSVILLE VA
6846	408070470	POLITS, CAROLYN	482 LONDON CT	22903	CHARLOTTEVILLE VA
6919	060001500	MASON, JOHN C & HOLLAND M	1910 BARRACKS ROAD	22901	CHARLOTTEVILLE VA
7108	010001500	MILLMONT, LIMITED PARTNERSHIP	500 E WESTFIELD RD	22901	CHARLOTTEVILLE VA
7109	010001300	MILLMONT, LIMITED PARTNERSHIP	500 E WESTFIELD RD	22901	CHARLOTTEVILLE VA
7110	010001300	MILLMONT, LIMITED PARTNERSHIP	500 E WESTFIELD RD	22901	CHARLOTTEVILLE VA
7168	060001813	MONTAGLE, PERCY IV & ANNIE C	117 BOLLINGWOOD RD	22903	CHARLOTTEVILLE VA
7255	408070310	MORRIS, CHRISTOPHER T, TRUSTEE	4292 MILLINGTON ROAD	22940	FREE UNION VA
7302	408070260	MULLER, BENJAMIN M, JR & VIRGINIA C	2305 WAYNE AVE	22901	CHARLOTTEVILLE VA
7304	408097030	MULLER, GUY FREDERICK & MARY ANN	915 COTTAGE LN	22903	CHARLOTTEVILLE VA
7363	408031000	QUESENER, MALE P & DONALD E	2025 SPOTTSWOOD ROAD	22903	CHARLOTTEVILLE VA
7544	010000400	MEADOWBROOK SHOPPING CENTER, LLC	2219 WAYNE AVE	22901	CHARLOTTEVILLE VA
7545	408242600	MEADOWVIEW, LLC	CLARA BELLE WHEELER	22911	CHARLOTTEVILLE VA
7589	408021000	MYSLIWIEC, PAUL J	REAL PROPERTY INC	22903	CHARLOTTEVILLE VA
7651	408070460	NEWLAND INVESTMENTS, LLC	530 3RD ST	11215	BROOKLYN NY
7796	408070150	O'LEARY, DENNIS F, TRUSTEE	223 E JEFFERSON ST #12	22911	CHARLOTTEVILLE VA
7837	408070501	OWEN, SANDRA M	4069 TOLPARKING DR	22911	CHARLOTTEVILLE VA
7838	408070230	OWEN, SANDRA M	P O BOX 739	22958	NELLYSFORD VA
7839	060001815	OXFORD, PAUL H., MARTHA L & DAVID M	1650 BROWNS GAP TPKE	22901	CHARLOTTEVILLE VA
7851	060001827	PALAM, LLC	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
7852	060001807	PALAM, LLC	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
7853	060001811	PALAM, LLC	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
7854	060001820	PALAM, LLC	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
7855	060001834	PALAM, LLC	1607 BRANDYWINE DR	22901	CHARLOTTEVILLE VA
7939	408070300	NEOFOTS, FRANK S	552 WORTHINGTON DRIVE	22901	CHARLOTTEVILLE VA
8226	060001100	RAVEN LAND DEVELOPMENT, LLC	1928 ARLINGTON BLVD STE 300	22903	CHARLOTTEVILLE VA
8351	408070270	RIES, PAUL A	956 FARM HAVEN DR	20852	ROCKVILLE MD
8476	408065000	PAPPAS, EVANGELINE, TR & FRANK NEOFOTS	516 WORTHINGTON DRIVE #A	22903	CHARLOTTEVILLE VA
8512	400014000	RENNOLDS, GLORIA K, TRUSTEE	82 BISHOP RIDGE DR	22911	CHARLOTTEVILLE VA
8513	408050500	RENNOLDS, GLORIA K, TRUSTEE	82 BISHOP RIDGE DR	22903	CHARLOTTEVILLE VA
8558	060001817	RHODES, LUCY B	2424 ARLINGTON BLVD #H5	22903	CHARLOTTEVILLE VA
8588	408070500	ROBERTSON, KENNETH F	2211 GARTH OAKS POINT	22901	CHARLOTTEVILLE VA
8674	060126000	PICKERING, JULIE & ROYD BURGWINE	2202 WAYNE AVENUE	22903	CHARLOTTEVILLE VA
8741	060018003	PETERSON, AUBREY M	2420 ARLINGTON BLVD #A3	22901	CHARLOTTEVILLE VA
8742	060160000	PICKERING, ANDREW H	2222 WAYNE AVE	22901	CHARLOTTEVILLE VA
8753	408040000	ROSHAL, RESHEP & SHQUE	1602 CEDAR HILL ROAD	22182	CHARLOTTEVILLE VA
8790	060001826	ROTHMAN, KARL G & SANDI B	8716 HIGDON DRIVE	752210711	DALLAS TX
8883	408060300	SOUTHLAND CORPORATION THE	TAX DEPT #11341	22906	CHARLOTTEVILLE VA
8941	010001900	SPOURBES, LLC	P O BOX 6341	33146	MIAMI FL
8941	010001900	SPURER, SCOTT & EUGENIA, TRUSTEES	600 BRICKELL AVE STE 2400	22903	CHARLOTTEVILLE VA
9336	408020600	STUTUTA, JASON M & SIOBHAN W	2090 MEADOWBROOK ROAD	23225	RICHMOND VA
9480	408000100	SHILSHOLE PROPERTIES, LLC	1300 WESTOVER GARDEN BLVD		

9568 408038000	SIMPSON, CLINTON H, LIFE ESTATE	2301 DELMEAD LAINE	CHARLOTTEVILLE VA	22901
9576 408036000	WANG, DENG FENG, DENG QI & JIAN SONG	1609 CEDAR HILL ROAD	CHARLOTTEVILLE VA	22901
9638 408021000	WANG, JIANLI	2212 WAYNE AVE	CHARLOTTEVILLE VA	22901
10245 40CC04000	TAFT, MICHAEL E & GHIZLAINE L	1880 GRAHAM CT	KESWICK VA	22947
10324 408015000	SUBBA, LA & GOMA	2216 WAYNE AVE	CHARLOTTEVILLE VA	22901
10344 060004000	SUSEN, LEON I & MILLER M	813 FENDALL TERRACE	CHARLOTTEVILLE VA	22903
10366 408009000	THOMPSON, HELEN & WILLIAM H, JR	2912 13TH ST S APT 103	ARLINGTON VA	22204
10637 408028000	WINKLER, WILLARD C JR & GINGER M	2209 WAYNE AVENUE	CHARLOTTEVILLE VA	22901
10748 408017000	TOMLIN, KATHRYN P	2220 WAYNE AVENUE	CHARLOTTEVILLE VA	22901
10853 060001809	WOOD, J BRAD & LORI D	1110 FEN PARK LAINE	CHARLOTTEVILLE VA	22901
10859 400002600	TREM COMMERCIAL RENTALS, LLC	P O BOX 818	KESWICK VA	22947
10905 408020000	WOOD, NORMAN S	2214 WAYNE AVE	CHARLOTTEVILLE VA	22901
11011 060001876	ZANGARI, GIOVANNI	1113 AMHERST CMIN	CHARLOTTEVILLE VA	22903
11018 060001848	VANICHACHORN, CHUMNEAN & SUKRI, TR	917 FOREST LAINE	SOUTH HILL VA	22970
11033 408013000	WINGFIELD, THOMAS F	1140 E MARKET ST	CHARLOTTEVILLE VA	22902
11116 408013000	VAN LEAR, CARLTON A JR & BRENDA P	2304 WAYNE AVENUE	CHARLOTTEVILLE VA	22901
11332 060001600	TRIPLE H LLC	JEAN HOLDREN	HURRICANE WV	25526
11343 408070170	WEEKS, WANDA JEAN	205 WOODBROOK DR	CHARLOTTEVILLE VA	22901
11470 408003100	UNION BANK AND TRUST COMPANY	4355 INNSLAKE DR STE 315	GLEN ALLEN VA	23060
11475 408001100	UNITED STATES OF AMERICA	1301 EMMET ST	CHARLOTTEVILLE VA	22903
11476 060001300	UNIVERSITY OF VA COMMUNITY CREDIT UNION	3300 BERKVAAR DRIVE	CHARLOTTEVILLE VA	22901
11477 060001300	UNIVERSITY OF VA COMMUNITY CREDIT UNION	3300 BERKVAAR DRIVE	CHARLOTTEVILLE VA	22901
11560 400003100	DEAN CHARLOTTEVILLE, LLC	4408 NE 38TH ST	SEATTLE WA	98105
11568 408003000	O'CONNOR, PATRICK JAMES	1888 WESTVIEW RD	CHARLOTTEVILLE VA	22902
11669 408010000	STROUD, DRYAN C, WAYNE E & IDAN M	2307 WAYNE AVE	CHARLOTTEVILLE VA	22903
11686 408010000	HENSLEY, MILDRED B	2430 BALLINGTON BLVD E3	CHARLOTTEVILLE VA	22902
11697 408070110	SIDNEY WILLIS LLC	1023 CHARLTON AVE	CHARLOTTEVILLE VA	22902
12124 010017000	SUNTRUST BANKS & N O'BRIEN, CO-TRUSTEES, ETAL	122 BLUEBERRY RD	CHARLOTTEVILLE VA	22911
12135 408070150	EDEN, ARISTA H & ADAM L	P O BOX 678	L'ROUBURG VA	24605
12183 408004100	1228 CEDARS COURT, LLC	102 S 15TH ST J01	PACIFIC PALISADES CA	90272
12184 408004500	PACKER, CLEVE & MICHELLE	102 S 15TH ST J01	CHARLOTTEVILLE VA	22902
12570 400019000	DIGIROLAMO, MICHAEL J, TRUSTEE OF MICHAEL J DIGIROLAMO LIVING TRUST	2080 SPOTSWOOD RD	CHARLOTTEVILLE VA	22902
12588 408003300	HALL, PAULJANA	2685 CANTONAL RIDGE RD	CHARLOTTEVILLE VA	22901
12849 408022000	ZENTMYER, DAVID W & JOHN E, II	30412 LE PRT	LAGUNA NIGUEL CA	92677
13095 060001831	FELLOWS, DANIEL M & KATHERINE H	511 8TH ST NE	CHARLOTTEVILLE VA	22902
13197 060001900	EIL SERVICES, LLC	2035 HESSIAN RD	CHARLOTTEVILLE VA	22901
13226 408003000	THE REFFERSONMAN APARTMENTS, LLC	1004 ALBERT RENOLDS DR	CHARLOTTEVILLE VA	22901
13263 060002000	TRAVIS, CHARLES M	2401 ARLINGTON BLVD #23	FREDERICKSBURG VA	22401
13267 010002700	UNIVERSITY OF VA THE RECTOR & VISI	10664 LOUISA ROAD	CHARLOTTEVILLE VA	22942
13268 010018000	UNIVERSITY OF VA THE RECTOR & VISI	P O BOX 3725	CHARLOTTEVILLE VA	22903
13268 010018000	UNIVERSITY OF VA THE RECTOR & VISI	P O BOX 3725	CHARLOTTEVILLE VA	22903
13398 010001600	UNIVERSITY OF VA THE RECTOR & VISITORS	U OF VA	CHARLOTTEVILLE VA	22903
13404 060001101	UNIVERSITY OF VA THE RECTOR & VISITORS	U OF VA	CHARLOTTEVILLE VA	22901
13460 408006200	YU, SUNG KUNG & HE QING LI	3405 INDIAN SPRING ROAD	CHARLOTTEVILLE VA	22901
13501 40C003000	VERBURG, G CAROL	2119 ANGUS ROAD	CHARLOTTEVILLE VA	22901
13543 408003100	841 KHANZA &	2208 WAYNE AVE	CHARLOTTEVILLE VA	22901
13728 408035000	841 KHARIP & INDRA M	1603 CEDAR HILL RD	CHARLOTTEVILLE VA	22901
14058 40C112000	P18 ANGUS, LLC	P O BOX 278	CROZIER VA	23039
14103 408037000	MORRIS, FREDERICK C JR & GAVNHILLE C	1611 CEDAR HILL ROAD	CHARLOTTEVILLE VA	22901
14124 408008000	NATIONWIDE, HEALTH PROPERTIES FINAN	ALTUS GROUP LUS INC	PHOENIX AZ	85050
14201 010004500	RECTOR & VISITORS OF U OF VA	THE ROTUNDA	CHARLOTTEVILLE VA	22906
14244 010004500	RECTOR & VISITORS OF UVA	P O BOX 408884	CHARLOTTEVILLE VA	22904
14245 010004500	RECTOR & VISITORS OF UVA	P O BOX 408884	CHARLOTTEVILLE VA	22904
14246 010004500	RECTOR & VISITORS OF UVA	P O BOX 408884	CHARLOTTEVILLE VA	22904
14237 010004200	RIVERS EDGE ASSOCIATES, LLC	THE ROTUNDA	CHARLOTTEVILLE VA	22906
14358 40C123000	GRADUATE APARTMENTS, LLC	2027 WOODBROOK COURT	CHARLOTTEVILLE VA	22901
14683 060001500	DRUMHELLER, MELVIN E & EDNA C	224 14TH ST NW	CHARLOTTEVILLE VA	22903
14704 408003000	GUENIN, MAY N	1605 CEDAR HILL ROAD	CHARLOTTEVILLE VA	22901
14730 010003300	H&S PROPERTIES, LLC	3884 FIELD ROAD	CHARLOTTEVILLE VA	22903
14750 060001400	H&S PROPERTIES, LLC	405 WELINGTON DRIVE	CHARLOTTEVILLE VA	22903
14791 060001700	HELVIN, JAMES B & LOUISE H	405 WELINGTON DRIVE	CHARLOTTEVILLE VA	22903
14807 408035000	C&T RENTALS, LLC	420 LABRADOR LAINE	CHARLOTTEVILLE VA	22901
15055 408006600	C&T RENTALS, LLC	307 W RIO RD	CHARLOTTEVILLE VA	22901
15056 408006300	2211 WAYNE AVENUE, LLC	105 HAWTHORNE LN	CHARLOTTEVILLE VA	22901
15065 408025000	ADHIKARI, KRISHNA P & DEVI M	2285 WAYNE AVE	CHARLOTTEVILLE VA	22901
15135 408026000	ARLINGTON PARK TOWNHOMES LLC	224 14TH STREET NW	CHARLOTTEVILLE VA	22903
15207 060001600	BLUE ATLANTIC CHARLOTTEVILLE, LLC, LLC	500 N DEARBORN ST STE 400	CHICAGO IL	60654
15357 060001110	BOYD, MATTHEW GLENN	660 ROSS ST	COSTA MESA CA	92627
15397 408006400	DAVIS, VIRGINIA DICKEY	1419 WYNHURST LN	VIENNA VA	22182
15427 408006100	Cheng, Jamer (Meadows Neighborhood Association President)	1512 Risky Rd	CHARLOTTEVILLE VA	22902

Community Meeting Sign in Sheet

Project: Cedars Court Apartments, 1228 Cedars Court (TM 40B P 4.5)
 Date: Thursday, June 16, 2016, 5:30 PM

Name	Address/Company	Phone	Email
TREX STEIGMAN	MSC, P.O. Box 5306, CHARLOTTE, NC 28205	434 977-4181 x18	tsteignan@MSC-Fent.com
Steve Touchens	"	434 996 7819	stouchens@msc-rede.com
Heather Nunnery	City Hall	434 970 3968	nunneryh@charlottesville.gov
Mike DeLuca	BARRACKS ROAD SHOPPING CTR	434-977-0100	mdeguido@FederalRent.com
DIANE CATON	1228 CEDARS CT/1230 CEDARS CT	434 293 6008	dianecaton@MSC-FENT.COM
Bryan Thomas	1425 Seaside Trail C.V.I.B.	975-9790	bryan.thomas@bryansteele.com
Dr. Steve Clarke	1227 Cedars Ct	296-8043	
DR. JAMES FARMER	1227 Cedars Ct	"	FARMERJDS@AOL.COM





City of Charlottesville

Owner's Authorizations

(Not Required)

Right of Entry- Property Owner Permission

I, the undersigned, hereby grant the City of Charlottesville, its employees and officials, the right to enter the property that is the subject of this application, for the purpose of gathering information for the review of this Special Use Permit application.

Owner: 1228 Cedars Court, LLC Date: 7/26/16

By (sign name): Douglas E. Caton, Manager Print Name: DOUGLAS E. CATON, MANAGER

Owner's: LLC Member LLC Manager Corporate Officer (specify): _____

Other (specific): _____

Owner's Agent

I, the undersigned, hereby certify that I have authorized the following named individual or entity to serve as my lawful agent, for the purpose of making application for this special use permit, and for all related purposes, including, without limitation: to make decisions and representations that will be binding upon my property and upon me, my successors and assigns.

Name of Individual Agent: Trey Steigman

Name of Corporate or other legal entity authorized to serve as agent: Management Services Corp. (msc)

Owner: 1228 Cedars Court, LLC Date: 7/26/16

By (sign name): Douglas E. Caton, Manager Print Name: DOUGLAS E. CATON, MANAGER

Circle one:

Owner's: LLC Member LLC Manager Corporate Officer (specify): _____

Other (specific): _____



City of Charlottesville

Disclosure of Equitable Ownership

Section 34-8 of the Code of the City of Charlottesville requires that an applicant for a special use permit make complete disclosure of the equitable ownership ("real parties in interest") of the real estate to be affected. Following below I have provided the names and addresses of each of the real parties in interest, including, without limitation: each stockholder or a corporation; each of the individual officers and directors of a corporation; each of the individual members of an LLC (limited liability companies, professional limited liability companies); the trustees and beneficiaries of a trust, etc. Where multiple corporations, companies or trusts are involved, identify real parties in interest for each entity listed.

Name DOUGLAS E. CATON Address 102 SOUTH FIRST STREET, SUITE 301
CHARLOTTESVILLE, VA 22902

Name _____ Address _____

Name _____ Address _____

Name _____ Address _____

Attach additional sheets as needed.

Note: The requirement of listing names of stockholders does not apply to a corporation whose stock is traded on a national or local stock exchange and which corporation has more than five hundred (500) shareholders.

Applicant: Management Services Corporation (msc)

By:

Signature [Signature] Print TREY STEIGMAN Date 7/26/16

Its: AUTHORIZED AGENT (Officer, Member, Trustee, etc.)



City of Charlottesville

Fee Schedule

Project Name: Cedars Court Apartments

Application Type	Quantity	Fee	Subtotal
Special Use Permit	1	\$1800	\$1800 ⁰⁰
Special Use Permit (Family Day Home for 6-12 Children)		\$500	
Mailing Costs per letter		\$1 per letter	
Newspaper Notice		Payment Due Upon Invoice	
TOTAL	1		\$1800 ⁰⁰

Office Use Only

Amount Received: _____ Date Paid _____ Received By: _____

Amount Received: _____ Date Paid _____ Received By: _____

Amount Received: _____ Date Paid _____ Received By: _____

Amount Received: _____ Date Paid _____ Received By: _____

Cedars Court Apartments
Special Use Permit Application
Request for Increased Density
Narrative Statement
July 26, 2016

1228 Cedars Court, LLC, the Owner, and Management Services Corporation, the Applicant, propose to build a nineteen (19) unit multi-family structure consisting of three (3) stories of residential space over one (1) story of parking and residential (ground floor handicap accessible apartment). The combined areas total approximately 18,110 gross square feet.

The existing property site is located adjacent to 1228 Cedars Court and is further identified on City Real Property Tax Map 40B as Parcel 45, having approximately 83.1 feet of frontage on Cedars Court, a public right-of-way, and containing approximately 15,155 square feet of land or 0.348 acres. There is not a building located on this property currently.

Request for Additional Density

The applicant is requesting special permission for increased density of 52 DUA to construct a new Four (4) story, 18,110 gross square foot, 19-unit residential building. Increased Density (up to 64 DUA) is allowed in the Urban Corridor zoning district with a special use permit. The Urban Corridor Zoning designation allows a by-right maximum of 21 dwelling units per acre (7.3 units for this site). This development is proposing a total of 19 dwelling units (or 52 DUA). This would allow an additional 12 dwelling unit(s) than allowed by right. The general uses called for in the Land Use Plan of the Comprehensive Plan are for Mixed Use.

The proposal includes ground level parking (with building above) with 23 on-site parking spaces and including one handicap accessible parking space.

General Standards for Issuance of Special Use Permit and Conformity with the Comprehensive Plan

The proposed project will be harmonious with the existing patterns of use and development within the neighborhood with the scale of the project and proposed use. The scale and massing of the proposed building fits with the existing buildings and apartment units along Cedars Court. The proposed use of the new building is allowed in the URB district. The proposed use of the building will also conform to a number of aspects of the city's comprehensive plan. These aspects and initiatives include the establishment of a locally-owned and operated business; the encouragement of alternate forms of transportation based on proximity to the university, shopping and mass transit lines; the creative minimization of the impact of parking facilities and vehicular traffic due to the consolidation of structured parking on site, the increase of customer diversity for the local shopping area. In addition, the proposed new construction will comply with all applicable building code regulations.

Compliance with Applicable USBC Provision

This project will comply with all VA Uniform Statewide Building Codes and Regulations.

Potentially Adverse Impacts on the Surrounding Neighborhood and the Potential Mitigation Efforts

1. Traffic Impact - See Preliminary Site Plan/Special Use Permit Application Plan prepared by Dominion Engineering for summary of projected traffic counts. The project exceeds code requirements for on-site parking spaces and will provide suitable storage space for bicycles. The project will be

pedestrian-oriented given its location on the public mass transit service line and adjacent to major employment centers and a major shopping district.

2. Noise, lights, dust control effects on the natural environment - Construction activities will be phased and coordinated to minimize effects on the natural environment and the surrounding community. Routine communication with the surrounding community has been initiated and will continue until the completion of the project.
3. Displacement of existing residents or businesses - There will not be any displacement of existing residents or businesses associated with this project.
4. Discouragement of economic development - The in-fill project provides for re-development of a surface parking lot to increase the number of residential dwelling units in the City and adds households to the captured marketplace of a major shopping district. The project will significantly increase the real property tax base and the sales tax base of the City relative to the status quo.
5. Intensity of use in relationship to community facilities - The in-fill project proposes an appropriate density and intensity of use and minimally impacts existing public facilities. See preliminary site plan prepared by Dominion Engineering for further detail.
6. Utilities - City water and sewer. See preliminary site plan prepared by Dominion Engineering.
7. Affordable Housing Provisions - The residential dwelling units for this project will add to the totals for the City. The project will comply with the Affordable Dwelling Unit Regulations of Section 34-12 of the City Code.
8. Impact on school population - The project is expected to have a minimal impact on public school population and/or public school facilities.
9. Effects on Historic District - The project is not located within a conservation or historic district.
10. Conformity with Federal, state, and local laws - The project will conform and comply with applicable requirements of local, state, and federal regulations.
11. Massing and scale of project -The proposed construction of the building will fit with the neighborhood scale and massing of the existing surrounding buildings.

Overall, the development of this parcel to build a nineteen (19) unit multi-family residential structure and associated surface parking areas meets the general requirements and standards of the existing zoning district of the parcel and is in harmony with other adjacent buildings within the zoning district area. The existing zoning allows for this use, the scale and massing on the site is appropriate, the proposed development does not appear to have any major additional impacts on the City resources or natural resources, and the proposed use fits well with the surrounding area. Additional information on the proposal can be seen in the preliminary site plan and the attached site and architectural plans for the proposed building.

MICHAEL P. AYERS
 LICENSE NO. 57023
 STATE OF VIRGINIA

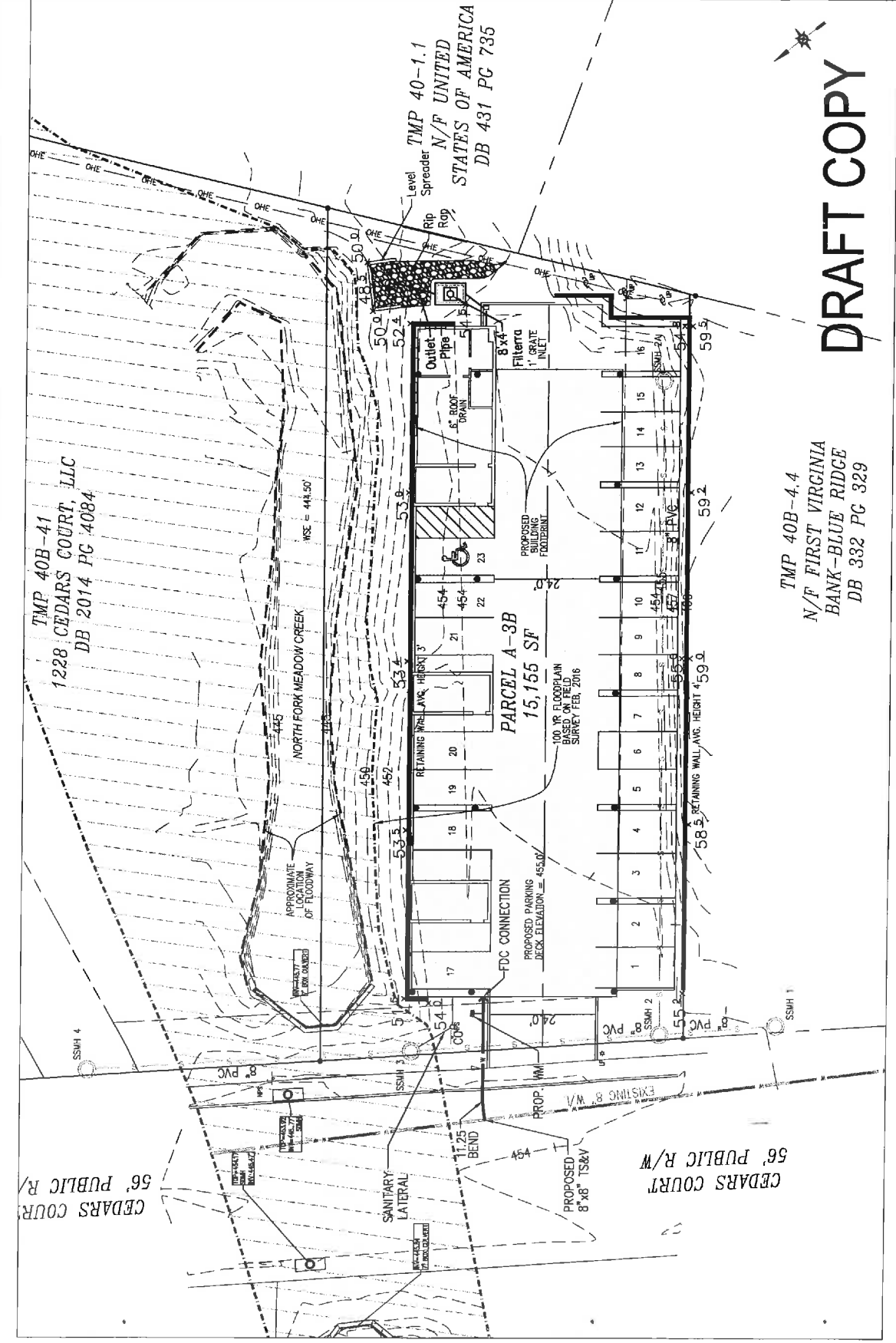
Dominion
 Engineering

122 State Street, Suite 200
 Charlottesville, VA 22901
 434.297.1100
 434.297.1101
 dominoneng.com

NO.	REVISIONS	DATE	BY	CHKD BY	APP'D BY

SHEET TITLE: SITE PLAN
 PROJECT TITLE: CEDARS COURT APARTMENTS
 CITY OF CHARLOTTESVILLE, VA

DOM. PROJECT: V040800
 INDEX TITLE: PS3
 SHEET NO. 3 of 4
 DATE: 10/14/16

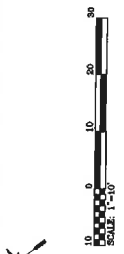
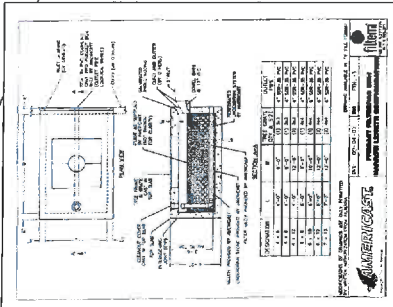
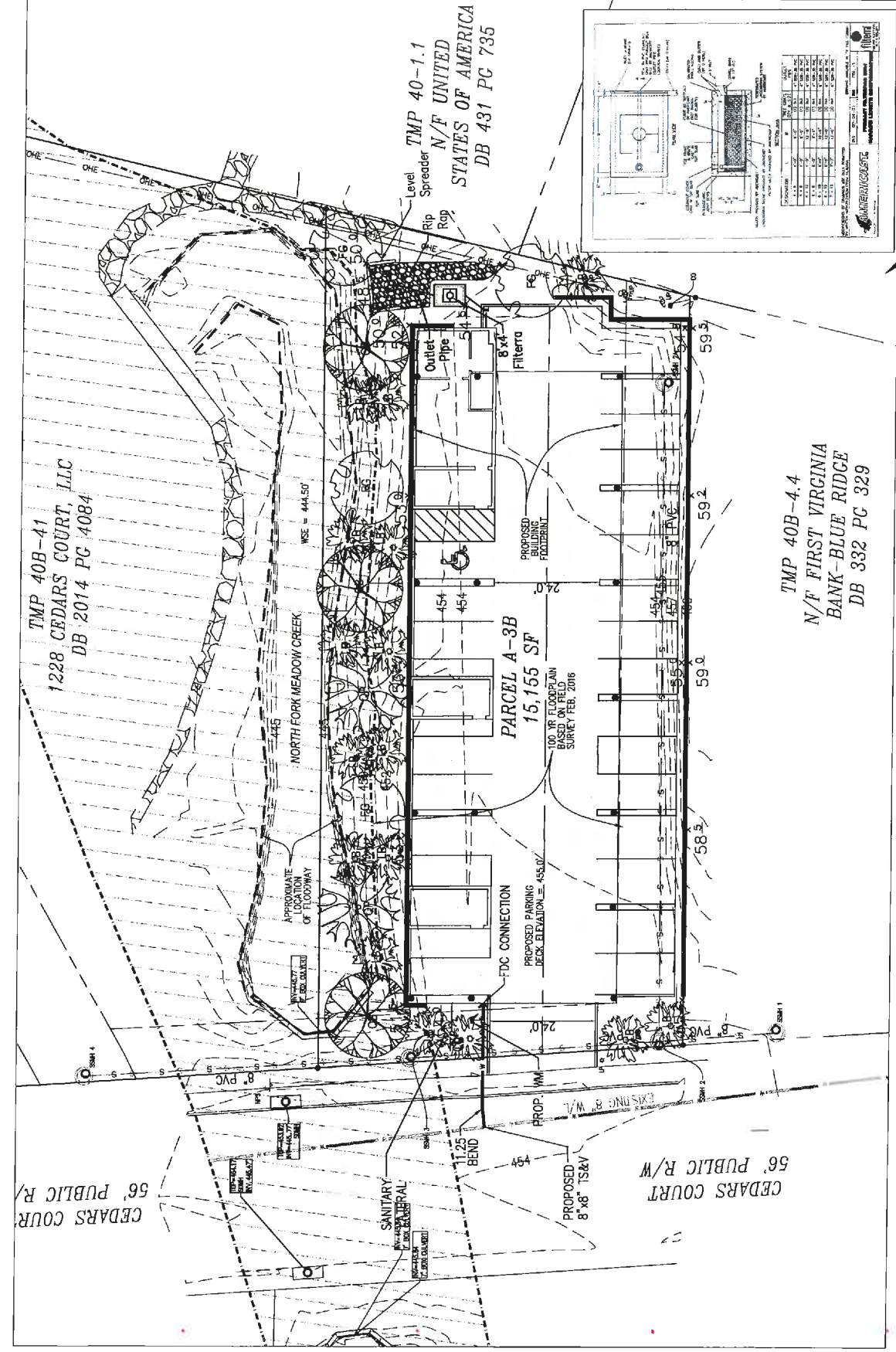


TMP 40B-4.4
 N/F FIRST VIRGINIA
 BANK-BLUE RIDGE
 DB 332 PG 329

DRAFT COPY



NO.	DATE	DESCRIPTION	BY	CHECKED BY	APP. BY



TMP 40B-41
 1228 CEDARS COURT, LLC
 DB 2014 PG 4084

Level Spreader
 Rip Rap
 TMP 40-1.1
 N/F UNITED STATES OF AMERICA
 DB 431 PG 795

TMP 40B-4.4
 N/F FIRST VIRGINIA BANK-BLUE RIDGE
 DB 332 PG 329

PARCEL A-3B
 15,155 SF
 100 YR FLOODPLAIN
 BASED ON FIELD SURVEY, FEB. 2016

CEDARS COUR
 56 PUBLIC R/W

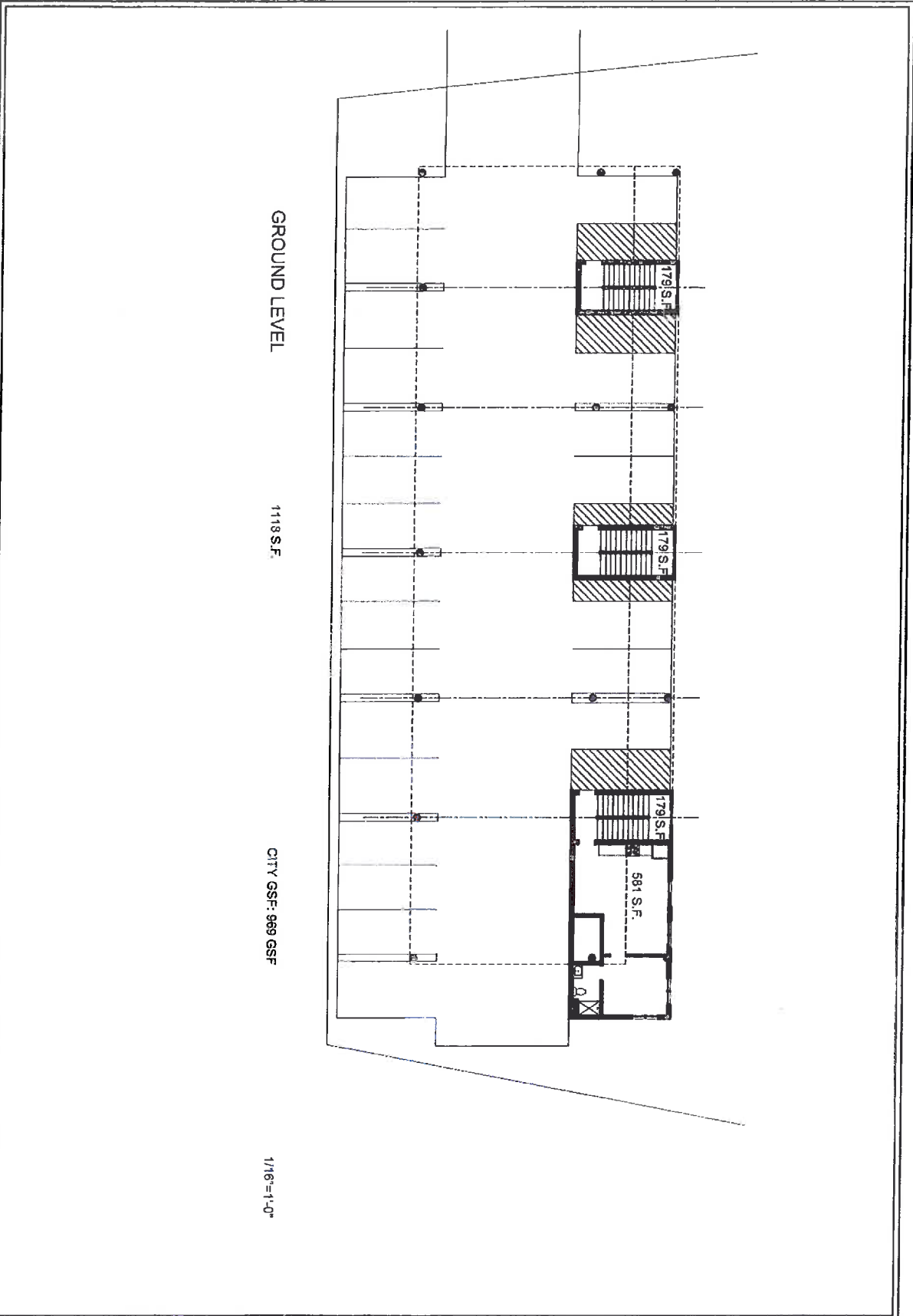
CEDARS COURT
 56 PUBLIC R/W

DRAFT COPY

CANOPY COVER REQUIREMENT FOR LD POINT = 18% OF SITE
 15,155 SF * 0.18 = 2,728 SF REQUIRED
 CANOPY COVER PROVIDED = 2,817 SF OK

LANDSCAPE SCHEDULE

Key	Quantity	Botanical Name	Common Name	Plant Code	Canopy	Total Canopy	Remarks
1	1	SPRING BURNING BUSH	SPRING BURNING BUSH	1	200	200	200
2	1	DOGWOOD	DOGWOOD	2	500	500	500
3	1	FRAGRANT AMELANCHIER	FRAGRANT AMELANCHIER	3	500	500	500
4	1	DOGWOOD	DOGWOOD	4	500	500	500
5	1	DOGWOOD	DOGWOOD	5	500	500	500
6	1	DOGWOOD	DOGWOOD	6	500	500	500
7	1	DOGWOOD	DOGWOOD	7	500	500	500
8	1	DOGWOOD	DOGWOOD	8	500	500	500
9	1	DOGWOOD	DOGWOOD	9	500	500	500
10	1	DOGWOOD	DOGWOOD	10	500	500	500
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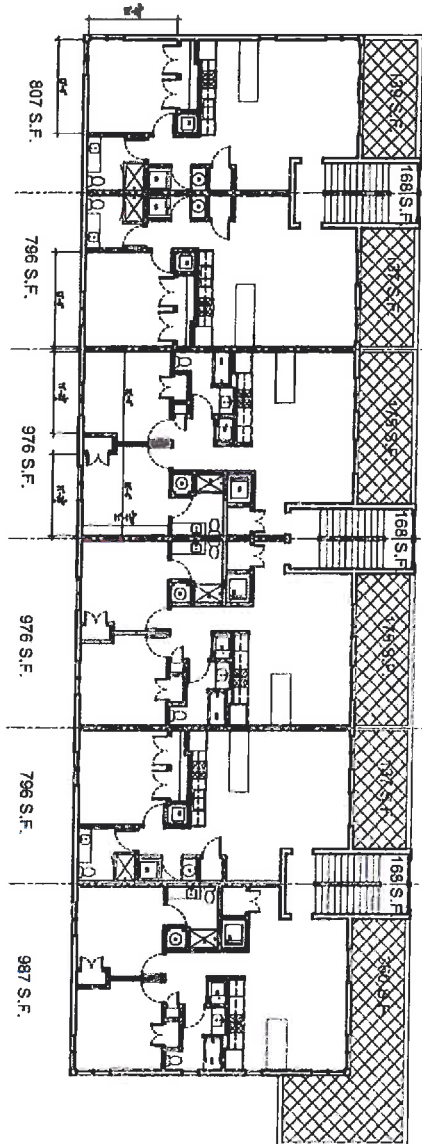
APARTMENT PLANS

Stoneking / von Storch Architects
 P.O. Box 1332 Charlottesville, VA 22902

CEDARS COURT APARTMENTS
 5.31.2016
 1/16" = 1'-0"

Office Use Only

SK-1



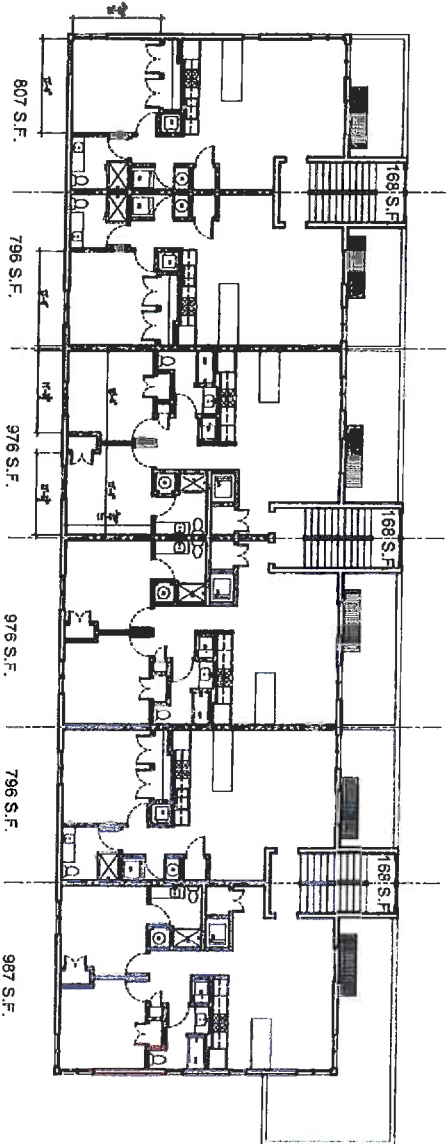
TERRACE LEVEL APARTMENTS 5843 S.F.

BUILDING TOTAL AREAS: 5843 S.F.

CITY GSF: 5584 S.F. + 1123 (TERRACE) = 6707 GSF

CITY GSF: 18,844 GSF

1/16"=1'-0"



SECOND AND THIRD FLOOR APARTMENTS 5843 S.F./FLOOR

5843 S.F./FLOOR

CITY GSF: 5684 GSF

1/16"=1'-0"



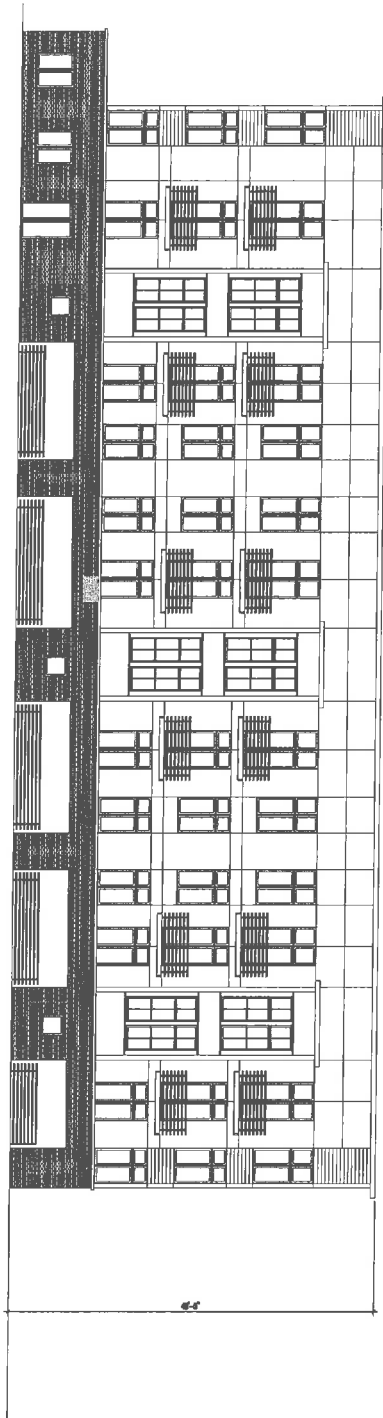
APARTMENT PLANS

Stoneking / von Storch Architects
P.O. Box 1332 Charlottesville, VA 22902

CEDARS COURT APARTMENTS
5.31.2016
1/16"=1'-0"

Office Use Only

SK-2



NORTH ELEVATION
Building Height = 48'-5"

Averaged Building Height (four sides) = 46'-11.5"

1/16"=1'-0"



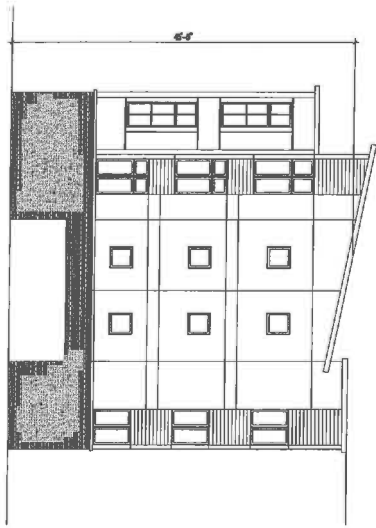
SOUTH ELEVATION

Stoneking / von Storch Architects
P.O. Box 1332 Charlottesville, VA 22902

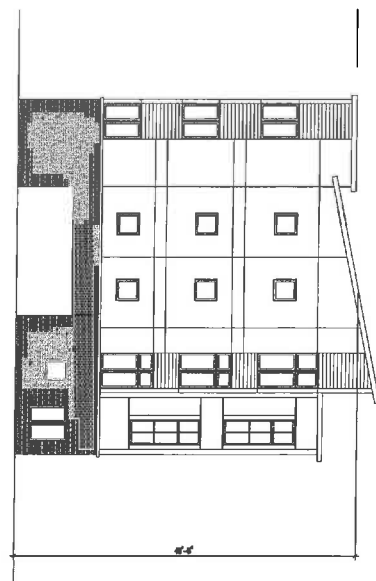
CEDARS COURT APARTMENTS
10.5.2016
1/16"=1'-0"

Office Use Only:

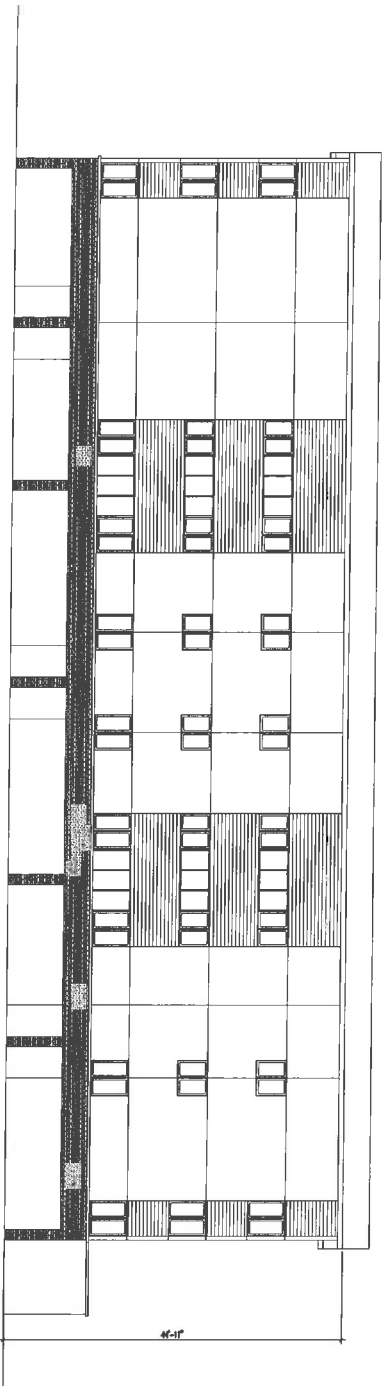
SK-3



WEST ELEVATION
Building Height = 45'-5"
1/16"=1'-0"



EAST ELEVATION
Building Height = 45'-5"
1/16"=1'-0"



SOUTH ELEVATION
Building Height = 44'-11"

1/16"=1'-0"



ELEVATIONS

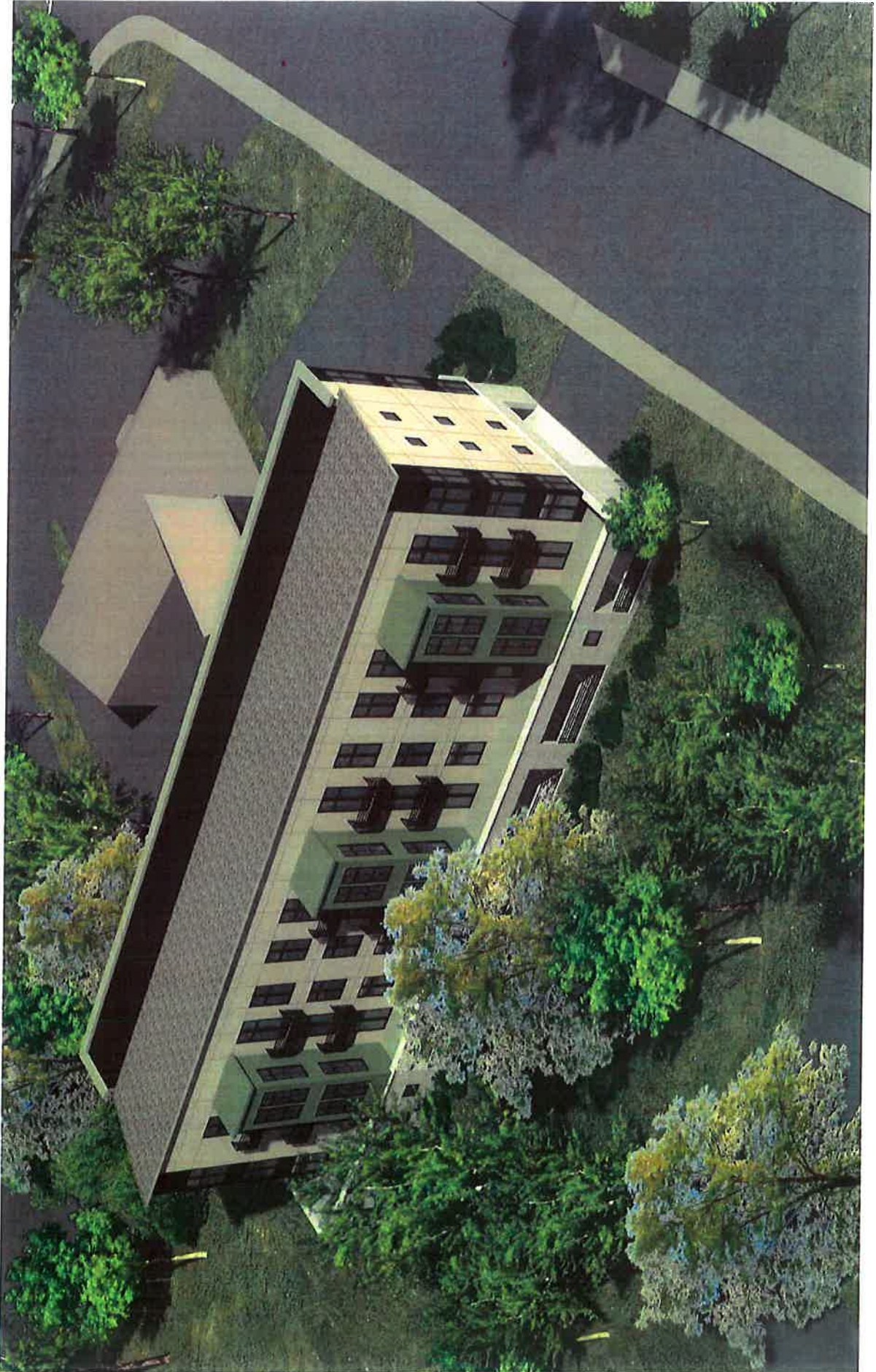
Stoneking / von Storch Architects
P.O. Box 1332 Charlottesville, VA 22902

CEDARS COURT APARTMENTS
10.5.2016
1/16"=1'-0"

Office Use Only.

SK-4





LEASE AGREEMENT

This Lease Agreement (the "Lease") is made 8/19/2016, by and between 1228 Cedars Court, LLC, a Virginia corporation (hereinafter "Lessor") whose address is 102 S. 1st Street, Suite 301, Charlottesville, VA 22902, The Rivanna Trails Foundation, a Virginia non-stock corporation (hereinafter "Lessee") whose address is P.O. Box 557, Charlottesville, VA 22902, and Management Services Corporation of Charlottesville (hereinafter "Lessor's Agent") whose address is 102 S. 1st Street, Suite 301, Charlottesville, VA 22902.

WITNESSETH:

WHEREAS, Lessor is the owner of 3.1760 acres, more or less, of land located at 1228-1230 Cedars Court, Charlottesville, VA 22903, and generally shown as Parcel 40B004100 in the Charlottesville, VA Land Records (hereinafter "Property"); and

WHEREAS, Lessee seeks to lease access for the construction, maintenance, and non-motorized recreational use of linear trails within the City of Charlottesville and Albemarle County; and


WHEREAS, Lessee is a not-for-profit organization granted tax-exempt status under § 501(c)(3) of the Internal Revenue Code; and


WHEREAS, the parties desire to enter into an agreement to provide access to Lessee across a portion of the Property providing for non-motorized use by the general public of the linear trail.

NOW THEREFORE, for and in consideration of the covenants and provisions of this Lease, Lessor does hereby lease to Lessee, and the Lessee does hereby accept from Lessor, the following premises situated in the City of Charlottesville, Virginia (hereinafter "Premises"):

That portion of the Property shown on Attachment A, attached hereto and incorporated into this Lease by reference, as a linear trail for non-motorized recreational use (hereinafter "Trail"). Lessee shall have non-exclusive right to use and occupy the Premises, subject to the following terms and conditions:

- 1. TERM: The initial term of this Lease shall be for a period of one (1) year, commencing on July 1, 2016 and ending on June 30, 2017. At the end of the initial term, this Lease shall automatically renew for successive periods of one (1) year; provided, however, that either Lessor or Lessee may terminate this Lease at any time upon sixty (60) days' written notice to the other party at the addresses set forth above or at such other address as may from time to time be designated in writing.

Lessor's Initials 

Lessee's Initials 

- 2. RENT: Lessee shall pay to Lessor as rent the sum of \$1.00 each year of the Lease. This amount shall be due and payable on or before January 31st of each year of the Lease, provided, however, that the first rental payment shall be paid to Lessor upon the execution of the Lease. All payments shall be paid to:

1228 Cedars Court LLC
 c/o Management Services Corporation
 P.O. Box 5306
 Charlottesville, VA 22905

unless Lessor shall designate some other payee or address for payment thereof by giving written notice to that effect to Lessee.

- 3. USE OF PREMISES: During the term of this Lease, Lessee shall have the non-exclusive right, but not the duty to construct, maintain and repair a linear trail along and across the above described Property; provided, however, that once a trail has been constructed, Lessee shall have a duty to Lessor to maintain and repair the trail. Subject to such reasonable rules and regulations as Lessee and Lessor deem necessary, the Trail shall be open to non-exclusive, non-motorized recreational use by the general public, including hiking, running and biking. Further, Lessee has permission to advertise the Trail as being open for the use and enjoyment of the general public in printed maps, on web sites, and in other promotional materials.
- 4. PERSON IN CONTROL OF LAND OR PREMISES: All parties to this lease agreement acknowledge that Lessee is a “person in control of land or premises” as defined in Va. Code § 29.1-509 with respect to said Trail.
- 5. LESSEE’S ALTERATIONS: Other than the maintenance of existing Trail and adjacent landscaped areas, Lessee hereby agrees not to make or cause to be made any alterations, improvements, or additions of any kind to the Premises, except with the prior written consent of Lessor.
- 6. RESTRICTIONS ON USE OF LEASED PREMISES:
 - a. LESSOR’S RESERVATIONS: This Lease is subject to the reservation unto Lessor, and its successors or assigns, of the non-exclusive rights to access, maintain, use, and occupy the Property.
 - b. SIGNS: It is Lessor’s intent to ensure that the Premises remain attractive in appearance. Any sign visible from any portion of the Premises must be approved in writing by Lessor prior to installation.

Lessor’s Initials DS
DEC

Lessee’s Initials DS
TN

- c. NUISANCE: Premises shall not be used in any manner that will tend to create a nuisance or disturbance.
 - d. UNLAWFUL: Premises shall not be used for any unlawful or disorderly purpose.
 - e. SAFE CONDITIONS: Lessee shall not authorize or cause any act or deed to be performed upon, in or about the Premises which shall cause or be likely to cause injuries to any person or to the Premises.
7. INDEMNITY: Lessee hereby agrees to save, defend, hold harmless, and indemnify Lessor and its successors and assigns, agents and employees, etc. from and against any and all suits, actions or claims, loss, damage, injury cost (including court costs and attorney’s fees), liability or exposure, however caused, resulting from or arising out of or in any way connected with the use of the Trail, provided that such use occurred prior to the termination of this Lease. This indemnity shall survive the termination of this Lease. However, this indemnity shall not apply to suits, actions or claims, loss, damage, injury cost, liability or exposure resulting from or arising out of an intentional act on the part of Lessor, its agents, successors, or assigns.
 8. INSURANCE: During the term of this Lease, Lessee shall provide and maintain public liability insurance policy(ies) applicable to the Premises and Lessee’s operation and provide Lessor with a copy of said policy(ies) so that Lessor is defended from and insured against any and all claims, actions, losses, liabilities, costs and expenses, resulting from injury arising out of or in connection with the occupancy or use by Lessee, its volunteers, agents, the public, contractors, or guests. Such policy(ies) shall have limits of at least \$1,000,000.00 for injury or death to any one person or any one accident. The insurance afforded for Lessor shall not be cancelled or reduced unless insurer gives thirty (30) days’ written notice thereof to Lessor. Lessee shall provide Lessor with a substitute policy within thirty (30) days before the expiration of any such policy hereunder, along with a copy of the certificate of insurance evidencing such policy.
 9. TERMINATION: Upon termination of this Lease as otherwise set forth in this agreement, Lessee shall, at the request of Lessor, remove any structures placed by RTF and leave the area clean and free of trash and debris.
 10. APPLICABLE LAW: This Lease shall be governed by, construed and enforced in accordance with the laws of the Commonwealth of Virginia.
 11. ENTIRE AGREEMENT: This Lease, including any schedules, exhibits or addendums hereto, contains the entire agreement between the parties and cannot be modified except

Lessor’s Initials DS
DEC

Lessee’s Initials DS
TN

by written instrument subsequently executed by the parties hereto. This Lease and the terms and conditions hereof apply to and are binding on the heirs, legal representatives, successors and permitted assigns of both parties.

12. ASSIGNABILITY: Lessee shall not assign this Lease without the prior written approval of Lessor.

WITNESS the following signatures:

1228 Cedars Court, LLC (Lessor)

BY: DocuSigned by:
Douglas E. Caton
E6D8357107684C1... DATE: 8/18/2016

NAME: Douglas E. Caton TITLE: Manager

The Rivanna Trails Foundation (Lessee)

BY: DocuSigned by:
Todd Niemeier
539B58C928FF493... DATE: 8/19/2016

NAME: Todd Niemeier TITLE: President

Management Services Corporation of Charlottesville (Lessor's Agent)

BY: DocuSigned by:
Richard H. Jones
AECD8E122F0E43B... DATE: 8/19/2016

NAME: Richard H. Jones TITLE: Vice-Chairman

Lessor's Initials DEC

Lessee's Initials TN

ATTACHMENT A

SUPPLEMENT TO LEASE DATED: 8/19/2016,
BETWEEN: The Rivanna Trails Foundation (Lessee) AND
1228 Cedars Court, LLC (Lessor) AND
Management Services Corporation of Charlottesville (Lessor's Agent)



Attachment A: Green line indicates approximate location of the trail.

Lessor's Initials DEC

Lessee's Initials TN

CHAPTER 3

Street Network and Typologies



East High Street

The previous chapter looked at the multiple, essential functions that Charlottesville’s streets have, and introduced basic design considerations for each of these functions. This chapter examines the streets themselves, looking both at the network as a whole and at the characteristics of different street types used to determine the typologies in these guidelines.

3.1 Street Network Overview

With few exceptions, the street network in Charlottesville is built out and future road construction is limited to local streets providing residential access. Some arterial roads like Preston Avenue, 5th Street and Emmet Street have multiple travel lanes in each direction, but most streets within city limits have one lane in each direction, although the lanes are not always separated by pavement markings in residential neighborhoods. There are a few one-way streets around the downtown area and in the residential neighborhoods surrounding the West Main Street corridor.

Mileage and Road Classifications

Charlottesville has 168.6 miles of roads within its boundaries.¹³ These roads are assigned to one of several possible functional classifications within a hierarchy according to the character of motor vehicle service each roadway provides. Arterials and collectors carry the highest traffic volumes over longer distances, while local streets carry fewer vehicles shorter distances. Table 5 shows the miles of road within each classification in Charlottesville.

Road Classification (VDOT)	Miles
Interstate	0.4
Principal Arterial	15.5
Minor Arterial	13.1
Collector	16.7
Local	122.9
Total	168.6

Table 5: Miles of Charlottesville Roads by VDOT Classification

¹³ City of Charlottesville, GIS data, April 2014.

Posted Speed Limits

The posted speed limits in Charlottesville range from a minimum of 15 mph in some school zones to a maximum of 45 mph along 5th Street, portions of the 250 Bypass and Seminole Trail/29N. Most arterials have posted speed limits of 35 mph, while collectors and local streets have posted speed limits of 25 mph.

Traffic Volumes

Charlottesville’s principal arterial roadways carry a disproportionate amount of the traffic in and through the city. Seventy-four percent of roads in Charlottesville have an average annual daily traffic (AADT) count below 1,000, which is relatively low.¹⁴ The roads with the highest traffic volumes are shown in Table 6.

Road Name	Segment	Number of Through Travel Lanes	AADT VDOT, 2012	AADT VDOT 2014 ⁸
29 N/Seminole Trail	250 Bypass to North City Limits	6	59,000	60,000
250 Bypass	Hydraulic Road to Dairy Road	4	42,000	37,000
29 N/Emmet Street	Barracks Road to 250 Bypass	4	31,000	29,000
Preston Avenue	Grady Avenue to Market Street	4	21,000	20,000
Ridge Street	Dice Street to Main Street	2	22,000	20,000
E High Street	Gillespie Avenue to 250 Bypass	2	19,000	18,000
5th Street	South City Limits to Cherry Avenue	4	18,000	17,000
Monticello Avenue	South City Limits to Meridian Avenue	2	15,000	14,000
Avon Street/9 th Street NE	Monticello Avenue to High Street	2-4	14,000	13,000
W Main Street	Jefferson Park Avenue to McIntire Road	2	13,000	12,000

Table 6: Average Annual Daily Traffic on Charlottesville’s Major Roads

Note: One travel lane has a capacity of 10,000 vehicles per day.

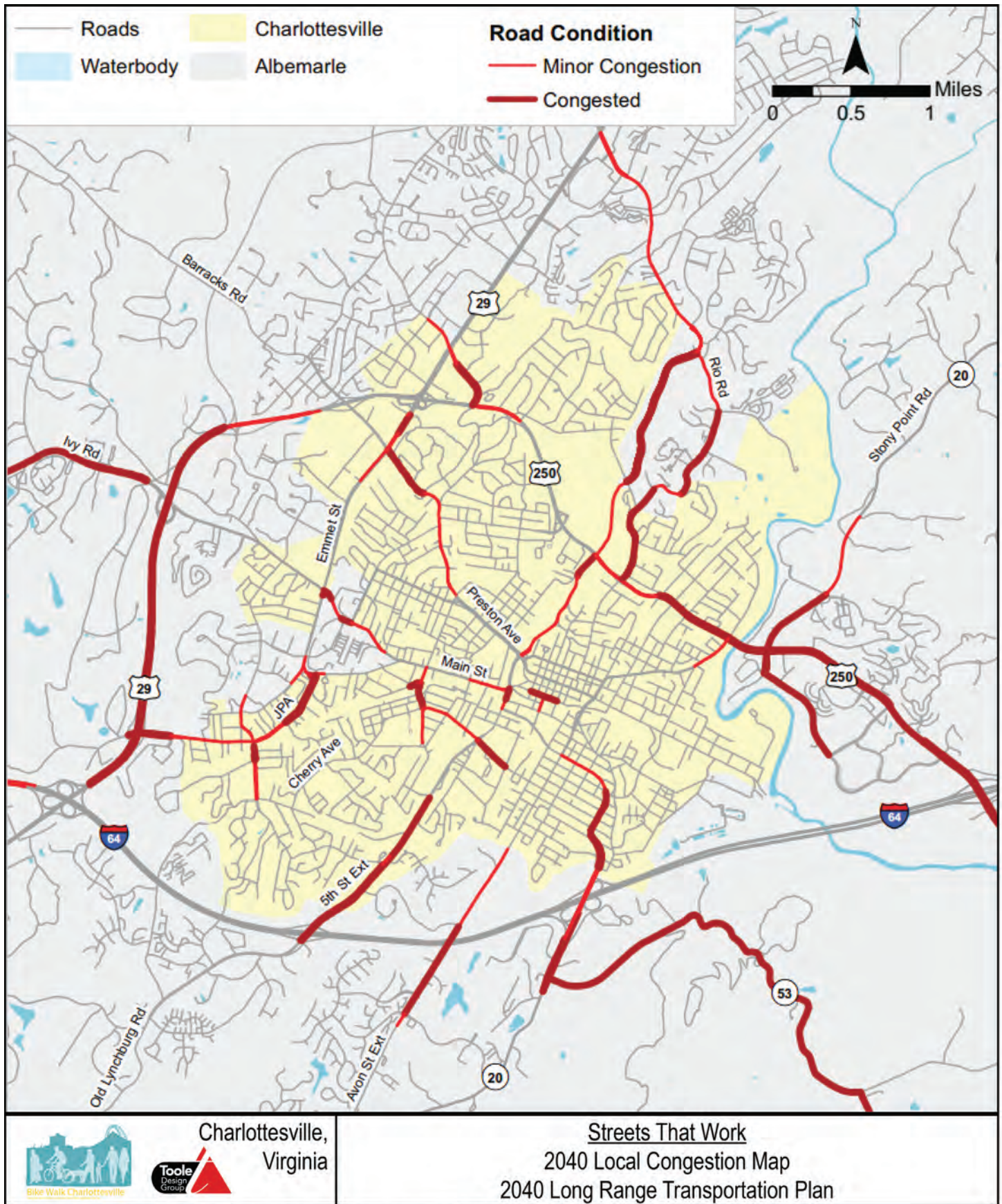
14 City of Charlottesville GIS data, April 2014.

15 Charlottesville Albemarle MPO Long Range Transportation Plan. <http://www.tjpc.org/LRTP/PDF/document/Chapter6.pdf>

Projected Future Traffic

The 2040 Long Range Transportation Plan (LRTP) for the Thomas Jefferson Planning District which includes the City of Charlottesville and the surrounding counties of Albemarle, Greene, Fluvanna, Louisa and Nelson, assesses the future demand for travel throughout the region. The Travel Demand Model used to establish a baseline and make recommendations for the LRTP shows that several roads within and around Charlottesville will experience minor to severe congestion in the future as the regional population continues to grow. These roads are mapped in Figure 6.

Minor congestion refers to roads operating at 85 to 100 percent capacity, where drivers would likely experience delays at peak times. Congested roads are expected to carry more volume than they are designed to accommodate, and drivers will experience delays throughout the day.¹⁵



Map produced by the Thomas Jefferson Planning District Commission/Charlottesville-Albemarle MPO

Figure 6: 2040 Local Congestion Map.



West Main Street

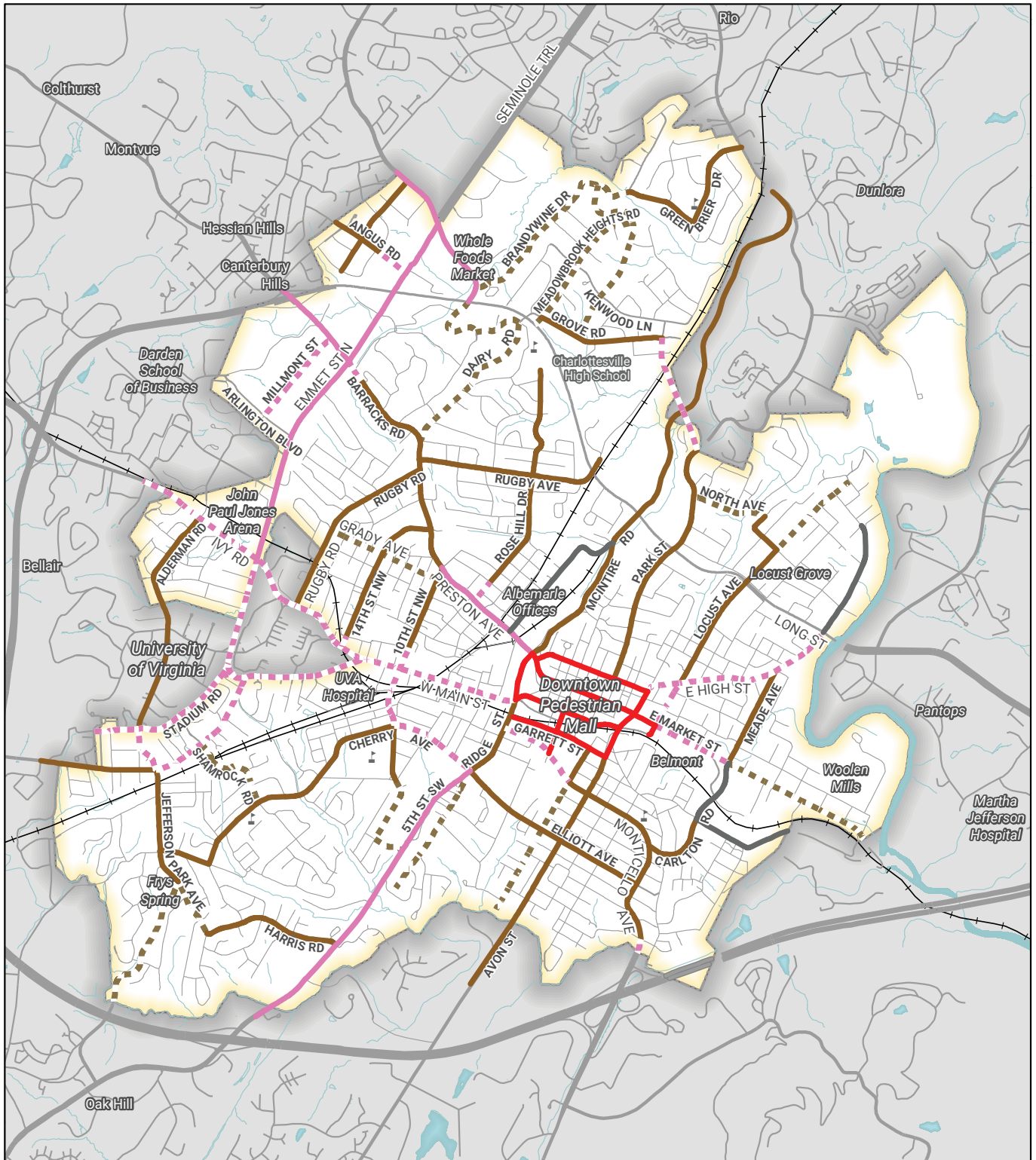
3.2 Street Typologies

Sorting streets into categories helps designers make preliminary decisions about the various elements of street design. These Guidelines present new categories, called *street typologies*, which are based on Complete Streets principles, not just motor vehicle level of service.

The first step in developing typologies for Charlottesville's streets was identifying the city's *framework* streets. *Framework* streets are the most direct routes through the

city that connect places, neighborhoods, and districts; they also serve as emergency vehicle routes. These streets form the basic structure of the street network, and their defining characteristics provide the basis for each of the street typologies.

While *framework* streets carry the majority of traffic volumes in the city, the majority of street miles in the city is comprised of (*non-framework*) local streets.






<p>Charlottesville, Virginia</p>  	<h2>Street Typology</h2> <hr/> <h3>Streets That Work</h3>	<p>Street Typology</p> <ul style="list-style-type: none"> — Downtown — Industrial — Mixed Use A — Mixed Use B — Neighborhood A — Neighborhood B — Local <div style="text-align: right;">  <p>0 0.25 0.5 Miles</p> <p>Date: 5/20/2016</p> </div>
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Figure 7: Charlottesville Street Typology Map

The defining characteristics of each *framework* street include adjacent land uses, design character (setback, height, location of parking, etc), the number of travel lanes, the presence of center turn lanes or medians, sidewalks and bicycle facilities, and on-street parking.

An overview of all seven street types and their existing, defining characteristics is provided in Table 7. Appendix C contains a comprehensive list of street segments for each typology, graphics of each street typology, tables showing recommended design parameters.

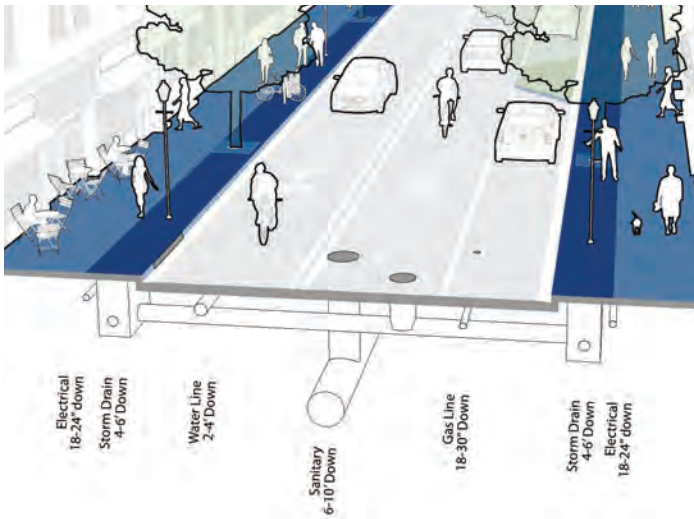
	Framework Streets						Local
	Mixed Use A	Mixed Use B	Downtown	Industrial	Neighborhood A	Neighborhood B	
Miles	4.4	12.7	3.4	2.4	14.7	11.5	119.5
Percentage of Total Miles in City	<3%	8%	2%	<2%	9%	7%	71%
Number of Travel Lanes	4 or more	2	2	2	2	2	2
Sidewalks	Both sides	Both sides	Both sides	Both sides	One or both sides	None or one side	Varies
Median	Yes	No	No	No	No	No	No
Center Turn Lanes	Yes	Sometimes	Sometimes	No	No	No	No
Dedicated Bicycle Facilities	Yes	Yes	Sometimes	No	Yes	No	No
On-street Parking	No	Sometimes	Yes	Sometimes	Sometimes	Sometimes	Sometimes
Land Uses	Commercial, Mixed Use	Mixed Use	Commercial, Mixed Use	Commercial, Industrial	Residential	Residential	Residential, Commercial, Mixed Use

Table 7: Charlottesville Street Typology Characteristics

3.3 Cross-Sections

The following section presents the proposed streetscape elements and dimensions for each street typology through text, graphics and tables. For each typology, there is a brief narrative that describes existing conditions and a list of representative streets in the City.

A generic *Existing* cross section is included to show the typical conditions along these streets within a right-of-way comparable to those found in Charlottesville.



Typical location of underground utilities.

Following the *Existing* cross section, two future scenarios are presented:

1. The *Retrofit* cross section shows one example of how the recommended street elements can be applied to the existing right-of-way. With most of the city built out, most street projects will be retrofit projects dealing with a constrained right-of-way.
2. The *Unconstrained* cross section reflects the amount of right-of-way required to include all of the desired street elements for a particular typology. These cross sections are provided to inform the vision for Charlottesville's streets although opportunities for implementation are quite rare.

Tables listing all of the desired street elements and parameters for their use is included at the end of each typology section.

Note: Many of the cross sections show trees located in the buffer zone between the sidewalk and roadway, and do not take into account conflicts with underground or overhead utilities. Consult the Utility section of Chapter 4 for required spacing around utility lines. Where plantings or furniture in the buffer zone is unattainable, a tradeoff should be made for another street element.

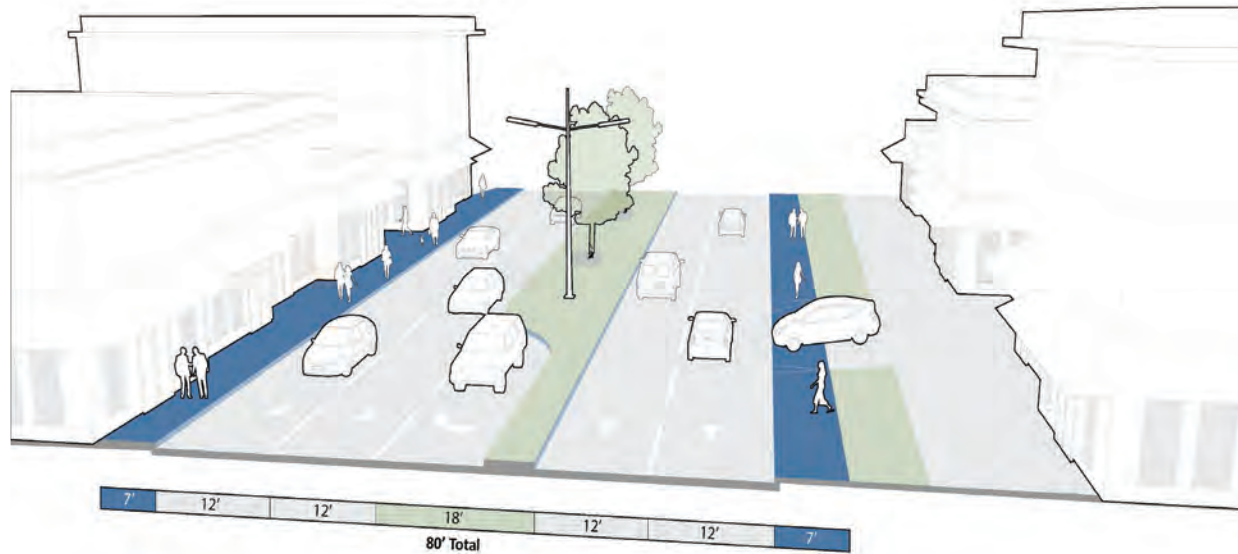


Roosevelt Brown Boulevard

Mixed Use A

Existing Mixed Use A street segments in Charlottesville include segments of Emmet Street, 5th Street, Preston Avenue and Hydraulic Road. These segments are characterized by two vehicular travel lanes in either direction, a center median/turn lane, sidewalks without buffers and standard bicycle lanes. Currently, buildings along these streets are deeply set back from the edge of the road, often with parking between the curb and the structure.

► Existing





Emmet Street N



Hydraulic Road



Preston Avenue



5th Street SW

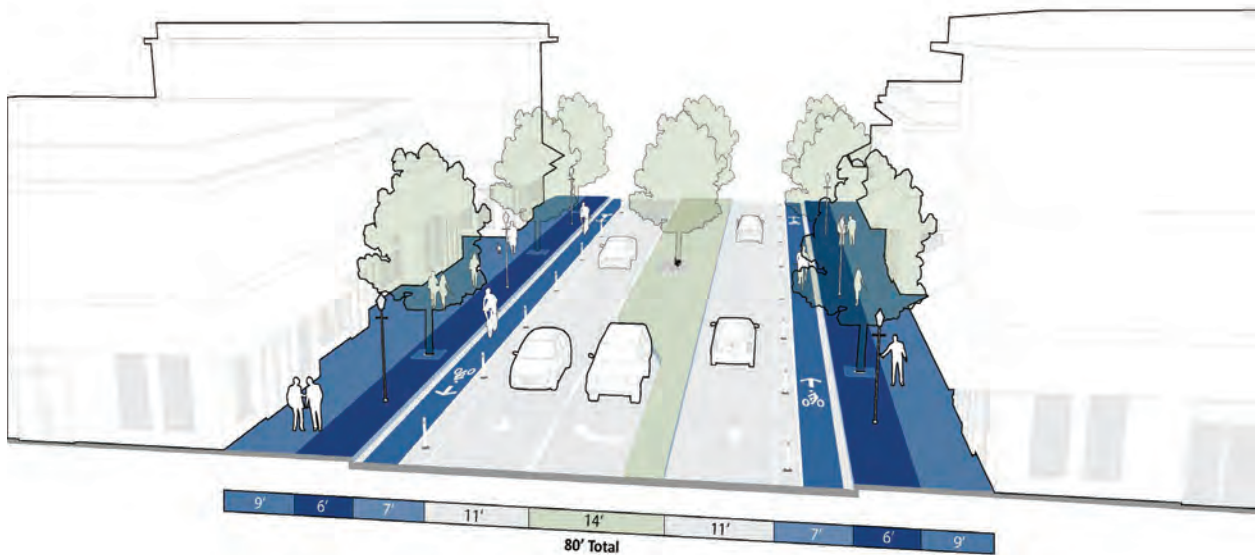
Street Segment	Posted Speed Limit (mph)	AADT	Heavy Vehicle Mix
Emmet St N Massie Rd to Hydraulic Rd	40	29,000	1%
Hydraulic Road Emmet St N to 250 Bypass	40	27,000	2%
Ridge-McIntire Road W Main St to Preston Ave	25	22,000	1%
Preston Avenue 10th St NW to Ridge-McIntire Rd	35	20,000	1%
5th St SW Cherry Ave to City Limits	45	17,000	2%
Ranges	25-45	17,000-29,000	1-2%

► Future

There are two potential Mixed Use A cross sections shown below. The first “Retrofit” cross section applies these Guidelines to the existing right-of-way. To do this, certain trade-offs are required. The retrofit cross section shows a single travel lane in each direction, buffered bike lanes, wider sidewalks with curbside buffer zones for trees and pedestrian scale lighting.

The second “Unconstrained” cross section shows two vehicular travel lanes in either direction, a center median/left turn lane and separated bike lanes. This scenario also has separated bike lanes, wider sidewalks with curbside buffer zones for trees and pedestrian scale lighting.

► Retrofit



► Unconstrained

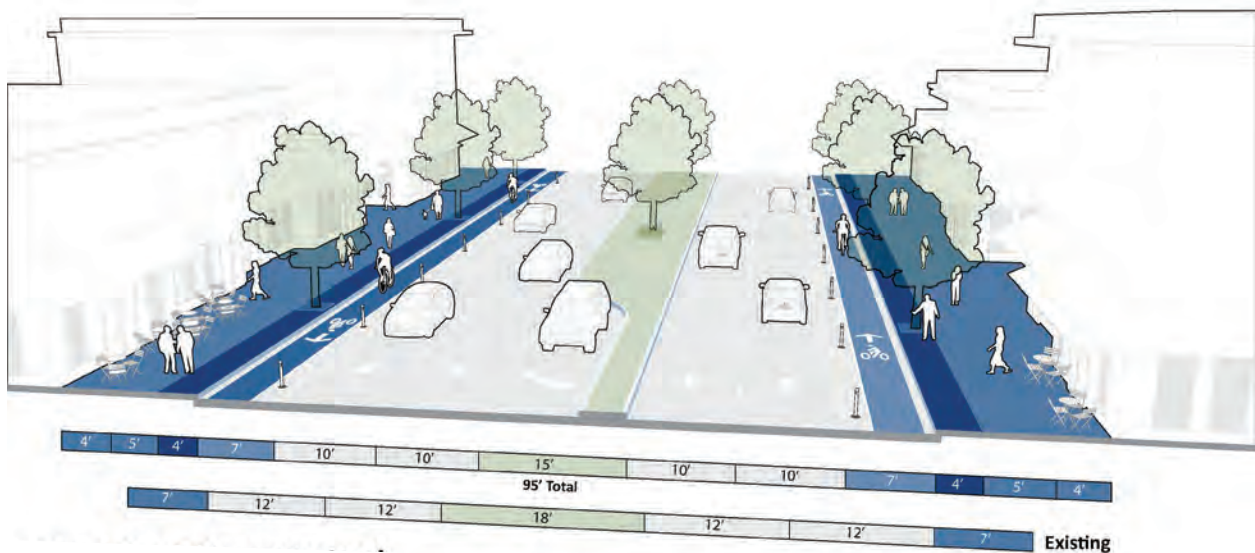


Table of Street Elements

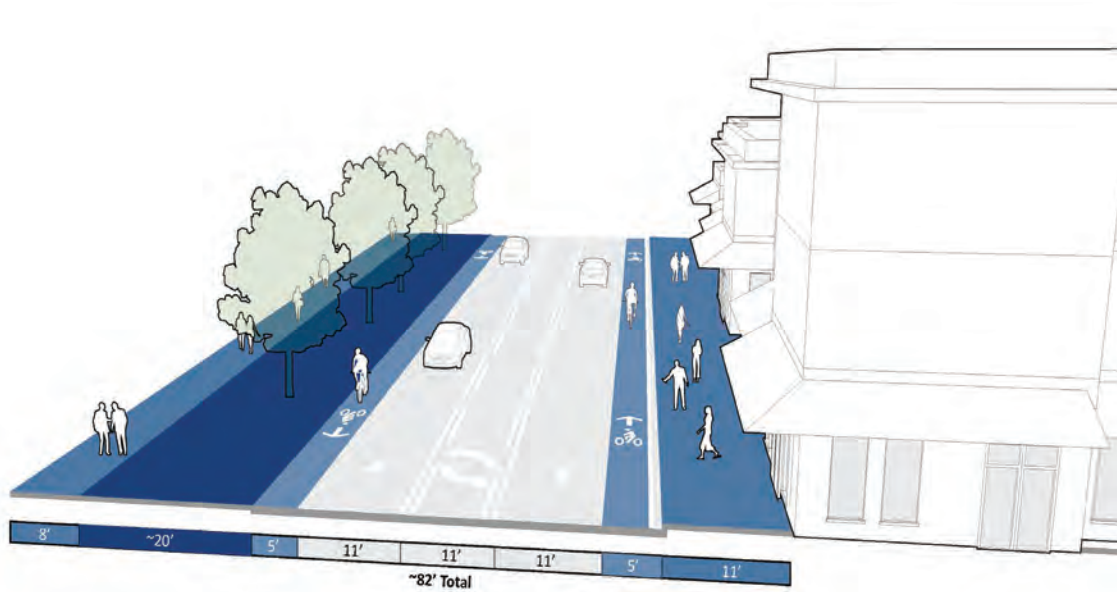
MIXED USE A STREET Major Design Elements	Recommended	Parameters
Right-of-way	n/a	60' - 100'
Sidewalks	Yes	> 7' clear walk zone
Curbside Buffer Zone (Highest Priority Street Element)	Yes	3' - 6' Width requirements: small trees = 4'; medium trees = 4' (6' preferred); large trees = 4' (6' preferred); smaller widths can be achieved if soil volume minimum met.
Street Trees	Yes	Locate in curbside buffer or in on-street parking zone Soil volume minimums: small trees = 250 ft ³ ; medium trees = 400 ft ³ ; large trees = 400 ft ³ (700 ft ³ preferred)
On-Street Parking*	Limited or None	8'
Diagonal On-Street Parking	No	Back-in parking only, 60°, 17' min. stall depth
Off-Street Parking Access	Limited	Driveways, service and loading preferred from alleys and side streets
Travel Lane Widths*	n/a	10-11', if transit 11' outer lane
Turn Lanes	Yes	10'
Design Speed	Slow	< 30 mph
Bicycle Facilities (High Priority Street Element)	Yes	5'-7' bike lanes, 7' separated bike lanes, turn boxes, 10' shared use paths Bicycle parking in Curbside Buffer Zone or on-street
Transit Stop Facilities	Yes	Shelters, benches, paved curbside waiting areas, litter receptacle
Traffic Calming	Yes	Roundabouts, medians
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
**Trees: small (10' – 30' mature height) ; medium (30' – 50' mature height); large (50' mature height)		
	Highest Priority Street Elements	High Priority Street Elements

MIXED USE A STREET Major Design Elements	Recommended	Parameters
Curbs	Yes	Vertical curb, or combination curb and gutter
Gutters	Yes	Combination curb and gutter
Pedestrian Lighting	Yes	16' Height Maximum; See Lighting Standards
Street Lighting	Yes	
Median	Yes	Recommended to facilitate safe pedestrian crossings on streets with 3 lanes of traffic (can alternate with center turn lane); traffic calming, and stormwater management
Curb Radii	n/a	20' - 30'
Build-To Line/Street Wall Set Back from Public ROW	n/a	5'-10'+; varies by zoning district
Green and Blue Stormwater Opportunities	Yes	See Stormwater Elements section in Chapter 4.
Sidewalk Pavement Material	n/a	Concrete, permeable pavement, permeable pavers
Parking Lane Material	n/a	Asphalt, permeable pavement, unit pavers
Roadway Material	n/a	Asphalt
Gutter Material	n/a	Asphalt, concrete
Curb Material	n/a	Concrete
Curbside Buffer Zone Material	n/a	Unit pavers, permeable pavement, lawn, groundcover, vegetated tree boxes
Utilities	n/a	Separation Requirements for Street Trees/Above Ground Infrastructure: 10' preferred, 5' minimum. Anything under 10', consult with Utilities Engineer to reach solution.
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
	Highest Priority Street Elements	High Priority Street Elements

Mixed Use B

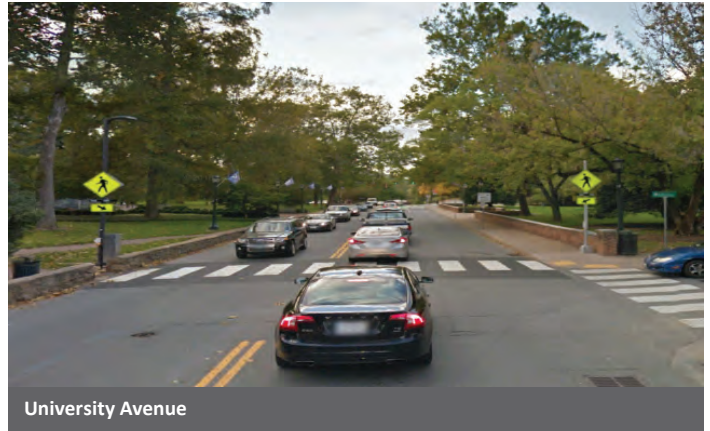
University Avenue and segments of Jefferson Park Avenue are two examples of existing Mixed Use B streets. They are characterized by one vehicular travel lane in each direction, intermittent center turn lanes, sidewalks and bicycle facilities. These streets also may have on-street parking. The adjacent land uses may be commercial, higher density residential or institutional. These streets should support high levels of walking, bicycling, and transit as they connect important destinations within the City and surrounding county. Future development that occurs along these streets will likely include a dense mix of uses.

► Existing





Emmet Street



University Avenue



Jefferson Park Avenue



Roosevelt Brown Boulevard

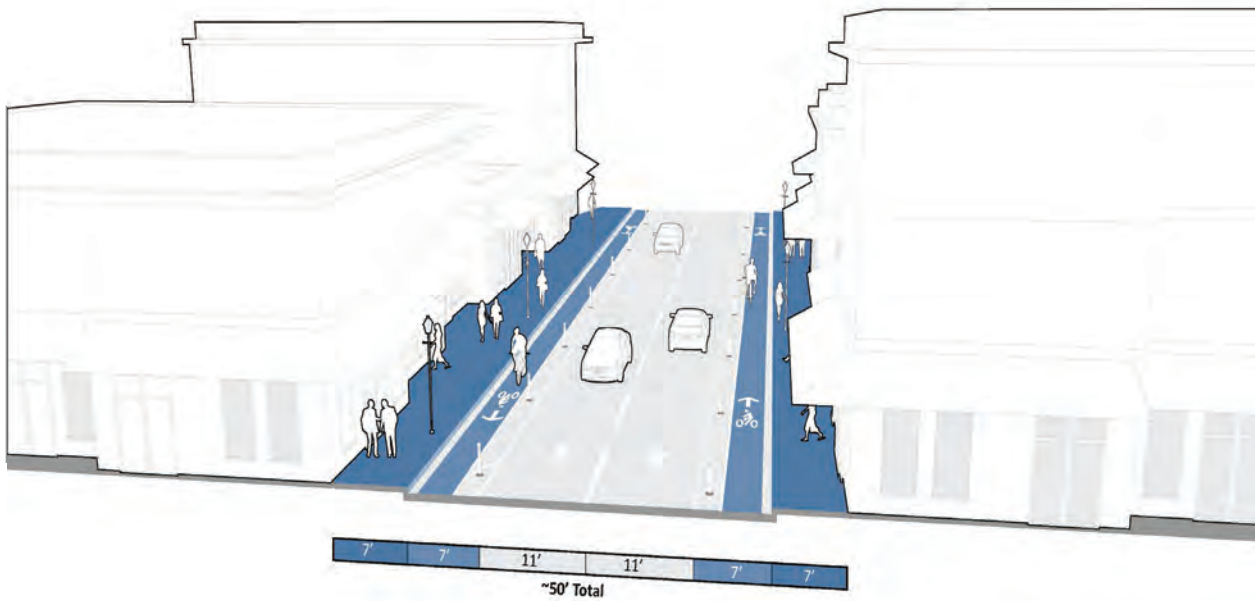
Street Segment	Posted Speed Limit (mph)	AADT	Heavy Vehicle Mix
Emmet St Jefferson Park Ave to Ivy Rd	25	14,000	3%
University Ave Emmet St N to Jefferson Park Ave	25	12,000	2%
Jefferson Park Ave Maury Ave to University Ave	25/35	12,000	5%
Roosevelt Brown Blvd Cherry Ave to W Main St	25	12,000	1%
Ranges	25-35	12,000-22,000	1%-5%

▶ Future

There are two potential Mixed Use B cross sections shown below. The first “Retrofit” cross section applies these Guidelines to the existing right-of-way. To do this, certain trade-offs are required. The retrofit cross section removes the center turn lane and shows buffered bike lanes in both directions. There are also wider sidewalks with pedestrian scale lighting on both sides of the street.

The second “Unconstrained ROW” cross section maintains the center turn lane configuration with the addition of bike lanes and on-street parking. Wide, 10’ sidewalks with 5’ curbside buffer zones with trees and pedestrian scale lighting are shown on both sides of the street.

▶ Retrofit



▶ Unconstrained

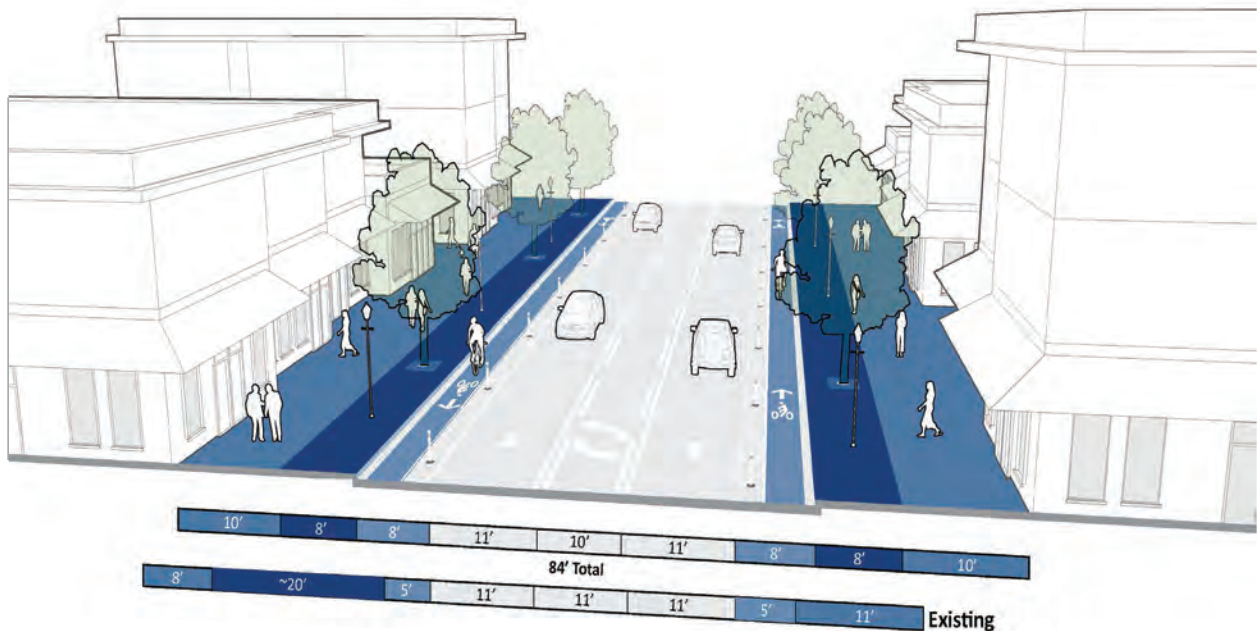


Table of Street Elements

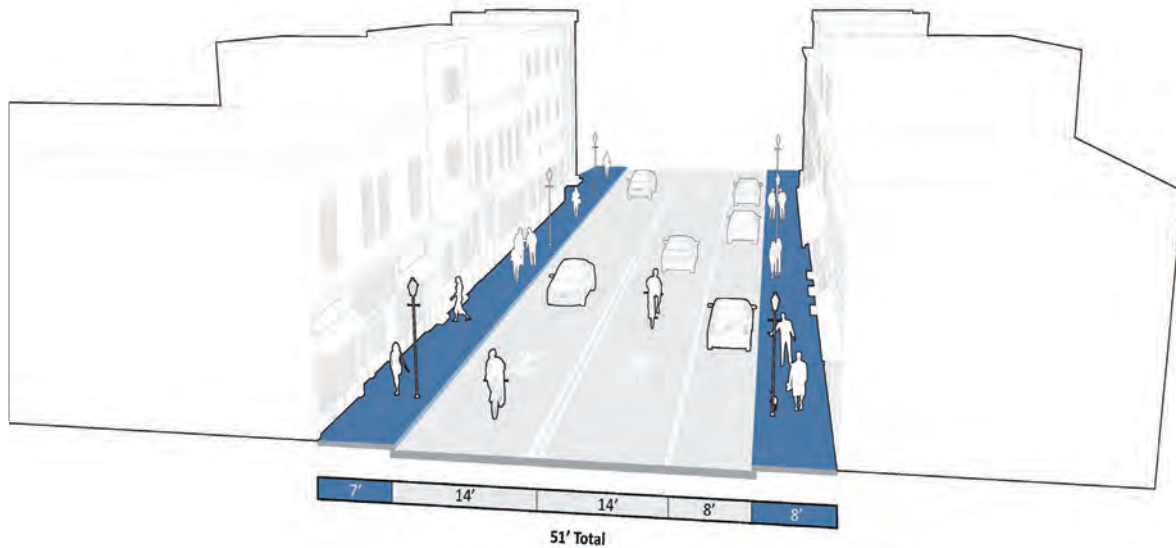
MIXED USE B STREET Major Design Elements	Recommended	Parameters
Right-of-way	n/a	50-80'
Sidewalks	Yes	> 7' clear walk zone
Curbside Buffer Zone (Highest Priority Street Element)	Yes	3' - 6' Width requirements: small trees = 4'; medium trees = 4' (6' preferred); large trees = 4' (6' preferred); smaller widths can be achieved if soil volume minimum met.
Street Trees	Yes	Locate in curbside buffer or in on-street parking zone Soil volume minimums: small trees = 250 ft ³ ; medium trees = 400 ft ³ ; large trees = 400 ft ³ (700 ft ³ preferred)
On-Street Parking*	Yes	7'-8'*
Diagonal On-Street Parking	No	Back-in parking only, 60°, 17' min. stall depth
Off-Street Parking Access	Limited	Driveways, service and loading preferred from alleys and side streets
Travel Lane Widths*	n/a	10-11', if transit 11' outer lane
Turn Lanes	Yes	10'
Design Speed	Slow	< 30 mph
Bicycle Facilities (High Priority Street Element)	Yes	5'-6' bike lanes, 7' separated bike lanes, turn boxes, 10' shared use paths Bicycle parking in Curbside Buffer Zone or on-street
Transit Stop Facilities	Yes	Shelters, benches, paved curbside waiting areas, litter receptacle
Traffic Calming	Yes	Roundabouts, corner curb extensions
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
**Trees: small (10' – 30' mature height) ; medium (30' – 50' mature height); large (50' mature height)		
	Highest Priority Street Elements	High Priority Street Elements

MIXED USE B STREET Major Design Elements	Recommended	Parameters
Curbs	Yes	Vertical curb, or combination curb and gutter
Gutters	Limited	Combination curb and gutter
Pedestrian Lighting	Yes	16' Height Maximum; See Lighting Standards
Street Lighting	Yes	
Median	Yes	Recommended to facilitate safe pedestrian crossings on streets with 3 lanes of traffic (can alternate with center turn lane); traffic calming, and stormwater management
Curb Radi	n/a	20' - 30'
Build-To Line/Street Wall Set Back from Public ROW	n/a	5' - 10'+; varies by zoning district
Green and Blue Stormwater Opportunities	Yes	See <i>Stormwater Elements</i> section in Chapter 4.
Sidewalk Pavement Material	n/a	Concrete, permeable pavement
Parking Lane Material	n/a	Asphalt, permeable pavement, unit pavers
Roadway Pavement Material	n/a	Asphalt
Gutter Material	n/a	Asphalt, concrete
Curb Material	n/a	Concrete
Curbside Buffer Zone Material	n/a	Unit pavers, permeable pavement, lawn, groundcover, vegetated tree boxes
Utilities	n/a	Separation Requirements for Street Trees/Above Ground Infrastructure: 10' preferred, 5' minimum. Anything under 10', consult with Utilities Engineer to reach solution.
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
	Highest Priority Street Elements	High Priority Street Elements

Downtown

As the name implies, Downtown streets are the streets in the core of the city, surrounding the pedestrian mall. They generally have a single vehicular travel lane in both directions, intermittent center turn lanes, sidewalks and on-street parking. Street trees are planted in tree grates in more urban areas and in tree lawns where space allows. Downtown streets do not have dedicated bicycle facilities since traffic is generally moving more slowly and bicyclists can more easily share the travel lane with drivers, although climbing lanes are recommended on hilly streets. Buildings along Downtown streets generally have narrow setbacks, are both historic and modern in character with generally narrow setbacks. The buildings house government services, offices, retail, restaurants and residential units.

► Existing





9th Street NE



Market Street



E High Street



Water Street

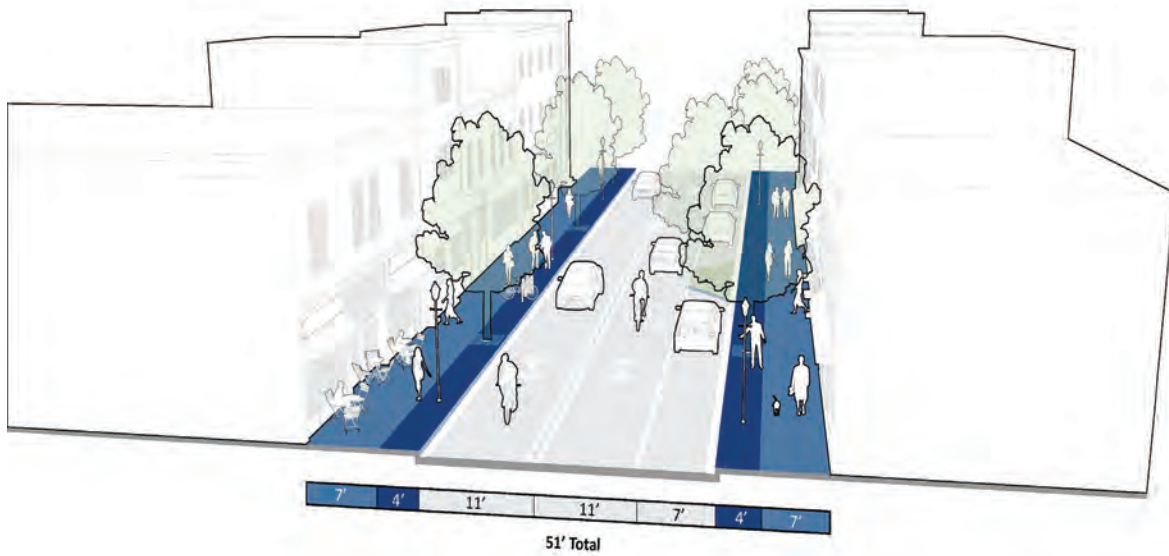
Street Segment	Posted Speed Limit (mph)	AADT	Heavy Vehicle Mix
9th St NE Market St to E High St	25	13,000	1%
Market St Ridge-McIntire Rd to 9th St NE	25	9,000	1%
E High St Preston Ave to 9th St NE	25	6,300	1%
Water St W Main St to 10th St SE	25	5,600	3%
Ranges	25	5,600-13,000	1-3%

▶ Future

There are two potential Downtown street cross sections shown below. The first “retrofit” cross section applies these Guidelines to the existing right-of-way. To do this, certain trade-offs are required. The retrofit cross section keeps on-street parking on one side of the street and shared lane markings for bicycles, but narrows the travel lanes in favor of trees, pedestrian scale lighting and bicycle parking in the curbside buffers along the sidewalks on both sides.

The second “unconstrained” cross section is similar to the retrofit cross section but shows on-street parking on both sides of the street.

▶ Retrofit



▶ Unconstrained



Table of Street Elements

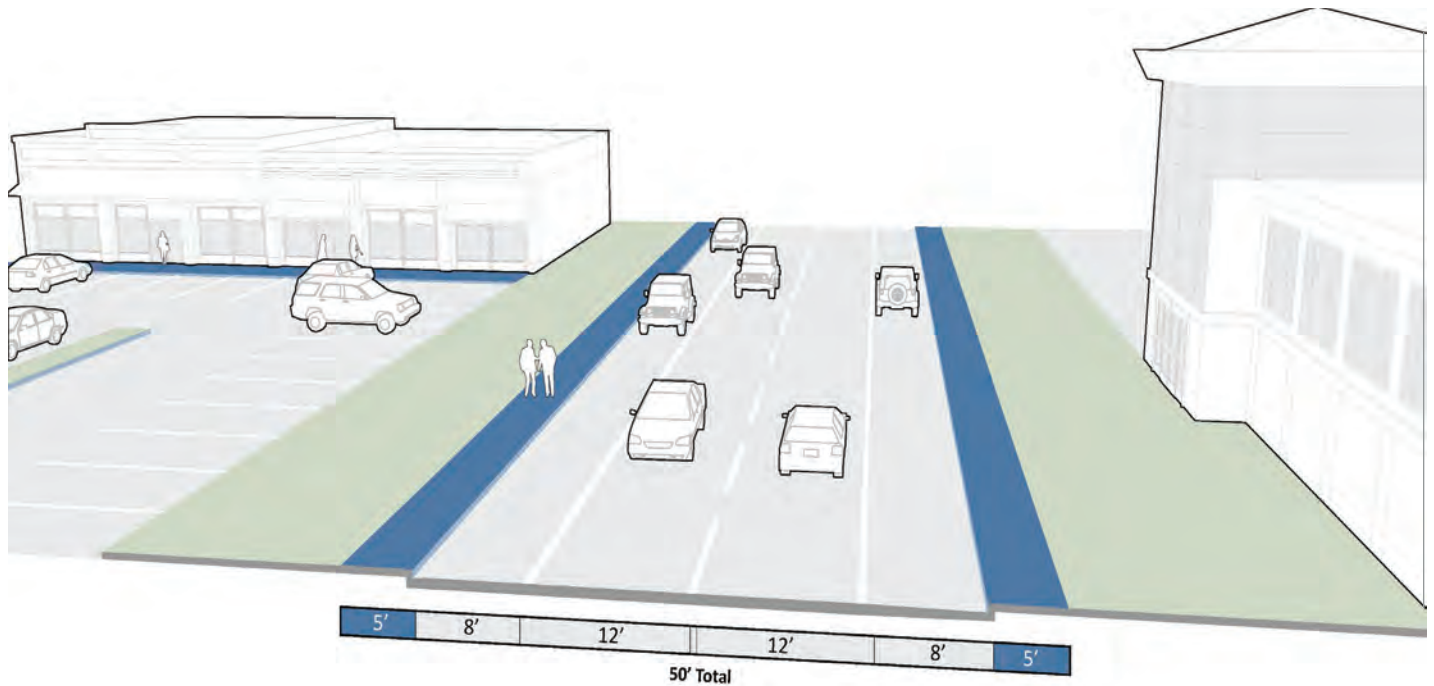
DOWNTOWN STREET Major Design Elements	Recommended	Parameters
Right-of-way	n/a	50' - 75'
Sidewalks	Yes	> 6' clear walk zone
Curbside Buffer Zone (Highest Priority Street Element)	Yes	3' - 6' Width requirements: small trees = 4'; medium trees = 4' (6' preferred); large trees = 4' (6' preferred); smaller widths can be achieved if soil volume minimum met.
Street Trees**	Yes	Locate in curbside buffer or in on-street parking zone Soil volume minimums: small trees = 250 ft ³ ; medium trees = 400 ft ³ ; large trees = 400 ft ³ (700 ft ³ preferred)
On-Street Parking* (High Priority Street Element)	Yes	7'-8' Loading zones need to be considered
Diagonal On-Street Parking	Limited	Back-in parking only, 60°, 17' min. stall depth
Off-Street Parking Access	Limited	Driveway, service and loading preferred from alleys and side streets
Travel Lane Widths*	n/a	10-11', if transit 11' outer lane
Turn Lanes	Limited	Only at major intersections and major destination access points
Design Speed	Slow	25 mph
Bicycle Facilities	Yes	Shared lane markings, climbing lanes, turn boxes, bike boxes
Transit Stop Facilities	Yes	Shelters, benches, paved waiting areas, litter receptacles, lighting
Traffic Calming	Yes	Corner extensions
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
**Trees: small (10' – 30' mature height) ; medium (30' – 50' mature height); large (50' mature height)		
	Highest Priority Street Elements	High Priority Street Elements

DOWNTOWN STREET Major Design Elements	Recommended	Parameters
Curbs	Yes	Vertical curb, or combination curb and gutter
Gutters	Limited	Combination curb and gutter
Pedestrian Lighting	Yes	16' height maximum, See Lighting Standards
Street Lighting	Yes	
Median	No	Recommended to facilitate safe pedestrian crossings on streets with 3 lanes of traffic; traffic calming, and stormwater management
Curb Radii	n/a	15' - 25' (See Street Elements chapter for information on effective radii)
Build-To Line/Street Wall Set Back from Public ROW	n/a	0'-5'; varies by zoning district
Green and Blue Stormwater Opportunities	Yes	See <i>Stormwater Elements</i> section in Chapter 4.
Sidewalk Pavement Material	n/a	Concrete, permeable pavement, unit pavers consistent w/ historic character
Parking Lane Material	n/a	Asphalt, permeable pavement, unit pavers
Roadway Pavement Material	n/a	Asphalt
Gutter Material	n/a	Concrete, and unit pavers
Curb Material	n/a	n/a
Curbside Buffer Zone Material	n/a	Unit pavers, permeable pavement, vegetated tree boxes
Utilities	n/a	Separation Requirements for Street Trees/Above Ground Infrastructure: 10' preferred, 5' minimum. Anything under 10', consult with Utilities Engineer to reach solution.
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
	Highest Priority Street Elements	High Priority Street Elements

Industrial

Three existing industrial street segments in Charlottesville include Carlton Avenue, Market Street and River Road. These streets are characterized by one vehicular travel lane in each direction, sidewalks without buffers and some on-street parking. The streets provide access to commercial and industrial properties and must be able to accommodate larger truck traffic. Many of the buildings along these streets are significantly set back from the road.

▶ Existing





Carlton Avenue



Market Street



River Road

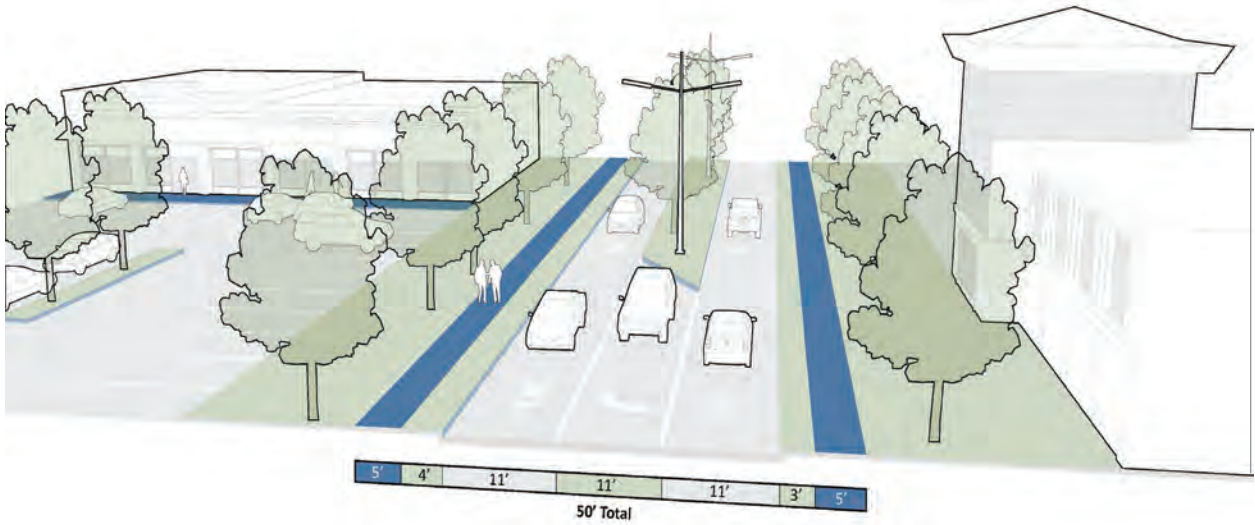
Street Segment	Posted Speed Limit (mph)	AADT	Heavy Vehicle Mix
Carlton Rd Carlton Ave to Meade Ave	25	7,200	4%
Market St 9 th St NE to Meade Ave	25	5,100	1%
River Rd Long St to Coleman St Ext	25	No data	No data
Ranges	25-35	5,100-7,200	1%-4%

▶ Future

There are two potential Industrial street cross sections shown below. The first “retrofit” cross section applies these Guidelines to the existing right-of-way. To do this, certain trade-offs are required. The retrofit cross section replaces on-street parking with a center turn lane/median configuration to add more green elements to the streetscape. The sidewalks are also shifted back from the curb with a planted buffer between the travel lanes and the pedestrian walk zone.

The second “unconstrained” cross section also shows the center turn lane/median configuration, with the addition of bike lanes and a wider curbside buffer zone between the roadway and sidewalk. This wider buffer can accommodate small street trees.

▶ Retrofit



▶ Unconstrained

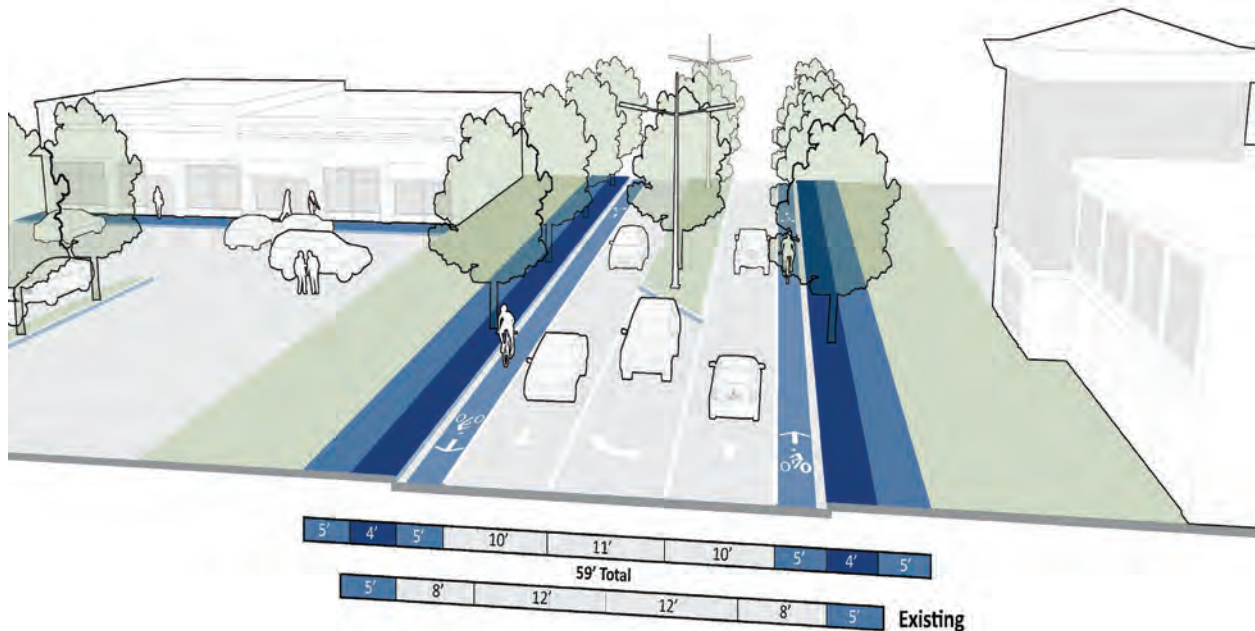


Table of Street Elements

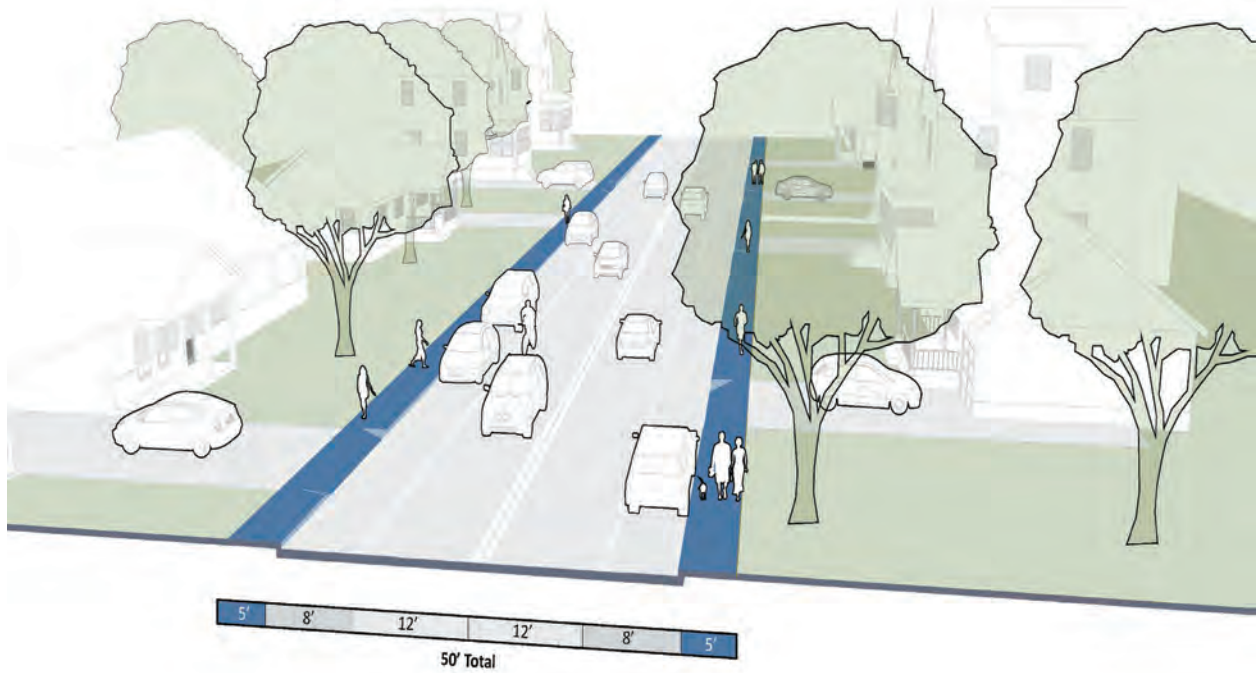
INDUSTRIAL STREET Major Design Elements	Recommended	Parameters
Right-of-way	n/a	40' - 60'
Sidewalks	Yes	5' - 6' clear walk zone
Curbside Buffer Zone (Highest Priority Street Element)	Yes	3' - 6' Width requirements: small trees = 4'; medium trees = 4' (6' preferred); large trees = 4' (6' preferred); smaller widths can be achieved if soil volume minimum met.
Street Trees**	Yes	Locate in curbside buffer or in on-street parking zone Soil volume minimums: small trees = 250 ft ³ ; medium trees = 400 ft ³ ; large trees = 400 ft ³ (700 ft ³ preferred)
On-Street Parking*	Limited	7'-8'
Diagonal On-Street Parking	No	
Off-Street Parking Access	Yes	Sidewalk level and ADA access to be maintained at all driveways
Travel Lane Widths* (High Priority Street Element)	n/a	11-12'
Turn Lanes	Yes	10'-11'
Design Speed	Slow	< 25mph
Bicycle Facilities	Limited	Shared Lane Markings, 5' bike lanes, 6' climbing bike lanes
Transit Stop Facilities	Yes	Benches, paved curbside waiting areas
Traffic Calming	Yes	Curb extensions (mid-block and corner) and only appropriate with on-street parking
Curbs	Where necessary	Vertical curb, or combination curb and gutter
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
**Trees: small (10' – 30' mature height); medium (30' – 50' mature height); large (50' mature height)		
	Highest Priority Street Elements	High Priority Street Elements

INDUSTRIAL STREET Major Design Elements	Recommended	Parameters
Gutters	Yes	Combination curb and gutter
Pedestrian Lighting	Yes	16' height maximum; See Lighting Standards
Street Lighting	Yes	
Median	Limited	Recommended to facilitate safe pedestrian crossings on streets with 3 lanes of traffic; traffic calming, and stormwater management
Curb Radi	n/a	20' - 30'
Build-To Line/Street Wall Set Back from Public ROW	n/a	10' - 60'; varies by zoning district
Green and Blue Stormwater Opportunities	Yes	See <i>Stormwater Elements</i> section in Chapter 4.
Sidewalk Pavement Material	n/a	Concrete, permeable pavement
Parking Lane Material	n/a	Asphalt, permeable pavement
Roadway Pavement Material	n/a	Asphalt
Gutter Material	n/a	Asphalt, concrete
Curb Material	n/a	Concrete
Curbside Buffer Zone Material	n/a	Unit pavers, permeable pavement, lawn, groundcover, vegetated tree boxes
Utilities	n/a	Separation Requirements for Street Trees/Above Ground Infrastructure: 10' preferred, 5' minimum. Anything under 10', consult with Utilities Engineer to reach solution.
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
	Highest Priority Street Elements	High Priority Street Elements

Neighborhood A

Neighborhood A streets have one travel lane in each direction, sidewalks on at least one side, dedicated bicycle facilities and some on-street parking. Adjacent land uses are low and medium-density residential. Examples streets include Cherry Avenue from Roosevelt Brown Boulevard to Cleveland Avenue and Rugby Avenue from Barracks Road to McIntire Park.

► Existing





Rugby Avenue



Cherry Avenue



Monticello Avenue



Fontaine Avenue

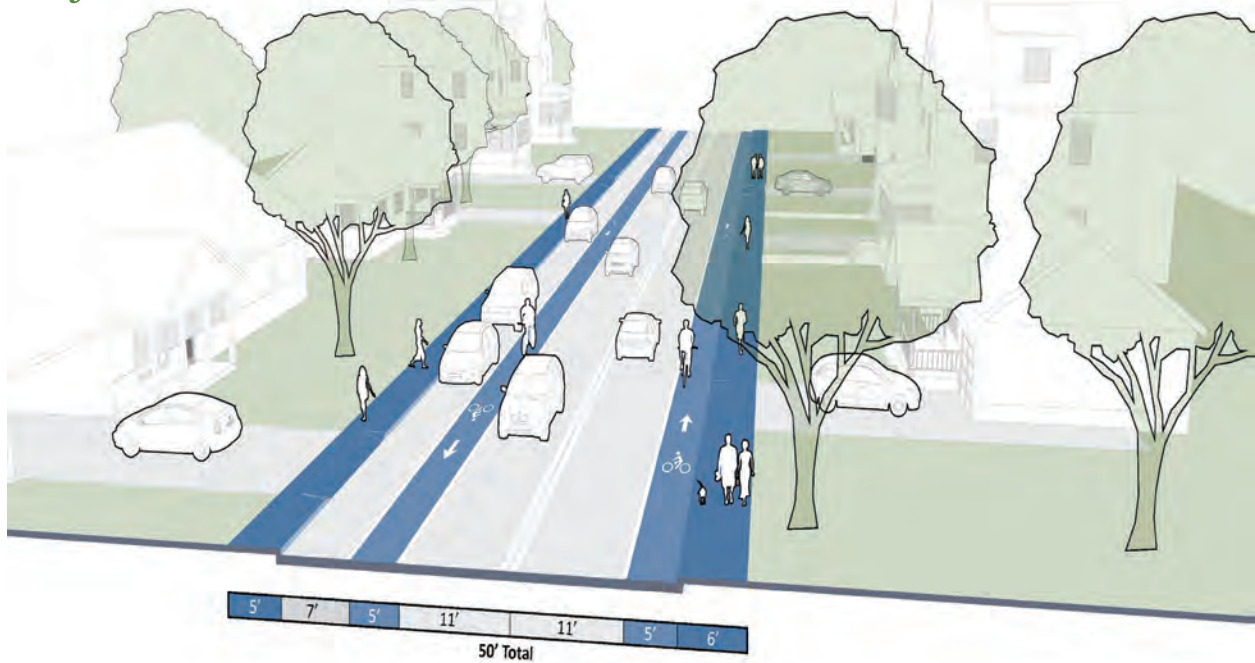
Street Segment	Posted Speed Limit (mph)	AADT	Heavy Vehicle Mix
Barracks Road Emmet St to Rugby Rd	25	15,000	1%
Monticello Avenue 6 th St SE to Quarry Rd	25-35	15,000	2%
Fontaine Avenue City limits to Maury Ave	35	11,000	2%
Rugby Avenue Barracks Rd to 250 Bypass	25	5,800	1%
Cherry Ave Cleveland Ave to Roosevelt Brown Blvd	35	5,600	1%
Ranges	25-35 mph	5,600-15,000	1-2%

▶ Future

The proposed “Retrofit” Neighborhood A street maintains a single travel lane in each direction and consolidates on-street parking to one side of the street to provide space for dedicated bike lanes.

In the “Unconstrained” scenario, the roadway configuration is the same as the “Retrofit” scenario, and a wide buffer zone separates the sidewalk clear zone from the roadway. This area can accommodate plantings and medium trees, as well as pedestrian scale lighting and street furniture.

▶ Retrofit



▶ Unconstrained

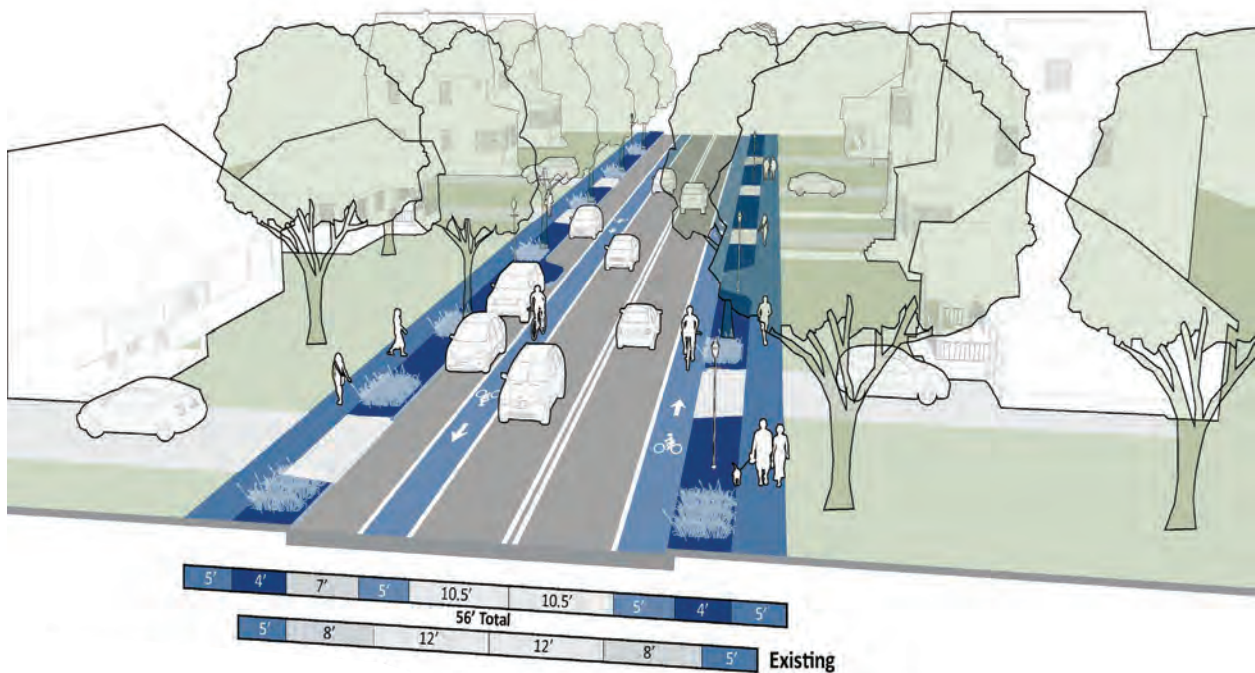


Table of Street Elements

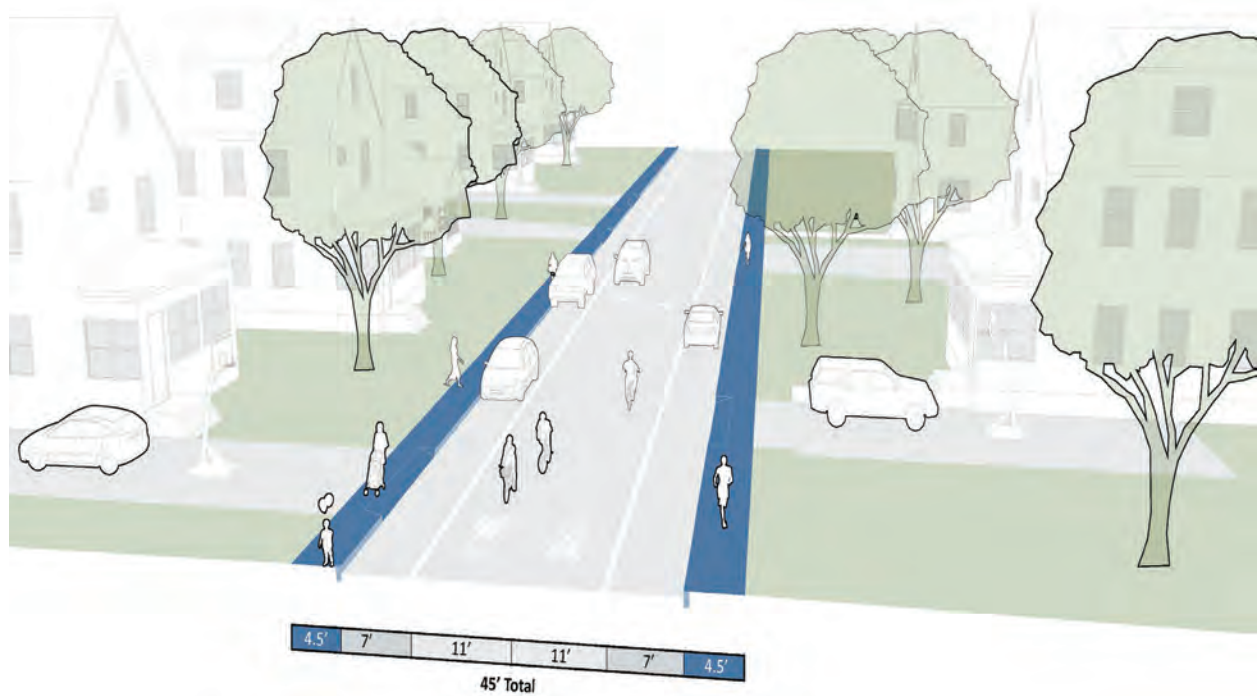
NEIGHBORHOOD A STREET Major Design Elements	Recommended	Parameters
Right-of-way	n/a	25' - 50'
Sidewalks (Highest Priority Street Element)	Yes	5'-6' clear walk zone
Curbside Buffer Zone	Yes	3' - 6' Width requirements: small trees = 4'; medium trees = 4' (6' preferred); large trees = 4' (6' preferred); smaller widths can be achieved if soil volume minimum met.
Street Trees**	Yes	Locate in curbside buffer or in on-street parking zone Soil volume minimums: small trees = 250 ft ³ ; medium trees = 400 ft ³ ; large trees = 400 ft ³ (700 ft ³ preferred)
On-Street Parking* (High Priority Street Element in areas without off-street parking)	Yes	7' - 8'*
Diagonal On-Street Parking	No	
Off-Street Parking Access	Yes	Sidewalk level and ADA access to be maintained at all driveways
Travel Lane Widths*	n/a	10-11', if transit 11' outer lane
Turn Lanes	No	
Design Speed	Slow	< 25mph
Bicycle Facilities (Highest Priority Street Element)	Yes	Bicycles May Use Full Lane signage, Shared Lane Markings, 5' Bike Lanes, 6' Climbing Bike Lanes
Transit Stop Facilities	Yes	Benches, paved curbside waiting areas
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
**Trees: small (10' – 30' mature height); medium (30' – 50' mature height); large (50' mature height)		
	Highest Priority Street Elements	High Priority Street Elements

NEIGHBORHOOD A STREET Major Design Elements	Recommended	Parameters
Traffic Calming	Yes	Curb extensions (mid-block and corner), speed tables, raised intersections, raised crossings, and mini traffic circles
Curbs	Limited	Vertical curb, or combination curb and gutter
Gutters	Yes	Valley gutter or combination curb and gutter
Pedestrian Lighting	Yes	16' Height Maximum; see Lighting Standards
Street Lighting	No	
Median	No	
Curb Radi	n/a	15' - 25'
Build-To Line/Street Wall Set Back from Public ROW	n/a	10' - 25'; varies by zoning district
Green and Blue Stormwater Opportunities	Yes	See <i>Stormwater Elements</i> section in Chapter 4.
Sidewalk Pavement Material	n/a	Concrete, permeable pavement, unit pavers
Parking Lane Material	n/a	Asphalt, permeable pavement, unit pavers
Roadway Pavement Material	n/a	Asphalt
Gutter Material	n/a	Asphalt, concrete, and unit pavers
Curb Material	n/a	Concrete
Curbside Buffer Zone Material	n/a	Lawn, groundcover, vegetated tree boxes
Utilities	n/a	Separation Requirements for Street Trees/Above Ground Infrastructure: 10' preferred, 5' minimum. Anything under 10', consult with Utilities Engineer to reach solution.
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
	Highest Priority Street Elements	High Priority Street Elements

Neighborhood B

Existing Neighborhood B streets are different from Neighborhood A streets because they do not have dedicated bicycle facilities and they may not have sidewalks. Adjacent land uses are generally similar, although more Neighborhood B streets are found in the neighborhoods with the lower residential densities. Grady Avenue is an example of a Neighborhood B street.

► Existing





Park Street



Grady Avenue



Shamrock Road



Meadowbrook Heights Road

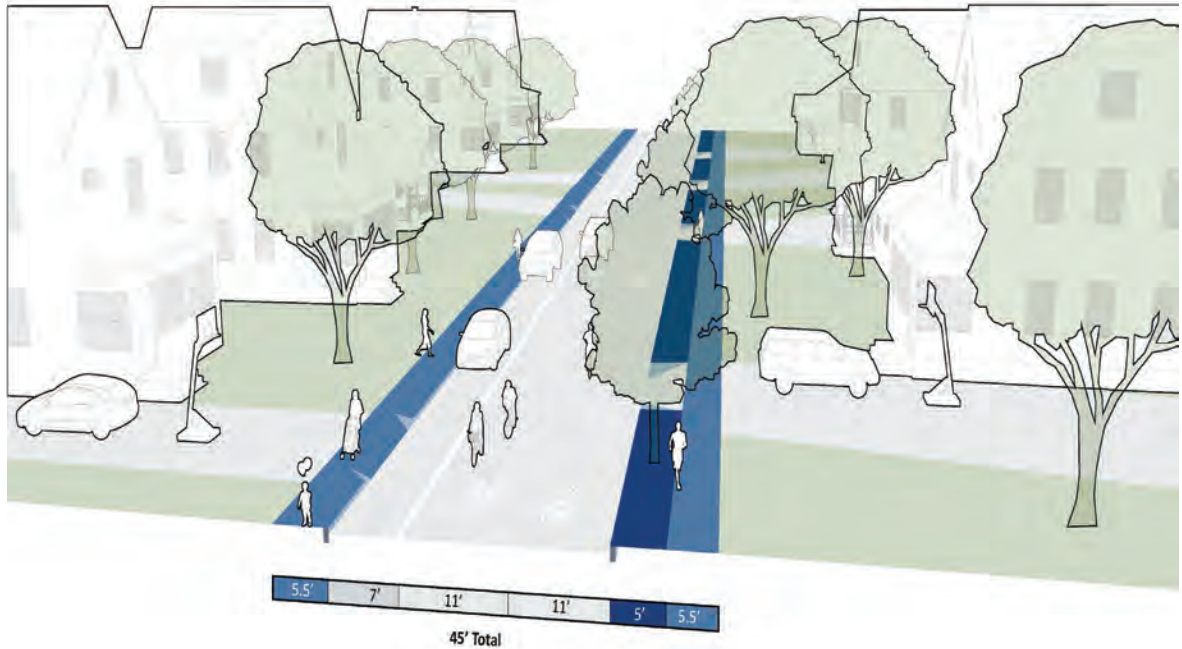
Street Segment	Posted Speed Limit (mph)	AADT	Heavy Vehicle Mix
Park St E High St to 250 Bypass	25	11,000	1%
Grady Ave Rugby Rd to Preston Ave	25	4,600	1%
Shamrock Road Cherry Ave to Jefferson Park Avenue	25	3,400	0%
Meadowbrook Heights Road Grove Rd to Yorktown Dr	25	1,200	1%
Ranges	25	1,200-11,000	1%

▶ Future

In the “retrofit” scenario, on-street parking has been consolidated on one side of the street, and a buffer zone has been provided between the roadway and sidewalk clear zone on the opposite side. This configuration provides a buffer between pedestrians and moving traffic on both sides of the street.

The “unconstrained” cross section shows on-street parking and sidewalk buffer zones on both sides of the street.

▶ Retrofit



▶ Unconstrained

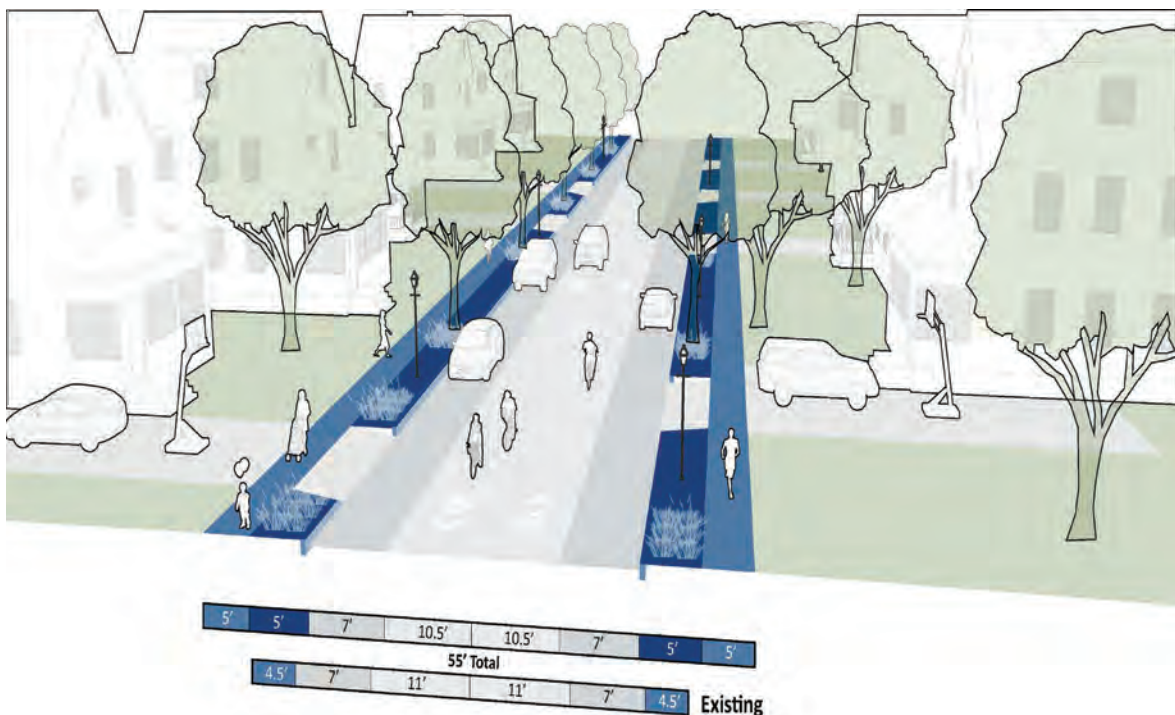


Table of Street Elements

NEIGHBORHOOD B STREET Major Design Elements	Recommended	Parameters
Right-of-way	n/a	25' - 50'
Sidewalks (Highest Priority Street Element)	Yes	5' – 6' clear walk zone
Curbside Buffer Zone	Yes	3' - 6' Width requirements: small trees = 4'; medium trees = 4' (6' preferred); large trees = 4' (6' preferred); smaller widths can be achieved if soil volume minimum met.
Street Trees	Yes	Locate in curbside buffer or in on-street parking zone Soil volume minimums: small trees = 250 ft ³ ; medium trees = 400 ft ³ ; large trees = 400 ft ³ (700 ft ³ preferred)
On-Street Parking (Highest Priority Street Element in areas without off-street parking)	Yes	7' - 8'
Diagonal On-Street Parking	No	
Off-Street Parking Access	Yes	Sidewalk level and ADA access to be maintained at all driveways
Travel Lane Widths (High Priority Street Element)	n/a	10-11', if transit 11' outer lane
Turn Lanes	No	
Design Speed	Slow	< 25mph
Bicycle Facilities	Yes	Bicycles May Use Full Lane signage, Shared Lane Markings, Climbing Lanes
Transit Stop Facilities	Yes	Benches, paved curbside waiting areas
Traffic Calming	Yes	Curb extensions (mid-block and corner), speed tables, raised intersections, raised crossings, and mini traffic circles
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
**Trees: small (10' – 30' mature height); medium (30' – 50' mature height); large (50' mature height)		
	Highest Priority Street Elements	High Priority Street Elements

NEIGHBORHOOD B STREET Major Design Elements	Recommended	Parameters
Curbs	Limited	Vertical curb, or combination curb and gutter
Gutters	Yes	Valley gutter or combination curb and gutter
Pedestrian Lighting	Yes	16' Height Maximum; see Lighting Standards
Street Lighting	No	
Median	No	
Curb Radi	n/a	15' - 25'
Build-To Line/Street Wall Set Back from Public ROW	n/a	10' - 25'; varies by zoning district
Green and Blue Stormwater Opportunities	Yes	See <i>Stormwater Elements</i> section in Chapter 4.
Sidewalk Pavement Material	n/a	Concrete, permeable pavement, unit pavers
Parking Lane Material	n/a	Asphalt, permeable pavement, unit pavers
Roadway Pavement Material	n/a	Asphalt
Gutter Material	n/a	Asphalt, concrete, and unit pavers
Curb Material	n/a	Concrete, granite
Curbside Buffer Zone Material	n/a	Lawn, groundcover, vegetated tree boxes
Utilities	n/a	Separation Requirements for Street Trees/Above Ground Infrastructure: 10' preferred, 5' minimum. Anything under 10', consult with Utilities Engineer to reach solution.
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
	Highest Priority Street Elements	High Priority Street Elements

Local Streets

Local streets are found throughout the city, and provide immediate access to all types of land uses. Although local streets form the majority of the street network, there is no specific typology associated with them. This is due in part to the many variations in context and right-of-way width, as well as the community’s expressed desire to replicate as nearly as possible the feel of older local streets that do not meet current engineering and fire code standards. Applying a typology to local streets would require that certain minimums for lane widths be met, significantly altering the character of some local streets. However, the city should explore avenues in terms of code and policy changes to enable the feel of these streets to be replicated in retrofit projects and new construction.

Examples of local streets in residential contexts and their approximate right-of-way widths are shown below:



Azalea Drive south of Jefferson Park Avenue – 50’ with parking allowed on both sides and individual driveways; 4’-5’ sidewalks with obstructions both sides of the street.



Calhoun Street between Locust and St. Clair – 30’ with parking allowed on both sides. Some driveways and a 4’-5’ sidewalk on the north side of the street.



Westwood Road east of Rose Hill Drive - 48’ with parking allowed on both sides and driveways. 4’-5’ sidewalks with obstructions both sides of the street.



Monticello Road between Rialto and Levy – 35’ with parking on one side and one-way traffic. No driveways, and 4’-5’ sidewalks with obstructions on the both sides of the street.

Examples of local streets in mixed use contexts and their approximate right-of-way widths include:



E Jefferson Street between 1st Street N and 5th Street NE – 45' with parking and 4'-5' sidewalks with obstructions on both sides of the street.

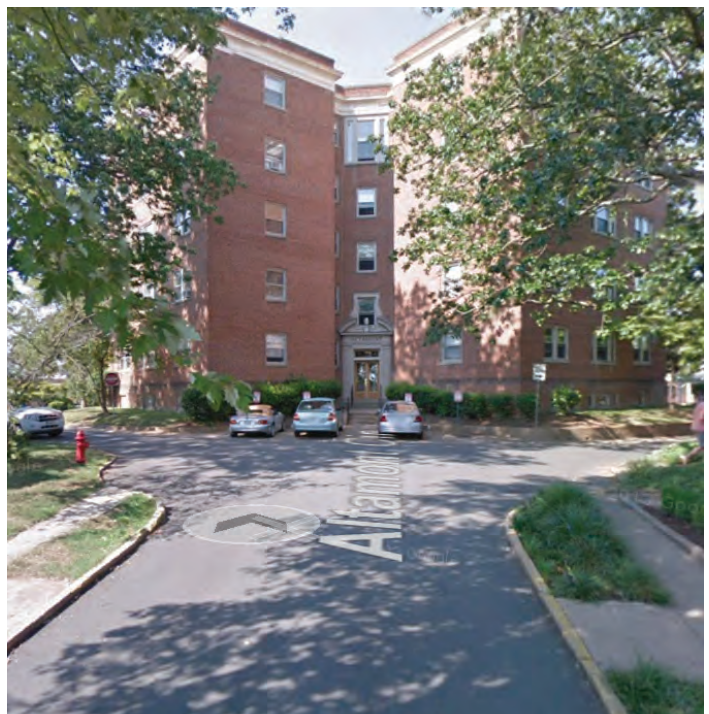


Monticello Road near intersection with Hinton Avenue – 40'-50' with parking on one side and 4'-5' sidewalks on both sides of the street. Planted sidewalk buffer on the north side of the street.

Whether a local street is located in a residential or mixed use context, the design considerations are the same.

Design Considerations

- Local streets should be designed to provide safe and inviting places to walk and bike by keeping vehicular speeds low.
 - The dimensions of street elements on Local streets should not exceed the dimensions specified for Neighborhood B streets.
 - Traffic calming techniques like medians, chicanes, neighborhood traffic circles and curb extensions are all appropriate on Local streets.
- On narrow streets, on-street parking may create conditions that require drivers to yield to oncoming traffic. This type of street is considered a yield street.
 - Yield streets have standard curbs and sidewalks at the edge of the roadway.
 - Yield streets with parking on both sides function most effectively at widths of 24'-28' between the curbs and parking utilization rates of less than 60 percent.¹⁶
- In neighborhoods with driveways and off-street parking, space within the public right-of-way should be used for wider sidewalks and planted buffers.
- Elements like street furniture and paving materials can be used to enhance and define neighborhood character.



Altamont Circle was built before today's standards were enacted.

¹⁶ NACTO Urban Street Design Guide. <http://nacto.org/publication/urban-street-design-guide/>



This shared street in Asheville, NC uses different paving materials to indicate where motor vehicles are expected to travel, while allowing pedestrians full use of the space.

Shared Streets

One way Charlottesville may choose to replicate the feel of older streets is by allowing shared street designs in appropriate contexts. A shared street is a street with a single grade or surface that is shared by people using all modes of travel at low speeds. Shared streets work best where there are nearly equal volumes of pedestrians, bicyclists, and motorists. Street furniture, including bollards, benches, planters, and bicycle parking, can help define a shared space, subtly delineating the traveled way from the pedestrian-only space.

In Charlottesville, shared streets may be considered in residential or mixed use contexts where vehicle speeds (10-15mph) and traffic volumes are low to ensure safety. In commercial areas, shared streets maintain access for vehicles operating at low speeds and are designed to permit easy loading and unloading for trucks at designated hours. They are designed to implicitly slow traffic speeds using pedestrian volumes, design, and other cues to slow or divert traffic. In residential areas, shared streets can meet the desires of adjacent residents with space for children to play and residents to gather.

Shared streets require thoughtful design to maintain the low speeds and volumes¹⁷. Cities from Seattle, Washington;

Buffalo, New York; Chicago, IL to Cambridge, MA have successfully implemented shared streets in the U.S. To date, shared streets are not fully recognized by the Virginia Department of Transportation, and maintenance would be the full responsibility of the City. As a first step toward implementation, the City should consider the adoption of a specific definition of a shared street in city code.

Design considerations

- The entrances to shared streets should be clearly designated through signage, narrowing of the roadway, and/or different paving materials to alert users to changes in operating procedures.
- The street design must meet current Americans with Disability Act (ADA) standards.
 - At intersections, designers should include detectable warning surfaces in order to alert pedestrians of potential vehicular conflicts.
- Access for fire trucks, sanitation vehicles and other service vehicles (school buses, street sweepers and snow plows) will be incorporated into shared street design.
- Alternate stormwater management systems must be considered, as curbless designs alter runoff flows.
 - One alternative is to grade the street towards plantings on the edge, or towards a gully in the center.

¹⁷ See NACTO Urban Street Design Guide; <http://nacto.org/publication/urban-street-design-guide/streets/residential-shared-street/> and <http://nacto.org/publication/urban-street-design-guide/streets/commercial-shared-street/>

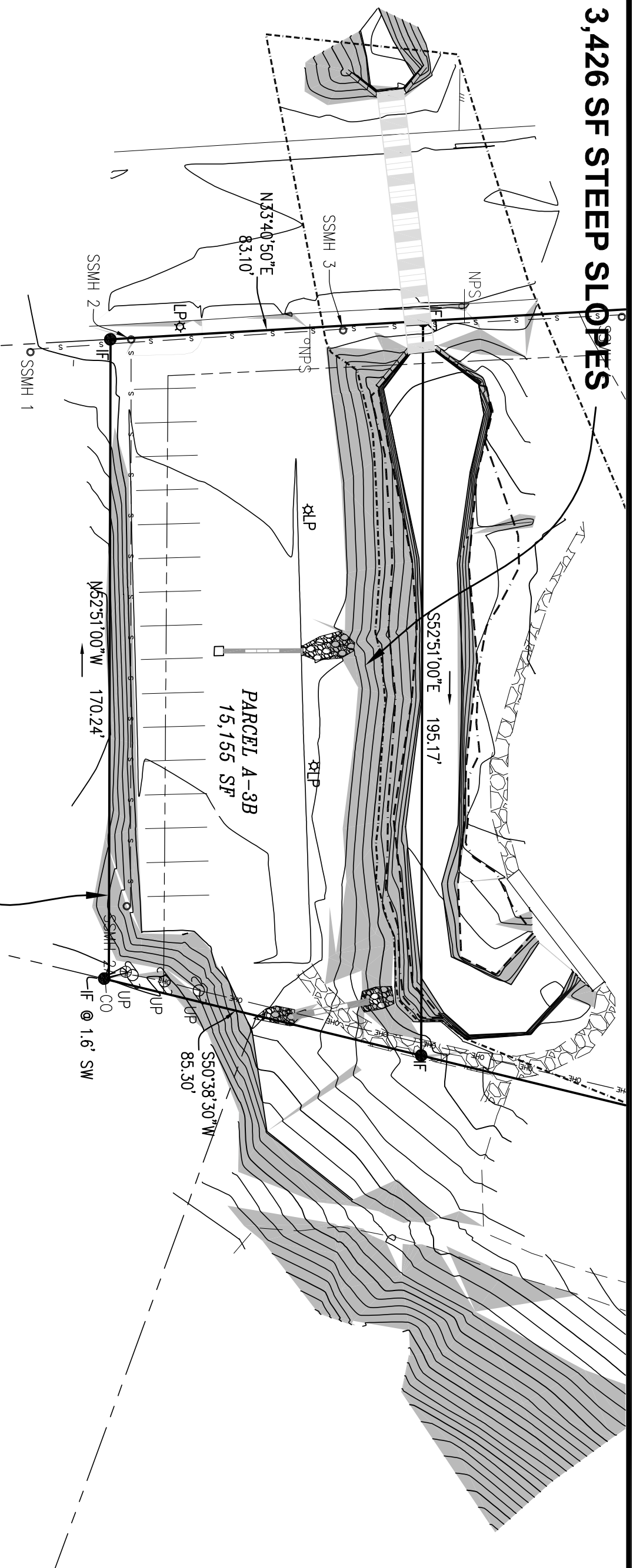
3.4 Street Typologies At a Glance

Street Typology		Mixed Use A	Mixed Use B	Downtown	Industrial	Neighborhood A	Neighborhood B
Right-of-way		60'-100'	50'-80'	50'-70'	40'-60'	25'-50'	25'-50'
Design Speed		<30 mph	<30 mph	25 mph	<25 mph	<25 mph	<25 mph
Curb radii		20'-30'	20'-30'	15'-20'	20'-30'	15'-25'	15'-25'
Between the curbs	Travel lanes ¹	10-11' 11' curb lane along transit routes	10-11' 11' curb lane along transit routes	10-11' 11' curb lane along transit routes	11'-12'	10'-11'	10'-11'
	Turn Lanes	10' Center turn lane may be replaced by median between intersections	10'	10' Only at major intersections and major destination access points	10'-11' Center turn lane may be replaced by median between intersections	N/A	N/A
	Medians	Varies See below for minimum dimensions for street trees	Varies See below for minimum dimensions for street trees	N/A	Varies See below for minimum dimensions for street trees	N/A	N/A
	On-street parking ^{1,2}	8' Limited or none	7'-8' Loading zones should be considered	7'-8' Loading zones should be considered	7'-8' Limited or none	7'-8'	7'-8'
	Bicycle facilities	5'-7' bike lanes 7' separated bike lanes 10' shared use path	5'-6' bike lanes 7' separated bike lanes 10' shared use path	0' shared lane markings 6' climbing bike lanes	0' shared lane markings 5' bike lanes 6' climbing bike lanes	0' Bikes May Use Full Lane signs 0' shared lane markings	
Street edge	Clear Walk Zone	>7'	>7'	>6'	5'-6'	5'-6'	5'-6'
	Curbside Buffer Zone	3'-6'	3'-6'	3'-8'	4'-6'	0'-5'	0'-5'
	Street trees curbside buffer width requirement	4' for small, medium and large trees 6' preferred for medium and large trees	4' for small, medium and large trees 6' preferred for medium and large trees	4' for small, medium and large trees 6' preferred for medium and large trees	4' for small, medium and large trees 6' preferred for medium and large trees	4' for small, medium and large trees 6' preferred for medium and large trees	4' for small, medium and large trees 6' preferred for medium and large trees
	Transit features ³	10' for shelter 4' for bench	10' for shelter 4' for bench	10' for shelter 4' for bench	10' for shelter 4' for bench	4' for bench	4' for bench
	Utilities - Overhead	1'-2' Locate in buffer zone	1'-2' Locate in buffer zone	1'-2' Locate in buffer zone	1'-2' Locate in buffer zone	1'-2' Locate in buffer zone	1'-2' Locate in buffer zone
	Utilities - Underground	5' minimum separation 10' separation preferred <10' consult with Utilities engineer	5' minimum separation 10' separation preferred <10' consult with Utilities engineer	5' minimum separation 10' separation preferred <10' consult with Utilities engineer	5' minimum separation 10' separation preferred <10' consult with Utilities engineer	5' minimum separation 10' separation preferred <10' consult with Utilities engineer	5' minimum separation 10' separation preferred <10' consult with Utilities engineer
	Building setbacks	5'-10'+ Varies by zoning district	5'-10'+ Varies by zoning district	0'-5' Varies by zoning district	10-60' Varies by zoning district	10'-25' Varies by zoning district	10'-25' Varies by zoning district

1. Combined travel lane and on-street parking width is 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)
 2. On street parking should not be prioritized where driveways and off-street parking opportunities exist.
 3. A 5' x 8' landing pad for wheelchair ramps is a required feature for new transit stops.

Highest Priority Street Elements	High Priority Street Elements
----------------------------------	-------------------------------

3,426 SF STEEP SLOPES

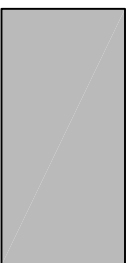
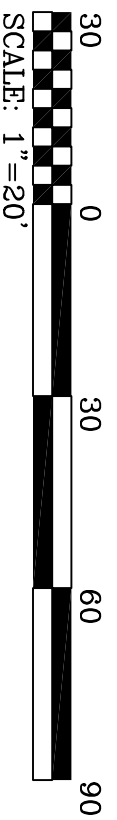


2,158 SF STEEP SLOPES (1,284 SF STEEP SLOPES ON SITE)

STEEP SLOPE NARRATIVE

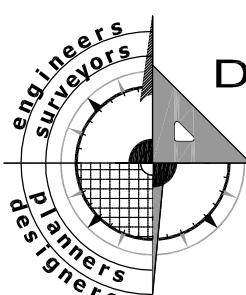
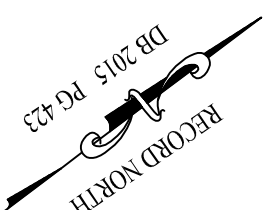
There are two sets of steep slopes on the development site 3,426 SF and 1,284 SF. The two steep slope areas are non contiguous and do not generate enough surface area to qualify for critical slopes. The offsite steep slopes area on the other side of North Fork Meadow Creek 727 SF are not contiguous with the steep slopes onsite due to the 7' box culvert.

The total area of disturbance of steep slopes is 895 SF.



= STEEP SLOPES

DRAFT COPY



Dominion Engineering

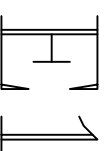
172 South Pantops Drive
Charlottesville, VA 22911
434.979.8121 (p)
434.979.1681 (f)
dominioneng.com



STEEP SLOPES EXHIBIT FOR
CEDARS COURT APARTMENTS
TAX MAP 40B PARCEL 45
PARCEL A-3B
CITY OF CHARLOTTESVILLE, VA

DATE:	REVISION:	DATE:
08-24-16		

SHEET: DRAWN BY: DEC



1 OF 1

CHECKED BY: MFM

PROJECT NO.: 16.0010

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



APPLICATION FOR A SPECIAL USE PERMIT

**JOINT CITY COUNCIL AND PLANNING COMMISSION PUBLIC
HEARING**

DATE OF HEARING: November 9, 2016

APPLICATION NUMBER: SP16-00009

Highlighted sections indicate updates to the report made after the September 13, 2016 Public Hearing

Project Planner: Matt Alfele

Date of Staff Report: September 1, 2016 (October 18, 2016)

Applicant: Alpha Chi Sigma Fraternity

Applicants Representative: Katurah Roell, Piedmont Development Group

Current Property Owner: Alpha Kappa Housing Corporation

Application Information

Property Street Address: 1713 Jefferson Park Avenue (“Subject Property”)

Tax Map/Parcel #: Tax Map 16, Parcel 10

Total Square Footage/ Acreage Site: Approx. 0.32 acres (13,939 square feet)

Comprehensive Plan (General Land Use Plan): High Density Residential

Current Zoning Classification: R-3 Multifamily with Entrance Corridor overlay

Tax Status: Parcel is up to date on payment of taxes

Completeness: The application generally contains all of the information required by Zoning Ordinance (Z.O.) Secs. 34-41(d), and 34-158(a) and (b). Staff requested and received a comprehensive plan analysis from the applicant, as a supplement to the application materials, pursuant to Sec. 34-41(d) (see **Attachment A**).

Applicant’s Request (Summary)

The Applicant seeks approval of a Special Use Permit (SUP) to allow a fraternity house at 1713 Jefferson Park Avenue, identified on City Real Property Tax Map 16 Parcel 10. The Subject Property (SP) contains an existing fraternity house, which has operated since being established

in 1978. The existing fraternity house is a “nonconforming use” because it does not have an SUP approval, as is required by the current zoning ordinance (in 1978, when the use was established, an SUP was not required). The Applicant now proposes to construct an addition to the building, to increase the number of bedrooms from five (5) to eight (8) in the near term with a final build out of twelve (12) residents and bedrooms at an unspecified future date. (One fraternity member per bedroom, according to the application materials).

September 13, 2016 Public Hearing

A public hearing for this item was held in front of the Planning Commission on September 13, 2016. During that meeting the Planning Commission remarked on a disconnect between the application narrative and the graphic materials provided. The graphic materials did not depict the building addition over the existing brick and block storage building as described in the application. The Planning Commission deferred action on the SUP to give the applicant an opportunity to update graphic materials to match the application narrative. The graphic materials provided by the applicant after the September 13th public hearing varied enough from what was originally provided, staff determined the item needed to be re-advertised and a new public hearing held.

In addition, the applicant stressed to the Planning Commission that although the application materials call for a future build out of twelve (12) residents, they have no plans to surpass eight (8). They cited physical lot constraints and limited parking options as factors in not exceeding a total of (8) residents and/or bedrooms in the future. In reevaluating the SUP application and report, staff has incorporated these comments from the applicant. Staff’s analysis is still based off the application materials of a twelve (12) residents, but recommends capping the SUP at eight (8).

Requested modifications:

Off-street parking requirements: Per Z.O. Sec. 34-1144(b)(1) the existing fraternity house, as a nonconforming use, must be brought into conformity with the City’s current zoning regulations if it is changed or expanded. Staff has reviewed the Subject Property thoroughly, and has identified only one aspect (other than the SUP) in which the Subject Property does not comply with current standards: off-street parking. Currently the Subject Property contains zero (0) on-site parking spaces. Sec. 34-984 of the City’s Z.O. requires 2.5 off-street parking spaces for every 3 bedrooms within a fraternity house. For the proposed 12-bedroom fraternity house, 10 spaces are required.

History: In 1978 the City’s Board of Zoning Appeals (BZA) granted a variance of the entire off-street parking requirement. (Variances are generally supposed to address lot size, or building size/bulk/location; nonetheless, the variance was granted and has been in place for many years).

The Applicant wishes to establish on-site parking, but is asking for a modification of the current standard, in order to provide 7 on-site parking spaces.

According to the City Attorney’s Office, if City Council ultimately grants the requested SUP, and agrees to the requested modified parking requirement, then the effect of the SUP will be to negate the prior variance, and the new on-site parking requirement established within the SUP will become the updated zoning requirement applicable to the Subject Property.

Required side yards: as part of the SUP, the applicant also requests a modification of the side yard setbacks. The current Z.O. requirement specifies 1 foot of side yard per every 2 feet of building height with a minimum of 10 feet, see Z.O. Sec. 34-353(a). The existing building is 20 feet tall, so the current required side yard is 10 feet. The applicant proposes a side yard of 3 feet, minimum.

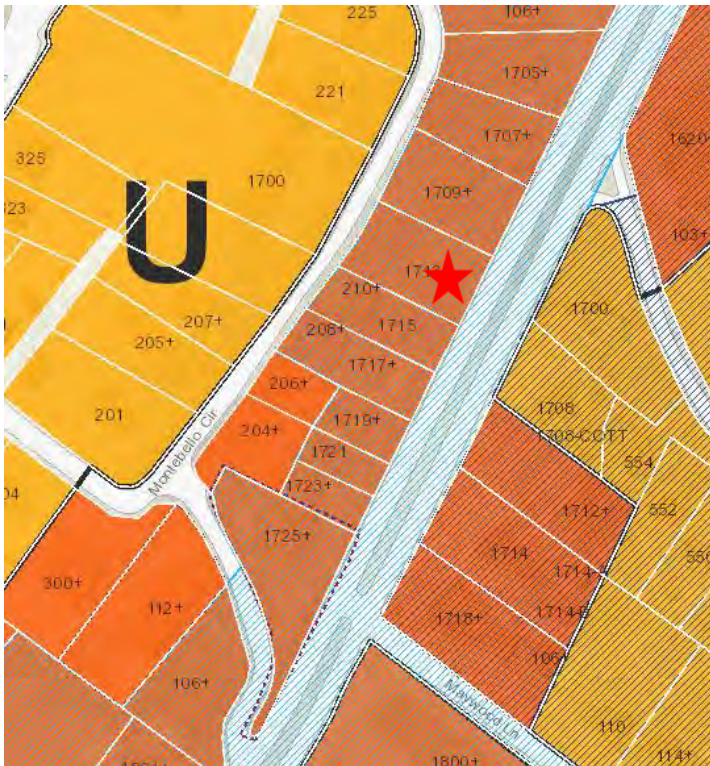
Vicinity Map



Context Map 1

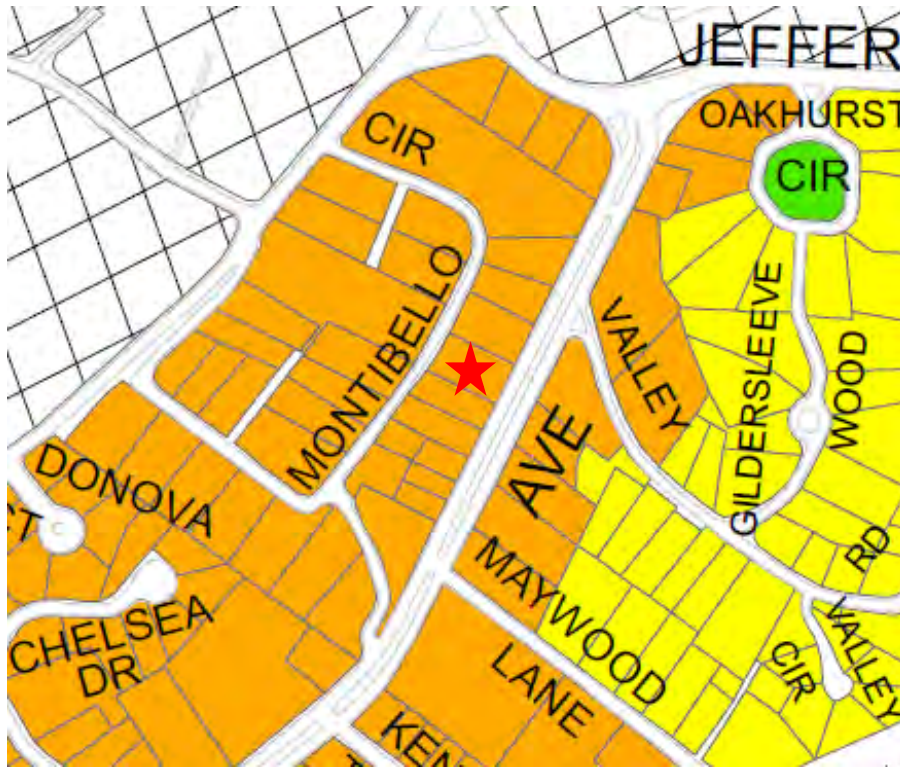


Context Map 2- Zoning Classifications



KEY -Light Orange: R-2U, Orange: R-3, Blue Hatching: Entrance Corridor Overlay

Context Map 3- General Land Use Plan, 2013 Comprehensive Plan



KEY – Orange: High Density Residential, Yellow: Low Density Residential, White: University of Virginia

Standard of Review

City Council may grant an applicant a special permit or special use permit, giving consideration to a number of factors set forth within Zoning Ordinance Sec. 34-157. If Council finds that a proposed use or development will have potentially adverse impacts, and if Council identifies development conditions that could satisfactorily mitigate such impacts, then Council may set forth reasonable conditions within its SUP approval. The role of the Planning Commission is to make an advisory recommendation to the City Council, as to (i) whether or not Council should approve a proposed SUP and if so, (ii) whether there are any reasonable development conditions that could mitigate potentially adverse impacts of the propose use or development.

Section 34-157 of the City’s Zoning Ordinance lists a number of factors that Council will consider in making a decision on a proposed SUP. Following below is staff’s analysis of those factors, based on the information provided by the applicant.

Z.O. 34-157(a)(1): Whether the proposed use or development will be harmonious with existing patterns of use and development within the neighborhood.

The properties immediately surrounding the subject property are described as:

Direction	Use	Zoning
North	Apartment Building	R-3
South	Apartment Building	R-3
East	Residential Home	R-2U
West	University of Virginia Rector and Visitor	R-2U

The buildings immediately surrounding the Subject Property are mostly high density residential apartments that are utilized primarily by University of Virginia students. Single family and two family residential homes do exist in the area, but are largely located to the east of Jefferson Park Avenue along Valley Road. A few homes along Montebello Circle are still owner occupied, but the majority of homes have been converted into student housing. The footprint of the Subject Property is still that of a single family home and the proposed addition would not alter the overall character of the building as it would maintain the existing façade. **The addition will be visible from Montebello Circle, with a small portion of the addition visible from Jefferson Park Avenue**, but would still be below the height of the two (2) adjacent apartments.

Staff Analysis: The proposed use of the property, fraternity, has been in use on the Subject Property for thirty-eight (38) years without major disruption to the surrounding neighborhood. The expansion of this use from five (5) residents to twelve (12) will, as a practical matter, increase the number of people who reside at this location; however, if a multifamily dwelling were to be established on the site (by-right) it could potentially house the following number of people :

By-Right Development	Fraternity SUP
People = 24 21 DUA $21 \times 0.32 = \text{up to } 6.72 \text{ dwellings (6 DUA)}$ 4 unrelated persons per dwelling	People = up to (12) 1 fraternity member per bedroom 12 bedrooms, maximum).

The surrounding area is a mix of high density student housing, single family homes converted into student housing, and a few owner occupied homes with accessory apartments. The proposed use is harmonious with the existing patterns of use within the neighborhood.

Z.O. Sec. 34-157(a)(2): Whether the proposed use or development and associated public facilities will substantially conform to the city's comprehensive plan.

The applicant's own analysis of the development's consistency with the Comprehensive Plan, as required by Z.O. Sec. 34-41(d)(2), is attached (**Attachment A**) as part of the application.

Goals and Objectives

Below are specific areas of the Comprehensive Plan for which the development is in compliance:

a. Land Use

2.1: When considering changes to land use regulations, respect nearby residential areas.

b. Environment

2.2: Expand and protect the overall tree canopy of the City and increase the canopy of neighborhoods in an effort to achieve American Forest canopy recommendations.

c. Housing

2.1: Preserve and improve the quality and quantity of the existing housing stock through the renovation, rehabilitation and/or expansion of existing units as a means of enhancing neighborhood stability.

3.6: Promote housing options to accommodate both renters and owners at all price points, including workforce housing.

8.3: Encourage housing development where increased density is desirable and strive to coordinate those areas with stronger access to employment opportunities, transit routes and commercial services.

8.5: Promote redevelopment and infill development that supports bicycle and pedestrian-oriented infrastructure and robust public transportation to better connect residents to jobs and commercial activity.

d. Transportation

5.2: Work with University of Virginia officials to encourage students, faculty and staff to live closer to the University or to use alternative modes of transportation wherever they live.

e. Historic Preservation & Urban Design

1.2: Promote Charlottesville's diverse architectural and cultural heritage by recognizing, respecting, and enhancing the distinct characteristics of each neighborhood.

Below are specific Goals and Objectives of the Comprehensive Plan with which the development may not be consistent:

f. Housing

1.3: Evaluate the effects new developments have on transit, the environment, density, open space configuration, commuter costs and affordable housing.

g. Transportation

2.3: Improve walking and biking conditions by discouraging and/or minimizing curb cuts for driveways, garages, etc. in new development and redevelopment.

Other Comprehensive Plan Components:

(A) The General Land Use Plan of the Comprehensive Plan calls for the Subject Property and areas immediately north, south, east, and west to be High Density Residential land use.

At the present time, the University of Virginia and Low Density Residential are also within close proximity of the Subject Property (**see Context Map 3 above**), still within the areas anticipated for High Density Residential land use.

The Comprehensive Plan specifies that High Density Residential areas includes all land intended to be occupied by multi-family residential types of housing (townhouses, apartments, and condominiums). The density in these areas should be greater than 15 units per acre. Residential density up to 21 DUA, which is considered high density by the aforementioned materials, is allowed by-right in the R-3 zone. High density residential uses can therefore be considered appropriate in R-3 zones, depending on site-specific characteristics and conditions.

Staff Analysis: Several goals in the Comprehensive Plan speak to a desire to have density as appropriate in locations that will foster developments that are walkable and bikable to the downtown area and other centers of employment, entertainment, and education. The Subject Property is less than a quarter (1/4) mile from the University of Virginia. Creating more density and housing options near the University will reduce commuter congestion and may open up housing options in other parts of the City. In addition, the 12 bedrooms as proposed on the Subject Property is below the target goal of 15 dwelling units per acre as outlined in the Comprehensive Plan.

The General Land Use Plan in the Comprehensive Plan contemplates density based upon dwelling units per acre (DUA). However, the Planning Commission may wish to contemplate not only density as associated with DUA, but also density in terms of number of bedrooms, as this may provide a clearer picture of the true impact of the proposed development.

Z.O. Sec. 34-1200 dwelling unit is, a building, or any portion thereof, containing a complete set of living accommodations suitable for occupancy by one (1) or more persons, consisting

of sleeping, bathroom, and complete kitchen facilities for the exclusive use of such occupants, and having either direct access from the outside of the building or through a common hall to the outside of the building.

Due to the shared nature of fraternities (usually having only one (1) kitchen and communal living spaces) they are considered 1 dwelling unit under the Z.O. regardless of the number of bedrooms As noted at the top of page 6, the Subject Property could be designed, by-right, to accommodate six (6) dwelling units and up to twenty-four (24) bedrooms. The applicant indicates an intention to build three (3) additional bedrooms (for a total of eight (8) and a future possibility of twelve (12) bedrooms. This would result in twelve (12) fewer bedrooms, or an approximately 50% decrease, in bedrooms from the by-right allowance.

(B) Streets that Work Plan

The Streets that Work Plan (STW) labels Jefferson Park Avenue as a *Mixed Use B* typology, and Montebello as a *Local Street* typology. The full plan can be viewed at:

<http://www.charlottesville.org/departments-and-services/departments-h-z/neighborhood-development-services/streets-that-work/streets-that-work-plan>

Mixed Use B streets are characterized as able to support high levels of walking, bicycling, and transit as they connect important destinations within the City and surrounding county. The Streets that Work Plan recommends a minimum clear zone width of seven (7) feet for sidewalks, which are noted along with a curbside buffer zone (the area between the curb and sidewalk) as the highest priority items in the *Mixed Use B* typology. Curb extensions are noted as appropriate for *Mixed Use B* streets.

Local Streets are characterized as the majority of the street network and have no specific associated typology due to the variation of context and available space. The Streets that Work Plan notes design elements on Local Streets should not exceed the dimensions specified for *Neighborhood B* streets, and that techniques such as curb extensions are appropriate. A minimum of five (5) to six (6) feet of clear zone width for sidewalks is recommended for *Neighborhood B* streets. Sidewalks and on-street parking are noted as the highest priority street elements.

Many of the STW design elements (sidewalk, single travel lane, on street parking, and a dedicated bike lane) already exist on Jefferson Park Avenue in front of the Subject Property. Due to the nature of the SUP application and location of the proposed addition (the back of the house and rear of the property), additional improvements are not appropriate to the section of Jefferson Park Avenue that fronts of the Subject Property.

Should the property undergo an extensive redevelopment or should future additions alter the front of the property, incorporating additional design elements to Jefferson Park Avenue may be required.

Montebello Circle is a narrow (16' of pavement) one-way Local Street with a sidewalk on one side buffered by on street parallel parking. The site plan (**Attachment B**) indicates the applicant will pave and strip five (5) parking spaces that are currently gravel. No new sidewalks or planting buffers are indicated on the site plan. Due to the one-way traffic pattern, angled parking may be more appropriate to avoid conflict with pedestrians and on street parking. Additional sidewalk to the Subject Property's frontage may not result in a safer pedestrian experience. The road frontage along the western side (same side the Subject Property is on) is filled with perpendicular off street parking (parking spaces that are pulled directly into off of Montebello at 90°), guardrails, utility poles, sewer grade changes, and other obstructions that make it unlikely a sidewalk would be installed on this side of the road. The existing sidewalk on the opposite side of the road provides a safer pedestrian experience.

Staff Analysis: Based on the current application package, staff concludes that the Subject Property's frontage along Jefferson Park Avenue is consistent with the Streets that Work Plan. Staff believes the frontage along Montebello Circle can be improved to Streets that Work standards through applicable conditions (angled parking), should the SUP be approved.

Z.O. Sec. 34-157(a)(3): Whether proposed use or development of any buildings or structures will comply with all applicable building code regulations.

Based on the information contained within the application, the proposed development would likely comply with applicable building code regulations. However, final determinations cannot be made prior to the applicant's submission of construction plans to the City's Building Official, and the details required for final site plan approval.

Z.O. Sec. 34-157(a)(4): Potential adverse impacts, including, but not necessarily limited to:

a. Traffic or parking congestion

Traffic

The City Traffic Engineer has reviewed the provided materials, and has noted a traffic impact analysis (TIA) is not required as the proposal falls well below the threshold for warranting a study (the addition of 7 residents). Should additional information come to light during site plan review, the City Traffic Engineer may require a study. Trip

generation (VPD) numbers have not been provided with the preliminary site plan, but may be required with the next round of review.

Staff Analysis: The addition of seven (7) residents to the site will have minimal impact to the surrounding neighborhood and properties. Should the SUP applicant be granted and parking allowed on-site, the site plan may require submittal of VPD or TIA for review.

Parking

The application and corresponding site plan calls for seven (7) parking spaces to be located on site; two (2) at the end of the existing driveway off Jefferson Park Avenue and five (5) pull-in spaces off of Montebello Circle to accommodate up to twelve (12) residents.

Under the current Zoning Ordinance, onsite parking is more flexible than what was required in 1979, as it relates to location within setbacks. As part of the SUP review, the applicant would like to provide on-site parking. Without some modifications to the current parking standards, the configuration shown on the attached site plan (**Attachment B**) will not be permissible.

*Staff Analysis: Staff believes on-site parking for the Subject Property is both desirable and appropriate and recommends approval of modifications of the current parking requirements to accommodate the location of ~~eight (8)~~ seven (7) new on-site parking spaces, which should be sufficient for 8 bedrooms, because staff believes most students will walk, bike, or take public transit from the Subject Property to the University. Staff recommends allowing the parking as depicted on the attached site plan (**Attachment B**) with the following modifications:*

- 1. Parking off of Montebello to be angled.*
- 2. Modification: ~~eight (8)~~ seven (7) onsite parking spaces to be provided (serving up to ~~12~~ eight (8) bedrooms), instead of the (10) that would be required under Z.O. Sec. 34-984*

Other Modes of Transportation

There are several mass transit stops located within a quarter (1/4) mile of the Subject Property, including stops on Jefferson Park Avenue / Montebello Circle and Jefferson Park Avenue / Woodrow Street. The proposed development is also served by a complete sidewalk network immediately adjacent to the Subject Property and within the vicinity of the Subject Property. Crosswalks in the general vicinity are typically

marked. The Subject Property is also served by a dedicated bike lane on Jefferson Park Avenue.

The applicant has noted in the narrative that residents will bike or walk to class as the primary form of transportation. Under Z.O. Sec. 34-881 they will be required to provide one (1) bicycle space per five hundred (500) square feet of bedroom space. This information is missing on the site plan but will be required on the next submittal.

Staff Analysis: The location of the Subject Property in relation to the University of Virginia along with the complete sidewalk and bike network makes it very likely the residents will walk, bike, and use public transportation.

b. Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment

The Subject Property has operated as a non-conforming fraternity for over 37 years with little or no impact on the surrounding neighborhood. Noise is one area that has generated concerns from neighboring properties. As with other properties in the area, weekend parties are not uncommon during the academic year. These parties may produce trash and noise complaints. The fraternity currently uses individual trash cans that are put at the curb for pickup.

Staff Analysis: The impacts described above would not be altered by increasing the existing use by ~~seven (7)~~ three (3) residents. Staff recommends the existing noise ordinance be enforced when complaints are filed. Any trash receptacles must be screened or brought in when not on the curb for pickup.

c. Displacement of existing residents or businesses

No existing residents or businesses will be displaced

d. Discouragement of economic development activities that may provide desirable employment or enlarge the tax base

The proposed use will not discourage economic development activities.

e. Undue density of population or intensity of use in relation to the community facilities existing or available

The proposed use does not increase the density on the site, in a manner that would place an undue burden on community facilities.

f. Reduction in the availability of affordable housing in the neighborhood

The proposed use will not be adversely impacted because both the existing and proposed use provides housing for University students.

g. Impact on school population and facilities

The proposed use will not impact school population and facilities.

h. Destruction of or encroachment upon conservation or historic districts

The Subject Property will not encroach upon a conservation or historic district.

i. Conformity with federal, state and local laws, as demonstrated and certified by the applicant

Based on the information contained within the application, the proposed development would likely comply with applicable federal and state laws. The site plan is currently under review to determine conformity with local zoning ordinances.

j. Massing and scale of project

The application materials (**Attachment C**) depict an addition to the existing building containing three (3) bedrooms and additional communal space. The majority of the addition is limited to the rear of the building and over two (2) existing brick and block storage buildings with two (2) new dormer windows and a ~~small portion of~~ the new roofline visible from Jefferson Park Avenue. The portion of the addition over the brick and block storage buildings along with a new deck will also be visible from Jefferson Park Avenue.

R-3 zoning permits a maximum building height of forty-five (45) feet. The existing building is 20 feet tall, and the application proposes an additional six (6) feet of building height.

The Subject Property is considered a double frontage lot per Z.O. Sec. 34-1122, with a minimum twenty-five (25) foot setback on Jefferson Park Avenue and Montebello Circle. The side yard setbacks are one (1) foot per every two (2) feet of height with a minimum of ten (10) feet. The applicant is also asking to adjust the side yard setbacks to a minimum three (3) feet. This change is intended to bring a small brick storage building onsite, which currently sits over the setback line, into conformity once it is attached to the main structure (**Attachment F**).

Staff Analysis: The addition to the existing building is well below what could be built by-right and will have minimal impact in scale when compared to the adjacent properties. The addition will also have little or no impact from Jefferson Park Avenue and

Montebello Circle as the overall height of the building will stay virtually the same. Adjusting the side yard setbacks will also have little to no impact on the scale of the project as the main building is still well within the original setbacks and only the small brick and block storage building is affected by the setback change. As the applicant has indicated no changes are proposed to the portion of the building closest to the southwest property line (abutting TMP 16-11 Lot C), staff recommends the setbacks on that side of the property only be adjusted to accommodate the new building height of 26'. Z.O. Sec. 34-353 would require a 26'tall building to have a 13' side yard setback. Staff recommends altering the side yard setbacks to 10' on the southwest property line (abutting TMP 16-11 Lot C) and 3' on the northeast property line (abutting TMP 16-10.1 Lot 21).

Z.O. Sec. 34-157(a)(5): Whether the proposed use or development will be in harmony with the purposes of the specific zoning district in which it will be placed;

In 1928 the property was zoned A-1 Residence District. In 1949 the property was maintained as A-1 Residence District. In 1958 the property was zoned R-3 Multiple Dwelling District. In 1976 the property was maintained as R-3 Multiple Dwelling District. In 1991 and 2003 the property was maintained as R-3 Multiple Dwelling District.

The description for R-3 states it is a districts *consisting of medium-density residential areas in which medium-density residential developments, including multifamily uses, are encouraged* (Z.O. Sec. 34-350(c)(1)). Some of the uses allowed in the R-3 districts by-right and through SUP are (Z.O. Sec. 34-420):

By-right	Special Use Permit
Accessory apartment, internal	Inn
Accessory buildings, structures and uses	Boarding: fraternity and sorority house
1 – 21 DUA	65 – 87 DUA
Bed and Breakfast	Nursing homes
Multifamily	Clubs, private
4 unrelated persons	
Homestay	
Public health clinic	

Staff Analysis: The proposed project is an expansion of a fraternity that has operated on this site since 1978. Staff believes the use is appropriate for an R-3 zoned property at this location. Other uses that are by-right on the SP could be more intense and have a greater impact on the surrounding neighborhood. Even at final build out (12 bedrooms) the Subject Property would have an occupancy rate 50% lower than the allowable by-right density. Any

expansion beyond twelve (12) bedrooms and/or residents would require the applicant to request a new SUP.

Z.O. Sec. 34-157(a)(6): Whether the proposed use or development will meet applicable general and specific standards set forth within the zoning ordinance, subdivision regulations, or other city ordinances or regulations; and

Based on the information contained within the application, the proposed development would likely comply with applicable local ordinances. However, final determinations cannot be made prior to having the details required for final site plan and building permit approvals.

Z.O. Sec. 34-157(a)(7): When the property that is the subject of the application for a special use permit is within a design control district, city council shall refer the application to the BAR or ERB, as may be applicable, for recommendations as to whether the proposed use will have an adverse impact on the district, and for recommendations as to reasonable conditions which, if imposed, that would mitigate any such impacts. The BAR or ERB, as applicable, shall return a written report of its recommendations to the city council.

The subject property is located in an Entrance Corridor.

Public Comments Received

Community Meetings Required by Z.O. Sec. 34-41(c)(2)

The applicant held a community meeting on August 30, 2016 beginning at 7:00pm in the McIntire Room at the Jefferson Madison Regional Library. Property owners within 500 feet and the Jefferson Park Avenue Neighborhood Association were notified of the meeting per requirements in Z.O. Section 34-41(c)(2). The mailing for the community meeting provided by the applicant can be found as **Attachment E**. Four (4) citizens attended the community meeting. Although no one at the meeting adamantly opposed the applicants request for an SUP, they did have concerns regarding the expansion of the fraternity. Noise, parking, trash, and the aesthetics of the property were all concerns raised by attendees. Noise connected to late night parties was a big concern. Attendees also were concerned with parking and the need to allow parking onsite to keep residents and guest from parking on Montebello Circle. Keeping trashcans off Montebello Circle also came up during the meeting. The applicant stated the trash cans would only be placed on Jefferson Park Avenue as they have been in the past. Some attendees wanted to know if anything could be changed to the back of the building to make it more attractive from Montebello Circle.

Other Comments

Staff received a phone call from someone in the neighborhood concerned about noise from the site during weekend parties. They are concerned that if the fraternity is allowed to expand the noise from the site could increase.

During the public hearing held on September 13, 2016 one (1) person spoke on this item. The speaker raised concerns about adding an addition to the top of the existing brick and block storage building. They felt the new addition over the existing structures could be a safety concern.

September 13, 2016 Public Hearing

A public hearing for this item was held in front of the Planning Commission on September 13, 2016. During that meeting the Planning Commission remarked on a disconnect between the application narrative and the graphic materials provided. The graphic materials did not depict the building addition over the existing brick and block storage building as described in the application. The Planning Commission deferred action on the SUP to give the applicant an opportunity to update graphic materials to match the application narrative. The graphic materials provided by the applicant after the September 13th public hearing varied enough from what was originally provided, staff determined the item needed to be re-advertised and a new public hearing held.

In addition, the applicant stressed to the Planning Commission that although the application materials call for a future build out of twelve (12) residents, they have no plans to surpass eight (8). They cited physical lot constraints and limited parking options as factors in not exceeding a total of (8) residents and/or bedrooms in the future. In reevaluating the SUP application and report, staff has incorporated these comments from the applicant. Staff's analysis is still based off the application materials of a twelve (12) residents, but recommends capping the SUP at eight (8).

Staff Recommendation

Staff recommends the Planning Commission focus on the following items during review: appropriate use, impact to the surrounding neighborhood (noise and trash), and onsite parking.

Recommended Conditions

Staff recommends that the requested SUP for a Boarding (Fraternity or Sorority House) could be approved with the following conditions:

1. The fraternity house, as expanded pursuant to this SUP, shall have a maximum of ~~twelve (12)~~ **eight (8)** bedrooms and not more than ~~twelve (12)~~ **eight (8)** residents. Any expansion of the fraternity / sorority beyond ~~twelve (12)~~ **eight (8)** bedrooms and/or residents will require an amendment to this Special Use Permit.
2. Parking ~~and setbacks~~ will be provided in the location and configuration shown within the preliminary site plan submitted with the application dated 07/22/2016 and a revision date of ~~0/8/11/19 (this is a typo that should read 08/11/16)~~ **09/15/16**. The final site plan shall include the following additional requirements:
 - a. Any on-site parking off of Montebello Circle shall be angled in a way to prevent backing out onto the road at a 90° angle.
 - b. No trees shall be removed to make room for parking.
 - c. Parking on the existing driveway off of Jefferson Park Avenue shall be limited to two (2) spaces and must be screened from view of Jefferson Park Avenue.
 - d. All on-site parking shall be used exclusively by members of the fraternity / sorority and their guests. No selling or leasing of on-site parking for off-site functions is permitted.
 - e. ~~One (1) "van accessible" space may be required onsite.~~
3. All trash receptacles must be hidden from view when not set out for curbside pickup.
4. All outdoor lighting and light fixtures shall be full cut-off luminaires and equipped with devices for redirecting light (such as shields, visors, or hoods) to eliminate the luminaire glare and block direct light from on-site fixtures from spilling over onto neighboring properties. Fixtures shall be recessed and shall completely conceal the light source from all viewing positions other than those on-site positions intended to receive illumination from the fixture.
5. **For the above-referenced building and use, modifications of generally-applicable parking standards (City Code 34-984) and required yards (City Code 34-353) are approved, as follows:**
 - a. **Seven (7) on-site parking spaces will be required.**
 - b. **The following side yards shall be required:**
 - i. **Northeast Side Yard Abutting TMP 16-10.1 Lot 21 (S 58°59'59" E 150.446'): A side yard of three (3) feet, minimum will be required instead of one (1) foot of side yard per every two (2) feet of building height with a minimum of ten (10) feet.**
 - ii. **Southwest Side Yard Abutting TMP 16-11 Lot C (N 58° 59'58" W 151.72'): A ten (10) feet, minimum will be required, instead of one (1) foot of side yard per every two (2) feet of building height with a minimum of ten (10) feet.**

Except as specifically modified above, buildings and structures, and the uses thereof, located on the Subject Property shall be in accordance with the provisions of City Code Secs. 34-353 and 34-984

Suggested Motions

1. I move to recommend to City Council that it should approve **SP16-00009**, to grant Special Use Permit to allow an expansion of an existing boarding (fraternity or sorority) house at 1713 Jefferson Park Avenue, subject to the conditions and modifications recommended within the Staff Report dated November 9, 2016

OR,

2. I move to recommend that City Council should deny approval of **SP16-00009**.

Attachments

- A. Application for a Special Use Permit Dated July 26, 2016
- B. Preliminary Site Plan Dated July 22, 2016 and Revision Date of September 15, 2016
- C. Elevation and Massing Plan
- D. Board of Zoning Appeals Application and Determination Dated April 19, 1979
- E. Community Meeting Information
- F. Plat Showing Physical Survey of Lot 20 Montebello Dated July 26, 2016



City of Charlottesville

Application for Special Use Permit

RECEIVED

Project Name: 1713 JPA

JUL 26 2016

Address of Property: 1713 JPA, Charlottesville VA 22903

NEIGHBORHOOD DEVELOPMENT SERVICES

Tax Map and Parcel Number(s): _____

Current Zoning District Classification: R-3

Comprehensive Plan Land Use Designation: High Density Residential

Is this an amendment to an existing SUP? X

If "yes", provide the SUP #: 16-00009

Applicant: Katurah Roell

Address: 2811 Hydraulic Rd. Charlottesville VA 22901

Phone: (434) 906-2702 Email: kroell@pdg-inc.net

Applicant's Role in the Development (check one):

Owner Owner's Agent Designer Contract Purchaser

Owner of Record: David Harrington, Alpha ^{Kappa} ~~Chi Sigma~~ Housing Corporation

Address: 2602 Kirklyn St., Falls Church, VA 22043

Phone: (703) 380-8536 Email: David.Harrington2@usdoj.gov

Reason for Special Use Permit:

Additional height: _____ feet

Additional residential density: _____ units, or _____ units per acre

Authorize specific land use (identify) Fraternity / Sorority Use

Other purpose(s) (specify City Code section): Change side setbacks to 3'

(1) Applicant's and (2) Owner's Signatures

(1) Signature: Katurah Roell Print: Katurah Roell Date: 7/26/2016

Applicant's (Circle One): LLC Member LLC Manager Corporate Officer (specify) _____

Other (specify): Agent

(2) Signature: David Harrington Print: David Harrington Date: 7/6/16

Owner's (Circle One): LLC Member LLC Manager Corporate Officer (specify) President

Other (specify): _____



City of Charlottesville

Application Checklist

Project Name: 1713 JPA

I certify that the following documentation is ATTACHED to this application:

- 34-158(a)(1): a site plan (ref. City Code 34-802(generally); 34-1083(communications facilities)
- 34-158(a)(3): Low-impact development (LID) methods worksheet (required for developments that include non-residential uses, and developments proposing 3 or more SFDs or TFDs)
- 34-158(a)(4): a building massing diagram, and building elevations (required for applications proposing alteration of a building height or footprint, or construction of any new building(s))
- 34-158(a)(5) and 34-12: affordable housing data. (i) how many (if any) existing dwelling units on the property are an "affordable dwelling unit" by the city's definitions? (ii) Will existing affordable units, or equivalent affordable units, remain following the development? (iii) What is the GFA of the project? GFA of residential uses? GFA of non-residential uses?
- 34-157(a)(1) Graphic materials that illustrate the context of the project, and a narrative statement as to compatibility with existing patterns of use and development
- 34-157(a)(2) Narrative statement: applicant's analysis of conformity with the Comprehensive Plan
- 34-157(a)(3) Narrative statement: compliance with applicable USBC provisions
- 34-157(a)(4) Narrative statement identifying and discussing any potential adverse impacts, as well as any measures included within the development plan, to mitigate those impacts
- 34-158(a)(6): other pertinent information (narrative, illustrative, etc.)
- All items noted on the Pre-Application Meeting Verification.

Applicant

Signature Kathleen Print Kathleen Roell Date 7/26/2016

By Its: Agent

(For entities, specify: Officer, Member, Manager, Trustee, etc.)



City of Charlottesville

Community Meeting

Project Name: 1713 JPA

Section 34-41(c)(2) of the Code of the City of Charlottesville (adopted October 19, 2015) requires applicants seeking rezonings and special use permits to hold a community meeting. The purpose of a community meeting is to provide citizens an opportunity to receive information about a proposed development, about applicable zoning procedures, about applicable provisions of the comprehensive plan, and to give citizens an opportunity to ask questions. **No application for a rezoning shall be placed on any agenda for a public hearing, until the required community meeting has been held and the director of neighborhood development services determines that the application is ready for final review through the formal public hearing process.**

By signing this document, the applicant acknowledges that it is responsible for the following, in connection to the community meeting required for this project:

1. Following consultation with the city, the applicant will establish a date, time and location for the community meeting. The applicant is responsible for reserving the location, and for all related costs.
2. The applicant will mail, by U.S. mail, first-class, postage pre-paid, a notice of the community meeting to a list of addresses provided by the City. The notice will be mailed at least 14 calendar days prior to the date of the community meeting. The applicant is responsible for the cost of the mailing. At least 7 calendar days prior to the meeting, the applicant will provide the city with an affidavit confirming that the mailing was timely completed.
3. The applicant will attend the community meeting and present the details of the proposed application. If the applicant is a business or other legal entity (as opposed to an individual) then the meeting shall be attended by a corporate officer, an LLC member or manager, or another individual who can speak for the entity that is the applicant. Additionally, the meeting shall be attended by any design professional or consultant who has prepared plans or drawings submitted with the application. The applicant shall be prepared to explain all of the details of the proposed development, and to answer questions from citizens.
4. Depending on the nature and complexity of the application, the City may designate a planner to attend the community meeting. Regardless of whether a planner attends, the City will provide the applicant with guidelines, procedures, materials and recommended topics for the applicant's use in conducting the community meeting.
5. On the date of the meeting, the applicant shall make records of attendance and shall also document that the meeting occurred through photographs, video, or other evidence satisfactory to the City. Records of attendance may include using the mailing list referred to in #1 as a sign-in sheet (requesting attendees to check off their name(s)) and may include a supplemental attendance sheet. The City will provide a format acceptable for use as the supplemental attendance sheet.

Applicant: Katurah Roell

By:

Signature Katurah Roell Print Katurah Roell Date 7/26/2016

Its: Agent (Officer, Member, Trustee, etc.)



City of Charlottesville

Owner's Authorizations

(Not Required)

Right of Entry- Property Owner Permission

I, the undersigned, hereby grant the City of Charlottesville, its employees and officials, the right to enter the property that is the subject of this application, for the purpose of gathering information for the review of this Special Use Permit application.

Owner: Alpha Kappa Housing Corp. Date: 7/6/16

By (sign name): David Harrington Print Name: David Harrington

Owner's: LLC Member LLC Manager Corporate Officer (specify): President

Other (specific): _____

Owner's Agent

I, the undersigned, hereby certify that I have authorized the following named individual or entity to serve as my lawful agent, for the purpose of making application for this special use permit, and for all related purposes, including, without limitation: to make decisions and representations that will be binding upon my property and upon me, my successors and assigns.

Name of Individual Agent: Katouch Roell

Name of Corporate or other legal entity authorized to serve as agent: _____

Owner: Alpha Kappa Housing Corp. Date: 7/6/16

By (sign name): David Harrington Print Name: David Harrington

Circle one:

Owner's: LLC Member LLC Manager Corporate Officer (specify): President

Other (specific): _____



City of Charlottesville

Disclosure of Equitable Ownership

Section 34-8 of the Code of the City of Charlottesville requires that an applicant for a special use permit make complete disclosure of the equitable ownership ("real parties in interest") of the real estate to be affected. Following below I have provided the names and addresses of each of the real parties in interest, including, without limitation: each stockholder or a corporation; each of the individual officers and directors of a corporation; each of the individual members of an LLC (limited liability companies, professional limited liability companies); the trustees and beneficiaries of a trust, etc. Where multiple corporations, companies or trusts are involved, identify real parties in interest for each entity listed.

Name Robert C. Burnett Address UVA CHM Dept, McCormick Rd, Charlottesville VA 22901

Name Chantel Anastasia Bailey Address 301 15th St. NW, Charlottesville VA, 22904

Name Christopher Shingledecker Address 1723 JPA, Charlottesville VA, 22903

Name Amrie Grammer Lipsky Address 1545 London Rd. Charlottesville VA, 22901

Attach additional sheets as needed.

Note: The requirement of listing names of stockholders does not apply to a corporation whose stock is traded on a national or local stock exchange and which corporation has more than five hundred (500) shareholders.

Applicant: Katurah Roell

By:

Signature Katurah Roell Print Katurah Roell Date 7/26/2016

Its: Agent (Officer, Member, Trustee, etc.)

Attachment A

Disclosure of Equitable Ownership Continued:

Name James N. Demas Address 617 Moseley Dr. Charlottesville VA, 22903

Name David A. Harrington Address 2602 Kirklyn St. Falls Church VA, 22043

Name _____ Address _____

Attachment A



City of Charlottesville

Fee Schedule

Project Name: 1713 JPA

Application Type	Quantity	Fee	Subtotal
Special Use Permit	1	\$1800	\$1,800.00
Special Use Permit (Family Day Home for 6-12 Children)		\$500	
Mailing Costs per letter	114	\$1 per letter	\$114.00
Newspaper Notice		Payment Due Upon Invoice	
TOTAL			\$1914.00

Office Use Only

Amount Received: _____ Date Paid _____ Received By: _____

Amount Received: _____ Date Paid _____ Received By: _____

Amount Received: _____ Date Paid _____ Received By: _____

Amount Received: _____ Date Paid _____ Received By: _____

1713 JPA

Executive Summary**NEIGHBORHOOD DEVELOPMENT SERVICES**

The Alpha Kappa Housing Corporation and Piedmont Development Group are proposing to expand an existing housing unit located at 1713 Jefferson Park Avenue in the city of Charlottesville in order to meet the needs of the University of Virginia chapter of Alpha Chi Sigma fraternity, which resides on the property. Alpha Chi Sigma is a professional chemistry fraternity. It has been a part of the university community since 1922 and has owned the property since 1979. The Alpha Chi Sigma fraternity undertakes activities to promote the chemical sciences at the university and in the community at large. Alpha Chi Sigma relocated to the property in 1979 from a nearby residence that it had rented on Montebello Circle. For the past 37 years, Alpha Chi Sigma has used the property as a gathering place and as a conveniently located residence for members studying chemistry and other sciences at the university. The current house has 5 bedrooms accommodating 5 residents. With this Special Use Permit, we ask to expand the number of bedrooms on the property to 8 to accommodate 8 residents with the potential to expand up to 12 rooms in the future accommodating 12 residents. In order to maintain the existing use of the property for fraternal activities while expanding, we want to align this use with current zoning standards. In addition to changing the use of the property to be used as a fraternity we also ask to update the setback requirements to 3 feet on the left and right sides of the property in order to aid in the rehabilitation of the site.

Narrative Statements***Will the use or development be harmonious with the existing patterns and development within the neighborhood?***

The neighborhood surrounding the site consists largely of high residential apartment buildings that are used as student housing. The use of the property for student housing fits into this model. Additionally the property's proximity to the university makes it suitable for fraternity and other student organization use. The property's existing conditional use as a fraternity house in addition to the surrounding student housing and proximity to the university makes the property harmonious with the existing patterns and development within the Jefferson Park Avenue neighborhood.

Will the development and associated public facilities substantially conform to the city's comprehensive plan?

Yes, the project will conform to the City's Comprehensive Plan for the Jefferson Park Avenue neighborhood. The 2013 Comprehensive Plan designated the area as R-3, high density residential. This designation is consistent with the proposed use. The city's Comprehensive Plan describes the area as high density residential along an entrance corridor. The comprehensive plan for the neighborhood lays out desires for connectivity, housing, and environment. Our project aligns with these goals. Due to recent constructions of apartment buildings as well as the proximity of the neighborhood to the university, the area has become largely occupied by students. The property fulfils the goal of connectivity by providing student housing near the university allowing for greater student pedestrian accessibility. One of the other goals of the comprehensive plan was to increase homeownership in the neighborhood. The ownership of the property by the fraternity organization, Alpha Kappa Housing Corporation, achieves this goal by preserving homeownership rather than converting the area to more apartment complexes. As a comparison for this change, according to section 34-420 of the City Code, an R-3 property can have up to 64 dwellings units per acre meaning that other neighboring properties of our size could expand up to 20 units. This comparison demonstrates that our Special use permit will still allow a lower intensity of the property than that of an apartment complex. Additionally, the proposed

Attachment A

renovation and additions to the property will contribute to the beautification of the Jefferson Park Avenue neighborhood. Finally, we will help the property to contain more environmentally sound elements such as landscaping and the reduction of permeable surfaces to prevent runoff contamination.

Will the proposed use or development of any buildings and structures comply with all applicable USBC provisions?

Yes, the project will comply with all applicable building code regulations. The site plan associated with the Special Use Permit proposal has been submitted along with this application.

Will the use or development have any potentially adverse impacts on surrounding neighborhood or community in general; and if so, are there any measures included within the development plan to mitigate those impacts?

Traffic or parking congestion?

On April 16, 1979, the Board of Zoning Appeals (BZA) approved Case No. 802, indicating that parking for 1713 Jefferson Park Avenue should be at Scott Stadium and off-street parking from Montebello Circle and J.P.A. was prohibited. The decision was established due to the 25 foot setbacks required by the city. In adding parking to Montebello Circle, at the time, was extremely hard without removing the 25 foot setbacks. Unfortunately this parking availability did not last long and residents of the house began making use of the driveway on Jefferson Park Avenue, and ultimately created parking in the back of the property consistent with parking that had been developed by neighbors on both sides. The BZA parking requirement was not enforced and parking at the property has been norm for more than 30 years. While we acknowledge the 1979 BZA decision, we would like to formally establish parking on the site seeing as parking is a necessity for many residents of the neighborhood, especially students who often commute from another town for the year. Additionally, the zoning district requires 2.5 spaces for every 3 bedrooms. With our Special Use Permit application we are asking for 3 additional bedrooms bringing this requirement up to 7 spaces. The long-established parking on the site already fulfills this requirement. Furthermore, currently parking spaces can be created outside of the existing 25 foot setbacks, which would remove the original problem from 1979. Therefore, there is no foreseeable impact on traffic in the neighborhood. We want to make the parking formal by paving the upper lot which in turn will have it meet current city engineering standards. Even with additional parking, the area will be primarily used by university students, allowing for the majority of daily transportation to consist of walking and/or biking. Additionally, the property is in the proximity of a University Transit System and Charlottesville Area Transit bus stop, which will further mitigate the potential traffic congestion.

Noise, lights, dust, odor, fumes, vibration, and other factors which adversely affect the natural environment?

The proposed use of the property will not result in an increase of noise, lights, dust, odor, fumes, vibrations, or any other adverse factors. The current residents use two city issued trash cans to provide for waste removal on the site. This is believed to remain adequate with the density increase seeing as the current residents do not produce much trash. With the addition of bedrooms and increase in residents, there should be minimal increase in trash which can still be disposed of in the two city issued trash cans. Furthermore, the trash cans stay at the top of the J.P.A driveway and are rolled down to J.P.A on the days of trash pickup. Due to the size of the trash cans, there is also no need for an enclosed structure to house them.

Attachment A

Displacement of existing residents or businesses?

The proposal to the property entails minor expansions to the built structure on the property and does not encroach onto other parcels. Therefore, no residents or businesses will be impacted or displaced.

Undue density of population or intensity of use to the community facilities existing or available?

The density of the property is not to be expanded to any extent that will be measurable by the surrounding community.

Reduction in availability of affordable housing in the neighborhood?

The current conditional use of fraternity organization does not entail affordable housing and therefore will cause no reduction in affordable housing.

Impact on school population and facilities?

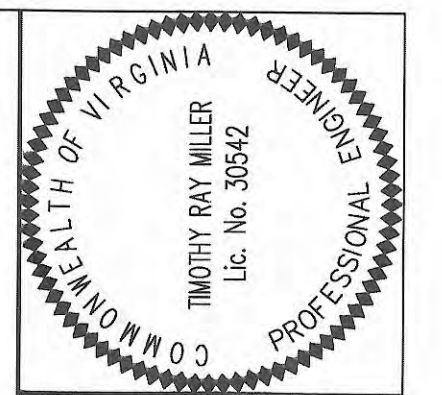
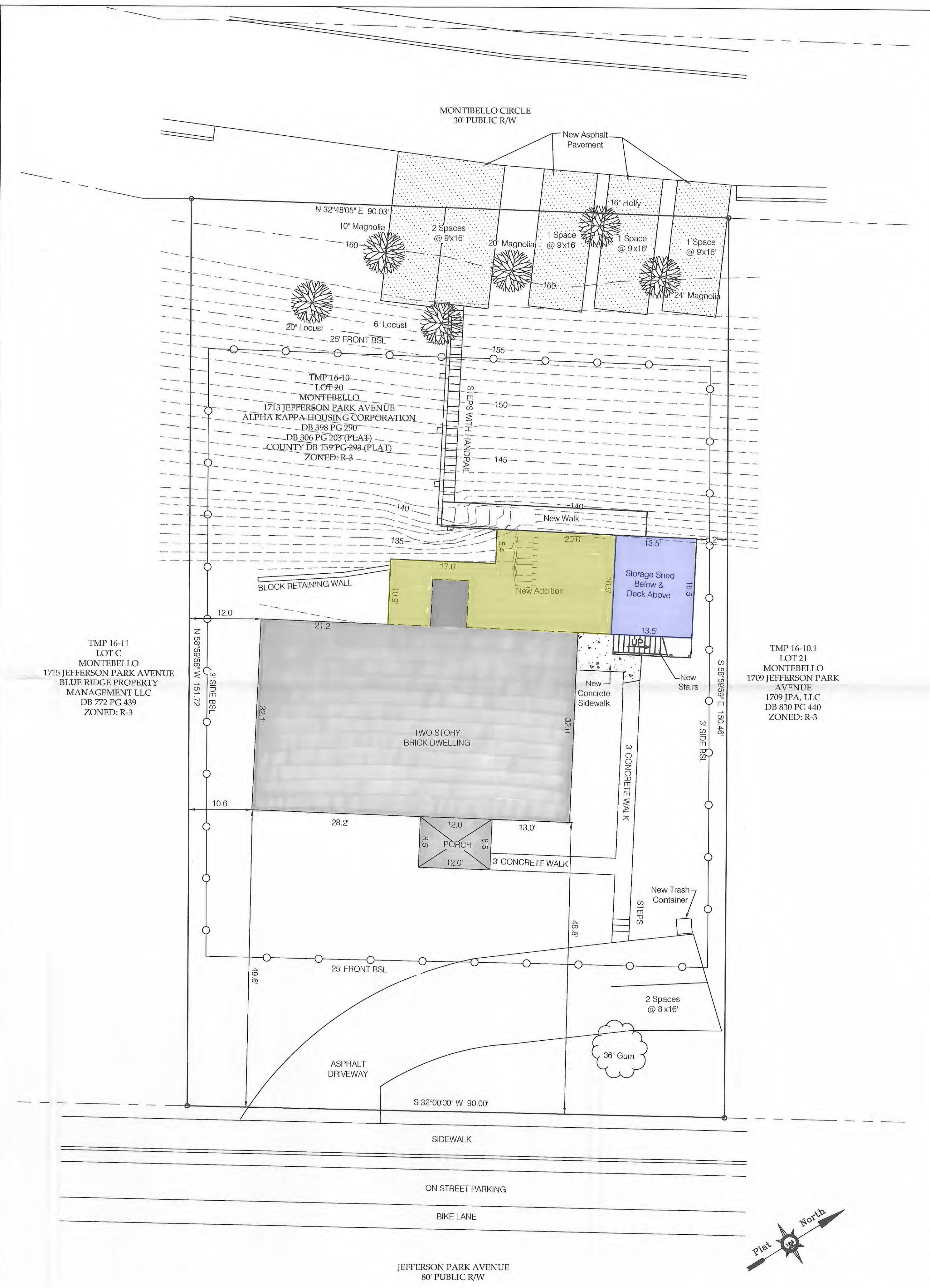
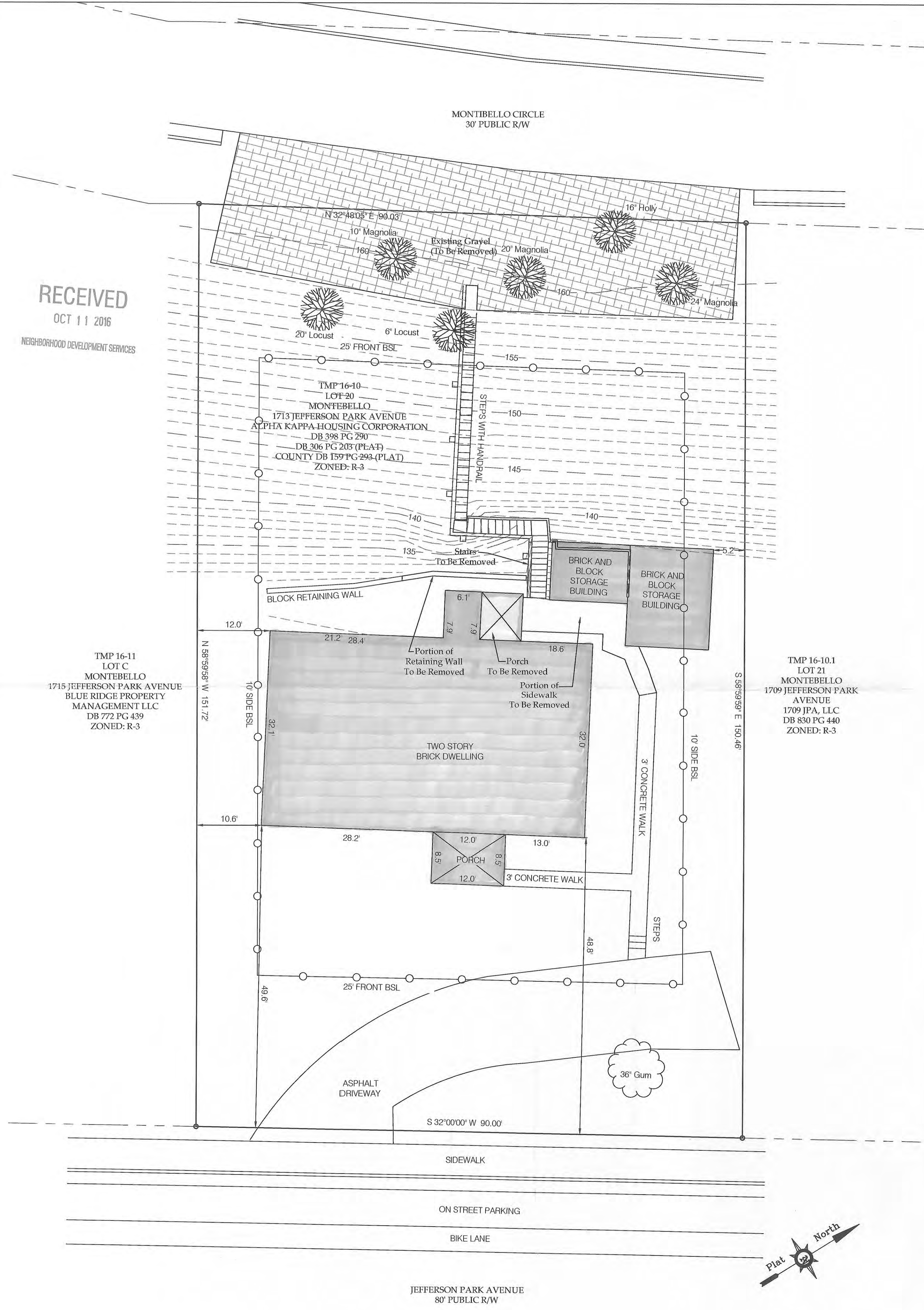
As this property has and will continue to be occupied by university students there is no foreseeable impact on school population and facilities.

Destruction of or encroachment upon conservation or historic districts?

The project is not in a historic district and does not contain any historic structures

Conclusion

Because this Special Use Permit is intended to align the existing use with current standards there are no major impacts on the surrounding neighborhood. Therefore, no measures need to be taken to mitigate these impacts.



JOB NO.:	16175
DATE:	07/22/2016
SCALE:	AS SHOWN
DRAWN BY:	TRM
DESIGNED BY:	TRM
CHECKED BY:	

MERIDIAN
 PLANNING GROUP, LLC
 ENGINEERING*SURVEYING*PLANNING
 440 PREMIER CIRCLE, SUITE 200
 FARMINGTON, VA 24041
 PHONE: 434-388-0111
 WWW.MERIDIANVA.COM

NO.	DESCRIPTION	DATE
1	City Comments	08/11/16
2	City Comments	09/15/16

PROJECT TITLE:
 SPECIAL USE PERMIT
 APPLICATION PLAN
 FOR AXE HOUSE

SHEET TITLE:
 EXISTING CONDITIONS/DEMOLITION
 PLAN & SITE PLAN

SHEET NO.
C-101

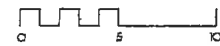
SHEET 2 of 4

Attachment C



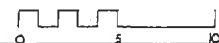
FRONT ELEVATION (EAST)

SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION (NORTH)

SCALE 1/4" = 1'-0"



RECEIVED

SEP 16 2016

NEIGHBORHOOD DEVELOPMENT SERVICES

RECEIVED

SEP 19 2016

NEIGHBORHOOD DEVELOPMENT SERVICES



LITTLE RHINO STUDIO
303 Old Road, NE, Charlotte, NC 28202
Phone: 704.762.1972, 704.762.1973

DESIGNS UNLIMITED, INC.
ENGINEERS
AND PLANNERS
1400 Tenthon Court
Raleigh, NC 27601
Telephone: 919.877.2500



REVISIONS	
DATE	DESCRIPTION
XXX	XXX

ISSUE:
WORKING DRAWINGS

LITTLE RHINO STUDIO ARCHITECTURE & PLANNING P.O. BOX 2257 Charlottesville, Virginia 22902 bob@littlerhino.com 541-962-8157 (cell)	DESIGNED BY:	RBA
	DRAWN BY:	RBA
PROJECT NAME:		

DRAWING TITLE:	FRONT & RIGHT SIDE ELEVATIONS
PROJECT NAME:	RENOVATION OF THE AXE HOUSE 1713 JEFFERSON PARK AVENUE CHARLOTTESVILLE, VIRGINIA

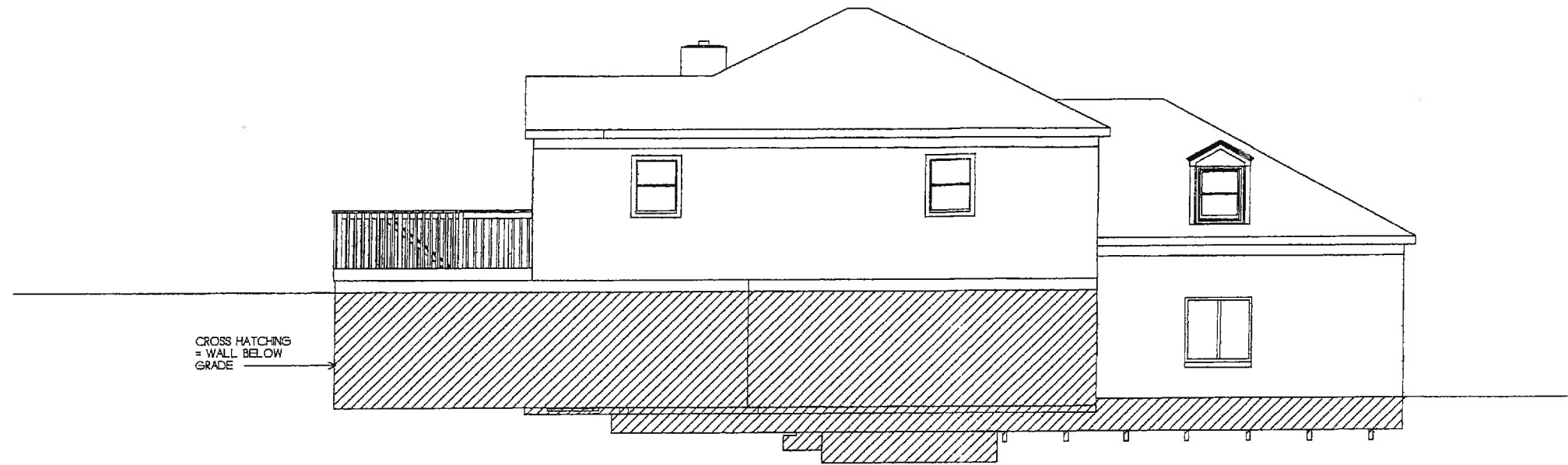
PROJECT NUMBER:
1602

SHEET NUMBER:



DATE:
FEB 26, 2016

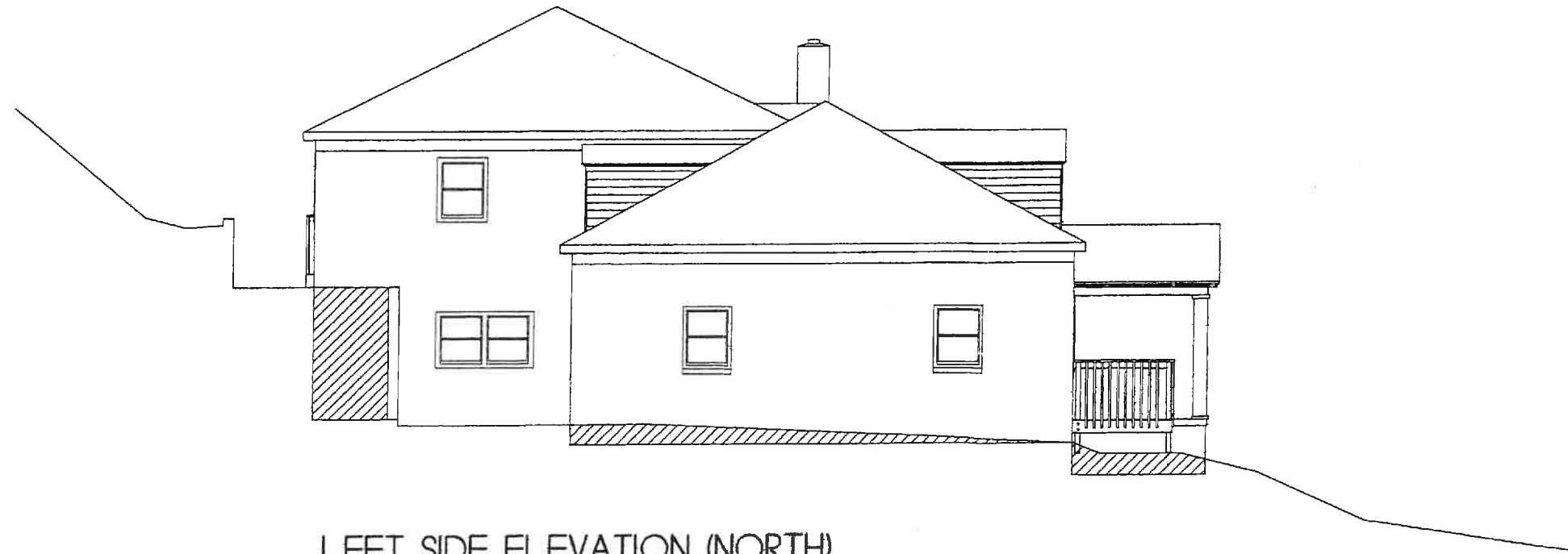
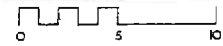
Attachment C



CROSS HATCHING
= WALL BELOW
GRADE

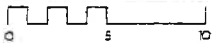
REAR ELEVATION (WEST)

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (NORTH)

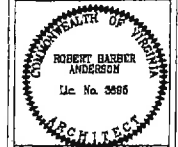
SCALE: 1/4" = 1'-0"



LITTLE RHINO STUDIO
101 2nd Street, NE, Charlottesville, VA 22902
Telephone: 202.754.1237

DESIGNS UNLIMITED, INC.
ENGINEERS

4540 Tenth Court
Bristle, Virginia 22909
Telephone: 202.754.1237



REVISIONS

DATE	DESCRIPTION
XXX	XXX

ISSUE:
WORKING DRAWINGS

LITTLE RHINO STUDIO ARCHITECTURE & PLANNING P.O. BOX 2257 Charlottesville, Virginia 22902 info@rhinostudio.com	PREPARED BY:	RBA
	CHECKED BY:	RBA
DATE:	DATE:	

REAR & LEFT SIDE ELEVATIONS

RENOVATION OF THE AXE HOUSE
1713 JEFFERSON PARK AVENUE
CHARLOTTESVILLE, VIRGINIA

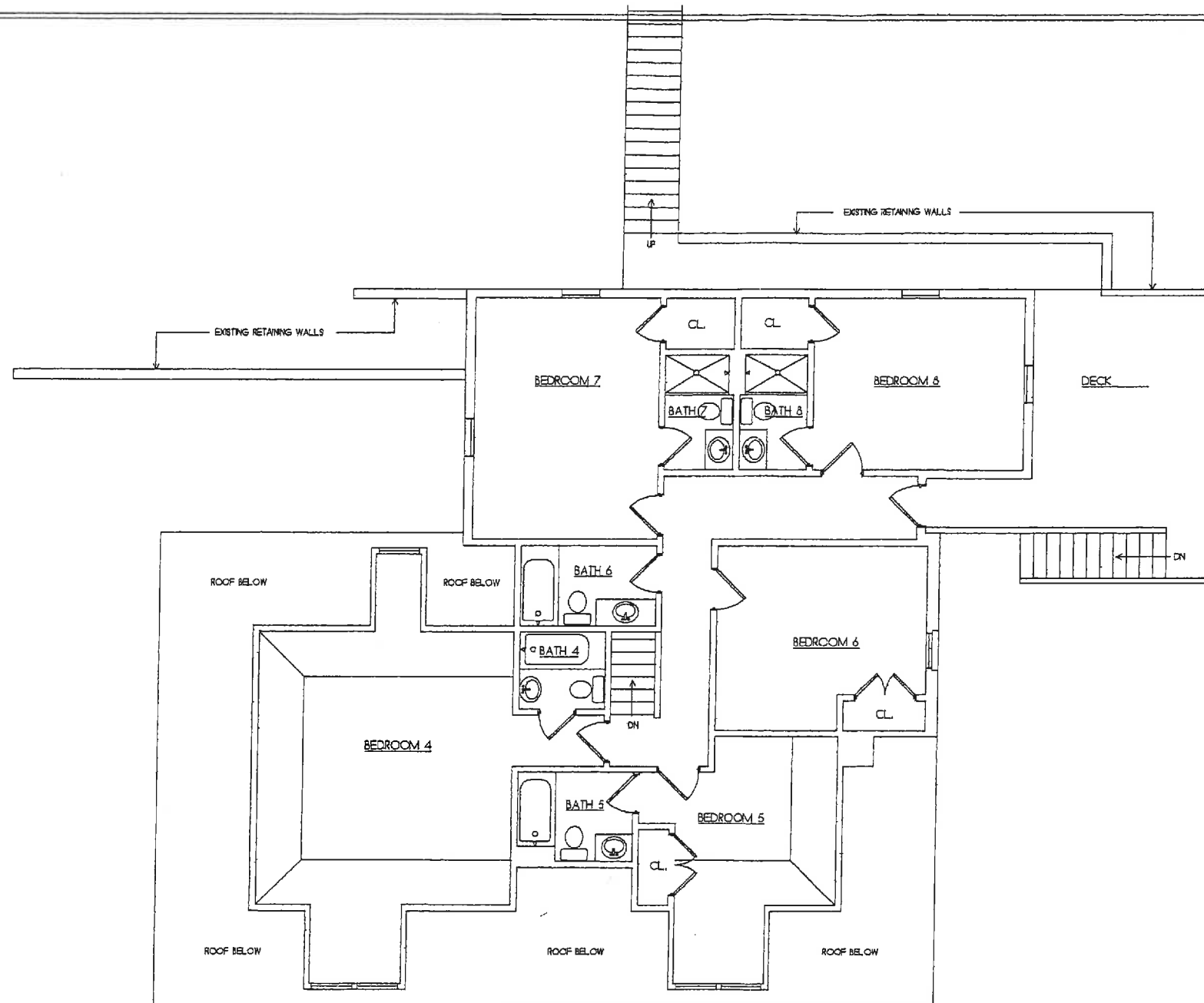
PROJECT NUMBER: 1602

SHEET NUMBER: 1602

AR.1

DATE: FEB 26, 2016

Attachment C



SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

LITTLE RHINO STUDIO
 221 South Street, Norfolk, VA 23510
 Telephone: 757.708.1200

DESIGNS UNLIMITED, INC.
 ENGINEERS
 4440 Towne Center
 Norfolk, Virginia 23512
 Telephone: 757.647.2400

COMMONWEALTH OF VIRGINIA
 ROBERT BARBER
 ANDERSON
 Lic. No. 3695
 ARCHITECT

REVISIONS	
DATE	DESCRIPTION
XXX	XXX

ISSUE:
 WORKING DRAWINGS

LITTLE RHINO STUDIO
 ARCHITECTURE & PLANNING
 P.O. BOX 2257
 Charlottesville, Virginia 22902
 info@littlerhinostudio.com 757-949-2457 (cell)

PREPARED BY: RBA
 CHECKED BY: RBA
 DATE: RBA

SECOND FLOOR PLAN

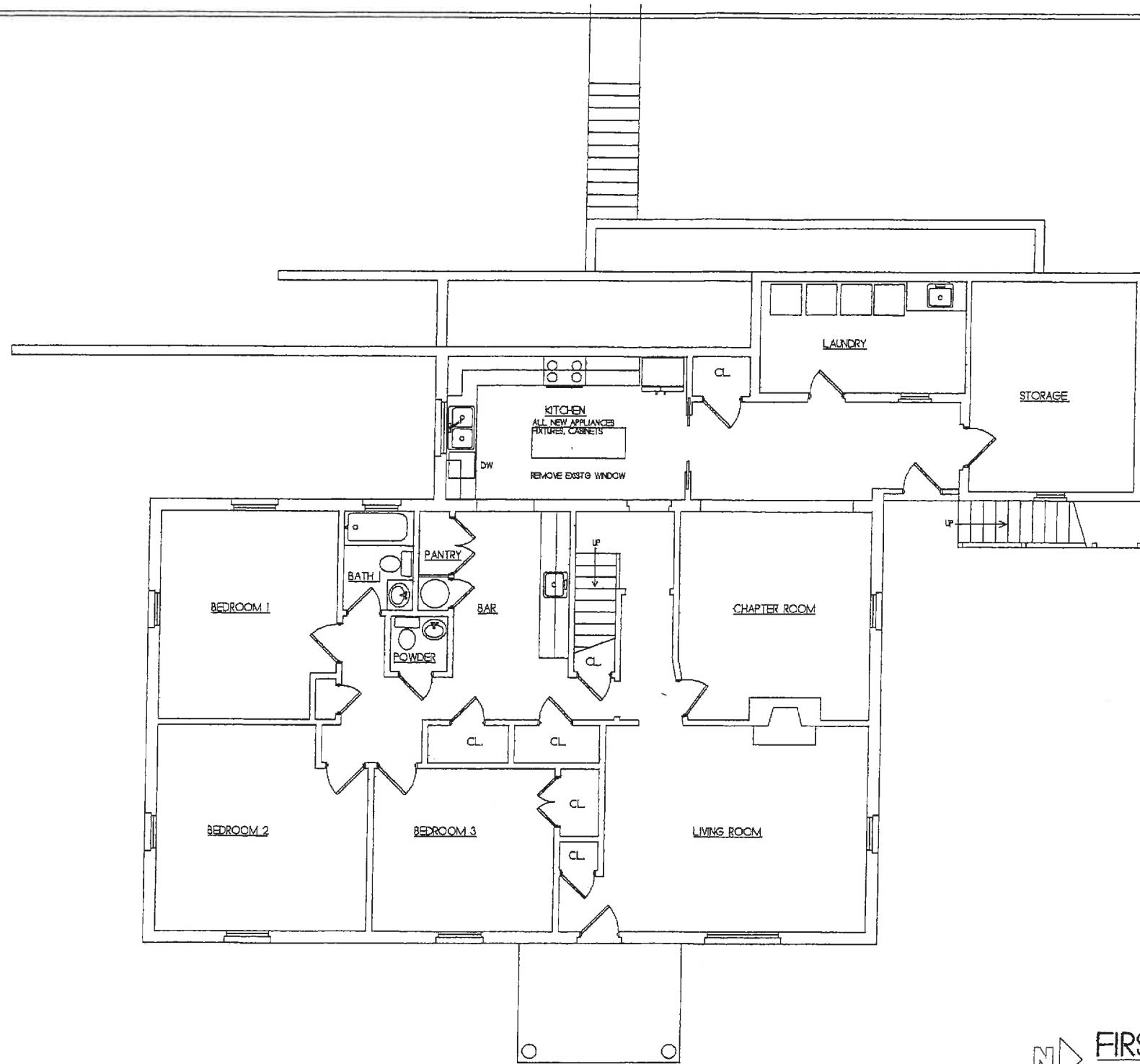
RENOVATION OF THE AXE HOUSE
 1713 JEFFERSON PARK AVENUE
 CHARLOTTEVILLE, VIRGINIA

PROJECT NO: 1602

A1.2

DATE: FEB 26, 2016

Attachment C



FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"

LITTLE RHINO STUDIO
201 Park Ave. N., Charlottesville, VA 22902
 Phone: 803.949.1100 Fax: 803.949.1101

DESIGNS UNLIMITED, INC.
 ENGINEERS
4240 Tenth Court
 Fairfax, VA 22031
 Telephone: 703.261.2667

REVISIONS	
DATE	DESCRIPTION
XXX	XXX

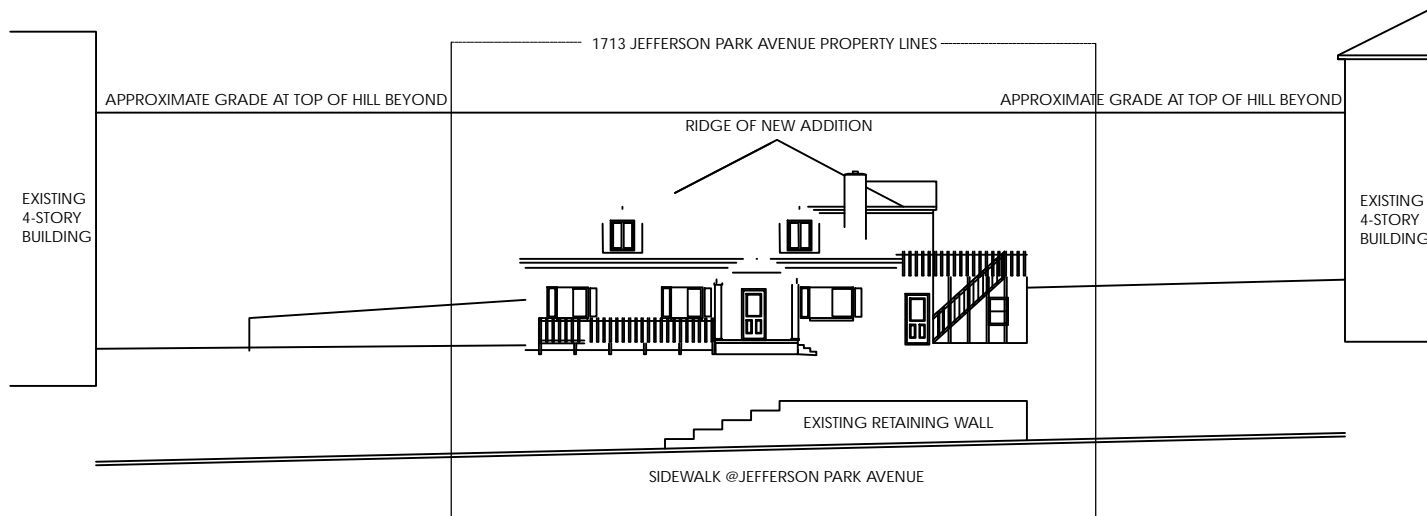
ISSUE:
WORKING DRAWINGS

<p>LITTLE RHINO STUDIO ARCHITECTURE & PLANNING P.O. BOX 22157 Charlottesville, Virginia 22902 www.little-rhino.com 803.949.1100</p>	<p>PROJECT: RBA DRAWN BY: RBA CHECKED BY: RBA</p>
--	---

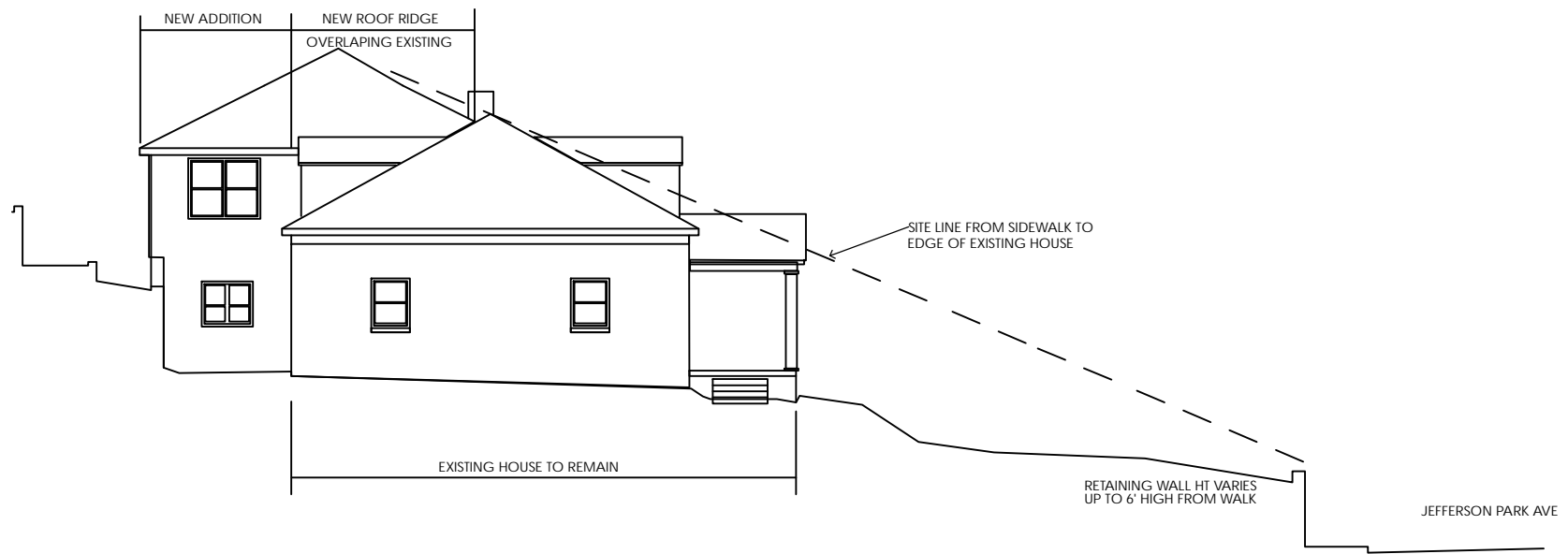
<p>FIRST FLOOR PLAN</p>	<p>RENOVATION OF THE AXE HOUSE 1713 JEFFERSON PARK AVENUE CHARLOTTESVILLE, VIRGINIA</p>
--------------------------------	--

<p>PROJECT NUMBER: 1602</p>	<p>DATE: FEB 26, 2016</p>
<p> </p>	

Attachment C



CONTEXT ELEVATION OF 1713 JEFFERSON PARK AVENUE WITH ADJACENT BUILDINGS



SITE LINE DIAGRAM AT FRONT OF 1713 JEFFERSON PARK AVENUE FROM SIDEWALK TO HIGHEST POSSIBLE RIDGE

To: Secretary
Board of Zoning Appeals
City Hall
Charlottesville, Virginia

PETITION FOR APPEAL

Gentlemen:

Your Petitioner is the owner of the following described property situated in this City: (Give legal description and street name and number) Fronting western side of Jefferson Park Avenue, and adjoining eastern side of Montebello Circle, designated a Lot 20 on plat recorded in Deed Book 306, page 203 in land records of City of Charlottesville
Address: 1713 Jefferson Park Avenue

The City Building Administrator has denied the application of the undersigned for a (Building Permit) (Certificate of Occupancy) (_____)

Other

for the reason that the proposed use of the property violates the Zoning Ordinance of this City in the following particulars:

Section 31-154 (a) (4) in that six (6) parking spaces are required for the 600 sq. ft. of bedroom space.

Your Petitioner believes that the enforcement of this ordinance with regard to the above described property creates an unnecessary hardship on its owner for the following reasons:

Please see attached sheets

Attachment D

Your Petitioner therefore, request that the action of the Building Administrator be reviewed, and, if necessary that a variance from the terms of the Zoning Ordinance be granted which will permit said property to be used in the manner set out in said application, which is enclosed herewith. Also enclosed is a sketch of the property showing the location of the (existing) (proposed) improvements and a check in the amount of \$50.00 payable to the City as required by law.

Respectfully submitted,

Robert F. Graff
Petitioner

7-29-79
Date
James Davis
Sign Given By

Attachment D -

Gentlemen:

Alpha Kappa Housing Corporation, acting for Alpha Chi Sigma Professional Chemistry fraternity, purchased the house at 1713 Jefferson Park Avenue on December 1, 1978. At present, the house is being occupied by seven individuals who began leasing under the previous owner and whose lease expires this summer.

There is presently no parking on the property except for on the driveway on the Jefferson Park Avenue side of the lot. This Fall, the Alpha Kappa Housing Corporation plans to lease space in the house to seven members of the Alpha Chi Sigma Professional Chemistry fraternity.

The house is situated on a well landscaped lot that would only lose some of its character with grading for and construction of parking spaces. Rather than violate the land and trees on the property, and incidentally somewhat alter the residential flavor of the neighborhood, we respectfully submit to the Board of Zoning Appeals the following proposals:

(1) Residents of 1713 Jefferson Park Avenue be allowed to park at Scott Stadium. This is a viable alternative to construction of parking spaces (6) as students may purchase permits to park in this lot, and the Scott Stadium lot is less than a block away from the residence at 1713 Jefferson Park Avenue.

In view of the nearby facility for parking, the costs to be incurred in constructing six (6) Code required parking lots, and the character of the lot and neighborhood, the Alpha Kappa Housing Corporation asks the Board to exempt the Corporation from Zoning Ordinance Section 31-154 (a) (4).

In conjunction with the above proposal, the Alpha Kappa Housing Corporation submits that the existing driveway can be used as parking space for three vehicles without any disturbance to the property or neighborhood. Thus, if the Board of Zoning approves our variance from the above cited Code section, three spaces could still be provided for members of the fraternity. Furthermore, there would be no hardship to the neighborhood caused by this proposal as there are seven vehicles belonging to the present tenants which apparently cause no discomfort to the area.

In the event that the above proposal is not acceptable to the Board and parking is required, the Corporation submits the set of circumstances and proposal which follows.

Recently, the Corporation learned that the house is situated on a double frontage lot, and that a parking area must be located 25 feet from both the Jefferson Park Avenue and Montebello Circle property lines. As one can see from the sight plans, 25 feet from Montebello Circle is an extremely severe grade. Even if it were possible to overcome the considerable engineering difficulties in construction of a lot 25 feet from Montebello Circle on this slope, it would be prohibitively expensive to do so. Most importantly, no site on this property is both sufficiently level and large to accommodate the required number of parking spaces. In view of the topography of the lot as shown in the site plans submitted, we submit the following as an alternative solution in the event proposal (1) is not suitable to the Board.

(2) Four parking spaces paralleled to Montebello Circle and two others on the existing driveway off Jefferson Park Avenue.

Attachment D -

Although this plan entails removal of several trees near Montebello Circle, with the planned screening and new plantings, the site would be at least as attractive as now. The proposed two parking spaces on the existing driveway are already well screened by a large sweetgum, holly, and dogwood trees. Since the driveway is already present, this plan would not change the appearance of the house on the Jefferson Park Avenue front.

To carry out this proposal, the Petitioner request variances on the 25 foot setback requirement at both the JPA and Montebello property lines, and a variance for the required backout distance on the driveway.

The only other alternatives which would be quite costly and would ruin the character of the lot and neighborhood are as follows:

(3) Four spaces paralled to Montebello Circle and two spaces off the driveway alongside the house in front. These two spaces off the driveway would meet all setback requirements, and thus we would require a variance on setback requirements only for the other four. But this proposal would involve considerable expense since a 7 foot deep cut into the hill next to the house would be necessary to accomodate two cars.


(4) Six diagonal spaces to be built at Montebello Circle. With this plan, we would make every effort to save most of the trees along Montebello Circle. Furthermore, this plan would be the easier to construct, than proposal (3) and it would confine all parking in one area.

For this plan, we would request variances on the 25 foot setback requirement, as well as variances on the restrictions pertinent to number of and distances between curb cuts.

In conclusion, the petitioner strongly believes that Proposal (1) for the reasons stated above is the most desirable solution. But, if the Board does not find Proposal (1) satisfactory, Proposal (2) is the next proferred alternative. The hardship created by a double fronted lot is the unique problem facing your Petitioner. Your Petitioner respectfully submits that the City Zoning Ordinance does harshly affect this parcel of land and house and that to require parking spaces in the first place is an undue burden aesthetically and economically. But if parking spaces are required Proposal (2) would be the most desirable solution. Proposal (3) is feasible, but quite prohibitively costly. Proposal (4) is similiar to Proposal (2) but for the greater expense and greater degradation of the property and residential area.

Thank you for your consideration of this request.

Respectfully submitted,


For Petitioner, Alpha Kappa Housing
Corporation

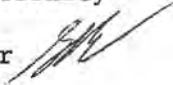


UNIVERSITY OF VIRGINIA
DEPARTMENT OF PARKING AND TRANSPORTATION SERVICES

Attachment D -

1512 JEFFERSON PARK AVENUE
CHARLOTTESVILLE, VIRGINIA 22903
(804) 924-7231

April 18, 1979

MEMO TO: Robert Graff, Alpha Chi Sigma Fraternity
FROM: Gary S. Graham, Assistant Director 
SUBJECT: Scott Stadium Parking

In reference to our conversation, this memo is to confirm that faculty and students of the University may purchase permits to park at Scott Stadium as long as they have registered their vehicles. The permits will be sold at the regular rates. There are no plans at this time to change any of the parking at Scott Stadium. It will remain a commuter lot available for any staff or faculty who live off Grounds.

If you have any questions, please do not hesitate to contact me.

GSG/slhh

Attachment E

Piedmont Development Group

LAND DEVELOPMENT  CONSTRUCTION SERVICES

2811 Hydraulic Rd. Charlottesville, Virginia 22901 PH: 434-973-6055

Notice of Community Meeting:

Notice is hereby given that the Piedmont Development Group will hold a community meeting regarding the expansion of the existing Alpha Chi Sigma House located at 1713 Jefferson Park Avenue, Charlottesville Virginia. The property in question is currently zoned R-3, high density residential; however, it has a conditional use which allows it to serve as the house of a fraternity organization. The developer, Piedmont Development Group, is requesting to add several bedrooms to the property to accommodate the needs of the organization. In order to facilitate this expansion while maintaining the property's existing use, the developer is requesting a Special Use Permit. The special use permit will allow the developer to expand the property under its existing use by aligning the use with current zoning standards.



The meeting will take place in the **McIntire Room of the Jefferson Madison Regional Library** on **Tuesday, August 30th** and will begin at **7:00pm** followed by a question and answer segment. This is an informational session where the developer will provide information about the proposed changes to the house as a part of the larger community as well as to allow for questions. The Jefferson Madison regional Library is located at 201 E Market St, Charlottesville, VA 22902. For further information please contact Katurah Roell, President of Piedmont Development Group at (434)906-2702, kroell@pdg-inc.net.

Piedmont Development Group

LAND DEVELOPMENT ♦♦ CONSTRUCTION SERVICES

2811 Hydraulic Rd. Charlottesville, Virginia 22901 PH: 434-973-6055

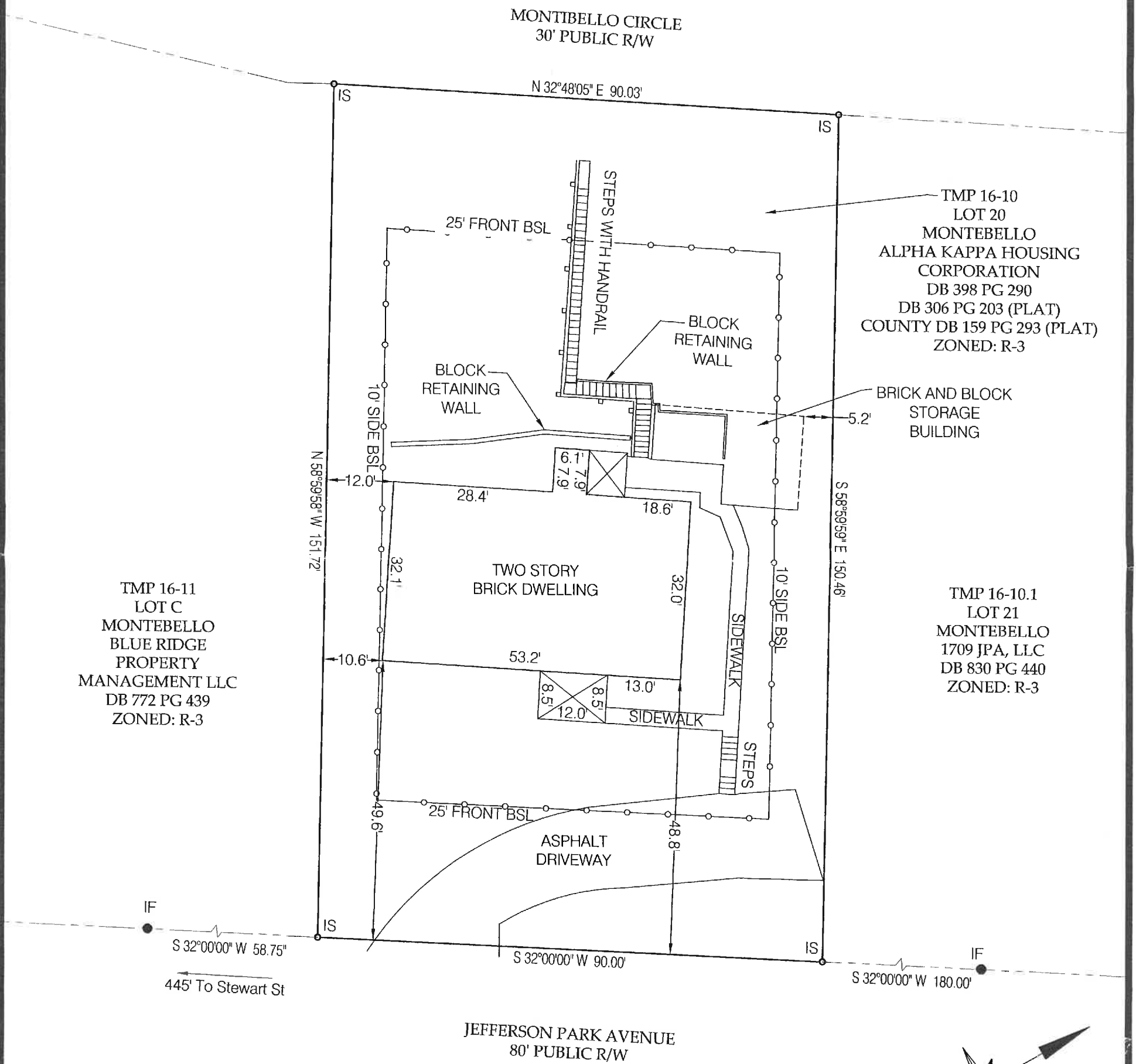
1713 Jefferson Park Avenue SUP Community Meeting Sign-In Sheet

August 30, 2016 7:00 PM

	Name	E-mail	Phone Number
1.	Matt Alfelt	alfelt@charlottesville.org	970-3630
2.	Jennifer King	jenniferking@chaseiv.com	327-8647
3.	Jim Myer	Hokicimo@gmail.com	(804) 514-7168
4.	Karen Muffus	kmdbamom@msn.com	804 514-7169
5.	Ellen Contini Morava	elc9j@virginia.edu	434 971 2715
6.	Maria Moray-osorio	mmoray@jmail.com	407-732-8308
7.	Kroell Zell	Kroell@pdg-inc.NC	434 906 2702
8.	David Harrington	dharrington65@gmail.com	202 ⁵³² 532 -3024
9.			
10.			
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12.			
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NOTE:

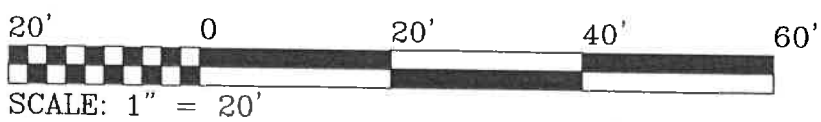
1. This plat is based upon a current field survey.
2. A title report was not furnished for this survey and this property may be subject to easement and encumbrances not shown on this plat.
3. This survey was conducted for Alpha Kappa Housing Corporation
4. Property address is 1713 Jefferson Park Avenue, Charlottesville, VA 22902
5. The current zoning district is R-3
6. Setbacks per current zoning ordinance: Front 25', Side 10'(20' on corner lot), Rear 25'.
7. This property is located within Zone X as shown on FEMA NFIP Community Map Panel 51003C0269D, effective February 4, 2005.



TMP 16-11
LOT C
MONTEBELLO
BLUE RIDGE
PROPERTY
MANAGEMENT LLC
DB 772 PG 439
ZONED: R-3

TMP 16-10
LOT 20
MONTEBELLO
ALPHA KAPPA HOUSING
CORPORATION
DB 398 PG 290
DB 306 PG 203 (PLAT)
COUNTY DB 159 PG 293 (PLAT)
ZONED: R-3

TMP 16-10.1
LOT 21
MONTEBELLO
1709 JPA, LLC
DB 830 PG 440
ZONED: R-3

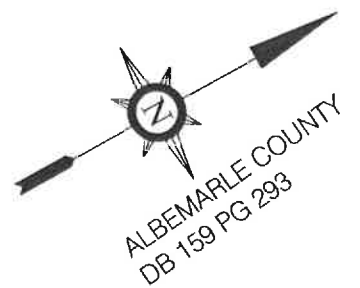


MERIDIAN
PLANNING GROUP, LLC
440 Premier Circle, Suite 200
Charlottesville, VA 22901
(P) 434.882.0121



NEIGHBORHOOD DEVELOPMENT SERVICES

RECEIVED
SEP 16 2016



PLAT SHOWING A PHYSICAL SURVEY OF
LOT 20
MONTEBELLO
CITY OF CHARLOTTESVILLE, VIRGINIA

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



APPLICATION FOR REZONING OF PROPERTY

PLANNING COMMISSION AND CITY COUNCIL
JOINT PUBLIC HEARING

DATE OF HEARING: Wednesday November 9, 2016
APPLICATION NUMBERS: ZT16-00003 and ZM16-0000A

Project Planner: Mary Joy Scala
Date of Staff Report: November 9, 2016
Applicant: Woolen Mills Neighborhood Association (John Frazee, Chair)
Current Property Owner: Multiple

Application Information

Property Street Address: Multiple addresses on East Market Street, Chesapeake Street, Leake Lane, 18th Street NE, Franklin Street, Steephill Street, Riverside Avenue
Tax Map/Parcel Numbers: Multiple
Tax Map 28, Parcel 555 (part of RR R/W)
Tax Map 55A, Parcels 88, 89.1, 89.2, 89.3, 90, 92, 93, 106, 107, 108, 109, 115, 115.1, 115.2, 116, 117, 118, 120, 121, 122, 122.1, 123, 124, 124.1, 125, 128, 130, 130.1, 131, 134, 135, 136, 137, 138, 139, 140, 141, 143, 144, 145, 146, 148, 149, 150.
Tax Map 56, Parcels 40, 40A, 40.1, 40.2, 40.3, 40.4, 40.4AA, 41, 107, 108, 109, 109A, 110, 111, 112, 113, 114, 114.1, 114.2, 114.3, 114.4, 114.5, 115, 115.1, 116, 116.1, 116.2, 117, 118, 119, 119A, 119.1, 119.2, 119.3, 119.4, 120, 121, 122, 123, 123.1, 124.
Total Square Footage/Acreage Site: Approximately 81 acres
Comprehensive Plan (Land Use Plan) Designation: Low Density Residential; Park or Preserved Open Space (Riverview Cemetery)
Current Zoning Classification: R-1(S) - Residential Single Family (Small Lot); R-2 - Residential Two Family; PUD – Planned Unit Development; IPP – Individually Protected Property.

Applicant's Request

The applicant, Woolen Mills Neighborhood Association, is seeking a rezoning to add a Historic Conservation overlay district to all the City properties that were included within the boundaries of the Woolen Mills Village National Register district (Virginia Landmarks Register 12-17-2009 and National Register of Historic Places 4-12-2010) (Note: The National Register District also included Albemarle County properties at the end of East Market Street). In addition, the neighborhood has proposed, and staff and BAR are recommending, inclusion of two additional currently vacant properties, to insure that any new construction would be compatible with the other properties in the district.

Vicinity Map



Standard of Review

City council may, from time to time, designate properties and areas for inclusion within a *Historic Conservation Overlay District*. Any such designation must follow the process for an amendment to the city's zoning ordinance and zoning map, including a public hearing and notification. City council shall consider the recommendations of the Planning Commission and the Board of Architectural Review (BAR) regarding criteria found in Section 34-336(c) as to the proposed designation.

The Planning Commission must make an advisory recommendation to the City Council. Council may amend the zoning district classification of this property upon finding that the proposed amendment would serve the interests of “*public necessity, convenience, general welfare, or good zoning practice.*” To advise Council as to whether those interests would be served, the Planning Commission should inquire as follows: **(1)** The initial inquiry should be whether the *existing* zoning of the property is reasonable; **(2)** the Commission should then evaluate whether the *proposed* zoning classification is reasonable. One factor relevant to the reasonableness of a particular zoning district classification is whether that classification is consistent with the City’s Comprehensive Plan designation for the property. Other relevant factors include: the existing use and character of the subject property and adjacent properties; suitability of the property for various uses; zoning classification(s) of adjacent properties; the intent and purposes of the proposed zoning district classification; trends of growth and change (including, without limitation, recent patterns of development of other circumstances which may have changed since the current zoning classification was originally enacted).

Executive Summary

The applicant, Woolen Mills Neighborhood Association, is seeking a rezoning to add a Historic Conservation overlay district to eighty-six parcels currently zoned R-1(S), R-2, PUD, and IPP Overlay. The underlying zoning would not change. The Planning Commission is being asked to make a recommendation to City Council regarding the proposed designation.

Fifty-two of the seventy-two primary structures, the earliest (Pireus Store) dating from 1847, are proposed to be designated “contributing;” and twenty primary structures are proposed to be designated “non-contributing.” Non-contributing structures include three homes from the 1960’s; three from the 1970’s; two from the 1980’s; five from the 1990’s, including four single family attached; three from the 2000’s; and four from the 2010’s, including three multi-family structures built by JABA behind the Timberlake house. In addition, certain outbuildings and structures are proposed to be designated either “contributing” (including the CSX RR bridge/stone abutments on Franklin Street dated 1878), or “non-contributing.” There are ten vacant parcels included in the district, and also Riverview Cemetery. The cemetery itself and two small structures located there are “contributing.”

The intent of the *Historic Conservation Overlay District* is to (1) identify and preserve buildings, structures and areas; (2) to protect a neighborhood’s scale and character; and (3) to document and promote an understanding of a neighborhood’s social history.

The following is intended to be a summary of the effects of a *historic conservation district*:

- All *new structures* require design review by the BAR.
- An *addition* requires BAR approval if: (1) located on a corner lot; (2) located on the front or side of a building; (3) equal to or greater than 50% total gross floor area of the building; OR (4) exceeding the height or width of existing building.
- *Demolition* of all or part of a “contributing” structure requires BAR approval if: (1) The proposed demolition is located in whole or part to the front or side of the building OR (2) is equal to or greater than 33% of the total gross floor area of the building.

The Woolen Mills Neighborhood Association is the third neighborhood association to request this type of historic designation for a portion of the neighborhood. Martha Jefferson was the first in 2010, followed by Venable Neighborhood Association in 2014.

Project Review

Overall Analysis

1. Proposed Use of the Property.

The proposed use of the properties will not change with the historic district designation. Included within the proposed district boundaries are mostly single family dwellings; including four single-family attached dwellings; four duplexes; three multi-family dwellings; one church; a cemetery; a RR bridge; and ten vacant parcels. The historic designation would require that certain demolitions, new construction and additions would become subject to BAR review.

2. Zoning History

The structures in the district were built between 1847- 2010, with most built before 1920. The zoning of the area over the years has remained fairly consistent. On the 1958 zoning map, this area was not yet annexed. Woolen Mills neighborhood east of Leake Lane was annexed in 1963. The 1991 zoning map showed R-1A and R-2 zoning. The 2003 zoning map showed R-1S and R-2 zoning. The four IPP’s were in place by 2003; but the Timberlake PUD was not added until 2010.

3. Character and Use of Adjacent Properties

The character of this section of Woolen Mills is more rural than urban, due to the consistently low density development, front yard setbacks, wooded landscape, and lack of sidewalks. The railroad tracks conceal the view to the south, and the river creates a dead-end, preventing through-traffic on East Market and Chesapeake Streets.

Direction	Use	Zoning
North	Single family residential	R-2; R-1S; PUD
East	Single family residential; park; historic industrial buildings	R-1S; Park Overlay; PUD; County
South	Industrial uses	M-1; County
West	Single Family residential	R-1S

4. Reasonableness/Appropriateness of Current Zoning

The current R-1S, R-2, PUD and IPP zoning is reasonable, appropriate, and consistent with the character of the area. However, some of the adjacent zoning, land uses, and proposed land uses are quite different from single family, and could be perceived as creating pressure to change to the character of the area.

5. Reasonableness/Appropriateness of Proposed Zoning

The proposed Historic Conservation overlay district designation is an *overlay* zoning district, meaning it would add preservation and design review regulations, but the current underlying zoning designations would not change. The proposed Historic Conservation overlay district would be reasonable and appropriate as a method to further protect the character and integrity of the area.

6. Consistency with Comprehensive Plan

The Comprehensive Plan Land Use Plan for this area recommends Low Density Residential except the Riverview Cemetery is designated for Park or Protected Open Space.

The Historic Preservation and Urban Design Chapter, Goal 6, includes:

6.1 As requested by specific neighborhoods or when otherwise appropriate, consider additional neighborhoods or areas for designation as local historic districts (either Architectural Design Control Districts or Historic Conservation Districts) based on architectural and historic survey results.

6.7 Consider portions of the Woolen Mills neighborhood for Historic Conservation District designation.

Therefore, the proposed district is consistent with the Comprehensive Plan.

7. Potential Uses of the Property

The potential uses of the properties will not change with the historic district designation. The underlying zoning district designations would remain the same.

Criteria to Establish a Historic Conservation District:

The following criteria found in Section 34-336(c) shall be addressed by both the Planning Commission and the BAR when making recommendations. Staff's assessment of the criteria is as follows:

(1) The age of buildings and structures;

The period of significance is 1847-1962, with the majority of buildings constructed before 1920.

(2) Whether the buildings, structures and areas are listed on the Virginia Landmarks Register or the National Register of Historic Places, or are eligible to be listed on such registers;

The entire proposed district, except two vacant parcels, is currently listed on the Virginia Landmarks Register (12-17-2009) and on the National Register of Historic Places (4-12-2010).

(3) Whether the buildings, structures or areas are of locally important historic, cultural, architectural or archaeological interest;

The village's domestic buildings showcase a range of architectural styles from Gothic Revival to Craftsman/Bungalow. The resources retain a high degree of integrity and give the historic district the feel of a late-19th century industrial village.

(4) Whether the buildings, structures or areas are associated with an historic person or event or with a renowned architect or master craftsman, or have special public value because of notable features relating to the cultural or artistic heritage of the Charlottesville community;

The National Register District areas of significance include: Architecture, Industry, and Social History.

(5) Whether the buildings, structures or areas are part of a geographically definable area within which there exists a significant concentration or continuity of buildings or structures that are linked by past events or, aesthetically, by plan or physical development, or within which there exists a number of buildings or structures separated geographically but linked by association or history; and

The Woolen Mills Village has been central to the City of Charlottesville's history since the opening of a milling operation there in 1829. As a company mill town, the brick and frame dwellings in a range of styles built during the mid-19th century through the early 20th century have come to define the village. As a home for generations of families working in the Mills, the village developed into a stable neighborhood and was annexed in 1968.

(6) Whether the buildings, structures or areas, when viewed together, possess a distinctive character and quality or historic significance.

The Woolen Mills Village possesses a distinctive character and historic significance. The village displayed many of the features typical of southern mill towns – company-owned housing, a company store, a chapel. The residential portion feels far more rural than the more urban or suburban areas of Charlottesville developed in the same period. The proximity of the river, the railroad and the remaining 20th century mill buildings at the end of East Market Street are tangible reminders of the area's industrial beginnings.

Public Comments Received: Sixteen written correspondences were received, and are attached.

Staff Recommendation:

On September 20, 2016 the BAR recommended (9-0) that City Council should designate the Woolen Mills Village Historic Conservation District with the boundary and “contributing structures” as recommended by staff; and

The BAR defines the architectural character-defining features of the proposed Woolen Mills Village Historic Conservation District as outlined in the letter dated September 13, 2016 (attachment 4).

[NOTE: Section 34-336 (b) requires that the BAR define character-defining features that would be referenced and reinforced when applying the design guidelines; and Section 34-338 (b) requires

that, before an area is designated as a historic conservation district, structures that may qualify for designation as an Individually Protected Property (IPP) shall be identified. However, this petition is for a historic conservation district designation only – no additional IPP’s are being proposed at this time.]

The Planning Commission should recommend, based on the criteria found in Section 34-336(c), that it is appropriate to designate this part of the Woolen Mills Neighborhood as a *Historic Conservation Overlay District*. The BAR and staff recommend that it is appropriate, based on the above criteria.

As part of their motion, the Planning Commission should also confirm the referenced list of parcels within the proposed district boundary, and the contributing/non-contributing properties. The BAR and staff recommend the boundary and the contributing buildings as shown on the attached map, and as submitted by the applicant.

Suggested Motions:

1. “I move to recommend that City Council approve this petition, including ZT16-00003 and ZM16-0000A, to rezone the properties included on the attached list of parcels, and as shown on the attached map, by adding a *Historic Conservation Overlay District* designation as requested, on the basis that the rezoning would serve the interests of public necessity, convenience, general welfare or good zoning practice, and would meet the historic criteria of Sec 34-336(c). Further, I recommend that the contributing properties are the same as described on the attached map.” (OR)
2. “I move to recommend that City Council deny this petition to rezone properties by adding a *Historic Conservation Overlay District* designation.”

Attachments:

1. Zoning text amendment ZT16-00003 - Actual language
2. Zoning map amendment ZM16-0000A - Tax map parcels to be rezoned
3. WMNA list of character-defining features dated September 13, 2016
4. Written comments from the public
5. BAR staff report – September 20, 2016

6. WMNA rezoning request email from Bill Emory
7. Historic Survey prepared by Lydia Brandt

ATTACHMENTS – Woolen Mills Village Historic Conservation Overlay District

1. Zoning Text Amendment ZT16-00003 - Actual language

ARTICLE II. OVERLAY DISTRICTS

Sec. 34-337. Conservation districts.

The following areas have been determined by city council to meet the criteria for designation as a conservation district, the limits of which are shown on the city's zoning map:

- (1) The Martha Jefferson Historic Conservation District: City Council has designated only certain buildings within this overlay district as "contributing structures." Those contributing structures are identified on a map included within the conservation district design guidelines, a copy of which is available within the department of neighborhood development services.
- (2) The Rugby Road Historic Conservation District: City Council has designated only certain buildings within this overlay district as "contributing structures." Those contributing structures are identified on a map included within the conservation district design guidelines, a copy of which is available within the department of neighborhood development services.
- (3) The Woolen Mills Village Historic Conservation District: City Council has designated only certain buildings within this overlay district as "contributing structures." Those contributing structures are identified on a map included within the conservation district design guidelines, a copy of which is available within the department of neighborhood development services.

2. Zoning map amendment ZM16-0000A - Tax map parcels to be rezoned

Tax Map 28, Parcel 555 (part of RR R/W).

Tax Map 55A, Parcels 88, 89.1, 89.2, 89.3, 90, 92, 93, 106, 107, 108, 109, 115, 115.1, 115.2, 116, 117, 118, 120, 121, 122, 122.1, 123, 124, 124.1, 125, 128, 130, 130.1, 131, 134, 135, 136, 137, 138, 139, 140, 141, 143, 144, 145, 146, 148, 149, 150.

Tax Map 56, Parcels 40, 40A, 40.1, 40.2, 40.3, 40.4, 40.4AA, 41, 107, 108, 109, 109A, 110, 111, 112, 113, 114, 114.1, 114.2, 114.3, 114.4, 114.5, 115, 115.1, 116, 116.1, 116.2, 117, 118, 119, 119A, 119.1, 119.2, 119.3, 119.4, 120, 121, 122, 123, 123.1, 124.

3. WMNA list of character-defining features dated September 13, 2016

September 13, 2016

Dear Mary Joy,

The Woolen Mills Neighborhood Board met last night and voted to approve the following architectural character defining features of the proposed Woolen Mills Village conservation district as suggested in Charlottesville Municipal Code Section 34-336-b

1. Encourage one-story front porches
2. Encourage garages to be located in the rear yards
3. The levels of a building's stories should be consistent with those on surrounding structures with respect to the natural grade [for example, a first floor should not be raised so that it is higher than most surrounding first floors]
4. Do not exclude well-designed, new contemporary architecture [there may be a misconception that only historic-looking new buildings are permitted]
5. Encourage standing seam metal roofs
6. Maintain and encourage tree canopy [Maintain the existing tree canopy and encourage new large shade trees]
7. Maintain neighborhood massing and form; encourage the use of sustainable materials
8. Encourage existing site features (wrought iron fencing, stone walls, shared streets)
9. Encourage good stewardship of Riverview Cemetery.

The WMNA Board remains open to considering additional suggestions submitted by the ad hoc subcommittee charged with assembling this list.

Thanks for all your work!

Bill Emory
WMNA Secretary

cc: John Frazee, Mary Wolf, Fred Wolf

4. Written comments from the public

Dear BAR, Planning Commission and City Council,

My name is John Frazee, and I am Chair of the Woolen Mills Neighborhood Association. The WMNA is the applicant in a matter before you this fall, the Woolen Mills Village Conservation District.

On behalf of the neighborhood I'd like to express our deep appreciation for your creation of the "Historic Conservation District" overlay legislation in the Charlottesville Municipal Code. While our neighborhood was recognized by the State and Federal governments in 2010 for the significance of its cultural landscape, we are interested in tools to stave off impulsive demolitions and help encourage quality in new development.

We feel that the landscape and built fabric of the Woolen Mills has much to share with the larger community about what it meant to be a working class Virginian/American in the years of following the Civil War. The Charlottesville Woolen Mills represented an early bloom of industrial activity in the postwar south. Residents of this neighborhood produced a product which earned national accolades for its quality. Uniform cloth produced here was worn by attendees of West Point and Tuskegee University, by Pullman Porters and by the US Navy. Guards at the 1893 World's Columbian Exposition wore cloth woven by the waterpower of the Rivanna River.

The Woolen Mills community, stable and productive for over a century, took a hit with the closure of the mill and subsequent exodus of its young people, in search of work, in the 1960's. But the neighborhood is steadily building back. We are a mixed income neighborhood, we are home to a large section of the City's riverfront, we sit at the base of a world heritage site, walking distance from downtown. We are a tight knit, old growth, humble, vernacular architecture community.

The 60 acre portion of the Woolen Mills under consideration for a zoning overlay was largely built before the advent of automobile in Charlottesville. We hope, through careful planning, to retain our community character and to remain a keystone between downtown and Monticello.

Please support our application for a Historic Conservation District zoning overlay.

Sincerely

John Frazee

Katherine E. Slaughter
1503 Short 18th Street
Charlottesville, Va. 22902
434-971-5813 kes1961@ntelos.net

September 11, 2016

To: Charlottesville Board of Architectural Review, Charlottesville Planning Commission and Charlottesville City Council\
Re: Conservation District for Woolen Mills Neighborhood

I hope that you will support designating the Woolen Mills as a Historic Conservation District. This neighborhood, of which I am a resident, has such a rich history, and many of the buildings and sites reflect this – including the Rivanna River, Riverview Cemetery and the Woolen Mills Chapel. Many of the homes are also representative of both the managers of the historic Woolen Mills and some of the workers – some of the oldest homes in the Mills are located in the County. Because the area overlaps the city-county line, it would be wonderful if the city and county could discuss their mutual interest in the area.

Beginning in the 1980s, the Virginia Department of Historic Resources as well as the National Register of Historic Places began to recognize the concept of historic resources broadened beyond architecturally significant buildings or buildings of historically famous incidents or people to include representative examples from many historic periods, including industrial plants, worker housing, military buildings, barns, schools, battlefields, roads, bridges, and designed landscapes.

In the Woolen Mills, strong neighborhood support exists for being designated as a Historic Conservation District. In May the WMNA mailed ballots to the 68 owners of the 80 parcels which would be affected by a proposed overlay. In the two weeks that followed, 72% (49) of the owners responded. Three voted “no”, forty-six voted “yes”. (I note that I am not an owner in the affected overlay district).

The 2013 Comprehensive Plan also suggests consideration of portions of the Woolen Mills neighborhood for designation (See Chapter Seven, “Historic Preservation and Urban Design” goal 6.7.)

I hope you will support the designation of the Woolen Mills Neighborhood.

From: John Diven [mailto:littlediv3@gmail.com]
Sent: Monday, September 12, 2016 8:28 AM
To: Scala, Mary Joy
Cc: Emory, Bill
Subject: The Woolen Mills

Dear BAR, Planning Commission, and Council,

My name is John R. Diven. I have been living at 214 18th Street N.E. for the last 14 years. My neighborhood is very important to me. I have raised my two sons here and consider my home in the Woolen Mills as an essential element of the great quality of my life that I have shared with them.

I am writing to secure your support for our application for a Historic Conservation District zoning overlay. Please help us preserve the character and unique history of our neighborhood.

Thanks for seriously considering this request.

Sincerely,

J.D.

-----Original Message-----

From: Beverly Wann [mailto:bevwann@gmail.com]
Sent: Monday, September 12, 2016 9:17 PM
To: Scala, Mary Joy
Subject: Woolen Mills Neighborhood

Hello. I live on Chesapeake Street in the Woolen Mills neighborhood. I am very much in favor of designating our neighborhood a Historic Conservation District. It contains a unique history related to the river and mill, and has a character not found in any other corner of the City. The designation will ensure careful, thoughtful growth that will preserve the beauty of the past while accommodating the needs of the future.

Thank you, Bev Wann

Robert R. Gibson
1803 Chesapeake Street
Charlottesville, Va. 22902
434-295-4947 bob.gibson@virginia.edu

September 12, 2016

Dear Charlottesville City Council, BAR and Planning Commission,

My name is Bob Gibson, and I am a 34-year resident of the Woolen Mills Neighborhood. I write to support formal city designation of the Woolen Mills Village Conservation District.

I hope that you will support designating the Woolen Mills as a Historic Conservation District. Our historic neighborhood does have a rich history along the Rivanna River. We have great old buildings and sites, including the Woolen Mills Chapel and the scenic Riverview Cemetery.

For too long, the city has turned its back on and neglected the Rivanna, which is the most scenic natural feature of our neighborhood and is only recently being fully recognized as a great community resource. I do hope you will add to the neighborhood's recognition and support the designation of the Woolen Mills Neighborhood. Thank you!

Best,

Bob Gibson
1803 Chesapeake Street

From: Jason Ivey [mailto:jay.ivey@gmail.com]
Sent: Tuesday, September 13, 2016 9:45 AM
To: Scala, Mary Joy
Subject: Woolen Mills Village Historic District

Ms. Scala,

We are writing in response to a letter we received from you dated 9/6/2016 about the Woolen Mills Proposed Historic District. We will be out of town on business and unable to attend the meeting scheduled for 9/20/2016. My wife and I live at 1808 East Market St.

We want our comment to be heard in that we do not want our property to be included in the gerrymandered proposed map of properties of this intrusive "historic" district and disagree with this concept 100%. We believe there are numerous properties within this map that would be better off as vacant land or redeveloped verses the current structures.

We believe this proposal is lacking transparency and looks gerrymandered. This appears to be an intrusion and attempt to stunt the growth and property values of our neighborhood. We support all of the recent additions and improvements we have ongoing in the neighborhood. Where are the results of the vote that was taken on this matter? What were the results? We do not want our property or neighborhood to be constrained by BAR.

We want to know why the property owned by CSX and rented by Buckingham Branch Railroad next door to us has not been included in this rigged map? Please keep us informed as this proposal develops.

Best,

Jason & Sachi Ivey

310.804.2910 (c)
202.415.1823 (vm)

424.299.0047 (c)

<http://www.imdb.com/name/nm1577677/>

*** This e-mail is intended for the recipient indicated above. It may be confidential or protected from disclosure. If you have received this e-mail in error, please advise by return e-mail to jay.ivey@gmail.com and please destroy this e-mail. ***

From: Carol Hunt [mailto:chunt1@embarqmail.com]
Sent: Tuesday, September 13, 2016 11:22 AM
To: Scala, Mary Joy
Subject: Woolen Mills Historic District becoming Conservation District

Dear Ms. Scala,

I am writing to express my support for the Woolen Mills Historic District becoming a Conservation District. I would like to ask the BAR and the Planning Commission to approve this request on the part of the residents of the historic district. Woolen Mills is a beautiful old neighborhood that is constantly being threatened by redevelopment and light industrial needs. We must do everything we can to preserve its unique character and harmonious architecture. Thank you for anything you can do to facilitate this request.

Sincerely,
Carol Hunt, Woolen Mills Neighborhood Association Member

-----Original Message-----

From: Alexander, John A. (jaa9n) [mailto:jaa9n@eservices.virginia.edu]

Sent: Wednesday, September 14, 2016 11:01 AM

To: Scala, Mary Joy

Cc: Alexander, John A. (jaa9n)

Subject: Support for Woolen Mills neighborhood as the City's third "Historic Conservation District" (CV)

Dear Ms. Scala,

I strongly support the zoning text amendment to designate sixty acres of the Woolen Mills neighborhood as the City's third "Historic Conservation District" (CV). I have lived in the Woolen Mills Neighborhood since the early 1980s and am an enthusiastic neighbor, active in the neighborhood association. Of the many things I love about the neighborhood, its strong sense of place, which in my opinion has been retained even as it has grown more dense. I also greatly enjoy the sense of vernacular design that emerges in the neighborhood and welcome this CV designation as a way that we might support, nurture and preserve that sense of place as we continue to grow and become more dense.

Best regards,

John

John Alexander

Associate Director, SHANTI

Sciences, Humanities, and Arts

Network of Technological Initiatives

PO Box 400600

Alderman Library, Rm 323

University of Virginia

<http://shanti.virginia.edu/>

ph. 434.243.6619

fx. 434.982.2363

Chair, General Faculty Council

<http://faculty.virginia.edu/jalexander/>

Research:

Reflective Writing and Making Meaning:

<http://bit.ly/MakingMeaningofGettingAway>

Poor People's Campaign Oral History:

<http://bit.ly/ResurrectionCityResearch>

From: Katie [mailto:katie@chesterandhound.com]
Sent: Thursday, September 15, 2016 9:45 AM
To: Scala, Mary Joy
Subject: Woolen Mills Neighborhood: , Historic Conservation District

Dear BAR Planning Commission and Council,

I'm writing in support of designating sixty acres of the Woolen Mills neighborhood as Charlottesville's third "Historic Conservation District" (CV).

In the nineteenth century, the Woolen Mills neighborhood area grew up around the Woolen Mills, providing housing for the Mill workers. These are not the grand houses of the Mill owners, but the humble houses of the laborers. That does not make the character and scale of this neighborhood any less worthy of protection.

To preserve only the neighborhoods with clear examples of idolized architectural styles is to partake in revisionist history. Perhaps your dream home looks significantly different than mine, perhaps your lifestyle values different amenities; neither is more valid than the other.

The Woolen Mills is a tightly-woven, mixed- income community with a fierce sense of neighborhood pride. Its character, texture and human scale drew us here and keep us here. We urge you to see its beauty and understand its value through our eyes. Please support designating the Woolen Mills neighborhood as Charlottesville's third "Historic Conservation District".

Best,

Katie Chester

1812 East Market Street

Charlottesville, VA 22902



School of Visual Art and Design

September 14, 2016

Dear members of the Charlottesville Board of Architectural Review,

I strongly support the recognition of the Woolen Mills Village as a Historic Conservation District in the city of Charlottesville. As the author of the 2010 survey and National Register of Historic Places/Virginia Landmark Register nomination of the neighborhood, I know its vernacular buildings and fascinating stories well. The designation of Historic Conservation District will protect the character and integrity of this place, as central to the early development of Charlottesville as the University of Virginia.

Woolen Mills Village is unique to Charlottesville's built landscape and deserving of this special recognition. Unlike the current Martha Jefferson Historic Conservation District, most of the buildings in the Village are older and humbler. Its designation would be a step forward for the protection of buildings representative of vernacular styles and forms and those associated with the working classes. As a relatively complete village (with church, industrial buildings, a cemetery, and private residences), the Woolen Mills also offers more diversified building types than the current Rugby Road District and a collection of buildings and landscapes that is as interwoven with the fabric of Charlottesville as it is independent of it. In comparison with other late nineteenth-century industrial villages nationwide, the Woolen Mills Village is a superb example.

The Woolen Mills Village retains the physical evidence of multiple generations of families working and living alongside one another, expanding and improving upon their homesteads as they gained status and stability. This is a collection of buildings that people have chosen to care about over several centuries. The current efforts to recognize it signal that love and care for the place has not dissipated. Charlottesville is lucky to have such a neighborhood and such neighbors.

Thank you for considering the Woolen Mills as Charlottesville's next Historic Conservation District.

Sincerely,

Lydia Mattice Brandt, PhD
Assistant Professor, University of South Carolina

From: **Preservation Piedmont** <preservationpiedmont@gmail.com>

Date: Wed, Sep 14, 2016 at 9:30 AM

Subject: Designation of Woolen Mills Neighborhood

To: Mary Joy Scala <mjscala@gmail.com>, Justin Sarafin City BAR <justin.sarafin@alumni.virginia.edu>, Carl Schwarz City BAR <caschwarz83@gmail.com>, Whit Graves City BAR <Whit@evergreenbuilds.com>, "Chair Melanie Miller City BAR Chair, Historic Resources Committee, Co-Chair" <melanie@houseofmillers.com>, Laura Knott City BAR <lknott@chg-inc.com>, kkeesecker@brw-architects.com, Emma Earnst <earnst.emma@gmail.com>, Stephen Balut <sbalut@hotmail.com>, Tim Mohr City BAR <tmohr@tmdarch.com>

To Chairperson Miller and members of the Charlottesville Architecture Review Board,

Preservation Piedmont, our local historic preservation organization, urges the BAR to support the local designation of the Woolen Mills neighborhood as a Historic Conservation District. Much of this neighborhood is on the Virginia Landmarks Register and the National Register of Historic Places.

Sec. 34-271 (1) of the Zoning Ordinance states that the City seeks to "preserve and protect buildings, structures and properties which serve as important visible reminders of the historic, cultural, and architectural or archaeological heritage of this city...".

Thank you for protecting this important neighborhood.

Jean Hiatt

Preservation Piedmont

Preservation Piedmont | P.O. Box 2803 | Charlottesville, VA | 22902

From: Robin Hanes [mailto:marchhanes@gmail.com]

Sent: Thursday, September 15, 2016 8:55 PM

To: Balut, Stephen; Earnst, Emma; Graves, Whit; Keesecker, Kurt - 2nd address; Knott, Laura; Miller, Melanie; Mohr, Tim; Sarafin, Justin; Schwarz, Carl; Planning Commission; Council; Scala, Mary Joy; Mess, Camie

Subject: Woolen Mills Historic Conservation Overlay

Dear BAR, Council and Planning Commission,

I renovated a home built in 1895 in the Woolen Mills. While we redesigned it for comfort and fun, I love being responsible for history. Keeping an old house's bones and cladding is an environmentally sustainable practice. My house has complemented the character of our neighborhood for 120 plus years, a neighborhood full of history and social diversity.

Please help us retain our structure and personality, help us encourage well thought-out future projects. Let us remain a cherished place where a flourishing new generation will want to stay.

Sincerely,

Robin Hanes

1709 East Market Street

Charlottesville, Virginia, 22902

From: Jim Benedict [mailto:jimbenedict94@gmail.com]

Sent: Saturday, September 17, 2016 11:15 AM

To: Scala, Mary Joy

Subject: writing to you in support of the Wollen Mills Historic application

To whom it may concern.

My wife and Myself - Kate and James Benedict-Burke are residents of the city and Wollen Mills neighborhood and reside at 1607 E market st.

We have lived here 22 years in the city.

Please include our names in support of the Wollen Mills Historic Conservation District.

We strongly support this designation. *A Historic Conservation District is intended to protect the character and scale of a historic neighborhood.*

Respectfully.

--

Jim and Kate Benedict-Burke.

Charlottesville, Va.

cell 434 249 2158

From: Lucia Stanton [mailto:cstanton1811@gmail.com]
Sent: Monday, September 19, 2016 3:08 PM
To: Scala, Mary Joy; Mess, Camie
Subject: BAR meeting and Woolen Mills CV

To members of the:
Charlottesville Board of Architectural Review
Charlottesville City Planning Commission
Charlottesville City Council

I am writing to express my wholehearted support for the Woolen Mills Village Historic Conservation District. This unique and evocative area needs every protective measure available to prevent the loss of its historic features and its distinctive character.

On a personal note, although I live in the county and am not a Woolen Mills resident, I usually take out-of-town visitors to two places, Monticello and the Woolen Mills area. And my grown daughter makes a pilgrimage to the Woolen Mills every time she returns to town. I say this only to stress how special a place it is.

I hope you will support every possible measure to protect this neighborhood, a treasure for us all.

Your sincerely,

Lucia (Cinder) Stanton
Shannon Senior Historian Emerita (Monticello)
Coordinator, Central Virginia History Researchers

Dear BAR, Planning Commission and City Council,

My husband and I moved to Charlottesville twenty-five years ago. Over those many years we have experienced some exciting and some unwelcome, drastic changes to the city. Early on we became involved in our neighborhood association and appreciated the sense of community and connection to place that was being nurtured. I am proud that we were instrumental in the designation of the Martha Jefferson Historic District on the Virginia Landmarks Register and the National Register, and that we became the first designated Historic Conservation District in the city.

I am writing to urge you to approve the creation of the Woolen Mills Historic Conservation District. As you know, the guidelines are modest and not onerously restrictive, with the intent to protect the scale and character of the neighborhood. At a time when new development is burgeoning, it is more important than ever to treasure the unique and diverse corners of the city that still reflect its history and character. I believe it is important for city officials to respect the wishes of its residents and the integrity of all the city's neighborhoods.

Please support the application for the Woolen Mills Historic Conservation District zoning overlay.

Sincerely,

Ellen Casey Wagner
841 Locust Avenue
Charlottesville, VA 22902

p.s. please note that while I am on the city's Historic Resources Committee and the board of Preservation Piedmont, I am writing to express my personal view as a longtime city resident.

From: bettyontube1 . [mailto:dominickdesigns@gmail.com]
Sent: Thursday, September 22, 2016 9:55 AM
To: Scala, Mary Joy
Subject: Woolen mills preservation

Good morning , I am writing you in support of the proposed tract in the woolen mills for conservation. I moved to my 100 or so year old home on the corner of Franklin in 2003. I have managed to hang in here in spite of so many obstacles but absolutely support this proposal. As a musician and a wedding florist I have met many people and am always warned by the response I get when saying I live in the woolen mills. This community and these homes are a special part of Charlottesville.

I have spent these 13 years raising greenery and flowers for my business Secret Gardens and have no objection to the proposal. You might remember the kiosk days ! Never knew back then what the wedding industry would bring to Charlottesville ,but when I invite a bride here for a consult they are in awe of the charm....Rock walks, old mature trees, an English basement with its original stone floor and claw foot tub...shed with tin roof....still smelled of corn when we bought !! In case you don't know there's a ghost story about this house in the Charlottesville /albemarle ghost stories paperbacks ..."evil in the English basement "....an herbalist who lived here in the 70's wrote the piece

Thanks for your consideration !

5. BAR staff report – September 20, 2016

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
September 20, 2016**



Recommendation

Establishment of Woolen Mills Village Historic Conservation District
Woolen Mills Neighborhood Association, Applicant

Background

The *historic conservation district* ordinance was adopted on March 16, 2009 to create a second, less stringent type of local (regulatory) historic district that would provide an alternative to the existing *historic preservation and architectural design control (ADC) district*. The intent of a *historic conservation district* is to protect historic buildings from unwarranted demolition, and to require a basic level of design review for new structures and additions.

The first designation of this type was the Martha Jefferson Neighborhood Historic Conservation District, requested by the Martha Jefferson Neighborhood Association (MJNA), approved by City Council in 2010. The Rugby Road Historic Conservation District, requested by the Venable Neighborhood Association in 2014, was the second. Woolen Mills Village would be the third. The City also has eight ADC districts.

July 12, 2016 – the Planning Commission initiated a proposed amendment to the city’s zoning ordinance and map, to wit: amending Article II, Division 5, Section 34-337 to add “Woolen Mills” as a Historic Conservation Overlay District; and amending the city’s zoning map to add Woolen Mills Historic Conservation District as an overlay district zoning designation;”

What it means to be designated as a Historic Conservation District

The *historic conservation district* designation was originally devised to protect the character and scale of the more modest historic Charlottesville neighborhoods that were facing increased development and tear-downs. The designation requires review by the Board of Architectural Review (BAR) of all new structures, and certain additions and demolitions, *all of which have the potential to change the character of the historic neighborhood*. Otherwise, the intent is to minimize requirements on residents who may want to rehabilitate their homes.

A *historic conservation district* is different from an *ADC district* in three main respects:

- (1) Unlike in an *ADC District*, where review is required of all exterior changes to existing buildings, in a *historic conservation district* BAR approval is only required for certain additions and demolitions;
- (2) The *historic conservation district* guidelines are short and simple; and
- (3) The residents of a *historic conservation district* are asked to help identify neighborhood features to be preserved.

The guidelines and ordinance are attached; the following is intended to be a summary of the effects of a *historic conservation district*:

- All *new structures* require design review by the BAR.

- An *addition* requires BAR approval if: (1) located on a corner lot; (2) located on the front or side of a building; (3) equal to or greater than 50% total gross floor area of the building; OR (4) exceeding the height or width of existing building.
- *Demolition* of all or part of a “contributing” structure requires BAR approval if: (2) The proposed demolition is located in whole or part to the front or side of the building OR (2) is equal to or greater than 33% of the total gross floor area of the building.

In addition,

- Staff would interpret changing siding or roof material that is visible from the public right-of-way to be a demolition requiring BAR approval.
- Removal or replacement of windows and doors within existing openings is not considered a demolition.
- The *historic conservation district* ordinance does not address subdivisions.
- Special use permit applications within the district would require a BAR recommendation.
- The appeals process is the same as for an *ADC District*.

Standard of Review

City Council may, by ordinance, from time to time, designate properties and areas for inclusion within a *historic conservation district*. Any such designation must follow the process for an amendment to the city's zoning ordinance and zoning map, including a public hearing and notification.

Prior to the adoption of any such ordinance, the BAR shall define, taking into consideration information that may be provided by neighborhood residents, the architectural character-defining features of the proposed district. Those features would be referenced and reinforced when applying the district design guidelines.

Before an area is designated as a *historic conservation district*, each structure shall be determined to be either “contributing” or “non-contributing.” Each of the structures that may qualify for designation as an Individually Protected Property (IPP) under Section 34-273 within that area shall be identified.

Prior to the adoption of any such ordinance, City Council shall consider the recommendations of the Planning Commission and the BAR as to the proposed designation.

Application

The boundary of the *historic conservation district*, as proposed by Woolen Mills Neighborhood Association, includes all properties that were included within the boundaries of the Woolen Mills Village National Register district, and that are located within the City. (The National Register District extended into Albemarle County at the end of East Market Street). In addition, staff is recommending inclusion of two additional currently vacant properties, to insure that any new construction would be compatible with the other properties in the district.

There are approximately 80 parcels in the proposed district, most of which (approximately 52) contain “contributing” primary structures. In addition, certain outbuildings would be designated as contributing, as shown on the attached map. There are currently four Individually Protected Properties (IPP) in the area: Timberlake–Branham House, Woolen Mills Chapel, Pireus Store, and House at Pireus. No additional structures are recommended to be designated as an IPP.

The proposed *historic conservation district* designation is an *overlay* zoning district, meaning it would add regulations, but the current underlying zoning designations would not change. All properties in the proposed district are zoned R-1S Residential, except part of Riverview Cemetery is zoned R-2 Residential, and Timberlake Place is zoned PUD (Planned Unit Development).

Criteria to Establish a Historic Conservation District

The following criteria found in Section 34-336(c) shall be addressed by both the Planning Commission and the BAR when making recommendations. Staff's assessment of the criteria is as follows:

(1) The age of buildings and structures;

The period of significance is 1847-1962, with the majority of buildings constructed before 1920.

(2) Whether the buildings, structures and areas are listed on the Virginia Landmarks Register or the National Register of Historic Places, or are eligible to be listed on such registers;

The entire proposed district, except two vacant parcels, is currently listed on the Virginia Landmarks Register (12-17-2009) and on the National Register of Historic Places (4-12-2010).

(3) Whether the buildings, structures or areas are of locally important historic, cultural, architectural or archaeological interest;

The village's domestic buildings showcase a range of architectural styles from Gothic Revival to Craftsman/Bungalow. The resources retain a high degree of integrity and give the historic district the feel of a late-19th century industrial village.

(4) Whether the buildings, structures or areas are associated with an historic person or event or with a renowned architect or master craftsman, or have special public value because of notable features relating to the cultural or artistic heritage of the Charlottesville community;

The National Register District areas of significance include: Architecture, Industry, and Social History.

(5) Whether the buildings, structures or areas are part of a geographically definable area within which there exists a significant concentration or continuity of buildings or structures that are linked by past events or, aesthetically, by plan or physical development, or within which there exists a number of buildings or structures separated geographically but linked by association or history; and

The Woolen Mills Village has been central to the City of Charlottesville's history since the opening of a milling operation there in 1829. As a company mill town, the brick and frame dwellings in a range of styles built during the mid-19th century through the early 20th century have come to define the village. As a home for generations of families working in the Mills, the village developed into a stable neighborhood and was annexed in 1968.

(6) Whether the buildings, structures or areas, when viewed together, possess a distinctive character and quality or historic significance.

The Woolen Mills Village possesses a distinctive character and historic significance. The village displayed many of the features typical of southern mill towns – company-owned housing, a company store, a chapel. The residential portion feels far more rural than the more urban or suburban areas of Charlottesville developed in the same period. The proximity of the river, the railroad and the remaining 20th century mill buildings at the end of East Market Street are tangible reminders of the area’s industrial beginnings.

Discussion and Recommendations

1. The BAR should decide, based on the above criteria, whether it is appropriate to designate the Woolen Mills Village as a *historic conservation district*. Staff recommends that it is appropriate based on the criteria.
2. The BAR should confirm the proposed district boundary and the “contributing/non-contributing” properties. Staff recommends the National Register boundary, with the addition of two vacant parcels shown in red on the attached map dated July 2016. (ATTACHMENT #2) Staff recommends “contributing structures” as proposed on National Register map, City portion (ATTACHMENT # 3).
3. The BAR should confirm staff’s recommendation that no additional Individually Protected Properties (IPP) are proposed.
4. The BAR should define, taking into consideration information that has been provided by neighborhood residents, the architectural character-defining features of the proposed conservation district. See September 13, 2016 letter (ATTACHMENT #1)

Suggested Motion

Having considered the criteria set forth within the City Code, I move to recommend that City Council should designate the Woolen Mills Village Historic Conservation District with the boundary and “contributing structures” as recommended by staff; and

The BAR defines the architectural character-defining features of the proposed Woolen Mills Historic Conservation District as follows....

ATTACHMENTS:

1. ~~September 13, 2016 letter describing architectural character-defining features.~~
2. ~~Map dated July 2016 showing proposed boundary~~
3. ~~National Register map showing contributing/noncontributing structures (yellow dots indicate City/County boundary)~~
4. ~~May 30, 2016 letter from bill Emory requesting district designation with attachments B & C. (Attachment A was emailed)~~
5. ~~Letters received by citizens~~

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

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1. Name of Property

=====

historic name WOOLEN MILLS VILLAGE HISTORIC DISTRICT

other names/site number 002-1260

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2. Location

=====

street & number Area includes parts of Chesapeake, Franklin, Steephill, 18th NE, and East Market Streets and Riverside Avenue in the City of Charlottesville; and parts of Pireus Row and Marchant and East Market Streets in Albemarle County.

not for publication N/A

city or town Charlottesville vicinity N/A

state Virginia code VA county Independent City, Albemarle County code 540, 003

zip code 22902

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3. State/Federal Agency Certification

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As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this X nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property X meets does not meet the National Register Criteria. I recommend that this property be considered significant nationally statewide X locally. (See continuation sheet for additional comments.)

Signature of certifying official
Virginia Department of Historic Resources
State or Federal Agency or Tribal government

Date

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of commenting official/Title

Date

State or Federal agency and bureau

=====

4. National Park Service Certification

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I, hereby certify that this property is:

- entered in the National Register
 See continuation sheet.
- determined eligible for the National Register
 See continuation sheet.
- determined not eligible for the National Register
- removed from the National Register
- other (explain): _____

Signature of the Keeper

Date of Action

=====

5. Classification

=====

Ownership of Property (Check as many boxes as apply)

Category of Property (Check only one box)

private
 public-local
 public-State
 public-Federal

building(s)
 district
 site
 structure
 object

Number of Resources within Property

Contributing	Noncontributing	
<u>94</u>	<u>61</u>	buildings
<u>4</u>	<u>0</u>	sites
<u>5</u>	<u>3</u>	structures
<u>1</u>	<u>1</u>	objects
<u>104</u>	<u>65</u>	Total

Number of contributing resources previously listed in the National Register 4

Name of related multiple property listing (Enter "N/A" if property is not part of a multiple property listing.) Charlottesville, Virginia, MRA

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6. Function or Use

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Historic Functions (Enter categories from instructions)

Cat: <u>Domestic</u>	Sub: <u>Single Dwelling</u>
<u>Domestic</u>	<u>Multiple Dwelling</u>
<u>Domestic</u>	<u>Secondary Structure</u>
<u>Funerary</u>	<u>Cemetery</u>
<u>Commerce/Trade</u>	<u>Department Store</u>
<u>Commerce/Trade</u>	<u>Warehouse</u>
<u>Education</u>	<u>School</u>
<u>Industry</u>	<u>Manufacturing Facility</u>
<u>Industry</u>	<u>Waterworks</u>
<u>Transportation</u>	<u>Rail-Related</u>
<u>Religion</u>	<u>Religious Facility</u>

Current Functions (Enter categories from instructions)

Cat: <u>Domestic</u>	Sub: <u>Single Dwelling</u>
<u>Domestic</u>	<u>Multiple Dwelling</u>
<u>Domestic</u>	<u>Secondary Structure</u>
<u>Funerary</u>	<u>Cemetery</u>
<u>Commerce/Trade</u>	<u>Warehouse</u>
<u>Industry</u>	<u>Waterworks</u>
<u>Transportation</u>	<u>Rail-Related</u>
<u>Religion</u>	<u>Religious Facility</u>

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7. Description

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Architectural Classification (Enter categories from instructions)

Mid-19th Century: Gothic Revival
Late Victorian
Late 19th and 20th Century Revivals: Colonial Revival

Materials (Enter categories from instructions)

foundation brick; concrete; stone; concrete block; other

roof metal; asphalt

walls brick; wood; weatherboard; stucco; synthetic; vinyl; other: concrete block

other wood; brick; metal

Narrative Description (Describe the historic and current condition of the property on one or more continuation sheets.)

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8. Statement of Significance

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Applicable National Register Criteria (Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield information important in prehistory or history.

Criteria Considerations (Mark "X" in all the boxes that apply.)

- A owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or a grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance (Enter categories from instructions)

Architecture
Industry
Social History

Period of Significance 1847-1962

Significant Dates 1847: construction of first employee dwellings by the Woolen Mills that survive on site
1868: incorporation of the Charlottesville Woolen Mills, Inc.
1870: construction of stone dam
1885-7: platting and initial sales of Farish and Brennan farms to Woolen Mills employees
1892: founding of Riverview Cemetery
1962: closing of the Charlottesville Woolen Mills

Significant Person (Complete if Criterion B is marked above) N/A

Cultural Affiliation N/A

Architect/Builder Unknown.

Narrative Statement of Significance (Explain the significance of the property on one or more continuation sheets.)

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9. Major Bibliographical References
=====

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS)

- ___ preliminary determination of individual listing (36 CFR 67) has been requested.
___ previously listed in the National Register
___ previously determined eligible by the National Register
___ designated a National Historic Landmark
___ recorded by Historic American Buildings Survey # _____
___ recorded by Historic American Engineering Record # _____

Primary Location of Additional Data

- State Historic Preservation Office
___ Other State agency
___ Federal agency
___ Local government
___ University
___ Other

Name of repository: Virginia Department of Historic Resources

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10. Geographical Data
=====

Acreage of Property 80.40

UTM References (Place additional UTM references on a continuation sheet)

Table with 4 columns: Zone Easting Northing 1, 2, 3, 4. All cells are empty.

See continuation sheet.

Verbal Boundary Description (Describe the boundaries of the property on a continuation sheet.)

Boundary Justification (Explain why the boundaries were selected on a continuation sheet.)

=====
11. Form Prepared By
=====

name/title Lydia Mattice Brandt, Architectural Historian
organization N/A date August 27, 2009
street & number 1322 Chesapeake Street telephone 646.263.1434
city or town Charlottesville state VA zip code 22902

=====
Additional Documentation
=====

Submit the following items with the completed form:

Continuation Sheets

Maps A USGS map (7.5 or 15 minute series) indicating the property's location.

A sketch map for historic districts and properties having large acreage or numerous resources.

Photographs Representative black and white photographs of the property.

Additional items (Check with the SHPO or FPO for any additional items)

=====
Property Owner
=====

(Complete this item at the request of the SHPO or FPO.)

name Lydia Mattice Brandt, Architectural Historian

street & number 1322 Chesapeake Street telephone 646.263.1434

city or town Charlottesville state VA zip code 22902
=====

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.). A federal agency may not conduct or sponsor, and a person is not required to respond to a collection of information unless it displays a valid OMB control number.

Estimated Burden Statement: Public reporting burden for this form is estimated to average 36 hours per response including the time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the National Register of Historic Places, National Park Service, 1849 C St., NW, Washington, DC 20240.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 Page 1

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7. SUMMARY DESCRIPTION

The Woolen Mills Village Historic District is located at the eastern end of East Market Street, one of the main thoroughfares passing through the City of Charlottesville’s historic downtown area. The District is largely located within the City of Charlottesville proper, with the very easternmost portion located in the County of Albemarle. Founded as a mill village in the early 19th century to take advantage of the waterpower generated by Moore’s Creek and the Rivanna River, the Woolen Mills Village Historic District is now almost exclusively residential. It retains a high degree of architectural integrity across its 80.40 acres. Of the 69 contributing primary resources in the district (including 4 previously listed on the National Register of Historic Places as part of a Multiple Resource Area nomination passed in 1982): approximately 57 were built as single or multiple dwellings (with 1 converted in the early 20th century into a schoolhouse); 4 as industrial resources (including a dam); 3 as general stores; 2 as transportation resources; 1 as a chapel; and 1 as a cemetery. There are 16 non-contributing primary resources in the district, including approximately 14 single or multiple dwellings and 1 commercial warehouse. There are 84 secondary resources, including garages, sheds, wells, and chicken coops. 35 of these are contributing, while 49 are non-contributing. The majority of the buildings in the district were built before 1920, though the period of significance encompasses the years 1847 through 1962.

DETAILED DESCRIPTION

The Woolen Mills Village District is largely focused along East Market Street, which acts as a spine for the residential portion before taking a sharp turn south to follow Moore’s Creek where it meets the Rivanna River at the District’s eastern boundary. The gentle curve of the CSX railroad tracks, introduced to this part of Charlottesville in the 1850s, marks the southern boundary of the District. The western boundaries are defined by Leake Lane on the south side of East Market Street and 18th Street NE on the north side of East Market Street, excluding a 1930s development of land that was formerly used as a golf course. The district is largely defined to the north by the back lot lines of houses fronting on the north side of East Market Street; most of the lots on the south side of Chesapeake Street were developed after the period of significance. Riverview Cemetery and a smattering of houses built within the period of significance on the eastern end of Chesapeake Street define the northeast boundaries of the District.

The varying topography of the neighborhood dramatizes views and creates distinct sections within the community, both dividing and shielding the industrial buildings at the end of East Market Street from the residential development further west. East Market Street remains straight and a consistent thirty-five feet wide from the western edge of the District until it begins to curve and narrow at the intersection of Marchant Street to go around a hill. The industrial buildings on this narrowed portion of East Market Street are located directly on the narrowed road, perched almost precariously on the side of the hill. The railroad bridge, replacing a trestle burned in the Civil War and again in an 1882 fire, crosses over East Market Street right where it bends southeast in a strikingly acute angle to follow Moore’s Creek. This bend, further dramatized by the height of the railroad bridge, leads to the large industrial buildings constructed by the Charlottesville Woolen Mills in the 1920s-30s on the same site as previous mills dating back to the 1830s. The hill to the northwest of the mill complex further shields it from view.

Growing out of large lots platted in the 1880s, the residential portion of the District west of the bend in East Market Street feels far more rural than the more urban or suburban areas of Charlottesville developed in the same period. The

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 Page 2

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only hints of the industrial development to the east are a water tower and smokestack located on the hill. Houses on the western end of the south side of East Market Street sit on top of a ridge that climaxes with 2000 Marchant Street (DHR# 002-1260-0014), the substantial home of the Charlottesville Woolen Mills's longtime superintendent and president, Henry Clay Marchant, and Pireus Row. As East Market Street moves east towards Marchant Street and Pireus Row and the railroad rises north to meet it, lot sizes decrease and houses are built into the ridge itself. The driveway for 1702, 1704-06, 1708-10, and 1712 East Market Street (DHR# 002-1260-0063, -0065, -0067), for example, is cut into the side of the ridge, while 1718 East Market Street (DHR# 002-1260-0071) has an English basement on its north-facing façade.

A valley serves as a natural divide between the houses on the north side of East Market Street and the south side of Chesapeake Street. Created in part by a small creek that runs between the streets, this valley creates significant slopes that have allowed for English basements in a majority of the houses on the respective north and south sides of these two thoroughfares. The small valley has also created unique conditions for the few houses built between the two streets: the sites for 210 18th Street NE (DHR# 002-1260-0082), 313 Steephill Street (DHR# 002-1260-0081), and 203 and 202 Riverside Avenue (DHR# 002-1260-0005, -0080) are nestled in between the two slopes and streets, creating relatively private lots that are quite different from the hilltop buildings just a block away.

Another hill rises from the north side of Chesapeake Street. The crest of the hill was developed into Riverview Cemetery in the 1890s, taking advantage of the views southeast to Montalto and northwest to the bend of the Rivanna River. Burials within the cemetery are concentrated on the south side along Chesapeake Street and on the crest, where the earliest graves are located. The river bluff along the bend in the Rivanna remains undeveloped.

INDUSTRIAL RESOURCES

The industrial resources in the District are relatively recent, though they are literally built on the foundations of previous mills. Very little survives of the 19th-century factories. Destroyed by multiple fires or demolished to make way for newer and more modern buildings, these resources are largely understood only through photographs. The foundation of the four-story factory built directly onto Moore's Creek after the 1883 fire is an exception: it can be seen beneath the parking lot of the present mills from across the creek. Stone foundations of other buildings are visible beneath the current mill building.

The majority of the surviving mill buildings are of brick and concrete and were built in two principal phases: ca. 1900 and in the 1920s-30s. The warehouse at 1900 East Market Street (DHR# 002-1260-0001), the Riverside Shop next to the current mill buildings, and the power station with smokestack on East Market Street were built at the turn of the century. They are solidly built, brick buildings. While the warehouse and the Riverside Shop have smaller windows and bays (signifying their uses as auxiliary rather than production structures), the powerhouse has large, metal, glazed industrial windows. The water tower and stone building on the mill parcel also appear on the Sanborn maps for this era. They were surely accompanied by other secondary features that were demolished after the Mills closed in the 1960s.

The surviving mill buildings at the end of East Market Street were built in the 1920s-30s on approximately the same site as the previous mill buildings. Because they relied entirely on electric (rather than hydraulic) power and used

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 Page 3

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ground (rather than river) transportation, these buildings are set farther back from the river and creek to allow for a large parking lot and road access from both Broadway Avenue and East Market Street. The two side buildings were constructed first in the 1920s for weaving and finishing. The main factory was replaced in the 1930s by the present brick structure and accompanying one-story dye house (now used primarily as a loading dock). Built of brick and concrete with large industrial windows and saw-tooth roofs, these buildings were not as architecturally distinctive as the 19th-century mills that came before them, but they were larger and organized production more efficiently. When the buildings were sold in the 1960s, they were emptied of all mill equipment and machinery.

Other historic secondary resources, including the now-ruined dam and the railroad bridge, accompany the industrial complex and further signify this area's industrial heritage. The dam that was removed in 2007 was built in 1870. All that remains are large stone blocks on either side of the Rivanna River. This stone dam replaced an earlier system of locks and a timber crib construction dam built in 1829 to facilitate transportation along the river. These dams helped to power the mills on the site until the Charlottesville Woolen Mills began to rely entirely on electric power in the early 20th century.

The 20th-century mill buildings largely remain intact. The mill complex at Moore's Creek remains a single parcel, including a number of secondary resources. Because the complex has been and continues to be operated as a hub for a moving company, the loading docks continue to be employed, the main mill buildings are used for storage, and the smaller buildings are largely vacant. The power plant is in a ruined state, while the warehouse at 1900 East Market Street (DHR# 002-1260-0001) has been broken up into condominiums. The industrial area of the Woolen Mills Village, once its heart and center, is now largely silent.

DOMESTIC RESOURCES

Most of the sizes of domestic lots in the Woolen Mills Village historic district are relatively deep, with houses maintaining a relatively consistent distance from the street. Because of the valley between Chesapeake and East Market Street, houses on the southeast end of Chesapeake Street and on East Market Street east of Steephill Street are especially close to the street. Although individual property owners subdivided the lots from larger parcels, the street-frontage is relatively consistent for houses east of Riverside Avenue, especially on the north side of East Market Street. Lots on Chesapeake Street and those perched on the ridge on the south side of East Market Street tend to be somewhat larger. There are exceptions to these generalizations. The house at 1809 East Market Street (DHR # 002-1260-0073) was built in two stages, the second addition sitting almost on the street. Its lot retains its original one-acre as platted and sold in 1887 in addition to a portion to the north. The house at 1700 Chesapeake Street (DHR# 002-1260-0086), meanwhile, sits on the original lot sold to William J. Lucado in 1901 for \$150. He was the caretaker for Riverview Cemetery and built the first part of 1700 Chesapeake Street (DHR# 002-1260-0086) on the lot that same year. The lots on Pireus Row, Marchant Street, and east of Riverside Avenue on East Market Street are the most irregular. Because the Charlottesville Woolen Mills (and its predecessors) owned and developed this land for over a century, individual parcels were not determined until they sold the buildings in the 1950s-60s. The result is polygonal-shaped, irregular lots.

Even before the 1868 incorporation of the Charlottesville Woolen Mills, the company built housing for its workers out of necessity. The factory was too far from Charlottesville to walk to and the land surrounding the Mills was either

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 Page 4

=====

private farmland (then part of The Farm with its house on East Jefferson Street) or owned by the Mills. As was common in company towns, the Mills built duplexes in order to maximize the number of employees (and their families) that could live in a given building. The roughly identical, elaborately detailed, two-unit, American bond brick, Gothic Revival dwellings at 1907, 1909, and 1911 East Market Street (DHR# 002-1260-0006, -0020, -0021) were most likely built as part of an upgrade of the mill village in the 1840s. The high-pitched gable roofs and delicately carved bargeboards are typical of the style popularized by Alexander Jackson Downing and disseminated via picturesque pattern books in this period. Sanborn Maps suggest an additional multi-unit dwelling was built as part of this series of worker’s housing.¹ This building was later demolished, making the three duplexes the only surviving dwellings of the village’s pre-Civil War period. The Pireus Tavern at 1901 East Market Street (DHR# 002-1260-0004) was also most likely built and operated as a company store in this phase. Its façade is laid in Flemish Bond, while its side and rear elevations in five-course American bond are more akin to the eight-course of the three duplexes. It is possible that because 1901 East Market Street (DHR# 002-1260-0004) was constructed as a public building, its façade utilized the more refined brickwork than the workers’ dwellings built at the same time. This series of buildings was later called “under the hill,” while Pireus Row and the houses on the south side of East Market Street were described as being “on the hill.”

As the business grew after the Civil War and became the prosperous Charlottesville Woolen Mills, additional housing became necessary. It is most likely that the five houses on Pireus Row were built in the 1870s, oriented to the Central Virginia Railroad lines just to the north. While 2016 and 2002 Pireus Row (DHR# 0002-1260-0025, -0028) are single dwellings, 2008, 2014, and 2020 Pireus Row (DHR# 0002-1260-0027, -0026, -0024) are all duplexes. The duplexes at 2014 and 2008 Pireus Row (DHR# 002-1260-0026, -0027) are nearly identical; built on random rubble foundations, both buildings relegate the two separate entrances to the outer bays, creating an impression of two distinct residences. While 2016 Pireus Row’s (DHR# 002-1260-0025) shed-roof and square footprint are unique for the period and the building is difficult to date, it is highly likely that this dwelling or another on its site was built in this period. The duplex at 2020 Pireus Row (DHR# 002-1260-0024) is an L-shaped building located at the end of the ridge. If the trees around the building were not so large, the building would look almost directly down onto the factory itself. Judging from the size of the building and its circulation elements (multiple “front” doors, a two-story exterior stair in the rear), it was most likely built as a duplex as well. The Pireus Row houses are vernacular, with some Victorian details.

The Charlottesville Woolen Mills also built a house for its superintendent and eventual president: Henry Clay Marchant. The most substantial domestic building in the Woolen Mills Village Historic District, the frame Marchant House at 2000 Marchant Street (DHR# 002-1260-0014) commands an impressive view from its hilltop site. The central, three-bay main block was most likely built first. The prominent cross-gable recalls the brick duplexes “below the hill.” The mansard-roofed and front-gabled side wings were most likely added in the following few decades. Its two-story detached kitchen was most likely built simultaneously with the house, and is where Marchant employed an African American female cook in the 1880s. The kitchen was located on the first floor, with an apartment above.

As farmland adjoining the Mills became available in the 1880s and the Charlottesville Woolen Mills was busy upgrading and adding to their industrial complex at the end of East Market Street, individuals – mostly employees of the mill – began to build houses on both sides of East Market Street and on the south side of Chesapeake Street. Out of the twenty-seven dwellings built between 1885 and 1900, only five were constructed by the Charlottesville Woolen

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 Page 5

=====

Mills as company housing. Unlike the houses built by the Mills in the preceding decades, these dwellings were for single families. While the north side of East Market Street and the south side of Chesapeake were only platted between 18th Street NE and Riverside Avenue (the rest remained farmland), the south side of East Market Street was platted into large lots well beyond 18th Street NE. The residential development between 1885 and the 1920s, therefore, extended further west on the south side of East Market Street than the north. An additional six houses were built in the District between 1900 and 1920.

These houses built between 1885 and 1920 represent a limited group of similar vernacular styles. Their ubiquitous front porches most often feature Colonial Revival details such as simplified Doric columns and squared posts with chamfers or the carved bargeboards, turned posts, and knee braces of the Late Victorian vernacular. They were most likely built by the same local builders and the designs chosen from pattern books. Most are of relatively modest size; none rivals the Marchant House. The few houses built by the Charlottesville Woolen Mills are indistinguishable from the privately constructed houses built in this period; the Mills most likely employed the same builders and used plans from the same sources as their employees.

Houses with square or irregular footprints, side-passage plans, front porches, and hipped or complex gabled roofs are the dominant dwelling type of single dwellings built in the 1885-1920 period. Roughly half of the houses built in these years are variations on this type. Some have irregular footprints created by recessed entrance bays. The house at 1709 East Market Street (DHR# 002-1260-0066), for example, is a two-bay, two-story, hipped-roof dwelling with a side-passage plan and an irregular footprint. A flat-roofed, full-width, one-story porch with brackets and lamb's tongue chamfered posts shades a single 2/2 double-hung window in the west bay and the door in the recessed east bay. The two second-story bays each have a single 2/2 window. Built in 1889-96 by Archibald Blair, the building has been recently restored and brackets have been returned to the cornice underneath the overhanging eaves. The house at 1606 East Market Street (DHR# 002-1260-0045), built by Mill employees MC and Bettie Harlow in 1916-17, is an outstanding hipped-roof, brick example of this type with a recessed entrance bay. The brick is laid in Flemish bond with glazed headers on all elevations and features a gabled wing on the west that reads as an additional bay from the north-facing façade.

The District also includes a collection of I-houses. Seven frame I-houses were built between 1885 and 1900. Most have side-gabled roofs with a central cross-gable. The houses at 1809 East Market Street (DHR# 002-1260-0073) and 1729 Chesapeake Street (DHR# 002-1260-0088) most likely started out as side-passage dwellings, but were enlarged in the early 20th century. Their facades were amended, adopting the appearance of the vernacular I-house. The Timberlake-Branham House at 1512 East Market Street (DHR# 002-1260-0037) is one of the most striking of this series of early buildings. Built ca. 1886 by James E. Timberlake, a foreman at the Charlottesville Woolen Mills, the house occupies an extensive hilltop site that Timberlake himself never subdivided. Its two-story, three-bay, single-pile original block has a distinctive two-story semi-octagonal addition at the eastern end built sometime in the early 20th century.² The house at 313 Steephill Street (DHR# 002-1260-0081), built as worker's housing by the Woolen Mills ca. 1897, is another variation on the I-house. It has a hipped-roof and two prominent cross-gables. The gables' prominent boxed cornices and returns are reminiscent of the Marchant House at 2000 Marchant Street (DHR# 002-1260-0014).

Seven one-story houses were built in the 1885-1920 period as well. Most have side-gabled roofs and are located on

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 Page 6

hillside lots that allow for full English basements. The house at 1730 Chesapeake Street (DHR# 002-1260-0089) is one of the few brick buildings built in this period. Constructed as worker's housing by the Charlottesville Woolen Mills ca. 1897, it is a one-story, three-bay, side-gabled house with an English basement perched on the south side of Chesapeake Street.

While the Charlottesville Woolen Mills did not provide housing for all of the new workers living in the village in the 1880s and 1890s, they did provide a number of amenities. Dating to 1887, the Woolen Mills Chapel was the first auxiliary structure built to support the social lives of the workers. Although the small chapel was constructed via private subscription, the land was donated by the Mills and the building is located "below the hill," extending the row of mill buildings begun with the pre-Civil War company store and three brick dwellings (1901, 1907, 1909, and 1911 East Market Street, DHR# 002-1260-0004, -0006, -0020, -0021). Built in the Carpenter Gothic style also popularized in the mid-19th century by A.J. Downing, the chapel is also on a direct sight line with the Marchant House up on the hill. The addition on the west elevation was built in 1908 to serve the growing Sunday school. In 1902, the Charlottesville Woolen Mills purchased 1701 East Market Street (DHR# 002-1260-0059) and converted it into a schoolhouse. The building had been built as a house by Charles F. and Maggie Fausler in 1888-89. It was also later amended to serve the growing number of schoolchildren.

The Woolen Mills Village never again saw a boom of residential building like the 1885-1900 period. Only seven houses were built between 1920 and 1940, mostly in vernacular variations of the Craftsman Bungalow style. The house at 106 Leake Lane (DHR# 002-1260-0098) is perhaps the District's supreme example of the Craftsman Bungalow. The one-and-a-half-story house features a dramatic, high-pitched side-gabled roof and a cross-gabled front porch that covers over half of the façade. The entire house is clad with stucco and the roof and both gables have turned eaves. The window and door details are especially reminiscent of Craftsman Bungalows. The house at 1506 East Market Street (DHR#002-1260-0033) is an example of the hipped-roof version of this building type constructed as late as the 1950s in the neighborhood. It is a one-and-a-half-story frame dwelling with a full-width porch and a front-gabled dormer with three small casement windows. The house at 1803 Chesapeake Street (DHR# 002-1260-0091), meanwhile, is the District's only foursquare. Built in 1926-27 by ET and VE Berry, it has a hipped-roof and Colonial Revival details.

Only three houses were built in the District in the 1940s. Like the houses built from 1920 through 1940, these houses are smaller than those built in the late 19th century and first decades of the 20th century. Although some of the houses built from in the 1920-40 period have concrete block foundations, the three 1940s houses mark the introduction of block as the primary building material. The house at 1504 East Market Street (DHR# 002-1260-0032) is a concrete block, three-bay, one-and-a-half-story, side-gabled dwelling with a hipped-roof and dormers. Built in 1942-43, the full-width portico features Colonial Revival details.

The five houses built in the 1950s and early 1960s are largely one-story Cape Cods, even smaller than those houses built in the preceding decades. The houses at 1703 and 1705 East Market Street (DHR# 002-1260-0061, -0062) are mirror images of one another. Built in 1958-60 by JL Lively, Jr. and Joyce Lively, these one-story, two-bay, side-gabled houses each have a front-gabled porch sheltering the entrance bay.

The 1950s also introduced what became the dominant type of non-contributing building in the district: the ranch

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 Page 7

=====

house. The ranch house at 1603 East Market Street (DHR# 002-1260-0044), built by Roy Baltimore ca. 1977, is typical of this type. Built into the rise on the north side of East Market Street, this one-story, side-gabled brick house has a full English basement. The four bays of the façade feature a pair of windows, two single windows, and a single door and stoop located roughly in the center of the building.

While all of the houses built in the 1885-1959 period were single-family dwellings, the District does have a handful of non-contributing duplexes built after the period of significance. The buildings at 1731 and 1733 Chesapeake Street (DHR# 002-1260-0105, -0106) and 1704-06 and 1708-10 East Market Street (DHR# 002-1260-0063, -0065) are two-unit dwellings. Most non-contributing dwellings – including the duplexes on East Market Street – have inoperable shutters, porches, or other features in common with the late 19th and early 20th-century houses, though they were clearly built after the period of significance.

A majority of the houses in the District maintain a high degree of integrity and some have been lovingly restored or thoughtfully amended. The house at 1729 Chesapeake Street (DHR# 002-1260-0088) is a two-story, side-gabled, three-bay, weatherboard I-house with a full-width front porch. A one-and-a-half story, side-gabled, two-bay addition has been built recently on the west side elevation. It is sympathetic with the main block and connected with a bathroom hyphen that has a single window. The addition has two shuttered 1/1 windows and a cross-gable with a round window that echoes the small central cross-gable of the main block. The house at 1901 East Market Street (DHR# 002-1260-0004) has a two-and-a-half-story addition on the east side of the house that doubles the size of the house. The front gable of the brick addition mimics that of the original block to the west. Alterations such as replacement windows and siding are common throughout the district.

There are a number of outbuildings in the District, many of which were erected during the 1885-1920 period. The small frame outbuilding behind 1606 East Market Street (DHR# 002-1260-0045), for example, most likely dates to the construction of the house in 1916-17. The front-gabled, single-story shed is covered with a corrugated metal roof (most likely a replacement) and sits on a solid, brick foundation. A single door is located on the north/house-facing façade and a six-panel casement window is located on the east elevation. The house at 1610 East Market Street (DHR# 002-1260-0048) has a substantial, frame, two-story barn associated with it. Mill supervisor Warren S. Graves most likely built the barn when he built the house between 1886 and 1900. The wood-framed barn is covered with board and batten siding and is raised on a series of short brick piers. It is likely that it was used to store corn, grains, or other types of food that needed to be kept dry and away from animals. Because of the relatively rural nature of the District, it is likely that in the late 19th century there were more of these larger types of agricultural outbuildings that have since been demolished.

Recently-erected, pre-fabricated metal sheds supplement both contributing and non-contributing resources. Garages are not as common as sheds, though some houses have metal or cinderblock buildings constructed both before and after the period of significance. There are also a handful of non-contributing outbuildings that have been built recently to emulate historic structures. The house at 1907 East Market Street (DHR#002-1260-0006) has a new wood-frame shed that sits on a brick and wood post foundation and mimics a privy. Its side-gable roof is covered with wooden shingles and it has a casement window on its east elevation.

Most of the resources in the Woolen Mills Village are in good condition. There are few entirely modern buildings to

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 Page 8

=====

detract from the feeling of a late 19th- and early 20th-century mill village. Since the Mills ceased to operate in the early 1960s, the village has become almost entirely residential.

ENDNOTES

¹ Sanborn Fire Insurance Company, Map, City of Charlottesville (1902), sheet 14.

² Sanborn Fire Insurance Company, Map, City of Charlottesville (1920), sheet 33.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 9

WOOLEN MILLS VILLAGE HISTORIC DISTRICT INVENTORY

18th Street, NE

208 18th Street, NE 002-1260-0109

Other DHR-ID:

Primary Resource Information: Shed, Stories 1.00, Style: Other, ca 2000

July 2009: A small, one-story, one-room, shed-roofed frame shed is located in the northeast corner of the lot. It has a single door on its west-facing façade.

<i>Individual Resource Status: Shed</i>	Non-Contributing	<i>Total:</i>	1
<i>Individual Resource Status: Well/Well House</i>	Non-Contributing	<i>Total:</i>	1

210 18th Street, NE 002-1260-0082

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1890

July 2009: This is a three-bay, two-story, frame house with an English basement and a raised, hipped-roofed front porch that stretches across the northern two bays of the first floor. The house features new siding, railing, and posts. The house has regularly placed 4/4 double-hung windows. There is a side gabled roof covered in asphalt shingles with one exterior side chimney that is framed in on the southern elevation. Stairs lead to the central bay of the raised porch. The front door has a single-light, rectangular transom. Several additions extend in the rear.

<i>Individual Resource Status: Single Dwelling</i>	Contributing	<i>Total:</i>	1
<i>Individual Resource Status: Shed</i>	Non-Contributing	<i>Total:</i>	2

214 18th Street, NE 002-1260-0083

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1897

July 2009: This house is a two-story, two-bay, stucco-clad dwelling with an English basement accessible from below the front porch. While the main block of the house is single-pile with a side gable roof clad in standing-seam metal, a cross-gabled wing attached to the east elevation is flush with the north elevation, a porch on the building's northeast corner, and a sunroom on the south side of the first floor. A three-bay porch stretches across the entire façade with posts, inset panels, and melding and square spindles. There is a stuccoed interior chimney, cornice returns, and overhang eaves. Its windows are 2/2 double-hung and are regularly distributed.

<i>Individual Resource Status: Single Dwelling</i>	Contributing	<i>Total:</i>	1
<i>Individual Resource Status: Garage</i>	Non-Contributing	<i>Total:</i>	1

Chesapeake Street

1504 Chesapeake Street 002-1260-0085

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.50, Style: Colonial Revival, 1942

July 2009: The house is a concrete block, three-bay, one-and-a-half-story dwelling with a hipped-roof, ground level portico and a side-gabled roof. The portico extends to almost the full length of the façade and is supported by four simplified Doric columns with a plain entablature. An exterior brick chimney is attached to the west side of the house. Two gabled dormers line the roof on both the front and the rear elevations. The door is in the central bay, while each of the side bays features a single 4/ 1 double-hung window with vertical mullions. The house has a single-room sunroom with a side-gabled roof and boxed cornice attached to the southwest corner.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 10

=====
Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

1700 Chesapeake Street 002-1260-0086

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1901**

July 2009: This single story, stucco-clad house has two main sections with several small additions. The main (most likely probably original) block has a side-gabled, standing-seam metal roof and a central brick interior chimney. The west elevation has a single door and a 6/6 double-hung window. A one-story, side-gabled addition was built attached to the north elevation and extends westward. It has two 6/6 double-hung windows and a shed-roofed porch stretches across the entire southern elevation, shading the entrance in the main block as well. A more modern addition is attached to the southern elevation of the main block.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

1701 Chesapeake Street 002-1260-0087

Other DHR-ID:

Primary Resource Information: **Cemetery, 1892**

July 2009: Riverview Cemetery is laid out in a six-part grid with three roughly equal rectangular areas separated by asphalt roads on either side of a north-south axis. The north-south axis continues past the grid to the north and loops back south, where it parallels the exterior of the grid and ends at Short 18th Street in an informal entranceway. The edges of the grid are rounded and the roads are without curbs and relatively narrow, serving vehicular traffic without being over-scaled for pedestrians. The main entrance is on Chesapeake Street, where the north-south axis of the main grid is flanked on either side by stone pylons that terminate the low stone and random rubble retaining walls that line the cemetery's south edge along the street. Small groups or pairs of trees (mainly cypress) and bushes (mainly boxwoods) are planted throughout the cemetery, mostly in grid arrangements. Graves are distributed in rough rows, with a few family plots surrounded by low marble curbs. Most grave markers are modest and some have footstones. A handful feature small obelisks or sculptures of angels or Jesus Christ. Recent graves are interspersed with others dating as far back as the 1890s. The oldest graves are clustered in the northwest corner of the cemetery beneath a series of trees and along a concrete sidewalk leading to the Jessup Mausoleum at the crest of the hill. A small pet cemetery is located in the southeast portion of the cemetery's grid. Two large sheds shelter maintenance vehicles on the eastern edge of the cemetery, while two brick offices and an additional mausoleum are located on the main north-south axis. A large, multi-family mausoleum is located just to the northeast of the Lewis graves and Jessup Mausoleum.

Individual Resource Status: **Office/Office Building.** **Contributing** *Total:* 1

Individual Resource Status: **Office/Office Building.** **Non-Contributing** *Total:* 1

Individual Resource Status: **Mausoleum** **Contributing** *Total:* 1

Individual Resource Status: **Mausoleum** **Non-Contributing** *Total:* 2

Individual Resource Status: **Cemetery** **Contributing** *Total:* 1

Individual Resource Status: **Shed** **Non-Contributing** *Total:* 2

1729 Chesapeake Street 002-1260-0088

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, 1899**

July 2009: This house is a two-story, side-gabled, three-bay, vernacular I-house covered with weatherboard. The central cross gable features a small circular window and is filled with wooden shingles. There is one exterior chimney attached to the east elevation and one internal brick chimney in the original block. A porch shades most of the first

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 11

=====

floor and has a hipped roof. It is supported by four free-standing and two engaged turned posts with knee braces. There is a 2/2 sash window in each bay of the façade except for the central bay, which features the double door with a simple architrave. The porch has a balustrade with square posts and is approached by a series of wooden steps. There is a one-and-a-half story, side-gabled, two-bay addition attached to the west elevation.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Other	Non-Contributing	<i>Total:</i>	1

1730 Chesapeake Street 002-1260-0089

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, ca 1897**

July 2009: This house is a three-bay, one-story brick house with a side-gabled roof and an English basement. A common-bond brick addition is attached to the southwest corner of the building. The original brick building was laid in seven-course American bond. A porch stretches across the main block's two western bays and extends to cover a carport and run flush with the western elevation of the addition. It is covered in standing-seam metal. The main entrance is in the original building's central bay. The main block has a single door in the central bay and a single 2/2 double-hung window in each of the side bays with segmented two-course arches above them. There are exposed rafter tails visible under the asphalt-shingle-covered roof with overhanging eaves.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Contributing	<i>Total:</i>	1

1731 Chesapeake Street 002-1260-0105

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, ca 1970**

July 2009: This two story duplex is symmetrical, with two dwelling units that are mirror images of each other. This is a frame building with a brick veneer. The side gable asphalt roof has a portion in the front that dives down almost vertically to cover most of the second story facade and form a shallow roof for the porch. There are two paired sets of 1/1 aluminum windows on each floor. The porch has metal railings and no posts. The entrances for both units open onto to the porch and each is accessed by its own set of concrete stairs.

<i>Individual Resource Status:</i> Multiple Dwelling	Non-Contributing	<i>Total:</i>	1
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1733 Chesapeake Street 002-1260-0106

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, ca 1970**

July 2009: This single-story, front-gabled, duplex sits on a concrete block English basement. There are two entrances up to the raised first floor, one on the east corner facing the street, the other on the west elevation near to the street. The frame building is clad in a material similar to particle board, giving an appearance similar to wood but showing signs of wear. There are no windows on the south-facing facade, facing the street. A concrete block stoop with a metal railing leads to the west entrance, while a wooden staircase leads to the south entrance.

<i>Individual Resource Status:</i> Multiple Dwelling	Non-Contributing	<i>Total:</i>	1
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**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 12

1800 Chesapeake Street 002-1260-0090

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, 1887

July 2009: This house is a three-bay, one-story, side-gabled house with an English basement that has been substantially altered, making it difficult to date by eye. A rear addition appears to date from the 1940s-50s. The original portion has also been clad in asbestos siding and has an asphalt shingle roof as well. The original foundation has been stuccoed over. A porch with a shed roof and square wooden posts stands over a cement platform at grade in the central bay. Each of the two side bays has a single 2/2 aluminum window.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Barn	Contributing	<i>Total:</i>	1

1803 Chesapeake Street 002-1260-0091

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.50, Style: Colonial Revival, 1926

July 2009: This two story, two-bay house combines Arts and Crafts and Colonial Revival details. The house is brick laid in Common bond with a four square layout, an English basement, and a hipped roof. The porch stretches across the entire first floor and has a simple balustrate with square spindles. It is supported by tapered, bungalow style posts raised on brick plinths. The door is located in the west bay and marked by an eight-light transom and five-light sidelights. A three-part window is in the first floor's east bay, while a single window is in each of the second-story's bays. There is a two-story, side-gabled, one-bay addition off of the west side of the house. The main block of the house has a hipped-roof dormer with a pair of casement windows.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Contributing	<i>Total:</i>	2
<i>Individual Resource Status:</i> Garage	Contributing	<i>Total:</i>	1

1803.5 Chesapeake Street 002-1260-0092

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, 1959

July 2009: This four-bay, single-story house has a concrete block foundation, is covered with a side-gabled roof, and fronted with a two-bay, single-story front-gabled porch with decorative iron porch supports and railing shading the westernmost two bays. The house contains regular fenestration with three 2/2 double-hung windows marked by wooden shutters and lintels. The door is located in the second bay from the western edge of the house.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Garage	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Contributing	<i>Total:</i>	1

1804 Chesapeake Street 002-1260-0093

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Victorian, Folk, 1906

July 2009: This two-story, three-bay single pile house with Victorian vernacular details is covered by an asphalt shingle, side-gabled roof. The frame house is clad in weatherboard with 2/2 double-hung windows in the façade's two side bays. The house has a full width front porch supported by four freestanding and two engaged turned posts with knee braces and covered by a standing-seam metal shed roof. An exterior, brick chimney is located on the west elevation. There is a single story addition to the rear.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 13

=====
Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

1805 Chesapeake Street 002-1260-0094

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1931**

July 2009: This frame, one-and-a-half-story, three bay house contains a full width front porch, is covered by a hipped roof, and has a central shed roof dormer with two windows. Four simplified Doric columns support the porch with a picket-fence-like balustrade. The roof of the porch is an extension of the building's low, hipped roof.

The house has a brick foundation and is covered in synthetic siding that mimics wood. A single 6/6 double-hung window is in the west bay, a single door in the central bay, and a pair of 6/6 windows in the eastern bay. The porch is approached by four wooden steps and the roof is covered in asphalt shingles.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

Individual Resource Status: **Shed** **Non-Contributing** *Total:* 1

East Market Street

Primary Resource Information: **Dam, 1870**

Other DHR-ID:

July 2009: The downstream face of the dam was constructed of courses of large blocks of rock or quarry-faced stone. Four courses of stone are visible above the water line now in late summer. The dam was partially removed resulting as part of a Memorandum of Agreement in March 2007. The dam's original abutments on both riverbanks were left in place—the original head race and lock system. A 50 ft. section of the dam was left in place for purposes of historical interpretation. These ruins consist of large cut stones.

Individual Resource Status: **Dam** **Contributing** *Total:* 1

Primary Resource Information: **Bridge, 1865**

Other DHR-ID:

July 2009: The railroad bridge is a 200-foot-long iron bridge across Moore's Creek where it meets the Rivanna River. It is a single span bridge with a wooden walkway on the northern side. The walkway has a simple wooden balustrade. The trestle is supported by large ashlar masonry pillars.

Individual Resource Status: **Bridge** **Contributing** *Total:* 1

1502 East Market Street 002-1260-0031

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Other, 1951**

July 2009: This house is a one-and-a-half-story, three-bay dwelling sitting on a concrete block foundation with a crawl space. The front entrance is in the central bay and is accessed through a front porch that extends almost the full length of the façade. The shed-roofed front has a balustrade of square spindles that continues along the brick stairs leading to the front door in the central bay. The porch is supported by four square posts with abstracted Doric capitals. Two gabled dormers puncture the side-gabled roof and an exterior brick chimney stands at the west side of the house. The first floor features paired, 6/6 double-hung, vinyl windows in each of the two side bays, while the dormers have 1/1 windows.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

Individual Resource Status: **Garage** **Contributing** *Total:* 1

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 14

1504 East Market Street 002-1260-0032

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.50, Style: Craftsman, 1922

July 2009: This house is a one-and-a-half-story, three bay frame structure with a full width front porch sheltered by the main hipped roof. The front porch features thin, simplified Doric columns and railings with square spindles. The house has an asymmetrical facade with an off-center entrance and a single 6/1 double-hung window in each of the two side bays. Above the front porch is a central, front-gabled dormer with a three-part, simplified and squared Palladian window. Two internal brick chimneys, one towards the front and one towards the rear, mark the house's hipped roof and the building rests on a brick foundation.

Individual Resource Status: Single Dwelling

Contributing Total: 1

Individual Resource Status: Shed

Non-Contributing Total: 2

1506 East Market Street 002-1260-0033

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.50, Style: Craftsman, 1922

July 2009: This house is a one-and-a-half-story, three bay frame structure with a full width front porch sheltered by the main hipped roof. The front porch features thin, simplified Doric columns and railings with square spindles. The house has an asymmetrical facade with an off-center entrance and a single 6/1 double-hung window in each of the two side bays. Above the front porch is a central, front-gabled dormer with a three-part, simplified and squared Palladian window. Two internal brick chimneys, one towards the front and one towards the rear, mark the house's hipped roof and the building rests on a brick foundation.

Individual Resource Status: Single Dwelling

Contributing Total: 1

Individual Resource Status: Shed

Non-Contributing Total: 2

1510 East Market Street 002-1260-0035

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, 1949

July 2009: This house is a single story house with two parts joined roughly flush at their respective east-west elevations. Each of the two parts has a side gabled roof clad in asphalt shingles. The entrance is on the smaller part to the east, accessible through a screened-in porch. The main part of the building has two bays and the eastern bay has a set of two 6/6 double-hung windows, while the west has a single 6/6 window. The house's other windows are also 6/6 double-hung. A brick interior chimney rises out of the center of the larger portion.

Individual Resource Status: Single Dwelling

Contributing Total: 1

Individual Resource Status: Shed

Non-Contributing Total: 1

1512 East Market Street 002-1260-0037

Other DHR-ID: 104-0232

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1886

July 2009: This two-story, three-bay, single-pile, weatherboarded house set on a low brick foundation is a somewhat elongated I-house. There is a two-story semi-octagonal addition with a side-gabled roof at the eastern end and a series of one-story additions at the southwest rear corner. The roof is covered with standing-seam metal and has projecting eaves and verges and shaped rafter ends behind corner fascia, with returns in the central cross gable only. There is an interior capped chimney on each side of the central hall. Windows are 6/6 double-hung with plain trim. The one-story, one-bay central entrance porch has a low-pitched hipped roof, chamfered square pillars with simple knee braces, and a simple balustrade of square spindles. The rear elevation is covered by a one-story back porch with a concrete floor and a nearly flat roof. The addition nearest the main house matches it in most details and was probably the

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 15

=====

kitchen or servants' quarters. The house was rehabilitated in 1989 and adapted for use as an adult care center. A complex of one-story wings at the southwest corner was replaced with the present wing with its gabled roof, 1/1 windows, and multiple entrances.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1
Individual Resource Status: **Shed** **Non-Contributing** *Total:* 1

1516 East Market Street 002-1260-0040

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, 1916**

July 2009: This house is a two-story, two-bay, brick structure with a side passage, double-pile layout. The house has a hipped roof with a central cross gable with returns and a boxed cornice. The house has regular fenestration with a single 2/2 double-hung window with a jack arch lintel in each of the two second-story bays and a 2/2 window in the east bay of the first-story. Its elevated, hipped-roof porch is raised on concrete block and has a poured concrete floor. It stretches almost the full length of the façade and features turned posts and a replaced railing of square spindles.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1
Individual Resource Status: **Shed** **Non-Contributing** *Total:* 1

1600 East Market Street 002-1260-0041

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, 1917**

July 2009: This is a two-story, two-bay, side-passage plan frame house with a brick basement. The side-gabled roof has a central cross gable with a boxed cornice and returns and a square ventilated opening. A rectangular paneled transom stands over the front door in the eastern bay. A hipped-roof porch shades most of the 1st story, raised on a solid concrete block foundation and approached by a series of wooden steps. The porch features turned posts and balustrades with delicate ornamental knee braces. Each of the other three bays of the façade has a single 2/2 double-hung window and the upper floor's windows have shutters. A series of additions are attached to the back of the building, raised on concrete block foundations.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1
Individual Resource Status: **Shed** **Contributing** *Total:* 1

1601 East Market Street 002-1260-0042

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, 1891**

July 2009: This frame house has two bays, a side-gabled roof, two stories, and a side-passage plan. A hipped-roof front porch covers most of the façade's first story. It has a poured concrete floor, square wooden posts with sawn knee braces and block bases. The door is located in the east bay and has a single-light, rectangular transom, while single 2/2 double-hung windows are located in the façade's other 3 bays. The house rests on a brick English basement and its roof is covered in standing-seam metal. The basement in the rear of the house has been enclosed by concrete block walls in between the brick pylons that support the back of the house.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1
Individual Resource Status: **Shed** **Non-Contributing** *Total:* 1
Individual Resource Status: **Garage** **Contributing** *Total:* 1
Individual Resource Status: **Well/Well House** **Non-Contributing** *Total:* 1

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Woolen Mills Village Historic District
Charlottesville, Virginia

Section 7 (Inventory) Page 16

=====

1602 East Market Street 002-1260-0043

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, ca 1947

July 2009: This house is a one-story, three-bay, front-gabled, concrete block dwelling with a one-bay, gabled stoop in the center of the façade shading the house’s main entrance. The house has a metal, standing-seam roof and an interior brick chimney. Each of the two side bays of the façade has a single 6/6 double-hung window.

Individual Resource Status: Single Dwelling **Contributing** *Total:* 1

1603 East Market Street 002-1260-0044

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, ca 1977

July 2009: This house is a one-story, four-bay, brick dwelling with a side-gabled roof. The entrance is in the third bay from the west and is slightly elevated from ground level by a series of stairs with a slender metal railing. An English basement is built into the house’s sloping site. A pair of 1/1 double-hung windows is located in the façade’s eastern bay, while the two eastern bays have single 2/2 double-hung windows.

Individual Resource Status: Single Dwelling **Non-Contributing** *Total:* 1

Individual Resource Status: Shed **Non-Contributing** *Total:* 1

1604 East Market Street 002-1260-0030

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1890

July 2009: This house is a two-story, two-bay, frame dwelling with an irregular footprint and a side passage plan. The house is covered in weatherboard siding and has a very low-pitched hipped roof. Its hipped roof front porch shades most of the façade’s first floor and features knee braces, chamfered posts, and overhanging eaves. The façade features a single door in the recessed western bay and three symmetrically placed 2/2 double-hung windows in each of the façade’s other bays. The main entrance is surmounted by a one-light transom. The rear portion of the house projects slightly on the western side and the rear elevation has an additional entrance and a small porch. The house rests on a brick foundation and has a brick interior chimney.

Individual Resource Status: Single Dwelling **Contributing** *Total:* 1

Individual Resource Status: Shed **Non-Contributing** *Total:* 1

1606 East Market Street 002-1260-0045

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1917

July 2009: This house is a brick dwelling with two stories, two bays, and a hipped roof. The eastern bay of the north-facing façade is recessed, while the west bay has as cross gable with a boxed cornice and returns. A front porch stretches across the entire first floor and has ornamented freestanding and engaged turned posts, carved knee braces, and a low balustrade with square spindles. The door is located in the recessed eastern bay and has a rectangular, single-light transom. Each of the façade’s other bays has a single 1/1 double-hung window. The roof is covered in standing-seam and the brick is laid in Flemish bond with glazed brick headers. The eastern rear portion of the house projects eastward with one bay visible from the façade and a cross-gable with boxed cornice and returns.

Individual Resource Status: Single Dwelling **Contributing** *Total:* 1

Individual Resource Status: Shed **Contributing** *Total:* 1

Individual Resource Status: Garage **Contributing** *Total:* 1

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Woolen Mills Village Historic District
Charlottesville, Virginia

Section 7 (Inventory) Page 17

1607 East Market Street 002-1260-0046

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, 1891**

July 2009: This house is a two-story, two-bay house with an irregular footprint and a cross-gabled roof that features boxed cornices with returns. The projecting east bay contains a pointed ventilated opening in the front gable and single 1/1 double-hung windows on each floor. The ground-level porch wraps around the west side of the house to terminate against a hipped-roof addition projecting from the west elevation and is supported by unadorned posts. The porch is raised on a low wooden foundation and shelters a door with a single-light rectangular transom in the façade's west bay. The west bay's second story features a single 1/1 double-hung window. A modern, two-story gabled addition extends to the rear.

Individual Resource Status: **Single Dwelling** **Contributing** Total: 1

1609 East Market Street 002-1260-0047

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, ca 1885**

July 2009: This one-story, three-bay wood frame house with a side-gabled roof and a gabled front porch shading the entrance on the central bay rests on a brick foundation with an English basement. The porch is slightly elevated from the ground, is supported by four turned posts, and has a wooden balustrade with square spindles. The roof is covered in asphalt shingles. The façade has 1/1 double-hung vinyl windows located in its two side bays and two central, interior brick chimneys with corbelled caps. There is a shed-roofed addition on the rear elevation.

Individual Resource Status: **Single Dwelling** **Contributing** Total: 1

Individual Resource Status: **Shed** **Non-Contributing** Total: 1

1610 East Market Street 002-1260-0048

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, ca 1886**

July 2009: The hipped-roof front porch extends the full length of the façade and contains turned posts, sawn knee braces, cornice trim, and a balustrade with turned spindles. There is a three-light transom over the door in the central bay. Each of the other bays of the façade has a single 4/4 double-hung window. A brick interior chimney emerges from the center of the roof and the house has an English basement. It is currently covered in aluminum siding. A flat-roofed breezeway connects the back of the house with a two-story frame barn.

Individual Resource Status: **Single Dwelling** **Contributing** Total: 1

Individual Resource Status: **Shed** **Contributing** Total: 1

Individual Resource Status: **Barn** **Contributing** Total: 1

1611 East Market Street 002-1260-0049

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, 1911**

July 2009: This house is a two-story, two-bay, frame dwelling with a hipped roof. The house has a full-width porch with a spindle frieze, free-standing and engaged turned posts, and a hipped roof covered in standing-seam metal. The entrance is located in the east bay of the first floor, while each of the façade's other bays has a single 2/2 double-hung window. The house's roof is covered with asphalt shingles and its cornice features two levels of dentils. The house has a rear one-story projection and a two-story, side-gabled wing recessed from the façade on the east side. The recessed wing has two bays, with a 2/2 double-hung window in each, and a cornice that approximates the main block of the house.

Individual Resource Status: **Single Dwelling** **Contributing** Total: 1

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 18

=====
Individual Resource Status: **Shed** **Contributing** *Total:* 1

1612 East Market Street 002-1260-0050

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Victorian, Folk, ca 1886**

July 2009: This house is a Victorian vernacular dwelling and is one of the more elaborate houses in the district. The house is a two-story, three-bay, frame and weatherboarded dwelling with a standing-seam metal, side-gabled roof with a central cross gable. The house has a wide, heavily bracketed cornice and five sets of paired, narrow windows are displayed across the façade with a sunray motif over the central window surmounted by a pointed arch lintel. The sunray motif is found in a small central cross-gable in the shed-roofed front porch. The house's main entrance is located off of a one-story, three-bay porch marked by a low balustrade with ornamental spindles and a quatrefoil frieze. The house has two, symmetrical central chimneys. The southeast corner of the house is marked by a recently-added, two-story hexagonal tower.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

Individual Resource Status: **Shed** **Non-Contributing** *Total:* 1

1613 East Market Street 002-1260-0051

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Craftsman, 1935**

July 2009: The one-and-a-half-story, front-gabled Bungalow features brackets in the overhanging front gable. The one-story, hipped-roof, enclosed porch extends the full width of the front elevation on a concrete block foundation. The front porch has post supports and is enclosed with jalousy windows. It shades the off-center front door with its one-light transom and the 2/2 double-hung windows flanking the door. The roof is covered in standing-seam metal and punctuated by two brick interior chimneys.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

1614 East Market Street 002-1260-0052

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, ca 2001**

July 2009: This two-bay, one-story, front-gabled, frame house has a recessed west bay shaded by a gable-roofed porch. This porch shades the entrance in the west elevation of the east bay and is supported by simple wooden posts and a wooden balustrade with square spindles. A single 2/2 window is located in the west bay and a three-part bay window is located in the east. Inoperable wooden shutters mark both windows. The roof is covered in asphalt shingles and is marked by a single, central brick interior chimney. The house rests on a concrete block foundation.

Individual Resource Status: **Single Dwelling** **Non-Contributing** *Total:* 1

Individual Resource Status: **Shed** **Non-Contributing** *Total:* 1

1615 East Market Street 002-1260-0053

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, ca 1895**

July 2009: This two-story, three-bay, side-gabled, frame I-house is covered in vinyl siding and sits atop a high brick basement. The house has an asphalt shingle, side-gabled roof with a steep central cross gable on the façade. The original, hipped-roof, one-story porch shades most of the first floor and is supported by four turned posts. The porch is raised above ground on brick piers and features a replacement balustrade. The front door is in the central bay, while the rest of the façade's bays feature single, 6/6 double-hung replacement windows. The house has one central, interior chimney. The rear elevation contains multiple additions.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 19



<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1

1616 East Market Street 002-1260-0054

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, ca 1958**

July 2009: This one-story, three-bay, side-gabled dwelling sits on a concrete block foundation and has a central entry plan. The house's façade is marked by a gabled front porch that shades portions of the west and central bays. The main entrance to the house is in the central bay and is flanked on either side by single 1/1 double-hung windows. The rear elevation contains a simple one-bay porch providing an alternative entrance. The house contains one interior brick chimney and the roof is covered in asphalt shingles.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
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1617 East Market Street 002-1260-0055

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1985**

July 2009: This house is a three-bay, one-story, stuccoed house with a side-gabled roof. The house has a full English basement and is accessed from the street by a bridge-like wooden walkway leading to the front door in the western bay from the sidewalk or a high concrete block landing with concrete steps that sits up against the façade. The door and a pair of 1/1 windows are located in the west bay, while single 1/1 windows are found in the central and east bays. All have inoperable shutters. The rear elevation contains an elevated and enclosed porch.

<i>Individual Resource Status:</i> Single Dwelling	Non-Contributing	<i>Total:</i>	1
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1618 East Market Street 002-1260-0056

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, 1895**

July 2009: This house is a two-story, three-bay, frame house covered with a front-gabled roof and raise on a brick English basement. The façade's front gable has a scalloped cornice and the roof is covered in standing-seam metal. The main body of the house is the two-story, two-bay, side-passage plan, front-gabled mass, while a one-story, one-bay, side-gabled wing is flush with the façade on its west side. The house has a full-width, three-bay front porch with square wood posts, scalloped knee braces, and a railing with ornate sawn work spindles. The front entrance is located in the central bay and has a three light transom and three-light sidelights. The façade contains single 2/2 double-hung windows in each of the other bays.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
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1619 East Market Street 002-1260-0057

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, ca 1893**

July 2009: This house is a two-story, two-bay, cross-gabled, frame house with an irregular footprint created by a recessed eastern bay. The house's slender two bay frame emphasizes its verticality. The house's main entrance and one-story, one-bay front porch with replacement metal posts is located in the recessed east bay. The house contains double-hung 2/2 windows in each of the façade's other bays. One central, interior, brick chimney punctuates the gable crossing. Louvered attic vents are featured in each gable. The house sits on a painted brick foundation. A wooden, raised deck addition with an alternative entrance is found on the house's rear elevation.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
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**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 20

1620 East Market Street 002-1260-108

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, ca 2008

July 2009: This modern house consists of two main parts: a two-story, side-gabled main block and a one-story, flat-roofed wing. The main block is two bays and has exposed rafters. The wing projects slightly from the main block's north elevation, creating an L-shaped footprint for the building and a private entrance on the main block's west elevation. The wing has a balcony on the roof. The building is constructed of concrete, has large windows and sliding doors, and a wooden deck off the west entrance. A metal chimney is attached to the west elevation of the wing.

Individual Resource Status: Single Dwelling **Non-Contributing** Total: 1

1622 East Market Street 002-1260-0058

Other DHR-ID:

Primary Resource Information: Store, Stories 2.00, Style: Other, ca 1900

July 2009: This building is a two-story, three-bay, frame, multiple dwelling with a side-gabled, low pitch roof with overhanging eaves. The façade has an asymmetrical placement of five 2/2 horizontal pane, double-hung windows flanked by inoperable wooden shutters. The east bay of the façade features a pair of windows. The central front entrance is accessed by two concrete steps and is composed of three horizontal panels and three horizontal lights. The two-unit structure is built into the sloping site: a raised entrance to the second story unit is located on the east elevation.

Individual Resource Status: Store **Contributing** Total: 1

1624 East Market Street 002-1260-0102

Other DHR-ID:

Primary Resource Information: Multiple Dwelling, Stories 2.00, Style: Other, ca 1988

July 2009: This two-story, four-bay, side-gabled, frame, multi-unit dwelling is built into the hill, allowing for a garage and access to one unit on the ground level of the façade and an entrance on the second story for the upper level unit. The house's side gabled roof is covered with asphalt shingles, while the house is covered by a combination of vinyl siding and brick veneer. The two eastern bays of the façade are marked by an unpainted wooden porch on the second floor. A set of wooden stairs leads from ground level to the porch and the second story unit. Directly below the porch are a paneled, aluminum garage door and the entrance to the ground-floor unit. There are 6/6 double-hung windows on both stories and an interior, brick chimney on the northeast corner is encased in vinyl siding.

Individual Resource Status: Multiple Dwelling **Non-Contributing** Total: 1

1701 East Market Street 002-1260-0059

Other DHR-ID:

Primary Resource Information: School, Stories 1.00, Style: Other, 1888

July 2009: This house is a one-story, two-bay, dwelling with a double front gable. The wood frame house contains 2/2 double-hung windows on either side of a door and beneath a shallow, hipped-roof, ground level porch that shades most of the façade. The front door is surmounted by a three-light transom. Built on a high stuccoed foundation into the hill, an open English basement is located beneath the house. A cross gable located on the west elevation meets the eastern front gable in the center of the building with an interior brick chimney. The roof is covered in asphalt shingles and a modern, wooden deck has been added to the back of the building.

Individual Resource Status: School **Contributing** Total: 1

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 21

1702 East Market Street 002-1260-0060

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, 1887**

July 2009: This house is a two-story, two-bay frame house with a recessed west bay. The house contains a full-width, shed-roofed, screened-in front porch with replacement posts, sawn knee braces, and brackets that match those beneath the eaves of the hipped roof on the building's façade. The entrance is located in the recessed west bay. The house has 2/2 double-hung windows symmetrically distributed in each of the façade's other bays. Clad in weatherboard with a brick interior chimney, the house has a significant, one-story, hipped-roof addition attached to its southwest corner.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

1703 East Market Street 002-1260-0061

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1958**

July 2009: A mirror image of 1705 East Market Street next door, this one-story, two-bay Cape Cod has a side-gabled roof and is sheathed with asbestos siding. The front-gabled and screened-in porch in the façade's west bay shelters the front door with its three top glass panes and a single 2/2 double-hung aluminum window with horizontal panels to its west. Another 2/2 window is located in the east bay. Both windows have inoperable wooden shutters. The roof is covered in asphalt shingles and is marked by a brick interior chimney. The east elevation of the house contains a side porch with metal balustrade and an aluminum awning.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

1704-1706 East Market Street 002-1260-0063

Other DHR-ID:

Primary Resource Information: **Multiple Dwelling, Stories 2.00, Style: Other, ca 1995**

July 2009: This multiple dwelling is a two-story, four-bay frame duplex with a side gabled roof punctuated by several skylights. The house has a mirrored façade: one unit mirrors the other. Each half of the façade is two bays, with a door in the outside bay and a slightly projecting pair of 6/6 double-hung windows covered by a shallow shed roof in the interior bay. The entrance bays have a single door and are covered by a one-story, shed-roofed porch with simple wooden posts, steps, and balustrades. Each of the second story bays is occupied by a single 6/6 window with inoperable shutters. The roof is covered in asphalt shingles.

Individual Resource Status: **Multiple Dwelling** **Non-Contributing** *Total:* 1

1705 East Market Street 002-1260-0062

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1958**

July 2009: In preparation for the Woolen Mills Village Historic District proposed in July-August 2009, all previously surveyed resources were re-evaluated and their records updated. A mirror image of 1703 East Market Street next door, this one-story, two-bay Cape Cod has a side-gabled roof and is sheathed with asbestos siding. The front-gabled porch in the façade's east bay shelters the front door with its three top glass panes and a single 3/1 double-hung window with vertical mullions. Another 2/2 window is located in the east bay. Both windows have inoperable wooden shutters. The roof is covered in asphalt shingles and is marked by a brick interior chimney.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 22

1707 East Market Street 002-1260-0064

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1896

July 2009: This house is a two-bay, two-story, frame house with a hipped roof and a brick English basement on a brick foundation. The house contains regularly placed 2/2 double-hung windows with inoperable wooden shutters. A one-story, two-bay, hipped-roof front porch shades a window in the east bay and the door with its single-light, rectangular transom in the west bay. It is supported by four freestanding and one engaged turned posts and has a low balustrade with turned spindles. The house has a one-story, one-bay, shed-roofed addition attached to the west elevation. It features a pair of 2/2 double-hung windows, also flaked by inoperable shutters.

<i>Individual Resource Status: Single Dwelling</i>	Contributing	<i>Total:</i>	1
<i>Individual Resource Status: Privy</i>	Contributing	<i>Total:</i>	1

1708-1710 East Market Street 002-1260-0065

Other DHR-ID:

Primary Resource Information: Multiple Dwelling, Stories 2.00, Style: Other, ca 1995

July 2009: This multiple dwelling is a two-story, four-bay, side-gabled duplex. The separate entrances to the two units are located in the two central bays of the first floor and are flanked by single 6/6 double-hung windows in the side bays. A shed-roofed porch with simple wooden posts, balustrades, and steps shades the westernmost bays. Each of the four second story bays has a single window and all windows are flanked by inoperable wooden shutters. The roof is covered in asphalt shingles and is punctuated by several sidelights.

<i>Individual Resource Status: Multiple Dwelling</i>	Non-Contributing	<i>Total:</i>	1
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1709 East Market Street 002-1260-0066

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1889

July 2009: This house is a two-bay, two-story dwelling with a side-passage plan and an irregular footprint. The hipped roof is covered in standing-seam metal and marked by cornice brackets. A flat-roofed, full-width, one-story porch with brackets and supported by lambs tongue chamfered posts shades a single 2/2 double-hung window in the west bay and the door in the recessed east bay. The two second story bays each have a single 2/2 window. Both the roof and the porch are covered in standing-seam metal and the west bay has a slightly peaked hip of its own. The house has been restored recently and its weatherboard siding repaired. It has a full English basement.

<i>Individual Resource Status: Single Dwelling</i>	Contributing	<i>Total:</i>	1
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1712 East Market Street 002-1260-0067

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1891

July 2009: This house is a three-bay, two-story, frame, hipped-roof dwelling. It has a full-width, one-story, hipped-roof, rebuilt front porch with simple square wood posts and square spindled railings. The easternmost bay of the first floor contains a single 2/2 double-hung window, while a door is located in the adjoining bay, roughly in the center of the building. The two easternmost bays of the second story each have a single 2/2 window as well. The western bay of the second story is recessed and contains a single 6/6 double-hung window on the second story. It is the only window on the façade without shutters.

<i>Individual Resource Status: Single Dwelling</i>	Contributing	<i>Total:</i>	1
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**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 23

1713 East Market Street 002-1260-0068

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, 1928

July 2009: This house is a two-bay, brick house covered by a steeply pitched hipped roof. The western bay is recessed and covered by a hipped roof front porch and an additional aluminum awning. It shades a pair of 1/1 double-hung windows and the door located in the west elevation of the façade's eastern bay. The east bay of the façade also contains a pair of 1/1 double-hung windows. An exterior, brick chimney is attached to the east side of the house. The house is largely hidden from the street by tall bushes.

Individual Resource Status: Single Dwelling

Contributing *Total:* 1

Individual Resource Status: Shed

Contributing *Total:* 1

1715 East Market Street 002-1260-0069

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, post 1967

July 2009: This house is a one-story, four-bay, ranch-style dwelling with a combination of brick veneer and composition siding. It is identical to 1717 East Market Street next door. The house has a side-gabled roof covered in asphalt shingles. The façade features a single 2/2 double-hung aluminum window with horizontal panes in the two eastern bays and the west bay and a single door in the second bay from the western edge of the house. The two western bays are sheltered by a slight, unsupported extension of the roof and accessed via a concrete patio. The house has a concrete block English basement and the side gables are marked by modestly decorated barge boards.

Individual Resource Status: Single Dwelling

Non-Contributing *Total:* 1

1717 East Market Street 002-1260-0070

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, post 1967

July 2009: This house is a one-story, four-bay, ranch-style dwelling with a combination of brick veneer and composition siding. It is identical to 1715 East Market Street next door. The house has a side-gabled roof covered in asphalt shingles. The façade features a single 2/2 double-hung aluminum window with horizontal panes in the two eastern bays and the west bay and a single door in the second bay from the western edge of the house. The two western bays are sheltered by a slight, unsupported extension of the roof and accessed via a concrete patio. The house has a concrete block English basement and the side gables are marked by modestly decorated barge boards.

Individual Resource Status: Single Dwelling

Non-Contributing *Total:* 1

1718 East Market Street 002-1260-0071

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1897

July 2009: This house is a two-bay, two-story, side-passage plan, stuccoed dwelling with a hipped roof and an English basement. The house has a full-width front porch on a revised concrete block foundation. The porch features two engaged and three freestanding turned posts, scalloped knee braces, and a later square spindle balustrade. It is accessed by a flight of concrete steps with metal railings. There is a two-light transom over the front entrance in the façade's west bay. Each of the façade's other bays has a single 2/2 double-hung window, symmetrically distributed. The house has a deep frieze board and a later treated wood deck with a fence railing against a projecting bay on the east side of the house.

Individual Resource Status: Single Dwelling

Contributing *Total:* 1

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 24

1719 East Market Street 002-1260-0072

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, ca 1960

July 2009: This aluminum framed, single-story, four-bay modified trailer home is elevated off the ground with a concrete block foundation. The house has a side-gabled roof and irregular fenestration. The gabled front porch has thin metal columns, is accessed from a set of stairs on its east side, and shades the façade's eastern bay with a single door and a 2/2 double-hung window with horizontal panes. The house is covered in vinyl siding, three interior flues are visible, and the roof is covered in asphalt shingles.

Individual Resource Status: Single Dwelling

Non-Contributing Total: 1

Individual Resource Status: Shed

Non-Contributing Total: 2

1808 East Market Street 002-1260-0103

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1997

July 2009: This two-story, four-bay house stands tall on an English basement and is covered with vinyl siding. From the street, the porch dominates the view of the house. It is slightly wider than the rest of the façade and is supported by square wooden posts. A wooden staircase on the west side of the façade leads up to the front porch. The house is covered by a front gable roof with asphalt shingles. A smaller gable is situated to the left of the main gable. This two-bay section projects from the façade. The main entrance is located under the house's main gable. An additional entrance is located on the west side of the house. The house has aluminum 6/1 double-hung windows.

Individual Resource Status: Single Dwelling

Non-Contributing Total: 1

1809 East Market Street 002-1260-0073

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1887

July 2009: The house consists of two parts: a two-story, three-bay, hipped-roof, frame, vernacular I-house sitting right on East Market Street and a two-story, hipped-roof section attached to the north elevation. The rear section raised on a high English basement. The façade's central bay features a cross gable and the front door with its five-light transom and four-light sidelights. Each of the façade's other bays has a symmetrically distributed 4/1 double-hung window with vertical mullions. The cross gable has a boxed cornice, while the house has a wide frieze board, and a pair of interior brick chimneys. There is a two-bay porch on the rear elevation raised on brick piers to be level with the first floor of the house.

Individual Resource Status: Single Dwelling

Contributing Total: 1

Individual Resource Status: Chicken House/Poultry House Non-Contributing Total: 1

1810 East Market Street 002-1260-0074

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1885

July 2009: This house has two principal sections: the front-gabled, one-story, four-bay, original wing built into the hill and the front-gabled, two-story addition attached to its north elevation. The original building is frame and has an English basement that has been filled in with concrete block in places. The façade has irregular fenestration, with modern, single-pane windows. The large addition is currently under construction, with portions of the west elevation open to the elements. It is covered in weatherboard and has a single stove chimney flue. The building's footprint is L-shaped.

Individual Resource Status: Single Dwelling

Contributing Total: 1

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 25

1812 East Market Street 002-1260-0076

Other DHR-ID:

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, 1885

July 2009: This two-story, two-bay, side-hall-plan, frame house has a front-gabled roof and frame construction. The north bay features the gable with a circular vent in the pediment. The main entrance is located in the south bay and is surmounted by a two-light rectangular transom. All of the other bays of the façade have single 6/6 double-hung windows. The two-bay, hipped-roof front porch has three square posts and shades most of the façade's first floor. A two-story, one-bay, shed-roofed addition with an exterior brick chimney and 6/6 double-hung windows is attached to the south elevation.

Individual Resource Status: Single Dwelling **Contributing** *Total: 1*

1819 East Market Street 104-0237

Other DHR-ID: 002-1260-0003

Primary Resource Information: Church/Chapel, Stories 2.00, Style: Victorian, Folk, ca 1887

July 2009: Built in the Carpenter Gothic style, this one-story frame chapel was built in two phases. The original block is a front-gabled building with a vestibule attached to the nave. It rests on a high brick and stone English basement. Its roof is covered in standing-seam metal. The shallow frame vestibule projects from the central bay of the façade and features a high-pitched, gabled roof. The double doors have a pointed arch window above. An octagonal bell tower abuts the vestibule. It has three tiers and a cross-shaped finial. The Sunday School addition is a side-gabled block attached to the west elevation of the original chapel. It has a cross-gabled entrance vestibule with double doors and a pointed arch above that roughly matches the main entrance. Three pointed windows with shutters are located on the south-facing façade and west elevation, with an additional four on the north elevation. These windows match the windows of the older section. The frame addition is covered in weatherboard siding has rests on a six-course American bond foundation.

Individual Resource Status: Church/Chapel **Contributing** *Total: 1*

1900 East Market Street 002-1260-0001

Other DHR-ID:

Primary Resource Information: Power Plant, Stories 2.00, Style: Commercial Style, ca 1900

July 2009: This two-story building is built into the hill and features a tall brick smokestack to the west. While both stories and the English basement are visible from East Market Street, only the second story is visible from Pireus Row above. The first story and the basement are constructed of poured concrete, while the upper story is brick. The flat roof has brick parapets on the sides, a cistern, and a skylight with glazed metal windows. The building has a four-bay façade on East Market Street, with each bay of the two floors containing a large, glazed, industrial metal window.

Individual Resource Status: Power Plant **Contributing** *Total: 1*

Individual Resource Status: Other **Contributing** *Total: 1*

1901 East Market Street 104-5093

Other DHR-ID: 002-1260-0004

Primary Resource Information: Store, Stories 2.00, Style: Gothic Revival, ca 1847

July 2009: The Pireus Store is rectangular in form with the narrower, gable-end fronting on East Market Street. Actually two stories in height, only one story shows on Market Street because of the sharp ground rise. The façade is two bays in width (door and a window, side hall and one room) and the store is two rooms deep. Construction is brick laid in Flemish bond on the façade (but only partially into the gable) and laid in five course American bond elsewhere. A single story porch covers the Market Street façade. The roof has been recovered in slate shingles. A substantial two-and-a-half-story addition, meanwhile, has been added to the east elevation. Built of brick laid in Common bond,

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 26

the addition has a side-gabled roof set a few feet higher than the original block. The addition has a prominent cross-gable that approximates the pitch and width of the original block's front gable.

<i>Individual Resource Status:</i> Store	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1

1906 East Market Street 002-1260-0008

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1887**

July 2009: Set on a random rubble foundation, this side-gabled, frame dwelling stands one-story in height and four bays wide with one of the bays being an addition on the west elevation. It is clad with weatherboard siding and contains 6/6 double-hung windows, which are supported with square-edged wood sills. The door in the second bay from the eastern edge of the house is sheltered by a shed-roofed porch and flanked to the west by a window. The roof has overhanging boxed eaves, is covered in asphalt shingles, and features a small square window in the eastern elevation's gable. The one-bay, side-gabled addition on the northwest elevation has an inset porch with square wood posts that shelters a single window.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Foundation	Contributing	<i>Total:</i>	1

1907 East Market Street 002-1260-0006

Other DHR-ID:

Primary Resource Information: **Multiple Dwelling, Stories 1.50, Style: Gothic Revival, ca 1847**

July 2009: One-and-a-half stories in height with a full English basement, this brick Gothic Revival-style duplex features a rectangular-shaped footprint. This dwelling is constructed in a eight-course American bond. A one-story porch supported by turned posts covers the full-width of the façade and extends past the side elevations by almost a full bay on each side. These side portions have balustrades with turned spindles. The porch has scalloped knee braces and turned posts. The first story is four bays wide, with each side of the house containing a wood door topped by a jack arch in the outside bay flanked by a single 6/6 window with square-edged wood sills in the inside bays. The house is capped with a side-gable, slate-shingle roof with two steep cross gables on the façade. A shed-roofed, one-story, brick wing stretches across the full-width of the rear elevation on a random rubble foundation. A second-story, frame addition and a screened-in porch have been attached to the rear elevation.

<i>Individual Resource Status:</i> Multiple Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	2

1909 East Market Street 002-1260-0020

Other DHR-ID:

Primary Resource Information: **Multiple Dwelling, Stories 1.50, Style: Gothic Revival, ca 1847**

July 2009: One-and-a-half stories in height with a full English basement, this brick Gothic Revival-style duplex features a rectangular-shaped footprint. This dwelling is constructed in a eight-course American bond. A one-story porch supported by turned posts covers the full-width of the façade and extends past the side elevations by almost a full bay on each side. These side portions have metal balustrades. The porch has scalloped knee braces and turned posts. The first story is four bays wide, with each side of the house containing a wood door topped by a jack arch in the outside bay flanked by a single 6/6 window with square-edged wood sills in the inside bays. The house is capped with a side-gable, slate-shingle roof with two steep cross gables on the façade. A shed-roofed, one-story, brick wing

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 27

stretches across the full-width of the rear elevation on a random rubble foundation. A shed-roofed, two-story, one-bay sunroom addition has been added to the east elevation and is visible from the street.

<i>Individual Resource Status:</i> Multiple Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1

1911 East Market Street 002-1260-0021

Other DHR-ID:

Primary Resource Information: **Multiple Dwelling, Stories 1.50, Style: Gothic Revival, ca 1847**

July 2009: One-and-a-half stories in height with a full English basement, this brick Gothic Revival-style duplex features a rectangular-shaped footprint. This dwelling is constructed in a eight-course American bond. A one-story porch supported by turned posts covers the full-width of the façade and extends past the side elevations by almost a full bay on each side. The porch has intermittent balustrades, scalloped knee braces, and turned posts. The first story is four bays wide, with each side of the house containing a wood door topped by a jack arch in the outside bay flanked by a single 6/6 window with square-edged wood sills in the inside bays. The house is capped with a side-gable, slate-shingle roof with two steep cross gables on the façade. A shed-roofed, one-story, brick wing stretches across the full-width of the rear elevation on a random rubble foundation. A one-story, frame, flat-roofed addition has been added to the northwest corner of the house.

<i>Individual Resource Status:</i> Multiple Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1

1915 East Market Street 002-1260-0002

Other DHR-ID:

Primary Resource Information: **Warehouse, Stories 4.00, Style: Commercial Style, ca 1900**

July 2009: The building is built into the hill, stands three stories in height, and was constructed in three phases. The first block has four bays on its north elevation and is constructed of brick laid in five-course American bond. The header coarse alternates headers and stretchers. This portion of the building contains a 6/6 double-hung, wood window in each bay. This block is capped with a hipped roof and has an internal brick chimney and the first floor has been altered. The first, two-bay, three-story, brick addition is attached to the east side of this original block and is set on a random coursed ashlar foundation with raised joints. This block is illuminated with 6/6 wood windows in each bay except for the third floor's west bay. The second addition is attached to the east elevation, three stories, one-bay, and constructed of brick laid in six-course American bond. It has a flat roof and contains two large open doorways on the first story, a set of three 6/6 windows on the second story, and a single, 15/15, round-headed window on the third story with a segmental arch above. The entire building is built into the bank side. The main entrance is located in the original block's west elevation and the building's lobby features a significant exposed rock outcropping.

<i>Individual Resource Status:</i> Warehouse	Contributing	<i>Total:</i>	1
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2100 East Market Street 002-1260-0007

Other DHR-ID:

Primary Resource Information: **Workshop, Stories 2.00, Style: Commercial Style, ca 1930**

July 2009: The facility that stands today as the Charlottesville Woolen Mills is a series of connected buildings along the bend of Moore's Creek. The main building is a four-story, four-bay, brick building laid in American bond built into the ridge. The bays are recessed and feature large, metal, three-part industrial glazed windows with concrete sills on the second, third, and fourth floors. The building has a high basement level on the south elevation, beneath which the stone foundation of previous mill buildings are visible. "Charlottesville Woolen Mills" is painted in large block letters along the top of the building on the east side. Attached to the main block by a one-story, brick wing are two

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 28

two-story, four-bay, brick and concrete buildings. The northern building formerly housed the weaving department, while the southern building was the finishing building. The buildings are made of poured concrete on the first story and brick laid in five-course American bond on the second story. The first floors have smaller glazed windows and garage-style doors, while the second stories have large glazed windows that match those of the main building.

<i>Individual Resource Status:</i> Shed	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Factory	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Workshop	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Water Tower	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Wall	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Foundation	Contributing	<i>Total:</i>	1

Franklin Street

Primary Resource Information: **Bridge, 1878**

Other DHR-ID:

July 2009: The single span bridge consists of a single track that runs over two piers of rough cut stone, roughly 2' by 4' blocks with cement mortar in between and a concrete cap just under the train tracks. The two piers of stone are situated on either side of Franklin Street. A plaque located just under the tracks reads "Virginia Bridge and Iron Company, Roanoke, VA, 1918." There is some graffiti on both sides on the bridge. One of the bridge's blocks is dated 1878.

<i>Individual Resource Status:</i> Bridge	Contributing	<i>Total:</i>	1
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123 Franklin Street 002-1260-0096

Other DHR-ID:

Primary Resource Information: **Store, Stories 2.00, Style: Other, 1955**

July 2009: Originally built as a store, this building now serves as a residential duplex. It is a two-story, three bay, stuccoed, two-unit dwelling built of concrete block. The house's front gable roof is covered with asphalt shingles and has an interior brick chimney. Most of the first floor of the façade is shaded by a one-story, shed-roofed porch with simple wooden posts and a balustrade with square spindles. The door is located in the façade's central bay and is flanked by a pair of windows on either side. The upstairs unit is accessed on the north elevation by a concrete stair with a metal handrail leading to an elevated, shed-roofed porch built in concrete block.

<i>Individual Resource Status:</i> Store	Contributing	<i>Total:</i>	1
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Leake Lane

102 Leake Lane 002-1260-0097

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, ca 2006**

July 2009: This two-story, three-bay house with an asymmetrical façade is covered in vinyl siding. The roof is a complex gable with a returned cornice, cross gables on the two southern bays, and a side gable on the larger northern bay. The main entrance is in the central bay and is covered by a one-bay, shed roof with turned eaves. The façade's two side bays each contain a set of paired 6/6 double-hung windows, while the central bay has a 6/6 window with a fanlight on the second floor and the front door with sidelights on the first. The garage is attached to the north side of the house and has a single opening and prominent cross gable.

<i>Individual Resource Status:</i> Single Dwelling	Non-Contributing	<i>Total:</i>	1
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United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Woolen Mills Village Historic District
Charlottesville, Virginia

Section 7 (Inventory) Page 29

Individual Resource Status: **Shed**

Non-Contributing Total: 1

106 Leake Lane 002-1260-0098

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Craftsman, 1924**

July 2009: This three-bay, one-and-a-half-story house features a dramatic, high-pitched, side-gabled roof and a cross-gabled front porch that covers over half of the façade. The entire house is clad with stucco and the roof and both gables are covered with standing-seam metal and have turned and overhanging eaves. One stuccoed chimney emerges from the center of the roof and one brick exterior chimney punctures the roof on the north side of the house. A set of three windows sits in the north bay, while a door is in the central bay, and a large, single window is in the south bay.

Individual Resource Status: Single Dwelling	Contributing	Total: 1
Individual Resource Status: Shed	Contributing	Total: 1
Individual Resource Status: Outbuilding, Domestic	Contributing	Total: 1

Marchant Street

2000 Marchant Street 002-1260-0014

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.50, Style: Gothic Revival, post 1871**

July 2009: Converted into an apartment building in the 1950s, the largest residence in the District has maintained much of its original appearance. The frame building with weatherboard siding is raised on a solid brick foundation that has been covered with stucco and scored to look like ashlar masonry. The original hipped-roof block is rectangular shaped and a two-story, tower-like addition with a mansard roof was built on the southeast elevation. A front-gabled block was added on the opposite elevation. Two-and-a-half stories in height, the main block is three bays wide with a central entry and 8/8 double-hung windows on the first story and 6/6 double-hung windows on the second story. Sheltering the front entrance and western bay of the main block is a half-hipped roof porch supported with paneled posts and pilasters and square spindles in the balustrade. The porch terminates against the projecting, western gabled addition. This block is capped with a hipped tin roof and features a center cross gable on the façade and two interior brick corbeled chimneys. The gable contains a pair of 1/1 wood pointed-arch windows and a diamond-shaped louvered window in between. The front-gabled addition projects from the west elevation and is one bay wide with 2/2 windows with boxed cornices and returns. The tower-like addition on the northwest elevation has a mansard roof, is also one bay wide.

Individual Resource Status: Single Dwelling	Contributing	Total: 1
Individual Resource Status: Shed	Non-Contributing	Total: 1
Individual Resource Status: Kitchen	Contributing	Total: 1

2010 Marchant Street 002-1260-0029

Other DHR-ID:

Primary Resource Information: **Commercial Building, Stories 1.00, Style: Other, ca 1990**

July 2009: This large, one-story, front-gabled, concrete block commercial storage building has two large doors that encompass almost the entire façade. The gable is filled in with wood and an external concrete block chimney is attached at the northeast corner of the building.

Individual Resource Status: **Commercial Building** **Non-Contributing** Total: 1

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 30

Pireus Row

2002 Pireus Row 002-1260-0028

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Victorian, Folk, post 1871**

July 2009: This side-gabled, two-story, three-bay dwelling is clad in weatherboard siding and sits on a brick foundation. A full-width, shed-roofed, one-story porch is supported by chamfered posts with curved knee braces and a balustrade with square spindles. The entrance is located in the west bay with a wood panel-and-lights door illuminated above by a one-light, rectangular transom. Each of the façade's other bays has a single 6/6 wood window with molded surrounds. The central bay is marked by a cross-gable with overhanging eaves, a boxed cornice, and a centrally-located, circular decorative feature. The rear elevation has a one-story, shed-roofed addition.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1

2008 Pireus Row 002-1260-0027

Other DHR-ID:

Primary Resource Information: **Multiple Dwelling, Stories 2.00, Style: Colonial Revival, post 1871**

July 2009: Set on a stuccoed, random rubble foundation, this two-story duplex has a rectangular-shaped footprint. Clad with vinyl siding, this multiple dwelling features three bays. The façade has two single-leaf doors, one for each unit, each flanked by a window in the two outside bays. Each entry has a shed-roof porch covering the end bay and supported by chamfered posts, a carved and extended knee brace, and a metal balustrade. Each of the second-story bays has a single 1/1 double-hung window. Rising above the standing-seam metal, hipped roof is one central-interior brick chimney. Two separate shed-roof additions are attached to either side of the rear elevation.

<i>Individual Resource Status:</i> Multiple Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1

2014 Pireus Row 002-1260-0026

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, post 1871**

July 2009: Set on a stuccoed random rubble foundation, this two-story, three-bay, stuccoed duplex has a rectangular-shaped footprint. The façade contains two single-leaf doors, one on each end bay, each flanked by a single 1/1 double-hung window. Each entry has a shed-roof porch supported with chamfered posts, carved and extended knee braces, and a metal balustrade. A one-story, shed-roofed and stuccoed addition stretches across the full width of the rear elevation.

<i>Individual Resource Status:</i> Multiple Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	1

2016 Pireus Row 002-1260-0025

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, post 1871**

July 2009: This simple and unusual house is one story in height, stands on a random rubble foundation, and is clad with asbestos shingle siding. Three bays wide on its east-facing façade, this dwelling features a rectangular-shaped footprint and is capped with a steeply pitched shed roof. The house contains 6/6 double-hung windows with square-edged wood sills and a single-leaf panel-and-light wood door in the central bay of the façade. Sheltering the façade's central bay is a shed-roof porch supported by metal posts and balustrades. An additional shed-roofed porch stands on the south elevation and is also supported with metal posts.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 31



<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Non-Contributing	<i>Total:</i>	2
<i>Individual Resource Status:</i> Chicken House/Poultry House	Non-Contributing	<i>Total:</i>	1

2020 Pireus Row 002-1260-0024

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Other, post 1871**

July 2009: This duplex has an L-shaped footprint created by the intersection of a projecting front-gabled wing and a long, side gabled wing that runs from east to west. The entire house is clad with weatherboard siding. The house sits on a Common bond brick and random rubble foundation. Each of the side bays of the three-bay, long wing has a door flanked by a 6/6 double-hung window. The west bay of the long wing is sheltered with a shed-roofed porch supported by chamfered posts on stone piers. Also sheltered by this porch is a single-leaf door on the east elevation of the front-gabled wing. The roof is sheathed in standing-seam metal and features overhanging eaves and a boxed cornice. The façade of the long wing is adorned with a single gabled dormer. The front-gabled wing has an additional cross gable on the west elevation.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Well/Well House	Non-Contributing	<i>Total:</i>	1

Riverside Avenue

202 Riverside Avenue 104-0384

Other DHR-ID: **002-1260-0005**

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Other, ca 1890**

July 2009: This house consists of three principal frame and weatherboarded sections, each with distinctive mansard roofs covered with standing-seam metal. The three-bay, one-and-a-half-story mansard roof original block is the central section of the building. Its central entrance bay is accessed by a one-bay, one-story, frame porch with a shed roof, chamfered posts, a balustrade with square spindles, and metal handrails on either side of its two concrete steps. The southern, one-bay, one-and-a-half-story addition has a mansard roof that matches the original, with a single 6/6 window with operable shutters on the façade, an undecorated bargeboard, and overhanging eaves. The one-and-a-half-story, one-bay northern addition is connected to the original block by a slightly recessed, one-bay, one-story hallway with a mansard roof set back from the original block and northern addition. The northern addition has an English basement.

<i>Individual Resource Status:</i> Single Dwelling	Contributing	<i>Total:</i>	1
<i>Individual Resource Status:</i> Shed	Contributing	<i>Total:</i>	1

203 Riverside Avenue 002-1260-0080

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, ca 1891**

July 2009: This two-story, four-bay, frame house has two front-gabled sections attached by a flat-roofed, two-story entrance bay and a one-story addition on the northern side. The two gables have corner boards and extended eaves and the northern gabled bay projects from the two bays to its south. The front door is located in the second bay from the south and has a stoop with a shed-roof. Each of the façade's other bays features a double-hung window, except for the second story above the entranceway, which has a pair of 6/6 double-hung windows, and the southern gabled bay,

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 7 (Inventory) Page 32

=====

which has a square garage-door-like opening on the first floor. A more substantial porch shades the second gabled bay to the north. All roofs are covered in standing-seam metal and the house is covered in weatherboard siding.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1
Individual Resource Status: **Shed** **Non-Contributing** *Total:* 1

Steephill Street

313 Steephill Street 002-1260-0081

Other DHR-ID:

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, ca 1897**

July 2009: This house is a two-story, three-bay, frame dwelling with a hipped roof and two prominent cross gables. The façade features boxed cornices and returns in each of the cross-gabled side bays. The front entrance is located in the middle bay. The house has an altered, two-bay, shed-roofed front porch on the northern side of the façade that has one original, squared column with inset panels and a molded base and cap. The front door is located under this original portion of the porch, surmounted by a pointed arch and framed on each side by three sidelights. Each of the façade's other bays has a 1/1 double-hung replacement window with pointed arch trim. The house is covered in weatherboard and sits on a high brick foundation. The roof is covered in asphalt shingles.

Individual Resource Status: **Single Dwelling** **Contributing** *Total:* 1
Individual Resource Status: **Shed** **Non-Contributing** *Total:* 2
Individual Resource Status: **Shed** **Contributing** *Total:* 1

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 33

=====

8. SUMMARY STATEMENT OF SIGNIFICANCE

The Woolen Mills Village has been central to the City of Charlottesville’s history since the opening of a milling operation there in 1829. Positioned at the foot of Monticello Mountain where the Rivanna River meets the mouth of Moore’s Creek, the Charlottesville Woolen Mills developed throughout the 19th century to become one of the City’s and the region’s most noteworthy industries and a major producer of cloth for uniforms from the late 19th century through the 1950s. As a mill company town, the village’s architecture and development illustrate characteristics both typical of and unusual for a company town. With few of the early factory buildings remaining due to fires and reconstruction, however, the brick mill buildings of the late 19th and early 20th centuries and the brick and frame dwellings in a range of styles built during the mid-19th through the early 20th centuries for or by mill employees, have come to define the village. As a home for generations of families working in the Mills, the village developed into a stable neighborhood and was annexed by the City of Charlottesville in 1968. The District’s period of significance – 1847-1962 – begins with the date of the earliest company-built housing, encompasses the construction of the private dwellings by employees, and ends with the closing of the Mills.

Justification of Criteria

The Woolen Mills Village Historic District is locally significant under Criterion A in the areas of industry and social history. Begun as an early 19th century producer of textiles, the company grew into one of the nation’s leaders in the production of cloth for uniforms by the late 19th century. As a company town, the village displayed many of the features typical of southern mill towns – company-owned housing, a company store, and a chapel provided by patriarchal mill management – but the village’s development was also characterized by aspects not generally found in mill towns. In the late 19th century, when adjacent land was subdivided and offered for sale, mill workers bought lots and built their own houses near their places of employment. The Mills employed entire families of workers in its various departments and multiple generations of families found employment there, with some members working their way up to management positions, creating stability both in the Mills and in the village. The Woolen Mills Village Historic District is also locally significant under Criterion C in the area of architecture. The village’s mill buildings exhibit both late-19th- and early-20th-century industrial architectural styles and its domestic buildings showcase a range of architectural styles popular at the time of construction from Gothic Revival to Craftsman/Bungalow. The resources retain a high degree of integrity and give the historic district the feel of a late-19th-century industrial village.

HISTORICAL BACKGROUND

All of the land within the Woolen Mills Village Historic District was once part of a 19,000-acre land grant presented to Nicholas Lewis in 1735 and known in the 19th century as “The Farm.” This parcel lay along the Rivanna River between Moore’s Creek and Meadow Creek to the north. The Rivanna River was difficult to navigate in the late 18th-century, leading the Virginia State General Assembly to charter the Rivanna Company in 1806 to improve the river with new systems of locks, dams, and canals. William Meriwether,³ then the owner of “The Farm” (two resources of the plantation are still standing and located at 1201 East Jefferson Street) served on the company’s board of directors and later owned shares and served as president of its successor, the Rivanna Navigation Company.⁴ The improvement

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 34

=====

of the Rivanna River was profitable to Meriwether; with the river easier to navigate, he could develop the portion of his land where Moore’s Creek met the Rivanna to take advantage of passing vessels or to harness the water power created by new dams. Already operating a sawmill and three carding machines,⁵ Meriwether built a dam for the Rivanna Navigation Company on the river just north of the mouth of Moore’s Creek in 1829. Called the “Pireus Dam” or “Meriwether Dam,” this dam of timber crib construction was the antecedent for that which survives in ruinous condition on the same site today.⁶ Although the Meriwether family sold the plantation house for The Farm in the 1830s,⁷ William Meriwether continued to develop the site called by this time the “Port of Pireus.” By 1840, he was leasing a portion of the operation to Robert S. Jones and James S. Crewdson, who aimed to turn the operation into a textile mill by building a canal from the dam and using an enclosed water wheel to generate power.⁸ Although none of the buildings associated with this initial phase of development survive, they were built on the same site as the current factory. The business created by Crewdson and Jones, meanwhile, was the antecedent of the modern Charlottesville Woolen Mills.⁹

Like most textile milling operations in the antebellum South, this early venture was owned by a small partnership, was located in an isolated area, and made rough cloth.¹⁰ While Crewdson and Jones retained their lease on the mills and owned the textile-processing machinery within them, Meriwether sold 150-acres of The Farm to Thomas L. Farish in 1846, including the Pireus tract and its buildings.¹¹ Soon after, Thomas L. Farish sold half of his interest in the thirteen-acre industrial tract to his father, prominent Baptist minister William P. Farish.¹² The Farishes formed an uncharted company with Henry W. Jones (presumably a relative of Robert S. Jones then in possession of the milling machinery at Pireus) named Farish, Jones and Company, with each of the three men retaining an equal one-third interest.¹³ After providing initial capital, William P. Farish sold his portion of the business to his son-in-law, John T. Randolph.¹⁴ Jones was named superintendent and manager of the mills. He lived in a mill-owned house that was most likely the two-story brick structure that occupied the modern-day corner of Riverside Avenue and Chesapeake Street and was demolished sometime in the mid-20th century.¹⁵ Thomas L. Farish, meanwhile, was the company’s treasurer, salesman, bookkeeper, and the manager of the company dry-goods store.¹⁶ This store most likely operated out of 1901 East Market Street (still standing and occupied today as a single-family dwelling, DHR# 002-1260-0004), making it possible that the building was constructed for this purpose circa 1847.¹⁷ The store probably operated via a part-cash, part-script pay system that was common to mills of this period.¹⁸ Because of the relative isolation of the mill site and following the typical relationship of mills with their workers, the business provided housing and opportunities to purchase necessary goods.¹⁹ The mills’ twenty-eight employees most likely lived in mill-owned housing clustered against the mills along the east end of East Market Street. It is likely that the company built the three brick duplexes, 1907, 1909, and 1911 East Market Street (DHR# 002-1260-006, -0020, -0021), to house workers soon after forming in 1846 (in addition to others now demolished). The business faced considerable obstacles in the 1850s; capital was short and production was down, making it unlikely that the mills underwent such a significant building campaign in the years approaching the Civil War.

The business was known locally as the “Charlottesville Factory” when local dry-goods merchant John Adams Marchant purchased it and all of its associated buildings in 1852.²⁰ Despite the more stable leadership of a single individual and the addition in 1858 of a new line of the Central Virginia Railroad passing directly south and adjacent to Pireus, that facilitated the transportation of raw materials to the site as well as the shipment of products created by the business’s wool and cotton processing equipment and saw, grist, and plaster mills,²¹ the Woolen Mills faced hard times in the 1850s that would persist into the 1860s. Heavy rains broke the original Pireus Dam in 1852 and over the

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 35

=====

next eight years, Marchant had to sell shares in the business, mortgage the factory complex, and re-organize the operation as the joint-stock Charlottesville Manufacturing Company to stay afloat and pay for the dam's repair.²² Marchant was forced to curtail a considerable portion of the mills' operation and by 1862 he had only fifteen employees occupied primarily in producing material for the Confederate army.²³ During the Civil War, Marchant managed to purchase back most of the shares in the company and in 1864, he sold the business and factory complex at Pireus to his son, Henry Clay Marchant, for \$17,000.²⁴ Just as his father had been struck with a bout of bad luck within a year of purchasing the mills at Pireus, Henry Clay Marchant watched from Carter's Mountain as the main factory building burned in 1865.²⁵ General George A. Custer's troops set fire to the wood ties carrying the railroad track across the bridge passing "practically over the roof of the factory" and the building caught fire from falling debris.²⁶ Marchant then decided to rebuild the complex focusing entirely on textiles. Northern mills were booming and there was a need for wool cloth in the South. After visiting Philadelphia to find new investors and to purchase machinery, Marchant himself paid for a new three-story brick building (now demolished).²⁷ In order to expand production, he gave up personal control of the company shortly thereafter and led the way for the chartering of the Charlottesville Woolen Mills, a stock company officially formed on December 18, 1868 "to manufacture woolen goods."²⁸

Like many small southern mills of the period,²⁹ local investors funded the new company. A corporate board was formed with Marchant acting as the superintendent, and following the 1875 death of the mill's first president, Thomas Jefferson Randolph, Marchant was elected the mill's president as well.³⁰ Despite the new corporate structure and Marchant's dogged determination for the business's success, the 1870s were a turbulent time for the Charlottesville Woolen Mills. Operations were stalled after an 1870 flood and a break in the dam race and production faced a depressed market with the nation-wide financial panic of 1873.³¹ With only twenty employees in 1868,³² the Mills survived these potential disasters because they sold only common stock, often deferred paying dividends, bought only small amounts of raw material, drew their capital from a limited area, and continued to produce the coarser goods then in demand.³³ Marchant was credited with bringing the company through the financial storm and helping it to prosper over the next decade.³⁴ A new stone dam, the ruins of which survive, finally replaced the remnants of the 1829 Pireus Dam in 1870. This facilitated navigation on the river and improved the reliability of the power supply until alternative power sources replaced it in the coming decades.³⁵ By the later 1870s, the Mills began to produce a greater diversity of cloth (although not finished clothing) in higher qualities and their products were sold directly in small orders to buyers from Alabama to Indiana.³⁶ By 1881, the mill employed sixty people, with forty-five living in seven mill-owned tenements with their families.³⁷ The mill-provided housing supplemented workers' low wages.³⁸ The 1881 corporate minutes state: "The property of a manufacturing Company must ultimately rest on the efficiency and fidelity of its labor. It must be impaired by whatever impairs the comfort and morale of its operatives. It must be promoted by whatever promotes their self respect [sic], elevates their character, and cultivates local attachments and the home feeling."³⁹ The seven worker's tenements included the brick duplexes at 1907, 1909, and 1911 East Market Street (DHR# 002-1260-006, -0020, -0021) built before the Civil War and newly-built dwellings on Pireus Row.⁴⁰ The Mills acquired the land that now includes Pireus Row in 1870-72 and most likely began to build on it soon after.⁴¹ A "manager's house" listed along with the worker's housing in the 1881 minutes most likely refers to 2020 Pireus Avenue. The dwellings still standing at 2002, 2008, 2014, and 2016 Pireus Row (DHR# 002-1260-0028, -0027, -0026, -0025) were probably also built in this period, along with an additional four-unit duplex that was demolished sometime in the mid-20th century.⁴² Marchant's house, 2000 Marchant Avenue (DHR# 002-1260-0014), was also standing by 1881. It is called "the president's house" in the minutes and Marchant, his wife, seven children, and an

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 36

=====

African American cook are listed in the 1880 census as living there, next-door to other Woolen Mills employees.⁴³ The 1880 census also reveals that the households of Woolen Mills employees were large, consisting of anywhere from five to ten individuals, and often including boarders and/or grown children and their spouses. Thirty-six-year old widow Lucy Bragg, her five children, five boarders, and a cook lived together in a mill-owned home in 1880. Bragg ran the house, occasionally worked at the mill,⁴⁴ and was assisted by eighteen-year old African American female cook Angie Henderson. Three of Bragg’s children and all five of her boarders worked in the Woolen Mills. This group included her nineteen-year old daughters, Victoria and EW Bragg, and her twelve-year old son, Henry. The three boarders were all female and between the ages of seventeen and thirty-six.⁴⁵ Though the Bragg household hosted a relatively high number of boarders, it was typical of the Charlottesville Woolen Mills Village and southern textile mills in general in this period. Young children like Henry often accompanied their parents to work in the Mills and the 1880 census lists seven people under the age of eighteen working at the Mills.⁴⁶ In addition to their boarders, the Bragg family provided a number of female employees for the mill. Many young, single women had to support themselves in the South after the Civil War; an entire generation of eligible bachelors had been killed during the fighting and many families had lost all financial means to support their unmarried daughters.⁴⁷ The Braggs, their boarders (and all of the other people listed as working in the Mills in the 1880 census for that matter) were also white and Virginia-born. These demographics followed regional trends: labor forces were largely local and because mills employed higher percentages of white female laborers than other industries, mill managers often deferred from hiring African American employees (especially men).⁴⁸ By supporting and housing entire households, the Charlottesville Woolen Mills began to create a village community entirely dependent on the survival of the business at hand.

The growing stability of the community and the business was soon faced with another obstacle: a fire destroyed Marchant’s main factory building on January 10, 1882. Although the houses of the mill workers were not damaged by the conflagration, the local newspaper declared about the indirect effect of the fire on the workers: “Many of them are heads of family, dependent on their daily labor for support, and the distress and embarrassment which they must experience is perhaps the saddest result of the catastrophe.”⁴⁹ The 115+ people dependent upon the Mills were allowed to remain in company housing during the subsequent rebuilding and many worked on the construction;⁵⁰ the workforce was obviously too valuable for the company to lose. The brick building, machinery, and merchandise lost in the blaze were largely covered by insurance.⁵¹ The railroad trestle over Moore’s Creek was also destroyed, dating the present trestle to after the fire. Within weeks, the board of the Charlottesville Woolen Mills decided not only to rebuild, but also to use the fire as an opportunity to expand and modernize the operation.⁵² A new four-story brick building with a prominent tower was constructed on the site of the old mills by local architect and builder George W. Spooner and the factory was in production just a year after the fire. Run by a fifty-inch turbine wheel and complete with an elevator and sprinkler system, the new factory was three times the size of the previous structure. Once again, credit was given to Marchant. The local newspaper lauded: “The revival of this manufacturing establishment in our midst, with productive facilities so greatly enlarged, is a gratification to our people, and that result is largely due to the active and energetic efforts of H. C. Marchant...He has tided it over many rough places, and we trust that by the aid of his associates in the directory [sic], he will be able to carry it on to a future of unprecedented prosperity.”⁵³

While the Charlottesville Woolen Mills largely followed the pattern of other Southern textile mills in the 1870s by providing housing, a company store, and employing entire families,⁵⁴ many mill workers also owned land privately and built their own houses in the village. Two large tracts of land adjacent to the Mills became available between 1884 and 1887 and the subdivision and sale of these tracts allowed many mill workers to purchase property and build

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 37

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their own houses. The timing was perfect: the newly expanded and modernized mills were in need of new workers, yet the company was stretched financially and most likely could not accompany their expansion with the construction of additional worker’s housing. The promise of employment and the possibility of home ownership, meanwhile, attracted many families to the growing village to provide the necessary work force. Unlike most southern textile mills (especially those that processed cotton), the Charlottesville Woolen Mills did not own the dwelling places of all of its employees. This loose relationship between the livelihoods and homesteads of mill employees created a rare form of a “company town” in which home ownership was the norm.

A company town settlement is described as a place where the a single business owned everything and “residents had no say in local affairs, no investment in real estate, and ultimately no long-term affection for the place in which they lived and worked.”⁵⁵ In company towns, mills used eviction from company housing as a punishment for bad behavior ranging from poor work performance to drinking,⁵⁶ controlled and isolated their employees through company-run schools and churches, and shaped a hierarchy that extended from the factory into everyday life. The results were frequent labor unrest and workers who moved their families from mill to mill seeking better conditions.⁵⁷ The Charlottesville Woolen Mills, meanwhile, housed only some of its employees, making it impossible for them to use the large-scale strategies that most company towns relied on to control workers and their production. Between 1885 and 1900, twenty-six new houses were built in the Woolen Mills Village. The Charlottesville Woolen Mills built only four of those houses. The vast majority of the other twenty-two houses were built by people working at the factory. The introduction of modest, privately owned housing stock ensured that the employees of the Charlottesville Woolen Mills had options outside of mill-owned housing after 1885. The combination of steady work and home ownership facilitated the growth of a remarkably stable community.

Like many other Albemarle County farms then being subdivided,⁵⁸ both of the pieces of land that became available to Woolen Mills employees between 1884 and 1887 were originally part of The Farm. The first belonged to B. H. Brennan, who came to Charlottesville after the Civil War with his brother, Frederick. They opened one of Charlottesville’s four private banks in the 1870s and even invested in the Charlottesville Woolen Mills.⁵⁹ In 1878, B. H. Brennan purchased 102 acres from Thomas L. Farish for \$10,200 to expand his 717-acre farm, Carlton, just south of the railroad tracks at the foot of Monticello Mountain.⁶⁰ The land bordered the Charlottesville Woolen Mills to the east, East Market Street (then Woolen Mills Road) to the north, and the railroad to the south. By 1884, however, the bank had failed and the Brennan brothers signed the land (along with other assets) over to trustees for liquidation “as speedily as possible.”⁶¹ The portion of the land Brennan had purchased from Farish in 1878 against the railroad tracks was platted in June 1885 into lots along East Market Street that ranged in size from three-quarters-of-an-acre to six-acres.⁶² The plat also included two new roads that connected East Market Street to the other side of the railroad tracks, including what is now known as Franklin Street. The second piece of land that became available was still owned by the Farish family in the early 1880s. After a chancery suit among the children of Thomas L. Farish (most likely to divide the land after his death in 1885), the land between present-day 18th Street NE to the west, Chesapeake Street to the north, Riverside Avenue to the east, and East Market Street to the south was platted into lots ranging in size from three-quarters-of-an-acre to one acre and sold by trustees beginning in 1887.⁶³ The plat also suggested (but did not name) four new roads: Chesapeake Street, Riverside Avenue, Riverview Avenue, and Steephill Street. The western edge of the plat became 18th Street NE. The fact that these two subdivisions of The Farm were created in order to liquidate assets surely prompted their quick (and often cheap) sale. Adjacent to the Mills at the east end of East Market Street, these subdivisions now constitute the majority of the Woolen Mills Village Historic District.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 38

=====

Those already working at the Mills were some of the first to buy and develop the newly available property. Virginia Starkes purchased the four-acre lot 10 of the Brennan plat in 1886 for \$500.⁶⁴ Her husband, Jason Starkes, had worked at the Mills since before the Civil War and the family had most likely lived in company housing. She built the side-passage, frame house at 1604 East Market Street (DHR# 002-1260-0030) in 1890.⁶⁵ Warren S. Graves, who had worked at the Mills since the 1880s,⁶⁶ built the two-story frame I-house at 1610 East Market Street (DHR# 002-1260, 0048) between 1886 and 1900 after buying lot 1 of the Brennan land for \$200.⁶⁷ Because of the loss of the 1890 census, it is difficult to track many of those who built or owned homes in the 1880s and 1890s. Oral history and the 1900 and 1910 census rolls confirm, however, that the population of the Woolen Mills Village consisted almost entirely of mill employees.⁶⁸ It is therefore reasonable to assume that the vast majority of the individuals who built the twenty-two houses between 1886 and 1900 were people who worked at the mill.

Some of the early owners of the large lots subdivided the plots and sold parcels to family members. It was common in southern mill towns for people to move to join family members already working in the factories.⁶⁹ After purchasing lots 8 and 9 of the Farish land from Henry Bragg in 1889, Archibald Blair built 1709 East Market Street (DHR# 002-1260-0066).⁷⁰ In 1896, he sold the westernmost portion of the lot to his brother, Edward, for \$200 and Edward built 1707 East Market Street (DHR# 002-1260-0064) next door soon thereafter.⁷¹ With side-hall plans and hipped roofs, these frame houses are very similar.

Others sold or gave portions of their lots to their children. Martha S. Burgess purchased lots 3 and 4 of the Brennan plat in 1885-86.⁷² She built the frame side-hall plan house with an irregular footprint at 1702 East Market Street (DHR# 002-1260-0060) in 1887-88 and lived there with her children.⁷³ Burgess sold lot 4 to her daughter, Mrs. Willie Ann Krickbaum, and her husband, John G. Krickbaum, in 1891 for \$75 and they built the frame house at 1712 East Market Street (DHR# 002-1260-0067) in the 1890s.⁷⁴ The house is almost identical to that built by Willie Krickbaum's mother at 1702 East Market Street (DHR# 002-1260-0060) to the east just a few years earlier. Krickbaum was a filer at the Woolen Mills and by 1910, their fifteen-year old daughter, Eva, was working as a bookkeeper in the Woolen Mills as well. In 1897, the Krickbaums sold the eastern portion of their lot to Willie Krickbaum's sister, Virginia A. Johnson, and her husband, JF Johnson, for \$23.⁷⁵ By 1910, Johnson and Krickbaum were working together in the weaving department of the Woolen Mills.⁷⁶ The Johnsons built 1718 East Market Street (DHR# 002-1260-0071) – another frame side-hall plan very similar to the houses built by Virginia Johnson's sister and mother to the west – between 1897 and 1900.⁷⁷ Sometime in the 1890s, the Burgess daughters, their husbands, and their mother built a store directly on the road at 1622 East Market Street (DHR# 002-1260-0058), which mother Martha Burgess presumably ran as competition for the Woolen Mills company store.⁷⁸ The building still stands and has since been converted into a duplex. In 1912, the Johnsons sold their house at 1718 East Market (DHR# 002-1260-0071) and purchased and moved into Virginia Johnson's mother's house at 1712 East Market Street (DHR# 002-1260-0067).⁷⁹ They took care of their Martha Burgess until their children, JW and Ethel HA Garisson, took over in 1947.⁸⁰

The Charlottesville Woolen Mills purchased very little of the Brennan and Farish land in these years. With many employees building and buying their own houses and the company's finances caught up in rebuilding and modernizing the factory, the Mills had no need or capital to buy and develop such large tracts of land. The houses the Mills did build in this period varied in size and style. The dwellings at 1730 Chesapeake Street (DHR# 002-1260-

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 39

=====

0089), 202 and 203 Riverside Avenue (DHR# 002-1260-0005, -0080), 313 Steephill Street (DHR# 002-1260-0081), and 1601 or 1607 East Market Street (DHR# 002-1260-0042, -0046) were all built by the Mills between 1890 and 1897 and are indistinguishable from houses built independently by mill employees in the same period.⁸¹ Like most mills, the Charlottesville Woolen Mills followed local vernacular styles and used local labor, most likely the same people who were busy constructing the private homes in the village at the same time. These most likely included village residents and carpenters Nat Leake, George Baltimore, and Henry Spicer. The houses are typically two-story, frame, and feature Late Victorian details on their one-story front porches. Unlike most northern mill villages based on model town plans, the reliance on local building traditions and materials was more typical of textile mill settlements in the South. Northern company towns were most often designed according to architects' designs, while the smaller southern mill towns usually featured factory buildings based on northern prototypes and single-family worker's housing based on the local vernacular.⁸²

The rush of building in the village in the 1880s-90s did not go unnoticed. A local newspaper declared in 1887: "from the number of new buildings that are now being built and in contemplation, we shouldn't wonder if Pyreus [sic] doesn't ask for articles of incorporation in the near future and set up the town business for herself."⁸³ Because so much of the construction was done privately, the buildings and their relationships to one another and the street were far more varied than typical company towns built entirely by a mill.⁸⁴ Because the Brennan and Farish plots were initially platted into large lots that individuals then parceled out to others, lot sizes in the district vary considerably. People built houses close to the road and typically subdivided lots from north to south, allowing for long, deep tracts that provided plenty of space for keeping farm animals and large vegetable gardens. Development happened primarily along the east end of East Market Street, closest to the Mills. The few houses built on Chesapeake Street were most often the result of someone purchasing two lots back-to-back and building on both the northern (Chesapeake Street-fronting) and the southern (East Market Street-fronting) lots. Because Chesapeake Street was only an unnamed country road in the late 19th century, development only clustered on the south side of this street's east end, closest to the Mills. For example, John B. Spencer, listed in 1900 as a laborer whose twenty-eight-year old daughter worked in the mill, purchased the back-to-back lots 4 and 5 of the Farish land in 1887 for \$275.⁸⁵ He built the one-story, frame house at 1800 Chesapeake Street (DHR# 002-1260-0090) on the northern lot 5 and the two-story, frame 1809 East Market Street (DHR# 002-1260-0073) on the southern lot 4 between 1887 and 1893.⁸⁶ Spencer lived in 1809 East Market Street (DHR# 002-1260-0073) and his son, Woolen Mills weaver James A. Spencer, purchased 1800 Chesapeake Street (DHR# 002-1260-0090) soon thereafter.⁸⁷ The exception to this pattern is the two-story, stuccoed 214 18th Street (DHR# 002-1260-0083), built further west on Chesapeake Street between 1897 and 1900 by G. E. McDaniel after he purchased the northern portion of lot 17 of the Farish land.⁸⁸ McDaniel most likely found this an attractive lot because it was on the corner of two new roads – 18th and Chesapeake Streets – suggested by the Farish plat.

Between 1882 and 1906, the Mills had doubled their work force for a total of 150 employees.⁸⁹ The growth of the village and the influx of new employees quickly necessitated amenities such as a schoolhouse and chapel that had not been needed in the Mills' leaner decades. In 1886, a local newspaper article reported: "At the Woolen Mills there has been recently erected a building which will be used as a school-house, and on Sunday as a place for religious meetings. There has already been organized a Sunday-school, which holds its sessions in the afternoon... There is a large community there to be benefited by active religious work."⁹⁰ It is unclear where this building was located or if it still stands. The same newspaper reported a year later that meetings held in a small, one-room building had led to "the

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 40

=====

conversion of upwards of fifty souls.” The article goes on to claim: “it is no unusual thing to see sixty to seventy-five persons congregated there after the labors of the day...the whole community at that place were more or less brought under permanent religious influences.”⁹¹ This movement, coupled with a growing population and the availability of land, led to the construction of the Woolen Mills Chapel at 1819 East Market Street (DHR# 002-1260-0003). The Carpenter Gothic building was built on a small corner lot donated by the mill, paid for by public subscription, enthusiastically endorsed by the devout mill president Henry Clay Marchant, and in use by Christmas 1887.⁹² Additional funds were raised over the next two years as the larger community joined the effort to finish the building. The *Charlottesville Chronicle* asked for donations, claiming “we believe there are good people who would esteem it a privilege to assist these people in a work so obviously important and desirable,”⁹³ while the Farish family hosted a fundraiser on their lawn featuring a performance by the Woolen Mills choir.⁹⁴ Because most village residents continued to belong to churches in Charlottesville, the Woolen Mills Chapel was non-denominational and services and Sunday school were held in the late afternoon so that people could worship elsewhere on Sunday mornings.⁹⁵ Like most religious buildings and organizations in mill towns, the foremen of the Mills conducted the Sunday school.⁹⁶ To make more room for the growing Sunday School, an addition was made in 1908.⁹⁷

Although the *Charlottesville Chronicle* made it clear that there was a schoolhouse in operation in the Woolen Mills Village in the 1880s, the location of such a building cannot be confirmed until 1902. In that year, the Mills purchased the small one-story house at 1701 East Market Street (DHR# 002-1260-0059), built by Charles F. Fausler in 1888-89.⁹⁸ The corporate minutes state: “The question of erecting a schoolhouse and providing for the...use of the children of the employees of this company...the stockholders being heartily in favor of the project.”⁹⁹ The schoolhouse was also a place for the mill management to gather and publicly announce changes in mill operation. By 1920, the Mills had turned the leadership of the school over to the County of Albemarle and it was considered a public elementary school.¹⁰⁰ The building operated as a school for at least another decade. By 1950, it was closed and returned to use its original (and current) use a private dwelling.¹⁰¹

The additions of a church and schoolhouse to the Woolen Mills Village in the late 19th century could be cited as examples of welfare capitalism,¹⁰² a method that most mills used in this period to control company towns. Mills enlisted their workers in activities intended to encourage morality, pride in work and place, and to strengthen the dependence of employees on the mill.¹⁰³ Because the mills continued to own the entire town, their work was paternalistic and often filtered through an individual who interacted infrequently and like a “generous overlord” with employees.¹⁰⁴ The system depended on the employees being grateful, while acknowledging that the relationship was mutual: in order to maintain a productive work force, the mills had to give something back.¹⁰⁵ At the Charlottesville Woolen Mills, Henry Clay Marchant advised his employees: “Work, work, strive to excel. If an employe [sic], strive to faithfully and conscientiously discharge whatever duties you undertake, and make your services indispensable to your employer; and, above all, ask God’s guidance and help, that you may live a sober, unselfish, righteous, and useful life.”¹⁰⁶ This philosophy is clearly hierarchical and echoes other welfare capitalists of the period. Marchant also maintained a tight control over who could work at the Mills. An 1892 *Charlottesville Chronicle* claimed: “The management are very careful in looking up the antecedents of those who apply for work, and aim to employ only persons of good character, whether male or female.”¹⁰⁷ Such control (or the appearance of control) over the “character” of employees was typical of welfare capitalism as it made the mill management the judge of what was best for its workers, confirming the paternalistic approach. The continuance of a company store well into the 20th century,¹⁰⁸ the provision of health insurance for employees,¹⁰⁹ the contribution of land to build a chapel, and the purchase of a

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 41

=====

building for a schoolhouse are also all indicators that Marchant and the Mills were attempting to “control” the mill employees through seemingly generous gestures.

Yet other characteristics of the Mills and the village in this period suggest that what was at work was a much-modified welfare capitalism, making the Woolen Mills Village a unique version of a late-19th-century mill town. Marchant, for example, was far from a distant paternal figure. He lived in company housing as early as the late 1870s, next-door to his employees. While 2000 Marchant Avenue (DHR# 002-1260-0014) was the largest house in the village and sat high on a hill overlooking the chapel, Marchant was far more involved with the day-to-day business of the mill and lives of the employees than the typical mill president. When Marchant died suddenly in 1910, the Charlottesville newspaper called him a “patriot” and remarked: “Few men could have been removed from their active life whose loss would have been more serious to the community...There are many who bless the fact that he has lived among them.”¹¹⁰ His pallbearers included Warren S. Graves and George Baltimore, both longtime employees of the Charlottesville Woolen Mills. Corporations also typically provided little opportunity for advancement, keeping tight control over management so that subordinates could not rise into supervisory positions.¹¹¹ Mill supervisors at the Charlottesville Woolen Mills, however, rose through the ranks and were not appointed by the mill’s corporate board from elsewhere. Henry Bragg, who began as a child mill hand in the 1880s, rose to superintendent of the Charlottesville Woolen Mills in 1924, for example.¹¹² Warren S. Graves, who had also worked at the Mills as early as the 1880s, was a carding foreman by 1910.¹¹³ Perhaps it was the simple fact that workers had the option to purchase land and build or own a house that promoted not only Marchant’s unusual relationship with his employees, but also prevented paternalistic ideology from taking hold. If the majority of people owned their own houses rather than rented from their employer, they were free to build their own lives and, in some ways, were closer to being equal to those who owned the company itself. They were not dependent upon the mill like wards, but chose to live and work in the Woolen Mills Village. Marchant and the Mills, therefore, may have encouraged Christian behavior and helped to build the church and schoolhouse because they wanted to, not because they were trying to control their employees. The result was a community in which a relatively limited number of families – the Baltimores, Holloways, Harlows, Gianninis, and Spencers being some of the largest and most enduring – lived and worked for decades, ensuring that both the village and the Charlottesville Woolen Mills were stable and productive enterprises.

Some of the same factors that prevented typical welfare capitalism in the Woolen Mills Village also made the neighborhood a point of pride for nearby Charlottesville. Unlike many southern textile mill towns that were regarded by local townspeople as full of ignorant, filthy, and uncivilized people,¹¹⁴ the Woolen Mills and its community were a point of pride for Charlottesville. The local Commonwealth’s Attorney claimed publicly of the village in 1892: “he knew of no community more conservative, sober, and moral.”¹¹⁵ An 1889 announcement in the *Charlottesville Chronicle* praised the Woolen Mills Band in their report of a New Years concert: “This organization...has proven on various occasions its disposition to aid in cases where music is required, and in many ways to give pleasure to our citizens. They ought to be encouraged.”¹¹⁶

The proximity of the Woolen Mills Village to Charlottesville undoubtedly helped to shape the opinions of local townspeople; mill life was not so far away from town that it could appear foreign or entirely rural or backwards. By 1892, the *Charlottesville Chronicle* was recognizing the growth of the city eastward towards the Mills: “With the University at its western extremity it is probable that the whole growth of the city would be in that direction if no counteracting influences were brought to bear. As it is, however, the eastern extremity of the city and the Woolen

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 42

=====

Mills are fast becoming nearer together, the growth in this direction being nearly as rapid as the west."¹¹⁷ The city's population grew from 2,838 in 1870 to 6,449 in 1900 and continued to rise steadily.¹¹⁸ One of the earliest developments east of town near the Woolen Mills, Riverside Cemetery, occurred in this period thanks in part to Henry Clay Marchant. In 1892, the Charlottesville Land Company, a real estate venture that was successfully developing the Belmont neighborhood, purchased and platted a large portion of The Farm with the Rivanna River to the north, High Street and Meade Avenue to the west, East Market Street from Meade Avenue until 18th Street NE and Chesapeake Street from 18th to Riverside Avenue to the south (going around the Farish plat of 1886), and the river to the east.¹¹⁹ This is the first time that the street names "Chesapeake Street" and "Franklin Street" appear. A large tract of land nestled in the bend of the Rivanna River was reserved in the plat and purchased the next year by the newly incorporated Riverview Cemetery Company for \$6,987 to be developed as a private cemetery.¹²⁰ The property was already serving as a graveyard: the Lewis family (original owners of The Farm and kin to the Meriwethers) had used the highest point of the tract as the burial plot for The Farm. The slate gravestones there belong to the 18th and early 19th centuries (including Nicholas Lewis), pre-dating the graves in the late-19th-century Riverview by more than a hundred years. Charlottesville's public cemeteries, such as Maplewood Cemetery northeast of the courthouse, were crowded and close to the bustling downtown in the late-19th century. Riverview offered large, regular plots and dramatic views of the Rivanna River and the mountains. The original design for the cemetery's layout was elaborate, featuring blocks of tightly-spaced lots closest to Chesapeake Street that slowly unraveled into serpentine drives as one moved north to the river.¹²¹ The picturesque plan was typical of 19th-century cemeteries. Only the southernmost blocks of the initial plan were realized, with the northern portion of the cemetery developing later and more sparsely.¹²² A street named "Marchant Avenue" was planned for the eastern edge of the cemetery, indicating the influence Henry Clay Marchant had over the area. Although never opened, Marchant Avenue was envisioned as an important access route for the cemetery. It was made obsolete by entrances on the south and west sides. Marchant had in fact purchased a large portion of the remaining land of the Charlottesville Land Company's 1892 plat surrounding the cemetery. Between 1893 and 1894, Marchant purchased a total of 63.5-acres from the Charlottesville Land Company. This property was the majority of the land the company platted in 1892, constituting what was left of The Farm east of Meade Avenue and north of East Market Street to the river's bend.¹²³ Marchant sold a portion of this property to Riverview to create additional roads (never built) that would allow the cemetery to be more easily accessible.¹²⁴ He was elected president of the Riverview Cemetery Company in 1905.¹²⁵ By 1900, however, the current entrance on Chesapeake Street had been established. The *Daily Progress* reported: "The Riverview Cemetery Company have just closed a contract for a handsome entrance to their grounds and for an iron fence across their front extending 1428 feet...The cemetery is one of the most beautiful spots...The distance from the city which to some will at first seem a disadvantage is on the contrary a decided advantage since it is thereby removed from the depredations that so frequently cause pain to those having burial lots near the city."¹²⁶ Although a granite arch was planned for the entrance to the cemetery as well,¹²⁷ it is unclear if that was ever built. The stone pylons and short iron fence that line the cemetery today replace the apparently more elaborate entrance planned at the turn of the century. The cemetery also brought one of the few, non-mill affiliated residents to the village. Cemetery caretaker William J. Lucado purchased a large lot of the Farish plat in 1901 and built the small, one-story, original block of the stuccoed 1700 Chesapeake Street (DHR# 002-1260-0086) directly across from Riverview's entrance that same year.¹²⁸ The cemetery purchased the house in 1929 and leased it to the cemetery's caretaker for decades.¹²⁹

Many employees of the Charlottesville Woolen Mills purchased plots in Riverview Cemetery in the 1890s and were later buried there. Martha Burgess, the matriarch of the Burgess-Johnson-Krickbaum clan; Archie Blair, who built

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 43

=====

1709 East Market Street (DHR# 002-1260-0066); J. E. Hudson, who built 1516 East Market Street (DHR# 002-1260-0040); W. S. Graves of 1610 East Market Street (DHR# 002-1260-0048); and Jeremiah Rainstrick, who built 1618 East Market Street (DHR# 002-1260-0056), are just some of the village residents and mill employees who purchased plots before 1909 and were later buried in Riverview Cemetery. Henry Clay Marchant was one of the first to buy lots in the cemetery in 1894. He purchased an entire block situated at the southwest corner of the cemetery and visible from Chesapeake Street.¹³⁰ The large lot was apparently intended for the burial of Woolen Mills employees. Since Marchant was buried there in 1910, the lot has become full of headstones with names familiar to the neighborhood. Because the records for the cemetery have been lost, it is impossible to track how these lots were purchased or distributed, but one can assume that these mill families were buried there at Marchant's invitation.

The success of the Charlottesville Woolen Mills in this period provided another reason for the town of Charlottesville to regard the village as a good addition to the community. The devastating impact that the 1893 depression had on many American textile mills brought managements to consider new ways to compete with the more fashionable and technologically-advanced products imported from abroad. The Charlottesville Woolen Mills responded by beginning to specialize in the heavy fabric used to make uniforms in the 1890s.¹³¹ Producing material for uniforms was ideal for the small operation because uniform styles changed slowly (thus precluding the need for the factory to alter production to respond to the latest fashion), companies were looking for consistency in the product (and would therefore remain loyal to the Mills for years), and such patterns resulted in predictable orders and scheduling.¹³² For the next four decades, the Mills were a leader in the uniform industry. Their cloth outfitted all of the mail carriers of Philadelphia, veterans in government-run homes, most cadets attending American military schools (including West Point), the Pullman Company's railroad employees, and numerous fire and police departments all across the United States.¹³³ The Mills won gold medals for their material at both the 1893 and 1904 world's fairs, and received the contract to outfit the guards of the 1893 World's Columbian Exposition. The *Charlottesville Chronicle* claimed of the honor: "The beneficial results of this recognition...of our Woolen Mills will be great and lasting."¹³⁴ The newspaper went on to boast: "Our community cannot regard this successful industry with too much pride, nor can too much praise be bestowed upon the management...it is a monument to persistent and well directed energy, of which not only our immediate community but also our State and country should be proud."¹³⁵ Besides bringing national acclaim to Charlottesville, the Mills and their employees were economic powerhouses for the immediate area. The *Charlottesville Chronicle* stated in 1892: "That the merchants may have some idea of the benefit accruing to them personally by the location of the mills here it might be well to say that the annual wages of the Mill to its employees amount in the aggregate to about \$45,000, all of which is disbursed in this immediate community."¹³⁶ The fact that many in the village built and maintained their own homes certainly factored into the pride that Charlottesville took in the nearby industry. Rather than slavishly serving the Mills, employees were contributing to the local economy on an individual level.

With newfound acclaim and secured production, the Charlottesville Woolen Mills went from depending on inconsistent waterpower facilitated by the dam to employing electric power from a plant across the Rivanna River in 1899. The plant had been busy powering the Charlottesville street railway since 1894. The Mills built their own dynamo in 1900;¹³⁷ the plant survives today in ruinous form along the railroad tracks. They continued to use waterpower, however, as the electricity was not consistent.¹³⁸ A four-story brick warehouse, used as an office building for the Mills in the last decades of operation and converted to condominiums once the Mills closed in the 1960s, was also built in the late 19th century at 1915 East Market Street (DHR# 002-1260-0002).

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 44

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The growth of the Mills was facilitated by the stability of the community, which continued to draw employees from those living in their own homes in the village. In 1910, this number had settled at 122 workers, with seventy-two male and fifty female employees. Eighteen mill families owned their own homes, while thirty rented from the Mills and fourteen boarded with other mill families.¹³⁹ Those who had grown up in company housing and were working their way up in mill management began to build their own houses. Shipping department supervisor J. E. Hudson for example (whose father, WS Hudson, had worked in the Mills when J. E. Hudson was a boy), built the fine two-story brick house at 1516 East Market Street (DHR# 002-1260-0040) in 1916.¹⁴⁰ The generation who had been children in the mill village also began to marry and build households, strengthening the ties between families and further stabilizing the community. Marcellus “Cel” Harlow, who came to the Woolen Mills Village with his family from Fluvanna County, married Bettie Francis Baltimore. Bettie Baltimore was the assistant organist at the Woolen Mills Sunday School and a weaver at the Mills.¹⁴¹ Her father, George Baltimore, was a carpenter and weaver and a pallbearer at Henry Clay Marchant’s 1910 funeral. The family had lived in/owned 214 18th Street NE (DHR# 002-1260-0083), 1709 East Market Street (DHR# 002-1260-0066), and 1615 East Market Street (DHR# 002-1260-0053) through the 1880s and 1890s. Bettie and Cel Harlow built their own house, 1606 East Market Street (DHR# 002-1260-0045), in 1916-17. An impressive two-story, Flemish bond, side-passage house with glazed headers, the building was most likely built by Bettie’s brother, bricklayer John Wesley Baltimore. John Wesley Baltimore married Mary “Mamie” Starkes, who had grown up in 1604 East Market Street (DHR# 002-1260-0030) just next door. They raised their children in Mamie’s childhood home, next door to sister Bettie.¹⁴² Their daughter, Louise, worked for the Mills and met her husband, Woodie Pritchett, there. The Pritchetts built the store/residence 123 Franklin Street (DHR# 002-1260-0096) behind 1604 East Market Street (DHR# 002-1260-0030) in 1955-56.¹⁴³ Such tight family ties created a strong sense of community and ensured the Mills a stable, multi-generational work force throughout the early 20th century.

James M. Timberlake, the foreman of the wet finishing room and one of the older employees of the Woolen Mills, has been cited as an example of an “outcast” in the village.¹⁴⁴ With no familial ties to the community, Timberlake lived on the western outskirts of the village. He built his two-story I-house at 1512 East Market Street (DHR# 002-1260-0037) on lot 9 of the Brennan property circa 1886. Set on a hill and substantially larger than most other houses in the neighborhood, Timberlake’s house is symbolic of his relative isolation in the Woolen Mills Village. In 1918 during World War I, the Charlottesville Woolen Mills’ first strike began in his department when management refused to pay employees missed wages that resulted from a mandatory Fuel Administration shutdown. It has been speculated that Timberlake did not have control over the department, which consisted largely of people related by blood or marriage. Management lost confidence in Timberlake after the strike and he was replaced soon thereafter.¹⁴⁵

The presidents of the Charlottesville Woolen Mills after Henry Clay Marchant’s death in 1910 were not as hands-on or as involved in the day-to-day activities in the village.¹⁴⁶ Unlike Marchant, they had not grown up in the business, nor did they have his direct connection to the antebellum operation. Business continued largely as usual, however, with the stability of the uniform market and the community itself undoubtedly being important factors. World War I brought higher turn-over than the Mills were used to as wages at the Woolen Mills were lower than other factories in the region and the war presented employment opportunities elsewhere.¹⁴⁷ Management responded by raising wages, but could not prevent the strike in 1918. After the strike, Durgen Van Wagonen was elected president of the company. Recruited from outside of the company and more interested in business than Marchant’s brand of

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 45

=====

paternalism, Van Wagonen was not popular with the close-knit, long-standing community.¹⁴⁸ The company prospered under his management, however, allowing for the community to grow westward and for the construction of new and more modern mill buildings. While many American woolen mills failed in the years after World War I because wages were increasing and their outdated machinery could not produce rapidly changing fashions, the Charlottesville Woolen Mills' specialization in uniform cloth kept profits steadily rising.¹⁴⁹ Van Wagonen embarked on an ambitious modernization plan for the factories in 1920, wishing to expand production that would allow the Mills an even tighter grip on the uniform market. It was in this building period that many of the mill structures that stand today at 2100 East Market Street (DHR# 002-1260-0007) were built and outfitted with the latest in wool milling technology. A new weaving room was built in 1927 for \$52,000, followed by a new finishing building soon thereafter.¹⁵⁰ With saw-tooth roofs and elevations full of glazed windows, these buildings were strikingly different from Spooner's 19th-century factory next door.

Despite the massive overhaul of production, the Charlottesville Woolen Mills suffered during the Great Depression as many military schools and municipalities deferred on updating their uniforms. The Mills cut production in half in 1931 and were completely shut down for most of 1932.¹⁵¹ In a continuing effort to modernize and to expand the Mills' market by converting much of the operation to a "straight line textile mill," the towered factory was replaced with the massive four-story, flat roofed factory with glazed windows. The new building was constructed on the foundations of the 1880s mill and the first floor of the earlier mill can be seen beneath the present asphalt parking lot from across Moore's Creek. Because the mill was run entirely on electric power by the 1930s, the relationship between the building and the river and creek could change. Although the new plant was built at the end of East Market Street where Moore's Creek meets the Rivanna River just as Meriwether's had been built in the early 19th century, the new buildings were sited so as to take advantage of street rather than river or creek access. This facilitated the transportation of goods via trucks and other motor vehicles.¹⁵² Automatic looms and other new technology were introduced to the factory, lessening the need for manual labor. Wages were cut and thirty-six employees were laid off.¹⁵³ With President Roosevelt's national standardization of industrial employment practices, young teenagers could no longer work at the Mills and minimum wages and maximum hours were set.¹⁵⁴ These changes drew prices up, though the municipalities who had purchased Charlottesville Woolen Mills uniform cloth for decades could not afford the higher prices.¹⁵⁵ The turbulence of the company's financial situation was matched with changes and disagreements in management, leading to Van Wagonen's resignation as mill president in 1938.¹⁵⁶

Changes in the residential village landscape also occurred between 1920 and the 1930s. In 1918, the heirs of Henry Clay Marchant sold the large tract of undeveloped land he had purchased from the Charlottesville Land Company in the 1890s to the Albemarle Golf Club, Inc. for \$18,800.¹⁵⁷ With varying topography, a rural setting, and proximity to Charlottesville, the sixty-three-acre parcel was ideal for the golf course they built there in the early 1920s. Reminders of the golf course persist in street names like "Fairway Avenue," "18th Street NE," and "Short 18th Street." By 1927, the group had incorporated and purchased the Warner Wood Estate in Albemarle County and was building a new country club around Farmington, a house designed by Thomas Jefferson. They began to sell the land near the Mills and in 1929, platted the remaining property along the north and south sides of Chesapeake Street east of 16th Street and the north side of East Market Street east of 16th Street into regular lots. With fifty feet of street frontage and depths ranging from 150 to 200 feet, these regular lots shaped a very different development west of the more organically subdivided lots of the Farish and Brennan plats. The lots furthest east were purchased first by Woolen Mills employees or their families. Charles B. Holloway, a wool sorter, purchased four lots on the northwest corner of

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 46

=====

East Market Street and 18th Street NE in 1930-31 for \$650.¹⁵⁸ He sold the western lots to his daughter and her husband, Ruby and Guy N. Taylor, and they built 1513 East Market Street (DHR# 104-5161). Holloway built 1515 East Market Street (DHR# 104-5162) in 1935-36.¹⁵⁹ These houses, like many built in the former golf course tract in the 1930s, are frame and stuccoed adaptations of Craftsman Bungalows.

New building within the village, meanwhile, was limited in the 1920s and 1930s. With six houses built between 1900 and 1920, only seven were built between 1920 and World War II. Following the development of the former golf course, Chesapeake Street was finally built up. The house at 1729 Chesapeake Street (DHR# 002-1260-0088), begun circa 1899 as a two-room, two-story "tenement," retained its large lot until 1923, when the owners sold a street-fronting portion just to the east to ET and VE Berry.¹⁶⁰ They built the brick foursquare house at 1803 Chesapeake Street (DHR# 002-1260-0091) in 1926-27.¹⁶¹ In 1930, they parceled off and sold another street-fronting lot to the east to HC Womack for \$300 and he built the bungalow at 1805 Chesapeake Street (DHR# 002-1260-0094) in 1930-31.¹⁶² Neither man worked for the Woolen Mills or had discernable family ties to the village: Berry was a machinist for a lumber company and Womack a freight runner for a hardware store.¹⁶³ With bus service between Charlottesville and the village,¹⁶⁴ Charlottesville continuing to spread eastward, and the proliferation of private automobiles, people could now live in the village and work at businesses other than the Woolen Mills. Those who lived and built closest to the Mills on East Market Street in houses built in the 1880s-90s, however, continued to be mill employees had family members who continued to work there. In 1920, Emma Maddex was a stenographer at the Mills, while older brother Grover Maddex worked as a spinner and rented a house with his young wife, Nora.¹⁶⁵ They had grown up in the house their mother, Sally Maddex, built at 1611 East Market Street (DHR# 002-1260-0049) in 1911-12.¹⁶⁶ When Sally Maddex bought her small lot (parceled off the Farish plat), her mill-employed daughters, the married Clara Hall and unmarried Emma Maddex, purchased adjacent lots as well.¹⁶⁷ Grover bought the lot for 1613 East Market Street (DHR# 002-1260-0051) from his sister Clara in 1934 for \$250. He and his wife built the front-gabled bungalow at 1613 East Market Street (DHR# 002-1260-0051) in 1935-36.¹⁶⁸

With newly modernized production techniques came changes to the relationships between the Mills and their employees. Following national trends in the 1920s-30s, the Charlottesville Woolen Mills raised wages and instituted vacation time, half workdays on Saturdays, pensions, and an insurance plan.¹⁶⁹ The mill employees' first union was formed in the 1940s. Led by the son of Henry Bragg, who had begun working in the mill as a boy in the 1880s, the establishment of the union is a symbol of the marked changes that had happened in the village in a generation.¹⁷⁰ Gone were any visages of Marchant's paternalism; the relationship between the Charlottesville Woolen Mills and the residents of the Woolen Mills Village had become a thoroughly modern business arrangement.

Profits began to rise for the Charlottesville Woolen Mills as the nation headed into World War II.¹⁷¹ Ninety-five percent of production during the war was for the United States Navy and the majority of employees continued to hail from the village.¹⁷² Women continued to be a substantial part of the workforce, as they had during the previous century. After the war, the Mills' profits began to decline as they diverged from solely producing uniform fabric and entered the apparel market for the first time.¹⁷³ In 1949, the company finally left the hands of the corporate board begun in the 1860s when it was sold to Kent Manufacturing Company of Pennsylvania.¹⁷⁴ The company's financial situation did not improve in the early 1950s, leading to a temporary closing of the Mills and the sale of the Mills' property throughout the neighborhood. The Charlottesville Woolen Mills were finally vacated in November 1962 and machinery removed in August of the next year for liquidation.¹⁷⁵ The annexation of the majority of the residential

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 47

=====
portion of the village in 1968 to the City of Charlottesville furthered the notion of the industrial center's end. The changing of name of the main thoroughfare between town and the Mills from "Woolen Mills Road" to "East Market Street" also aided in the shift of the neighborhood's identity from a mill village to a residential neighborhood.

With the Mills closed, the livelihoods that families had now depended on for generations was lost. With the growth of Charlottesville into a bustling town, however, opportunities that had not existed for village residents just a few decades earlier now proliferated. The sale of the Mills' assets in the 1950s-60s also provided the opportunity for many who had never owned property in the village to purchase a house or build anew. These conditions sparked the last wave of building in the village at the end of the period of significance. The 1950s also saw the parceling off and development of some lots left undivided since the Farish and Brennan plats in the 19th century. For example, the Mills parceled off the large lot for the schoolhouse at 1701 East Market Street (DHR# 002-1260-0059) in 1953, creating 3 additional lots. They sold the schoolhouse to William Joseph Holloway and his wife, Clara Caldwell Holloway for \$3,500 separately from the other three lots facing onto East Market Street and Riverview Avenue.¹⁷⁶ Holloway had been a machine operator for the Mills and his wife a burler when they were renting a house in the village in 1930.¹⁷⁷ Julius L. Lively, Jr. and his wife, Joyce, purchased the large lot to the east of 1701 East Market Street (DHR# 002-1260-0059) and built two houses – 1703 and 1705 East Market Street (DHR# 002-1260-0061, -0062) – between 1958 and 1961.¹⁷⁸ The modest Cape Cod houses built on concrete block foundations are typical of this period and reflect similar houses that were constructed in the golf course subdivision beginning in the 1930s. Chesapeake Street also became the site of new development in the early 1960s as Chesapeake-fronting lots that had been sold as part of East Market Street-fronting lots were finally parceled off and sold separately.

Begun in the early 19th century with a timber-crib construction dam and a modest, family-run mill complex, the Woolen Mills Village grew over the next century into a productive and close-knit community. Differing from typical southern textile mill towns with a substantial portion of its employees who, by the late 19th century, had built and owned their own homes, the Charlottesville Woolen Mills avoided some of the stereotypes that plagued larger mills. Fed by the steady business of uniform cloth production over a number of decades and the employment of generations of closely related village families, the Mill prospered when other southern industries wavered. Thanks to careful preservation by descendants of some of those original families and new residents, the Woolen Mills Village retains a high degree of integrity and remains a unique example of a southern textile mill town. The District includes some of the last vestiges of Charlottesville's 19th-century industrial history, including: the railroad bridge that brought raw materials in and took finished cloth out, remnants of the 1870 dam that helped to power the Charlottesville Woolen Mills, and a collection of substantial brick factory buildings. The domestic buildings, meanwhile, form one of the area's most complete collections of late-19th and early 20th-century dwellings. The pre-Civil War Gothic Revival duplexes are unique in the County of Albemarle, while the later houses are vernacular adaptations of the Late Victorian, Craftsman Bungalow, and Colonial Revival. Largely developed according to the parceling of a large farm, the Woolen Mills Village is a remarkably intact example of late-19th-century settlements in the area. The uniquely-shaped parcels were created when mill workers purchased large lots and subdivided and sold them to friends, family members, and newcomers looking for employment at the nearby factory. The large number of secondary resources and historic parcels, coupled with the small number of buildings constructed after the period of significance allows the District to retain the feeling of a small 19th-century industrial village. The story of the Charlottesville Woolen Mills and the village that grew up to support it remain a visibly rich part of Charlottesville and Albemarle County's local history.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 48

ENDNOTES

¹ There is considerable confusion over the name of William Meriwether. Primary sources distinguish between a William D. Meriwether and a William H. Meriwether. Although Harry Edward Poindexter claims these to be two different men in his 1955 dissertation, it seems that there are errors in the historical record and that they were, in fact, the same person. I have chosen to use the shortened name "William Meriwether" to avoid confusion.

⁴ Darby O'Donnell, "Phase I Cultural Resources Survey of 0.07 Acres for a Proposed Temporary Access Road to the Woolen Mills Dam, Albemarle County, Virginia, VDHR File #2005-1776" (Prepared for the Rivanna Conservation Society, September 2006), 19-25.

⁵ Harry Edward Poindexter, "A History of the Charlottesville Woolen Mills, 1820-1939" (MA thesis, The University of Virginia, 1955), 9.

⁶ The dam was largely dismantled in 2007. Lena L. Sweeten and Donald R. Burden, "Draft Historic and Photographic Documentation of the Woolen Mills Dam (002-1260-0009), Charlottesville, Albemarle County, Virginia" (Prepared for the Rivanna Conservation Society, July 2007), 5-6.

⁷ See Michael J. Bednar, "The Farm" (National Register of Historic Places Registration Form, September 1996).

⁸ County of Albemarle, Virginia, Deed Book 38, 363; O'Donnell, "Phase I Cultural Resources Survey," 24.

⁹ Poindexter, "A History of the Charlottesville Woolen Mills," 8

¹⁰ Poindexter, "A History of the Charlottesville Woolen Mills," 3-7.

¹¹ County of Albemarle, Virginia, Deed Book 44, 355; "Farish, Farrish," Hanging file (Albemarle County Historical Society, Charlottesville, Virginia).

¹² County of Albemarle, Virginia, Deed Book, 44, 269. By 1848, Thomas L. Farish had also acquired the large brick house known as The Farm and its surrounding acreage (see County of Albemarle, Virginia, Deed Book 46, 389).

¹³ County of Albemarle, Virginia, Deed Book 45, 265.

¹⁴ "Farish," Hanging file; County of Albemarle, Virginia, Deed Book 62, 535.

¹⁵ County of Albemarle, Virginia, Deed Book 62, 535. The 2-story brick house stood just east of the house now known as 1805 Chesapeake Street. See John T. E. Simms, "Plat of Julia Farish's Subdivision of The Farm" (County of Albemarle, Virginia, Deed Book 88, 260, February 1887); Sanborn Fire Insurance Company, Map, City of Charlottesville (1929), sheet 69.

¹⁶ County of Albemarle, Virginia, Deed Book 62, 535.

¹⁷ Kimberly Merkel, "Woolen Mills Tavern, 1901 East Market Street, Charlottesville, Virginia," *Studies in Vernacular Architecture* 36 (1976).

¹⁸ Peter Sandbeck, "A History of the Charlottesville Woolen Mills" student paper (1975, Special Collections Library, The University of Virginia, Charlottesville, Virginia).

¹⁹ Jacquelyn Dowd Hall et al., *Like a Family: The Making of a Southern Cotton Mill World* (Chapel Hill: The University of North Carolina Press, 1987), 114.

²⁰ Poindexter, "A History of the Charlottesville Woolen Mills," 17, 24.

²¹ Poindexter, "A History of the Charlottesville Woolen Mills," 25

²² Poindexter "A History of the Charlottesville Woolen Mills," 28-34; County of Albemarle, Virginia, Deed Book 51, 376.

²³ Sandbeck, "A History of the Charlottesville Woolen Mills," 2.

²⁴ County of Albemarle, Virginia, Deed Books 61, 215 and 62, 509.

²⁵ Poindexter, "A History of the Charlottesville Woolen Mills," 42-3.

²⁶ Poindexter, "A History of the Charlottesville Woolen Mills," 42.

²⁷ Poindexter, "A History of the Charlottesville Woolen Mills," 47-9

²⁸ "An Act to Render Valid the Charter of Incorporation of the Charlottesville Woolen [sic] Mills, and the Legalize all acts done in pursuance thereof," *Acts of the Joint Resolutions Passed by the General Assembly of the State of Virginia, at Its Session of 1871-72* (Richmond: R. F. Walker, Sup't of Public Printing, 1872), 15.

²⁹ Edward L. Ayers, *The Promise of the New South: Life after Reconstruction* (New York: Oxford University Press, 1992), 112

³⁰ Poindexter, "A History of the Charlottesville Woolen Mills," 59

³¹ Poindexter, "A History of the Charlottesville Woolen Mills," 60-66.

³² See Sandbeck, "A History of the Charlottesville Woolen Mills," 5.

³³ Poindexter, "A History of the Charlottesville Woolen Mills," 71-2.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 49

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- 34 Poindexter, "A History of the Charlottesville Woolen Mills," 62-3, 66.
- 35 Lena L. Sweeten and Donald R. Burden, "Draft Historic and Photographic Documentation of the Woolen Mills Dam (002-1260-0009), Charlottesville, Albemarle County, Virginia" (Prepared for the Rivanna Conservation Society, July 2007), 6.
- 36 Poindexter, "A History of the Charlottesville Woolen Mills," 75-6.
- 37 Charlottesville Woolen Mills, Inc., *Charlottesville Woolen Mills Records, 1869-1900* (Special Collections Library, The University of Virginia, Charlottesville, Virginia), 1: 78-9.
- 38 Poindexter, "A History of the Charlottesville Woolen Mills," 81-4.
- 39 Charlottesville Woolen Mills, Inc., *Charlottesville Woolen Mills Records*, 1:78-79.
- 40 Charlottesville Woolen Mills, Inc., *Charlottesville Woolen Mills Records*, 1:81
- 41 County of Albemarle, Virginia, Deed Books 66, 58 and 67, 540.
- 42 Sanborn Fire Insurance Company, Map, City of Charlottesville (1902), sheet 14.
- 43 Charlottesville Woolen Mills, Inc., *Charlottesville Woolen Mills Records*, 1:78-9; United States Census Records, 1880.
- 44 Andrew H. Myers, "The Charlottesville Woolen Mills: Working Life, Wartime, and the Walkout of 1918," *The Magazine of Albemarle County History* 53 (1995): 76.
- 45 United States Census Records, 1880.
- 46 Ayers, *The Promise of the New South*, 114.
- 47 Ayers, *The Promise of the New South*, 113; Dowd et al., *Like a Family*, 33
- 48 Ayers, *The Promise of the New South*, 113-14.
- 49 "Disastrous Fire," *Charlottesville Chronicle*, 13 January 1882.
- 50 Roughly 115 people are listed in the 1880 United States Census roll as living in households with Woolen Mills employees. *Jefferson Republican*, 18 January 1882; Myers, "The Charlottesville Woolen Mills," 89.
- 51 "Disastrous Fire."
- 52 "The Woolen Mills to Be Rebuilt," *Charlottesville Chronicle*, 20 January 1882.
- 53 "The Charlottesville Woolen Mills," *Charlottesville Chronicle*, 26 January 1883.
- 54 Dowd et al., *Like a Family*.
- 55 John S. Garner, "Introduction," in *The Company Town: Architecture and Society in the Early Industrial Age*, ed. John S. Garner (New York: Oxford University Press, 1992), 5; I. A. Newby, *Plain Folk in the New South: Social Change and Cultural Persistence, 1880-1915* (Baton Rouge: Louisiana State University Press, 1989), 260.
- 56 Dowd et al., *Like a Family*.
- 57 Garner, "Introduction," 6.
- 58 John Hammond Moore, *Albemarle: Jefferson's County, 1727-1976* (Charlottesville: University Press of Virginia, 1976), 302.
- 59 Moore, *Albemarle*, 263; Poindexter, "A History of the Charlottesville Woolen Mills," 94, 120.
- 60 County of Albemarle, Virginia, Deed Book 74, 281.
- 61 County of Albemarle, Virginia, Deed Book 83, 337.
- 62 John T. E. Simms, "Brennan's Land Plat" (County of Albemarle, Virginia, Deed Book 88, 111, June 1885).
- 63 County of Albemarle, Virginia, Deed Book 88, 260.
- 64 County of Albemarle, Virginia, Deed Book 92, 65.
- 65 Bill Emory, conversation with author, July 2009.
- 66 Myers, "The Charlottesville Woolen Mills," 80.
- 67 County of Albemarle, Virginia, Deed Book 87, 466; County of Albemarle, Virginia, 1900 Land Book.
- 68 Roy J. and Louise H. Baltimore, interview with Bill Emory, 8 March 2003; United States Census Records, 1900 and 1910.
- 69 Dowd et al., *Like a Family*, 37-9.
- 70 County of Albemarle, Virginia, Deed Book 92, 453.
- 71 County of Albemarle, Virginia, Deed Book 106, 301; 1900 Land Book.
- 72 County of Albemarle, Virginia, Deed Books 86, 276 and 86, 111.
- 73 County of Albemarle, Virginia, 1888 Land Book.
- 74 County of Albemarle, Virginia, Deed Books 95, 374 and 126, 415; 1900 Land Book.
- 75 County of Albemarle, Virginia, Deed Book 107, 330.
- 76 Myers, "The Charlottesville Woolen Mills," 82.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 50

- =====
=====
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- ⁷⁷ County of Albemarle, Virginia, 1900 Land Book.
⁷⁸ Burgess is listed as having "own income" in the 1910 United States Census Records.
⁷⁹ County of Albemarle, Virginia, Deed Books 150, 240 and 149, 344.
⁸⁰ County of Albemarle, Virginia, Deed Book 272, 292.
⁸¹ It is unclear which house was built by the Charlottesville Woolen Mills. The other was built by WA Giles in the same year.
⁸² Margaret Crawford, "Earle S. Draper and the Company Town in the American South," in *The Company Town: Architecture and Society in the Early Industrial Age*, ed. John S. Garner (New York: Oxford University Press, 1992), 147-8.
⁸³ *Charlottesville Chronicle*, 8 April 1887.
⁸⁴ Crawford, "The Company Town in the American South," 147-48.
⁸⁵ County of Albemarle, Virginia, Deed Book 92, 92.
⁸⁶ County of Albemarle, Virginia, Deed Books 98, 453 and 107, 169.
⁸⁷ County of Albemarle, Virginia, Deed Book 107, 286.
⁸⁸ County of Albemarle, Virginia, 1900 Land Book; County of Albemarle, Virginia, Deed Book 135, 455.
⁸⁹ Poindexter, "A History of the Charlottesville Woolen Mills," 127.
⁹⁰ *Charlottesville Chronicle*, 23 July 1886.
⁹¹ "The Woolen Mills Chapel," *Charlottesville Chronicle*, 26 August 1886.
⁹² Department of Community Development, Charlottesville, Virginia, "1819 East Market Street," (Charlottesville, Virginia Landmark Survey).
⁹³ "The Woolen Mills Chapel."
⁹⁴ "Lawn Party at 'The Farm,'" *Charlottesville Chronicle*, 2 September 1889.
⁹⁵ Myers, "The Charlottesville Woolen Mills," 91; Roy Baltimore, Jr., interview by Alexis Black, 18 June 2003.
⁹⁶ Myers, "The Charlottesville Woolen Mills," 91.
⁹⁷ Nancy O. Elliot and T. Richard Quesada, "Woolen Mills Chapel: Calvary Baptist Church, Charlottesville," *Perspectives in Vernacular Architecture* (1974).
⁹⁸ County of Albemarle, Virginia, Deed Books 88, 132 and 124, 6; County of Albemarle, Virginia, 1889 Land Book.
⁹⁹ Charlottesville Woolen Mills, Inc., *Charlottesville Woolen Mills Records*, 2:15.
¹⁰⁰ Sanborn Fire Insurance Company, Map, City of Charlottesville (1920), sheet 33.
¹⁰¹ The building is listed as a school in the 1929 Sanborn and as a dwelling in the 1950 map. Sanborn Fire Insurance Company, Maps, City of Charlottesville (1929), sheet 69 and (1950), sheet 69.
¹⁰² Myers, "The Charlottesville Woolen Mills," 90
¹⁰³ Crawford, "The Company Town in the American South," 153; Dowd et al., *Like a Family*, 131-9.
¹⁰⁴ Newby, *Plain Folk in the New South*, 200.
¹⁰⁵ Newby, *Plain Folk in the New South*, 262-63.
¹⁰⁶ Henry Clay Marchant quoted in Lyon G. Tyler, *Men of Mark in Virginia: Ideals of American Life. A Collection of Biographies of the Leading Men in the State*, vol. 1 (Washington, DC: Men of Mark Publishing Company, 1906), 344.
¹⁰⁷ "Charlottesville and the Woolen Mills," *Charlottesville Chronicle*, 3 June 1892.
¹⁰⁸ Myers, "The Charlottesville Woolen Mills," 112.
¹⁰⁹ Poindexter, "A History of the Charlottesville Woolen Mills," 126.
¹¹⁰ "H. C. Marchant Expires in Cincinnati," *Daily Progress* (Charlottesville), 11 October 1910, p. 1.
¹¹¹ Newby, *Plain Folk in the New South*, 125.
¹¹² Myers, "The Charlottesville Woolen Mills," 112.
¹¹³ United States Census Records, 1910.
¹¹⁴ Newby, *Plain Folk in the New South*, 446-61.
¹¹⁵ "Charlottesville and the Woolen Mills."
¹¹⁶ *Charlottesville Chronicle*, 4 January 4, 1899.
¹¹⁷ "Charlottesville and the Woolen Mills."
¹¹⁸ Moore, *Albemarle*, 215, 276.
¹¹⁹ deBruin, Bradford & Company, "The Farm: Property of the Charlottesville Land Co.," (County of Albemarle, Virginia, Deed Book 97, 2-3, February 1892).

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 51

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¹²⁰ County of Albemarle, Virginia, Deed Book 99, 234; Laura Day Kozak, "Riverview Cemetery," (student pamphlet, The University of Virginia, Spring 1998).

¹²¹ "Map, Riverview Cemetery, Charlottesville, VA," (County of Albemarle, Virginia, Deed Book 102, 21, 1893).

¹²² Hugh D. Simms, "Map of Riverview Cemetery situated near Charlottesville, Albemarle Co., VA, the property of Riverview Cemetery Co.," (County of Albemarle, Virginia, Deed Book 239, 245, March 1938).

¹²³ R. E. Shaw, "Plat of Part of 'The Farm' Sold by The Charlottesville Land Co. to H. C. Marchant," (County of Albemarle Deed Book 98, 391, November 1892-January 1893).

¹²⁴ County of Albemarle, Virginia, Deed Book 99, 145.

¹²⁵ "Riverview Cemetery Is Sold to Jessup," *Daily Progress* (Charlottesville), 17 February 1939.

¹²⁶ "Riverview Cemetery Company," *Daily Progress* (Charlottesville), 1 January 1900.

¹²⁷ *Daily Progress*, 29 March 1900.

¹²⁸ County of Albemarle, Virginia, Deed Book 119, 302; County of Albemarle, Virginia, 1901 Land Book.

¹²⁹ United States Census Records, 1930; County of Albemarle, Virginia, Deed Books 196, 167; 204, 143; 207, 101.

¹³⁰ County of Albemarle, Virginia, Deed Book 103, 9.

¹³¹ Poindexter, "A History of the Charlottesville Woolen Mills," 112

¹³² Poindexter, "A History of the Charlottesville Woolen Mills," 112-13.

¹³³ "Our Woolen Mills," *Charlottesville Chronicle*, 20 May 1892; Poindexter, "A History of the Charlottesville Woolen Mills," 113-15.

¹³⁴ "Our Woolen Mills."

¹³⁵ "Our Woolen Mills."

¹³⁶ "Charlottesville and the Woolen Mills."

¹³⁷ Margaret and Michel Van Yahres, "Woolen Mills Power Plant," (Preliminary Information Form, Virginia Landmarks Commission, October 1883).

¹³⁸ Poindexter, "A History of the Charlottesville Woolen Mills," 104-05.

¹³⁹ Myers, "The Charlottesville Woolen Mills," 87.

¹⁴⁰ United States Census Records, 1880; County of Albemarle, Virginia, 1917 Land Book.

¹⁴¹ Bill Emory, conversation with author, July 2009.

¹⁴² County of Albemarle, Virginia, Deed Book 164, 153.

¹⁴³ County of Albemarle, Virginia, Deed Books 307, 251 and 307, 254; County of Albemarle, Virginia, 1956 Land Book.

¹⁴⁴ Myers, "The Charlottesville Woolen Mills," 84.

¹⁴⁵ Myers, "The Charlottesville Woolen Mills," 107, 111.

¹⁴⁶ Poindexter, "A History of the Charlottesville Woolen Mills," 121-23, 141; Meyer, "The Charlottesville Woolen Mills," 97.

¹⁴⁷ Meyer, "The Charlottesville Woolen Mills," 101.

¹⁴⁸ Meyer, "The Charlottesville Woolen Mills," 104-06.

¹⁴⁹ Poindexter, "A History of the Charlottesville Woolen Mills," 145-7.

¹⁵⁰ Poindexter, "A History of the Charlottesville Woolen Mills," 150.

¹⁵¹ Poindexter, "A History of the Charlottesville Woolen Mills," 156.

¹⁵² Comparison of 1920 and 1929-50 Sanborn Maps.

¹⁵³ Poindexter, "A History of the Charlottesville Woolen Mills," 157-8.

¹⁵⁴ Poindexter, "A History of the Charlottesville Woolen Mills," 159.

¹⁵⁵ Poindexter, "A History of the Charlottesville Woolen Mills," 160.

¹⁵⁶ Poindexter, "A History of the Charlottesville Woolen Mills," 162-166.

¹⁵⁷ County of Albemarle, Virginia, Deed Book 168, 91.

¹⁵⁸ County of Albemarle, Virginia, Deed Books 213, 545 and 237, 277; County of Albemarle, Virginia, 1932 Land Book.

¹⁵⁹ County of Albemarle, Virginia, 1936 Land Book.

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¹⁶⁴ Bill Emory, "Woolen Mills Road," <<http://www.historicwoolenmills.org>> (June-August 2009).

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 8 Page 52



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- ¹⁶⁵ United States Census Records, 1920.
 - ¹⁶⁶ County of Albemarle, Virginia, 1912 Land Book.
 - ¹⁶⁷ County of Albemarle, Virginia, Deed Books 128, 482; 128, 483; 128, 481.
 - ¹⁶⁸ County of Albemarle, Virginia, 1936 Land Book.
 - ¹⁶⁹ Poindexter, "A History of the Charlottesville Woolen Mills," 151-2.
 - ¹⁷⁰ Myers, "The Charlottesville Woolen Mills," 113.
 - ¹⁷¹ Poindexter, "A History of the Charlottesville Woolen Mills," 167-8.
 - ¹⁷² "Historical Sketch, Charlottesville Woolen Mills," (July 1962, Special Collections, The University of Virginia Library, Charlottesville, Virginia).
 - ¹⁷³ "Historical Sketch."
 - ¹⁷⁴ "Historical Sketch."
 - ¹⁷⁵ "Woolen Mills Dismantled after 130-Year History," *Daily Progress* (Charlottesville), 21 August 1963.
 - ¹⁷⁶ County of Albemarle, Virginia, Deed Books 339, 88 and 304, 262.
 - ¹⁷⁷ United States Census Records, 1930.
 - ¹⁷⁸ County of Albemarle, Virginia, Deed Book 339, 85; County of Albemarle, Virginia, 1959 and 1961 Land Books.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 9 Page 53

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United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Woolen Mills Village Historic District
Charlottesville, Virginia

Section 9 Page 54

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United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Woolen Mills Village Historic District
Charlottesville, Virginia

Section 9 Page 55

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**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 9 Page 56



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**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 10 Page 57

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10. GEOGRAPHICAL DATA

UTM REFERENCES

- A. 722585.6337E 4211513.0187N
- B. 722622.8963E 4211602.6994N
- C. 723108.7712E 4212021.5027N
- D. 723247.8180E 4211902.9223N
- E. 723518.5834E 4211197.8705N
- F. 723479.6348E 4211008.8615N
- G. 723281.4938E 4210888.9511N
- H. 723155.5432E 4210951.9581N
- I. 722614.3884E 4211453.8915N

VERBAL BOUNDARY DESCRIPTION

The boundaries are shown on the accompanying map.

BOUNDARY JUSTIFICATION

The boundaries for the Woolen Mills Village Historic District rely largely on historic parcel lines to surround the greatest concentration of contributing resources. The southern boundary follows the CSX Railroad and the southern parcel lines of the historic 1885 plat of the Brennan land. This plat stretched from Riverside Avenue on the east to approximately Meade Avenue along the south side of East Market Street. The boundaries include all of the historic parcels (and accompanying resources) on the eastern side of this plat along the south side of East Market Street, ending at Leake Lane on the southwestern edge because the buildings to the west of Leake Lane are largely non-contributing to the District's period of significance. The southeastern boundaries of the District follow the parcel lines of the Charlottesville Woolen Mill's land, including the house at 2000 Marchant Street built in the late 19th-century for the mill president and superintendent, Henry Clay Marchant, and the worker's housing on Pireus Row and the mill buildings at the end of East Market Street. Staying east of the Rivanna River and north of Moore's Creek, the eastern boundaries do extend to include the ruined dam. Active since the early 19th century, the dam at this site has determined the growth of the area as an industrial center. The boundaries then extend northwest to include the housing built by the mills on the north side of East Market Street and Riverside Avenue. The buildings included on the north side of East Market Street and the few on the south side of the eastern end of Chesapeake Street are largely the contributing resources built on parcels determined by the 1886 plat of the Farish land. Few other buildings on the south side of Chesapeake Street are included because this side of the street was largely developed after the period of significance. Late 19th-century property owners often purchased lots on the north side of East Market Street along with the abutting lots fronting onto the south side of Chesapeake Street. Development along the south side of Chesapeake was limited during the period of significance, therefore, to the eastern edge (closest to the mills) and at the intersection of 18th Street NE, then a new street. Contributing resources in these areas of the south side of Chesapeake Street have been included within the boundaries. Riverview Cemetery and the few buildings on the north side of Chesapeake Street were largely included because of their association with the mills and their participation in

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section 10 Page 58

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the general stylistic and historical trends of the District. The house at 1700 Chesapeake was built by the caretaker for the cemetery in the late 19th-century and has been included because of its association with that resource. The boundaries' northwestern edge is determined by 18th Street NE north, as the land west of this intersection and north of East market Street was developed as a golf course in the 1920s and as a residential neighborhood in the 1930s.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section Photos Page 59

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PHOTOGRAPHIC DOCUMENTATION

Unless otherwise noted, all photographs are of:

Property: Woolen Mills Village Historic District (VDHR File Number 002-1260)

Location: Charlottesville, Virginia

Date of Photograph: August 2009

Photographer: Lydia Mattice Brandt

Digital images on file at the Department of Historic Resources in Richmond, Virginia.

1 of 12

View: 1901 East Market Street, view of south-facing facade

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0001.tif

County: Albemarle

2 of 12

View: Riverview Cemetery (1701 Chesapeake Street), view looking southwest

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0002.tif

3 of 12

View: 1819 East Market Street (Woolen Mills Chapel), view of south-facing facade

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0003.tif

Photographer: Bill Emory

4 of 12

View: 2100 East Market Street (the Charlottesville Woolen Mills), view looking southwest

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0004.tif

County: Albemarle

5 of 12

View: Streetscape, East Market Street looking east from 1909 East Market Street

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0005.tif

County: Albemarle

6 of 12

View: Streetscape, East Market Street looking west from 1604 East Market Street

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0006.tif

Photographer: Bill Emory

Date: December 2007

7 of 12

View: 1729 Chesapeake Street, view of south-facing facade

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0007.tif

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Woolen Mills Village Historic District
Charlottesville, Virginia**

Section Photos **Page** 60

=====

8 of 12

View: 2000 Marchant Street (Marchant House), view of north-facing facade

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0008.tif

County: Albemarle

9 of 12

View: shed at 1606 East Market Street, view of east elevation

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0009.tif

10 of 12

View: 1613 East Market Street, view of south-facing facade

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0010.tif

11 of 12

View: 1617 East Market Street, view of south-facing facade

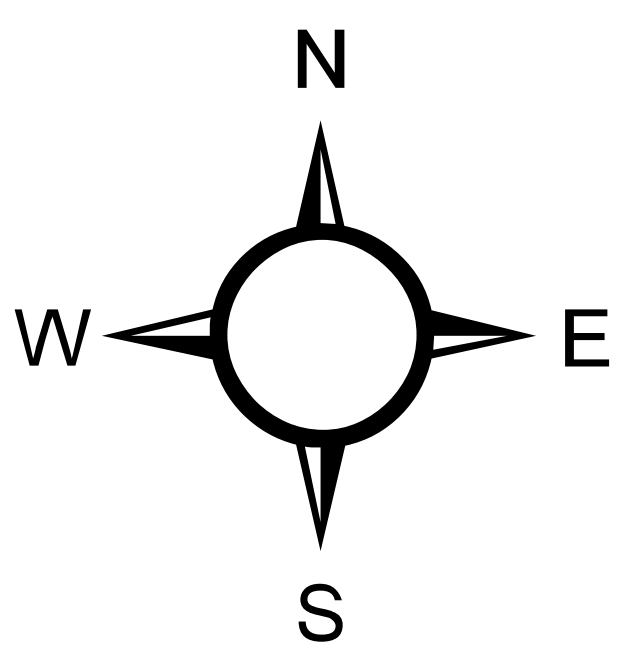
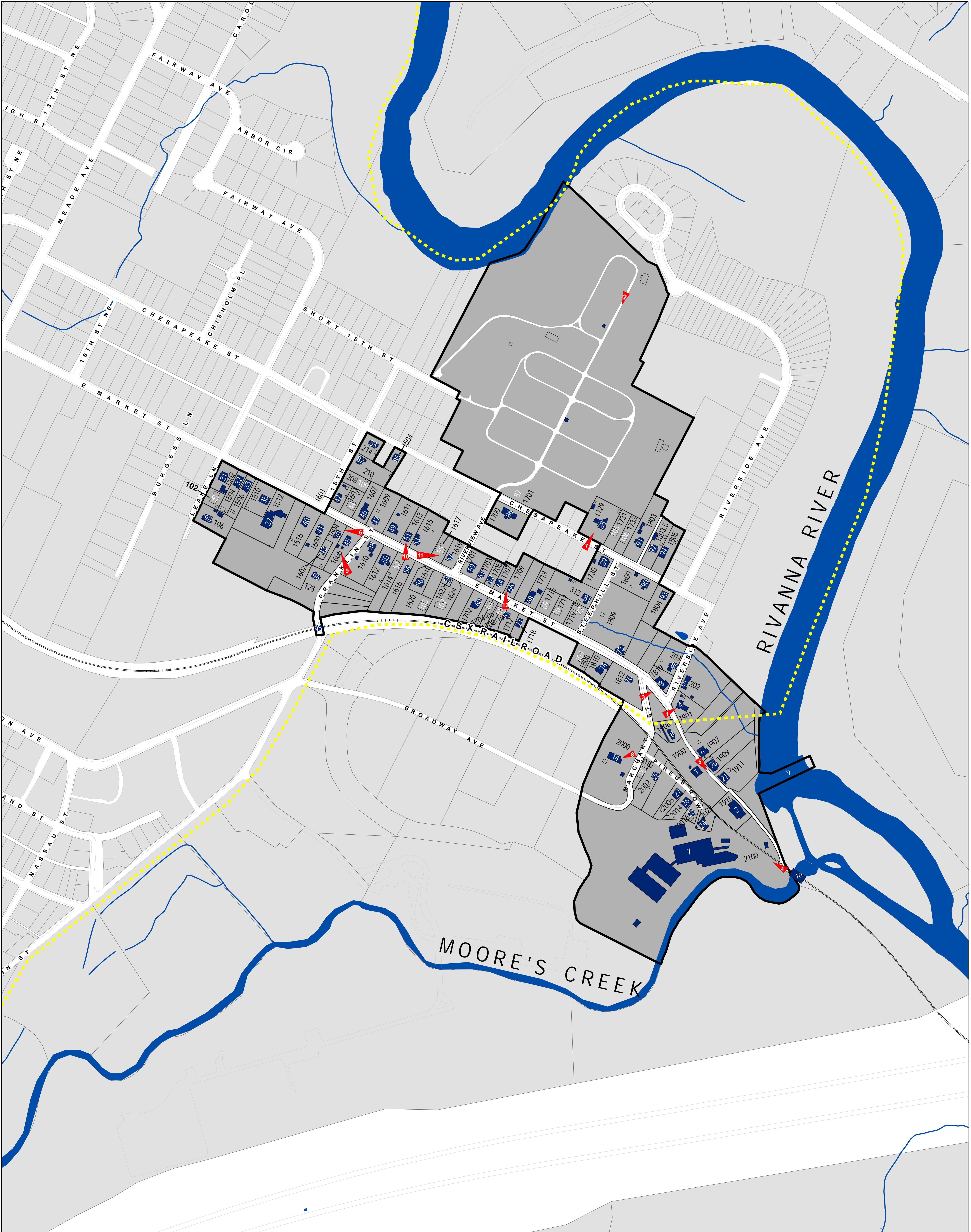
Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0011.tif

12 of 12

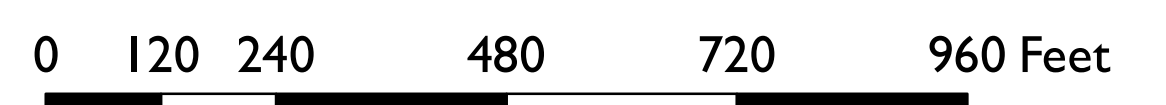
View: 1709 East Market Street, view of south-facing facade

Filename: VA_AlbemarleCounty_WoolenMillsVillageHD_0012.tif

PROPOSED WOOLEN MILLS VILLAGE NATIONAL REGISTER HISTORIC DISTRICT AUGUST 2009



	City Limits
	Proposed District
	Contributing Resource
	Non-Contributing Resource
1808	Resource Address
	DHR Number (002-I260-0__)
	Photo Key Arrow





1



2



3



4



5



6



7



8



9



10



11



12

6. WMNA rezoning request email from Bill Emory

Scala, Mary Joy

From: bill emory <billemory@gmail.com>
Sent: Monday, May 30, 2016 11:59 AM
To: Council
Cc: Planning Commission; Scala, Mary Joy; Rainey, Carrie; wmna-board; Margaret Maliszewski; Lydia Brandt
Subject: Woolen Mills Conservation District petition
Attachments: attachment A.pdf; attachment B.pdf; attachment C.pdf

~~emitted - DAP~~

Memorial Day, May 30, 2016

Dear City Councilors,

The purpose of this letter is to seek your support for establishing a Historic Conservation Overlay District (CV) for a 60 acre portion of the Woolen Mills Neighborhood (that same portion which was listed on the National Register of Historic Places April 12, 2010).

For decades, the Woolen Mills Neighborhood has partnered with the City in an effort to retain the character of our community located in a bend of the Rivanna River at the foot of Monticello Mountain (a world heritage site). The Woolen Mills Village (both in Charlottesville and Albemarle County) contributes significantly to the architectural, archaeological, recreational, residential and historical offerings of our central Virginia region.

In 2006 the Virginia Department of Historic Resources (DHR) recommended that the Woolen Mills neighborhood contained a historic district potentially eligible for listing in the Virginia Landmarks Register (VLR) and the National Register of Historic Places (NRHP). Neighborhood residents initiated a project through DHR with the generous support of the city and county, to pursue an architectural and historic building survey to document properties within the neighborhood that resulted in the listing of the Woolen Mills Village Historic District in the National Register of Historic Places and the Virginia Landmarks Register. The map of the Virginia/Federal historic designated area and the National Parks Service Registration Form are included as Attachment A.

While the historic places designations did provide welcomed recognition of the worthy status of our community, as well as limited tax credits for preservation and restoration of contributing properties, they do not provide a reliable, legal basis for the continued protection of the historic structures and character of the neighborhood. The CV offers a starting point in a progression toward a small area plan to address land use issues for the entire 268 acre Woolen Mills Neighborhood. Additionally, the CV would help to avoid the loss of affordable housing, the loss of historic resources and the out of scale residential development we have seen elsewhere in the City.

Community Engagement:

The Woolen Mills Neighborhood Association meets monthly, the 2nd Monday at 7:00 p.m.. Discussion began at these meetings in September 2013 regarding the possibility of the neighborhood applying for a CV overlay. Minutes of the meetings are posted electronically at the [WMNA webpage](#) and physically at a bulletin Board in Meade Park. Subsequently, the WMNA Board approved a mailing to affected property owners to float a trial balloon about a CV. (February 2016, attachment B).

April 11, 2016. The WMNA hosted a community meeting with NDS Preservation and Design Planner Ms. Mary Joy Scala to educate residents on the pros and cons of a CV and to answer questions. [The audio from this](#)

meeting is posted on the Internet.

May 6, 2016, the WMNA mailed ballots to the 68 owners of the 80 parcels which would be affected by the proposed CV overlay. In the two weeks that followed, 72% (49) of the owners responded. Three voted "no", forty-six voted "yes". (Attachment C)

On the basis of the positive affected property owners response to this initiative the Woolen Mills Neighborhood Association petitions to create the Woolen Mills Village Historic Conservation District and seeks official city action and approval. This letter constitutes that formal application and request.

Best Regards,

Bill Emory (WMNA Board Secretary)
1604 E Market ST Charlottesville VA 22902

All cities contain areas, sites, or structures of architectural and/or historical interest or significance. Such structures and areas contribute to the particular uniqueness of each city and form an important part of that city's physical and cultural heritage which, if lost, cannot be replaced. The loss of its heritage deprives the city of its individuality. Unless means can be found to retain important structures and areas in urban areas, our communities face a future of historical and architectural sterility.—Historic Landmark Study, Charlottesville, Virginia, 1976

p.s.- The petition is for the City portion of the NRHP "Woolen Mills Village" district, site #002-1260.

Woolen Mills Neighborhood Association

February 13, 2016

Dear xxxx,

One of the pleasures of living in the Woolen Mills Neighborhood is its ambiance, daily being in the presence of the story told by our neighborhood's landscape and architecture.

The City of Charlottesville has a zoning tool available to help protect the unique built fabric of our neighborhood, the "Historic Conservation District" designation. The designation offers protection for the character of neighborhoods through a review process that addresses the construction of new buildings and substantial demolitions to existing houses. Currently, the sections of the city that have Conservation District designation are in the Martha Jefferson and Rugby Road neighborhoods. The Woolen Mills Neighborhood Association Board believes that the Woolen Mills would benefit from the protection offered by the Historic Conservation District designation.

Achieving additional zoning protection and design guideline benefits requires the support of landowners within the proposed Historic Conservation District. You have received this letter because your property is located in the area eligible for additional protection. If residents support the idea of a new Historic Conservation District within the Woolen Mills neighborhood, then the WMNA would request that the City Council establish the district.

This zoning protection can only be acquired if it is supported by affected homeowners. Information about Historic Conservation Districts is available on the WMNA website at:

<http://woolenmillsneighborhood.org/conservation-districts/>

We request that you consider the benefits and responsibilities of property ownership within a Historic Conservation District before we ask you to vote for your preference (pro or con for a Woolen Mills Village Historic Conservation District.) Your opinion counts!

Best regards,

Woolen Mills Neighborhood Association Board

P.S. We will host an informational meeting about this topic on 03/14/16 in the Woolen Mills Chapel from 7:00-9:00 PM. Please feel free to contact Bill Emory, WMNA secretary, with questions about this initiative: billemory@gmail.com 434-977-1243 804-462-9968

The teardown trend began nationally in 2002. Modest historic houses are scraped off lots and replaced with mega-mansions.

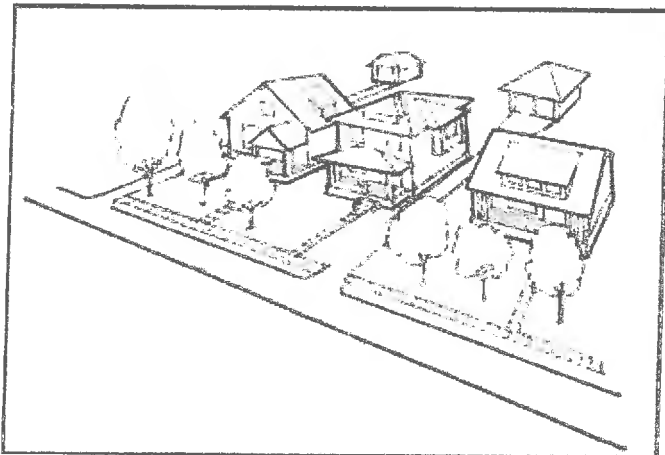
The teardowns cause the loss of historic architecture, but the phenomenon is also about community character, smart growth, affordable housing, environmental sustainability, economic and demographic shifts, and the ever-changing real estate market and housing preferences.

Community economic and social diversity is reduced as new over-scaled houses replace affordable homes.

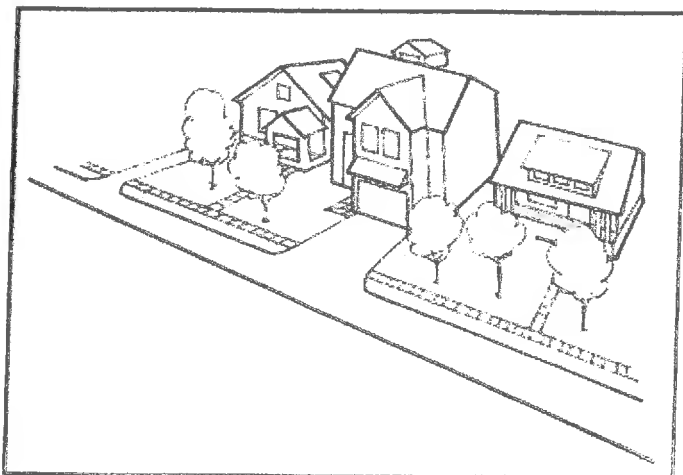
The existing zoning code in the Woolen Mills would allow the juxtaposition above. (to see it live visit Booker Street).



620 and 624 Booker Street, Charlottesville, Virginia



Voting for a Woolen Mills conservation district would discourage this before and after situation.



Lets have a neighborhood conversation, we believe in the necessity of a thorough study and understanding before we invite new rules and regs.

FAQS:

- Q: Can I repaint my house optic yellow?
- A: Yes.
- Q: Can I build a modern architecture house on my empty lot?
- A: Yes, modern style is encouraged.
- Q: Can I replace my windows and doors with energy efficient "modern" windows and doors?
- A: Yes

Q: How is this different from an Architectural Design Control (ADC) District?

A: (1) Unlike in an ADC District, where review is required of all exterior changes to existing buildings, in a Historic Conservation District no BAR approval is required for rehabilitations of an existing building, or for smaller additions and demolitions;

(2) The Historic Conservation District guidelines have been greatly condensed and simplified; and

(3) The residents of a Historic Conservation District help identify neighborhood features to be preserved.

Woolen Mills Neighborhood Association

May 5, 2016

Dear XXXXX,

In February we wrote regarding the possibility of establishing a "Historic Conservation District" zoning overlay within a portion of the Woolen Mills neighborhood.

April 11, Mary Joy Scala, the City's Design and Preservation planner came to the Woolen Mills Chapel where she gave an overview of Conservation Districts and took questions from assembled neighbors.

It is time to vote! Please sign, date and mail the enclosed postcard.

Best regards,

P.S. A recording of Ms. Scala's presentation is available on the Internet.

<http://woolenmillsneighborhood.org/blog/historic-conservation-district-101/>

Unanswered questions? Send them to Ms. Scala scala@charlottesville.org or call me.

Bill Emory (WMNA Board secretary)
1604 E Market Street
Charlottesville VA 22902
434-977-1243, 804-462-9968(m)
billeemory@gmail.com

Dear Planning Commissioners, BAR and City Councilors,

As a property owner in the affected area

I support

I do not support

the establishment of a local conservation district overlay for the City portion (60 acres) of the Woolen Mills Village district listed on the National Register of Historic Places in April of 2010.

Name:

Parcel:

Property Address:

Signature and date:

Dear Planning Commissioners, BAR and Council,

As a property owner in the affected area

I support

I do not support

the establishment of a local conservation district overlay for the City portion (60 acres) of the Woolen Mills Village district listed on the National Register of Historic Places in April of 2010.

Name:

Parcel:

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Signature and date:

Dear Planning Commissioners, BAR and Council,

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Property Address:

Signature and date:

Dear Planning Commissioners, BAR and Council,

As a property owner in the affected area

I support

I do not support

the establishment of a local conservation district overlay for the City portion (60 acres) of the Woolen Mills Village district listed on the National Register of Historic Places in April of 2010.

Name:

Parcel:

Property Address:

Signature and date:

parcel #	owner	property address	mailing address	address3	zipcode	response rec'd
55A118000	ACKERMAN, KARL D & JENNIFER G	1611 E MARKET ST	1611 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
560123000	ADEBOYE, BOLANLE LABAKE	1810 E MARKET ST	1810 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A106000	ALEXANDER, JOHN & DIANE OBER, TRUSTEES	210 18TH ST NE	210 18TH ST NE	CHARLOTTESVILLE VA	22902	1
560119100	ALFELE, MATT	1704 E MARKET ST	1704 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A124100	ALLISON, SUSAN J	1705 E MARKET ST	1705 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
560040A00	ANDERSON, JOHN N & ISOLINA G N	102 LEAKE LN	102 LEAKE LANE	CHARLOTTESVILLE VA	22902	1
55A122000	ARTHUR, PATRICK	1619 E MARKET ST	1619 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A115200	BALTIMORE, DAVID N	1603 E MARKET ST	605 MARSHALL CT	CHARLOTTESVILLE VA	22902	1
55A136000	BONNEY, HOLBROOK & K LEE WILLIS	1719 E MARKET ST	807 DRUID AVE	CHARLOTTESVILLE VA	22902	1
560113000	BURGESS LANE PROPERTIES INC	123 FRANKLIN ST	P O BOX 1054	CHARLOTTESVILLE VA	22902	1
55A116000	BURKE, MARY KATHERINE	1607 E MARKET ST	1607 EAST MARKET ST	CHARLOTTESVILLE VA	22902	1
55A148000	CATLIN, BEVERLY L & DIMITRA A COSTAN	202 RIVERSIDE AVE	202 RIVERSIDE AVENUE	CHARLOTTESVILLE VA	22902	1
560124000	CHESTER, KATHERINE A	1812 E MARKET ST	1812 E MARKET ST	CHARLOTTESVILLE VA	22902	1
560107000	CHILDRESS, CONNOR J M & MARIEL T	1516 E MARKET ST	1516 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
560116100	Dee, Catherine Louise	1620 E MARKET ST	50 Pleasant ST	Marblehead MA	1945	1
55A107000	DIVEN, JOHN R	214 18TH ST NE	214 18TH STREET NE	CHARLOTTESVILLE VA	22902	1
560114000	DOMINICK, BETTY JO	1610 E MARKET ST	1610 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
560110000	EMORY, WILLIAM H	1604 E MARKET ST	1604 E MARKET ST	CHARLOTTESVILLE VA	22902	1
560111000	EMORY, WILLIAM H	1602 E MARKET ST	1604 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A149000	FINK, JONATHAN H & ROBYN J	1901 E MARKET ST	1901 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A150000	FINK, JONATHAN H & ROBYN J	E MARKET ST	1901 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
560041000	GARDNER, TAMARA L	106 LEAKE LN	106 LEAKE LANE	CHARLOTTESVILLE VA	22902	1
560114100	GELBURD, GREG S	1612 E MARKET ST	1612 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A134000	GIANAKOS, BRIDGIT ANN GATLIN	1730 CHESAPEAKE ST	1730 CHESAPEAKE STREET #A	CHARLOTTESVILLE VA	22902	1
55A090000	GIBSON, ROBERT R & SARAH B MCCONNELL	1803 CHESAPEAKE ST	1803 CHESAPEAKE STREET	CHARLOTTESVILLE VA	22902	1
560112000	GODDIN, CHARLES BURR	1606 E MARKET ST	511 MOSELEY DR	CHARLOTTESVILLE VA	22902	1
55A115100	HANES, ROBIN	208 18TH ST NE	1709 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A130000	HANES, ROBIN M	E MARKET ST	1709 E MARKET ST	CHARLOTTESVILLE VA	22902	1
55A130100	HANES, ROBIN M	1709 E MARKET ST	1709 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A124000	Hanson, Corrina B	1703 E MARKET ST	1703 E Market ST	CHARLOTTESVILLE VA	22902	1
55A138000	HART, JAMES G	1715 E MARKET ST	1715 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
560040000	HURT, FLOYD W, JR, TRUST	1502 E MARKET ST	1213 WHITE HALL ROAD	KESWICK VA	22947	1
560123100	IVEY, JASON A & SACHI O	1808 E MARKET ST	1808 E MARKET ST	CHARLOTTESVILLE VA	22902	1
560119A00	JOHNSON, JUDY MARIE	1702 E MARKET ST	1702 E MARKET ST	CHARLOTTESVILLE VA	22902	1
560119000	JOHNSON, JUDY MARIE	1700 E MARKET ST	1702 E MARKET ST	CHARLOTTESVILLE VA	22902	1
560116200	KERNER, WILLIAM B JR	1620 E MARKET ST	1620 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A131000	LAMB, DOUGLAS E	1713 E MARKET ST	1713 EAST MARKET ST	CHARLOTTESVILLE VA	22902	1
560121000	LAPE, EMILY E	1718 E MARKET ST	1718 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A089100	LAWRENCE, FRANCIS M & EDITH C	1729 CHESAPEAKE ST	1729 CHESAPEAKE STREET	CHARLOTTESVILLE VA	22902	1
55A109000	LAWRENCE, FRANCIS MCQ & EDITH CATLIN	1504 CHESAPEAKE ST			22902	1
55A122100	LEWIS, EDWIN D & DONNA M	1617 E MARKET ST	1617 EAST MARKET ST	CHARLOTTESVILLE VA	22902	1
560114500	MORNINGSTAR DEVELOPMENT LLC	FRANKLIN ST	3101 SUGAR HILL LANE	CROZET VA	22932	1
55A121000	OPPENHEIMER, LEMUEL & JENNIFER	1615 E MARKET ST	1615 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
560040100	PARMENTER, THOMAS A, JR	1504 E MARKET ST	1504 E MARKET ST	CHARLOTTESVILLE VA	22902	1
55A089200	PARRISH, HELEN P TR-FOR GOR LD TR	1731 CHESAPEAKE ST	1126 DRYDEN LANE	CHARLOTTESVILLE VA	22903	1
560119200	POTHOVEN, GARY K & DANIELLE M RACKE	1706 E MARKET ST	1706 E MARKET ST	CHARLOTTESVILLE VA	22902	1
55A143000	RAIFORD, HARRIET E & GILLIAN G M KYLES	203 RIVERSIDE AVE	203 RIVERSIDE AVENUE	CHARLOTTESVILLE VA	22902	1
55A141000	SCOTT, ADAM & JULIE MCGANNEY	1804 CHESAPEAKE ST	1804 CHESAPEAKE ST	CHARLOTTESVILLE VA	22902	1
55A117000	SCRUGGS, BETTY LOU & LUCIAN R JR	1609 E MARKET ST	1609 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A135000	SHULLAW, BRIAN C & SARA E	313 STEEPHILL ST	313 STEEPHILL STREET	CHARLOTTESVILLE VA	22902	1
560108000	SYME, PRESTON T JR & MICHELE MARTIN	1600 E MARKET ST	1600 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A115000	THOMPSON, BENJAMIN J & SUMMERLYN L	1601 E MARKET ST	1601 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A128000	VAN YAHRES, MICHEL & MARGARET F	1700 CHESAPEAKE ST	1700 CHESAPEAKE ST	CHARLOTTESVILLE VA	22902	1
560040300	VOISINET, ROGER L	1510 E MARKET ST	1907 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A089300	WANN, BEVERLY JEAN	1733 CHESAPEAKE ST	1733 CHESAPEAKE ST	CHARLOTTESVILLE VA	22902	1
55A144000	WOOLEN MILLS CHAPEL TR	E MARKET ST	1819 EAST MARKET ST	CHARLOTTESVILLE VA	22902	1
55A145000	WOOLEN MILLS CHAPEL TR	E MARKET ST	1819 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
55A146000	WOOLEN MILLS CHAPEL TR	1819 E MARKET ST	1819 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	1
560118000	ARNETTE, INOCH	1624 E MARKET ST	1624 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	0
55A125000	BALFREY, DAVID	1707 E MARKET ST	1707 E MARKET ST	CHARLOTTESVILLE VA	22902	0
560119300	C & T RENTALS LLC	1708 E MARKET ST	307 WEST RIO ROAD	CHARLOTTESVILLE VA	22903	0
560114300	FRANKLIN ST, LLC	FRANKLIN ST	1845 JAMES MONROE PKWY	CHARLOTTESVILLE VA	22902	0
560114400	FRANKLIN ST, LLC	FRANKLIN ST	1845 JAMES MONROE PKWY	CHARLOTTESVILLE VA	22902	0
560114200	FRANKLIN ST, LLC	FRANKLIN ST	1845 JAMES MONROE PKWY	CHARLOTTESVILLE VA	22902	0
560115000	GIBSON, NANCY W, TRUST	1614 E MARKET ST	5614 BROWNSVILLE ROAD	CHARLOTTESVILLE VA	22903	0
560115100	GIBSON, NANCY W, TRUST	1616 E MARKET ST	5614 BROWNSVILLE ROAD	CHARLOTTESVILLE VA	22903	0
55A120000	HARGROVE, CHRIS D & PATRICIA E HIDALGO	1613 E MARKET ST	1613 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	0
560040400	JABA TIMBERLAKE PLACE, LLC	1512 E MARKET ST	674 HILLSDALE DR STE 9	CHARLOTTESVILLE VA	22901	0
560109000	JABA TIMBERLAKE PLACE, LLC	1518 1518 1518 E MARKET ST	674 HILLSDALE DR STE 9	CHARLOTTESVILLE VA	22901	0
560120000	LAVEZZO REAL ESTATE, LLC	1712 E MARKET ST	3990 FARRCROFT DR	FAIRFAX VA	22030	0
560040200	PARMENTER, THOMAS A SR & LAURA E	1506 E MARKET ST	1506 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	0
55A093000	PAYNE, WILLIAM E & PATRICIA S	1805 CHESAPEAKE ST	1805 CHESAPEAKE STREET	CHARLOTTESVILLE VA	22902	0
55A088000	RIVERVIEW CEMETERY CORPORATION	1701 CHESAPEAKE ST	1701 CHESAPEAKE STREET	CHARLOTTESVILLE VA	22902	0
55A137000	Sarver, Jonathan R	1717 E MARKET ST	1717 E Market ST	CHARLOTTESVILLE VA	22902	0
55A139000	SCHULTZ, LOUIS & LAURA C COVERT	1809 E MARKET ST	1809 EAST MARKET STREET	CHARLOTTESVILLE VA	22902	0
55A092000	SPENCER, CHARLOTTE C	1803-1/2 CHESAPEAKE ST	1803-1/2 CHESAPEAKE ST	CHARLOTTESVILLE VA	22902	0
55A140000	SPENCER, CLARENCE E JR & VIRGINIA L	1800 CHESAPEAKE ST	1800 CHESAPEAKE STREET	CHARLOTTESVILLE VA	22902	0
560119400	TUCKER, WILLIAM, III	1710 E MARKET ST	307 WEST RIO ROAD	CHARLOTTESVILLE VA	22901	0
55A123000	UMBERGER, BARRY EVERETT & DARA ECHOLS	1701 E MARKET ST	1701 EAST MARKET ST	CHARLOTTESVILLE VA	22902	0
560116000	WELLS FARGO BANK, NA, ETAL	1618 E MARKET ST	Wells Fargo Bank PO Box 13519	Arlington TX	76094	0
560117000	WINTER, MARY P P & JOHN A W	1622 E MARKET ST	1015 DEER RUN DRIVE	EARLYSVILLE VA	22936	0

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



REQUEST FOR A ZONING TEXT AMENDMENT

WEST MAIN STREET CORRIDORS DENSITY REGULATIONS

JOINT PUBLIC HEARING

DATE OF PLANNING COMMISSION MEETING: November 9, 2016

Author of Staff Report: Brian Haluska

Date of Staff Report: October 24, 2016

Applicable City Code Provisions: Chapter 34 (Zoning Ordinance) Sections 621 and 641

Executive Summary

An ordinance to revise regulations regarding the permitted residential density in the West Main Street East and West Main Street West Corridors.

Background

At their meeting on March 21, 2016, the City Council referred the West Main Corridor zoning changes back to the Planning Commission following a concern that the proposed increase in by-right residential density was not covered by the previous advertisement. The proposal specifically mentioned by Council was to raise the by-right density in the corridors to 200 dwelling units per acre, thereby eliminating the need to review special use permit requests for higher residential density. Projects would be limited instead by the maximum heights, with the number of residential units controlled by the building code and floor heights within the building.

After a work session on May 24, 2016 the Planning Commission reviewed the proposed changes and recommended the density changes be denied at their meeting on June 14, 2016. The Commission favored keeping the by-right residential density at 43 dwelling units per acre across both West Main Corridors, in part because it would give the City an additional layer of review on projects with regard to the number of bedrooms in residential units on the corridor. The Commission expressed concern about the parking impacts of increased residential density that was not subject to review in a public forum. Council considered this recommendation in July 2016, and ultimately returned the item with an alternative proposal for review.

Standard of Review

As per state law and §34-42 of the City Code, the planning commission is required to review this proposed amendment to determine:

- (1) Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;
- (2) Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;
- (3) Whether there is a need and justification for the change; and
- (4) Whether the amendment is required by the public necessity, convenience, general welfare or good zoning practice.

Discussion of the Proposed Draft Ordinance

The full text of the proposed draft ordinance is attached to this report. The specific recommended changes to the ordinance are:

Section 34-621

This section regulates the maximum permitted residential density in the stepbacks and setbacks within the West Main Street West Corridor. The proposed changes would raise the maximum density permitted by right to 64 dwelling units per acre, and lower the maximum residential density permitted by special use permit to 180 dwelling units per acre.

Section 34-641

This section regulates the maximum permitted residential density in the stepbacks and setbacks within the West Main Street East Corridor. The proposed changes would lower the maximum residential density permitted by special use permit to 120 dwelling units per acre.

Currently the maximum residential density permitted as a matter of right in both zones is limited to 43 dwelling units per acre, and the maximum permitted by special use permit is 200 dwelling units per acre.

Staff Analysis

1. Does the proposed amendment conform to the general guidelines and policies contained in the comprehensive plan?

The Comprehensive Plan does not contain guidance on a revision as proposed here, as it describes the City's vision rather than a prescriptive guidance on administrative details. Staff feels the proposed changes to the West Main Street Corridors conform to the general guidance guidelines and policies contained in the Comprehensive Plan.

2. Does the proposed amendment further the purposes of the Zoning Ordinance (Chapter 34, City Code) and the general welfare of the entire community?

Staff feels the proposed changes to the West Main Street Corridors meets the purposes of the Zoning Ordinance by providing residential density regulations that are in line with the permitted building heights in the zones.

3. Is there a need and justification for the change?

The changes to the maximum building heights in the zoning districts along West Main Street gives rise to the need to alter the residential zoning regulations. The proposed residential density limits are based on the potential size of structures within the zones approved earlier in the year.

Public Comment

Staff has not received any public comment on this proposed change

Recommendation

At their work session on September 27, 2016, the Commission discussed the proposed changes and had no concerns with them as presented. The Commission requested some examples of residential density to aid in visualizing residential density. Staff has attached a table previously included in memos to the Commission that lists the residential density of several prominent structures in the City. Staff cautions, however, against using visual examples of residential density – as the residential density of a project does not take into account the size of the units in the building or actual occupants when measured as units per acre.. For example, the Flats is a taller building on the south side of West Main Street, but has a lower residential density than the Uncommon.

Staff recommends approval of the changes to the West Main Street Corridors, Section 34-621 and 641 as presented.

Possible Motions

1. “I move to recommend to City Council that it should amend Sections 34-621 and 641 of the zoning ordinance, to revise the maximum residential density regulations in the West Main Street Corridors, as presented in the text amendments advertised for the November 9, 2016 hearing, because I find that this amendment is required by the public necessity, convenience, general welfare or good zoning practice.

2. I move to recommend to City Council that it should amend Sections 34-621 and 641 of the zoning ordinance, as advertised for the November 9, 2016 public hearing, to revise the maximum residential density regulations in the West Main Street Corridors, with the following changes:
 - a. _____
 - b. _____

I find that the draft ordinance presented by staff, with these changes, is required by the public necessity, convenience, general welfare or good zoning practice.

3. “I move to recommend to City Council that it should not amend Sections 34-621 and 641 of the zoning ordinance as advertised for the November 9, 2016 public hearing, because I find that the amendment is not required by the public necessity, convenience, general welfare or good zoning practice.

Attachment

Proposed Alternative Ordinance from Councilor Galvin
Draft Ordinance Revision
Residential density of select Charlottesville developments

ALTERNATE PROPOSED ORDINANCE

ZT16-0001

AN ORDINANCE

APPROVING AMENDMENTS TO CHAPTER 34 OF THE CODE OF THE CITY OF CHARLOTTESVILLE (1990), AS AMENDED (ZONING), DIVISION 5 (WEST MAIN STREET WEST CORRIDOR), SEC. 34-621 (DENSITY) AND DIVISION 6 (WEST MAIN STREET EAST CORRIDOR), SEC. 34-641 (DENSITY) TO INCREASE THE RESIDENTIAL DENSITY ALLOWED BY RIGHT WITHIN EACH DISTRICT FROM 43 DUA TO 200 DUA

WHEREAS, by resolution adopted on March 21, 2016, City Council initiated certain amendments to the text of the City’s Zoning Ordinance, Sections 34-621 AND 34-641 of the Code of the City of Charlottesville (1990), as amended (“Proposed Zoning Text Amendment”); and

WHEREAS, a public hearing on the Proposed Zoning Text Amendment was held before the Planning Commission on June 14, 2016, after notice to the public and to adjacent property owners as required by law, and following conclusion of the public hearing the Planning Commission voted to recommend denial of the Proposed Zoning Text Amendment; and

WHEREAS, a public hearing on the Proposed Zoning Text Amendment was held before this City Council on July 18, 2016, after notice to the public and to adjacent property owners as required by law; and

WHEREAS, after consideration of the Planning Commission’s recommendation as well as other factors and considerations, this Council is of the opinion that that the Proposed Zoning Text Amendment has been designed to give reasonable consideration to the purposes listed in Sec. 15.2-2283 of the Code of Virginia (1950), as amended, and this Council hereby finds and determines that: (i) the public necessity, convenience, general welfare and good zoning practice require the Proposed Zoning Text Amendment, and (ii) the Proposed Zoning Text Amendment is consistent with the Comprehensive Plan; now, therefore,

BE IT ORDAINED by the Council of the City of Charlottesville, Virginia that Sections 34-621 and 34-641 of the Code of the City of Charlottesville (1990), as amended, are hereby amended and reenacted as follows:

Sec. 34-621. Density

Residential density shall not exceed ~~forty-three (43)~~ sixty four (64) DUA; however, up to ~~two hundred (200)~~ one hundred eighty (180) DUA may be allowed by special use permit.

Sec. 34-641. Density

Residential density shall not exceed forty-three (43) DUA; however, up to ~~two hundred (200)~~ one hundred twenty (120) DUA may be allowed by special use permit.

DIVISION 5. - REGULATIONS—WEST MAIN STREET WEST CORRIDOR ("WMW")

Sec. 34-621. - Density.

Residential density shall not exceed ~~forty-three (43) DUA~~ sixty-four (64) Dwelling Unit per Acre; however, up to ~~two hundred (200)~~ one hundred and eighty (180) DUA may be allowed by special use permit.

DIVISION 6. - REGULATIONS—WEST MAIN STREET EAST CORRIDOR ("WME")

Sec. 34-641. - Density.

Residential density shall not exceed forty-three (43) DUA; however, up to ~~two hundred (200)~~ one hundred and twenty (120) DUA may be allowed by special use permit.

Building/Development	Address	Density (DUA)
SNL Building	1 SNL Plaza	0
Jefferson National Building	123 E. Main Street	0
Woolworth's Building	323 E. Main Street	0
Cherry Hill	Cherry Avenue	9.7
Friendship Court	400 block Garrett St.	12.7
Oak Lawn Cottages	206 5 th Street SW	15.4
Queen Charlotte Apartments	201 E. Jefferson St.	21.8
Sunrise PUD	1400 Carlton Ave	27
Gleason Building	200 Garrett St	40
Norcross Station	310-322 Garrett St.	54
York Place	112 W Main St	55
GrandMarc Apartments	301 15 th St NW	62
The Standard	852 West Main Street	76
The Crossings	401 Preston Avenue	81
The Flats	852 W Main Street	97
The Uncommon	1000 West Main St	127
Monticello Hotel	500 Court Square	256

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



REQUEST FOR A ZONING TEXT AMENDMENT

WATER STREET CORRIDOR AMENDMENTS

JOINT PUBLIC HEARING

DATE OF PLANNING COMMISSION MEETING: November 9, 2016

Author of Staff Report: Brian Haluska

Date of Staff Report: October 24, 2016

Applicable City Code Provisions: Chapter 34 (Zoning Ordinance) Section 743

Executive Summary

A zoning text amendment has been initiated, to revise regulations regarding the required building setbacks and setbacks in the Water Street Corridor.

Background

At the regular meeting on June 14, 2016, the Planning Commission initiated a review of potential changes to the Water Street Corridor zoning district, as a result of questions raised by the rezoning of the Midway Manor property to the Water Street Mixed Use Corridor District. The Commission forwarded recommended changes to the Council for consideration, but also requested that staff evaluate several other regulations that might be appropriate in light of the inclusion of 100 Ridge Street in the Water Street Corridor. Those items are:

- Setback regulations along Ridge Street
- Setback regulations adjacent to the South Street Mixed-Use District

Standard of Review

As per state law and §34-42 of the City Code, the planning commission is required to review this proposed amendment to determine:

- (1) Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;
- (2) Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;
- (3) Whether there is a need and justification for the change; and
- (4) Whether the amendment is required by the public necessity, convenience, general welfare or good zoning practice.

Discussion of the Proposed Draft Ordinance

The full text of the proposed text amendment is attached to this report. The specific changes to the ordinance are:

Section 34-743

This section regulates the setbacks and setbacks within the Water Street Corridor. The proposed changes would require a 25 foot setback along Ridge Street, and require a 15 feet setback after 45 feet in height along a property line adjacent to the South Street Corridor.

Staff Analysis

1. Does the proposed amendment conform to the general guidelines and policies contained in the comprehensive plan?

The Comprehensive Plan does not contain guidance on a revision as proposed here, as it describes the City's vision rather than a prescriptive guidance on administrative details. Staff feels the proposed changes to the Water Street Corridor conform to the general guidance guidelines and policies contained in the Comprehensive Plan.

2. Does the proposed amendment further the purposes of the Zoning Ordinance (Chapter 34, City Code) and the general welfare of the entire community?

Staff feels the proposed changes to the Water Street Corridor meet the purposes of the Zoning Ordinance by providing clarity regarding how the rules of the corridor are to be applied throughout the district's boundaries.

3. Is there a need and justification for the change?

The justification for the change is that the regulations regarding setbacks were written with the corridor's previous boundaries in mind. Since the corridor was expanded as a part of the West Main rezoning process, the changes are necessary to provide clarity to all property owners within the corridor, as well as consideration for how those regulations apply to the properties in the corridor.

Public Comment

Staff has been in contact with the property owner most impacted by the changes to the Water Street Corridor, and an owner's representative has been present at the meetings where these proposed changes have been discussed by the Planning Commission.

Recommendation

At their work session on September 27, 2016, the Commission discussed the proposed 25 foot setback on Ridge Street. Two commissioners expressed support for setting the setback at 25 feet

in the interest of providing street trees and the resulting shade along the sidewalk adjacent to Ridge Street. Two commissioners supported a smaller setback requirement, preferring that a future building be closer to the road, and provide a sense of enclosure to the intersection.

The Commission mentioned that the setback adjacent to the South Street district would play a role in the future design of any potential building on the site, since the distance to the property line dictates the amount of openings a wall may have under the building code. The City Building Official has indicated that a wall that is 30 feet from the property line requires no exterior fire resistance, and allows for maximum openings. This, in turn, would give a designer the maximum amount of flexibility in designing the building to respond to the adjacent properties.

Staff recommends approval of the changes to the Water Street Corridor, Section 34-743 as follows:

Staff finds no justification for the 25 foot setback on Ridge Street, because no other setback regulations in the vicinity of the property are subject to such a standard. Staff instead recommends using the existing setback regulations that apply to the 200 block of Ridge Street south of the railroad, as well as the buildings across Ridge Street from the site – a required 10 foot minimum setback with a 20 foot maximum.

Staff recommends a 15 foot stepback after 45 feet in building height for property adjacent to the South Street District. The maximum building height in the South Street District is 45 feet tall, and the 15 foot stepback coupled with the 10 foot setback would equal the 25 foot stepback currently required on streetwalls in the Water Street District.

Possible Motions

1. “I move to recommend to City Council that it should amend Section 34-743 of the zoning ordinance, to revise the setback and stepback regulations in the Water Street Corridor, as presented in the draft ordinance provided by staff, because I find that this amendment is required by the public necessity, convenience, general welfare or good zoning practice.

2. I move to recommend to City Council that it should amend Section 34-743 of the zoning ordinance to revise the setback and stepback regulations in the Water Street Corridor, with the following changes:
 - a. _____
 - b. _____

because I find that the draft ordinance presented by staff, with these changes, is required by the public necessity, convenience, general welfare or good zoning practice.

3. “I move to recommend to City Council that it should not amend Section 34-743 of the zoning ordinance, to revise the setback and stepback regulations in the Water Street Corridor, because I find that the amendment is not required by the public necessity, convenience, general welfare or good zoning practice.

Attachment

Proposed amendment to Section 34-743

DIVISION 11. - REGULATIONS—WATER STREET DISTRICT ("WSD")

Sec. 34-743. - Streetwall regulations.

(a) *Stepbacks.* For properties with frontage on the north side of South Street between Ridge Street and 2nd Street SW, the maximum height of the streetwall of any building or structure shall be forty-five (45) feet. After forty-five (45) feet, there shall be a minimum stepback of twenty-five (25) feet along the length of such street wall. On property lines adjacent to the South Street District, a minimum stepback of 15 feet shall be required after a maximum 45 feet in building height.

(b) *Setbacks.*

(1) *Primary and linking street frontage.* At least seventy-five (75) percent of the streetwall of a building must be built to the property line adjacent to a primary street. For the remaining portion of streetwall (i.e., twenty-five (25) percent), the maximum permitted setback is five (5) feet; however, (i) if streetscape trees are provided to the standards set forth in [section 34-870](#), or (ii) pursuant to a special use permit granted by city council up to fifty (50) percent of the streetwall of a building may be set back twenty (20) feet.

(2) *Setback, Water Street:* A minimum setback of five (5) feet shall be required for all buildings located on Water Street.

(3) *Setback, Ridge Street:* A minimum setback of twenty-five (25) feet shall be required for all building facades that front on Ridge Street.

(5-19-08(3))

MEMORANDUM

TO: Planning Commission

FROM: Brian Daly, Director

DATE: November 1, 2016

SUBJECT: Parks and Recreation Advisory Board Recommendation to City Council – Use of Ragged Mountain Natural Area – Request for Comment

From the late 1800's until around 1990 the Ragged Mountain property was only open to water supply employees and anglers. In the 1990's, the Ivy Creek Foundation lobbied successfully to open the area to more public use by offering to construct and maintain a network of hiking-only trails on the property. Easements and land acquisitions from the adjacent Heyward property (Foxhaven Farm) allowed for a parking lot and for portion of trail at Roundtop Mountain.

Construction of the new Ragged Mountain Reservoir Dam led to the loss of about 40% of the trail system to a higher water level in the reservoir. City staff led multiple volunteer events to design and construct new trail links to restore lost sections and successfully restored nearly 80% of the loop trails lost during dam construction. The great majority of those trails were available upon completion of the construction project.

During construction, community members inquired of City staff why the rules at Ragged Mountain limited uses to hiking only when it is such a large property so close to town. The Ivy Creek Foundation released their management agreement in 2014 making the City (Parks Department) the primary land manager. The City has more staff and resources today to manage such trail networks and is not entirely dependent on volunteer labor.

City staff held a public meeting in November 2014 to gather public input about the proposed rules changes to allow biking, jogging, and dogs on the trail network. The majority of attendees at this meeting supported the proposed change.

Staff requested that a bio-blitz study be performed by the same local group of experts that had undertaken a similar study for a new County park property, Byrom Forest preserve. In addition to the volunteer citizen organized bio blitz to identify flora and fauna on the property, a local



firm, Urban Habitats, was hired to perform an ecosystem analysis of the property. The bioblitz was completed in March 2016, and the ecosystem study report, cataloging the various zones of habitat and forest cover, was released in June 2016. The ecosystem study noted some zones of particular sensitivity in the southwest corner, and around Roundtop Mountain.

Council meeting, proposed ordinance, and directive (October 2015)

City Council considered a proposed ordinance change to allow jogging, bikes, and dogs in October of 2015. Following discussion, Council directed staff to complete the bio-blitz and to undertake a planning process according to the approved process, then return to Council with recommendations following the planning process.

List of meetings, info, and outcomes

- February 29, 2016 - Project kickoff meeting and staff presentation of Raged Mountain history, etc.
- March 22, 2016 – Public “Open Mic night” – staff received comment from the public
- April 27, 2016 – planning and use charrette
- May 24, 2016 – Public Presentation of options A, B, C, and D (see below) for consideration and comment:
 - Option A – no public access
 - Option B – rules remain as is, hiking only (and boating/fishing)
 - Option C – Some shared use
 - Option D – more shared use

A fifth option was advocated by many at the May 24 meeting that provided for modified shared use. As a result, Option E was created by staff and

- Option E – modified shared use (bikes and dogs) on some trails, hiking/jogging on all trails
- July 20, 2016 – Public Hearing before Parks and Recreation Advisory Board regarding Options B, C, D & E

Public Comment

Public input was gathered in a variety of ways during the planning process. At the March 22 meeting, the public was given 3 minutes each to provide their thoughts and comments to staff. An email address specific to the plan was set up to receive ongoing comments. A park comment phone hotlines was also set up to take public comment. Sign-up sheets at each meeting allowed attendees to write in comments.

Parks and Recreation Advisory Board

Staff presented a basic overview of the process to date and the options for consideration to the Board at their June meeting to prepare for the public hearing in July. Multiple tours of the property with staff were taken to acquaint Advisory Board members with the property and trails. A public hearing was held before the Advisory Board on July 20, 2016 to gather public input. At the September meeting, the Board discussed the options and proposed uses. The

Board voted in October to recommend to City Council that the not allow dogs, to allow jogging, and to allow bicycles on trails with some limitations on design and location. The Board advised staff to work on some options to the shared use concept, including the provision of some trails that are exclusively for hikers and others that are shared, as well as ensuring that no trails impacted sensitive environmental areas of the property.

Description of proposed staff options

Most trails have already been reconstructed, or are the original trails built by the Ivy Creek Foundation. The remaining major trails to be built include a few sections that will complete basic the loop around the reservoir, one from the upper dam road to an existing trail, another from the end of that existing trail to the new floating bridge. In the final Draft Trail Use Plan, new trails will also be required between the upper roadbed and the lower lakeside trail to provide a separation of hikers from those trails that would allow bicycles. Another trail section to be built is on the southern peninsula that was left after dam construction, and some connector links from the upper maintenance road to the lower trails.

Regardless of the final decision made by City Council, many pieces of trail will still need to be constructed to complete the loop, as described above. If a mixed use option is approved, the staff recommendation is that bicycles be allowed on trails designated on the Draft Trail Use Plan map. These trails are only located in the area from the parking lot, counter clock-wise around the north side of the reservoir to a point directly across the reservoir from the parking lot, at the end of the former “upper dam road”.

The trails that would allow bicycle use include the upper road bed to the first intersection with the lower trails. At that point, the upper road bed becomes hiker only to respect the wishes of the Ednam neighborhood not to have bikes at the border with their property. Separate trails would provide hiker-only and biking-allowed routes, around to the old upper dam roadbed. Trail between the old upper dam road and the western most part of the property would all be shared (bikes allowed). This is done because the density of users will be the lowest, the steeper terrain does not allow much space for multiple trails, and there is a need to create a loop for bicycles to turn around. In this option, all trails between the parking lot and link trail south of the old upper dam road on the southern side of the reservoir are hiker/jogger only, including the floating bridge.

The Parks and Recreation Advisory Board recommended to not allow any bicycles on the southern portion of the property from the dam to the floating bridge due to the narrow conditions of some of the existing trails.

During dam construction, the old caretakers house was removed and a parking lot created in its place. This modified the former boat access point. Currently small boats must be dragged up and down a steep hill from the parking lot to access the water. There have been requests to improve this situation by creating a boat loading area. City staff are working with RWSA to improve the boat loading/unloading area, potentially using the existing boat ramp near the RWSA shed. Items under consideration are protection of the RWSA shed, precluding vehicles

from accessing the reservoir (no boat ramp”, improvements to the drop off/loading zone, vehicle turn around, potential for boat storage on site, and efforts to reduce the threat of aquatic invasives. The Parks and Recreation Advisory Board also recommended to continue the current boating and fishing rules (no gas engines, state fishing license required).

Following the receipt of comments from the Planning Commission, the recommendation (and comments) will be forwarded to City Council for consideration and adoption.

Implementation

Once a final plan and ordinance are adopted, staff will begin to work with naturalists and trail user groups to layout and construct the remaining trails in a sustainable manner. Some existing trails may also require alteration to put them in a more sustainable condition or to upgrade them for safety.

Staff will also continue to work to remove and control invasive plants on the property. This will take the effort of both staff and volunteers and will be an ongoing effort over many years. This work has already begun in the areas closest to the parking lots and will expand along the trails and further into the property over time.

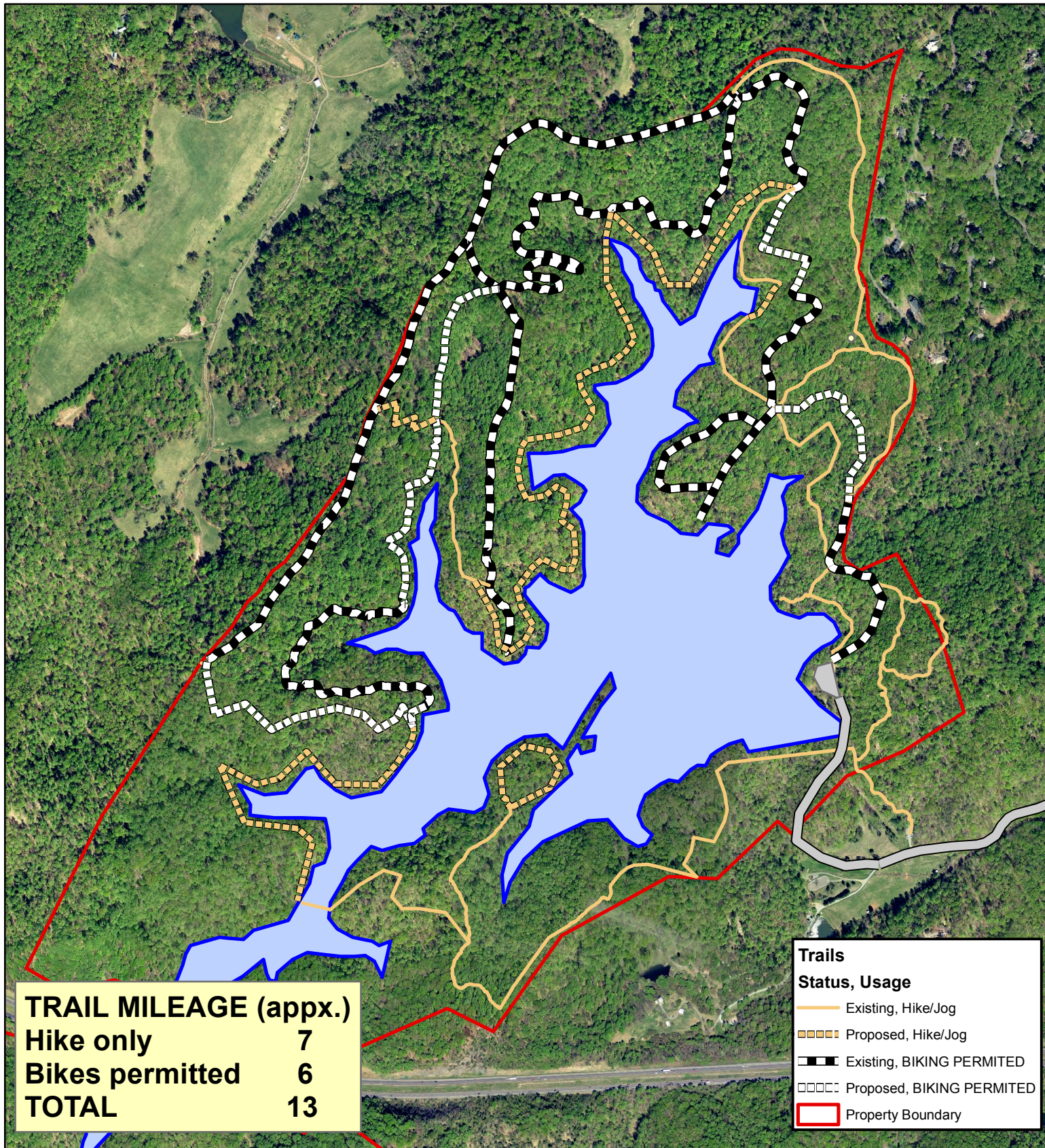
Improvements to the boat ramp area and other fishing enhancements will require some design and approvals in advance of construction. Funding for such enhancements will need to be secured.

All information related to the planning process as well as all public comment received to date can be viewed on the City’s website at www.charlottesville.org/raggedmountain.

RAGGED MOUNTAIN DRAFT TRAIL USE PLAN

Hiking/Jogging permitted on all trails
Biking permitted on checkered trails
Dogs not permitted (except service pets)

November 1, 2016



TRAIL MILEAGE (appx.)	
Hike only	7
Bikes permitted	6
TOTAL	13

Trails	
Status, Usage	
	Existing, Hike/Jog
	Proposed, Hike/Jog
	Existing, BIKING PERMITTED
	Proposed, BIKING PERMITTED
	Property Boundary

0 0.25 0.5 1 Miles

Trail locations are field located during construction with approximate routing shown in plan. Final locations will depend on site specific conditions and field verification.