

CITY OF CHARLOTTESVILLE
"A World Class City"

Department of Neighborhood Development Services

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November 14, 2016

**TO: Charlottesville Planning Commission, Neighborhood Associations &
News Media**

Please Take Notice

A Joint Work Session of the Charlottesville City Council, Planning Commission, PLACE Design Task Force will be held on **Wednesday November 30, 2016 at 5:00 p.m. at Cityspace (100 5th Street NW – in the Market Street Parking Garage)**

AGENDA

1. Regulatory Framework Review and Revision
2. Public Comment

cc: City Council
Maurice Jones
Mike Murphy
Alexander Ikefuna
Planners
Kathy McHugh, Tierra Howard
Craig Brown, Lisa Robertson

**CITY OF CHARLOTTESVILLE
NEIGHBORHOOD DEVELOPMENT SERVICES**



MEMO

To: Charlottesville City Council and Planning Commission
From: Missy Creasy, Assistant Director NDS
Date: November 2, 2016
Re: Joint Work Session – Regulatory Framework Review and Revision

On September 6, 2016 Council approved a resolution with accompanying work plan outlining projects and timelines for the regulatory framework review and alignment with the 2018 Comprehensive Plan review. The work plan outlined a number of plan components with associated guidance and timelines for reporting. Staff has been working diligently on the components of the work plan and requires direction from Council and the Commission on a number of items in order to proceed in the process. The approved Resolution and Workplan are attached.

The following items from the work plan are included for your review as well as discussion points which need resolution:

Component II. Current Comprehensive Plan status and recommendation for 2018 update

- Is the scope of work proposed in line with what Commissioners and Councilors have in mind for the Comprehensive Plan review?
- How will the Planning Commission meet the timeline for developing and readying the community engagement strategy for Council adoption in March 2017?

Component I.A Legal Review of Codes and Ordinances

(Includes Component III: Regulatory Framework Review and Revision)

- Do Council and the Planning Commission want us to complete the Zoning Ordinance update all at once? Or bring various articles/ divisions forward in stages?
- If the work is to be done in Stages: specifically what articles/ divisions** will be due in:
 - a. March 2017
 - b. June 2017

Component I. B. Framework for SIA Phase I code revisions (updated Downtown Extended)

Assignments and timeframes for PLACE and Planning Commission have been outlined in the attached materials.

Component I.C. Standards and Design scope and resources needs

- Do Council and the Commission approve the staff recommended scope of work and provide notice to proceed?
- Does Council authorize funding to move forward for the RFP and approve staff bringing that appropriation request to Council in December 2017?

Feedback will be taken from this meeting to assist in development of the projects moving forward.

**All deliverables will be in the form of updated ordinance provisions recommended by Staff (including the City Attorney's Office). After the deliverables are presented to City Council, a community engagement process would be commenced: City Council could establish a public comment period, as they see fit, along with a proposed public hearing schedule.

RESOLUTION
TO COMPLETE THE CITY OF CHARLOTTESVILLE'S REGULATORY FRAMEWORK REVIEW
AND REVISION SUCH THAT IT ALIGNS WITH THE 2018 COMPREHENSIVE PLAN UPDATE

WHEREAS, *The 2013 Comprehensive Plan of the City of Charlottesville* calls for a review and revision of the City's Regulatory Framework (herein defined as encompassing the Zoning and Subdivision Ordinance, Standards and Design Manual, District and Entrance Corridor Guidelines, Affordable Housing Guidelines and other supporting documents), inclusive of researching and learning from "applicable experiences, policies, procedures, ordinances and plans of other municipalities in Virginia and the United States", to ensure that the City's Regulatory Framework successfully and consistently implements the City's Comprehensive Plan, and

WHEREAS, the Charlottesville City Council tasked the City Manager on February 3, 2014 to develop, fund, coordinate and complete the following for Council review and adoption by June 2015: (1) a Policy and Regulatory Audit leading to code revisions that align with the City's Comprehensive Plan; (2) a Comprehensive Multi-Modal Plan, (with Street Design Standards and a Block Network Plan, herein referred to as the Streets that Work Plan); and (3) a Green Infrastructure Plan.

WHEREAS, the Streets that Work (STW) Plan was appended to the Comprehensive Plan on September 6, 2016 and a Green Infrastructure Plan is underway but has not yet been formally adopted by City Council; and a Policy and Regulatory Audit (leading to regulatory framework revisions that align with our Comprehensive Plan) has not yet been initiated city-wide; and

WHEREAS, the Charlottesville City Council and Planning Commission have undertaken several initiatives to promote the general welfare of our citizens such as the adoption of new zoning for the West Main Street Corridor District and directing staff to implement the zoning recommendations of the Strategic Investment Area (SIA) small area plan;

WHEREAS, the City of Charlottesville is required (Va. Code Sec. 15.2-2230) to update the City's vision, known as the Comprehensive Plan, every five (5) years and the next Comprehensive Plan update is due in 2018.

NOW THEREFORE, BE IT RESOLVED by the Charlottesville City Council that the City Manager and his staff, inclusive but not limited to the Office of the City Attorney, the Department of Neighborhood Development Services (NDS), the Office of Economic Development and the Office of Sustainability shall follow the "Work Plan" (attached to with timeline and deliverables) to complete the Regulatory Framework Review and Revision by December 31, 2017, in a manner that aligns with the 2018 Comprehensive Plan update and incorporates other City plans and initiatives and research of best practices from other institutions and localities .

BE IT FURTHER RESOLVED that the attached Work Plan and Timeline to complete the Regulatory Framework Review and Revision such that it aligns with and implements the 2018 Comprehensive Plan Update is hereby adopted by City Council on September 6, 2016 with quarterly updates and final deliverables thereafter presented to City Council, following Planning Commission review.

BE IT FURTHER RESOLVED by the Charlottesville City Council that a strong, coordinated public engagement strategy will be critical to the success of the development and implementation of the 2018 Comprehensive Plan update, and coincident Regulatory Framework Review and Revision and must be developed and executed as soon as possible in keeping with the Work Plan and Timeline.

BE IT FURTHER RESOLVED by the Charlottesville City Council, that the City Manager and his staff shall further define the additional resources that will be needed to fully execute this Work Plan (such as establishing formal working relationships with the University of Virginia; procuring professional consultants; and/or hiring additional staff well-versed in progressive zoning and code auditing and writing,) on December 19, 2016, the date of the first quarterly report as per the attached Work Plan.

Approved by Council
September 6, 2016



Clerk of Council

WORK PLAN (approved by City Council September 6, 2016): to execute the Regulatory Framework Review and Revision such that it aligns with the 2018 Comprehensive Plan Update.

COMPONENTS. The work plan shall consist of three components.

- I. **Immediate Action.**
 - A. Legal Review.
 - i. Initial review of inconsistencies in the zoning ordinance and legal provisions in need of immediate clarification such as; definition of micro-units and "mixed use"; maximum densities and building heights and how to measure building heights, when a site plan is required; shared parking; and others.
 - ii. Comprehensive and thorough legal review of zoning ordinance contents, to make sure that the ordinance reflects current mandatory requirements of state zoning legislation, both substantively and procedurally (for example, process for review of site plans), and applicable Virginia Supreme Court decisions.
 - iii. Determination of what provisions of the ordinance have become particularly problematic and if they should be amended now, or during the 2018 Comprehensive Plan update. Problematic areas are those where :
 1. staff may be making interpretations of the existing regulatory framework in a manner that might not be consistent with Council's expectations;
 2. staff, the attorneys, the zoning administrator, and/or the planning commission may have identified specific items in the existing regulatory framework that are not leading to desired outcomes; and
 3. staff, the attorneys, the planning commission and stakeholders may have identified specific items in the existing internal review process that have led to unnecessarily long delays in processing development applications.
 - iv. Review and development of supporting materials including but not limited to:
 1. provisions of the Standards and Design Manual;
 2. Affordable Housing guidelines;
 3. illustrations, plant lists, etc., that don't fit well into a published ordinance format, but can have the status of approved administrative policies.
 - B. Implementation of the SIA regulatory changes/ development of a form-based code, and
 - C. Review and update of Standards and Design Manual so it will align with the STW Plan, which is now part of the Comprehensive Plan and;
 - i. facilitate implementation of the STW Comprehensive Plan Addenda and
 - ii. address zoning ordinance issues that relate to the inclusion of new streets and alleys such as block sizes, curb cuts, green infrastructure strategies, others;
 - D. Joint Work-session (WS) with the Planning Commission and City Council (with the PLACE Design Task Force invited to observe) to discuss the above on or by December 19, 2016.
- II. **Near Term: 2018 Comprehensive Plan Update.** The Comprehensive Plan should guide the "harmonious development of the City." (Ref. Va. Code 15.2-2223(A)). The Update must also provide guidance on how best to amend the Regulatory Framework (inclusive of the zoning ordinance.) To that end:
 - A. The 2018 Comprehensive Plan Update will be completed by March 19, 2018 (with possible 3 month extension);
 - B. Outside resources will be needed to augment staff's work, (to be determined and requested of council on Dec. 19, 2016), for component II;
 - C. NDS and the City Attorney's office will manage the "master documents" to ensure that outside resources focus on substantive issues, and not on document-drafting.
 - D. Joint Work-session (WS) with the Planning Commission and City Council (with the PLACE Design Task Force invited to observe) to discuss the above on or by December 19, 2016.
 - E. Community engagement strategy (CES) readied for Council adoption by Mar. 20, 2017.
- III. **Near Term: Regulatory Framework Review and Revision.** The Regulatory Framework (inclusive of the zoning ordinance) must effectively implement the updated 2018 Comprehensive Plan. To that end:
 - A. The zoning ordinance review and revision will be coincident with the update of the 2018 Comprehensive Plan, and completed by December 31, 2017;
 - B. Outside resources will be needed to augment staff's work, estimated cost to be refined at a later date, for component III;

- C. NDS and the City Attorney's office will manage the "master documents" to ensure that outside resources focus on substantive issues including but not limited to the following:
- i. revising the future land use map and
 - ii. auditing and writing new zoning standards for
 1. parking;
 2. land use,
 3. building height, mass and placement,
 4. density;
 5. housing types;
 6. block size and curb cuts,
 7. design control and entrance corridor districts, planned unit developments,
 8. special use permits and rezoning requests;
 9. submittal requirements and review processes,
 10. integration with the STW and green infrastructure plans,
 11. transportation and traffic;
- D. Joint Work-session (WS) with the Planning Commission and City Council (with the PLACE Design Task Force invited to observe) to discuss the above on or by December 19, 2016.
- E. Community engagement strategy (CES) readied for Council adoption by Mar. 20, 2017.

REPORTING REQUIREMENTS. Progress reports will be prepared by NDS staff on a quarterly basis, for the purpose of informing and eliciting feedback from: neighborhood associations, property owners, developers, non-profits, business and industry, University of Virginia, Charlottesville Redevelopment and Housing Authority, Planning Commission, BAR, PLACE design task force, and others. They are also intended to inform and elicit guidance from City Council, before specific deliverables are proposed for adoption.

TIMELINE (September 6, 2016 to December 18, 2017-15 months).

Activity	Duration	Responsible Entity	Quarterly Report 1	Quarterly Report 2	Quarterly Report 3	Quarterly Report 4	Quarterly Report 5	Quarterly Report 6
Component 1: I								
1. A. Legal Review.	Sept. 2016- May 2017	City Attorney	12/19/16 (WS)	3/20/17	6/19/17 (final)			
1.B. Implement SIA code	Sept. 2016- Oct. 2017	NDS (w/ others)	12/19/16 (WS)	3/20/17	6/19/17 (final)			
1.C. STW integration	Sept. 2016- Oct. 2017	NDS (w/ others)	12/19/16 (WS)	3/20/17	6/19/17	9/18/17 (final)		
Component 2. 2018 Comp Plan Update	Jan. 2017- Dec. 2017	NDS (w/ others)	12/19/16 (WS)	3/20/17 (CES)	6/19/17	9/18/17	12/18/17	6 /19/18 (final)
Component 3. Regulatory Revisions	Jan. 2017- Dec. 2017	City Attorney, NDS (others)	12/19/16 (WS)	3/20/17 (CES)	6/19/17	9/18/17	12/18/17 (final)	

NOTE 1: Estimates for additional resources needed to execute this Work Plan will be further refined and presented to Council on Monday, December 19, 2016 as part of the first Quarterly Progress Report.

NOTE 2: The "final" quarterly report also constitutes a final deliverable that requires council action.

NOTE 3: Quarterly Report #6 which is the final deliverable for the Comprehensive Plan Update, may slide 3 months should more community engagement be required.

City of Charlottesville
Department of Neighborhood Development Services
Memorandum



To: City Council, Planning Commission
From: Brian Haluska; Missy Creasy
CC: Alex Ikefuna
Date: October 28, 2016

RE: 2013 Comprehensive Plan Review

On September 6, 2016, City Council directed City staff to implement a work plan to execute the Regulatory Framework so it aligns with the 2018 Comprehensive Plan update. Among those tasks were several dedicated to review of the progress implementing the 2013 Comprehensive Plan, and preliminary work on the scope of the 2018 Comprehensive Plan update.

The purpose of this report is to review staff progress on these requests and present staff recommendations for how to proceed.

The 2013 Comprehensive Plan was an extensive rewrite of the City's Comprehensive Plan. The previous plan was paper-based, and contained a large amount of data that did not relate to the purpose of the document. The 2013 plan moved any documents pertinent to the plan to appendices, and removed any documents that did not support the plan's purpose.

The result was a more efficient plan that was more easily navigated online, and more clearly communicated the City's vision.

2013 Comprehensive Plan Implementation Update

As a first step in the review process, NDS staff coordinated an update of the implementation of the 2013 Comprehensive Plan goals. The spreadsheet and excel files with the updated status reports is attached to this document as Appendix 1.

The update shows that staff has been working on implementation of the 2013 Plan over the past three years, and that while some of the action items have been deemed completed, many of the implementation processes are still ongoing.

2013 Comprehensive Plan Review

Staff has started reviewing the 2013 Comprehensive Plan in order to estimate the amount of work needed to complete the 2018 Comprehensive Plan review. Following the status update noted above, the next step in this process was to review the appendix documents attached to the 2013 plan and determine which documents have been updated since the approval of the plan, which documents are in the process of being updated, and which documents have not changed.

Staff is in the process of reviewing the documents that have not been updated since 2013 for consistency with the City's vision. The intent is to suggest removal of any document that is outdated with no plan for future updates, maintain the documents that inform the plan, and incorporate new and updated documents into the 2018 Comprehensive Plan.

2018 Comprehensive Plan Preview

In preparation for the update of the City's Comprehensive Plan, staff has reviewed the current chapters of the 2013 plan and evaluated how well the chapters reflect the City's vision. Based on this review, staff has a recommended course for the update of the Comprehensive Plan next year.

- Land Use

The land use chapter of the Comprehensive Plan received a large amount of attention in the 2013 re-write, and is still in the process of being implemented through the Small Area Planning process and Regulatory Framework revisions. Staff suggests some modifications to the chapter to make the guidance more prescriptive when used to evaluate potential zoning changes.

- Community Facilities

City staff has indicated that a large portion of the Community Facilities chapter should be re-written, especially in light of facility evaluations that have been ongoing in the Fire and Police Departments. The current chapter was determined to be out of date with regards to educational institutions and public buildings as well.

Parks staff indicated that their portion of this chapter is not in need of anything more than minor revisions.

- Economic Sustainability

Staff would maintain the existing economic goals, but modify some of the objectives in the plan.

- Environment

Staff projects that this chapter would require a moderate amount of work to update the chapter in order to reflect progress over the prior three years. Staff also indicated a desire to expand goals in other chapters to tie into environmental efforts the City has undertaken.

- Housing

Staff has extensive comments and proposed revisions for the Housing Chapter that would clarify the intent of the chapter, as well as remove some goals that have been accomplished or studied and rejected.

- Transportation

Staff has determined that the Transportation chapter is not in need of major revisions to the goals. The state code requires a Transportation Plan be included in the Comprehensive Plan, and staff suggests compiling the various plans (Streets That Work, Bike/Ped plan/6 Year Plan/SmartScale) that impact the transportation network in the interest of making the information more publicly accessible, and resolving any conflicts between the various documents.

- Historic Preservation and Urban Design

Staff has minor suggested changes for the goals of this chapter, but does not foresee the need for any major rewrites.

- One Community Planning Project

Staff does not suggest major revisions, but minor updates will need to be made to reflect progress since the adoption of the 2013 Comprehensive Plan.

Based on this review of the current Comprehensive Plan, staff recommends the Comprehensive Plan update be a revision process that brings the 2013 Plan up to date. The Community Facilities chapter will receive a re-write, and the Transportation, Land Use and Housing chapters will be edited to contain more prescriptive guidance on their respective topics, as well as removing out-of-date information and objectives. Staff believes that this scope of work can be completed via staff with minimal outside assistance.

Community Engagement

The community engagement process for the Comprehensive Plan needs to scale to the scope of the review the City is undertaking. Staff recommends that Planning Commission develop information sessions to begin to gather public feedback on the current plan, followed by further open house meetings to present the draft of the new plan.

Questions for Discussion

- Is the scope of work proposed above in line with what Commissioners and Councilors have in mind for the Comprehensive Plan review?
- How will the Planning Commission meet the timeline for developing and readying the community engagement strategy for Council adoption in March 2017?

The following 21 pages are not available in a screen reader format but an accessible spread sheet is available at this link

Community Facilities

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Fire Department	1.1: Maintain the response time standard of within 6 minutes for 80% of the service calls in the City. Take measures to maintain this standard when increased traffic results from growth, tourism, special events and entertainment venues.	Fire Department	Fire Department, City Council		In 2015, the fire department arrived on scene of fire incidents within 6 minutes of dispatch 84% of the time. On EMS incidents, the department arrived on scene within 6 minutes of dispatch 77% of the time. The department will continue to work with ECC to reduce emergency call processing times, unit turnout times, and travel times to achieve a total response time to emergencies that meets or exceeds community expectations and established industry best-practices.	Andrew Baxter	Ongoing
	1.2: Provide supplementary support to the Charlottesville Albemarle Rescue Squad.	Fire Department	Fire Department, City Council		In continuing to provide supplementary support to the Charlottesville Albemarle Rescue Squad, the fire department is licensed by the Virginia Department of Health – Office of Medical Services as an Advanced Life Support agency and supports the community's EMS services system in a first-responder role. The fire department provides supplementary medic staffing through a formal agreement with CARS, Monday through Friday between 7:00 AM and 6:00 PM. The fire department continues to support the CARS-UVA student live-in program intended to provide staffing for rescue squad operations.	Andrew Baxter	Ongoing
	1.3: Encourage every residential unit to have a properly functioning smoke detector outside every sleeping area.	Fire Department	Fire Department, City Council		The fire department continues to promote and administer the free Smoke Alarm installation program for City of Charlottesville residents. In 2016, the department launched the CFD Smoke Alarm App which allows field personnel to capture smoke alarm installation data. This powerful risk reduction tool was developed in collaboration with City IT and recently received national recognition for a creative the impactful application of technology in solving a local problem.	Andrew Baxter	Ongoing
	1.4: Encourage every residential gas customer to have a functioning carbon monoxide unit.	City Council	Fire Department, Public Works, City Council		The fire department does not currently offer carbon monoxide alarms, but encourages their installation in all residences. A collaborative effort to adding these to our free smoke alarm program is slated for 2017.	Andrew Baxter	Ongoing
	1.5: Achieve an Insurance Service Office Class 1 and thus further reduce the City's insurance premium for the Fire Department.	Fire Department	Fire Department, City Council		The department has been designated by the Insurance Services Organization (ISO) as an ISO Class 1 department, one of only six fire departments in the Commonwealth to achieve this classification. ISO Class 1 status reflects excellence in operations, training, communications, water supply, and risk reduction activities and is the result of long-term sustained commitment to providing outstanding fiscal support and effective leadership and management.	Andrew Baxter	2017
	1.6: Complete a Facilities Master Plan for the Fire Department to maximize service delivery, energy conservation and safety.	Fire Department	Fire Department, City Council		In 2016, the department completed a fire station location study and facilities needs assessment. Based on the recommendations in this study, the department, working in collaboration with City Facilities, has begun planning for the replacement of the By-Pass fire station, and renovation of the Ridge St. fire station.	Andrew Baxter	2017
	1.7: Prevent fires before they occur through an aggressive public safety education program and through effective fire code enforcement.	Fire Department	Fire Department, City Council		In 2015, the department completed a five-year strategic plan. Goal 9 of the strategic plan called for the development of a comprehensive approach to analyzing and addressing risk in the City. In 2016, the department implemented a reorganization plan that created the Community Risk Reduction Section to support the reduction of fire and non-fire risks throughout the community.	Andrew Baxter	Ongoing
Emergency Rescue Services	1.1: Resolve the current issues of facility quantity and quality to allow the Emergency department to continue to expand its membership.	Emergency Rescue Services	Emergency Services, City Council		Police efforts in resolving the issues of facility quantity and quality are ongoing as facility quantity and quality are a need and a priority. The fire department has contributed to facility quality and quantity with the completion of the new Fontaine Avenue fire station that incorporates live-in arrangements for rescue squad volunteers as well as accommodations for the staging of some rescue squad vehicles. In 2016, the Fire department formed the EMS Cost Recovery Work Group to develop a long-term funding strategy that will support the development of the EMS system in the City.	Chief Andrew Baxter (Fire), Lieutenant Cheryl Sandridge (Police)	Ongoing
	1.2: Develop a strategy to address the issue of City-wide and County accessibility so that a quick response time can be maintained.	Emergency Rescue Services	Emergency Services, City Council		The issue of deployment for rapid responses and accessibility was addressed in the fire department's community risk assessment and analysis initiative in 2015. Police have noted this is extremely important to their operations as well. The Fire department continues to seek ways to improve EMS system capacity and response capability in the City. In 2016, the Fire department and CARS formally agreed to a set of baseline service delivery performance benchmarks. These standards will allow, for the first time, an accurate analysis of current EMS system performance.	Chief Andrew Baxter (Fire), Lieutenant Cheryl Sandridge (Police)	Ongoing

Community Facilities

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
	1.3: Develop funding sources to maintain an effective rescue apparatus replacement schedule to ensure reliable response vehicles and to purchase and implement necessary technology, such as mobile computers.	Emergency Rescue Services	Emergency Services, City Council		Discussions have occurred where a revolving schedule for replacing necessary and needed equipment was considered. This would be a good way to approach issues such as radio and mobile camera replacements. The Police Department will continue to support and work towards this goal. The fire department is working to develop a revised vehicle and apparatus replacement schedule and methodology based on new criteria that will better identify and predict the time tables for vehicle and apparatus replacements. Both Police and Fire discussed this as a means to put a replacement schedule in place, for items that are instrumental in the everyday operations of our departments. Things like video cameras for Police, fire apparatus for Fire, and radios for all, would be considered and would provide an alternative source of funding to the CIP process. This plan is important, and ongoing. The EMS Cost Recovery Work Group is currently in discussions regarding a long-term funding strategy for CARS. This strategy would involve a sustainable revenue source, and would support CARS operational and some capital expenditures. Discussions have included developing a capital equipment replacement fund.	Chief Andrew Baxter (Fire), Lieutenant Cheryl Sandridge (Police)	Ongoing
	1.4: Explore feasibility of using alternative firefighting and rescue apparatuses designed to accommodate dense and more compact built environments.	Emergency Rescue Services	Emergency Services, City Council, Fire Dept		The feasibility of using alternative firefighting and rescue apparatus will be determined as a part of the fire department's comprehensive community risk assessment analysis that will be completed as a part of its fire service accreditation initiative.	Andrew Baxter	Ongoing
Police Department	1.1: Identify and obtain permanent, centralized locations for the Jefferson Area Drug Enforcement Task Force and for the Neighborhood Services Bureau.	Police Department	Police Department, City Council		Complete - The Jefferson Area Drug Enforcement Task Force has found a location that, while is a rental property and subject to change in the future, is currently permanent in nature. The Neighborhood Services Bureau has evolved into the Community Policing Unit. While additional space for many Police operations is a priority, this may be considered complete, as a more up to date and comprehensive needs request will be submitted.	Al Thomas	2017
	1.2: Purchase and implement needed technology for the Police Department and its operations.	Police Department	Police Department, City Council		Complete - As this is a land based plan, the purchase of technology may not be properly placed here. While the department needs to move forward with our technological capabilities, we can address that through other means. This can be considered complete.	Al Thomas	Ongoing
Solid Waste	1.1: Consider designating several collection stations around the Downtown for daily trash collection rather than having collections at multiple individual locations	Downtown Merchants	Public Works		Sites for collection were consolidated and are currently functioning quite well.	Judy Mueller	FY 2014
	1.2: Explore opportunities to expand public and private recycling, composting, and other innovations for waste management.	City Council	Public Works		Recycling options were put out to bid and no one bid on composting portion. There are private composting options for individual customers should they choose to hire a firm at their cost. The lead private composting firm for our community is planning to go out of business by the end of 2016. We are seeking alternatives. The City received a small grant from EPA to pilot a drop off program for collecting compostables at the 2015 Saturday Farmers Market. Subsequently, partner RSWA established a drop off location at the McIntire Recycling Center. 2016 season of the program at the Farmers Market continued to be a success and an FY17 budget request to support a composting program was approved.	Judy Mueller Kristel Riddervold	Ongoing
Water and Sewer Services	1.1: Maintain, repair and replace water lines where necessary.	Public Works	Public Works		This program is ongoing where 48 projects were prioritized based on need. These projects have been completed. An additional 32 projects have been identified where 4 have been completed.	Lauren Hilderbrand	Ongoing
	1.2: Continue to implement the recommended improvements for capacity for fire protection and redundancy of systems through looping lines from the RWSA Draft Report on the Urban Finished Water System Facilities Plan	Public Works	Public Works		Working with RWSA to ensure City projects meet the needs of the plan outlined in the Report.	Lauren Hilderbrand	Ongoing
	1.3: Ensure that all applications for increased density are analyzed to discern adequate water capacity early in the review.	Public Works	Public Utilities, Neighborhood Development Services		As part of the site plan review process, it is required that the applicant submit water and sewer capacity needs for development.	Lauren Hilderbrand	Ongoing
	1.4: Identify sources of non-revenue water and reduce the amount.	Public Works	Public Works		This program is ongoing and the large meter replacement project is being implemented as part of this program. The City is also beginning to utilize meter technology that captures low flow in order to minimize non-revenue water.	Lauren Hilderbrand	Ongoing
	2.1: Map and inventory the existing infrastructure, assess the condition of these facilities and identify actions that can be taken to improve the conditions of the wastewater network, especially the capacity of the network in prime development areas.	Public Works	Public Works		As part of the system wide sewer line rehabilitation program, this is ongoing. We continue to evaluate areas where infiltration and inflow is an issue.	Lauren Hilderbrand	Ongoing
	2.2: Emphasize the annual maintenance of wastewater facilities and continue to identify and complete improvement projects that could include increasing the size of pipes to enlarge the system's capacity, relocating main lines that were built on private property or building new main lines to extend the system.	Public Works	Public Works		As part of the system wide sewer line rehabilitation program, this is ongoing. We continue to evaluate areas where infiltration and inflow is an issue.	Lauren Hilderbrand	Ongoing
	2.3: Complete replacement of designated sanitary sewer projects throughout the City.	Public Works	Public Works		As part of the system wide sewer line rehabilitation program, this is ongoing. We continue to evaluate areas where infiltration and inflow is an issue.	Lauren Hilderbrand	Ongoing
	2.4: Develop and implement a plan to increase the capacity of the 14/15th St. line. There is evidence that this line is currently over-capacity and will be receiving significant additional flow from recently completed developments (between 2005 and 2007), developments currently under construction and planned development in this area.	Public Works	Public Works		The City is working with the County to obtain an easement to install the Schenks sewer line. The Schenks sewerline has to be completed before the 14/15th St. sewer line can be designed and installed.	Lauren Hilderbrand	Ongoing
Parks and Recreation	1.1: Develop and apply as appropriate system-wide design standards.	Parks and Recreation Department	Parks and Recreation Department	\$7-\$10 million	Ongoing - Effort to devise system wide signage package underway in 2014	Brian Daly	Ongoing

Community Facilities

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
	1.2: Improve the overall aesthetics of park sites through signage, landscaping, parking lot and safety improvements that also include area lighting and trash receptacles.	Parks and Recreation Department	Parks and Recreation Department	No cost to establish the plan; but the annual operating costs associated with this include \$100,000 for equipment, \$200,000 for fleet, \$150,000 for amenity replacement	Ongoing - Numerous maintenance management plans have been developed and implemented. Including turf management, invasive species management, equipment maintenance, equipment operator certification, etc. Additionally lifecycle replacement plans for playgrounds have been 90% completed.	Brian Daly	Ongoing
	1.3: Create resource management plans to support and maintain natural areas and create a new core recreation service in environmental education to teach and educate users on the value of these natural areas.*	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	1.4: Update recreation amenities such as tennis courts, outdoor basketball courts, the skateboard park, picnic shelters, sports fields and playgrounds, and refurbish existing restrooms and drinking fountains	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	1.5: When possible, parks should provide a cross functional benefit for the City's environmental goals.	City Council	Parks and Recreation Department			Brian Daly	Ongoing
	2.1: Add those facilities identified in the updated Needs Assessment Study.*	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	2.2: Examine the feasibility of creating a regional park authority in conjunction with City/County planning efforts.*	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	2.3: Encourage acquisition of natural areas, particularly along existing and proposed trails, through developer contributions and fee simple purchase.	Parks and Recreation Department	Parks and Recreation Department		Many acres of natural areas along creeks have been acquired which support the existing and growing trail system.	Brian Daly	Ongoing
	2.4: Encourage the acquisition of land that serves a cross functional purpose as parkland/public space and the development of green infrastructure for stormwater management.	City Council	Parks and Recreation Department		Many acquisitions provide areas for potential stormwater management and green infrastructure without impacting the recreational use of properties.	Brian Daly	Ongoing
	2.6: Prioritize acquisition of park land.	City Council	Parks and Recreation Department		A matrix/scoresheet is in place to assist in prioritizing acquisitions along with a map of geographic deficiencies to strategically target acquisitions for equity.	Brian Daly	Ongoing
	2.7: Add additional soccer fields to the parks and recreation network.*	Planning Commission	Parks and Recreation Department			Brian Daly	Ongoing
	2.8: Add fenced, smaller, flexible fields designed to accommodate multiple recreational uses.	Planning Commission	Parks and Recreation Department			Brian Daly	Ongoing
	3.1: Evaluate the level of productivity of each park and recreation facility based on cost per acre to maintain, capacity of use, and cost per experience in each facility.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	3.2: Create a Parks and Recreation system wide Master Plan for the City.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	3.3: Create an updated master plan for each underperforming park.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	3.4: Implement program changes for all underperforming recreation facilities.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	3.5: Enhance multimodal access to parks.*	Parks and Recreation Department	Parks and Recreation Department		Many new entry paths and walkways have been provided into parks for improved multi-modal access. Development of the trail and bike/pedestrian systems will improve the access between parks.	Brian Daly	Ongoing
	3.6: Incorporate best design practices for creating multiple, complimentary uses in urban scale parks while following best practices for the stewardship of the parks' historic resources.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	4.1: Implement facility standards that support the recreation needs of the community and region.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	4.2: Establish the appropriate level and role the City will play in meeting the desired facility standards, and seek the support of other service providers in order to determine their appropriate role in meeting the desired standards.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	4.3: Communicate the facility standards to users to demonstrate needs and describe the extent to which the City is meeting the standards.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	4.4: Establish maintenance standards for all park facilities, trails and recreation facilities in the system.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	4.5: Communicate park maintenance standards to users of parks and recreation facilities.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	4.6: Include more kinetic and/or creative play modules and equipment.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	5.1: Fully implement the Bicycle, Pedestrian, and Greenway Plan that has been approved by City Council.	Neighborhood Development Services and Parks and Recreation	Parks and Recreation Department			Amanda Poncy	Ongoing
	5.2: Encourage land acquisition along trail corridors to ensure permanent use as trail and the ability to manage land as park space and a green infrastructure resource.	Parks and Recreation Department	Parks and Recreation Department		Ongoing - Multiple trail easements and property acquisitions have occurred and are in the works, the majority of which fall along Meadow and Moores Creeks and Pollocks Branch	Chris Gensic	Ongoing
	6.1: Ensure that all new trails and trail improvements are designed within the context of surrounding natural systems and urban areas to maximize positive and minimize negative impacts on environmental systems and cultural and historic resources by formalizing natural environment-focused trail system guidelines for trail design, trail construction materials and trail maintenance and improvements. Trails should avoid large trees and their root zones, steep slopes and environmentally sensitive areas such as wetlands and use native plants and trees when restoring disturbed natural areas or creating new trails.	Parks and Recreation Department	Parks and Recreation Department		Ongoing - This is done routinely as a matter of smart design and management	Chris Gensic	Ongoing
	6.2: Develop information materials and trail signage that highlight the characteristics of natural resources and cultural and historic areas located along trail systems in the City.	Parks and Recreation Department	Parks and Recreation Department		Hartman Mill sign installed in 2015. Meadow Creek signage in design now.	Chris Gensic	2015
	7.1: Utilize GIS mapping to examine the equity or disparities in place by park and facility types.	Parks and Recreation Department	Parks and Recreation Department		Maps are now available which indicate areas served and underserved.	Chris Gensic	Complete
	7.2: Reduce inequities over the next ten years.	Parks and Recreation Department	Parks and Recreation Department		Working on property acquisitions with the intent of meeting this goal.	Brian Daly	Ongoing

Community Facilities

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
	7.3: Make existing and future parks and recreation facilities ADA accessible.	Parks and Recreation Department	Parks and Recreation Department		Ongoing - We are working to ensure our parking and access pathways at P&R centers are ADA compliant.	Brian Daly	Ongoing
	8.1: Develop program budgets around program standards.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	9.1: Determine the true cost of services for programs and facilities, and create a cost recovery goal for each program.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
	9.2: Facilities should be designed to produce revenue to offset operating costs.	Parks and Recreation Department	Parks and Recreation Department			Brian Daly	Ongoing
Educational Institutions	1.1: Procure the necessary funding to complete renovations and improvements that will bring all City schools into ADA compliance.	Neighborhoods	Charlottesville School Board, City Council		All ADA work is complete.	Mike Mollica	FY 2014
	1.2: Complete all needed renovations, repairs and replacement according to Facilities Maintenance Division's system of prioritization.	Neighborhoods	Charlottesville School Board, City Council		ongoing	Lance Stewart	FY 2017
	1.3: Maintain school properties in accordance with the Memorandum of Understanding developed in 2013.	City Council	Charlottesville School Board, City Council		ongoing	Lance Stewart	FY 2017
Public Buildings	1.1: Create and maintain a City-wide map that tracks public facility upgrades, additions and other public infrastructure improvements. These improvements may pertain to sidewalks, stormwater and other public utilities.	Planning Commission	Neighborhood Development Services		The Capital Project Viewer http://gisweb.charlottesville.org/CapitalProjectViewer is a publicly available City-wide map showing recent and planned City-led improvements to infrastructure and etc. A similar map project managed in conjunction with Budget shows longer term plans for investments by the City. Staff is reexamining this second project and looking into the best means to provide this information. A meeting has been set to discuss whether this should remain a standalone project or be incorporated into the Capital Project Viewer.	Varies	Ongoing

Economy

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Contact Person	Time Frame
Economic Sustainability	1.1: Work with partners to help entrepreneurs identify locations/sites where they can successfully start and grow their companies.*	OED	OED		Maintain a list of currently available sites and buildings on the OED website. Encourage use of available sites and buildings in the SIA. Currently exploring new technology to leverage comprehensive real estate information in partnership with City Assessor's Office.	Jason Ness/Chris Engel	Ongoing
Economic Sustainability	1.2: Further develop partnerships with the University of Virginia, and more specifically, the Darden School of Business and the Office of the Vice President for Research and Innovation in order to maximize the business assistance resources available to entrepreneurs and expand innovative industry in Charlottesville.*	Planning Commission, OED	OED, University of Virginia (UVA)		Continuing efforts to connect with various segments of the University community through networking and direct outreach. Attending UVA seminar on Advanced Manufacturing in March 2014. Currently sponsoring 2 interns and an independent study. Connections with various faculty and administrators are maintained.	Chris Engel	Ongoing
Economic Sustainability	1.3: Maintain contact with University of Virginia technology groups and encourage them to seek opportunities to locate in the City.*	Strategic Plan	OED		Quarterly meeting with UVA Licensing and Ventures Group and iLab. Other associated groups such as HackCville as well.	Chris Engel	FY 2013 and Annually
Economic Sustainability	1.4: Partner with community organizations to provide relevant training opportunities for startup businesses.*	OED	OED, Local Business Assistance Organizations		Continuing efforts with the Advancing Charlottesville Entrepreneurs Program. Co-host annual procurement/selling to the City workshops in partnership with the Division of Procurement and Risk Management.	Hollie Lee/Jason Ness	Ongoing
Economic Sustainability	1.5: Work strategically to continue to develop and implement land use policies and regulations that ensure the availability of sites for businesses to locate and expand.*	OED, Neighborhood Development Services (NDS)	OED, NDS		No activity	Chris Engel	FY 2013 and Annually
Economic Sustainability	2.1: In order to retain existing businesses, develop and implement a talent development strategy to attract skilled professionals to Charlottesville.	Strategic Plan	OED, CVPED		CVPED engaged Ivy Publications to develop a proposal for a talent recruitment branding strategy. A draft has been presented to CVPED/PWN members, but there is uncertainty about the availability of resources to launch the strategy. Conversations are also being had with UVA, which is interested in doing something similar from a trailing spouses perspective. The OED has also spoken with Tom Tom about potential partnership opportunities.	Hollie Lee	FY 2014
Economic Sustainability	2.2: Continue business visitation program to regularly assess the health of our existing businesses.	OED	OED		Active visitation program continues to interact with a variety of different business focusing on access to capital, workforce issues, and maintaining a business friendly environment.	Jason Ness	Ongoing
Economic Sustainability	2.3: Partner with business assistance agencies and local non-profits to provide training opportunities that will help businesses achieve greater success.*	Strategic Plan	OED, Local Business Assistance Organizations		The OED partners with community business assistance providers such as the Small Business Development Center, the Chamber of Commerce, and the Community Investment Collaborative to offer training on entrepreneurship. OED staff regularly refer entrepreneurs to the SBDC for its monthly starting a business classes and present at Chamber meetings and events on relevant business topics. Staff recently presented to CIC students on business licensing when starting up a business in the City.	Hollie Lee/Jason Ness	Ongoing
Economic Sustainability	2.4: Increase the number of SWaM certified and/or Section 3 certified businesses that are registered vendors with the City of Charlottesville.	OED	OED, Division of Procurement & Risk Management, NDS - Section 3		The OED offers one-on-one consulting with businesses in order to help them learn about procurement and selling to the government. Part of this includes assistance with vendor registration, SWaM certification, and Section 3 certification. A workshop on selling to the City is held annually in partnership with the Division of Procurement and Risk Management.	Hollie Lee/Jason Ness	Ongoing
Economic Sustainability	2.5: Partner with arts organizations to identify ways to better assist businesses/proprietors in the arts and culture industry.*	OED	OED, Piedmont Council for the Arts (PCA)		Participated in the "Create Charlottesville" cultural plan. OED staff serve on the Tom Tom Founders Festival Advisory Board which promotes a variety of art platforms. OED staff also served on review panel for recent arts coordination applications.	Jason Ness	Ongoing
Economic Sustainability	2.6: Work with Albemarle County and local educational institutions to ensure that economic and workforce development efforts are appropriately aligned to foster business recruitment and retention in the Charlottesville area.	OED	OED, Albemarle County, PVCC, UVA		OED staff serve on PVCC's Workforce Advisory Council, the Piedmont Workforce Network, and the Central VA Partnership for Economic Development. All entities are discussing this topic at a regional level and how the groups can collaborate on this effort. Also, the OED is currently working with Albemarle County as it develops its workforce development strategy for the coming years. The City recently signed an MOU with the County in order to expand opportunities for partnerships around education and workforce development.	Hollie Lee	Ongoing
Economic Sustainability	2.7: Explore methods of delivering business assistance to customers that use the latest technology.	OED	OED		Have begun using social media platforms. Currently exploring 'open data' concept as a means for inclusion and transparency. Worked with IT Department to display, in a user-friendly manner, business data and demographics electronically through the City's website. Oeddatatool.charlottesville.org	Jason Ness	FY 2014
Economic Sustainability	2.8: Explore public/private opportunities to develop Charlottesville's broadband infrastructure in an effort to ensure communication paths needed for businesses to be successful.	OED	OED		Access to significant high speed connectivity is available throughout the city. In 2014, a new provider began enhancing residential and business access and offering lower pricing.	Chris Engel	FY 2014
Economic Sustainability	2.9: Develop and implement a marketing effort that informs residents and businesses about the products and services offered by the City of Charlottesville Office of Economic Development.	OED	OED		Plans to update OED and DJC marketing materials in 2017. In the process of revamping the OED's monthly electronic newsletter to incorporate more and better use of social media.	Hollie Lee/Jason Ness	Annually
Economic Sustainability	3.1: Continue efforts to redevelop the former Martha Jefferson Hospital site and nearby properties.*	Strategic Plan	OED		The project is complete and fully occupied with 500+ employees and 40 residential units.	Chris Engel	FY 2013 and FY 2014
Economic Sustainability	3.2: Continue efforts to facilitate commercial development in the Hillsdale Drive area.	Strategic Plan	OED		Hillsdale Drive Extended project is underway with completion expected in 2017. A new hotel has been added and new grocery store has been permitted and will be under construction soon.	Chris Engel	Ongoing
Economic Sustainability	3.3: Encourage the development of the City's key commercial corridors and surrounding sites (such as West Main Street, Preston Avenue and Cherry Avenue).*	Planning Commission, OED	OED, NDS		Ongoing as opportunities arise. Recent conversations have been held with property owners in many corridors.	Chris Engel	Ongoing
Economic Sustainability	3.4: Proactively participate in planning and development studies such as the Small Area Plans, particularly as they relate to economic development opportunities in strategic areas throughout the City.*	City Council, OED	OED, NDS		Currently participating in the West Main St implementation team and the SIA implementation team.	Chris Engel	Ongoing
Economic Sustainability	3.5: Coordinate efforts with internal and external stakeholders to develop and implement strategic investment area plans within the City.	City Council, OED	OED, NDS		Implementation efforts with respect to the SIA area are underway.	Chris Engel	Ongoing
Economic Sustainability	3.6: Align zoning ordinances to facilitate economic activity in new areas of commercial opportunity identified in the updated future land use map.*	OED, NDS	NDS, OED		Code audit is underway.	Chris Engel	FY 2014
Economic Sustainability	3.7: Work to ensure that newly aligned City ordinances and regulations balance the need to promote development opportunities and competing interests.*	Planning Commission	NDS, OED		Recent activity in creating a valet parking ordinance for the city and updating the microbrewery definition to allow growing breweries to remain in the city.	Chris Engel	FY 2014 and Ongoing

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Contact Person	Time Frame
Economic Sustainability	3.8: Explore appropriate incentives for development projects with significant economic impact, with particular emphasis on target industries and those industries that directly address the need for more career ladder job opportunities that will help move City residents towards self-sufficiency (e.g., light manufacturing, semi-skilled trades, etc.). *	City Council, OED	OED		A VIIP Match program was created in 2014 to better leverage the impact of this popular state incentive. Also successful in 2014 in securing a state AFID grant for a growing local business that uses Virginia produce. The GO Hire program was created in 2015 to provide assistance in hiring and training city residents at city businesses.	Chris Engel	FY 2014
Economic Sustainability	4.1: Actively participate in the development of a community based Cultural Arts Plan that seeks to leverage our existing cultural assets.*	Strategic Plan	OED, PCA		The CACVB has and will continue to work closely with Piedmont Council for the Arts on applicable areas of the Cultural Plan where tourism and/or product development (such as festivals & cultural events) have commonality. The CACVB has previously provided financial support to PCA leading up to and including the Cultural Plan. Further, the CACVB will collaborate with PCA and other arts organizations that are interested in leveraging support for the Arts, locally.	Chris Engel/Kurt Burkhardt	FY 2013 and FY 2014
Economic Sustainability	4.2: Enhance heritage and cultural tourism efforts in partnership with Albemarle County, with a particular focus on African American history, as well as events, goods and services related to hospitality, music, foods, wines, beers, ciders and other artisan-type products.*	Planning Commission	Charlottesville Albemarle Convention & Visitors Bureau (CACVB), OED, Albemarle County		The CACVB continues to collaborate with the Jefferson School African American Heritage Center and, when applicable, provides sponsorship support to the Center to promote local African American heritage. Additionally, the CACVB has provided support to the Festival of Cultures and Cville Pride, furthering its embrace of diversity. The CACVB continues collaborating with local enterprises in the greater Charlottesville area that produce agricultural products that attract out-of-area visitors for experiential opportunities (this also aligns with Albemarle County's Economic Vitality Plan).	Kurt Burkhardt	Ongoing
Economic Sustainability	4.3: Seek out opportunities for public-private partnerships in the provision of infrastructure that supports the tourism industry.	OED	OED		City is currently working to put PPEA guidelines in place that will allow additional public private partnership opportunities. CACVB is considering a resolution to support exploring a market study for a conference center.	Chris Engel	Ongoing
Economic Sustainability	4.4: Explore ways of creating recreational access routes to our community's heritage and cultural sites to enhance their efforts on Charlottesville's economy.	Planning Commission	NDS, CAT, Tourism Partners (e.g., Monticello, UVA, etc.)		No activity	Chris Engel	Undetermined
Economic Sustainability	5.1: Monitor the need for additional parking as new development occurs, with particular attention to parking needs along the West Main corridor	Strategic Plan	NDS, OED		West Main St analysis completed in 2014. Downtown area parking study completed in 2015. Parking implementation plan is now underway.	Chris Engel	Ongoing
Economic Sustainability	5.2: Partner with University of Virginia and other adjacent property owners for continued implementation of the West Main Street Plan	Strategic Plan	NDS, OED, UVA		West Main Street Implementation team is meeting monthly with the consultant team to refine the concept and develop schematic plans.	Chris Engel	FY 2013
Economic Sustainability	5.3: Monitor the need for development of a Water Street parking lot and coordinate with adjacent CPC lot development on Water Street.	Strategic Plan	NDS, OED		The city owned lot on Water St is under contract following a lengthy public process and selection of developer.	Chris Engel	FY 2013 and FY 2014
Economic Sustainability	5.4: Complete feasibility study on developing a Market District in the City Market's current site and finalize a long term solution to the location of the Market.*	OED, Parks & Recreation	OED, Parks & Recreation		Market Study was completed in July 2013. Follow-up RFP to solicit private sector responses completed in 2014. Long term lease approved by council for new market location in 2015. Construction expected to begin in 2017.	Chris Engel	Completion by 2015
Economic Sustainability	5.5: Leverage the growing demand for locally-sourced products by encouraging business creation and expansion downtown, and, more specifically, at the City Market.	Planning Commission, OED	OED, Parks & Recreation		Continue to work with City Market staff to keep businesses informed about resources and business expansion opportunities.	Jason Ness	Ongoing
Economic Sustainability	5.6: Continue to encourage private sector developers to implement plans from the commercial corridor study.	Planning Commission, OED	OED, NDS		Ongoing as opportunities arise. Recent conversations held with property owners near Barracks and Emmett, Preston Avenue, Cherry Avenue and High Street.	Chris Engel	Ongoing
Economic Sustainability	5.7: Evaluate the effects of mixed-use development and changing demographics on the downtown area and continue to support and maintain the Downtown Mall as the economic and cultural hub of the City.	Planning Commission	NDS, OED		Significant efforts to explore the creation of BID occurred in 2014 and it has been tabled for lack of business support. Significant investment in residential and commercial developments continues.	Chris Engel/Jason Ness	FY 2015
Economic Sustainability	6.1: Explore programs for City of Charlottesville youth that will expose them to the principles of financial literacy, economics, and entrepreneurship.	Planning Commission, Office of Economic Development (OED)	Charlottesville City Schools (CCS), Charlottesville-Albemarle Technical Education Center (CATEC), Community Attention, etc.		In partnership with Computers4Kids, the OED continues to annually sponsor CAK's youth entrepreneurship camp, which takes place for one week each summer.	Jason Ness	Annually
Economic Sustainability	6.2: Provide support for educational programs that will prepare City students for 21st century jobs in our area's target industries.*	Planning Commission, OED	CCS, CATEC, Piedmont Virginia Community College (PVCC), OED		Working with the Black Male Achievement's Circle of Brotherhood initiative to get young men introduced to the technology and skilled trades industries. After completing the six-month long mentoring/training program, students will have the opportunity to complete a GO training program (estimated timeframe early spring 2017).	Hollie Lee	FY 2017
Economic Sustainability	6.3: Develop educational programs/training that coincide with target industries (i.e., Biosciences and Medical Devices, Information Technology and Defense & Security, Business & Financial Services, and Health Services and Arts, Design, Sports & Media) to ensure that the local workforce has the qualifications needed to find employment within these industries.*	OED	OED, Central Virginia Partnership for Economic Development (CVPED), Virginia Workforce Center - Charlottesville (WFC), PVCC		Continue to offer Growing Opportunity (GO) job-driven workforce development training programs that train City residents for jobs in high-demand. The first GO program, GO Driver, was piloted in October 2014. Since this time, the OED and DJC have administered 10 GO training programs (5 GO Drivers, 1 GO Office, 2 GO Electrics, 1 GO CNA, and 1 GO Clean). To date, 81 City residents have successfully graduated from these programs.	Hollie Lee	Ongoing
Economic Sustainability	6.4: Explore programs/initiatives that offer skilled trades training for City residents. Nurture and expand employment opportunities within this industry.*	City Council, Planning Commission, OED	CCS, CATEC, PVCC, OED, Department of Social Services (CDSS), Piedmont Workforce Network (PWN), WFC, CVPED		Continue to offer GO job-driven workforce development training programs that focus on the skilled trades. As of 2016, two GO Electric cohorts have been run in partnership with Design Electric in order to train City residents to become field electrical helpers. There are plans to hold a GO program for Circle of Brotherhood participants interested in skilled trades in early spring 2017. Students will begin a general skilled trades course in January 2017 at CATEC.	Hollie Lee	Ongoing
Economic Sustainability	6.5: Partner with local workforce service providers to offer retraining opportunities for City residents in order to increase their chances of gaining employment in new and emerging industries.	City Council, Planning Commission, OED	CDSS, WFC, PVCC, OED		The OED works with service providers and employer partners to offer training opportunities targeted at low-income City residents. Through GO programs, individuals are trained/retrained with skills in high demand jobs that pay a self-sufficient wage. Through GO Hire, City residents can also be retrained/trained up as incumbent workers in their current jobs in partnership with area City businesses.	Hollie Lee	Ongoing
Economic Sustainability	6.6: In collaboration with workforce development agencies in the area, provide recruitment events/activities (e.g., job fairs, conferences, etc.) that connect employers with potential employees of all ages and skill levels.	OED	OED, CDSS, Local Workforce Development Agencies		In May 2016, the OED held its annual Charlottesville Community Job Fair. One hundred employers and 1,100 job seekers attended the event. Targeted hiring events and efforts were also coordinated throughout the year for employers such as: Ting, Adams & Garth, Virginia Staffing Choice, and 5th Street Station (Wegmans, AC Moore, Panera, Timberwood, and Field & Stream). Through the OED and DJC, candidate screening and referral is also done for area employers seeking qualified workforce. Additionally, the DJC sponsored the Tom Tom Tech Mixer in September 2016 in order to broaden its candidate pool and enhance partnerships with employers in the IT industry.	Hollie Lee	Ongoing

Economy

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Contact Person	Time Frame
Economic Sustainability	6.7: Collaborate with workforce service providers to help City residents overcome barriers to employment such as basic education and training, transportation, childcare, etc.	CDSS, Community Attention, OED	CDSS, Community Attention, Charlottesville Area Transit (CAT), OED, Local Workforce Development Agencies		Many projects are currently being planned/developed/implemented to address barriers to employment. Examples include the GO Ride bus pass program, which offers free bus passes to City residents seeking employment; vouchers for GED classes through TJACE; scholarships for childcare assistance through the United Way, etc.	Hollie Lee	Ongoing
Economic Sustainability	6.8: Develop a formal partnership with the Workforce Center—Charlottesville by establishing a downtown satellite workforce center to ensure that City residents have access to training opportunities and resources that will help them meet local employers' workforce needs.	City Council, OED	OED		The Downtown Job Center (DJC), a satellite of the Virginia Workforce Center, opened in August 2014 in the lower level of the Jefferson Madison Regional Library. The DJC has two full-time staff who provide direct employment services (e.g., job search, resume writing, mock interviewing, etc.) and assist with GO training programs. Since opening two years ago, the DJC has served over 3,000 people.	Hollie Lee	Ongoing
Economic Sustainability	6.9: Work with recipients of Temporary Assistance to Needy Families (TANF) who are participants in the Virginia Initiative for Employment not Welfare (VIEW) program by offering training and recruitment opportunities that will help them better achieve self-sufficiency.*	Strategic Plan, CDSS	CDSS		The average wage 1/13 was \$8.46/hour; in 1/14 the average wage was \$8.70/hour. In 1/13 49% of the TANF caseload was working; in 1/14 58% of the TANF caseload was working. The 3-month retention rate remained steady at 66% for both years. The average wage for FY 2014/15 was \$8.96 and FY 2015/16 was \$9.09/hour; The 3-month retention rate increased from 66% in 2014 to 77% in FY 2015/16 (state target is 75%).	Kelly Logan	Ongoing
Economic Sustainability	6.10: Accept the final report of the Workforce Development Strategic Action Team, "Growing Opportunity: A Path to Self-Sufficiency in Charlottesville" and adopt its comprehensive workforce development action plan as a framework for City-wide policy to facilitate economic prosperity for all City residents.	City Council, CDSS, Community Attention, OED	CDSS, Community Attention, OED		For the past three years, a lot of progress has been made towards the recommendations in the Growing Opportunity report, most notably, the opening of the Downtown Job Center and development and implementation of the GO job-driven workforce development training programs. OED and DJC staff will continue to develop and implement initiatives that align with the recommendations made in the report.	Hollie Lee	Ongoing

Environmental Sustainability

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Urban Landscape and Habitat Enhancement	1.1: Develop a Rivanna River Corridor Plan in conjunction with Albemarle County and other watershed localities.*	Planning Commission	Neighborhood Development Services, Rivanna River Basin Committee, University of Virginia, Albemarle County		Following approval of the Comprehensive Plan, a Rivanna River planning group was established with representatives from the City, County and community. The planning group met for 2 years where it was tasked with reviewing data and established, with TJPDC assistance, a proposal for moving forward. That proposal has been provided to the City Council and Board of Supervisors for consideration.	Missy Creasy	TBD once resources levels are approved and allocated from City and County. Committee made a staged set of recommendations to City and County for cooperative planning uses and preservation of the Rivanna River. County's Community Development Department currently working with Board to determine priority of effort; TJPDC presented to the Charlottesville Planning Commission in October.
	1.2: Continue collaboration and cooperation with Rivanna Watershed stakeholders, including Albemarle County, University of Virginia, residents, businesses, developers and community groups focusing on watershed and stormwater management.	2007 Comprehensive Plan	Public Works, Parks and Recreation, Neighborhood Development Services		Ongoing - many acres of riverfront and creek valley lands have been acquired to assist with this effort.	Kristel Riddervold, Brian Daly	Ongoing
	1.3: Participate in and partner with the Rivanna River Basin Commission, or appropriate organizations and community groups, on planning, assessment, education and outreach efforts related to the Rivanna River, its corridor and watershed.	Planning Commission	Neighborhood Development Services, Parks and Recreation, Public Works		Following approval of the 2013 Comprehensive Plan, a Rivanna River committee was established with representatives from the City, County and community. The committee met for 2 years where it was tasked with reviewing data and established, with TJPDC assistance, a proposal for moving forward. A kayak/canoe business has set up on the Rivanna River and efforts to connect trails continue. The Rivanna River Basin Commission (RRBC) was authorized via the General Assembly and established in 2007. This regional organization is tasked with recommending Rivanna River watershed enhancement strategies. RRBC is now housed at the TJPDC and has prioritized hosting an annual educational and advocacy conference on the Rivanna River.	Missy Creasy, Kristel Riddervold, Brian Daly	Ongoing- Current goal is to keep the state sanctioned RRBC in good standing until permanent resources are identified to grow the organization within its mission limits. FY17 funding requests made through the TJPDC were not approved by City and County (Note: Fluvanna and Greene County did approve). RRBC will submit FY18 funding requests at the same level (\$10,500 for all four local governments - Charlottesville \$1,337, Albemarle \$6,210, Fluvanna \$1,897, Greene \$1,056).
	1.4: Ensure that planning for future land and recreational uses along the Rivanna River adequately protects water quality.	Planning Commission	Neighborhood Development Services, Parks and Recreation, Public Works		This would be a consideration for any project occurring this area as part of the 100-foot vegetated stream buffers that were designated on the Rivanna River in 2005 as well as the latest stormwater management regulations adopted in 2014.	Missy Creasy, Kristel Riddervold, Brian Daly	Ongoing
	2.1: Implement and update the Urban Forest Management Plan to protect quality of air, water and lands, manage stormwater, provide shading and absorb CO2.*	Planning Commission	Parks and Recreation, Neighborhood Development Services			Brian Daly	Ongoing
	2.2: Expand and protect the overall tree canopy of the City and increase the canopy of neighborhoods in an effort to achieve American Forest canopy recommendations (urban: 25%, suburban: 50% and center business zones: 15%).*	Planning Commission	Parks and Recreation, Neighborhood Development Services		Updated urban tree canopy analysis completed in 2015 based on 2014 aerial. Subsequent green infrastructure planning and analysis work is building on that dataset and refining possible planting areas. Tree planting and land acquisition to protect forest canopy is ongoing.	Brian Daly	Ongoing
	2.3: Develop methods, including financial incentives, to support retaining and increasing healthy tree canopy on private lands.	2007 Comprehensive Plan	Neighborhood Development Services		The stormwater utility's incentive program (managed by TJSWCD) includes support for trees on private properties as part of several urban stormwater practices.	Dan Sweet	Ongoing
	3.1: Evaluate the development of a wildlife management policy and plan.	Parks and Recreation	Parks and Recreation		Creation of a wildlife management plan is scheduled in the next few years.	Brian Daly	FY 2013- FY 2014
	3.2: Provide an interconnected system of green space and buffers along streams to improve water quality and wildlife and bird habitat.	2007 Comprehensive Plan	Neighborhood Development Services, Public Works, Parks and Recreation		The City supports parkland acquisitions in stream corridors. The City is in the process of conducting a GIS-based green infrastructure planning and analysis to better explore and identify opportunities to enhance natural corridors.	Missy Creasy, Kristel Riddervold, Brian Daly	Ongoing Deliverables to be available by early 2017
	3.3: Provide additional habitat corridors and implement natural habitat improvements.	2007 Comprehensive Plan	Neighborhood Development Services, Public Works, Parks and Recreation		Habitat improvements included as part of the Meadow Creek Stream restoration project and Azalea Park wetland facility (including bat boxes). Acquisitions of land is allowing for landscape, forestry, and stream work to improve habitats. A 2016 stormwater retrofit project at the lower parking lot of CHS involved the removal of a portion of the paved surface and conversion of that area to a vegetated filter strip that functions both as a stormwater management feature as well as an enhancement to the natural area along a tributary of Schenks Branch.	Kristel Riddervold, Brian Daly	Ongoing
	3.4: Promote and participate in programs to establish conservation or open space easements of forested stream-side lands to ensure permanent protection.	2007 Comprehensive Plan	Public Works, Parks and Recreation		The TJSWCD holds open-space easements to protect and enhance water quality. The District has been focusing its efforts on securing riparian easements to preserve forested buffers along waterways. All easements held by the TJSWCD contribute to the protection of water. Park land acquisition efforts in riparian buffers continue.	Brian Daly, Kristel Riddervold	Ongoing
	3.5: Improve stream and vegetated buffer conditions to increase wildlife and aquatic habitat, groundwater recharge and stream base flow, decrease sedimentation and improve environmental aesthetics.*	2007 Comprehensive Plan	Public Works, Parks and Recreation		The Meadow Creek Restoration goals were directly related to this objective and the project involves ongoing monitoring and supplemental plantings to achieve project success. Other stream restoration opportunities have been identified and will be pursued when feasible. Work is done on other creeks as available.	Brian Daly, Kristel Riddervold	Ongoing
	3.6: Reduce loss of open waterways and habitats by daylighting piped streams when possible and discouraging additional underground piping of city streams.	2007 Comprehensive Plan	Neighborhood Development Services		This may be an initiative that is more affectively reviewed and monitored through the site plan review process. A suggestions was also made to develop a map showing the appropriate locations. Our office can offer comment to this effect through the internal staff review meetings. There are limited other ways to accomplish this.	Kristel Riddervold	Ongoing
	3.7: Increase public stewardship of city lands and habitats through showcase projects and education.	2007 Comprehensive Plan	Public Works, Parks and Recreation		Recent project includes Azalea Park wetland. There is planned work with the Rivanna Conservation Society on Moore's Creek efforts in 2014. Several recent water quality and water resources improvement projects have occurred and include: construction of a pervious asphalt parking lot at the City's Human Services office, the rehabilitation of a bioretention facility at Venable Elementary School, the CHS parking lot project (conversion from conventional asphalt to permeable pavers with a portion of the lot converted to a vegetated filter strip with compost amended soils and native vegetation), and the removal of abandoned bridge abutments from Moore's Creek.	Brian Daly, Kristel Riddervold	Ongoing
	3.8: Plant and promote use of regionally adaptive native and drought tolerant plants with reference to the regionally specific native plants database.*	Planning Commission	Parks and Recreation, Public Works, Neighborhood Development Services		As stated on the NDS website, the City encourages the use of regionally grown native species, provides a link to a native plants database. The Tree Commission provided an updated Master Tree List (including shrubs) in October 2016 that differentiates between Indigenous and non-invasive, exotic species.	Missy Creasy, Kristel Riddervold, Brian Daly, John Mann	Ongoing
Water Resources Protection	4.1: Implement the Stormwater Utility Ordinance and the Water Resources Protection Program (WRPP) to meet a range of water resources goals and challenges, including regulatory compliance, stormwater infrastructure maintenance and rehabilitation, drainage system improvements, strategic planning and federal and state-mandated water quality protections required as part of the Chesapeake Bay Total Maximum Daily Load (TMDL).	City Council, Public Works	Public Works		In addition to the Stormwater Utility Ordinance, the Water Protection Ordinance was updated, effective July 1, 2014. This includes changes to the Stormwater Ordinance and the Erosion Sediment Control Ordinance. The update incorporated items to implement the Virginia Stormwater Management Program as directed by the Department of Environmental Quality. The E&S ordinance was also updated at this time to provide additional clarity and bring it more in line with State requirements. The City also continues to perform annual inspections on stormwater facilities, both private and public, throughout the city. City staff works with owners to bring their facilities into compliance if deficiencies are noted.	Marty Slieman, Dan Sweet, Kristel Riddervold	Ongoing
	4.2: Develop a system of credits that reduce the amount of the stormwater utility fee for any property owner who installs and/or maintains facilities, techniques or programs that measurably reduce stormwater flow or pollutant loadings, as well as an incentives program to promote smaller scale practices that improve a property's management of stormwater.	City Council, Public Works	Public Works		The stormwater utility credit resolution and policy documents were approved by Council on 12/16/2013. The credit manual is available on the WRPP webpage. The credit program provides a partial waiver of the stormwater utility fee for property owners who implement stormwater management facilities that achieve permanent reductions in runoff and pollutants. The incentives program has been established through a Memorandum of Agreement with the Thomas Jefferson Soil and Water Conservation District. The incentives program provides a one time cost share for property owners who implement voluntary water quality stewardship projects.	Dan Sweet, Kristel Riddervold	Complete
	4.3: Assess infrastructure and prioritize solutions for the repair, upgrade and improvement of the City's stormwater infrastructure, utilizing green infrastructure when advisable. Establish an ongoing program for inspections, operation and maintenance.*	2007 Comprehensive Plan	Neighborhood Development Services, Public Works		The stormwater utility provides a stable funding source for the Stormwater Conveyance System Rehabilitation Program. The 13+ miles of City owned and operated clay and metal stormwater pipes are evaluated and rehabilitated. This effort is anticipated to be completed by 2024. Over 7 miles of pipes have been rehabilitated since 2010 with almost 5 miles rehabilitated under the Stormwater Utility fund starting in 2014. The city wide Water Resources Master Plan is scheduled to be completed in 2016. A water quality capital improvement plan is included which prioritizes green stormwater infrastructure projects. Green stormwater infrastructure alternatives are considered versus conveyance alternatives to addressing drainage issues. Several examples of this approach are in the planning and design stage.	Dan Sweet	FY-2014 FY-2024

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
	4.4: Identify and track stormwater hazards such as flooding and drainage problems that may threaten people and property and identify or establish funding to remedy or prevent safety hazards.*	2007 Comprehensive Plan	Neighborhood Development Services, Public Works		The Neighborhood Drainage Program (NDP) is live and active. Many small drainage issues are resolved yearly through this program. Larger "city wide" drainage problems are tracked separately from the NDP projects. Funding is available in FY2017 and FY2018 through the Stormwater Utility for "major capital drainage improvements." The city wide Water Resources Master Plan is scheduled to be completed in 2016. A drainage capital improvement plan (CIP) is included which prioritizes known drainage projects. The drainage CIP will be the basis for determination of how the "major capital drainage improvements" funds will be used. However, there is no current funding source to address these issues. The projected 5 year plan for the Stormwater Utility includes major drainage improvements in FY17 and FY18. Public Works and NDS will work together to develop a more detailed plan for implementation of the major drainage improvements component of the stormwater utility. Public Works and NDS is working together to develop a more detailed plan for implementation of the major drainage improvements component of the stormwater utility.	Marty Silman/ Dan Sweet	Ongoing
	4.5: Reduce and/or eliminate stormwater runoff impacts from sites that lack adequate stormwater treatment by incentivizing reductions in overall imperviousness (i.e., effective imperviousness) and encouraging retrofits on developed properties to address stormwater management.*	2007 Comprehensive Plan	Neighborhood Development Services, Public Works		Accomplished in part by establishment of the credit and incentive program as described in item 4.2, the Stormwater Utility Fee provides a financial incentive to remove or reduce impervious surface. The water quality capital improvement plan included in the city wide Water Resources Master Plan described in item 4.3 prioritizes stormwater retrofits that treat impervious area on developed properties	Dan Sweet	Ongoing
	4.6: Examine feasibility of sustainable municipal storm water management facilities such as rain gardens to facilitate higher floor-to-area ratios (FAR) on urban lots, particularly in or adjacent to target zones such as entrance corridors.*	Public Works	Neighborhood Development Services, Public Works		These opportunities will be considered through the city wide Water Resources Master Plan development process. The planning process, launched in August 2015, consists of capital planning for drainage and water quality improvements throughout the city. Projects may address regulatory requirements as well as water quality stewardship. Initial project lists have been evaluated, prioritization ranking criteria has been established, feasibility evaluations have been completed, and conceptual design plans and planning level cost estimates are under development. The initial master planning effort is scheduled for end of calendar year 2016 completion. The water quality Capital Improvement plan that is included in the city wide Water Resources Master Plan (described in item 4.3) prioritizes municipal stormwater management facilities.	Dan Sweet	Ongoing
	4.7: Update the subdivision ordinance and standards and design manual to allow for greater design flexibility that encourages tree protection and pervious surfaces.*	Planning Commission	Neighborhood Development Services, Public Works		This project is underway. Staff is preparing a scope for the update to the Standards and Design Manual (SADM). It is anticipated that all tree guidance will be placed in the SADM.	Missy Creasy, Doug Eshman, Marty Silman	Ongoing
	4.8: Provide technical assistance and educational outreach regarding water quality and land management practices for homeowners and businesses.*	2007 Comprehensive Plan	Public Works		This is being provided in conjunction with the stormwater utility's Incentive program (managed by TJSWCD) as well as in partnership with the education/outreach efforts conducted by the Rivanna Stormwater Education Partnership	Dan Sweet, Dan Frisbee	Ongoing
	4.9: Identify for remediation, areas along the Rivanna River, Moore's Creek, Meadow Creek and their tributaries that have particularly serious streambank erosion.	City Council	Public Works		Streambank erosion along a portion of Moores Creek in vicinity of Azalea Park was determined to be a restoration candidate and grant funding to support the project has been pursued. Other segments of city streams have also been identified as potential candidates for stream restoration through the Water Resources Master Plan (see Objective 4.6). Funding for those projects is TBD. The water quality Capital Improvement Plan included in the city wide Water Resources Master Plan described in item 4.3 includes several stream restoration projects that address streambank erosion. Staff routinely evaluates streambank erosion at the request of property owners. These evaluations have identified at least one streambank erosion remediation project slated for implementation in 2017.	Dan Sweet, Dan Frisbee, Kristel Riddervold	Ongoing
Sustainable Development, Resource Efficiency, Waste Reduction, and Climate Resilience	5.1: As appropriate, create policy and financial incentives to encourage increased building and site performance.*	Planning Commission	Neighborhood Development Services, Economic Development		To be reviewed as part of the regulatory framework project.	Missy Creasy	Ongoing
	6.1: Reduce energy demand and increase energy efficiency community-wide by an average of 30% by 2050 (using a baseline year of 2000); support and collaborate with local energy efficiency partners and stakeholders (such as the Local Energy Alliance Program [LEAP]).*	Charlottesville Emissions Baseline Report	Public Works, Neighborhood Development Services		Efforts to reduce community-wide energy demand continue. An interim goal to reduce community-wide energy demand by approximately 10% has been set for FY 2035, moving towards the long-term goal set for FY 2050. Reductions have been seen community-wide in the Transportation sector (13.5% reduction of GHG emissions, as calculated from VMT, between 2000-2011). The City continues to collaborate with LEAP on initiatives and programs in the community aimed at achieving emission reductions and has entered a funded program services agreement to help support those efforts. Other initiatives aimed to reduce emissions include supporting bike/ped initiatives and promoting renewable energy production. Within City Facilities: Aggressive energy management and energy efficiency programs had a dramatic impact on existing building stock, and continue to do so. However, the addition of several new buildings has resulted in net annual increases in recent fiscal years. Those buildings, by fiscal year, include: Juvenile & Domestic Relations Court (FY10), Oweary Pool (FY10), Transit Operations Center (FY11), Smith Aquatic Center (FY11), Carver Rec Center (FY14), Fontaine Fire Station (FY14).	Kristel Riddervold, Lance Stewart, Susan Elliott	Ongoing. As of 2011, municipal buildings and operations have achieved an energy reduction of 29.5%. Efforts to reduce community-wide energy demand by 30% will continue. An interim goal to reduce community-wide energy demand has been set for FY 2035, long-term goal set for FY 2050.
	6.2: Pursue and promote cleaner sources of electrical energy (e.g., renewable energy strategies).*	Planning Commission	Public Works		A dedicated webpage (www.charlottesville.org/citygoar) shares system information and performance data for municipally owned solar arrays. One of the themes in the online CityGreen Map captures solar energy systems with the intent of visually demonstrating the number and distribution of both public and private systems throughout the city. The Charlottesville Commercial Clean Energy Loan Program, provided through a partnership with the City, LEAP, and the LVA Community Credit Union continues to provide financing for Charlottesville businesses to install renewable energy systems and install energy efficiency measures. This program was updated in 2016 to function as an interest rate reduction program. The FY15, 16, and 17 CIP included funding for a multi-year program of expanding solar installations on City properties. By December 2016, 250kW of generating capacity will have been installed on city/school buildings. With local partner LEAP, three rounds of Solarize Charlottesville have been offered since 2014 providing limited time, bulk purchasing opportunities to residents to facilitate the system installation. The Green Roof (vegetative or solar) reduced permit fee is available for residential properties (www.charlottesville.org/greenincentives) and awareness and use of the solar equipment tax credit is growing.	Kristel Riddervold, Lance Stewart	Ongoing
	6.3: Reduce vehicle-related emissions through increased fuel efficiency, reduced vehicle miles traveled, fleet downsizing, anti-idling efforts and use of alternative fuels (e.g., compressed natural gas, biodiesel, or electric vehicle technology).*	2007 Comprehensive Plan	Public Works, Parks and Recreation, Neighborhood Development Services		City was involved in a DOE-funded R&D project involving Level II and DC fast charging stations for 3 electric vehicles introduced into the municipal fleet. In Nov 2013, City Council approved a mini-grant program to support a publicly-accessible EV (electric vehicle) charging network in Charlottesville (www.charlottesville.org/city/EVnetwork). Several successful applications have been received.	Kristel Riddervold, Susan Elliott	Ongoing

Environmental Sustainability

Topic Area	Action Working	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
	6.4: Track greenhouse gas emissions in City operations and the community and strategically explore and implement initiatives to achieve emissions reductions.*	City Council	Public Works, Neighborhood Development Services.		<p>Latest GHG Emissions Baseline Report update published in Dec 2012; Community Energy Strategic Planning to be launched in 2014. The next GHG Emissions Report will be published in 2017.</p> <p>City was accepted as 1 of 50 communities nationwide in the Georgetown University Energy Prize (GUEP) competition which is based on energy (gas and electricity) savings in the residential and municipal sectors. City launched Energize!Charlottesville, our community campaign to win the \$5M prize, which is made up a 4-part game plan to improve community energy performance: Part 1: Power in Knowledge – Increasing Awareness, Part 2: Power in Actions – Starting on the Energy Path, Part 3: Power in Investment – Locking-in Ongoing Comfort and Savings, and Part 4: Power in Preparation – Building a Strong Foundation.</p> <p>Initiatives to reduce GHG emissions are captured in items 6.1-6.3 above and are embedded in community campaigns such as Energize!Charlottesville and Charlottesville's participation in the Georgetown University Energy Prize competition.</p> <p>Data associated with building energy use in Charlottesville school and government buildings is tracked monthly and total metric tons of carbon dioxide is reported on the Charlottesville Measures Up dashboard.</p>	Kristal Riddervold, Susan Elliott	<p>Ongoing. GHG inventory report conducted every 3-5 years. The next GHG Emissions Report Update is schedule to be completed in 2017.</p> <p>The Georgetown University Energy Prize began in 2014, will conclude in 2017, and will include energy data from 2013-2016. Initiatives and energy management within City buildings and the community are pursued in an ongoing manner.</p>

Historic Preservation

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
URBAN DESIGN	1.1: Emphasize the importance of public buildings, public spaces, and other public improvements as opportunities to promote a sense of place and a welcoming environment for residents and visitors.	Staff	City Council/ Neighborhood Development Services		PLACE Task Force has been appointed to help implement this task. NDS staff is studying Form Based Code. Other initiatives included completion of John Warner Parkway; West Main Street Planning; Vinegar Hill Park Planning; Wayfinding Signage	Mary Joy Scala	Ongoing
	1.2: Promote Charlottesville's diverse architectural and cultural heritage by recognizing, respecting, and enhancing the distinct characteristics of each neighborhood.	Staff	City Council/ Neighborhood Development Services			Mary Joy Scala	Ongoing
	1.3: Facilitate development of nodes of density and vitality in the City's Mixed Use Corridors, and encourage vitality, pedestrian movement, and visual interest throughout the City.	Planning Commission	Neighborhood Development Services through zoning and plan review		PLACE Task Force has been appointed to help implement this task. NDS staff is studying Form Based Code. Additional examples include West Main Street Planning; SIA Planning; Small Area Plans	Mary Joy Scala	Within 5 years
	1.4: Develop pedestrian-friendly environments in Charlottesville that connect neighborhoods to community facilities, to commercial areas and employment centers, and that connect neighborhoods to each other, to promote a healthier community.	Staff	Neighborhood Development Services through plan review and CIP		Ongoing sidewalk, trail and crosswalk improvements	Mary Joy Scala	Ongoing
	1.5: Encourage community vitality and interaction through the incorporation of art in public spaces, neighborhoods, signage, and gateways.	Staff and Planning Commission	Art in Place/Neighborhood Development Services		The Art-in Place program is ongoing. NDS is working with Landmark Hotel owner to continue to incorporate art.	Mary Joy Scala	Within 5 years
	1.6: Encourage the incorporation of meaningful public spaces, defined as being available to the general public, into urban design efforts.	Tree Commission and SELC	Parks Department and Neighborhood Development Services		PLACE Task Force has been appointed to help implement this task. NDS staff is studying Form Based Code. Other examples include West Main Street planning; SIA Planning;	Mary Joy Scala	Ongoing
	1.7: Promote design excellence for public projects and installations at all scales.	Staff and Planning Commission	City Council/ Neighborhood Development Services		PLACE Task Force has been appointed to help implement this task. NDS staff is studying Form Based Code. Other examples include John Warner Parkway; Belmont Bridge Planning; City Parks Improvements	Mary Joy Scala	Ongoing
EDUCATION PROGRAMS FOR HISTORIC RESOURCES	2.1: Continue to improve the City's ongoing education program to notify property owners and potential property owners that their property is situated in a Historic Preservation & Architectural Design Control (ADC) District, or is designated as an Individually Protected Property (IPP).	2007 Comprehensive Plan – Education Program Action	Neighborhood Development Services		Postcards sent annually to property owners reminding them of the historic designation.	Mary Joy Scala	Annual
	2.2: Continue to support the Charlottesville Historic Resources Committee's efforts to promote understanding and appreciation of local historic resources.	2007 Comprehensive Plan – Education Program Action	Neighborhood Development Services		The Charlottesville Historic Resources Committee (HRC) is supported through the annual budget process.	Mary Joy Scala	Ongoing
	2.3: Continue to interpret historic resources to the community through markers, publications, events and other means. Strive to include the narratives and resources of underrepresented groups and areas significant in our local history. Coordinate this interpretation of historic resources with City improvement projects and other City initiatives.	2007 Comprehensive Plan – Education Program Action	Historic Resources Committee		The HRC is currently working on markers for Court Square. In addition the following have been provided: Markers for The Corner, Tonsler House, & the three City cemeteries; Facilitation of DOZ initiative; Reprinted walking tour brochure 2014; pedestrian signs in historic districts; bus poster series.	Mary Joy Scala	Ongoing
	2.4: Continue to support Preservation Piedmont and its partners in the Piedmont Area Preservation Alliance (PAPA) in efforts to coordinate communication among local, regional, and state preservation organizations.	2007 Comprehensive Plan – Education Program Action	Neighborhood Development Services and others		PAPA is supported through NDS staff time for their two annual meetings and Preservation Piedmont activities and tours; also preservation Virginia conference planning	Mary Joy Scala	Ongoing
	2.5: Continue to support participation of staff and elected and appointed officials in regional and statewide preservation and design educational opportunities.	Planning Commission	Neighborhood Development Services and others		Preservation mailing list exceeds 200 names including City officials; BAR is encouraged to attend annual training; preservation staff coordinates additional opportunities	Mary Joy Scala	Ongoing
INCENTIVES AND TOOLS FOR HISTORIC PRESERVATION	3.1: Continue to disseminate information to property owners regarding federal and state rehabilitation tax incentives, including Virginia's rehabilitation tax credit program.	2007 Comprehensive Plan – Incentives and Tools Action	Neighborhood Development Services and others		Links to VDHR tax credit program are provided on the City's web site. New National Register designations and historic surveys (such as Fry's Spring and West Main Street districts) provide an opportunity to raise public awareness	Mary Joy Scala	Ongoing
	3.2: Pursue National Register and Virginia Landmarks Register status for all future local historic districts.	2007 Comprehensive Plan – Local Protection Action	Neighborhood Development Services		The National and State Register designation is complete for the Fry's Spring Neighborhood. Staff is requesting CIP funding to add National Register Districts on West Main, Rugby Rd, 14th & 15th Streets; North Belmont.	Mary Joy Scala	Ongoing
	3.3: Continue the Planning Commission's and Board of Architectural Review's annual awards that may include recognition of exceptional Entrance Corridor designs and the best examples of preservation and design in the community, especially in ADC Districts.	2007 Comprehensive Plan – Incentives and Tools Action	Neighborhood Development Services		BAR awards in December 2015	Mary Joy Scala	Annual
	3.4: Provide technical assistance to property owners and/or provide referrals to other sources of information regarding architectural, historical or financial questions.	2007 Comprehensive Plan – Incentives and Tools Action	Neighborhood Development Services		Links to information is provided on the City's web site. Staff provides referrals to DHR for tax credit information, and to online sources such as NPS Preservation Briefs.	Mary Joy Scala	Ongoing
INVENTORY OF HISTORIC RESOURCES	4.1: Work with the following neighborhoods to develop interest and participation in documentation of neighborhood buildings and history through architectural and historic surveys: 10th & Page, Starr Hill, and North Belmont.	2007 Comprehensive Plan – Inventory Action /1994 Historic Resources Plan	Neighborhood Development Services		The North Belmont survey is complete (2016); CIP funding has been requested to survey Starr Hill and 10th & Page. Staff Hill has requested survey.	Mary Joy Scala	Within 5 years
	4.2: Continue to identify and survey additional significant, individual properties located outside historic districts. In addition to historic buildings, consider significant buildings from the recent past (less than 50 years old), structures such as sculptures, landscapes such as public spaces and cemeteries, and archaeological sites.	2007 Comprehensive Plan – Inventory Action /BAR, Preservation Piedmont	Neighborhood Development Services		Clark School was identified as a potential IPP but was opposed by the School Board in 2013.	Mary Joy Scala	Within 5 years
	4.3: Encourage developers contemplating land-disturbing activities in areas likely to reveal knowledge about our past to undertake archaeological studies prior to development. Help identify financial incentives or funding sources for such studies.	Planning Commission	Neighborhood Development Services		William Taylor Plaza and West Main Street had archaeological assessments performed.	Mary Joy Scala	Ongoing
	4.4: Conduct additional survey work as needed to reevaluate existing ADC district boundaries.	2007 Comprehensive Plan – Inventory Action	Neighborhood Development Services		CIP funding has been requested to re-survey Downtown and the North Downtown areas.	Mary Joy Scala	Ongoing
	4.5: Survey and evaluate all City-owned property, including schools and parks, for historic and design significance and integrity.	Planning Commission	Neighborhood Development Services		City properties are surveyed as part of larger projects, such as the North Belmont Survey that included Clark School.	Mary Joy Scala	Ongoing
NEIGHBORHOOD CONSERVATION	5.1: Monitor the effectiveness of the Conservation District as an alternative, more flexible type of local historic district in designated neighborhoods. Monitoring techniques may include resident surveys and tracking demolition permits.	Staff	Neighborhood Development Services		BAR is currently discussing updates to the ordinance.	Mary Joy Scala	Ongoing
	5.2: Recognize and respect cultural values and human resources, as well as built resources within the City's older neighborhoods.	2007 Comprehensive Plan – Neighborhood Conservation Action	Neighborhood Development Services			Mary Joy Scala	Ongoing

Historic Preservation

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
	5.3: Identify opportunities to increase intensity of use and flexibility of design in targeted areas to allow for more vibrancy and creative reuse of existing buildings.	Planning Commission	Neighborhood Development Services and others			Mary Joy Scala	Ongoing
	5.4: Study the urban forms in historic neighborhoods and consider allowing similar design standards in new neighborhoods.	Planning Commission	Neighborhood Development Services and others			Mary Joy Scala	Ongoing
	5.5: Provide property owners with information on historic rehabilitations, financial incentives, and context-sensitive design.	Planning Commission	Neighborhood Development Services and others			Mary Joy Scala	Ongoing
LOCAL PROTECTION OF HISTORIC RESOURCES	6.1: As requested by specific neighborhoods or when otherwise appropriate, consider additional neighborhoods or areas for designation as local historic districts (either Architectural Design Control Districts or Historic Conservation Districts) based on architectural and historic survey results.	2007 Comprehensive Plan – Local Protection Action	Neighborhood Development Services		Rugby Road was designated a historic conservation district in 2014; Woolen Mills Village is currently under consideration.	Mary Joy Scala	Ongoing
	6.2: On a regular basis, consider additional properties outside existing ADC Districts for designation as Individually Protected Properties, based on architectural and historic survey results.	2007 Comprehensive Plan – Local Protection Action	Neighborhood Development Services		No current activity	Mary Joy Scala	Within 5 years
	6.3: Consider including resources from the more recent past (less than 50 years old) as Individually Protected Properties, especially those of significant architectural value and those that are becoming rare surviving examples of their type or period of construction.	2007 Comprehensive Plan – Local Protection Action	Neighborhood Development Services		West Main Street Guidelines were amended 2013 to include Mel's Diner as a contributing structure in the West Main Street District.	Mary Joy Scala	Within 5 years
	6.4: Consider amending the existing ordinance to address protection of archaeological resources.	2007 Comprehensive Plan – Local Protection Action	Neighborhood Development Services			Mary Joy Scala	Ongoing
	6.5: Designate Maplewood, Oakwood, and Daughters of Zion Cemeteries as ADC districts to ensure their protection and maintenance.	BAR/ Neighborhoods/ Historic Resources Committee	Neighborhood Development Services		Maplewood is currently designated historic conservation district.	Mary Joy Scala	Within 5 years
	6.6: Continue to protect the environs of our World Heritage Site, the Lawn of the University of Virginia.	Planning Commission	Neighborhood Development Services			Mary Joy Scala	Ongoing
	6.7: Consider portions of the Woolen Mills neighborhood for Historic Conservation District designation.	Planning Commission	Neighborhood Development Services		Rezoning is pending.	Mary Joy Scala	within 5 years
COMPREHENSIVE APPROACH TO PRESERVATION AND URBAN DESIGN	7.1: Facilitate periodic meetings with Board of Architectural Review (BAR), City Council, Entrance Corridor Review Board (ERB) and the PLACE (Placemaking, Livability, and Community Engagement) Design Task Force to ensure an excellent and consistent design vision for the City.	Staff	Neighborhood Development Services		July 2013 Worksession with BAR and PLACE re: West Main Streetscape, murals, tents. September 2014 joint meeting with BAR, CC, PC, PLACE re: Code Audit	Mary Joy Scala	Annual
	7.2: Consider the effects of decisions on historic resources by all public decision-making bodies.	2007 Comprehensive Plan – Comprehensive Approach Action	Neighborhood Development Services and others			Mary Joy Scala	Ongoing
	7.3: Evaluate transportation decisions for their effects on historic districts, such as the Ridge Street District, and on Individually Protected Properties.	2007 Comprehensive Plan - Comprehensive Approach Action	Neighborhood Development Services			Mary Joy Scala	Ongoing
	7.4: Evaluate zoning map districts and amendments to the zoning map, including PUD's, for their consistency with preservation goals, and impacts on the historic character of City neighborhoods.	2007 Comprehensive Plan - Comprehensive Approach Action	Neighborhood Development Services/BAR/Planning Commission		This was done as part of the West Main Street rezonings - West Main East	Mary Joy Scala	Ongoing
	7.5: Review the historic preservation plan, historic district ordinance, entrance corridor ordinance and design guidelines every five years to ensure that goals for preservation and compatible new construction are being addressed.	2007 Comprehensive Plan - Comprehensive Approach Action	Neighborhood Development Services		Code audit underway; ADC and Historic Conservation District Guidelines reviews beginning.	Mary Joy Scala	Within 5 years
	7.6: Encourage sustainable and green building designs as complementary goals to historic preservation.	2007 Comprehensive Plan - Comprehensive Approach Action	BAR/Neighborhood Development Services		BAR has approved several installations of solar panels in ADC districts.	Mary Joy Scala	Ongoing
	7.7: Coordinate with other City programs, such as affordable housing initiatives, to encourage preservation and rehabilitation of historic resources, including low income housing more than 50 years old.	2007 Comprehensive Plan - Comprehensive Approach Action	Neighborhood Development Services			Mary Joy Scala	Ongoing
	7.8: Coordinate with the Public Works and Parks Departments regarding maintenance and construction that would affect historic features of the City's neighborhoods. Where possible, maintain and repair granite curbs, retaining walls, distinctive paving patterns and other features instead of replacing them.	2007 Comprehensive Plan - Comprehensive Approach Action/ Planning Commission	BAR/Neighborhood Development Services/ Public Works/Parks			Mary Joy Scala	Ongoing
	7.9: Adopt a policy of applying the Secretary of the Interior Standards for Historic Rehabilitation for all City-owned property more than 50 years old, and apply appropriate preservation technologies in all additions and alterations, while also pursuing sustainable and energy conservation goals.	2007 Comprehensive Plan - Comprehensive Approach Action/ Planning Commission	Neighborhood Development Services and others			Mary Joy Scala	Ongoing
	7.10: Investigate the feasibility of protecting an unobstructed sightline, as shown on the attached map, between World Heritage Sites Monticello, located in Albemarle County, and the Lawn at the University of Virginia.	Planning Commission	Neighborhood Development Services and others			Mary Joy Scala	Within 5 years
	7.11: Encourage retaining and replenishing shade trees, particularly large trees where possible, in all neighborhoods as we strive to make the City more walkable.	City Council and Planning Commission	Tree Commission, Neighborhood Development Services and others			Mary Joy Scala	Ongoing
ENTRANCE CORRIDORS	8.1: Emphasize placemaking elements and examine opportunities to create destinations.	Planning Commission	Neighborhood Development Services		West Main Street; Vinegar Hill Park, SIA, Lee Park are opportunities	Mary Joy Scala	Within 5 years
	8.2: Encourage site designs that consider building arrangements, uses, natural features, and landscaping that contribute to a sense of place and character that is unique to Charlottesville.	Staff/Adopted Guidelines/ Planning Commission	Neighborhood Development Services and others			Mary Joy Scala	Ongoing
	8.3: Ensure that new development, including franchise development, complements the City's character and respects those qualities that distinguish the City's built environment.	Staff/Adopted Guidelines	Neighborhood Development Services and others		Ongoing, especially along Entrance Corridors	Mary Joy Scala	Ongoing
	8.4: Use street trees, landscaping, and pedestrian routes to provide shade, enclosure and accessibility in streetscapes.	Staff/Adopted Guidelines	Neighborhood Development Services and others			Mary Joy Scala	Ongoing
	8.5: Protect and enhance access routes to our community's World Heritage Sites, the University of Virginia and Monticello, to recognize their significance as cultural and economic assets of the local heritage industry.	Planning Commission	Neighborhood Development Services and others			Mary Joy Scala	Ongoing
	8.6: Consider the designation of additional streets, such as Ridge-McIntire, East Market Street and Meade Avenue, as Entrance Corridor districts.	Planning Commission and staff (Ridge-McIntire)	Neighborhood Development Services/Planning Commission			Mary Joy Scala	Within 5 years
	8.7: When appropriate, coordinate the City's Entrance Corridor Design Guidelines with Albemarle County's Design Guidelines. Encourage continuity of land use, design, and pedestrian orientation between contiguous corridors in the City and County.	Planning Commission	Neighborhood Development Services			Mary Joy Scala	Within 5 years

Historic Preservation

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
SUSTAINABLE RE-USE	9.1: Develop an inventory of underutilized properties within City limits and develop strategies (such as rezoning, rehabilitation, and development incentives) that will move these properties back into productive uses that will support increased commercial or residential uses.	Planning Commission	Neighborhood Development Services			Mary Joy Scala	Within 5 years
	9.2: Collaborate with local organizations to steward the movement of underutilized properties back into productive and sustainable uses. As appropriate, create policy and financial incentives to encourage this process.	Planning Commission	Neighborhood Development Services			Mary Joy Scala	Within 5 years
	9.3: Encourage adaptive re-use of historic buildings as a strategy for historic preservation.	Staff	Neighborhood Development Services			Mary Joy Scala	Ongoing
	9.4: Support the rehabilitation of low income owner-occupied housing for energy efficiency and preservation of neighborhood character.	Staff	Neighborhood Development Services			Mary Joy Scala	Ongoing

Land Use

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Land Use	1.1: Examine opportunities in the following areas: Downtown to Elliot between Avon and Ridge; Woolen Mills; West Main/Ridge McIntire; Cherry/Roosevelt Brown; Fontaine Neighborhood Commercial; Rose Hill; Preston Avenue; McIntire/Harris/Allied; River Road; Emmet Street North of the 250 bypass; High Street/Martha Jefferson; and Fifth Street Extended.*	Source: 2007 Comprehensive Plan, 2013 Comprehensive Plan	Parties Responsible: Neighborhood Development Services, Planning Commission		The SIA plan was adopted in 2014 and implementation is underway. In 2016, the Planning Commission prioritized the Cherry Avenue area for a small area plan and is awaiting the allocation of resources. The MPO has requested funding from VDOT to implement planning efforts in the Hydraulic/29 area. Smart Scale transportation funding has been awarded for a streetscape project at Lexington and High as well as projects on Fontaine Avenue and Emmet Street.	Alex Ikefuna, Missy Creasy	Varies
Land Use	1.2: Develop common elements of a Small Area Plan as well as a planning process that is both consistent and can be molded to the unique character of each area.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council		Staff provided these materials to the Planning Commission for review in 2015. Using those materials, staff was asked to put together data sheets on some of the potential small areas to use on the tours held in Summer 2016 of priority areas.	Alex Ikefuna, Missy Creasy	Ongoing
Land Use	1.3: Create a plan for prioritizing and implementing proposed investments and strategies in Small Area Plans.	2013 Comprehensive Plan	Parties Responsible: Neighborhood Development Services, Planning Commission, City Council		The Planning Commission set criteria and established the top 3 priority areas in 2015. Following that, they did further review including walking tours of each of the 3 areas. Cherry Avenue area was chosen as their top priority. Resources will need to be allocated to	Alex Ikefuna, Missy Creasy	Ongoing
Land Use	1.4: Create a map showing the Small Area Plans in context with the entire City.	2013 Comprehensive Plan	Parties Responsible: Neighborhood Development Services		Complete	Missy Creasy, J. Herndon & Bart Prutz	Complete
Land Use	2.1: When considering changes to land use regulations, respect nearby residential areas.	2007 Comprehensive Plan, 2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council		This consideration is provided in applications and zoning requests.	Missy Creasy	Ongoing
Land Use	2.2: Encourage small businesses that enhance existing neighborhoods and employment centers.	Source: 2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Economic Development		The ACE program was created in 2014 to assist city based entrepreneurs and existing businesses with their growth. Approximately 36 have been served.	Chris Engel	Ongoing
Land Use	2.3: Enhance pedestrian connections between residences, commercial centers, public facilities and amenities and green spaces.*	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Parks and Recreation		Ongoing. Addressed through site plan process. The Bike/ped Plan identified the next round of sidewalk construction projects with objective criteria that addressed these connections. In addition, there has been a handful of new trail easements established and acquisition of more park properties that are helping to build this system. Most of this effort is focused on Moore's Creek, 250 bypass, and Pollock Branch this year.	Amanda Poncy, Chris Gensic	Ongoing
Land Use	2.4: Enhance the role of schools and parks by expanding the community use of these places.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Parks and Recreation		Park renovations and improvements are always aimed at making parks more useful within the communities they serve.	Brian Daly	Ongoing
Land Use	2.5: Expand the network of small, vibrant public spaces, particularly in areas that are identified for higher intensity uses and/or potential higher density.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Parks and Recreation, School Board		Continue to look for opportunities with each submitted application.	Missy Creasy	Ongoing
Land Use	3.1: Respect natural resources and sensitive environmental areas, including designated flood plain areas, rivers and streams.*	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Parks and Recreation		The City has been doing stream cleanups and invasive plant removal on existing public lands, and acquiring lands in the floodplain and stream valleys as parkland.	Chris Gensic	Ongoing
Land Use	3.2: Enhance existing neighborhood commercial centers and create opportunities for others in areas where they will enhance adjacent residential areas. Provide opportunities for nodes of activity to develop, particularly along mixed-use corridors.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council		Ongoing - The SIA plan provides for this and it is anticipated that zoning review in these areas will lead to this type of development long term.	Missy Creasy	Ongoing
Land Use	3.3: Increase opportunities for employment centers and diverse employment opportunities, particularly for targeted industries and businesses.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Economic Development			Chris Engel	Ongoing
Land Use	3.4: Increase both passive and active recreational opportunities for Charlottesville residents.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Parks			Brian Daly	Ongoing
Land Use	4.1: Coordinate with Albemarle County and other regional stakeholders to create a link between the City's pedestrian infrastructure and Monticello.*	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Parks and Recreation		This is included in the Long Range Transportation Plan. The City is coordinating easements and land acquisitions to further this project. It will probably be at least year 2021 until completion, if funding is aligned.	Amanda Poncy, Chris Gensic	Ongoing
Land Use	4.2: Work with regional partners to drain and implement a plan that better utilizes and protects the Rivanna River as an environmental, recreational and economic amenity.*	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Parks and Recreation		Following adoption of the Comp Plan, the City and County requested the PDC staff a multifaceted committee to determine next steps for this project. The committee met for 2 years and ultimately provided a proposal for moving forward to the City and County. Allocation of resources is the next step toward implementation.	Missy Creasy	Ongoing
Land Use	4.3: Coordinate with the University of Virginia to take advantage of opportunities that arise from any potential future expansion of the University and in particular the University Health System.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council		The University Health system is currently in the process of constructing a new Emergency Facility to the hospital. The University is working on plans for redevelopment of Brandon Avenue and Ivy Road in which the City has been a part of discussions. In addition, the City is collaborating with UVA on the Smart scale Transportation projects adjacent to the University	Missy Creasy	Ongoing
Land Use	4.4: Coordinate with Albemarle County on matters of land use that cross the jurisdictional border.*	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council		Collaboration on the Solutions 29 project as well as potential future phases extending to Hydraulic are underway. The Planning Commissions are working together on the Woolen Mills Redevelopment project. Many trails projects are under coordination to connect resources.	Missy Creasy	Ongoing
Land Use	5.1: Evaluate whether the Planned Unit Development ordinance is successful in providing projects in line with the City's vision for future development.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council		This has been discussed but no action taken. The PUD ordinance is anticipated to be discussed during the regulatory framework update.	Missy Creasy	Ongoing
Land Use	5.2: Explore the expansion of areas of the City where the Infill Special Use Permit can be utilized.*	2013 Comprehensive Plan	Parties Responsible: Neighborhood Development Services, Planning Commission, City Council		This has been discussed briefly but not prioritized for initiation.	Missy Creasy	2019
Land Use	5.3: Update the Standards and Design Manual and subdivision ordinance so that these documents promote pedestrian-oriented, environmentally sensitive design where appropriate.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Public Works, Fire Department		The Streets that Work plan was developed and has been adopted as of September 2016. Staff is in the process of developing the scope of work and RFP for the update to the SADM. Financial resources will need to be allocated to implement.	Martin Silman, Amanda Poncy	2018
Land Use	5.4: Update the zoning ordinance as needed so that it complements the City's design guidelines and is sensitive to the history of the community. Provide for the protection of valuable historic resources.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council, Board of Architectural Review		The BAR is beginning the process of updating the historic guidelines. At the same time, a legal review of the zoning ordinance is in the early phases which will assist the coordination process.	Missy Creasy	Ongoing
Land Use	5.5: Revise the Future Land Use Map so that it represents the desired vision for the City's future. Pay special attention to increasing the supply of affordable housing, increasing employment opportunities for all citizens, and encourage the development of mixed income neighborhoods throughout the City.	2007 Comprehensive Plan, 2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council	n/a	Completed as part of Comp Plan Review	Missy Creasy	Complete

Land Use

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Land Use	5.6: Review and revise the light industrial zoning regulations to reflect contemporary uses. New regulations should increase buffering adjacent to low-density residential neighborhoods, while permitting uses that are compatible with surrounding land use.	2007 Comprehensive Plan, 2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council		Plan to review as part of the Regulatory Framework update	Missy Creasy	2019
Land Use	5.7: Revise the zoning ordinance so that zoning classifications are based on intensity of use (as defined by density, height and maximum size of allowable use) as well as the type of use.	2007 Comprehensive Plan, 2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council		Plan to review as part of the Regulatory Framework update	Missy Creasy	Ongoing
Land Use	5.8: Be aware of and learn from applicable experiences, policies, procedures, ordinances and plans of other municipalities in Virginia and the United States.	2013 Comprehensive Plan	Neighborhood Development Services, Planning Commission, City Council		Most recently we have been working with other localities to understand their procedures for updates to construction standards. Staff has attended training to exchange ideas and the legal review of the zoning ordinance is underway to updated provisions as needed.	Missy Creasy	Ongoing

Housing

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Housing	1.1 Consider the effect of housing decisions when considering the proximity of existing units and the effects of unit location on associated infrastructure.	Planning Commission	Neighborhood Development Services, Planning Commission, City Council		Current example of efforts in 2014 include staff review of proposed LIHTC projects for Blue Ridge Homes on Carlton Avenue and Marquee on Ridge at Ridge/Cherry Ave intersection.	Stacy Pethia / Tierra Howard	Ongoing
Housing	1.2 Evaluate the effect of reduced transportation costs and improved energy efficiency on housing affordability.	Planning Commission	Neighborhood Development Services, City Council, Housing Advisory Committee, Planning Commission		There are national and state indexes for measuring transportation and housing costs relative to housing affordability; however, no further research has been done to measure local costs and how this impacts housing affordability. The City continues to provide assistance through the Home Energy Conservation Program to assist with utility costs in relation to affordable housing. Each year, the effect is improved energy efficiency on housing affordability.	Stacy Pethia / Tierra Howard	Within 5 years
Housing	1.3 Evaluate the effects new developments have on transit, the environment, density, open space configuration, commuter costs and affordable housing.*	Planning Commission	Neighborhood Development Services, City Council, Housing Advisory Committee, Planning Commission		No progress has been made on this objective at this time, but evaluation will be incorporated into any new/planned projects as these go through the typical planning process.	Stacy Pethia / Tierra Howard	Within 5 years
Housing	2.1 Preserve and improve the quality and quantity of the existing housing stock through the renovation, rehabilitation and/or expansion of existing units as a means of enhancing neighborhood stability.	2007 Comprehensive Plan	Neighborhood Development Services, City Council, Charlottesville Redevelopment and Housing Authority		The City continues to provide CAHF and HOME funds to the Albemarle Housing Improvement Program to facilitate an on-going rehabilitation program in the City, including the Block by Block Charlottesville program, a high impact, neighborhood targeted rehab program and scattered-site homeowner rehab.	Stacy Pethia / Tierra Howard	Ongoing
Housing	2.2 Continue to support the City's Tax Relief programs to accommodate the housing needs of low-income households, seniors and those with disabilities.	2007 Comprehensive Plan	Commissioner of Revenue, City Council		The City's current program provides real estate tax exemptions for qualified property owners who are sixty-five (65) years of age (or older) or permanently and totally disabled and who are otherwise eligible as outlined in Code of the City of Charlottesville Sec. 30-98.	Todd Divers	For as long as program exists
Housing	2.3 Encourage the use of programs that allow residents to adapt to growing/changing family situations, such as the continued use of the City's Home Improvement Program that provides tax exemptions as an incentive for residents to renovate or expand the size of their residences.*	2007 Comprehensive Plan with updated text based on comments from the planning Commission and City Council	Neighborhood Development Services, Tax Assessor, City Council		City staff continue to make all contractors aware of this program both through the City's website and through the permit process.	Stacy Pethia / Tierra Howard / City Assessors	For as long as program exists
Housing	2.4 Support the promotion of the Design for Life C'ville program that provides a rebate of permit fees for incorporation of standards that address visitability and live-ability.*	Updated from 2007 Comprehensive Plan to reflect new program	Neighborhood Development Services		Design for Live C'ville is a program with two optional standards of accessibility - visitability and live-ability. Targets new construction and renovation of existing homes. Administered by the City as part of the regular permitting process. Upon certification the City will refund 25% of permit fees for Visit-Ability or 50% of permit fees for Live-Ability. City staff continue to make all contractors aware of this program both through the City's website and through the permit process.	Stacy Pethia / Tierra Howard	For as long as program exists
Housing	2.5 Promote the use of rapid rehousing and permanent supportive housing options by providing support to programs and organizations serving the homeless and near-homeless populations, as well as those with challenges that would otherwise prevent independent living.*	2007 Comprehensive Plan	Neighborhood Development Services, City Council		In July 2015, TJACH adopted use of the Vulnerability Index - Service Provision Decision-Making Assessment Tool (VI-SPDAT) as its primary assessment tool for coordinated access purposes. TJACH homelessness service providers collect required data elements and enter data into HMIS on a weekly basis to ensure real-time community level data and on-time reporting to local, state and federal stakeholders. TJACH has selected an HMIS provider and makes HMIS available to providers.	Stacy Pethia / Tierra Howard / Thomas Jefferson Area Coalition on Homelessness	Ongoing
Housing	3.1 Continue to work toward the City's goal of 15% supported affordable housing by 2025.	Housing Advisory Committee, Planning Commission, and City Council	Neighborhood Development Services, City Council, Planning Commission		The October 2016 ratio of supported affordable housing to all housing in the City is 8%. The Housing Advisory Council has prepared a number of recommendations for City Council, based on the recent RCLCO Comprehensive Housing Study, that may help the City meet the 15% goal by 2025.	Stacy Pethia / Tierra Howard	Within 20 years
Housing	3.2 Incorporate affordable units throughout the City, recognizing that locating affordable units throughout the community benefits the whole City.*	Planning Commission, City Council	Neighborhood Development Services, City Council, Planning Commission		In August 2016, the City awarded CAHF funds to Habitat for Humanity Greater Charlottesville to support the construction of 16 Habitat Homes. These homes will be located on sites scattered throughout some of the City's higher income neighborhoods.	Stacy Pethia / Tierra Howard	Ongoing
Housing	3.3 Achieve a mixture of incomes and uses in as many areas of the City as possible.*	Housing Advisory Committee	Neighborhood Development Services, City Council, Planning Commission		In August 2016, the City awarded CAHF funds to Habitat for Humanity Greater Charlottesville to support the construction of 16 Habitat Homes. These homes will be located on sites scattered throughout some of the City's higher income neighborhoods.	Stacy Pethia / Tierra Howard	Ongoing
Housing	3.4 Encourage creation of new, on-site affordable housing as part of rezoning or residential special use permit applications.*	Planning Commission	Neighborhood Development Services, City Council, Planning Commission		The proposed redevelopment of 1011 E Jefferson St. includes the provision of 5 on-site affordable dwelling units for rent to households earning less than 80% AMI. A SUP for the development is awaiting review by City Council. If approved, the units would remain affordable for approximately 9 years.	Stacy Pethia / Tierra Howard	Ongoing
Housing	3.5 Consider the range of affordability proposed in rezoning and special use permit applications, with emphasis on provision of affordable housing for those with the greatest need.	Planning Commission	Neighborhood Development Services, City Council, Planning Commission		The proposed redevelopment of 1011 E Jefferson St. includes the provision of 5 on-site affordable dwelling units for rent to households earning less than 80% AMI. A SUP for the development is awaiting review by City Council. If approved, the units would remain affordable for approximately 9 years.	Stacy Pethia / Tierra Howard	Ongoing
Housing	3.6 Promote housing options to accommodate both renters and owners at all price points, including workforce housing.	Housing Advisory Committee	Neighborhood Development Services, City Council, Planning Commission		The HAC has compiled a list of recommendations for City Council, based on the RCLCO Comprehensive Housing Study, which includes a number of actions/programs to address workforce housing needs.	Stacy Pethia / Tierra Howard	Ongoing

Housing

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Housing	4.1 Continue to support the use of appropriate tax credit proposals submitted by private and non-profit developers within the locality to create affordable rental units, as consistent with Housing Advisory Committee policy.*	2007 Comprehensive Plan with updated text	Housing Advisory Committee, Neighborhood Development Services, City Council		For the 2014 Low Income Housing Tax Credit (LIHTC) competition through VHDA, the City had two applicants vying for LIHTCs. Staff recommended Council support of both; however, both pulled out of the competition for various reasons. The City continues to seek opportunities to partner with non-profit developers on LIHTC projects.	Stacy Pethia / Tierra Howard	Ongoing
Housing	4.2 Continue to fund programs that provide assistance to those unable to afford market rate housing options in the City.*	2007 Comprehensive Plan	Neighborhood Development Services, City Council		The City continues to provide housing vouchers for 21 tenants at the Crossings at Fourth and Preston, a single room occupancy facility with 50% dedicated units for the homeless. Additionally, the City has provided CAHF and HOME support to Piedmont Housing Alliance and Habitat for Humanity of Greater Charlottesville for a down payment assistance program for the City's low-income residents seeking to purchase housing within the City.	Stacy Pethia / Tierra Howard	Ongoing
Housing	4.3 Promote long-term affordability of units by utilizing industry strategies and mechanisms, including deed restrictions and covenants for their initial sale and later resale and the use of community land trusts.	2007 Comprehensive Plan with updated text	Neighborhood Development Services, City Council		The City utilizes a deed of trust and/or promissory note with all City funded housing rehabilitation efforts. Additionally, the City has helped with administrative support for the Thomas Jefferson Community Land Trust as well as funds in support of a Habitat/TJCLT duplex on Cleveland Avenue, with two townhouse units on Nunley Street, and through CDBG funds for the purpose of acquisition for long-term affordable housing.	Stacy Pethia / Tierra Howard	Ongoing
Housing	4.4 Create incentives such as deferral or exemption from real estate taxes for development of mixed-use projects in designated Entrance Corridors of the City.	2007 Comprehensive Plan	Neighborhood Development Services, City Council		No progress has been made on this objective at this time.	Stacy Pethia / Tierra Howard	Ongoing
Housing	4.5 Consider expanding the City's tax abatement program to allow for longer terms of deferral, applying it to rental properties and lessening other restrictions as allowed by Virginia Code.	Housing Advisory Committee	Neighborhood Development Services, City Council		No progress has been made on this objective at this time.	Stacy Pethia / Tierra Howard	Within 5 years
Housing	4.6 Consider the merits and feasibility of establishing a Tax Deferral Program such as a 50% tax deferral for income-eligible home buyers who earn less than 30% of Area Median Income.	2007 Comprehensive Plan	Neighborhood Development Services, City Council		City staff have worked with Habitat to specifically look at opportunities to use tax deferrals for properties with "deed restrictions" that limit the resale price of the home. This effort is still underway.	Stacy Pethia / Tierra Howard	Within 5 years
Housing	4.7 Promote the Tax Abatement Program for houses and mixed use buildings that become or are developed as 30% more energy efficient than statewide building code.	2007 Comprehensive Plan	Neighborhood Development Services, City Council		This program is authorized by Sec. 30-160.1-30-160.11. Staff will continue to make contractors aware of this program and assist interested parties with working through the requirements.	Stacy Pethia / Tierra Howard	For as long as program exists
Housing	4.8 Examine feasibility of allowing the amortization of the cost of meter connection fees.	Planning Commission	Neighborhood Development Services, City Council, Utility Billing Office, Public Works		The City currently offers reduced water facility and sewer connection fees for affordable housing units.	Stacy Pethia / Tierra Howard	Within 5 years
Housing	4.9 Continue to dedicate funds annually to support strategic initiatives for affordable and mixed use housing and existing housing rehabilitation and repair.*	2007 Comprehensive Plan with update text	Neighborhood Development Services, City Council		Council continues to support homeowner rehab and downpayment assistance for CDBG & HOME Priorities each year in line with the City's 2013-2018 Consolidated Plan.	Stacy Pethia / Tierra Howard	Ongoing
Housing	5.1 Explore creation of a regional housing authority.*	Planning Commission	Neighborhood Development Services, Charlottesville Redevelopment and Housing Authority, City Council		City and County staff preparing recommendations related to the City/County Housing MOU have recommended against creating a regional housing authority as doing so may lead to a significant decrease in the number of Housing Choice Vouchers awarded to the region annually.	Stacy Pethia / Tierra Howard / Grant Duffield	Within 5 years
Housing	5.2 Identify privately or institutionally owned land/properties that would be suitable for development or creative redevelopment of affordable or mixed-income housing projects. Support partnerships with private or non-profit entities to create affordable housing.*	2007 Comprehensive Plan	Neighborhood Development Services		There is an affordable housing database used to keep track of current affordable housing stock, which is updated as needed (usually quarterly). Analysis of the data was performed in early 2013 in an attempt to identify areas where investment in affordable housing should be prioritized. This analysis needs to be revisited and reassessed.	Stacy Pethia / Tierra Howard	Within 5 years
Housing	5.3 Encourage the University of Virginia and other major employers, like the City of Charlottesville and Charlottesville School Division to work in partnership with developers and real estate professionals to expand housing opportunities within the City for the workforce either for rent or purchase that are in close proximity to the respective employer.	2007 Comprehensive Plan with updated text from Planning Commission and City Council	Neighborhood Development Services, Economic Development, City Council		A Comprehensive Housing Analysis study was completed in February 2016. The HAC has reviewed the report and prepared a list of recommended action for City Council. The report, and subsequent HAC recommendations, address this goal.	Stacy Pethia / Tierra Howard	Ongoing
Housing	5.4 Perform an inventory across the City and use GIS technology to analyze where and how much affordable housing is available, where opportunities exist to create additional units and/or rehabilitate existing units and how to improve access for lower-income households to adult learning and employment opportunities, job training, healthy food sources, and public amenities such as parks, recreational facilities, shopping destinations and libraries, with the goal of reducing family isolation, deconcentrating poverty, and enhancing neighborhood and school health and economic mobility.	Housing Advisory Committee, City Council	Neighborhood Development Services, City Council		There is an affordable housing database used to keep track of current affordable housing stock. This is updated quarterly. This data is used to produce maps showing the location of affordable housing throughout the city. Analysis was performed in early 2013 in an attempt to identify areas where investment in affordable housing should be prioritized. This analysis needs to be revisited and reassessed.	Stacy Pethia / Tierra Howard / Bart Pfautz	Within 5 years
Housing	5.5 Support redevelopment of public and/or other subsidized housing to re-integrate those properties into existing neighborhoods, consistent with other Comprehensive Plan objectives/strategies. Where applicable, support resident bill of rights as formally adopted.	Planning Commission, City Council	Neighborhood Development Services, City Council, Charlottesville Redevelopment and Housing Authority		The City has previously provided funding in support of the Master CRHA Redevelopment Plan. Some \$200K of current funding is still being held in reserve to support redevelopment efforts. While CRHA has not yet begun any redevelopment efforts, a new Executive Director was hired in 2016, and may begin work in the future.	Stacy Pethia / Tierra Howard / Grant Duffield	Ongoing
Housing	5.6 Work in cooperation with local governments and regional agencies to promote a regional fair share approach to providing affordable housing at a variety of income levels.	City Council	Neighborhood Development Services, City Council		Efforts through the One Communities Planning effort started this work; however, there is more to be done. The Housing Director's meet monthly to support a regional approach to affordable housing through HOME and the HOME Consortium.	Stacy Pethia / Tierra Howard	Ongoing

Housing

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Housing	5.7 Support housing programs at the local and regional level that encourage mixed-income neighborhoods and discourage the isolation of very low and low income households.	City Council	Neighborhood Development Services, City Council		This is an ongoing effort. Recent activities include providing CAHF support for Habitat for Humanity Greater Charlottesville's Project 20, which will develop Habitat homes in some of City's higher income neighborhoods; as well as supporting Piedmont Housing Alliance's Friendship Court pre-development efforts.	Stacy Pethia / Tierra Howard	Ongoing
Housing	6.1 Examine feasibility of augmenting reductions to existing review time for projects including affordable housing in targeted areas.	Planning Commission	Neighborhood Development Services, City Council		The City already has a policy on expedited review for projects with an affordable housing component; however, staff have not identified other reduction measures at this time.	Stacy Pethia / Tierra Howard	Within 5 years
Housing	6.2 Evaluate effects of all land use regulations on affordable and mixed-use housing to ensure that they will not unduly restrict mixed-income and mixed-use redevelopment. Provide ongoing evaluation of all policies and ordinances relative to housing.	Housing Advisory Committee, Planning Commission	Neighborhood Development Services, City Council, Board of Architectural Review		Current ordinances are undergoing a review and update at this time. The ordinances will be evaluated for their impact on affordable and mixed-use housing throughout the updating process.	Stacy Pethia / Tierra Howard	Ongoing
Housing	6.3 Work with elected and appointed state officials to break down barriers to achieve our goals in State code (including inclusion of live-ability, visit-ability and/or universal design standards in our local zoning ordinance).*	Housing Advisory Committee	Neighborhood Development Services, City Council		Based on recommendations developed by the HAC, staff is working with the City's Legal Department to add inclusionary zoning and an increase in the cash-in-lieu payment to the legislative agenda.	Stacy Pethia / Tierra Howard	Ongoing
Housing	6.4 Encourage the creative uses of innovative housing through available opportunities, such as infill SUP and PUD.*	Planning Commission and City Council	Neighborhood Development Services, City Council		This is an ongoing effort.	Stacy Pethia / Tierra Howard	Ongoing
Housing	6.5 Review the zoning ordinance to reduce restrictions on creating appropriate creative, green, mixed-income and mixed-use housing options, including accessory dwellings, live/work units and shared housing.	Housing Advisory Committee, Planning Commission and City Council	Neighborhood Development Services, City Council		Staff have identified ways to improve 34-12, recommending that the percent of AMI be increased as well as the cost per square foot when payments in lieu are selected. Staff is working with the City's Legal Department to add inclusionary zoning and an increase in the cash-in-lieu payment to the legislative agenda.	Stacy Pethia / Tierra Howard	Ongoing
Housing	7.1 To the greatest extent feasible, ensure affordable housing is aesthetically similar to market rate.	2007 Comprehensive Plan	Neighborhood Development Services, City Council, PLACE Task Force		This is an ongoing effort.	Stacy Pethia / Tierra Howard	Ongoing
Housing	7.2 Encourage the use of the Design for Life C'ville program to promote and expand visit-ability/live-ability features and market inclusion.*	2007 Comprehensive Plan updated to reflect new program	Neighborhood Development Services, City Council		This is an ongoing effort. Outreach and marketing of the program is being done on a routine basis by the City's ADA coordinator and the City's Housing Development Specialist.	Stacy Pethia / Tierra Howard	For as long as program exists
Housing	7.3 Encourage appropriate design so that new supported affordable units blend into existing neighborhoods, thus eliminating the stigma on both the area and residents.	Housing Advisory Committee	Neighborhood Development Services, City Council, PLACE Task Force		This is an ongoing effort and one that is complemented by VHDA through administration of the LIHTC program, in that projects using brick, hardi-plank and EarthCraft standards are prioritized.	Stacy Pethia / Tierra Howard	Ongoing
Housing	8.1 Encourage mixed-use and mixed-income housing developments.	2007 Comprehensive Plan	Neighborhood Development Services, City Council, Charlottesville Redevelopment and Housing Authority		This is an ongoing effort.	Stacy Pethia / Tierra Howard	Ongoing
Housing	8.2 Link housing options and employment opportunities in City land use decisions.*	2007 Comprehensive Plan	Neighborhood Development Services, City Council, Economic Development, Planning Commission		This is an ongoing effort.	Stacy Pethia / Tierra Howard / Chris Engel	Ongoing
Housing	8.3 Encourage housing development where increased density is desirable and strive to coordinate those areas with stronger access to employment opportunities, transit routes and commercial services.*	2007 Comprehensive Plan	Neighborhood Development Services, City Council		This is an ongoing effort.	Stacy Pethia / Tierra Howard	Ongoing
Housing	8.4 Promote environmentally sustainable patterns of development as well as economic development and job creation in relatively underinvested, financially depressed areas.	Housing Advisory Committee	Neighborhood Development Services, City Council, Economic Development		This is an ongoing effort.	Stacy Pethia / Tierra Howard	Ongoing
Housing	8.5 Promote redevelopment and infill development that supports bicycle and pedestrian-oriented infrastructure and robust public transportation to better connect residents to jobs and commercial activity.*	Housing Advisory Committee	Neighborhood Development Services, City Council		This is an ongoing effort.	Stacy Pethia / Tierra Howard / Amanda Ponce / John Jones	Ongoing
Housing	8.6 With the community's participation, develop small-area plans that lay the groundwork for transportation-oriented, mixed-use and mixed-income neighborhoods, within the context of the broader vision for Charlottesville.*	Housing Advisory Committee	Neighborhood Development Services, City Council, PLACE Task Force		The CDBG Priority Neighborhood initiatives are currently ongoing. 10th & Page is the priority neighborhood for FY 14/15 - FY 17-18. The CDBG Priority Neighborhood Task Force is currently meeting to develop a small neighborhood plan for the neighborhood related to improving transportation infrastructure, connectivity and accessibility issues.	Stacy Pethia / Tierra Howard	Within 10 years, locations to be determined
Housing	8.7 Encourage the incorporation of green sustainable principles (e.g. LEED, EarthCraft Virginia, Energy Star, etc.) in all housing development to the maximum extent feasible both as a way to be more sustainable and to lower housing costs.	Planning Commission	Neighborhood Development Services, City Council		Albemarle Housing Improvement Program works with LEAP to enhance energy efficiency through their housing rehab program. Habitat for Humanity Greater Charlottesville constructs their Habitat homes to EarthCraft standards.	Stacy Pethia / Tierra Howard	Ongoing
Housing	8.8 Promote educational efforts to make information available about the benefits of/opportunities for patterns of urban living (e.g. more efficient land use, shared public space, smaller more energy efficient units, walkability, etc.) while also assessing effectiveness of such efforts and examples.*	Planning Commission	Neighborhood Development Services, City Council, Planning Commission, Housing Advisory Committee		The Housing Program Coordinator is in the process of creating a quarterly housing newsletter that will, among other things, track progress toward the City's 2025 Affordable Housing Goal, provide information on the benefits of affordable housing, and highlight efforts of the City's non-profit housing partners. Educational information related to various aspects of urban living can be incorporated into the newsletter content as well.	Stacy Pethia / Tierra Howard	Ongoing

Transportation

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Transportation: Complete Streets Goals and Objectives	1.1: Update the City's Bicycle and Pedestrian Master Plan to facilitate bicycle and pedestrian travel within the City.	Neighborhood Development Services, Parks and Recreation	Neighborhood Development Services, Parks and Recreation, Public Works, Bicycle and Pedestrian Safety Committee, City Council	50-75,000	Adopted by City Council in September 2015.	Amanda Poncey	Complete
Transportation: Complete Streets Goals and Objectives	1.2: Provide convenient and safe pedestrian connections within 1/4 miles of all commercial and employment centers, transit routes, schools and parks	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, Public Works, City Council, Private Sector		Charlottesville Area Transit has bus stops established within a 1/4 mile walk of 93% of the City's population. Sidewalk gaps identified as part of the Bicycle and Pedestrian Master Plan update (adopted 9/15)	Amanda Poncey, John Jones	Ongoing
Transportation: Complete Streets Goals and Objectives	1.3: Provide design features on roadways, such as street trees within buffers, street furniture and sidewalk widths that improve the safety and comfort level of all users and contribute to the City's environmental goals.	Planning Commission	Neighborhood Development Services, Bicycle and Pedestrian Safety Committee, Public Works, City Council		The Streets that Work Plan was adopted by Council in September 2016. Staff is in the process of developing the scope of work and RFP for the update to the SADM. Financial resources will need to be allocated to implement.	Missy Creasy	Ongoing
Transportation: Complete Streets Goals and Objectives	1.4: Explore and implement safe, convenient and visually attractive crossing alternatives to enable pedestrians and bicyclists to cross major thoroughfares.	Planning Commission, City Council	Neighborhood Development Services, Bicycle and Pedestrian Safety Committee, Public Works		Ongoing. The Streets that Work Plan identified a number of intersections that need improvement. In addition, the City is in the process of finalizing plans to build the bike/ped bridge over the railroad at McIntire park as well as working on plans to improve the culverts under 250 bypass and Hydraulic Road along	Amanda Poncey, Chris Gensic, Traffic Engineer, Mary Joy Scala	Ongoing
Transportation: Complete Streets Goals and Objectives	1.5: Continue to include bicycle and pedestrian accommodations in conjunction with the planning and design of all major road projects, all new development and road paving projects.	Planning Commission, City Council	Neighborhood Development Services, Bicycle and Pedestrian Safety Committee, Public Works		Ongoing. West Main Plan, Emmet St, Fontaine Ave and E. High are ongoing road projects that will include bicycle and pedestrian accommodations. Belmont Bridge replacement in process. Amanda Poncey and Chris Gensic review site plans for bike/ped accommodations in new development. Bike/ped improvements are coordinated with roadway paving.	Amanda Poncey, Chris Gensic, Lance Stewart, Jeanette Janiczek	Ongoing
Transportation: Complete Streets Goals and Objectives	1.6: Consistently apply ADA standards to facility design and ensure that accessible curb ramps exist at all pedestrian crossings where conditions allow.	ADA Advisory Committee	Neighborhood Development Services, Bicycle and Pedestrian Safety Committee, ADA Advisory Committee, Private Development		Ongoing. Upgraded 34 ramps in 2013 will update additional 25-30 in 2014. 10th and Page is the next neighborhood to be addressed. Additional crossing improvements near Clark Elementary and Jackson-Via Elementary are in process.	Amanda Poncey and Jim Herndon, Lance Stewart	Ongoing
Transportation: Complete Streets Goals and Objectives	1.7: Examine and update the Standards and Design Manual to better incorporate Complete Street and Living Street design features in the public right of way.	Planning Commission	Neighborhood Development Services, Bicycle and Pedestrian Safety Committee, City Council		Streets that Work adopted by City Council September 2016. Working through regulatory framework update for consistency. City staff has begun the process for a complete overhaul of the Standards and Design Manual, which will incorporate the recently adopted Streets That Work Plan. In addition, it will include information and detail as it pertains to the transportation network, inclusive of transit, vehicles, bicycles and pedestrians.	Martin Silman, Alex Ikefuna, Amanda Poncey, Traffic Engineer	Standards and Design Manual is currently being reviewed for revision as a whole document, and specifically in coordination with Streets That Work as well as Code changes.
Transportation: Complete Streets Goals and Objectives	1.8: Coordinate with public schools to develop a Safe Routes to School Travel Plan for every public school in the City.	Planning Commission	Neighborhood Development Services, Bicycle and Pedestrian Safety Committee, City Council		Clark School Completed. Walkability audits at Walker and Jackson-Via also completed. Travel plans are no longer a requirement for Safe Routes funding, so this objective should be revisited.	Amanda Poncey, Kyle Rodland (SRTS Coordinator)	Complete one travel plan annually
Transportation: Complete Streets Goals and Objectives	1.9: Seek to expand and anticipate traffic calming where applicable throughout the City in collaboration with neighborhood residents and as part of the development process.	Comprehensive Plan 2007	Neighborhood Development Services, Bicycle and Pedestrian Safety Committee, City Council		Multimodal plan taking place of traffic calming efforts.	Traffic Engineer	Ongoing through site plan review and citizen request
Transportation: Complete Streets Goals and Objectives	2.1: Provide convenient and safe bicycle and pedestrian connections between new and existing residential developments, employment areas and other activity centers to promote the option of walking and biking	Planning Commission	Neighborhood Development Services, City Council		Ongoing. Addressed in Bicycle and Pedestrian Master Plan, Streets that Work Plan, project implementation and site plan review.	Amanda Poncey, Chris Gensic	Ongoing
Transportation: Complete Streets Goals and Objectives	2.2: Encourage new street connections and alternate traffic patterns where appropriate to distribute traffic volumes across a network and reduce trip lengths for pedestrians, cyclists, and vehicles	Planning Commission	Neighborhood Development Services, City Council		Ongoing. Completed during site plan reviews.	Traffic Engineer	Ongoing
Transportation: Complete Streets Goals and Objectives	2.3: Improve walking and biking conditions by discouraging and/or minimizing curb cuts for driveways, garages, etc. in new development and redevelopment	Planning Commission	Neighborhood Development Services, Private Development, City Council		Ongoing. Completed during site plan reviews	Traffic Engineer, Amanda Poncey, Missy Creasy	Ongoing
Transportation: Complete Streets Goals and Objectives	2.4: Encourage a mix of uses in priority locations, such as along identified transit corridors and other key roadways, to facilitate multimodal travel and increase cost-effectiveness of future service.	Planning Commission	Neighborhood Development Services, City Council		The Streets that Work Plan was developed and has been adopted as of September 2016. Staff is in the process of developing the scope of work and RFP for the update to the SADM which will provide the specifications needed for this implementation	Missy Creasy	Ongoing
Transportation: Complete Streets Goals and Objectives	2.5: Develop a comprehensive set of street design guidelines based on the Complete Streets Resolution and ITE/CNU's Walkable Urban Thoroughfares Context Sensitive Solutions (CSS) Approach that balances multimodal transportation options while considering design techniques that allow for urban scale, walkable communities where appropriate.	Place Task Force	Neighborhood Development Services, Place Task Force, City Council		Streets that Work Plan adopted in Sept. 2016 included street design guidelines.	Missy Creasy, Traffic Engineer, Amanda Poncey, Marty Silman, Utilities, Public Service	Guideline development anticipated as part of Multi-modal Plan Complete Summer 2015
Transportation: Complete Streets Goals and Objectives	2.6: Promote urban design techniques, such as placing parking behind buildings, reducing setbacks and increasing network connectivity, to create a more pedestrian friendly streetscape and to reduce speeds on high volume roadways.	Planning Commission	Neighborhood Development Services, City Council		Plan to address through implementation of code audit recommendations and SADM update.	Missy Creasy	Ongoing
Transportation: Complete Streets Goals and Objectives	2.7: Encourage businesses to provide on-site amenities such as transit shelters, bicycle storage (racks/lockers) to promote alternative transit for their workers	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council		The Zoning Ordinance has provisions denoted to require these amenities.	Missy Creasy	Ongoing
Transportation: Complete Streets Goals and Objectives	2.8: Provide financial assistance to efficient and effective Transportation Demand Management (TDM) programs.	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council			Traffic Engineer	Ongoing
Transportation: Complete Streets Goals and Objectives	2.9: Reduce parking requirements when a development proposal includes Transportation Demand Management (TDM) strategies that can be demonstrated to reduce trip making to and from the development	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council		Plan to address through implementation of code audit recommendations and SADM update.	Missy Creasy	Ongoing
Transportation: Complete Streets Goals and Objectives	2.10: Develop a GIS-based map of all city owned undeveloped land and rights of way, to inform bicycle and pedestrian improvements.	City Council	Neighborhood Development Services, City Council		To be completed with the Multi-modal plan.	Amanda Poncey	Ongoing

Transportation

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Transportation: Complete Streets Goals and Objectives	2.11: Encourage UVA and other major employers, like the City of Charlottesville and Charlottesville City School Division to work in partnership with developers and real estate professionals to expand workforce housing opportunities within close proximity of the employer, either by foot, bike or bus stop on a route to the employer.	City Council	Neighborhood Development Services, City Council, City Schools		No progress has been made on this objective at this time; however, staff intends to request CAHF assistance to undertake a housing market analysis to accomplish this task as well as identify potential opportunities that may be available through the creation of new student housing on West Main. It is hoped that the City and UVA can work on this together. The HAC is recommending City Council create an Employer Assisted/Live Near Your Work program for City employees. The program would provide down payment and/or closing assistance to low-/moderate-income employees wishing to purchase a home within the City. This type of program can be expanded to all employers within the City.	Stacy Pethia, Tierra Howard	Ongoing
Transportation: Complete Streets Goals and Objectives	3.1: Continue to encourage local employers to use Travel Demand Management (TDM) techniques, such as flexible work hours and financial incentives for using alternative modes of commuting, to preserve the traffic-moving capacity of the arterial roadway network.	Planning Commission	Neighborhood Development Services, City Council		The project is complete and fully occupied with 500+ employees and 40 residential units.	Chris Engel	Ongoing
Transportation: Complete Streets Goals and Objectives	3.2: Continue to use Transportation System Management techniques such as Intelligent Transportation Systems to coordinate traffic signals, and communicate emergencies, weather and incidents to drivers.	Comprehensive Plan 2007	Neighborhood Development Services, City Council		Signal coordination with the state system for the Adaptive Signal project along the US 29 corridor currently underway.	Traffic Engineer	This is one of eight City / VDOT transportation improvement efforts (29 Solutions). To be completed at the end of 2017.
Transportation: Complete Streets Goals and Objectives	3.3: Develop Access Management standards for new development and redevelopment along primary entrance corridors.	Comprehensive Plan 2007, Planning Commission, NDS	Neighborhood Development Services, City Council			Traffic Engineer	Short to medium term 1-3 years
Transportation: Complete Streets Goals and Objectives	3.4: Identify multimodal solutions to reduce single occupancy vehicle use.	Comprehensive Plan 2007	Neighborhood Development Services, Public Works, City Council		Ongoing. Three projects that include multimodal solutions have recently received state/federal funding to move forward: High Street, Fontaine Avenue and Emmet Street. Additional applications have been submitted for West Main Street and the Barracks/29 intersection. Additional multimodal solutions are addressed in Multi-modal Plan. In addition, there are opportunities during Small Area Plan development, West Main Street implementation, and site plan review by the development review team.	Alex Ikefuna, Traffic Engineer, Amanda Poncy, Chris Gensic, Susan Elliott, John Jones	Ongoing The three approved projects, High Street, Fontaine Ave. and Emmet Street, are to be completed between 2021 - 2022.
Transportation: Complete Streets Goals and Objectives	3.5: Identify additional roadway connections to improve the connectivity of streets.	Planning Commission	Neighborhood Development Services, Place Task Force, City Council		John W. Warner Parkway between Albemarle Co. and 250 By-pass was completed. Best Buy ramp project between US29 and 250 By-pass was completed. 250 Interchange project was completed. Hillsdale Road extension between Albemarle County and Hydraulic Road construction underway.	Traffic Engineer	Ongoing
Transportation: Complete Streets Goals and Objectives	4.1: Establish designated truck routes within the City.	Comprehensive Plan 2007, Planning Commission, NDS	Neighborhood Development Services, City Council		Ongoing	Traffic Engineer	Per City Council / Citizen request.
Transportation: Complete Streets Goals and Objectives	4.2: Minimize the effects of congestion on commuters and the movement of goods through such strategies as: signal coordination, parking management techniques that reduce the need to circle for a parking spot, encouragement of off-peak deliveries and promotion of sustainable modes of transportation.	Comprehensive Plan 2007	Neighborhood Development Services, City Council		Five SMART Scale projects have been identified for these multimodal applications. Three projects have recently received state/ federal funding to move forward. West Main Street improvements proposes parking management and sustainable modes of transportation.	Traffic Engineer	Ongoing
Transportation: Complete Streets Goals and Objectives	4.3: Prioritize funding for regular maintenance to preserve and sustain investments in our transportation system.	Public Works	Public Works, Neighborhood Development Services, City Council		Funding has been requested but unavailable at this time.	Lance Stewart, Judy Mueller	Ongoing
Transportation: Complete Streets Goals and Objectives	5.1: Continue to provide bicycle parking at public buildings and explore opportunities to provide bicycle parking within public right-of-way to support local businesses.	Bicycle and Pedestrian Master Plan (2003)	Neighborhood Development Services, City Council		Bike racks are available at every park and recreation center. A bike repair station has been placed at the Downtown Transit Center, Carver Rec & Riverview Park. Will be addressed in West Main Plan. City provides bicycle parking to businesses who request it. Approx. 10-20 racks per year are installed with this program.	Amanda Poncy, Doug Ehman, Chris Gensic,	Ongoing
Transportation: Complete Streets Goals and Objectives	5.2: Work with University of Virginia officials to encourage students, faculty and staff to live closer to the University or to use alternative modes of transportation wherever they live.	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council		The City continues to meet with UVA representatives to implement this item. The addition of housing on West Main St has assisted. The U Bike program is another example of encouraging modes of transportation.	Maurice Jones	Ongoing
Transportation: Complete Streets Goals and Objectives	5.3: Encourage employers to provide incentives for employees who do not drive to work.	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council		We are working with Workforce Development on a pilot project	John Jones, Hollie Lee	Ongoing
Transportation: Complete Streets Goals and Objectives	5.4: Provide public parking to maintain the vitality of the City while using pricing strategies (including metering) and coordinated locations of parking to encourage use of transit, walking and bicycling.	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council		The Department of Economic Development worked with a consultant in 2015 to provide parking strategies for target areas of the City. One objective was the creation of a parking department to implement study recommendations.	Chris Engel, Traffic Engineer	Ongoing
Transportation: Complete Streets Goals and Objectives	5.5: Explore options for park-and-ride lots and examine parking exempt zones. Utilize the zoning regulations to promote sound private parking facility supply and design by private developers.	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council			Traffic Engineer	Ongoing
Transportation: Complete Streets Goals and Objectives	5.6: Explore shared motor vehicle service for the Downtown and University areas.	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council			Traffic Engineer	Ongoing
Transportation: Regional Goals and Objectives	5.7: Examine investment in municipal, shared parking facilities in targeted mixed use corridors in an effort to encourage redevelopment.	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council		A parking garage feasibility study was conducted as part of the West Main Schematic design project as West Main was an area identified in the parking study that is in need of parking. Significant efforts to explore the creation of BID occurred in 2014 and has been tabled for lack of business support. Significant investment in residential and commercial developments continues.	Chris Engel, Maurice Jones	Ongoing
Transportation: Regional Goals and Objectives	6.1: Continue to expand transit service and increase ridership.	Comprehensive Plan 2007 (Transit)	Public Works, City Council		Route 11 offers expanded options for crosstown travel. Night service is planned for the Pantops area in FY 2015	John Jones	Ongoing
Transportation: Regional Goals and Objectives	6.2: Evaluate transit services, including attention to Sunday and after-dark bus service and route restructuring, and update the City-wide transit plan.	Comprehensive Plan 2007 (Transit)	Public Works, City Council		Additional night service is being planned for the Pantops area.	John Jones	Study currently underway. Anticipated completion Spring 2013

Transportation

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Transportation: Regional Goals and Objectives	6.3: Continue to work with Albemarle County and the TJPDC to develop a transit system that adequately serves the residents of the entire Charlottesville-Albemarle community. This includes the continued study of light rail and Bus Rapid Transit (BRT).	Transit	Neighborhood Development Services, City Council		Bus rapid transit and high frequency commuter routes are options being explored in the LRTP 2040 Plan	John Jones	Ongoing
Transportation: Regional Goals and Objectives	6.4: Work closely with state government, regional organizations and adjacent jurisdictions to support transit-oriented and transit-accessible employment throughout the region.	Planning Commission	Neighborhood Development Services, City Council		These options are being explored on an ongoing basis. There are several multimodal options being studied in the LRTP 2040.	John Jones	Ongoing
Transportation: Regional Goals and Objectives	6.5: Accommodate the travel needs of all residents and employees, including low-income populations, the elderly and those with disabilities.	Planning Commission, NDS	Neighborhood Development Services, City Council			Traffic Engineer	Ongoing
Transportation: Regional Goals and Objectives	6.6: Encourage the development of transit-oriented/supportive developments.	Planning Commission	Neighborhood Development Services, City Council		The Zoning Ordinance has provisions denoted.	Missy Creasy	Ongoing
Transportation: Regional Goals and Objectives	6.7: Explore the development of a dedicated funding source for future transit needs.	Planning Commission	Public Works, City Council		At present, these talks are on hold until a later time	John Jones	Ongoing
Transportation: Regional Goals and Objectives	6.8: Work closely with new developments to provide an accessible path from nearby transit stops to an accessible entrance of the site/building.	Planning Commission	Neighborhood Development Services, Public Works, City Council		Review of site plans for ADA compliance assists in this effort.	Missy Creasy/NDS Planners	Ongoing
Transportation: Regional Goals and Objectives	6.9: Work with appropriate agencies to evaluate the use of Intelligent Transportation System (ITS)/transit signal priority to promote transit efficiency.	Planning Commission, Public Works, NDS	Neighborhood Development Services, Public Works, Fire and Police, City Council		These options are being studied for feasibility. Other ITS options such as advanced fare collection and mobile device interface have been implemented or are in the final steps of implementation.	John Jones	Ongoing
Transportation: Regional Goals and Objectives	6.10: Explore innovative approaches to increasing ridership of public transit, especially for first time riders.	City Council	Neighborhood Development Services, Public Works, CAT		CAT has worked with City IT to develop a mobile scheduling application and is evaluating new fare collection technologies to increase the convenience of riding public transportation	John Jones	Ongoing
Transportation: Regional Goals and Objectives	7.1: Actively work with VDOT, TJPDC, Albemarle County and the University of Virginia to develop a regional transportation network surrounding the City.	Planning Commission	Neighborhood Development Services, City Council		Ongoing - Held coordination meeting between all organizations to plan for this year's Smart Scale grant application submissions for City, County and MPO. Continued participation on MPO.	Jeanette Janiczek	Ongoing
Transportation: Regional Goals and Objectives	7.2: Evaluate regional transportation network priorities surrounding the City in MPO plans.	Planning Commission	Neighborhood Development Services, City Council		Ongoing - Held coordination meeting between all organizations to plan for this year's Smart Scale grant application submissions for City, County and MPO that are planned within City limits. MPO also has passed a resolution to advance the schedule for Hydraulic/29 intersection and Hillsdale Drive South (both largely contained within City). Will begin working on next transportation plan update with MPO.	Jeanette Janiczek	In conjunction with long-range transportation plan update
Transportation: Regional Goals and Objectives	7.3: Actively work with the MPO to collect information regarding regional travel patterns, such as origin destination data and bicycle counts to improve access to destinations within the City and region.	Planning Commission	Neighborhood Development Services, City Council		Ongoing. Working with MPO to update Transportation Model. The MPO conducts bicycle and pedestrian counts every 2 years. The City has multiple counters installed in various locations to collect data on facility usage.	Amanda Poncy	Ongoing
Transportation: Regional Goals and Objectives	7.4: Increase communication and cooperation among the City, County, Institutes of higher education, interest groups, developers and the public to develop and enhance recreational and transportation trails to ensure consistency of bicycle and pedestrian facilities across City-County boundaries.	Planning Commission	Neighborhood Development Services, City Council, Bicycle and Pedestrian Safety Committee		Ongoing, Bi-monthly meetings with UVA and continued work with the County, UVA and TJPDC on coordinated trail and transportation planning	Amanda Poncy, Chris Gensic	Ongoing
Transportation: Regional Goals and Objectives	7.5: Continue to work with the TJPDC, Albemarle County and VDOT on design solutions for Route 29, such as grade-separated interchanges and parallel road networks that balance the needs of both local and regional traffic.	VDOT	Neighborhood Development Services, City Council		Ongoing - Best Buy Ramp project (Rte 29/Rte 250 Interchange) has been substantially completed - staining of walls, landscaping and continued signal coordination scheduled. Hillsdale Drive under construction with scheduled completion date of October 2017. Emmet Street Signal Coordination completing design phase. MPO also has passed a resolution to advance the schedule for Hydraulic/29 intersection and Hillsdale Drive South (both largely contained within City)	Jeanette Janiczek	Ongoing
Transportation: Financial Goals and Objectives	7.6: Encourage existing and new employment and business uses to support alternative travel modes by participating in the region's Rideshare and car/vanpooling programs	Thomas Jefferson Planning District	Public Works, Neighborhood Development Services, City Council			TJPDC	Ongoing
Transportation: Financial Goals and Objectives	7.7: Work with regional partners and the Virginia Department of Rail and Public Transportation (DRPT) to examine future demand for and feasibility of additional AMTRAK rail service for Charlottesville and the Lynchburg corridor prior to the Roanoke Extension project.	Virginia Rail	Neighborhood Development Services, City Council			TJPDC	Short to medium term
Transportation: Financial Goals and Objectives	8.1: Integrate best management practices into all aspects of the city's transportation and facility maintenance activities.	Public Works, Neighborhood Development Services	Public Works, Neighborhood Development Services, City Council		Ongoing	Judy Mueller	Ongoing
Transportation: Financial Goals and Objectives	8.2: Develop policies and strategies, including collaboration with partnering organizations, to incorporate green infrastructure alternatives as an integral part of planning.	Tree Commission, Southern Environmental Law Center	Public Works, Neighborhood Development Services, City Council		Ongoing. Green infrastructure planning has been incorporated in the Streets That Work Plan. Additional efforts related to green infrastructure planning an analysis are underway and scheduled for completion at the end of 2016	Judy Mueller, Dan Sweet, Dan Frisbee, Kristel Riddervold	Short to medium term
Transportation: Financial Goals and Objectives	8.3: Develop strategies to assess the cost-effectiveness of using green infrastructure instead of traditional alternatives for specific projects and ensure that the multifunctional benefits of green infrastructure are considered in cost-benefit analyses.	Tree Commission, Planning Commission	Neighborhood Development Services, Public Works, City Council		Recent experiences with trying to integrate green infrastructure in transportation / right-of-way projects has proven to be very challenging, cost-prohibitive, and roles/responsibilities associated with long-term maintenance is undefined. It makes sense to revisit this in light of new street initiatives.	Kristel Riddervold, Dan Sweet, Dan Frisbee	Ongoing
Transportation: Financial Goals and Objectives	8.4: Continue to perform regular maintenance on existing transportation-related equipment and facilities to maximize capital investment and minimize air, water and noise pollution.	Public Works	Public Works, Neighborhood Development Services, City Council		Ongoing	Judy Mueller	Ongoing
Transportation: Financial Goals and Objectives	8.5: Where feasible, use alternative energy sources to power equipment.	Public Works	Public Works, Parks and Recreation, Neighborhood Development Services, City Council		Every vehicle replacement request is evaluated by the Fleet Manager for alternative energy options. A Mini-Grant Program was established in 2013 to support the development of a publicly-accessible EV (electric vehicle) charging network in Charlottesville.	Judy Mueller	Ongoing
Transportation: Financial Goals and Objectives	8.6: Develop a plan to replace City owned vehicles with more environmentally friendly vehicles.	Public Works	Public Works, City Council		Same as 8.5 (above). 3 all-electric vehicles have been added to the fleet and two EV charging stations have been installed.	Judy Mueller	Ongoing

Transportation

Topic Area	Action Wording	Source	Responsible Parties	Estimated Cost	Status Update	Person of Contact	Time Frame
Transportation: Financial Goals and Objectives	9.1: Identify additional funding sources for transportation improvements including grants, public/private partnerships and potential system operations revenues.	Planning Commission	Public Works, Neighborhood Development Services, City Council		Ongoing - Continue to use Map 21 funds for bike/ped improvements. Applied for Jackson Via Safe Routes to School Nov 2013. The city received nearly 30 million for projects funded through the new state funding process - Emmet, Fontaine, E. High. Exploring the use of BPSF funds in 2016. We continue to use grants for major trail construction (McIntire bridge, Water Street Trail, 250 bypass trail) and to acquire lands for trails (VLCF grant). The public private acquisition of 30 acres of new parkland near Azalea Park was a great success. Received Revenue Sharing funds for this fiscal year to double impact of CIP funds to construct new sidewalk, bicycle facilities and ADA improvements. Please see section 9.6 for grant submission for this fiscal year.	Jeanette Janiczek, Amanda Poncy, Chris Gensic	Ongoing
Transportation: Financial Goals and Objectives	9.2: Create a regional advocacy group that brings all jurisdictions together to push for statewide changes in transportation funding and to lobby the General Assembly for additional funding/enabling authority to do so.	Comprehensive Plan 2007, Planning Commission	Neighborhood Development Services, City Council, Thomas Jefferson Planning District Commission			TIPDC	Ongoing
Transportation: Financial Goals and Objectives	9.3: Coordinate the funding and development of transportation facilities with regional transportation and land use plans and with planned public and private investments.	Planning Commission	Economic Development, Neighborhood Development Services, City Council			Tony Edwards	Annually
Transportation: Financial Goals and Objectives	9.4: Explore the possibility of establishing a Transportation District or impact fee service areas for road improvement projects and determine the feasibility of implementing them.	Comprehensive Plan 2007, Planning Commission	Economic Development, Neighborhood Development Services, City Council			Maurice Jones	Ongoing
Transportation: Financial Goals and Objectives	9.5: Make developers aware of new trail linkages needed and seek opportunities for private donations of trail easements and construction of trail enhancements such as bridges or interpretive signage.	Planning Commission	Neighborhood Development Services, Parks and Recreation, City Council		Ongoing - New easement obtained from Belmont Cottages on Moore's Creek in Feb 2014. We continue to work with developers on trail projects and currently are working with Lochlyn Hill, Kroger, Wegmans, and a number of Emmet Street redevelopments to acquire trail lands and easements.	Chris Gensic, Amanda Poncy	Ongoing
Transportation: Financial Goals and Objectives	9.6: Pursue funding through state and federal grant programs to support multimodal transportation planning and the integration of transportation and land use.	Planning Commission	Neighborhood Development Services, City Council		Ongoing - Grant applications have been or will be submitted for this fiscal year for Smart Scale (West Main Streetscape & Emmet/Barracks Intersection Improvements), Revenue Sharing (Belmont Bridge Enhancement), Recreational Access (Melbourne Road) and Transportation Alternatives (Rugby Avenue), and Bicycle and Pedestrian Safety (7 intersections on Preston and Ridge - STW)	Jeanette Janiczek, Amanda Poncy, Chris Gensic	Ongoing

CITY OF CHARLOTTESVILLE

LEGAL REVIEW and COMMENTS

Robertson, Lisa

11/10/2016

This document contains comments and recommendations for consideration by city council and staff, as to
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RECOMMENDATIONS FOR EDITS/ CHANGES THROUGHOUT CHAPTER 34	
	Substitute “land” OR “lot”, as appropriate, for “property”
	Use “NDS Director” consistently throughout as the designated administrator for ZO, Site Plans, Subdivision Plats, etc. (director may delegate functions/ duties to employees)
	Use “landowner” consistently throughout ZO, remove confusing references to “applicant”, “purchaser” etc.
	When a process or requirement is established by a mandatory provision of state law, delete text from Zoning Ordinance, substitute reference to applicable state law provision.
	USE MATRICES—modify, to provide a simpler format, and to reference only uses authorized in applicable zoning districts (delete lengthy lists of uses not allowed). Also, RECOMMEND moving to a format in which Use Categories are established, and typical uses identified for each category. Continue to utilize the SUP process to review potentially harmful USES.
RECOMMENDATIONS FOR EDITS/ CHANGES TO Article I (Administration)	
DIVISION 1. GENERAL PROVISIONS	
New §34-1. Enabling legislation; state law references	
§34-1. Title; effective date	Edit 34-1(1) to remove references to zoning district boundaries; move those provisions to New Article III (Zoning Districts); edit 34-1(2) to reference only the effective date of the updated Chapter 34.
§34-2. Jurisdiction	Edit 34-2(b) to conform to Va. Code 15.2-2286(A)(2); substitute “director of NDS” for PC
§34-3. Purposes of chapter	Edit to incorporate language from Va. Code 15.2-2200, 15.2-2283 and -2284
§34-4. Severability	
§34-5. Effect of prior ordinance	Edit out confusing, unnecessary reference to “repeal” of prior provisions
§34-6. Interpretation	Delete; Move to new Division X (Interpretations), end of Article I.
§34-7. References to Va. Code	Delete; Move to new §34-1.
§34-8. Disclosure real parties in interest	Delete; Move to new Article II (Zoning Procedures and Permits)
§34-9. Vested rights	Delete text provisions; substitute reference to Va. Code 15.2-2307. Keep statement that nothing in the chapter will be construed to authorize impairment of a vested right.
§34-10. Fee schedule; delinquent. Taxes	Delete; Move to new Article II (Zoning Procedures and Permits)
§34-11. Meetings open to public	Delete
§34-12. Affordable dwelling units	Delete from Article I; Move to new Division X (Zoning Districts). Otherwise, leave text as-is
§34-13. Unzoned parcels	Delete; Move to new Division X (Interpretations), end of Article I.
DIVISION 2. COMPREHENSIVE PLAN	
§34-26. Adoption	Edit language to conform to Va. Code 34-2223 et seq.
§34-27. Amendment	Delete text; substitute new, abbreviated text that refers to Va. Code 15.2-2229 and -2230.

§34-28. Review of public facilities	Delete text; SUBSTITUTE reference to Va. Code 15.2-2232
DIVISION 3. ZONING AMENDMENTS	DELETE; Move to new Article II (Zoning Procedures and Permits) (§§34-41 through 34-45)
DIVISION 4. CONDITIONAL ZONING	DELETE; Move to new Article II (Zoning Procedures and Permits)(§§ 34-61 through 34-66)
DIVISION 5. COMPLIANCE/ ENFORCEMENT	DELETE; Move to end of Article I
DIVISION 6. ZONING ADMINISTRATOR	
New § 34-XXX. Designation	Recommend that CC should designate the NDS Director as the Zoning Administrator, but authorize the NDS Director to delegate functions and duties to his or her employees (employees performing certain functions/ duties can use title “ZA” as appropriate)
§34-106. General powers and duties	Delete text; substitute reference to matters referenced in Va. Code 15.2-2286(A)(4)
§34-107. Inspections; investigations	Move (a) to New Article II (Zoning Procedures and Permits) (inspections should be done prior to permit issuance); (b) is unnecessary. Add new text referencing procedures for obtaining subpoenas and administrative inspection warrants, see Va. Code 15.2-2286(A)(4) and (15)
§34-108. Variances	Delete. (ZA cannot approve “variances”). Although 15.2-2286(A)(4) allows ZA to approve certain “modifications”, I strongly recommend against this. Exceptions to ZO provisions should be left to BZA (“variances”) or to City Council (“waivers” and “modifications”).
§34-109. Violations	Delete; unnecessarily repetitive of enforcement provisions in Division X (Compliance and Enforcement)
§34-110. Records and reports	Delete; substitute references to Va. Code 15.2-2300
§34-111. Written orders, decisions	Edit text; revise to incorporate references to 15.2-2286(A)(4); 15.2-2307; 15.2-2311
DIVISION 7. BOARD OF ZONING APPEALS	
§34-126. Composition; appointment	<p>The BZA is a creature of state statute—the City is required to establish and support the board, but the members are actually appointed by the Court.</p> <p>Edit all sections to remove wording repetitive or paraphrasing of the appointment procedure, hearing procedures, decision guidelines, and appeals referenced in Va. Code 15.2-2308 through 15.2-2314. Insert simplified text referencing applicable state code requirements. In particular our ZA provisions relating to variances are outdated, not consistent with current state requirements.</p> <p>Practical Note: annual reports to city council from BZA are required. In practice, it is not currently being done and should be initiated as a routine practice of the BZA.</p>
§34-127. No other public office	
§34-128. Selection and terms of officers	
§34-129. General powers	
§34-130. Quorum	
§34-131. Rules, meetings, records	
§34-132. Hearings	
§34-133. Required vote for action	
§34-134. Notification of decisions	
§34-135. Petitions	
§34-136. Grant of variances	
§34-137. Appeals from admin decisions	
§34-138. Fee for appeals	
§34-139. Judicial review of decisions	
DIVISION 8. SPECIAL USE PERMITS	DELETE. §§34-156 through 34-168 (move to new Article II (Zoning Procedures and Permits)
NEW DIVISION 8. INTERPRETATIONS	
§34-6. Interpretation	<p>Substitute: §34-6. Interpretation of zoning district boundaries (BZA function, per 15.2-2309(4))</p> <p>Add new §34-X. Interpretation of zoning ordinance (reference written determinations, per 15.2-2286(A)(4); 15.2-2309(1))</p>

	and (3). Cross-reference provisions of new Article II (Zoning Procedures and Permits) requiring zoning verification by ZA prior to issuance of permits.
§34-13. Unzoned parcels	Retain
DIVISION 9. COMPLIANCE AND ENFORCEMENT	
§34-81. Compliance with chapter	In general: retain most language, but update and edit to be more concise and to mirror wording of state enabling legislation in 15.2-2208, -2209, -2286(A)(4) and -2299.
§34-82. Violations—general	
§34-83. Violation notice and corr'n order	
§34-84. Violations—criminal penalties	
§34-85. Civil summons or ticket	
§34-86. Schedule of civil penalties	
§34-87. Injunctive relief; other remedies	
§34-88. Suspension of time limits	Delete; not authorized by enabling legislation
§34-89. Remedies not exclusive	Retain
DIVISION 11. ENUMERATION OF ZONING DISTRICTS	DELETE. Move §34-216 into new or revised Article(s) containing the Zoning District Regulations.
NEW ARTICLE II. ZONING PROCEDURES AND PERMITS (NEW ARTICLE)	
Division 1. APPLICATIONS; FEES	
§34-X. Applications; schedule of fees	Insert new catch-all provision stating that, whenever ZO requires an application seeking an approval or decision, then applications will be filed on forms required by NDS Director, and payment of a fee will be included with the application, per the most recent fee schedule.
Division 2. PROCEDURES FOR ZONING ORDINANCE AMENDMENTS	
§34-41. Amend's to zoning ordinance	Retain portions of 34-41 that were recently revised (2015), edit other provisions for clarity and conformity with state law
§34-42. Comm'n study and action	In general, requirements are specified by state law. Edit to identify the info to be provided by Staff; otherwise allow PC and CC to consider all info/ materials deemed relevant
§34-43. Council study and action	
§34-44. Advertisement, notice	Edit, reference provisions of 15.2-2204 and -2285
§34-45. Affordable dwelling units	Delete, as being unnecessarily repetitive of the provisions of 34-12.
DIVISION 3. PROCEDURES FOR ACCEPTANCE OF PROFFERED DEVELOPMENT CONDITIONS	
§34-61. Authorization	Retain
§34-62. Applicability	Retain; edit to comply with current language of 15.2-2296 et seq.
§34-63. Form	Retain; minor editing
§34-64. Preliminary proffers	Retitle section: "Procedure for offer and acceptance of proffers" otherwise retain; minor editing
§34-65. Modification of final proffers	Delete; not consistent with state law
§34-66. Effect of approved proffers	Include reference to Va. Code 15.2-2299 (ZA authority to enforce proffers) and to 15.2-2300 (ZA is required to maintain a Proffer Index)
DIVISION 4. SPECIAL USE PERMITS	
§34-156. In general	Edit, to reflect authority conferred by Va. Code 15.2-2286(A)(3)
§34-157. General standards for issuance	Rework; these factors should be analyzed and discussed within a detailed Staff report to PC and CC. PC and CC will consider these, and any other factors and information they deem relevant. (As a practical matter, that's how these standards are currently applied). Ultimately, CC's decision is discretionary and there are no particular factors or criteria to be applied (other than consideration of the Comp Plan).
§34-158. Application generally	Edit: reference general application/ fee requirements; keep

	listing of materials to be submitted with application (as staff to review list of materials/ update)
§34-159. Application fee	Delete (general application/ fee requirements will be referenced at beginning of Article II)
§34-160. Review and action on app'n	Retain; minor edits only
§34-161. Initiation of application by PC or CC	Retain; minor edits only
§34-162. Exceptions and modifications as conditions of permit	Retain, but edit to reflect current practices as to application review and findings by decision-makers.
§34-163. Amendment	Retain; minor edits only
§34-164. Applicability; validity	Retain; minor edits only
§34-165. Infill development —concept and purpose	Either (i) DELETE (haven't had an Infill Development SUP Application in 3 years), or (ii) substantially revise, for use as a PUD SUBSTITUTE.
§34-166. Configuration, limitations	
§34-167. Effective date	
§34-168. Affordable dwelling units (SU)	DELETE; this won't be applicable going forward
DIVISION 5. PROVISIONAL USE PERMITS	
§34-181. In general	DELETE listing of specific provisional uses; incorporate list into a revised Matrix for each zoning district and cross reference standards set forth in 34-1170 thro -1174
§34-182. Application	Amend; edit to refer to general requirements for applications, fees, permits (new Article 2 (Zoning Procedures and Permits))
§34-183. Revocation or expiration	(a) Edit to remove unnecessary wording referring to "owners" or "operators". Otherwise, leave as is.
§34-184. General requirements	DELETE; move (a) to 34-181; move (b) to Article I (Administration) section re subpoenas and administrative inspections
DIVISION 6. TEMPORARY USE PERMITS	
§34-201. In general	Revise (a) to simply authorize the ZA to issue TUPs if a particular use is compatible with nearby established uses; Revise (b) to delete list of specific temporary uses; leave a simple reference to the fact that certain temporary uses are subject to additional regulations in Secs. X through Y (currently Article X, Division 10).
§34-202. Application	Delete (b), substitute reference to general application requirements and zoning fee schedule (see new Division 1)
New DIVISION 7. FLOODPLAIN PERMITS	
New §34-XXX. Permits required for activities within special flood hazard areas (SFHA)	(a) Prior to establishment or commencement of any use, activity or development within a SFHA, the same shall be submitted to the City's floodplain administrator for review. (b) Applications seeking interpretations or approvals from the floodplain administrator, or seeking floodplain variances/ special exceptions from the BZA, shall be submitted in accordance with Division 1 (general application requirements, reference to fee schedule). Applications will be reviewed and acted upon in accordance with the provisions of §§34-XXX (Floodplain Overlay).
New DIVISION 8. CERTIFICATES OF APPROPRIATENESS—DESIGN CONTROL DISTRICTS	
New §34-XXX. Permits required for construction or demolition within ADC districts	(a) <i>ADC districts</i> —as specified in §34-XXX, no building or structure within any ADC district, and no protected property, shall be demolished, constructed, reconstructed, altered or restored, unless and until a

	<p>certificate of appropriateness has been approved. Applications shall be submitted to the NDS Director in accordance with Division 1 (general application requirements, reference to fee schedule).</p> <p>(b) Applications will be reviewed and acted upon in accordance with the provisions of §§34-XXX (ADC Overlay).</p>
New §34-XXX. Permits required for construction within EC districts	<p>(a) <i>Entrance corridor districts</i>—as specified in §34-XXX: no building or structure within an EC district shall be constructed, reconstructed, altered, or restored, until a certificate of appropriateness has been approved. Applications shall be submitted to the NDS Director in accordance with Division 1 (general application requirements, reference to fee schedule).</p> <p>(b) Applications will be reviewed and acted upon in accordance with the provisions of §§34-XXX (EC Overlay).</p>
New §34-XXX. Permits required for construction within HC districts	<p>(a) <i>Conservation districts</i>—as specified in §34-XXX, no building or structure shall be demolished, razed, moved, constructed, reconstructed, altered or restored. unless and until a certificate of appropriateness has been approved. Applications shall be submitted to the NDS Director in accordance with Division 1 (general application requirements, reference to fee schedule).</p> <p>(b) Applications will be reviewed and acted upon in accordance with the provisions of §§34-XXX (HC Overlay).</p>
New DIVISION 9. SITE DEVELOPMENT PLANS	
New §§34-XXX. Site plans required for developments	<p>(a) Prior to issuance of any permit required by the USBC for or in connection with any development¹, a site plan shall be submitted to the NDS Director, to assure compliance with zoning regulations. Applications shall be submitted to the NDS Director in accordance with Division 1 (general application requirements, reference to fee schedule) and §§34-XXX (site plan submission requirements)</p> <p>(b) Applications will be reviewed and acted upon in accordance with the provisions of Va. Code §15.2-2259.</p>
New DIVISION 10. ZONING VERIFICATIONS; DETERMINATIONS	
New §§34-XXX	<p>(a) No permit(s) for any demolition, construction or land disturbing activity shall be approved or issued by the zoning administrator, the building code official, the floodplain administrator, the city's VESCP/ VSMP administrator(s), or any other administrative officer of the city, unless and until the Zoning Administrator verifies that such activity is permitted by zoning regulations. Upon receipt of a request for any such permit, the administrative officer shall notify the Zoning Administrator of the time in which a zoning verification must be provided.</p> <p>(b) Any person may request the zoning administrator to issue a written determination or decision as to matters within the lawful scope of the zoning administrator's duties, including determinations of rights accruing under Va. Code 15.2-2307 or 15.2-2311(C), provided that</p>

¹ See Va. Code 15.2-2286(A)(8)

	<p>conclusions of law regarding determinations of rights, and other determinations that may result in any binding effect(s) upon the city, must have the concurrence of the city attorney before being issued.</p> <p>(c) Applications for zoning verifications and determinations shall be submitted in accordance with Division 1 (general application requirements, reference to fee schedule). Applications will be reviewed and acted upon by the Zoning Administrator within 90 days, excluding any period(s) of time in which the ZA must wait for specific information or materials to be submitted by the applicant.</p>
New §34-XXX. Information and materials for zoning verification	<p>In addition to any information or materials submitted to a city officer as part of an application for a permit or approval referenced in §34-XXX(a), above, a landowner shall provide the ZA with additional information, documents and/or materials as necessary for the ZA to verify that the uses and activities for which the permit or approval is sought comply with the zoning ordinance. Such additional information, documents and/or materials may include one or more of the following, as appropriate:</p> <ol style="list-style-type: none"> (1) A valid final site plan; (2) A valid COA; (3) Survey plats; (4) Construction plans; etc...
New ARTICLE III. OVERLAY ZONING DISTRICTS	
§§34-240 through 34-349	Retain; Edit Divisions 2 (ADC), 3 (EC) and 5 (HC), to clarify: (i) the circumstances under which the BAR or EC's designated agent may grant administrative approvals; (ii) matters to be discussed and analyzed in Staff reports, and (iii) relationship between general "architectural compatibility" standard of 15.2-2306(A)(1) and the City's design guidelines.
DIVISION 4. PUBLIC PARK PROTECTION OVERLAY DISTRICT	Revise: some uses that are routine or required by law should be expressly mentioned, otherwise they might be deemed prohibited. For example: the regulations currently state that Park Property can be used for parking, Stormwater management, streets, roads and public improvements, [but <i>what about the obvious: recreational uses and facilities? What about Civic uses (demonstrations; festivals, etc.) What about other governmental uses?</i>]
Add New Division 6. AFFORDABLE HOUSING OVERLAY DISTRICT	Establish a new City-wide Affordable Housing Overlay District, establishing incentives (as recommended by the City's Housing Advisory Committee) in return for the provision of affordable dwelling units. See, e.g. Va. Code §15.2-2305.
ARTICLE IV. RESIDENTIAL ZONING DISTRICTS—CHANGE TO: ARTICLE IV. USE-SPECIFIC ZONING DISTRICTS	
DIVISION 1. GENERALLY	Modify to read as follows: DIVISION 1. LOW-DENSITY RESIDENTIAL DISTRICTS
New §34-XXX. Enumeration of districts	For the purposes enumerated in §34-3, there are hereby established the following use-based zoning districts, which the location(s) of which shall be as set forth on the Zoning Map: (R-1, R-1S, R-1U, R-1SU, and R-2)
§34-350. Purpose	Leave statements of purposes for (a) (R-1 districts) and (b) (R-2 districts). DELETE purpose statements in paragraphs

	(c) (Multifamily districts) and (d) (McIntire/Fifth Street Residential Corridor)—move (c) and (d) to a different article.
§34-351. Applicability	Delete references to R-3, RUND, RUHD, and MR.
§34-352. Uses	DELETE reference to §34-420 (Use Matrix). Prepare a Chart setting forth ONLY those USES allowed in R-1 and R-2 zones.
New §34-XXX. Building forms	Every building used, in whole or in part, for any residential occupancy shall be one of the following building types: <ul style="list-style-type: none"> (1) R-1 districts: SFD, accessory dwelling (external) (2) R-2 districts: SFD, SFA, TF; accessory dwelling (external) (3) MHP district: MH (4) All districts: temporary health care structure²
DIVISION 4. STANDARDS FOR TOWNHOUSES §§34-386 through 34-391	RECOMMEND: move to Article IX (“Generally applicable regulations”), because THs are allowed in a variety of zoning districts ALSO: update specifications/ standards for TH building forms. Are the existing standards too “suburban”? Would a different set of standards/ specifications be helpful to encourage this building form in the various MU Districts?
New §34-XXX. Lot area requirements	Insert lot area requirements from §34-1123, as applicable to building-types within R-1 and R-2 districts. (Question: should there be a MAXIMUM lot size?)
§34-353(a). Dimensional requirements	EDIT chart to remove reference to zoning districts other than R-1, R-2 and MHP. Also EDIT to remove inconsistencies and typos (for example, textual references to side yards indicated by asterisks shown in the chart—there are no such asterisks). Also: recommend changing height from being measured by feet, to being measured by stories (2 stories, max). §34-1100(b) establishes a not-to-exceed number of feet for a 2-story building.
§34-353(b) Exceptions to dimensional requirements	STAFF REVIEW provisions requiring front yards to be established by averaging (retain? Revise?). EDIT to remove all references to zoning districts other than R-1 and R-2 classifications.
DIVISION 2. COMMERCIAL/ INDUSTRIAL DISTRICTS	
New §34-XXX. Purpose	The purpose of the city’s commercial and industrial districts are to establish areas in which uses incompatible with residential uses can be located.
New §34-XXX. Enumeration of districts	For the purposes enumerated in §34-3, there is hereby established the following use-based commercial and industrial zoning districts, the location(s) of which shall be as set forth on the Zoning Map: Emmet Street Commercial Corridor (ES) ³
New §34-XXX. Applicability	The regulations in this division apply to areas within the ES district
§34-456. Uses	Create a new chart or matrix, listing only those uses permitted in the ES district

² Va. Code 15.2-2292.1

³ Per Use Matrix, 34-480, this is the only commercial district where all residential uses are prohibited. According to the Use Matrix, mixed use development appears to be allowed within IC, in multifamily/mixed use buildings, but it’s not clear.

§34-457. Dimensional requirements	EDIT to remove references to zoning districts other than ES. STAFF REVIEW: review ROW widths in areas zoned ES, and assess building height(s) and yard requirements according to the Corridor that's proposed to be created. (STW says that ES North is a "mixed use A" street typology)
§34-458. Mixed use development	DELETE. ES does not appear to have been intended as a "mixed use" district: (i) The Use Matrix does not allow ANY [normal] residential uses in ES ⁴ , and (ii) there is no guidance within the ordinance as to what "MIXED USE" is supposed to mean within the ES district.
§34-471. Additional regulations	DELETE. No confidence that the listed Cross-referencing is all-inclusive
GENERAL COMMENT	QUESTION: Are there any uses (large manufacturing/ bottling plants; package/mail warehouse/ distribution center/ other?) that the City wants to encourage, but that would only be appropriate in a district that's separated entirely from all residential uses? If so, where, and in what Zoning District Classification?
ARTICLE V. PUD DISTRICTS, change to: ARTICLE V. MIXED USE ZONING DISTRICTS	
<p>GENERAL NOTES:</p> <p>Zoning districts in which residential and varying amounts of non-residential uses are allowed include: R-3; R-UMD; R-UHD; MR; B-1; B-2; B-3; M-I; IC; PUD; and all of the "mixed use corridor" districts.</p> <p>COMP PLAN:</p> <p>(i) what's the Council's and PC's current vision for all of the areas in which "mixed uses" are allowed? There should be a clear correlation between CC/PC direction set forth within the Comp Plan, and zoning district regulations.</p> <p>One example: what's the difference between the residential density you want within the University High Density Residential District (RUHD) and the "high density" you're encouraging in other districts? Specifically: what are the density ranges to be associated with the terms "high density", "medium density" and "low density". The Comp Plan contains no density ranges or definitions.</p> <p>(ii) once the policy direction is clarified in the Comp Plan, staff can prepare meaningful recommendations for implementation by regulations within the ZO</p>	<p>24 zoning districts OTHER THAN "ES" and the low-density residential (I.E., the various R-1 and R-2 districts) appear to allow residential uses in the same district as a variety of non-residential uses</p> <p>RECOMMEND to Council, PC: review is necessary, to re-articulate what the City is trying to do within all of these other 24 districts, where a mixture of residential and non-residential uses ("mixed use") is allowed: how do you want to GROUP them? (i) by building forms/ street frontages, according to STW typologies? (ii) by the density of residential uses allowed? Density of land coverage (FAR)? (iii) By uses, or some other basis of grouping? Examples of (i) and (ii) could include:</p> <ul style="list-style-type: none"> • STW Typologies: "Downtown"; "Mixed Use A and B"; "Neighborhood A and B"; "Industrial"...OR • "Mixed-Use, with Medium Density Residential" ; "Mixed-Use, with High Density Residential"; etc. <p>HIGH PRIORITY: originally the ZO contained specific percentages of GFA that must be provided to qualify as a "mixed use" building or development (and to benefit from additional density or height allowed by right for MU); however, those percentages were removed circa 2005; since then, staff has struggled with how to review developments that have only minimal residential or commercial use components, but technically qualify for the "bonus" height or density authorized for MU projects. If you continue to offer bonus height or density, or other "bonus" type accommodations to promote MU, then the city urgently needs a new way to define/ measure the types of MU buildings or developments that will qualify for those bonuses.</p>

⁴ Other than a convent or monastery. That's such an outlier-type use, that it doesn't fit.

<p>§34-440. Purpose</p> <p>COMP PLAN—again: what’s envisioned when using terms such as “transitional”, and “neighborhood commercial”. The Comp Plan does not provide clear Direction as to what the current vision for these areas may be.</p>	<p>CC, PC AND STAFF: need to assess whether the current dimensional and use regulations have accomplished the purposes of the “Commercial” zoning districts 2003-present. (e.g., “transitional” district (B-1); clustered neighborhood commercial uses (B-2); accommodation of high-traffic commercial uses (B-3); industrial uses that generate traffic, noise, vibration, etc. (M-I)).</p> <p>Consider adding: standards/ specifications for building types/ forms allowed within these districts? Maximum lot frontage/ block sizes?</p>
<p>§34-420; §34-480, 34-796 (Use Matrix Tables)</p>	<p>RECOMMEND: delete/ discard current use matrices. After paring down/ regrouping the 31 mixed-use districts, create revised zoning-district-specific matrices/ use charts. Omit from USE charts/ matrices any reference to density, building types, etc.—(things OTHER THAN uses!)</p> <p>ALSO: need CC/PC/Staff direction as to what “light industrial” or “workshop” uses should be included in the MU districts Current Matrices and zoning definitions are outdated, and may not reflect the types of uses the City wishes to encourage</p>
<p>§34-457. Dimensional requirements (“Commercial districts”)</p>	<p>STAFF REVIEW: review ROW widths in areas zoned B-1, B-2, B-3, MI, ES and IS, and then assess current “dimensional requirements” (building height(s) and yard requirements) according to the applicable STW typologies .</p>
<p>§34-458. Mixed use development</p>	<p>DELETE. There is no guidance within the “Commercial District” Article as to what “MIXED USE” is supposed to mean. The text of 34-458 suggests that density of more than 21 DUA is allowed within a Mixed Use Development by SUP, but the Matrix allows for an SUP for density from 21-87 DUA for ANY development, not just mixed-use developments.</p>
<p>ARTICLE V. PLANNED UNIT DEVELOPMENT DISTRICTS</p>	
<p>§§34-490 through 34-519</p>	<p>RECOMMENDATION: DELETE this Article, in its entirety. Among the reasons for this recommendation:</p> <p>(i) based on comments of PC members and some CC members over the past several years, many seem to be of the opinion that the city is not receiving the type of “innovative”; “preservation of natural features”; “environmentally sensitive design” and “variety of housing types” intended by this floating district,</p> <p>(ii) there’s no uniform format for a PUD development plan, and this has led to much confusion and lack of clarity as to what uses are and are not permitted, what constitutes a “variety of housing types”, etc.</p> <p>(iii) the city has allowed developers to submit “conceptual” plans, and obtain approvals, sometimes without all of the components required by 34-517. A lack of specificity is very undesirable in a document that will, in fact, become the zoning district regulations applicable to a property, and makes a later site plan review process challenging.</p>
<p>Recommended substitution:</p>	<p>Many/ most of the PUDs have sought changes in the lot-size, lot-frontage, or other similar dimensional requirements for residential buildings. It would be much more straightforward to simply allow modifications of</p>

	<p>such dimensional requirements by SUP for residential developments within specific zoning districts.</p> <p>Alternatively: you could also consider bonus provisions that offer by-right deviations from lot-size or other dimensional requirements, for lots within a development that (i) contain affordable DUs, or specific residential building types/ forms, or (ii) offer Stormwater BMPs or water quantity/ quality benefits in excess of minimum state requirements, etc. Then you might actually get some of the innovative design or environmental features you had hoped for using the PUD structure.</p>
If the PUD is retained then:	
§34-517. PUD Development Plan—requirements—contents	If the PUD zoning district is retained, staff, (i) A standardized format should be developed, for each of the (7) required components; (ii) when an amendment is requested, the entire PUD Plan should be revised and updated, so staff doesn't have to keep track of multiple documents and piece them together over a course of years, (iii) only the layout of streets/ utilities is "conceptual", but it still needs to be specific enough so that it can be translated (with engineering data) into a later site plan—an applicant needs to be held to some standard of due diligence as to the feasibility of a proposed layout, and not have the benefit of an affirmative approval without having to represent that it can actually be built as proposed; and (iv) the Land Use Plan, landscaping plan, phasing plan components are NOT conceptual.
§34-519. Amendment	RECOMMEND deletion of par. (1), which allows NDS Director to approve minor changes or minor deviations. This should only apply to minor adjustments of road or utility layouts, once final engineering data is available. Neither the Director, nor the ZA or other staff member, has legal authority to waive, adjust, or make exceptions to zoning regulations and proffers approved by city council—even if deviations seem minor.
ARTICLE VI. MIXED USE DISTRICTS	
Reference comments provided above, as to the Mixed Use provisions contained in the "Commercial" Districts	
Specific problematic issues:	
§§34-541. MU districts—intent and description See COMP PLAN COMMENTS, above, beginning of comments for Article V.	The "descriptions" of each district don't uniformly identify the objectives intended to be achieved by the regulations for each district. Correspondingly: the regulations for each district are minimal—most focus on building height and density more than anything else, and this does not seem to have been achieving building forms and urban streetscapes that everyone is satisfied with. Also recommend: "purpose" statements might benefit from cross-references to relevant provisions of the Comp Plan.
§34-796. Use Matrix for MU Districts	Review zoning district classifications; regroup according to shared attributes. DELETE existing use matrix; substitute a new chart or matrix focused only on identifying the categories of uses (and typical uses within each category), instead of trying to identify a definitive list of uses. Allow uses other than those listed by SUP. Delete references to building types, density and other issues that are not "uses", because those

	issues are sometimes in conflict with textual provisions of the ordinance.
All Corridor Districts:	STAFF REVIEW: review ROW widths in Corridors and then assess current “dimensional requirements” (building height(s), streetwall and yard requirements) according to the applicable STW typologies .
	Identify minimum and maximum heights with reference to STORIES.
COMP PLAN: may need to be amended, to set forth more clear, more specific Direction for these areas. The zoning text regulations need to reflect specific Direction in the Comp Plan.	<p>CC, PC AND STAFF REVIEW: are density (DUA) restrictions promoting desirable developments appropriate in scale to each corridor? What other regulatory measures could be used (FAR/ lot coverage for buildings generally? # bedrooms for apartment buildings? Establishment of specific building type(s) permitted for specific types of street frontages?) What regulations will promote a greater variety of housing types (building forms mid-range [as to height, massing, and occupiable space, between SFD and large apartment buildings?)</p> <p>EVALUATION: what’s working in various MU Districts, and what’s not?</p> <p>BAR Input: For those portions of the MU Districts located within design control districts: need clarity in the ordinance, and amended Design Guidelines, to assure that height and massing regulations in the ZO don’t conflict with the BAR’s task of design review.</p> <p>Each set of district regulations needs to establish minimum requirements which, if satisfied, will promote the purposes/ objectives of the specific district AND [therefore] will serve community “baseline” consensus. Use SUPs sparingly, to allow tailoring at specific sites.</p>
	<p>MIXED USE developments—</p> <p>(1) DELETE any and all provisions that offer bonus height or density for MU buildings or developments; alternatively, provide specific guidance in the ordinance as to how “significant” each MU component needs to be in order to qualify for the bonus (X FAR; X% GFA, etc.)</p> <p>(2) After the site plan for a MU development is approved, what mechanisms need to be in place to assure that the required mixture of uses will be maintained in relation to the entire development ? (i.e., for a site containing multiple lots, nothing prevents a subsequent transfer of a lot to a new owner, who can develop or re-develop that lot as a stand-alone project, defeating the use(s) that the Lot previously contributed to the other, originally-approved MU development site.</p>
ARTICLE VII. SITE PLANS	
DIVISION 1. APPLICABILITY AND ADMINISTRATION	
§34-800. Intent	DELETE. SUBSTITUTE a statement that the Article is enacted pursuant to authority of Va. Code 15.2-2286(A)(8) and Va. Code §§15.2-2240 et seq.

§34-801. Administration	Retain
§34-802. Site plans—when required	DELETE. SUBSTITUTE a simple new provision that states that a site plan is required for all “subdivisions” and “other developments”. (Those terms are defined in 34-1200). Remove references to other activities, and deal with those via a ZONING VERIFICATION process (<i>see Article I, new Division (Zoning Verifications)</i>)
§34-803. Improvements—construction and bonding	Retain
§34-804. Pre-application requirements	Retain
§34-820 Preliminary plan submittal and review	RECOMMEND DELETION, or, alternatively, recommend allowing an optional PSP approval <i>only for subdivisions containing more than 50 lots</i> . Preliminary site plans are not required by law. In 2014 the General Assembly prohibited localities from mandating preliminary SP approvals for subdivisions involving 50 or fewer lots. In practice, given that most developments already have other “concept” approvals (PUD; SUP; COA; EC; etc.) preliminary approvals have been creating legal difficulties, have frequently deviated from the original zoning approvals (for various reasons), AND the General Assembly, over the past decade, has mandated that, once granted, preliminary SP approvals must remain valid for an extended period of time (more than 5 years).
§34-821. Preliminary site plan conference	
§34-822. Final site plan submittal	RECOMMEND DELETION
§34-823. Action required	RECOMMEND DELETION; SUBSTITUTE A new provision: “The site plan agent shall act on a site plan in accordance with the procedure and time periods specified in Va. Code 15.2-2259.”
§34-824. Signatures	Retain
§34-825. Validity of final site plans	Retain, but edit heavily. All that’s needed is a reference to Va. Code 15.2-2261
§34-826. Amendments to final site plans	Retain, but edit heavily. All that’s needed is a reference to Va. Code 15.2-2261
§34-827. Preliminary site plan contents	Retain, but re-title: “Required Site Plan Contents”
§34-828. Final site plan contents	EDIT; combine provisions with re-worked §34-827
ARTICLE VIII. REQUIRED IMPROVEMENTS (APPLICABLE TO DEVELOPMENT THAT’S SUBJECT TO A SITE PLAN)	
DIVISION 1. APPLICABILITY	Change to: DIVISION1. GENERAL
§34-850. Applicability	Retain
New §34-XXX. Variations, waivers	Establish one procedure for consideration by the Site Plan Agent of requests for variations or exceptions to requirements, consistent with Va. Code 15.2-2242(1)
DIVISION 2. LANDSCAPING AND SCREEING	General legal comment: provisions regarding trees should be grouped (clustered) better, and there should be better cross-referencing with site plan submission requirements
§34-861. Purpose	DELETE: individual purposes clauses such as this aren’t necessary for each article/ division of general regulations.
§34-862. Approved list of plantings	STAFF, tree commission, place, etc.: review list of plantings and make sure it’s up-to-date
§34-863. Size of plantings	STAFF, etc.: review/ update
§34-864. Bonding requirements	Retain (unless staff has had implementation issues that need to be addressed). COMBINE with §34-864 so all bonding requirements can be found in one location
§34-865. Reserved [no contents]	
§34-866. Preservation of existing	Legal comment: it seems that an issue that frequently comes

landscape features (ZO p. 2211)	up is whether or not some buildable area will be given up in order to comply with the requirements of this section. Trees shown on “preliminary” or “concept” plans may be indicated for protection/ preservation, but then later, at final site plan, it’s contended that the tree can’t actually be protected from construction activities. Question: is there a practical way to apply these provisions more effectively?
§34-867. Landscape plan contents (ZO p. 2212)	Retain (unless staff has recommendations for improvements). SUGGESTION: perhaps this section could be used as a “clearing house” location for pulling all other provisions as to trees/ landscaping into one central location.
§34-864. Bonding requirements	COMBINE with §34-864 so all bonding requirements can be found in one location
§34-865. Variations, waivers	DELETE (see recommendation for generally-applicable variation/ waiver provision, in Division 1 of this article)
§34-866. Preservation of existing landscape features. (ZO p. 2216)	DELETE; COMBINE with §34-866 set forth previously on p.2211 of ZO
§34-867. Landscape plan-contents (ZO p. 2216)	DELETE: COMBINE with §34-867 set forth previously on p. 2212 of ZO.
§34-868. Trees generally §34-869. Tree cover requirements §34-870. Streetscape trees	COMBINE with earlier sections (§§34-862 through 34-867) so that all tree requirements can be centrally located.
§34-871. Screening—generally	Retain (subject to any staff recommendations for changes/ improvements). CC/PC/STAFF: as part of reviewing regulations for MU districts, evaluate whether the application of screening types should be modified in particular locations or corridors.
§34-872. Screening—specific uses	No legal issue. Update if CC/PC/ Staff deems necessary or has experienced problems
§34-873. Parking lots—screening and interior landscaping	CC/ PC/ STAFF: consider whether the provisions of this section achieve the type of urban design you’re hoping to promote in the MU districts; if not, what alternative requirements for the location and screening of parking would be more appropriate to Urban, Mixed Use districts?
§34-874. Parking lots §34-880. Off-street parking and loading §34-881. Bicycle storage facilities §34-882. Bicycle parking requirements for WME and WMW ARTICLE IX §§34-970 through 34-986 (OFF-STREET PARKING)	Various Parking requirements are too scattered; RECOMMEND COMBINING all parking requirements into one comprehensive Division, within General Regulations. CC/ PC/ STAFF: for MU districts, need to consider whether existing parking standards are helping or hindering desirable new development (should minimum requirements be retained? Switch to maximum requirements? Control parking only through locational/ siting/ screening requirements, no max/min standards?) Shared parking: compare provisions with other localities, particularly those utilized in form-based ordinances, update, as necessary. Issue: where it’s important that a certain amount of parking be established/ maintained, what mechanisms will make sure that it will be maintained available for ongoing shared use? Parking structures: in what locations, and in what form/dimensions, are stand-alone parking structures desirable as a permitted building?

ARTICLE IX. GENERALLY APPLICABLE REGULATIONS	
DIVISION 1. PURPOSE	
§34-960. Purpose	DELETE; SUBSTITUTE an “applicability” provision that articulates that all land, buildings, structures, and the uses thereof within the city are subject to the regulations within this Division.
DIVISION 2. OFF-STREET PARKING §§34-970 through 34-986	SAME COMMENTS as set forth previously above, for ARTICLE VIII (Required Improvements). Optimally, all parking regulations would be in one location (recommend “Generally Applicable Regulations”)
§34-972. Location, yard areas, and driveways	Relative to MU districts: REVIEW locational regulations; update them to better achieve desired STW Streetscapes in MU Districts
DIVISION 3. OUTDOOR LIGHTING §§34-1000 through 34-1005	RECOMMEND: lighting standards are outdated; need to be reviewed and updated consistent with more modern notions of energy efficiency, etc. reflected in USBC and other communities' modern lighting ordinances. Consider INCENTIVES for use of fixtures, systems, etc. that achieve a specific level of energy efficiency, as authorized by Va. Code 15.2-2286(A)(10). Consider: what type of bonus could be given that would make energy-efficiency lighting measures worthwhile?
DIVISION 4. SIGNS §§34-1020 thro 34-1046	RECOMMEND: As a result of the U.S. Sup. Court’s decision in <i>Reed v. Town of Gilbert</i> , 135 S. Ct. 2218 (2015), Virginia’s local government attorneys have developed a Model Sign Ordinance. Our recommendation is that our existing sign regulations need to be updated, and that amendments to this Division should be undertaken using the Model Sign Ordinance provisions as a guide.
DIVISION 5. TELECOMMUNICATIONS FACILITIES §§34-1070 thro 34-1083	Recently comprehensively updated (2016). No revisions necessitated, at this point, by legal requirements. This Division will be monitored by City Attorney’s Office and staff, and amended as necessary to comply with the dynamic requirements of state and federal laws.
DIVISION 6. BUILDINGS AND STRUCTURES—GENERALLY	
§34-1100. Height—application of district regulations	The City’s approach to measuring building height MUST to be reviewed and updated. It’s one of the Top Priority problems that are causing problems and inconsistent/unexpected results. This text provision is a reasonable-enough approach (except that it doesn’t adequately identify at what point the “grade level” is to be measured, or whether a plane should be established by multiple points). Also, the text of this provision is in direct conflict with the provisions of the definition of “Building Height” within 34-1200. RECOMMEND that zoning district regulations be amended to establish height minimums/ maximums based on number of stories, subject to the maximum measurement in feet specified in current §34-1100(b).
§34-1101. Appurtenances	Although 34-1101 was revised in 2015, RECOMMEND additional revisions. Notwithstanding the definition in §34-1200, the word “appurtenance” has come to mean different things to different people; it’s outdated and is continuing to generate conflicts/ confusion. The section should be edited to remove the word “appurtenance” and SUBSTITUTE a list of

	the types of features that can be placed on a rooftop, or that can extend into a required yard.
§34-1102. Required building separation	DELETE. This section creates confusion, because it's not clear what it's intended to do. RECOMMEND SUBSTITUTION of Open Area standards applicable to lots that contain multiple buildings. (The standards should be referenced within individual zoning districts).
§34-1104. Compliance with building code	Retain basic provisions, but parcel them out to other provisions of the Code which require Zoning verification prior to issuance of permits under USBC (see proposed Article II) and/or that specify the bonding requirements for subdivisions and other developments. DELETE paragraph (a)(2) if the ZA does not physically place a signature on a COA.
§34-1105. Accessory buildings and structures	REVIEW how height of an accessory structure is to be measured. Otherwise, retain, unless staff has encountered problems in applying the requirements to specific situations. Need to specifically cross-reference the section governing exterior accessory apartments.
§34-1106. Side yards for dwellings above commercial buildings	RECOMMEND moving to the zoning district regulations for the MU districts, so that it can be found easier in the location where people expect to look for side yard requirements.
§34-1107. Portable storage containers	Retain
DIVISION 7. LOTS AND PARCELS	
§34-1120(a) <i>Frontage requirements</i>	Retain requirements. EDIT for greater clarity, and to avoid wording conflicts with subdivision regulations. This is a USE restriction, not a subdivision/ lot area requirement.
§34-1120(b) <i>Critical slopes</i>	Retain requirements. EDIT for greater clarity. Separate out the separate requirements that (i) each new lot must contain a suitable BUILDING SITE (which must be outside critical slopes), and (ii) no construction can take place on a critical slope, unless a waiver is obtained. CLARIFY different requirements for construction generally, versus location of necessary public facilities (streets, utilities, etc.).
§34-1121. Sight distance—required sight triangle	DELETE, or revise requirements. The current provisions are difficult to interpret and apply, and the Sight Triangle requirement (essentially a category of Required Yard) is getting confused with the concept of Sight Distance, which is a separate traffic engineering/ safety issue in locations where there is no signalized intersection.
§34-1122. Interpretation of lot and yard designations	UPDATE CHART to remove errors; then MOVE CHART to new Division (Interpretation of ZO) within Article I (Administration)
§34-1123. Lot area requirements—certain residential uses	Move this chart to the Article for Low-Density Residential Zoning Districts. DECISION POINT: do you want minimum lot size requirements for lots outside the Low Density Residentials?
§34-1124. Vacant lot construction, required sidewalks curbs and gutters	Retain
§34-1125. Required plans and approvals residential dwellings	DELETE from “Generally applicable Regulations”. Retain provisions and incorporate into Article II (Zoning Procedures and Permits) new division (Zoning Verifications)
§34-1126. Mixed Use development	DELETE from “Generally applicable Regulations”. Review and update provisions as part of establishing a Working

	Definition of “Mixed Use” for the MU zoning districts, and move provisions to the Article that contains regulations for the MU Districts.
DIVISION 8. NONCONFORMING USES, LOTS AND STRUCTURES	
§34-1140. Purpose	EDIT to reflect that the purpose of the regulations in this division is to implement the authority set forth within Va. Code §15.2-2307(C) through (H).
§34-1141 through 34-1146	Retain; minor editing to improve clarity
§34-1147. Expansion of nonconforming uses or structures	EDIT to improve clarity. This section is often difficult to apply to specific situations.
§34-1148. Nonconforming signs	Retain
§34-1149. Nonconforming uses and structures, floodplain districts	Retain, but SUBSTITUTE “SFHA” (special flood hazard areas) for the word “floodplain”
§34-1150. Verification of nonconforming uses	DELETE from “Generally applicable Regulations”. Retain provisions and incorporate into Article II (Zoning Procedures and Permits) new division (Zoning Verifications)
§34-1151. Limited applicability [to manufactured homes]	Retain provisions allowing existing manufactured homes to be replaced. That’s required by state law. Va. Code 15.2-2307(G).
DIVISION 9. STANDARDS FOR PROVISIONAL USES	The procedures and regulations within this Division seem to be working reasonably well. No legal updates; edit, if staff has any implementation issues that need to be clarified
§§34-1170. General standards	Retain
§34-1171. Standards-accessory apts.	Retain
§34-1172. Home occupations	Retain. Recently updated (2015) to incorporate Homestays.
§34-1173. Outdoor storage	Retain
§34-1174. Music halls and all-night restaurants	Retain
§34-1175. Mobile food unit	Retain
DIVISION 10. TEMPORARY USE PERMITS	
§34-1190	EDIT. Re-work par. (a) to state that Temporary Uses will be administered as a category of “Accessory” and/or “Ancillary Uses”. In other words: instead of trying to create an exhaustive list of temporary uses within the Use Matrix, state in this Section that Temporary Uses accessory to, ancillary to, and compatible with the established Uses at a particular location can be authorized by the ZA. Cross reference Article II (Zoning Procedures and Permits) new Division (Temporary Use Permits).
§§34-1190(b) through 34-1194	Retain standards for specified temporary uses
ARTICLE X. DEFINITIONS	
<i>Boarding</i>	Need updated definition that is general enough to be inclusive of fraternity/sorority houses; convents/ monasteries; and other room/board arrangements
<i>Building height</i>	DELETE reference to averaging of the height of each building wall. Edit, to provide clarity as to what is meant by the reference to “grade” and whether the grade will be a plane and at what point the measurement will be taken (or from multiple points around a building). Avoid conflicts with §34-1100(a).
<i>Building, principal</i>	This term is used throughout the ZO; a definition would be helpful
<i>Building, institutional</i>	A definition would be helpful, to allow distinctions between residential facilities that can be operated (mandated by state

	law) within a SFD, versus larger facilities that would occupy space within a building type other than a SFD
<i>Building site</i>	Move definition of “building site” out of the text of §34-1120(b)(3) and (4) and into this location
<i>Construction</i>	Definition of construction would be useful; the term is not necessarily synonymous with “improvement” or “development”, as used throughout the zoning ordinance
<i>Critical slope</i>	Move definition of “critical slope” out of the text of §34-1120(b)(2) and into this location
<i>Development site</i>	A definition would be helpful, particularly to assist in determining when, and under what circumstances an assemblage of lots comprise a unified development
<i>Driveway</i>	Review definition; clarify. The ZO prohibits private streets, but to avoid spending \$\$ to build a new public streets, developers argue that the vehicular access to a multifamily or mixed use development should be regarded as a driveway [May need to establish design stds/ specifications for driveways that serve more than one or two SFDs].
<i>Dwelling unit</i>	Recommend simplifying definition; current definition has too many “moving parts”
Change “SRO” to “ <i>Dwelling unit, SRO</i> ”	This will assure that the definition of SRO, which is a type of multifamily dwelling, can be found grouped with the other definitions of the types of residential buildings
<i>Land coverage</i>	<i>EDIT, as follows: Land coverage</i> refers to the area of a lot or development site that is occupied or to be occupied by the following: buildable lots , buildings, structures, improved parking, driveways, alleys, sidewalks and streets, and other improvements. [If all of the area of each “buildable lot” is included, there wouldn’t be room for any buildings]
<i>Micro-unit</i>	Need to develop a definition
<i>Mixed use</i> —this has been VERY problematic. RE-DEFINE OR DELETE	<i>Mixed use development</i> means a building or project containing residential uses in combination with commercial and/or institutional uses. No use that is or will be merely accessory to, or ancillary to, a residential use shall qualify as a commercial or industrial use, for purposes of this definition.
<i>Occupancy, residential</i>	Edit for clarity and to remove wording that’s repetitive of state law requirements (substitute the statutory reference)
<i>Residential treatment facility</i>	Edit to remove wording, and to substitute reference to Va. Code 15.2-2291
<i>Street, public</i>	Need a definition suitable for the ZO (currently, the only definition is in the subdivision ordinance). The two definitions should be consistent

City of Charlottesville
Department of Neighborhood Development Services
Memorandum



To: City Council, Planning Commission
From: Brian Haluska; Missy Creasy
CC: Alex Ikefuna
Date: November 10, 2016

RE: Strategic Investment Area Implementation

On February 3, 2014, the City Council of the City of Charlottesville approved amending the city's Comprehensive Plan to include the Strategic Investment Area Plan. The Department of Neighborhood Development Services has been directed to begin implementation of the plan by City Council. On April 26, 2016, the Planning Commission and City Council divided the SIA into three phases.

Staff has been proceeding with the implementation process for Phase 1 of the area covered by the SIA plan. This memo summarizes the progress to date and lays out the next steps in the process.

SIA Draft

Enclosed with this memo is a sample zoning ordinance that could implement the proposed changes in Phase 1 of the SIA plan area. The document includes several pages from the SIA plan and the Streets That Work Design Guidelines, which have also been incorporated into the Comprehensive Plan, that should be looked to for guidance (among other provisions of the SIA Plan) to ensure that a draft ordinance will implement the applicable Comp Plan components.

Among the provisions you will see in the sample draft are:

- Frontage types requirements that relate to the character of the street(s) shown on the proposed regulating plan.
- Details on permitted ground floor design options that are based on building type.
- Regulations on permitted roof types (addressing the location of mechanical equipment, and whether or not an "attic" area may be occupied by any use(s)).
- Bonus provisions for desired site details such as additional public space dedication, green building features, and affordable dwelling units.
- A revised and condensed use matrix.

- A list of possible changes in other sections of the City Code that would complement the sample zoning ordinance.

Public Outreach

The public outreach for the Strategic Investment Area was previously completed as a part of the process that led to the creation of the SIA Plan, as well as the process by which the SIA Plan and Streets that Work Design Guidelines were incorporated into the City's Comprehensive Plan.

Staff has recently met individually with property owners in the Strategic Investment Area that have active development applications or have approached the City previously regarding development of their property. Additionally, staff hosted a meeting for all property owners in the SIA Phase 1 area to review the process and solicit comments on the plan.

Public Concerns with the SIA Plan

The landowners in the first phase of the SIA have two areas of concern with the plan as approved in the Comprehensive Plan:

- Height – As you know, height is both a Design (“placemaking”) issue, as well as an economic issue. Many of the landowners who have provided comments expressed concern over the proposed maximum heights approved in the SIA plan. Among the reasons they cited were the fact that limiting the building height within the zone will also limit the flexibility designers have when planning new projects. *(Currently, the by-right height within the Downtown Zoning District is 50 feet (4 stories); however, up to 101 feet (9 stories) is allowed for a “mixed use building”, regardless of location. There are no standards established to define (either with reference to the quantum of uses within a single building, or to the design of the building itself) what constitutes a mixed-use building).* The individuals who have commented, to date, feel that the current height regulations permit designers to handle topography changes in more creative fashion. One owner mentioned that there is a limited supply of land within the City designated for the type of development envisioned and permitted within the SIA, and reduction of maximum height will limit the ability to meet the demand for those uses.
- Parking – several owners also made comments on the topic of parking. One owner specifically raised concerns with the proposed parking map in the SIA Plan (see p. VI-9) that makes heavy use of underground parking, referencing the cost of below ground parking as unlikely to be made up in the resulting developments. Another owner supported a revision of parking requirements in light of potential technological changes

that may impact the transportation system in the near future, such as autonomous vehicles.

Next Steps

Attached is a document outlining the next steps that staff envisions in order to complete draft updated zoning/ subdivision ordinance provisions to implement the SIA Plan. Staff is requesting assistance from both PLACE and the Planning Commission, on tasks that are within their charges.

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STAFF REQUEST FOR ASSISTANCE

Council has asked Staff to prepare recommended amendments to the City's land use ordinances by June 19, 2017, to implement Phase I of the SIA Plan within the Downtown Extended ("DE") zoning district. To stay on track for this deadline, Staff requests the following assistance:

- (1) **PLACE**—consistent with PLACE's charge to develop best practices for urban design guidelines and their implementation:
 - a. **Will PLACE provide recommendations for specific Building Envelope Standards (BES) for four (4) categories of Frontage Types?** (Deadline: March 20, 2017) (*See SAMPLE ordinance, attached*)
 - i. General Urban Frontage
 - ii. Urban Plaza Frontage
 - iii. Neighborhood Frontage
 - iv. Urban Green Space Frontage
 - b. **Will PLACE provide an opinion/guidance on the following?**

In most locations The SIA Plan appears to contemplate a 1:1 ratio between the height of a building and the width of an adjacent public Right-of-Way. **Purely from a design perspective:**

 - If building height were to exceed the 1:1 ratio, what Building Envelope Standards (BES) can be employed to maintain the sense of "Place" that the City wants to create within the DE-Area SIA?
 - Is there a design ratio (1:2, 1:3, 1:4) that should not be exceeded?
- (2) **PLANNING COMMISSION**—consistent with the Planning Commission's responsibility for preparing and recommending amendments to the Subdivision Ordinance¹ and Zoning Ordinance² (deadline: March 20, 2017)
 - a. **Will the PC provide a recommendation for amendments to the City's Subdivision Ordinance, to implement block lengths and minimum/ maximum lot widths consistent with the proposed New Street Network?** (SIA Plan, p. VI-7)? *See SAMPLE ordinance, attached.*
 - b. **Will the PC provide a recommendation for amendments to the City's Subdivision Ordinance, to identify the proposed street dimensions and required improvements that will apply to the street network within the Downtown Extended SIA area?** (*see* SIA Plan, p. VI-7; apply (i) SIA Plan proposed street sections for various streets, and (ii) Streets That Work Design Guidelines). *See SAMPLE ordinance, attached.*
 - c. **Will the PC provide a recommendation for amendment of the Zoning Ordinance, to establish the permitted Uses for the DE (SIA) zoning district?** *See SAMPLE ordinance, attached.*
 - d. **Should an Official Map be prepared by the PC in accordance with Va. Code 15.2-2233, to assist with implementation of the New Street Network? What resources would be needed by the PC?**
 - e. **What development rights should be increased in return for the City's receipt of desired public benefits or amenities?** (*See SAMPLE ordinance, "Bonus" provisions*)

¹ Va. Code 15.2-2253

² Va. Code 15.2-2285

SAMPLE Zoning Ordinance

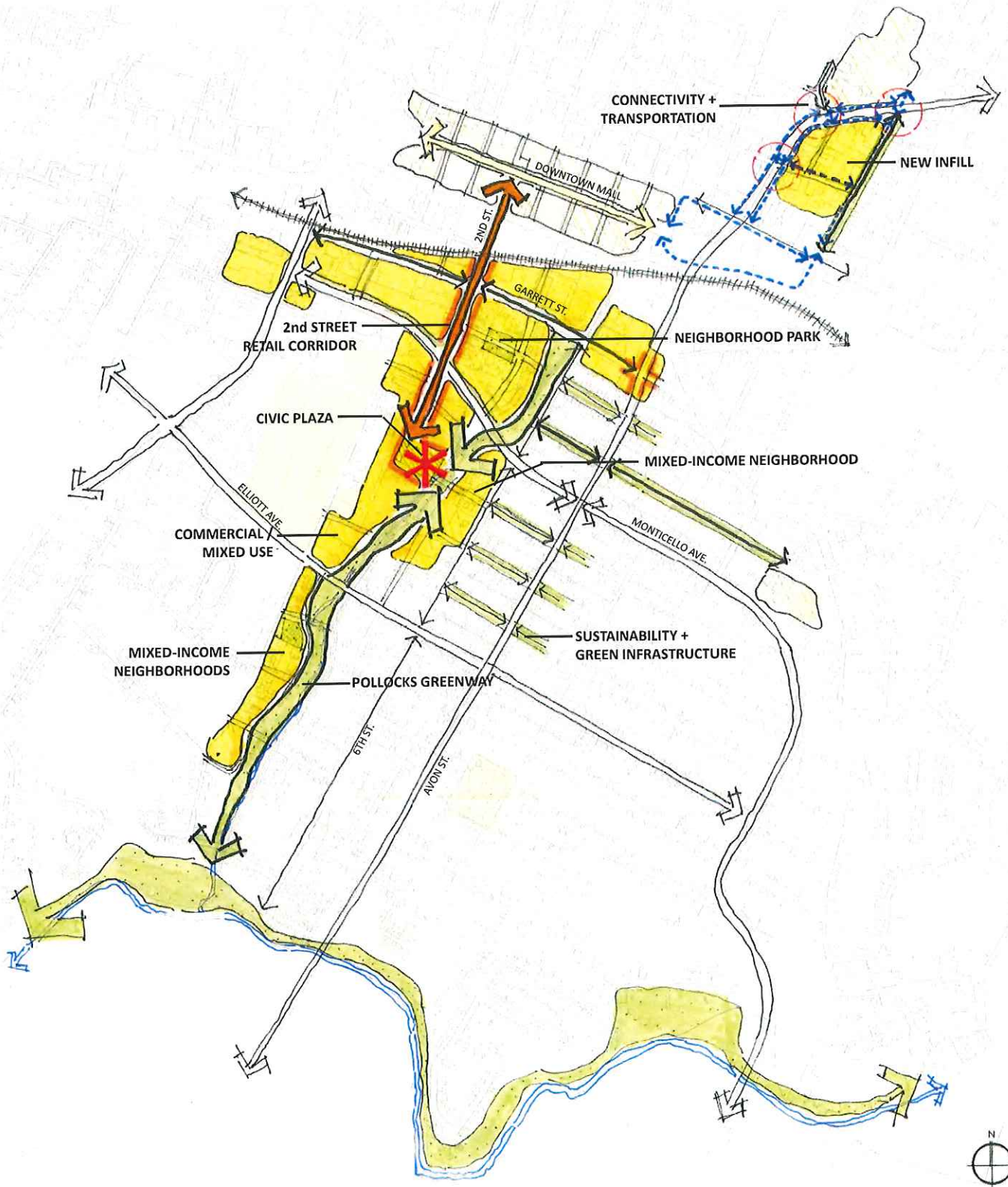
For Implementation of SIA Phase I, within the
Downtown Extended Zoning District

City Attorney's Office: Prepared by Robertson, Lisa

11/10/2016

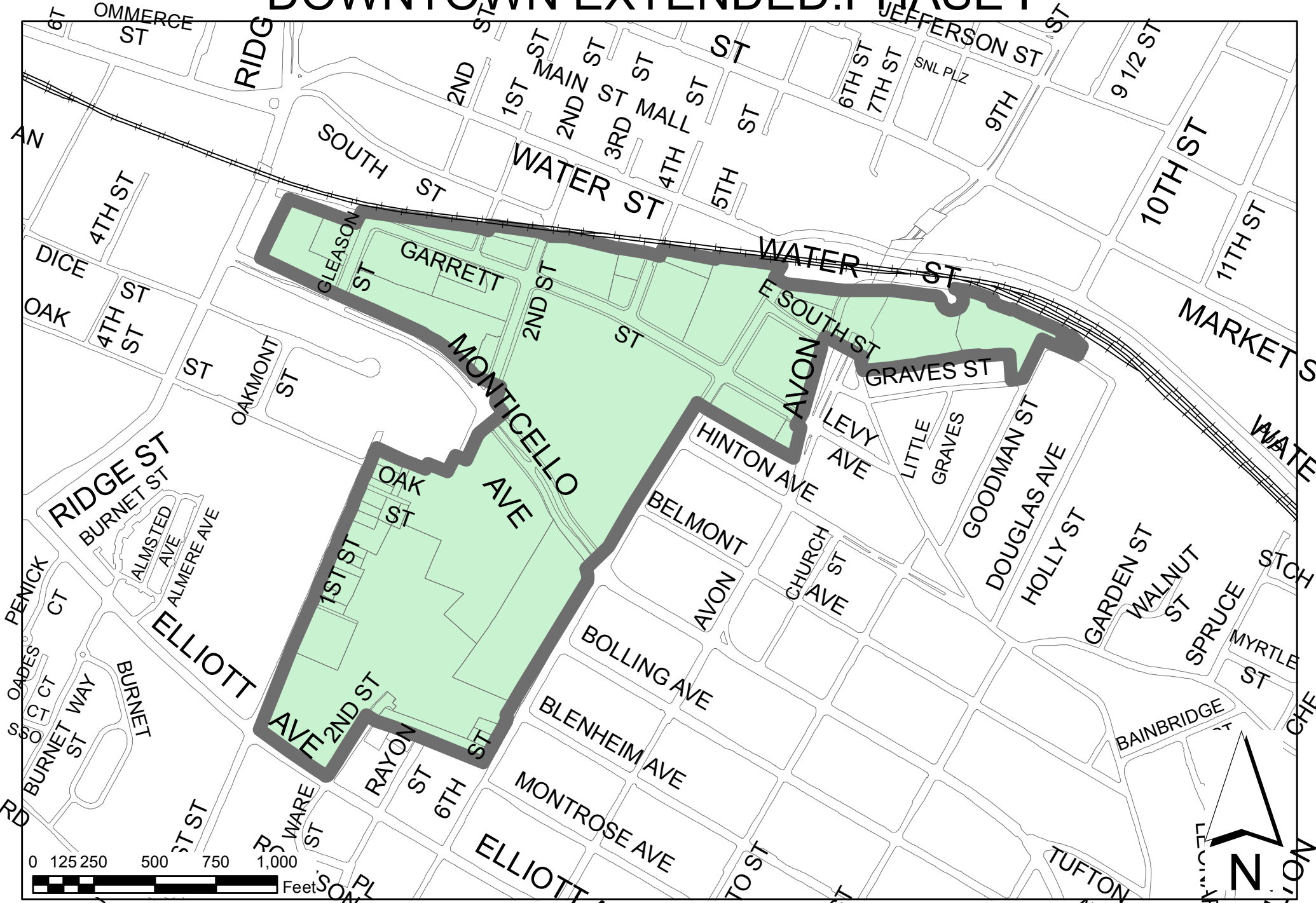
This document is a FRAMEWORK for DISCUSSION, a compilation of provisions sampled from various ordinances from around the country. This is ONLY A SKELETON—INTENDED TO GUIDE DISCUSSIONS—and it is not intended as any particular substantive recommendation or advice. The objective of any ordinance developed is to include regulations that will successfully IMPLEMENT the Strategic Investment Area Plan.

Vision Plan



Design Concept Diagram

DOWNTOWN EXTENDED: PHASE I



DOWNTOWN EXTENDED SIA DISTRICT—SAMPLE Ordinance Framework, for Discussion

DIVISION 1. GENERAL

Sec. X. Purpose

Downtown Extended Zoning District. The area within the Downtown Extended district has been identified by city council as an area for strategic investment in anticipation of redevelopment. The purpose of this district is to encourage an inter-related mixture of high-density residential and non-residential uses, consistent with an urban commerce center. Development and redevelopment must create a sense of place, linking new and existing neighborhoods with civic spaces, businesses and employers. Building envelope standards facilitate building forms that will frame the adjacent public space in a manner that promotes walking, biking and efficient public bus transit. The zoning regulations set forth within this article are intended to promote a walkable, interconnected urban center containing various zones of intensity—from lower scale residential areas and green spaces to a dense central core. Incentives are provided to promote development that will (i) deliver mixed-income housing, and (ii) establish the DE District as an emerging urban “Eco-District” providing a green system of stormwater management and buildings constructed using cutting-edge sustainable design and building practices.¹

Sec. 34-X. General regulations

- (1) The Regulating Plan for the DE District is adopted and established as part of the Zoning Map. **The Regulating Plan identifies the Frontage Standards applicable to each lot (see divisions 2, 3 and 4, of this article).**
- (2) Buildings and walls shall be used to define public and private spaces.² **A Required Building Line (RBL) establishes a uniform alignment of buildings along a particular street frontage.** Each RBL established within this article is subject to the following:
 - a. Corner lots shall comply with the RBL requirements applicable to the front and to each corner side lot line. Double-frontage lots shall comply with the RBL requirements applicable to both Frontages.
 - b. Frontage requirements apply to the interior portions of a lot within _____ feet of each applicable RBL. Floor height requirements apply within this same area.
- (3) **The height of all buildings is measured in stories, with an ultimate limit in feet, measured at any point along the top of the building’s wall plate to the fronting sidewalk elevation,** unless otherwise stated in this article.
- (4) Building forms shall be consistent on both sides of a street.
- (5) Multiple principal buildings are permitted on a lot.
- (6) Vehicle storage, garbage and mechanical equipment shall be kept away from the street.
- (7) Parking and parking entrances shall be designed and sited so that parking can be shared by multiple landowners/ users.³

¹ See SIA Plan (Dec. 2013) (pp. III-2, III-8, III-10 through III-12)

² See STW (p.71) (“*In most mixed-use districts...it is more important to provide a consistent street wall, to define the street as an outdoor room, than to provide varied setbacks and stepbacks to break up the mass.*”)

³ See STW p. VI-32.

Sec. 34-X. Public realm—street characteristics

Every development shall provide streets and sidewalks in accordance with the standards required by [subdivision standards, chapter 29], in accordance with the layout shown on the **Regulating Plan**.

[The **Regulating Plan** is a Map of the Street Network that functions as a template for identifying the location(s) at which particular building forms/building envelope standards will be applied]

Comment [RL1]: A final Regulating Plan will need to be adopted, and incorporated as a component of the City's Zoning Map, in order to successfully implement the SIA Plan and related zoning text.

NOTES:

- (1) SIA (p. VI-7) identifies a proposed New Street Network.
- (2) Street ROW Widths: the planned/ proposed public ROW width is **one** factor in establishing desirable building envelope standards—particularly minimum and maximum building heights. The **SIA Streetscape Standards(2013)** and the more recent **Streets-that-Work (2016) ROW dimensions** are similar, but not identical.
- (3) The materials referenced in (1) and (2) need to be integrated together.

EXAMPLE: COMP PLAN (SIA + STW)

RECOMMENDATIONS FOR GARRETT STREET PUBLIC REALM:

Garrett Street:

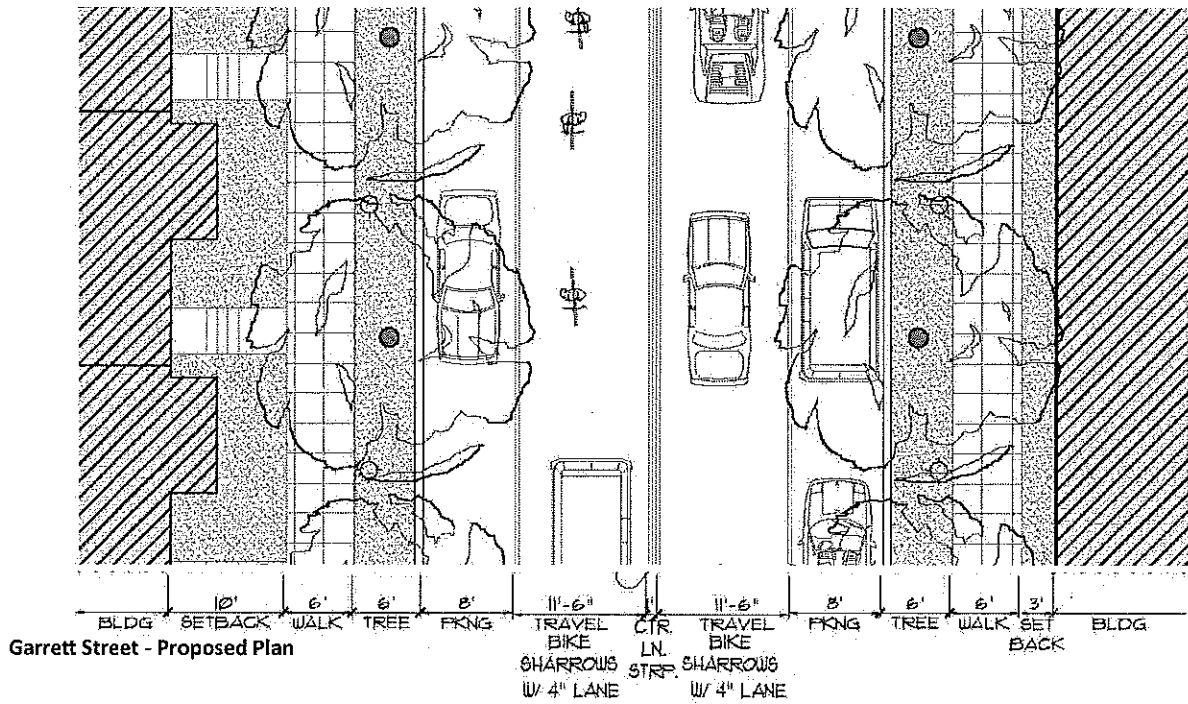
- a. **SIA Plan (p. VI-51):**
 - (i). Curb-to-curb: 40 feet
 - (ii). Right-of-Way: 64 feet
 - (iii). Building-to-Building: 77 feet
- b. **Streets that Work Design Guidelines⁴** (“Downtown” Street Typology)
 - (i). Curb-to-curb: 36 feet
 - (ii). Right-of-Way: 50 feet to 75 feet
 - (iii). Building-to-Building: 58 feet

Relation to Building Height: if a 1:1 relationship is desirable (ROW Width: Building Height) then possible building heights for the Frontage Standard(s) along Garret Street might be 5 stories (SIA Plan), or anywhere from 4 stories up to 7 stories (STW Design Guidelines).⁵ See attached diagrams from SIA and STW, next pages.

⁴ See STW Design Guidelines, Chapter 3 (p.30) and Appendix C (p. A-22)

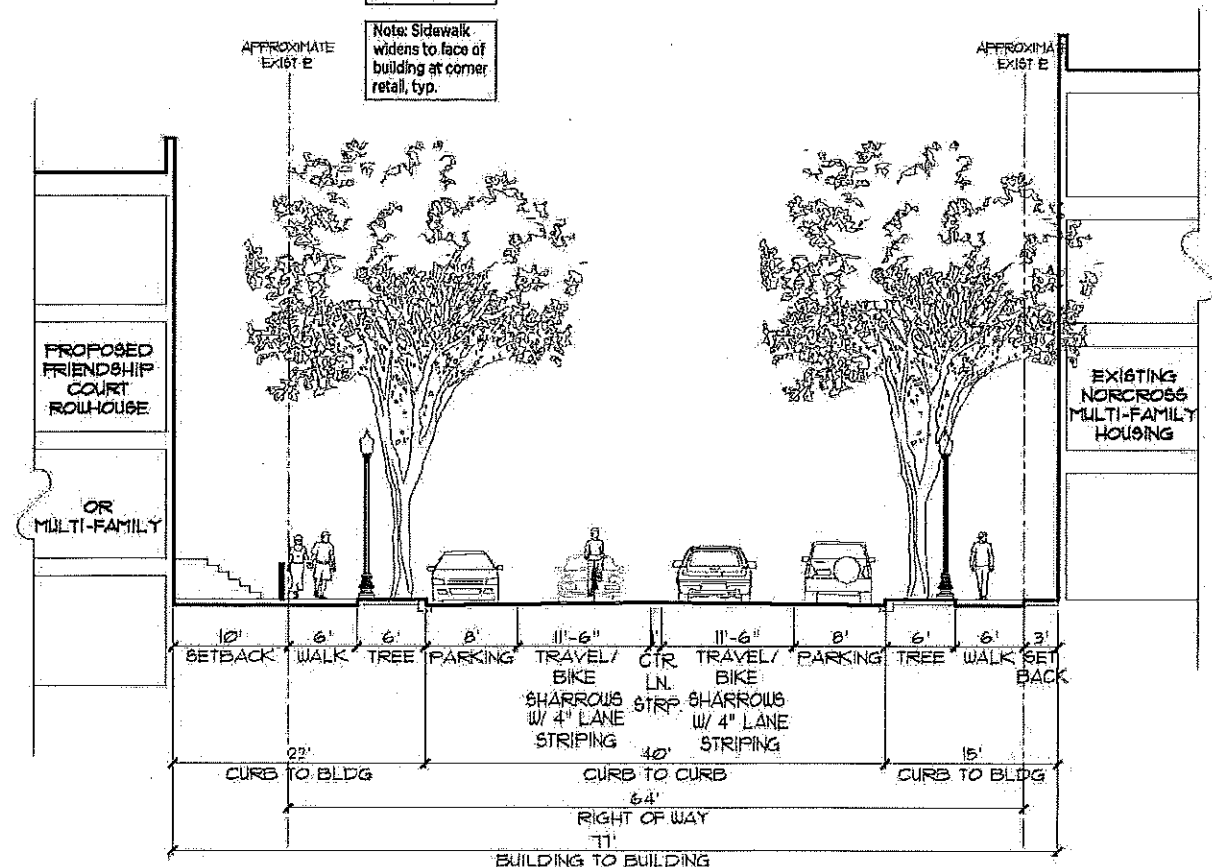
⁵ See also STW (p. 71) (“a building’s design and scale should reflect the design and scale of the street where it’s located”).

Public Space Standards and Guidelines | Garrett Street

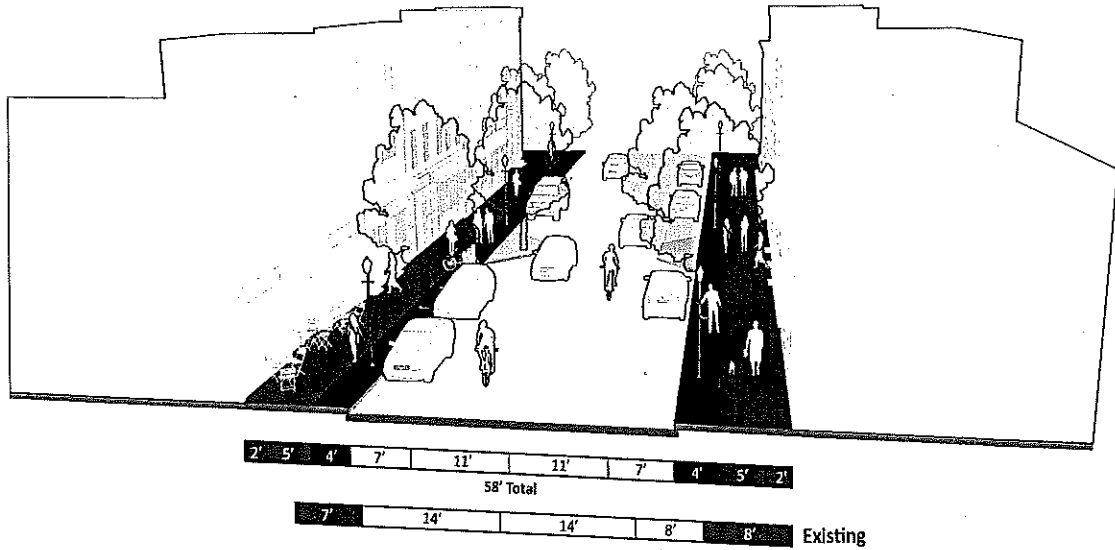


Note: Retain existing large street trees where applicable.

Note: Sidewalk widens to face of building at corner retail, typ.



Garrett Street - Proposed Street Section



Downtown

DOWNTOWN STREET Major Design Elements	Recommended	Parameters
Right-of-way	n/a	50' - 75'
Sidewalks	Yes	> 6' clear walk zone
Curbside Buffer Zone (Highest Priority Street Element)	Yes	3' - 6' Width requirements: small trees = 4'; medium trees = 4' (6' preferred); large trees = 4' (6' preferred); smaller widths can be achieved if soil volume minimum met.
Street Trees**	Yes	Locate in curbside buffer or in on-street parking zone Soil volume minimums: small trees = 250 ft ³ ; medium trees = 400 ft ³ ; large trees = 400 ft ³ (700 ft ³ preferred)
On-Street Parking* (High Priority Street Element)	Yes	7'-8' Loading zones need to be considered
Diagonal On-Street Parking	Limited	Back-in parking only, 60°, 17' min. stall depth
Off-Street Parking Access	Limited	Driveway, service and loading preferred from alleys and side streets
Travel Lane Widths*	n/a	10-11', if transit 11' outer lane
Turn Lanes	Limited	Only at major intersections and major destination access points
*Combined travel lane and on-street parking width 18' minimum (7' on-street parking, 11' travel lane OR 8' on-street parking, 10' travel lane)		
**Trees: small (10' - 30' mature height) ; medium (30' - 50' mature height); large (50' mature height)		
	Highest Priority Street Elements	High Priority Street Elements

Building Envelope Standards | Building Heights and Setbacks



Building Heights

It is recommended that the tallest buildings in the SIA be located at the core of the study area on the IX site, between Monticello Avenue and Blenheim Avenue. Radiating out from this core, buildings should step down in height towards the surrounding neighborhood. At sites directly adjacent to existing single family houses and other low-rise buildings, it is recommended that the mass of proposed buildings be molded to step down further in recognition of their smaller neighbors.



Illustration of scale transition at 6th Street

DIVISION 2. FRONTAGE TYPE: GENERAL URBAN

34-X. Applicability

The regulations set forth within this division shall apply to land, buildings and structures, and the uses thereof, assigned to the **General Urban Street Frontage**, as shown on the **Regulating Plan**.

34-X. Height

⁶(a) *Building height*—except as otherwise provided within this article, building height shall be as follows:

- (1) _____ stories, minimum, and
- (2) _____ stories, maximum.

(b) *Parking structure height*—the height of a parking structure shall not exceed the eave height of any building within _____ feet of the parking structure.

See SIA, p. VI-32 (“surface parking lots are strongly discouraged”; and “if above-grade parking structures are necessary for new development, then shall be concealed from the street by programmed liner elements of retail, residential or commercial spaces”)

(c) *Ground-story height*—for every building:

- (1) **Within _____ feet of the RBL:** the ground-story’s finished floor elevation shall be between _____ inches below and _____ inches above the sidewalk elevation at the front of the building, except as otherwise provided.
- (2) The maximum ground-story height is _____ feet.
- (3) Every building shall have a minimum ground-story clear (floor to ceiling) height of _____ feet. The minimum required clear height shall be met over by at least _____ percent of the floor area within the story.

(d) *Upper stories height*

- (1) The maximum floor-to-floor story height limit for each upper story is _____ feet.
- (2) At least _____ percent of each upper story shall have at least _____ feet of clear (floor to ceiling) height, and _____ percent of the uppermost story shall have at least _____ feet of clear height.

(e) *Mezzanines*—mezzanines greater than _____ percent of the building footprint shall be counted as a full story. Mezzanines shall be set back from the RBL at least _____ feet.

(f) *Other*—except where otherwise noted in this X or in the Regulating Plan: when any portion of the interior of a lot (behind the RBL) is within _____ feet of a *low-density residential zoning district*—then...

[sample provision 1: “... the maximum height for that portion of the building shall be no more than _____ stories; however, if that portion is also no more

⁶ See STW Design Guidelines, (p. A22). See also STW (p. 71) (a building’s design and scale should reflect the design and scale of the street where it’s located).

Comment [RL2]: In MOST locations shown within the SIA Plan, multi-story buildings are contemplated. It may be possible to have one category of Building Envelope Standards that applies generally to all buildings in these locations (but offering a variety of entrance types, etc.)

Comment [RL3]:

Current building height allowed throughout the DE district (other than a mixed-use building) is **2 stories (35 feet), min/ and 4 stories (50 feet), max.**, see City Code 34-577 and 34-1100(b).

STW recommends:

Downtown Street ROW = 50 min; 75max
(1:1 = 4 stories min; 6 stories, max)

Mixed Use B ROW = 50 min; 80 max
(1:1 = 4 stories, min; 7 stories max)

SIA Plan (see p. VI-14 (Regulating Plan, Building Envelope Standards/Height) recommends 4-5 stories most places)

See also SIA Plan, pp. VI-21 et seq. (Public Space Standards and Guidelines)

than _____ feet from an RBL, then the maximum height shall be no more than _____ stories.”] or

[sample provision 2: see City Code 34-619 (WMW bulk plane restriction): “No building may extend into a 45-degree angular plane projecting above the lot, measured at the interior edge of any required setback, starting at a height equal to the maximum height in the adjacent zoning district.”

Sec. 34-XX. Footprint

The maximum footprint for a building is **XX,000 square feet**.

Sec. 34-X. Siting of buildings

(a) Frontage zone

If there is no Frontage Zone within the public right-of-way, then a ____ foot wide **Frontage Zone** shall be provided on a lot, measured inward from the edge of the public ROW.⁷

Comment [RL4]: In other words: a required yard area

(b) Building facade

- ⁸(1) **Along every General Urban street Frontage there is hereby established a required building line (RBL) of _____ feet.**
- (2) **The building façade shall be built to at least _____ [70%? 80%] percent⁹ of the overall RBL** Except for special corner treatments, the unbuilt portion of the RBL shall be treated as specified in paragraph (g), below.
- (3) Each building façade shall be composed as a simple plane, interrupted only by _____ [options/examples: porches, stoops, bay windows, shop fronts or balconies, if allowed]. Limited jogs, less than _____ inches, shall be considered a simple plane.

Comment [RL5]: SIA Plan, see p. VI-17, recommends 80%

(b) Buildable lot area:

- ¹⁰(1) Each lot shall have a minimum contiguous private open area, at least _____ percent of the total buildable area of the lot. The open lot area may be landscaped or hardscaped. [examples: this would allow for courtyards, plazas, usable “frontage zone” areas, etc.]
- (2) No part of any building, other than _____ [options/ examples: awnings, overhangs, bay windows or balconies, etc.?] shall extend beyond the RBL.

⁷ See STW (pp. 68-70)

⁸ Per City Code 34-578(b), the current building setbacks are established as a discretionary range: (i) 0 ft. min./ 15 ft. max. along “primary street” frontage, and (ii) 10 ft. min/ 20 ft., max. along “linking street” frontages. The RBL would establish a consistent, required build-to line.

⁹ Currently, in the DE district, there is no MINIMUM percentage by which a streetwall must be built-to the building setback line. The **current DE regulations require a 10-foot setback along 70% of the streetwall, after a height of 50 feet. See current City Code 34-578.**

¹⁰ In the current DE regulations, sec. 34-583(a) there is a requirement that any development that would occupy an entire city block must provide courtyards and plazas; however, there’s no specification as to a particular area or percentage that must be part of a courtyard or plaza. The DE regulations currently require plazas and courtyards to be “accessible” to adjacent public rights-of-way.

- (3) Areas shown on the Regulating Plan as Open [Green] Space, shall be **unoccupied** by buildings and structures.

[Note: the specific location(s) and dimensions of the Open Green Space desired by the City should also be shown on the “Official Map”, along with the proposed New Street Network, see, e.g., the “Regulating Plan, LID Green Infrastructure” p. VI-8, SIA Plan]

(c) *Side and rear lot lines—*

- (1) When any portion of a lot shares a side or rear lot line with land containing an existing single-family dwelling, then a _____-foot yard shall be provided along that lot line.
- (2) When side or rear lot line is adjacent to a low-density residential district, a _____ foot yard shall be provided along that lot line.
- (3) On lots with no alley access, there shall be a **20-foot** setback from the rear lot line. **[see footnote 9]**
- (4) Otherwise, there are no required side or rear yards.¹¹

(d) *Parking garages; parking areas*

- 12**(1) Garage entrances and alleys shall be the sole means of automobile access to a lot.
- 13**(2) Garage doors and garage entrances are not permitted on any front lot line. Garage entrances shall not face an RBL (a garage entrance shall be deemed to “face” an RBL, if situated at an angle of less than 90 degrees from the RBL).
- (3) Except as otherwise indicated on the Regulating Plan, garage and parking entrances shall be no closer than _____ feet from any building corner, or _____ feet from any block corner.¹⁴
- 15**(4) *Parking setback*—No parking shall be located within _____ feet of the RBL (“parking setback”).¹⁶ Subject to the parking setback, parking may be located: (i) within a surface

¹¹ Per current 34-578(b)(3), side and rear yards adjacent to any low-density residential district are required to be **20 feet minimum**. The existing provision doesn’t take into account any existing SFDs or TFDs that may be present outside of a low-density residential district (but there probably aren’t many of those).

¹² Current code provisions allow driveways/ entrances/ exits (“curb cuts”) along any frontage, not to exceed 33% of the length of the frontage, 34-972(b)2).

¹³ Current 34-934: parking garage entrances do not need to be screened from view of the public street, and driveway widths at the street line must be from 20 feet wide to not more than 36 feet wide.

¹⁴ Per current 34-972(b) no driveway entrance or exit can be closer than 15 feet to a street intersection, or less than 5 feet from the end of a curb radius. Per current 34-934 (general parking garage standards) entrances and exits shall be “as far as practicable” from street intersections.

lot, open to the sky, provided that any such area shall be screened from view by a masonry wall¹⁷ constructed along any unbuilt portion of an RBL, or (ii) within a building or structure.

18(e) Alleys—An alley shall be provided as the primary means of access to a lot, except (i) when a garage entrance is provided to serve that purpose, or (ii) _____.

(f) **Corner treatments**—

(1) Special corner treatments may include: _____.

(g) **Unbuilt alley, RBL and common-lot-line treatments**—

(1) Unbuilt RBL frontage, [and any unbuilt edge of an alley?], shall have a masonry wall constructed to a height between _____ feet and _____ feet along the length of the unbuilt RBL or alley edge.

(2) A masonry wall may also be constructed to a height between _____ feet and _____ feet, along the length of any unbuilt common lot line.

(3) A vehicle entry gate (opaque, maximum _____ feet wide) or a pedestrian entry (maximum _____-feet wide) are allowed as a substitution for a portion of a required masonry wall.

Sec. 34-X. Façade Elements

(a) **Ground- story fenestration**

(1) The ground- story building façade shall have between _____ and _____ percent fenestration, measured as a percentage of the building facade that is between _____ and _____ feet above the fronting sidewalk.

(2) Functioning entry doors shall be provided along the streetwall, at intervals not exceeding _____ feet.

(3) Awnings and overhangs are permitted.

(4) **The ground- story entrance shall be one of the following:**

a. **Shopfront** entrance, see (4), below

Comment [RL6]: According to the SIA Plan, there may be different levels of transparency desired along different street frontages (or for different building types)

SIA Plan p. VI-18: storefronts = 75% glass, min (discussing 2nd Street frontages)

SIA Plan p. VI-19: storefronts = 50% minimum

¹⁵ Per current 34-583 off-street *loading* areas may not face a public ROW and if there are more than 20 on-site parking spaces, no more than 50 spaces can be surface parking open to the sky. 34-972(b)(3) requires parking to be located only in side or rear yards, BUT can't be in any yard that "faces" [*fronts on?*] a public street.

¹⁶ Per 34-972(b)(6): no off-street parking area can be closer than 3 feet to any *side or rear property line*. No driveway used for residential purposes (including multifamily) can be closer than 3 feet to the *line of an adjacent property*.

¹⁷ For a similar existing provision, see 34-972(b)(7): Any parking established in a yard that faces a public street must be buffered and, in addition must include: a "masonry or similar type wall", 32 inches, minimum (no maximum) between the parking and the public street. (Under 34-873(b) the required buffer area is 10 feet wide, and must be an S-3 type containing plantings, including streetscape trees). Also, 34-873(d) specifies requirements for interior parking lot landscaping (5% gross area; planting islands required).

¹⁸ See footnote 9, above. Also: 34-873(c) currently requires a planted parking buffer, at least 5 feet wide (S-2 type plantings), between the edge of a parking lot and an adjacent property

b. **Office** entrance, *see* (5), below

(5) **Shopfront entrance type specifications—**

- a. Transparency: _____ minimum, _____, maximum
- b. Finished floor elevation: between _____ ft. and _____ft above sidewalk
- c. Visible basement is not permitted
- d. A horizontal façade division is required, to define the ground story façade from the upper stories of the building
- e. Entries must be recessed from the front building façade closest to the RBL, ____ feet minimum and _____ feet, maximum. The recess shall not exceed _____ feet in width.
- f. Porches are not permitted.
- g. Shopfront windows must comply with the specifications in division _____, below (Building Standards)

Comment [RL7]: See SIA Plan, p. 18 (recommending 75% glass for storefronts) and p. 19 (recommending 50% glass for storefronts)

(5) **Office entrance type specifications--**

- a. Transparency: _____ minimum, _____, maximum
- b. Elevation: between _____ ft. and _____ft above sidewalk
- c. Visible basement is permitted
- d. A Horizontal façade division is required, to define the ground story façade from the upper story(ies), is required
- e. Porches are not permitted
- f. Windows must comply with the specifications in division _____, below (Building Standards)

(b) *Upper story fenestration*—the streetwall of a building’s upper stories shall have between _____ and _____percent fenestration, measured for each upper story as a percentage of the streetwall area that is between _____ and _____ feet above each finished floor.

(c) *Balconies*—[*allowed or not allowed along RBL frontage?*]

Sec. 34-X. Uses

19(a) *Ground-floor*--The interior of a ground- story may be occupied by retail or commercial uses, and may be used as common areas (lobby; shared work space; etc.) for upper story uses.

Comment [RL8]: See also SIA, p. VI-18. in specific locations, designated on the Regulating Plan, (for example the 2nd Street Corridor) you may want to limit Ground Floor Uses to Retail/Shopfront ONLY.

(b) *Upper floors*

- (1) Retail uses are prohibited within the upper stories of a building, except:

¹⁹ Currently in the DE district, no ground floor residential uses may front on any “primary street” *see* City Code §34-582.

- a. within the area of a second story having primary-street frontage, as an extension of a ground-floor use, and
- b. restaurants may be located on an upper story.

(2) Offices may be located within all stories.

(c) *Residential uses*—no residential use shall occupy any space underneath a retail use.

(d) *Use table*—the uses permitted within this Frontage type are as listed within Division-X.

DIVISION 3. FRONTAGE TYPE: URBAN PLAZA

Comment [RL9]: See STW, p. VI-22.

Sec. 34-XXX. Applicability

The regulations set forth within this division shall apply to land, buildings and structures, and the uses thereof, assigned to the Urban Plaza Frontage Type, **as shown on the Regulating Plan.**

Sec. 34-XXX. Height

²⁰(a) *Building height*—except as otherwise provided within this article, building height shall be as follows:

(1) _____ stories, minimum, and

(2) _____ stories, maximum.

Comment [RL10]: SIA Plan, p. VI-14, recommends 6+ stories around a central urban plaza, with some frontage on 2nd Street, Extended and 4th Street, Extended.

See SIA Plan, pp. VI-56/57 and VI-60/61 for proposed ROW widths.

STW identifies 2nd St. S.E. as the "Downtown" Street typology proposed ROW width (50-75 ft)

Sec. 34-XX. Footprint

The maximum footprint for a building is **XX,000 square feet.**

Sec. 34-XXX. Siting

(a) *Façade*

(1) Along every Urban Plaza Frontage there is hereby established a required building line (RBL) of _____ feet.

(2) The building façade shall be built to at least _____ percent of the overall RBL

(b) *Buildable lot area*

(c) *Side and rear lot lines*

(d) *Parking garages; parking areas*

(e) *Alleys*

(f) *Unbuilt RBL treatment*

²⁰ See STW Design Guidelines, (p. VI-14). See also STW (p. 71) (a building's design and scale should reflect the design and scale of the street where it's located).

Sec. 34-XXX. Façade Elements

(a) Ground story fenestration

(1) The ground-story building façade shall have between ____ and ____ percent fenestration, measured as a percentage of the building façade that is between ____ and ____ feet above the fronting plaza.

(2) The ground story entrance(s) shall be one of the following types:

a. _____

b. _____

(b) *Upper story fenestration*

(c) *Balconies?*

Sec. 34-XXX. Uses

(a) *Ground floor*

(b) *Upper floors*

(c) *Residential uses*

(d) *Use table*

Comment [RL11]: SIA, p. VI-23, says that "Doorways, retail frontages, signage and building uses should be designed to maximize the urban nature of the plaza. All surrounding buildings should be oriented towards the plaza using "significant architectural elements" and ground floor retail uses."

DIVISION 4. FRONTAGE TYPE: NEIGHBORHOOD FRONTAGE²¹

34-X. Applicability; assignment of street typologies

The regulations set forth within this division shall apply to land, buildings and structures, and the uses thereof, assigned to the **Neighborhood Frontage Type, as shown on the Regulating Plan.**

Sec. 34-X. Height

(a) *Building height*—Each building shall be at least ____ stories in height, but no more than ____ stories, as indicated in Sec. 34-X (building types), below.

Comment [RL12]: This Frontage refers to the areas depicted within the SIA as being planned for residential building types (SFD; Rowhouses/THs; and low-rise multifamily See SIA p. VI-10.

Sec. 34-X. Siting

(a) *Façade--*

(1) On each lot, the building façade shall be built to one of the following:

a. the RBL, for at least ____% of the length of the RBL, or

b. within ____ of the RBL, for at least ____% of its length, with a front porch of at least that same width

Comment [LR13]: STW recommends:

N-A and N-B ROW: 25 min; 50 max
I:1 = 1-2 stories min; 4 stories max

See comment boxes on p. 4 above (discussion of the regulating plan)

²¹ See SIA Plan (Dec. 2013), p. III-30

- (2) Private landscaped areas should be provided at ground floor residential units, in order to provide a buffer between the residential unit and the sidewalk.

Comment [RL14]: See SIA p. VI-19

(b) *Buildable area*—Except as specified in Sec. 34-XX, below, each lot shall have a minimum contiguous private open area, at least _____ percent of the total buildable area of the lot. The open lot area may be landscaped or hardscaped. [*this can allow for courtyards, usable “frontage zone” areas, etc.*]

(c) *Garage and parking*

- (1) Garage doors and garage entrances are not permitted on any RBL façade.
- (2) Along every RBL frontage, there shall be a parking setback line (PSL) of _____ feet, measured inward from the RBL. No parking area, whether at-grade surface parking or parking within a building or structure, shall be forward of the PSL.

Sec. 34-X. Façade Elements

(a) *Fenestration*

- (1) Blank lengths of wall exceeding ____ linear feet are prohibited on all RBLs.
- (2) Fenestration shall comprise between _____ % minimum and _____ % maximum of each building façade. Live-work units, where permitted, shall satisfy the fenestration specified for Shopfronts, see Division 2, Sec. 34-X.
- (3) No window may face or direct views toward a common lot line within _____ feet, unless (i) that view is contained within the lot (e.g., by a privacy fence/ garden wall, etc.), or (ii) the sill is at least _____ above the finished floor level.

Comment [RL15]: See SIA p. VI-19 (“ground floor facades with individual residential unit entries should be less transparent in order to provide privacy.”)

(b) *Building projections*

- (1) Each ground-floor dwelling unit shall include one of the following:
- a. a Stoop, not more than _____ feet deep or _____ feet wide (not including steps), which may be roofed but not enclosed,
 - b. a Front Porch, between 8 feet and 10 feet deep, with a width no less than _____ % of the building façade, or as specified in Sec. 34-X (Siting). [*Additional dimensional requirements?*], or
 - c. a Shopfront, if Live-Work Units are permitted by the Regulating Plan.

- (2) No Front Porch may project forward of the RBL.

(c) *Doors, entries*—each ground story dwelling unit shall have a functioning entry door with direct street access, within the RBL building façade.

(d) *Unbuilt RBL Frontage*—One pedestrian entry gate, no wider than ____ feet, shall be permitted within a wall occupying RBL frontage.

(e) *Balconies*—[*allowed or not allowed on RBL frontage?*]

Sec. 34-XX. Building types

Residential uses shall be located within one of the following building types, in locations as shown on the **Regulating Plan**:

- (1) SFD/ Duplex/ Triplex/ Fourplex (low-rise multifamily??)—[define; insert characteristics]
 - a. Building height:
 - b. Ground story height:
 - c. Upper story height:
 - d. Buildable lot area/ open space requirements:
 - e. Height of siding/ accessory structure
 - f. Parking location:
 - g. Access to parking
- (2) (Live-Work)— [define; insert characteristics]
 - a. Building height:
 - b. Ground story height:
 - c. Upper story height:
 - d. Buildable lot area:
 - e. Height of siding/ accessory structure
 - f. Parking location:
 - g. Access to parking
- (3) Townhouse/ Rowhouse—[define; insert characteristics]
 - a. Building height:
 - b. Ground story height:
 - c. Upper story height:
 - d. Buildable lot area/ open space requirements:
 - e. Height of siding/ accessory structure:
 - f. Parking location:
 - g. Access to parking

Sec. 34-X. Uses

- (a) *Ground-story* —the ground story of each building along Neighborhood Frontage may only house residential uses, except where Live-Work uses are designated on the Regulating Plan.

- (b) *Upper stories*—upper stories may only house residential uses
- (c) *Accessory buildings*—An accessory building may be located only within the buildable area at the rear of a lot. An accessory building shall have a maximum footprint of ____ square feet)
- (d) *Use table*—the uses permitted within any _____ Frontage are as listed within Sec. 34-X.

DIVISION 4. GREEN SPACE FRONTAGE

Sec. 34-XXX. Applicability

Sec. 34-XXX. Height

Sec. 34-XXX. Siting

Sec. 34-XXX. Façade Elements

Sec. 34-XXX. Uses

DIVISION 5. BUILDING STANDARDS

Sec. 34-X. Fenestration

- (a) The horizontal dimension of a wall opening shall not exceed the vertical dimension, unless otherwise provided in this article.
- (b) No wall opening shall span vertically more than one story.
- (c) Wall openings shall correspond to a building's interior space, and shall not span across building structure, such as floor structural and mechanical thickness.
- (d) Walls occupying RBL Frontage shall have openings in accordance with the fenestration requirements of their Frontage Type.
- (e) **Windows and doors**
 - (1) Where clearly visible from the Street Space, windows should be divided by multiple panes of glass, to hold the surface of the façade (rather than appearing like a hole in the wall). Window panes shall be recessed behind the building wall surface, a minimum of ____ inches, except for Bay Windows and Shopfronts.
 - (2) Windows (not doors) shall be no closer than _____ inches to building corners, excluding bay windows and shopfronts.
 - (3) Exterior shutters, if applied, shall be sized and mounted appropriately for the window (each shutter, one-half the window's width) even if inoperable.
 - (4) Upper-story windows
 - a. Windows may be double-hung, single-hung, awning or casement windows
 - b. Fixed windows are permitted, as follows:
 - 1-Residential buildings/ floors: panes no larger than ____ inches vertical by ____ inches horizontal

Comment [RL16]: Decision point: is there consensus as to whether or not you wish to include a list of permitted uses? Prohibited uses?

Comment [RL17]: Each set of Frontage standards would follow basically the same format—i.e., standards for height, siting, façade and [if desired] uses

See SIA p. VI-26 thro VI-29

"Minimal setbacks for buildings surrounding [secondary green spaces] are crucial to provide a sense of enclosure. All surrounding buildings should be oriented towards these secondary spaces"

Comment [RL18]: Some ordinances provide an additional level of detail, such as these.

Is this additional level of detail desirable for Charlottesville?

2-Maximum pane size for office uses is _____ inches vertical by _____ inches horizontal

3-Egress windows may be installed, in accordance with USBC requirements.

(5) Shopfront Windows

- a. Shopfront windows are allowed only on a ground floor story.
- b. Single panes of glass shall not be larger than _____ feet in height, by ____ feet in width
- c. Shopfront windows may not be made opaque by window treatments (excepting operable sunscreen devices within conditioned interior space). A minimum ____% of the window surface shall allow a view into the building interior for a depth of at least _____ feet.
- d. Shopfronts may extend up to _____ inches behind the building façade or RBL.

(6) Doors

- a. Double-height entryways (those that span more than one story) are prohibited
- b. Doors shall not be recessed more than _____ feet behind the building façade or their shopfronts and, in any case, shall have a clear view and path to a 45 degree angle past the perpendicular from each side of the door into the Street Space.

(7) Balconies?

Sec. 34-X. Lighting

[Insert general lighting standards, if desirable]

Sec. 34-X. Parking and loading

(a) Minimum parking and loading requirements—

[Option: There are no minimum parking and loading requirements for use(s) within the DE district.]

[Option: The following minimum on-site parking requirements shall apply to _____ Uses; otherwise, there are no minimum parking and loading requirements]

[Option: the following minimum parking and loading requirements are established for specific uses...]

(b) Maximum parking limit—[???

Sec. 34-X. Roof types.

(a) All buildings within the DE district shall have one of the roof types listed in (b), below.

(b) Skylights and roof vents are permitted only on the roof plane opposite the RBL, or when shielded from the RBL street frontage view by a parapet wall.

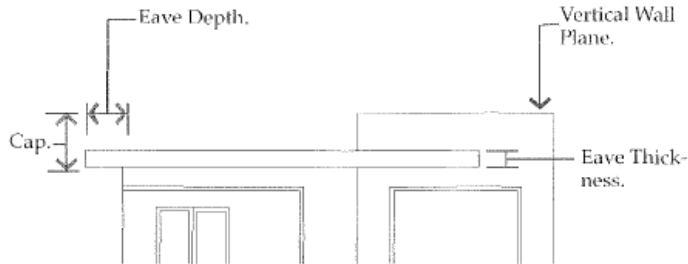
(c) For roof types other than flat/parapet roofs, mechanical equipment shall be located under roof.

²²(b) *Roof types*

(1) Flat roof

- a. A flat roof shall have overhanging eaves.
- b. Eaves shall have a depth of at least _____, measured from the building façade to the outside edge of the eave.
- c. Eaves shall have a minimum thickness of _____, measured at the outside edge and from bottom to top of the eave.
- d. Interrupting vertical walls: vertical walls [*may/ may not*] interrupt the eave and extend above the top of the eave with no discernible cap. Not more than _____ [one-half? Other?] of a building façade can consist of an interrupting vertical wall. A vertical wall shall not extend more than 4 feet above the top of the eave.
- e. Mechanical equipment shall be screened by a parapet (*see (2), below*).
- f. Occupied space: occupied space is not permitted behind this roof type.

[Diagram of flat roof type follows below]

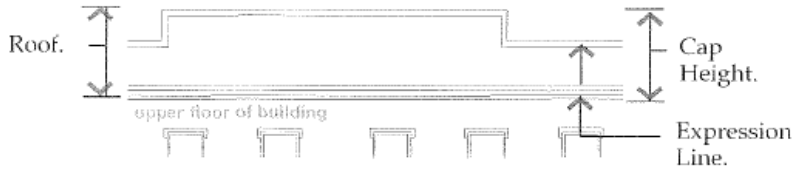


(2) Parapet

- a. May be used on buildings having a flat, low-pitched, or barrel roof.
- b. Height: minimum _____, maximum _____. Height of the parapet is measured from the top of the uppermost story to the top of the parapet. Height shall be adequate to screen the roof and any roof-top mechanical, plumbing, or electric equipment, and any elevator return. An additional ___ feet in height, by ___ feet in width, or ___% of the façade, whichever is greater, is permitted for a section of the parapet, to emphasize the building's primary street entry or a block corner.

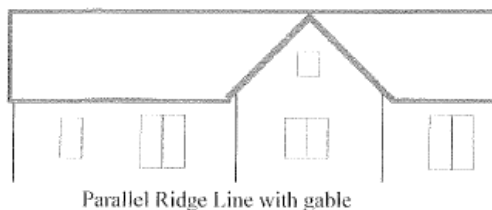
²² Illustrations of Roof Types are from the Zoning Ordinance for Billings, MT (for use in initial discussions only)
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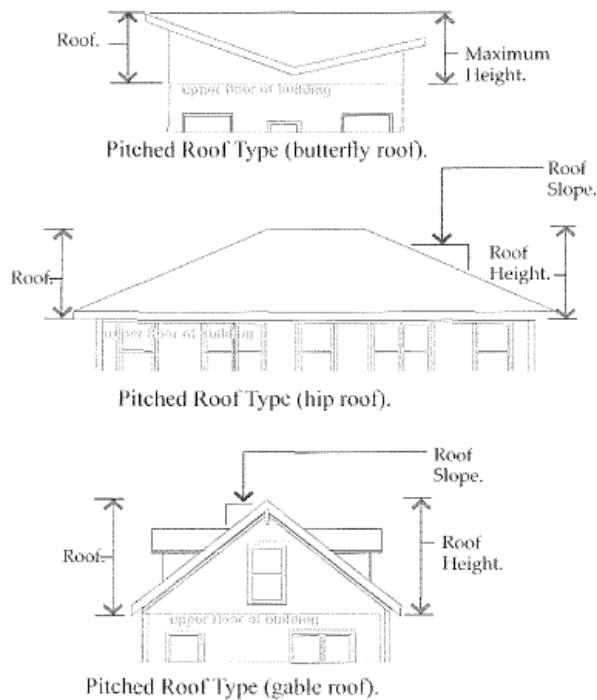
- c. A horizontal expression line shall define the cap from the uppermost story of the building, and also to define the cap.
- d. No space behind a parapet shall be occupied by any residential, commercial or other use. Rooftop areas behind a parapet and open to the sky may contain uses accessory to principal uses within the building.



(3) Pitched roof

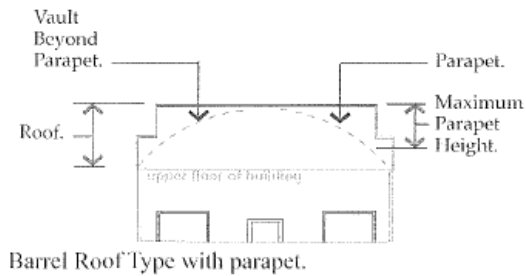
- a. A pitched roof shall have a slope/ pitch that is at least X:Y (rise: run), but not more than X:Y. However, slopes less than X:Y may be used on buildings that are _____ or more stories.
- b. Hipped, gabled, and combination of hips/gables, with or without dormers, are permitted.
- c. Butterfly roofs (inverted gables) are permitted, with a maximum height of _____, including overhang.
- d. Gambrel and mansard roofs are permitted on non-residential frontage types. When the ridge runs parallel to the front RBL, one dormer per _____ linear feet of front building façade is required.
- e. A gabled end or perpendicular ridge line shall occur at least every _____ feet of roof, when the ridge line runs parallel to the front lot line.
- f. Mechanical equipment shall be under roof.
- g. Occupied space may be incorporated behind this roof type. If occupied space is included, then the height of the roof on any street-facing façade shall not exceed the maximum floor height permitted for an upper floor.





(4) Barrel [vaulted] roof

- a. The barrel vault must run perpendicular to the front building façade.
- b. The vault height shall not exceed _____ (one-half? Other?) of the vault's width.
- c. If a parapet is used to screen the vault from the street, the parapet shall not extend more than _____ feet above the barrel roof.
- d. Mechanical equipment shall be under roof.
- e. *Occupied space*—may be incorporated behind this roof type. If occupied space is incorporated, the height of the vault shall not exceed the maximum floor height permitted for an upper floor.



DIVISION 6. BONUS PROVISIONS

Sec. X. Bonus Offered for Certain Features. ²³

(a) If authorized within particular Frontage standards, a landowner may obtain a **bonus of** _____), by including any combination of the sustainable development measures listed in paragraph (b).

QUESTIONS:

- (1) What type of “credit” would best implement the City’s desired Affordable Housing or Urban Eco District objectives: **Additional Building Height in specified location(s)? Reduction of Open Area requirements? Other?**
- (2) What other, **or alternative**, features would be desirable as ones for which Bonus Credit would be available?

(b) Bonus credit will be given as follows, for certain features, design elements, uses, services or amenities desired by the city, as follows:

- (1) Credit of _____: for lots that front on existing dedicated or accepted public rights-of-way: dedication of additional public street right-of-way to the city, and construction of sidewalk or other public facilities, in accordance with the specifications for the applicable street typology.

²³ See SIA Plan (Dec. 2013) (pp. III-2, III-8, III-10 through III-12). State law authorizes the use of bonuses (benefits to developers) in return for specified features, design elements, uses, or amenities, see 15.2-2201 (definition of incentive zoning).

- (2) Credit of _____: for lots that front on the area depicted within the Regulating Plan as Open Space Frontage along the Pollocks Branch Greenway, dedication of land or a permanent easement to the city, _____feet in width, along such Frontage. Required documentation includes a deed of dedication or a deed of easement approved as to form by the city attorney's office.
- (3) Credit of _____: for buildings that will contain residential dwelling units having a total gross floor area equal to or greater than 1 FAR, if seventeen percent (17%) of the dwelling units, including those facilitated by additional building height, will be affordable dwelling units [consistent with Va. Code 15.2-2305]. Required documentation includes _____,
- (4) Credit of _____: certification of a newly-constructed or rehabilitated building through a green building rating system requiring review by an independent, third-party certifying body approved by the City's _____. Required documentation shall include (i) evidence of project registration, (ii) _____;
- (5) Credit of _____: demonstration that: (i) a newly constructed building will have an average 10 percent improvement over the energy code currently implemented by the USBC, or (ii) that a renovated building will achieve an average _____percent improvement over _____standards. Required documentation shall include _____;
- (6) Credit of _____: incorporate renewable energy generation on-site with production capacity of at least _____percent of the building's annual electric and thermal energy, established through a accepted building energy performance simulation tool approved by the City's _____. Required documentation shall include _____.
- (7) [Other?]

DIVISION 7. USES

Sec. 34-XXX. Uses

- (a) General regulations:
 - (1) A lot may contain more than one use.
 - (2) Each use shall be located within a permitted Frontage Type.
- (b) Table-X sets forth the list of uses permitted in the DE district ("Listed Uses")
- (c) Unlisted uses—
 - (1) *Unlisted similar uses*--If a use is not listed in Table-X but is similar in nature and impact to a permitted use, then the NDS Director may interpret the use as being permitted. An unlisted use interpreted by the NDS Director as being permitted, shall be subject to development standards applicable to the listed use to which it's similar.
 - (2) *Unlisted dissimilar uses*--If a use is not listed in Table-X and is not interpreted by the NDS Director as being similar in nature and impact to a permitted use, then the unlisted use is prohibited.

(d) **Table-X:**

P=Permitted PU=Provisional Use		
List of Permitted Uses	General Urban Frontage	Neighborhood Frontage
Residential		
Occupancy, residential		
Homestay		
Home Occupation		
Civic		
General Civic		
Cemetery		
Retail		
General Retail		
Large scale Retail		
Service		
General Service		
Lodging, more than 5 rooms		
Residential care		
Vehicle staging and storage		
Office		
General Office		
Industrial		
Craftsman manufacturing		
Warehouse and distribution		
Transportation facility		
Infrastructure		
Utility and Infrastructure		
Communications facilities, not visible from adjacent streets and properties		
Public parking (see definition, following below)		
Open Space		
Accessory and Temporary Uses		
General accessory uses		
Temporary uses		

(e) **Description of Permitted Uses**—the following descriptions of the Listed Uses shall be applied by the NDS Director in interpreting the provisions of this section:

- (1) **Residential uses**—the terms *residential occupancy*, *homestay*, and *home occupation* shall have the meaning set forth in §34-1200.
- (2) **General civic uses**—uses related to fulfilling the needs of day-to-day community life, such as the following.
 - i. *Assembly*—organized services, meetings or programs to benefit, educate, entertain or promote discourse among residents, in either a public or private

setting; includes uses such as a community center; house of worship; clubs and lodges; concert hall; movie theater; events facility (for banquets, meetings, conferences, seminars, lectures).

- ii. *Health clinic*—a facility providing medical care or health services to individuals; emergency care clinics.
- iii. *Library, gallery or museum*—a facility open to the general public housing educational, cultural, artistic or historic information, resources or exhibits.
- iv. *Police/Fire/EMS*—a facility providing public safety and emergency services and related training; overnight accommodations for emergency service providers may be included.
- v. *School*—an educational facility with classrooms and offices; may include facilities for food service for students and staff.

- (3) **General retail**—a use involving the sale of goods or merchandise to the general public, for personal or household consumption. General retail uses typically found within the city are facilities that sell:

Antique & second-hand clothing	Farm produce; meat; seafood
Apparel & accessories	Florist
Art, education, or hobby supplies	Furniture & Home Furnishings
Artwork & crafts	Gift, novelty & souvenirs
Bakery	Groceries
Bicycle sales & repair	Jewelry sales & repair
Book, magazine & newspaper	Music & musical instruments
Camera & photo supplies	Office supplies
China & glassware	Optical goods
Cigarettes & cigars	Pharmacy
Computers & software	Stationery & paper goods
Convenience goods	Wine or liquor shop
Fabric & crafts	

- (4) **Large scale retail**—a general retail use that occupies floor area of more than square feet.

- (5) **General service**—a use involving the provision of services to individual consumers, and limited sales of products related to those services. Visibility and accessibility are important to these uses, as many patrons do not utilize scheduled appointments. General service uses typically found within the city are as follows:

Pet grooming, boarding, daycare	Locksmith
Banking & financial services	Mailing services
Beauty salon, barber	Photocopying & printing
Catering	Photography studio
Day care (child or adult)	Physical therapy
Dry cleaning; laundry	Restaurant
Events	Tailor, seamstress
Fitness, dance studio, gym	Theater
Framing	Training center (business)
Funeral home	Travel agency, tour operator

(6) **Lodging** shall have the meaning set forth in §34-1200. Lodging facilities offer sleeping rooms, with or without in-room kitchen facilities; rooms are accessed from within the interior of the building. Lodging uses typically found within the city include: *hotels and bed & breakfast facilities*.

(7) **Residential care**—a use in which sleeping rooms, with or without in-room kitchen facilities, are occupied by individuals who also receive supportive services. Residential care uses typically found within the city are as follows:

Residential treatment facility, more than 8 residents	Assisted living
Independent living	Nursing home

(8) **Vehicle staging and storage**—a use in which passengers are dropped off or picked up, and vehicles are temporarily parked while awaiting a return trip, as part of a valet parking or similar transportation service (such as limousine service, taxi service, etc.)

(9) **General office**—a use in which members and employees of a profession, service, industry or government transact any business or affairs; patrons typically have set appointments or meeting times. Office uses typically found within the city include:

Architecture, engineering, planning, surveying	Legal services
Business consulting	Management services
Construction contractor (home office only)	Medical/ dental office (with lab)
Charitable organization	Public relations, advertising
Chiropractic, alternative medicine	Property development
Computer programming and support	Radio and television studios
Detective and security services	Real estate brokerage and sales
Education services (tutoring, testing)	Recording and sound studios
Employment services	Research and development
Financial and insurance	Research agency
Governmental services	Veterinarian (companion animals)
Professional membership organization	

(10) **Craftsman manufacturing**—a use involving small-scale manufacturing, production, assembly and/or repair, with little or no external effects (sound, vibration, odor, smoke, etc.); may include associated offices and interior warehousing, but there is minimal distribution activity.

Apparel & finished fabrics	Furniture and fixtures
Bakery & confections	Glass
Beverages	Household textiles
Botanical products	Musical instruments & parts
Commercial-scale copying & printing	Pasta
Special trade contractors	Pottery, ceramics
Electronics assembly	Printing, publishing
Engraving	Signs & advertising
Electrical fixtures	Textile, fabric, cloth
Fabricated metal products	Upholstery
Film making	Woodworking
Footware	Jewelry, watches

- (11) **Warehouse and distribution**—a use involving large-scale indoor or outdoor storage and packing of goods—typically between the point of production and the market—and related distribution activities. The uses involve significant commercial truck traffic, busy loading bays and related offices.

Mail & parcel sorting & distribution
 Mail order house & warehousing
 Newspaper distribution

Packing & crating
 Recycling center (collection & sort)
 Tow or impound lot

- (12) **Transportation facility**—a use involving the transportation of passengers, which may include a station with offices, food and beverage service, and platforms for arrivals and departures, including bus or rail terminals. This use does not include any parking facilities, short- or long-term, either as a principal or accessory use.

- (13) **Utility and infrastructure**—uses serving the city's infrastructure needs, such as: electric, gas, water, and sewer services, and related service mains, service lines and other facilities; stormwater management facilities; public streets and related facilities; etc.

- (14) **Communications facilities** shall have the meaning set forth within 34-1200.

- (15) **Public parking**—a surface parking lot, or a parking area within a building or structure, in which at least _____ % of parking spaces are either (i) available to the general public for parking, or (ii) reserved for parking by uses which are not located on the same lot as such parking.

- (16) **Open Space**—a use of land for active or passive, public or private, outdoor space (open to the sky), including: parks, plazas, greens, playgrounds, community gardens.

- (17) **General accessory uses**—accessory use shall have the meaning set forth in City Code §34-1200

- (18) **Temporary uses**—a use of land that occurs only occasionally, or sporadically, and does not involve any ongoing, regular activity, but which is a type of use normally anticipated to occur from time to time as part of, or in locations proximate to, specific residential or commercial uses. Temporary uses are compatible (as to noise, traffic, hours of operation, and) with the principal uses adjacent to the location at which they occur. Examples of temporary uses typically found within the city are: bake sales; yard sales (associated with residential uses); special events; outdoor carnivals; arts or crafts demonstrations; outdoor festivals; construction staging; etc.

Regulating Plan | New Street Network



POSSIBLE RELATED CHANGES TO CITY CODE

CHAPTER 29 (SUBDIVISIONS)—FOR REVIEW AND DISCUSSION

29-161. Lots

(f) ~~Minimum~~ Street frontage.

(1) *Minimum requirement, lots created for residential use.* All lots containing any residential dwelling unit shall have a minimum frontage of fifty (50) feet at the street right-of-way, except:

(1) ~~a.~~ Lots fronting on the turnaround portion of a cul-de-sac shall have a minimum of twenty (20) feet of frontage, and an average width of at least fifty (50) feet;

(2) ~~b.~~ Lots containing single-family attached dwelling units shall have a minimum frontage of twenty (20) feet;

(3) ~~c.~~ Lots containing a townhouse shall have a minimum frontage of sixteen (16) feet; and

(4) ~~d.~~ Corner lots shall have such additional frontage as is required by the agent or commission to accommodate the side yard requirements set forth within the applicable zoning district regulations.

(2) *Downtown extended zoning district*—within the DE zoning district, lots shall comply with the following:

a. No lot shall have frontage on a cul-de-sac.

b. Other?

b. Lots fronting on streets assigned to the "Neighborhood A" street typology shall have the following frontage: X minimum and Y maximum; however, lots containing a single-family attached or townhouse dwelling shall comply, respectively, with (1.b.) and (1.c.), above.

b. The following frontage shall be required for a lot fronting on streets assigned to the "Downtown" and "Mixed Use B" street typologies: X minimum and Y maximum.

29-162. Streetscape Trees

(a) Sufficient areas shall be set aside on each lot for the plating of streetscape trees along the frontage of all existing or proposed public streets, in accordance with City Code section 34-870, as that section may be amended from time to time. This requirement shall not apply to a lot that fronts on a street that contains trees planted in a curbside buffer zone in accordance with the standards for an applicable Street Typology.

(b) Trees shall be planted according to the standards set forth outlined in the master tree list, referenced in Secs. 34-862, 34-863, 34-864, and 34-868 of the zoning ordinance.

Comment [RL19]: QUESTION: should there be a maximum lot frontage requirement for lots within the DE zoning district?

Sec. 29-163. Blocks

(a) Each block within a subdivision shall be wide enough to allow two (2) tiers of lots of the minimum depth allowed by applicable zoning ordinance regulations, fronting on all streets. The agent or commission may vary or grant exceptions to this requirement, pursuant to section 29-36 above.

(b) Where any block adjoins an arterial, minor arterial or collector street, the greatest dimension of the block should be parallel to such street.

(c) ~~No such~~ block shall ~~not~~ be more than:

(1) one thousand (1,000) feet in length, in any residential zoning district;

(2) X thousand feet, along any street assigned to the Industrial Street Typology;

(3) X hundred feet, along any street assigned to a Neighborhood (A or B) Street Typology;

(4) X hundred feet, along any street assigned to the Downtown or Mixed Use (A or B) Street Typologies; or

(5) X hundred feet, in any other locations.

(c) The agent or commission may vary or grant exceptions to the requirements of this section ~~this requirement~~, pursuant to section 29-36 above.

~~(c) No residential block shall be longer than one thousand (1,000) feet.~~

29-181. Coordination and extension of streets

(a) *Coordination.* All streets within and contiguous to a subdivision shall be coordinated with other existing or planned streets, and such streets shall also be coordinated with existing or planned streets in existing or future adjacent or contiguous to adjacent subdivisions, as to location, widths, grades and drainage.

(1) *Street names.* Where a street is planned as a continuation of an existing street, it shall bear the same name as the existing street. Street names must be approved by the agent. New street names shall be different from existing street names within the city or in Albemarle County, but an exception may be made for culs-de-sac which have the same name as the road from which they originate (example: "Rugby Circle" which originates from "Rugby Road").

(2) *Street signs.* The subdivider shall purchase and install, in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, all applicable street signs.

(b) *Extension.* All streets within a subdivision shall be extended and constructed to the abutting property lines, except in the case of culs-de-sac, to provide vehicular, bike and pedestrian interconnections to future development on adjoining lands in accordance with the Standards and Design Manual. Cul-de-sacs shall not be permitted, except within a low-density residential zoning district. The arrangement of the streets shall provide adequate access to adjoining lands within the subdivision ~~where necessary to provide for the orderly development of the~~ city, including, but not limited to, reserving temporary construction easements of sufficient area to accommodate the future completion of the street when the adjoining lands are developed.

(c) *Exceptions.* The agent or commission may vary or grant exceptions to the requirements of this section ~~subsection (a).~~

(1) The agent or commission reviewing a proposed variance or exception shall consider, in addition to the matters set forth in section 29-36: (i) the engineering requirements for coordination and connection; (ii) whether the need for coordination and connection outweighs the impacts on environmental resources such as streams, stream buffers, steep slopes, and floodplain; (iii) whether there is an alternative street connection

from another location in the subdivision that is preferable because of design, traffic flow, or the promotion of the goals of the comprehensive plan, including the applicable neighborhood plan.

(2) If the agent or commission grants a variance or exception: (i) the street shall be constructed past the point at which the primary structures on the lots abutting the street would rely on the finished grade for landscaping and other improvements, but in no case less than thirty (30) feet beyond the curb line or ditch line on those lots; (ii) the subdivider shall dedicate the required right-of-way to the abutting property line, along with all easements required to allow the street connection to be constructed in the future; (iii) the required easements shall prohibit any improvements being established therein; (iv) the subdivider shall provide a surety guarantee or an escrow of funds for its share of the cost to complete the extension if determined by the agent to be necessary; the type of surety guarantee or the escrow shall be acceptable to the city engineer and be approved by the city attorney; and (v) the agent may require that the subdivider install and maintain a sign at the end of the constructed portion of the street stating that the street is a future through street, and that the sign shall be maintained until the city grants final approval of an extension of the street to the abutting property.

(4-21-08(1))

Sec. 29-182. - Standards for streets and alleys.

The following standards shall apply to all streets and alleys within a subdivision:

(a) *Layout and construction.* All streets shall be constructed within dedicated public rights-of-way, in accordance with the Standards and Design Manual and, Tables 1-4 insert a summary table, adapted from STW (p.66). Each street shall be configured, to the extent practicable, to conform to the natural topography, to minimize the disturbance of critical slopes and natural drainage areas, and to provide vehicular, bicycle and pedestrian interconnections within the subdivision and existing or future development on adjoining lands. Streets that do not align with existing streets shall have an offset of no less than one hundred fifty (150) feet between centerlines, unless otherwise approved by the traffic engineer.

(b) *Intersections.* No more than two (2) streets shall intersect at any one (1) point; however, the agent or commission traffic engineer may vary or grant exceptions to this requirement pursuant to section 29-36 above. Intersections shall be laid out so as to intersect as nearly as possible at right angles.

(c) *Grades.* The maximum allowable street grade shall be eight (8) percent. The agent or commission traffic engineer may vary or grant exceptions to this requirement, pursuant to section 29-36 above, ~~to no more than ten (10) percent.~~

(d) *Surface.* Any newly constructed street shall be surfaced to the width specified in the Standards and Design Manual, measured from the face of the curb line or edge of pavement. The subdivider is required to complete the construction any new street improvements, including installing the final surface.

(e) *Temporary turnarounds.* Streets that terminate temporarily, and that (i) are located more than three hundred (300) feet in length from an intersection, or (ii) are proposed to serve more than four (4) single family detached dwelling units, shall be provided with a temporary turnaround. The temporary turnaround shall be extended to the abutting property line; however the agent or commission may vary or grant an exception to this requirement pursuant to section 29-36 above. The temporary turnaround shall exist until the street extension is accepted into the city's street system.

(f) *Alleys.* Alleys with a width of not less than twelve (12) feet may be provided at the in the rear or along the side of any ~~commercial, industrial, or residential~~ lots, ~~however, no dead-end alleys shall be permitted.~~ However, when the alley is the principal means of emergency access to a lot, or to any parking or loading areas, or access for service vehicles, they shall be no less than twenty (20) feet in width. No dead-end alleys shall be permitted. Newly constructed alleys shall be surfaced to a width of X, measured from YYY.

(g) *Reserved strips.* Reserved strips restricting access from adjoining lands to an existing or future street or alley shall not be permitted. ~~This shall not ; provided that nothing herein shall prohibit any landscaped areas for plantings and landscaping where if adequate access to the adjoining lands is otherwise available.~~

(h) *Access.*

- (1) The principal means of access to a subdivision shall be either a public street or, for townhouse developments pursuant to City Code section 34-388(b), a private street is permissible.

a. If a subdivision fronts on a dedicated, but unaccepted right-of-way, then the subdivider shall construct and improve such street in accordance with the requirements specified within this division.

b. Throughout the length of a street, including any distance between the boundary of the subdivision and any existing street, the principal means of access shall conform to standards articulated in the Standards and Design Manual.

(2) The principal means of access to a subdivision or other development within the Downtown Extended zoning district shall be a private alley, at least 20 feet in width, along the rear or side of a lot.

(i) *Drainage.* All drainage improvements shall be in accordance with the Standards and Design Manual.

(j) *Standards for construction of sidewalks and Related improvements.*

- (1) ~~Sidewalks and related public facilities shall be constructed in accordance with the Standards and Design Manual with public facilities and infrastructure within the dedicated right-of-way where required and, where applicable, the requirements of Tables 1-4~~ **insert a summary table, adapted from STW (p.66).**
- (2) Sidewalks shall be constructed to ~~approved city standards~~ on both sides of every new street. ~~The , and the dedicated right-of-way for a public street shall be sufficient to permit installation of the sidewalk within the right-of-way on both sides of such street.~~
- (3) Where land being subdivided or developed fronts on an existing street, and adjacent property on either side has an existing sidewalk, the subdivider shall construct a sidewalk, and shall dedicate land to the public for such sidewalk, to connect to the existing sidewalk. **New sidewalk construction shall be in accordance with paragraph (1), above.** On a residential lot or a lot containing at least one (1) residential unit, the subdivider or developer thereof may, in the alternative, choose to contribute to a sidewalk fund, maintained and administered by the city, an amount equivalent to the cost of the dedication of land for and the construction of a sidewalk on the property.
- (4) ~~The area in which a~~ Each sidewalk is proposed to be **constructed** ~~accepted for maintenance by the city shall be marked on a plat as being "dedicated to the city for public use.," and where practicable shall be located within the dedicated right-of-way for a public street. If the city and a landowner agree that circumstances make it impractical for the landowner to dedicate sufficient right-of-way for sidewalk improvements, the sidewalk may be constructed within an area of a permanent easement allowing a right of pedestrian and/or bicycle public passage. The agent or commission may require that a sidewalk proposed by the subdivider be privately maintained instead of being dedicated to the public, if the sidewalk will be constructed outside a dedicated public right-of-way agent or commission determines there is not a need for the sidewalks to be publicly owned and maintained. Each sidewalk proposed to be privately maintained shall be conveyed to a homeowners association or shall be the subject of a deed, recorded in the city's land records, establishing the landowner(s) that will have responsibility for other private individual or entity, for ownership and perpetual maintenance, and shall be located outside the dedicated right-of-way for a public street.~~

- (5) The agent or commission may vary or approve exceptions to the sidewalk requirements or other design standards that are the subject of this subparagraph. A request for a variance or exception may be made prior to or with submittal of a preliminary plat. If such a request is made, it shall include: a written statement of the justification for the request. In reviewing a request, the agent or commission shall consider, in addition to the factors set forth within section 29-36, and as may be applicable to the particular request: (i) whether a surface other than concrete is more appropriate for the subdivision because of the character of the proposed subdivision and the surrounding neighborhood; (ii) whether sidewalks on only one (1) side of the street may be appropriate due to environmental constraints such as streams, stream buffers, critical slopes, floodplain, tree cover, or wetlands, or because lots are provided on only one (1) side of the street; (iii) whether the sidewalks reasonably can connect into an existing or future pedestrian system in the area; (iv) whether the length of the street is so short and the density of the development is so low that it is unlikely that the sidewalk would be used to an extent that it would provide a public benefit; (v) whether an alternate pedestrian system including an alternative pavement could provide more appropriate access throughout the subdivision and to adjoining lands, based on a proposed alternative profile submitted by the subdivider; (vi) whether the sidewalks would be publicly or privately maintained; (vii) whether the waiver promotes the goals of the comprehensive plan, including the applicable neighborhood plan; and (viii) whether waiving the requirement would enable a different principle of the neighborhood plan to be more fully achieved.

REPORT:

CITY OF CHARLOTTESVILLE STANDARDS AND DESIGN MANUAL

BACKGROUND

On September 6, 2016, City Council adopted a Resolution “To Complete the City of Charlottesville’s Regulatory Framework Review and Revision such that it aligns with the 2018 Comprehensive Plan.” Since then, City staff has developed a work plan to update the City’s Standards and Design Manual (SADM) in order to incorporate components in the above mentioned resolution that are specifically related to the SADM. Listed below are components taken from the approved Work Plan to execute the Regulatory Framework Review and Revision resolution specific to the SADM:

- Component I. Immediate Action, A. Legal Review, iv. Review and development of supporting materials but not limited to: 1. Provisions of the Standards and Design Manual
- Component I. Immediate Action, C. Review and update of Standards and Design Manual so it will align with the STW Plan, which is now part of the Comprehensive Plan and; i. facilitate implementation of the STW Comprehensive Plan Addenda and, ii. Address zoning ordinance issues that relate to the inclusion of new streets and alleys such as block sizes, curb cuts, green infrastructure strategies, others

The following information outlines the approach, resources necessary, anticipated schedule and other options to complete the update of the City’s current SADM.

APPROACH

Component I.C. of the approved Regulatory Framework Work Plan requires a review and update of the Standards and Design Manual so it will align with the Streets That Work (STW) Plan to occur.

Component I.A.iv. of the Work Plan states the Legal Review will include provisions of the Standards and Design Manual.

To adequately address Components I.A.iv. and I.C. of the Regulatory Framework Plan, the proposed project scope accounts for a **complete** update of the entire SADM. Staff recommends this approach based off the following:

- The current SADM was developed in 2005 and has been an essential document used by City staff in development review. Over the years of its use, City staff has provided input on ways to improve this document and recognizes there are updates needed to reflect current state and federal guidelines and ensure alignment with Charlottesville’s vision.
- The bulk of the content within the STW Plan covers a majority of topics covered within the SADM (e.g. traffic, transportation, landscaping, lighting, stormwater, materials, construction)
- Staff believes this approach will provide the most comprehensive and up-to-date information that will benefit the development community as well as guide future City projects.

RESOURCES NECCESSARY

The Work Plan’s indicated deadline of December 18, 2017 will require the use of an outside consulting firm to perform a complete overhaul of the SADM. Use of a consultant will not only provide an extension of staff’s limited resources, but, more importantly, will allow access to a greater breadth of knowledge to ensure that the SADM is comprised of the most progressive standards and assembled in a manner that meets the quality expectations of the end user.

In an attempt to gauge the monetary impact of using a consultant for the SADM update, staff has reached out to various localities throughout the state of Virginia as well as private consulting firms who have

engaged in this type of work. Based on the information gathered, staff anticipates that this endeavor will cost in the range of \$175K-\$225K.

Attached is a draft scope to be included in an RFP to engage a firm in the needed services.

ANTICIPATED SCHEDULE

Also enclosed is an anticipated schedule that outlines staff's expectations of the consultant. The schedule outlines specific milestones and highlights the need to enlist the participation of numerous departments (Public Utilities, Parks and Recreation, CAT, Fire, Police and Environmental) to ensure that all relevant technical information and requirements are included. The schedule also includes two focus groups in the early stages of the SADM update. The first focus group would consist of developers and practitioners that will rely on this manual on a daily basis to inform the technical requirements that will be incorporated into a set of construction documents for any given development project. The second focus group would be with the Planning Commission, City Council, PLACE and the Code Audit Advisory Committee. The idea would be to separately engage both groups to collect data, concerns and requests, which will be considered in the update of the manual.

As the SADM update is occurring, the other components of the regulatory framework process will be moving forward concurrently. The SADM team plans to work closely with other staff to incorporate updates and relevant data that speaks to the other pieces of the regulatory framework and revision. As changes to current city code are identified during the SADM update process, the SADM team will deliver the identified changes to NDS staff working on code audit, where appropriate advisory groups will be involved in reviewing draft code changes.

OTHER OPTIONS

If it is the desire for the SADM update to occur in house without the use of outside resources, it is expected that the timeframe could be on the magnitude of 2 to 3 times as long. The estimated number of man hours to complete a comprehensive update of the manual is anticipated to be as much as 1,500 hours. This is based on a 12 month schedule for a consultant to perform the required tasks with at least one mid-level consultant member working solely on the update 50% of that time. This is exclusive of City staff hours that will already be required to work with the consultants, review draft materials and provide necessary feedback. To incorporate that amount of time into current staff schedules would only allow a few hours a week, at best, to focus on the design manual and would drag out the schedule, likely at the sacrifice of quality, with the potential for delay on other City projects, or normal day-to-day responsibilities.

Alternatively, if focus was given to incorporate only the specific items outlined in the STW Plan, the elements which are not updated would not correspond to the STW items which would result in inconsistencies. Even though the current manual was initially drafted in 2005 with no significant updates since that time, it was done as a full document and therefore all sections took into account the others. A partial update would require the need to repeat this process for the remaining elements with additional cost.

RECOMMENDATION

Staff recommends completing this project in the allotted timeframe and that monetary resources be allocated for consulting assistance for the attached scope of work.

REQUEST FOR PROPOSAL:

CITY OF CHARLOTTESVILLE STANDARDS AND DESIGN MANUAL

I. PURPOSE:

The purpose of this request is to acquire a proposal for professional services for the following tasks:

- A. Assist staff with revamping the current Standards and Design Manual (SADM). The updated SADM will be revised to incorporate staff comments, the newly adopted Streets That Work Plan and the Bicycle and Pedestrian Master Plan, and assembled in a more user friendly format and layout.
- B. Research other municipalities' SADM or Public Facilities Manuals as well as common design standards (VDOT, AASHTO, HCM, etc...) to determine any deficiencies in the current manual.
- C. Determine and resolve contradictions between the SADM and: 1) current City of Charlottesville code, 2) state/federal guidelines and 3) vision for the city as outlined in the Comprehensive Plan.
- D. Compile all necessary changes and update the SADM.
- E. Revise construction details.

II. BACKGROUND:

The current SADM was developed in 2005 and has been an essential document used by City staff in development review and implementation of capital projects. Over the years of its use, City staff has provided input on ways to improve this document and recognizes there are updates needed to reflect current state and federal guidelines. In addition, Neighborhood Development Services has been tasked by City Council to perform a Code Audit. Because the SADM and city code help to inform and support each other, updating the SADM is a key part in ensuring city code aligns with Charlottesville's vision and it was determined that now is the time to update the SADM as well.

III. STATEMENT OF NEEDS:

Project Intent

- A. To provide the City with a user friendly, referenced, SADM that will incorporate known and unknown deficiencies as well as update the manual for consistency with the comprehensive plan including Streets That Work Plan, Bike/Ped Plan and any other Comprehensive Plan documents.
- B. Use the SADM revision to help inform the Code Audit. Many of the updates that need to be made will require new sections of code to be written and/or old sections of code to be revised or completely removed. It is the intent of this process that those sections will be identified only. Actual revisions to the City Code will be performed separately.

General Project Scope

- A. Kickoff
 - 1. Review/familiarize with existing SADM, Streets that Work, bike/ped plan, draft outline, format, etc...
 - 2. Meet w/ NDS to review schedule, approach, formatting and draft outline
 - a. Revise draft outline as necessary
 - b. Discuss formatting/layout options
 - 3. Meet with City of Charlottesville Departments to discuss draft outline and needed changes
 - a. NDS

- b. Public Utilities
 - c. Parks and Rec
 - d. CAT
 - e. Fire
 - f. Police
 - g. Environmental
 - 4. Community Stakeholders Meetings
 - a. Meet with developers and design community
 - b. Meet with city boards/commissions (City Council, Planning Commission, PLACE, and the Code Audit Advisory Committee).
 - 5. Finalize outline and format/layout.
- B. Preliminary research
 - 1. Compare Existing SADM to surrounding municipalities and identify areas that are different or could be implemented in Charlottesville
 - a. Present differences to City of Charlottesville to determine what to keep, change or add
 - 2. Compare Existing SADM to other local documents and identify sections of the SADM that are not congruent with STW, bike/ped, and comp plan
 - a. Present differences to City with a plan to incorporate needed components of other City documents into the SADM
- C. SADM Text Revision
 - 1. Take agreed upon changes to SADM from preliminary phase and start final draft
 - a. Include references for each and every standard/section (ie. VDOT, AASHTO, HCM, etc...) and the version of said standard.
 - b. As updates are made, identify sections of current city code that need to be added/deleted/modified.
 - *Note: As changes to current city code are identified during SADM update process, the SADM team will deliver the identified changes to NDS staff working on code audit, where appropriate advisory groups will be involved in reviewing draft code changes.
 - 2. Present first draft to NDS/Development Review Team for comments
 - 3. Update per suggested comments
 - a. Provide list of city codes that need to be changed per 2.a.ii
 - 4. Final Deliverable Document Presented to City Council
- D. SADM Construction Details
 - 1. Update to existing City Details
 - 2. Add new details as needed.
 - 3. Include reference page for commonly used details from VDOT, DEQ, etc.

IV. **DELIVERABLES**

- A. Document addressing community stakeholders' comments/concerns
- B. Document highlighting current deficiencies with city vision/other manuals/standards
- C. Examples of possible layout for City to choose from
- D. First Draft
- E. Second Draft
- F. List of needed code changes
- G. Updated/new construction details
- H. Final document

V. **MEETINGS**

- A. Initial kickoff with different departments

- B. Community stakeholders meetings
- C. Monthly update meetings
- D. Presentation of possible SADM layouts
- E. Presentation of differences with other standards
- F. Presentation of final draft document

VI. **SCHEDULE:**

This project will need to provide a final draft document to Charlottesville City Council by December 2017. Please provide a schedule with your proposal detailing how this will be accomplished.

DRAFT

	Name	Duration	Start	Finish	Pre...
1	<input checked="" type="checkbox"/> RFP Bid	62 days	1/2/17 8:00 AM	3/28/17 5:00 PM	
7	<input checked="" type="checkbox"/> Project Kickoff	28 days	3/29/17 8:00 AM	5/5/17 5:00 PM	6
20	<input checked="" type="checkbox"/> Research	61 days	5/8/17 8:00 AM	7/31/17 5:00 PM	19
26	<input checked="" type="checkbox"/> SADM Text Revision	96 days	8/1/17 8:00 AM	12/12/17 5:00 PM	25
34	<input type="checkbox"/> Final	51 days	12/13/17 8:00 A...	2/21/18 5:00 PM	33
35	Final Draft presentation	1 day	12/13/17 8:00 AM	12/13/17 5:00 PM	33
36	Delivered to City Council	10 days	12/14/17 8:00 AM	12/27/17 5:00 PM	35
37	Possible Revisions	30 days	12/28/17 8:00 AM	2/7/18 5:00 PM	36
38	Adoption of final document	10 days	2/8/18 8:00 AM	2/21/18 5:00 PM	37

	Name	Duration	Start	Finish	Pre...
1	RF RFP Bid	62 days	1/2/17 8:00 AM	3/28/17 5:00 PM	
2	Finalize RFP	10 days	1/2/17 8:00 AM	1/13/17 5:00 PM	
3	Solicitation of RFP	20 days	1/16/17 8:00 AM	2/10/17 5:00 PM	2
4	Bids Recieved	1 day	2/13/17 8:00 AM	2/13/17 5:00 PM	3
5	Consultant Negotiation	30 days	2/14/17 8:00 AM	3/27/17 5:00 PM	4
6	Award Contract	1 day	3/28/17 8:00 AM	3/28/17 5:00 PM	5
7	Project Kickoff	28 days	3/29/17 8:00 AM	5/5/17 5:00 PM	6
8	Review existing SADM and Comp Plan Documents	15 days	3/29/17 8:00 AM	4/18/17 5:00 PM	6
9	Meet with NDS to review schedule/approach/formatting/draft ou...	1 day	4/19/17 8:00 AM	4/19/17 5:00 PM	8
10	Meet with City Staff Departments	1 day	4/20/17 8:00 AM	4/20/17 5:00 PM	9
11	NDS	1 day	4/20/17 8:00 AM	4/20/17 5:00 PM	9
12	PublicUtilities	1 day	4/20/17 8:00 AM	4/20/17 5:00 PM	9
13	Parks and Rec	1 day	4/20/17 8:00 AM	4/20/17 5:00 PM	9
14	CAT	1 day	4/20/17 8:00 AM	4/20/17 5:00 PM	9
15	Fire	1 day	4/20/17 8:00 AM	4/20/17 5:00 PM	9
16	Police	1 day	4/20/17 8:00 AM	4/20/17 5:00 PM	9
17	Environmental	1 day	4/20/17 8:00 AM	4/20/17 5:00 PM	9
18	Community Stakeholders Meeting	1 day	4/21/17 8:00 AM	4/21/17 5:00 PM	17
19	Finalize outline	10 days	4/24/17 8:00 AM	5/5/17 5:00 PM	18
20	Research	61 days	5/8/17 8:00 AM	7/31/17 5:00 PM	19
21	Compare Exist SADM to surrounding municipalities	45 days	5/8/17 8:00 AM	7/7/17 5:00 PM	19
22	Compare Exist SADM to STW/Bike Ped/VDOT/AASHTO	45 days	5/8/17 8:00 AM	7/7/17 5:00 PM	19
23	Create deliverable document of differences	5 days	7/10/17 8:00 AM	7/14/17 5:00 PM	22
24	meeting with staff to discuss differences	1 day	7/10/17 8:00 AM	7/10/17 5:00 PM	22
25	comments from staff	15 days	7/11/17 8:00 AM	7/31/17 5:00 PM	24
26	SADM Text Revision	96 days	8/1/17 8:00 AM	12/12/17 5:00 PM	25
27	Make revisions based on staff concensus	40 days	8/1/17 8:00 AM	9/25/17 5:00 PM	25
28	Appendicize and reference document with state/federal standards	25 days	8/1/17 8:00 AM	9/4/17 5:00 PM	25
29	Create document identifying possible code changes	5 days	8/1/17 8:00 AM	8/7/17 5:00 PM	25
30	Prepare updated City Details	30 days	8/1/17 8:00 AM	9/11/17 5:00 PM	25
31	Present First Draft to staff	1 day	9/26/17 8:00 AM	9/26/17 5:00 PM	27
32	Comments from staff	40 days	9/27/17 8:00 AM	11/21/17 5:00 PM	31
33	Revisions	15 days	11/22/17 8:00 AM	12/12/17 5:00 PM	32
34	Final	51 days	12/13/17 8:00 A...	2/21/18 5:00 PM	33
35	Final Draft presentation	1 day	12/13/17 8:00 AM	12/13/17 5:00 PM	33
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38	Adoption of final document	10 days	2/8/18 8:00 AM	2/21/18 5:00 PM	37

SECTIONS AND OUTLINE:

CITY OF CHARLOTTESVILLE STANDARDS AND DESIGN MANUAL

Chapter 1: Introduction

- A. Intent and purpose
- B. Definitions
- C. Abbreviations

Chapter 2: General site plan and design requirements

- A. Intent and Purpose
- B. Preliminary site plan requirements
 - 1. Application
 - 2. Checklist
- C. Final site plans
 - 1. Applications
 - 2. Checklist
 - 3. Technical Reports
- D. As-built surveys and As-built plans
 - 1. Guidelines
 - 2. Checklist

Chapter 3: Traffic

- A. Intent and Purpose
- B. Intersections
 - 1. Angle of intersections
 - 2. Spacing
 - 3. Minimum Radii
- C. Signals
- D. Signage
- E. Access management
 - 1. Entrance profile/grades
 - 2. Residential entrances
 - 3. Commercial entrances
- F. Traffic Calming
 - 1. Types
 - 2. Appropriate use of
 - 3. Design considerations
- G. Maintenance of Traffic Plans
- H. Traffic Impact Analysis and Traffic Studies

Chapter 4: Transportation

- A. Intent and Purpose
- B. General requirements
- C. Streets and Roads
 - 1. Road classification
 - 2. Design Requirements
 - a. Geometric design
 - (1) Grades
 - (2) Alignment

- (3) Curves
 - (4) Widths
 - (5) On-Street Parking
 - (6) Cul-De-Sacs and Turnarounds
 - (7) Clear zones
 - b. Typical sections
 - c. Pavement sections
 - d. Pavement marking
 - e. Names
 - f. Other design considerations
- 3. Streets that Work
- 4. Driveways
- 5. Minimum Street Improvements Required
 - a. Monuments
 - b. ROW requirements
- D. Alleys
- E. Shared Streets
- F. Streetscapes
 - 1. Green infrastructure
- G. Bicycle facilities
 - 1. Design Requirements
 - a. Geometric design
 - b. Pavement marking
- H. Curb and Sidewalks
 - 1. Minimum requirements
 - 2. Acceptable materials
 - 3. Installing around trees
 - 4. Reinforcement at intersections
- I. Trails
 - 1. Dimensional requirements
 - 2. Minimum requirements
 - 3. Acceptable materials
- J. ADA
- K. Emergency services (Fire, Police, etc.)
 - 1. Fire
 - a. Design requirements
- L. Charlottesville Area Transit (CAT)
 - 1. Provisions for bus stops
- M. Innovative Design Proposals

Chapter 5: Stormwater Management

- A. Intent and Purpose
- B. General Plan and Calculation Requirements
- C. Water quantity
 - 1. Preliminary requirements
 - 2. Final requirements
- D. Water quality
 - 1. Preliminary requirements
 - 2. Final requirements
- E. Best Management Practices and Low Impact Development
- F. Access for future maintenance

Chapter 6: Erosion and Sediment Control

- A. Intent and Purpose
- B. Narrative
- C. Plans
- D. Sequencing
- E. E&S Measures

Chapter 7: Environmental

- A. Intent and Purpose
- B. Stream buffers
- C. Pollution Control
- D. Energy usage/efficiency

Chapter 8: Bridges, retaining walls and other related structures

- A. Intent and Purpose
- B. Bridges
 - 1. Road bridges
 - 2. Pedestrian bridges
 - 3. Over roads
 - 4. Over waterways
- C. Box Culverts
 - 1. Hydraulic calculations
- D. Retaining Walls
 - 1. Plans and elevations
 - 2. Private vs. ROW
 - 3. Structural requirements
 - 4. Geotechnical requirements
 - 5. Wall aesthetics
 - 6. Foundation drains
 - 7. Notification of Changes

Chapter 9: Utilities

- A. Water
- B. Sanitary Sewer
- C. Storm Sewer
 - 1. Materials
- D. Gas
- E. Dry utilities (phone, cable, fiber and electric)
 - 1. Overhead
 - 2. Underground
 - a. Private vs. ROW
 - b. Plan requirement
 - c. Potholing and preliminary investigation

Chapter 10: Landscaping & Lighting

- A. Street trees
- B. Streetscapes
- C. Streets that Work
- D. Working around existing trees
- E. Approved plant species

- F. Lighting
 - 1. Street/road lighting
 - 2. Pedestrian lighting
 - 3. Electrical requirements

Chapter 11: General Materials and Methods of Construction

- A. Intent and Purpose
- B. Materials
 - 1. Concrete
 - a. Incidental vs. Structural
 - b. Mix requirements
 - c. Inspections
 - d. Testing requirements
 - 2. Asphalt
 - a. Mix requirements (VDOT)
 - b. Inspections
 - 3. Rebar
 - a. VDOT
 - b. Inspections
 - 4. Stone
 - a. Inspections
 - b. Testing requirements
 - 5. Soils
 - a. Inspections
 - b. Testing requirements
- C. Methods
 - 1. VDOT
- D. Design tolerances
 - 1. ADA Accessibility
 - 2. Road grades
 - 3. Pipe slopes
 - a. Sanitary
 - b. Storm

Chapter 12: Historic District

- A. Special requirements for roads, sidewalks, utilities, etc.

Appendices

- A. Tables
- B. Checklists
 - 1. Engineering Preliminary Plan
 - 2. Engineering Final Plan
 - 3. Erosion and Sediment Control Plan
- C. Details
- D. Specifications
 - 1. VDOT
 - 2. Utility
 - 3. Landscape
- E. References
- F. Etc.