

Agenda

**PLANNING COMMISSION REGULAR DOCKET  
TUESDAY, January 10, 2017 – 5:30 P.M.  
CITY COUNCIL CHAMBERS**

**I. Commission Work Session (Agenda discussion(s))**

*Beginning:* 4:30 p.m.

*Location:* City Hall, 2nd Floor, NDS Conference

**II. Commission Regular Meeting**

*Beginning:* 5:30 p.m.

*Location:* City Hall, 2nd Floor, Council Chambers

**A. COMMISSIONERS' REPORTS**

**B. UNIVERSITY REPORT**

**C. CHAIR'S REPORT**

**D. DEPARTMENT OF NDS**

**E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA**

**F. CONSENT AGENDA**

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - November 9, 2016 – Pre meeting and Regular meeting
2. Minutes - December 13, 2016 – Pre meeting and Regular meeting
3. Zoning Text Initiation – Historic Conservation District revision

**III. JOINT MEETING OF COMMISSION/ COUNCIL**

*Beginning:* 6:00 p.m.

*Continuing:* until all public hearings are completed

*Format:* (i) Staff Report, (ii) Applicant, (iii) Hearing

**No Hearings Scheduled**

**IV. COMMISSION'S ACTION ITEMS**

*Beginning:* upon conclusion of all joint public hearings

*Continuing:* until all action items are concluded

1. Entrance Corridor Review
  - a. 1170 Emmet Street – CVS
  - b. 1200 Emmet Street – Emmet St. Retail

**V. FUTURE MEETING SCHEDULE/ADJOURN**

Tuesday, January 24, 2017 – 5:00 PM	Work Session	Joint Meeting with Albemarle Planning Commission – Housing Report and Rivanna River report
Tuesday, February 14, 2017 – 4:30 PM	Pre- Meeting	
Tuesday, February 14, 2017 – 5:30 PM	Regular Meeting	Planning Commission Bylaws Planning Awards <u>Minutes</u> - October 25, 2016 – Work Session, November 30, 2016 – Joint Work Session

### **Anticipated Items on Future Agendas**

- Critical Slope Waiver – Seminole Square Shopping Center and Pepsi Bottling, CHS Track
- Rezoning – King Street
- Subdivision – Harmony Ridge

**Persons with Disabilities may request reasonable accommodations by contacting [ada@charlottesville.org](mailto:ada@charlottesville.org) or (434)970-3182**

**PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.**

**PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.**

**LIST OF SITE PLANS AND SUBDIVISIONS APPROVED ADMINISTRATIVELY  
12/1/2016 TO 12/31/2016**

- 1. Preliminary Site Plans**
- 2. Final Site Plans**
- 3. Site Plan Amendments**
  - a. T&N Printing Building (1125 East Market Street) – December 6, 2016
  - b. 833 Village Road Inlet – December 21, 2016
- 4. Minor Subdivision**
  - a. T&N Printing BLA (TMP 54-157 & 54-158) – December 1, 2016

Minutes  
PLANNING COMMISSION REGULAR DOCKET  
Wednesday, November 9, 2016 – 5:30 P.M.  
CITY COUNCIL CHAMBERS

**I. Commission Work Session (Agenda discussion(s))**

*Beginning:* 4:30 p.m.

*Location:* City Hall, 2nd Floor, NDS Conference

Members Present: Chairman Kurt Keesecker, Vice-Chair; Lisa Green, Commissioners Genevieve Keller, Jody Lahendro, John Santoski, Tanea Dowell and Corey Clayborne; UVA representative: Brian Hogg

Chairperson Keesecker called the meeting to order and asked Ms. Creasy to outline our procedures for this evening. There was a brief discussion on the time allowed for public hearing speakers. No changes from current procedure will take place at this meeting.

Commissioner Keller noted that she would like to initiate a review of the Planning Commission Bylaws. It was noted that she can do this during commissioner reports and review can occur in a work session setting. She also noted that the Commission may want to review the operating guidelines that past commissioners have signed off on.

It was communicated that joint meetings with City Council and the County Planning Commission should be included in scheduling. Ms. Creasy noted that she is currently working with the County Commission for a date for the next joint session.

**II. Commission Regular Meeting**

*Beginning:* 5:30 p.m.

*Location:* City Hall, 2nd Floor, Council Chambers

Members Present: Chairman Kurt Keesecker Vice-Chair; Lisa Green, Commissioners Genevieve Keller, Jody Lahendro, John Santoski, Tanea Dowell and Corey Clayborne; UVA representative: Brian Hogg

City Council Members: Councilors Bob Fenwick, Kathy Galvin, Kristin Szakos, and Mayor Mike Signor, Wes Bellamy, Vice Mayor

Staff: Missy Creasy, Heather Newmyer, Matt Alfele, Carrie Rainey, Mary Joy Scala, Brian Haluska, Carolyn McCray

Call to Order: The meeting was called to order by Chairman Keesecker at 5:30

**MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA FOR PUBLIC HEARING**

**Marilyn Philippi**, of Barboursville, VA, said she believes that by voting to allow biking at Ragged Mountain, the Parks and Recreation Advisory Board failed to take into account the great imbalance between recreational activities available for families and young adults and those for older adults aged 50-plus.

**Kaye Slaughter**, Former Charlottesville Mayor, pointed out that the land may be owned by the city but is entirely within Albemarle County. Joint city-county planning, which has not occurred in this case, should have been triggered. Ms. Slaughter said cycling trails should instead be built at the adjacent Hedgerow property, which was donated to Albemarle last year for future use as a park. She said Ragged Mountain is one of the only parks or natural areas dedicated to passive recreation and there are other places for cyclists to go. Ivy Creek and Ragged Mountain are places for solitude and quiet and for the experience of nature.

**Gene Phillippi** said he prefers to keep Ragged Mountain as the pristine natural area it is today but he also appreciates the importance of biking and supports additional biking trails. Biking transforms the experience significantly.

**Sam Freelick** said he referred to a map behind the commission and stated it could be mis-leading, saying those trails are permit cycling and he said clarifying that now; there is no biking permitted in the area at this time. He said look at the sign in the lower parking area that was put up by Parks and Recreation and it simply says no bicycles, take pictures, and leave only footprints and he hopes that's the way it continues.

**David White** said he appreciates the time and energies put into this and has worked with volunteers and appreciates the resources. He strongly urges you to make your recommendations to Council to maintain the Ragged Mountain natural area. 60-70 trails of mountain trails in the county do have bicycles allowed. The Hedgerow property is 300 acres, adjacent to Ragged Mountain and may be appropriate for biking.

**Dan Beeker** North Garden, VA, stated he would like to preserve Ragged Mountain. Bikes create another level of disturbance, and prohibit closeness to wilderness. Do we value wild habitat or want to sacrifice it to active use.

**Lee Politis** said I'm not advocating that cyclists and dog lovers should not enjoy Ragged Mountain, but I'm just asking that they leave their bikes and their dogs at home when they visit.

**Dede Smith** said some of us in this room were there when this was designated as a natural area and it was a cooperative arrangement between the County and the City to say we will have another quiet place. She said she doesn't think we will get another natural area because it wasn't easy. It has been protected for so long that we were adding another layer of protection to it at that time. It is really important that in all of our parks (50), biking is allowed in all but two natural areas but there are at least 10 public places where there are dedicated mountain biking trails. The balance illustrates the disruption to our options. This land was bought in 1885 and at that time the human activity was for a water supply and you have to protect it. The same thing happened in Sugar Hollow in 1925 and it was the last time that we actually created a Reservoir with watershed protection and ever since then there's been protection. Let's protect this last clean water source that we have.

**Lyn Willowick** Albemarle County, said he is tailgating on what Dede Smith had to say. He said what this comes down to is adding 6 more miles of biking trails in the area. We have all said how pristine all of this is for 6 more miles of biking trails. The Hedgerow property is owned by the county and the former owners opened it to bikers and dogs. Keep Ragged Mountain the way it is.

**Bill Shinker** 420 Brickwood Drive, Albemarle County, and President of the Board of Directors of the Edmond Forest Homeowners Association said there are 133 homeowners many of whom are cyclist as he is and would like to have trails nearby. He said we took a position to unanimously support the current usage of Ragged Mountain which is for hiking and fishing. He strongly urges you in your comments to City Council to delay changing the current usage of Ragged Mountain Natural area until such time as the City and County staffs can engage in a coordinated plan for the use of Ragged Mountain Natural area and the adjoining Hedgerow property. Once you allow bikes in Ragged Mountain Natural area, it will be difficult to take them away.

**Chris Gist** said Ragged Mountain's close proximity to the urban area would help encourage the number of people who ride. He said if we're really concerned about environmental issues in Charlottesville, what we need to do is get people out of their cars. The way we're going to get more people bicycling is to provide destinations for them from town. He said the mission of the Parks and Recreation department is to enhance the quality of life for all through the stewardship of public land.

**A. COMMISSIONERS' REPORTS**

**Commissioner Lahendro** reported he attended the Parks and Recreation Advisory Board meeting and that meeting was focused on the vote on the Ragged Mountain Natural area. Also at that meeting it was reported that the City received an \$82,000 grant from the Virginia Land Conservation Fund to plan for a land division next to Jordan Park and to convert it to a public park. The City has also received a \$100,000 grant from Bama Works for the proposed skate park. The city's Urban Forester position has been filled and he will begin work on Nov. 7<sup>th</sup>. The Planning and Coordination Council Technical Committee met on October 20<sup>th</sup>. The city provided updates on the HB2 Smart Scale Transportation Projects. It was pointed out that the Lexington High Street project has the highest priority right now even though they all have to be done in five years. The University recently reviewed master plans for Brandon Avenue and Ivy corridor. The University and the City expressed a desire to coordinate overlapping projects in the Ivy Corridor and Emmett HB2 projects. The Tree Commission met last week and he did not attend and there was no Housing Advisory Committee meeting.

**Commissioner Keller** reported that the TJPDC has done a lot of housekeeping items: revised the employee handbook, completed the annual audit, and they are in the process of reviewing the bylaws which is one of the things that made her think of the Planning Commission bylaws in conjunction with the mood of last night meeting which coincided with election day. She made a formal request to the Chair that we schedule a review of our bylaws because I don't think we have reviewed them since 2007 as a Commission. PLACE task force met today and she was not able to attend but understands they were deciding some guiding principles on Form Based Code that would inform the work session on November 30<sup>th</sup>.

**Commissioner Green** reported she has been deep into the CIP meetings. On November 2<sup>nd</sup> we had our Citizen Transportation Advisory Committee Meeting. We discussed the Smart Scale applications that went in at the end of September. The projects are in the screening and evaluation process and are waiting to be scored. She said before the election we knew how much money we were going to have but it remains to be seen as to how much money will actually be there. The Emmet and Barracks intersection pedestrian crossing makes it more pedestrian friendly. We need 29 million dollars for West Main and the City will fund 11 million and they have asked for 18 million from Smart Scale. It's time to begin the update to the Long Range Transportation Plan.

**Commissioner Santoski** reported he has a MPO Tech meeting next week and will be taking over for Mr. Lahendro on the Parks and Recreation Advisory Board.

**Commissioner Clayborne** reported the BAR met Oct. 18<sup>th</sup> and had a productive meeting. He highlighted one project: exterior steeple lighting at the First Presbyterian Church which is just a few blocks off of the Mall. He felt it to be a unique project since it was a lighting project and it will have nice imaging.

**B. UNIVERSITY REPORT –Brian Hogg no report**

**C. CHAIR'S REPORT – Kurt Keesecker no report**

**DEPARTMENT OF NDS** – Missy Creasy reported that November 30<sup>th</sup> is our joint session with Council and PLACE. We will be providing information on the resolution approved by Council on September 6<sup>th</sup> to outline 4-5 projects that need to be done within a limited timeframe. We will be providing data and background posing a number of questions. There will be a number of assignments to a variety of groups.

**Commissioner Green** said when Albemarle County has a large public hearing, they reserve the right for public comment to lessen the time from three minutes to two minutes to accommodate the massive amount of public comment. She said how can we say and advertise that if we have a massive amount of public comment on the same topic we may move it from 3 minutes to 2 minutes in the essence of getting through all of the public comments.

**Lisa Robertson** asked is that decided mid-meeting.

**Commissioner Green** said yes, she is an advocate for people getting a chance to speak, when they get there they say in the interest of time so we can get everyone heard from three minutes to two minutes.

**F. CONSENT AGENDA** (Items removed from the consent agenda will be considered at the end of the regular agenda)

**G. JOINT MEETING OF COMMISSION/ COUNCIL**

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

**SP16-00008 - Cedars Court Apartments - Management Services Corporation (MSC)**, owner’s agent for the property owned by 1228 Cedars Court, LLC has submitted an application seeking approval of a Special Use Permit (SUP) to allow residential density up to 55 dwelling units per acre (DUA) at property identified on City Real Property Tax Map 40B Parcel 4.5 (“Subject Property”). The zoning classification of the Subject Property is URB (Urban Corridor). Residential units are allowed by-right, including multi-family dwellings, at a density up to 21 DUA, and up to 64 DUA is allowed by SUP. The property has frontage on Cedars Court and contains approximately 0.348 acres or 15,159 square feet. The application proposes nineteen (19) units on-site (19 DUA / 0.348 acre = 55 DUA/ 1 acre). The general usage specified in the Comprehensive Plan for the Subject Property is Mixed Use.

Ms. Newmyer provided her report.

Council called their meeting to order

**Open the Public Hearing. No Speakers.**

**Closed the Public hearing**

**Commissioner Keller** said she spoke with Ms. Newmyer about adding 7<sup>th</sup> condition to add some visible directional signage to the trail that is referenced in attachment F.

**Commissioner Lahendro** asked do you know how many existing vegetation and trees along the creek are planned to be replaced.

**Ms. Newmyer** said she didn't think there were any being removed but the portion that they are cutting into is one. As part of their stream restoration they are going to have to fill in quite a bit more to meet the requirements. There are other things they are going to have to do to fully be a stream restoration versus a stream mitigation plan. There is going to be more vegetation provided to meet those requirements.

**Commissioner Keller** move to recommend approval of this application for a Special Use Permit to authorize residential development with additional density at TM 40B P 4.5, subject to the six (6) conditions presented in the staff report:

1. A vegetated curbside buffer having a width of at least three (3) feet but can be up to four (4) feet shall be established along the length of the Subject Property's frontage on Cedars Court not including the length of the driveway entrance.
2. Streets trees shall be planted in accordance with Sec. 34-870, the final number and type of tree will be reviewed and approved by Neighborhood Development Services Staff and the Utilities Engineer and the location, type and additional measures if warranted (e.g. root barriers) shall be depicted on the final site plan for the development prior to final site plan approval.
3. A sidewalk having a width of at least five (5) feet shall be established between the curbside buffer and the property line and run the length of the Subject Property's frontage on Cedars Court.
4. A portion of the northeast corner of the building will include a primary building entrance separate from the vehicular entrance that is transparent. The building entrance shall be visible from Cedars Court, where:
  - a. a continuous separated pedestrian connection is provided from the public right of-way to the building entrance facing Cedars Court
  - b. A dedicated space that is visible from Cedars Court is provided in the interior of the northeast corner of the building for bicycle storage facilities required per Sec. 34-881
  - c. The primary building entrance, pedestrian connection and number and location of bicycle storage shall be depicted on the final site plan for the development.
5. A stream restoration plan, consistent with natural channel design principles and practices, that will concurrently fulfill requirements of Sec. 10-75 shall be completed and included with submission of the proposed final site plan, at a level of detail satisfactory to the City Engineering Department, Public Utilities Division and Environmental Division.
6. No demolition of existing building(s) or improvements shall be commenced prior to approval of a final site plan and approval of a permit authorizing land-disturbing activities pursuant to Sec. 10-9. For purposes of Chapter 10 of the City Code, demolition activities shall be planned and built into the E&S and stormwater management plan (if required), as part of the overall development plan for the subject property, and no such demolition activity shall be undertaken as a stand-alone activity.

and an additional 7<sup>th</sup> condition referencing visible trail access as shown in attachment F at with signage  
Seconded **Commissioner Clayborne**, motion passes 6-0

**2. SP16-00009 - 1713 JPA -Piedmont Development Group, agent for Property Owner Alpha Kappa Housing Corporation**, has submitted an application seeking approval of a Special Use Permit (SUP) for a fraternity house at 1713 Jefferson Park Avenue ("Subject Property"). The Subject Property is also identified on City Real Property Tax Map 16 as Parcel 10. The zoning district classification of the Subject Property is R-3 (Multifamily) with Entrance Corridor overlay. A fraternity house was established on the Subject Property in 1978, and has never been discontinued; however, the fraternity house is a "nonconforming use" because



current zoning regulations allow this use only with a Special Use Permit, per City Code 34-420. If an SUP is approved, the fraternity house will become a conforming use, as allowed by City Code 34- 1144(b)(1). Mr. Alfele provided his report.

**Open the Public Hearing. No Speakers.**  
**Closed the Public hearing**

**Commissioner Lahendro** move to recommend to City Council that it should approve SP16-00009 to grant Special Use Permit to allow an expansion of an existing boarding (fraternity or sorority) house at 1713 Jefferson Park Avenue, subject to the conditions and modifications recommended within the Staff Report dated November 9, 2016 Seconded by **Commissioner Green.** motion passes 6-0

**3. ZT16-00003 - (Woolen Mills Village Historic Conservation District)** – Proposed amendment to the text of the City’s Zoning Ordinance, Section 34-337 of the Code of the City of Charlottesville, 1990, as amended (Conservation Districts), to establish a new zoning overlay district to be named the “Woolen Mills Village Historic Conservation District.” The purpose of the proposed zoning overlay district is to promote the conservation of buildings and structures having an important historic, architectural, or cultural interest. Upon a property’s inclusion within this proposed overlay district, certain alterations and demolitions of existing structures on the property, and any proposed new construction on the property, will be subject to board of architectural review (BAR) as set forth within City Code Section 34-340.

**ZM16-0000A - (Woolen Mills Village Historic Conservation District)** – A proposed amendment to the Zoning District Map adopted and incorporated as part of the City’s Zoning Ordinance pursuant to Section 34-1 of the Code of the City of Charlottesville, 1990, as amended, to identify individual parcels of land for inclusion within a new overlay zoning overlay district named the “Woolen Mills Village Historic Conservation District,” referenced within the zoning text amendment ZT-16-00003.

The Woolen Mills Neighborhood Association has followed the path taken by groups in the Martha Jefferson and Venable neighborhoods to officially ask for a historic district.

**Ms. Scala** said the Woolen Mills Village has been central to the City of Charlottesville’s history since the opening of a milling operation there in 1829. As a company mill town, the brick and frame dwellings in a range of styles built during the mid-19th century through the early 20th century have come to define the village. She said for much of that time the village was within Albemarle County until being annexed by the city in 1968.

Properties within conservation districts are subject to consideration by the Board of Architectural Review for new construction or renovations to existing structures. That body also must give approval for any demolition of structures considered to contribute to neighborhood character. She said the intent of the historic conservation district is to identify and preserve buildings, structures and areas. Secondly, it is to protect a neighborhood’s scale and character, and third, to document and promote understanding of the neighborhood’s social history. The BAR recommended in September that the district be created.

**Open the Public Hearing**

**Bill Emory** said he was on the Planning Commission for a while and the 283 page text book that you all have this evening prepared by staff is really amazing. His favorite chapter in there is the one that was done by Ms. Scala and a whole bunch of Woolen Mills people. This represents a tremendous amount of community

engagement. There is a lot of history in there and a lot of resources for people in the future. He hopes you will find the proposed historic conservation district is in line with the purposes and intent of this ordinance. It is sited in the current Comprehensive Plan as Ms. Scala pointed out in her report. He hopes you will find it easy to recommend this to City Council.

**Kaye Slaughter** said she lives in the Woolen Mills neighborhood and she supports the Village Historic Conservation District overlay district to conserve our neighborhood for all of the reasons that Bill Emory mentioned. She said Bill Emory needs to be commended for single handedly educating people over the years and that has been very helpful. She hopes you will move forward with this designation.

**Jean Hiatt** President of Preservation Piedmont, and an architect in Charlottesville, said our group has assisted the city and neighborhoods designated for architectural design control districts in Charlottesville and the two existing conservation districts. We enthusiastically support this designation. We feel this will help the character; it is a very historic neighborhood and it also will work toward a very important goal in achieving neighborhood stability.

**Mr. John Frazee**, the president of the Woolen Mills Neighborhood Association, said only three property owners in the area opposed creation of the district. The owners have the additional zoning protection and design guideline benefits from the conservation overlay with very minimal restriction of their use of private property. This respects the history and integrity of the neighborhood while at the same time not necessarily becoming an onerous restriction for property owners. He said the overlay district will offer a starting point for any conversation about a small area plan that the neighborhood would like to conduct to guide its land use future. With so much to remember and so much to look forward to, the conservation overlay district will help preserve the Woolen Mills and help position it for the kind of growth and the kind of future that will benefit all residents of the city who use the natural resources and appreciate the history.

### **Closed the Public hearing**

**Commissioner Keller** said ever since I've been on the Planning Commission, the Woolen Mills has been coming to us to try to get a higher level of protection and interest in their neighborhood and I think this is long overdue.

**Commissioner Keesecker** said the purpose of the proposed zoning overlay district is to promote the conservation of buildings and structures having an important historic, architectural, or cultural interest. A total of 86 parcels will be in the district if City Council goes with the Planning Commission's recommendation.

**Commissioner Keller** said the district would allow property owners to apply for federal tax credits for historic preservation. Sometimes, people say that designating an area may make it less affordable but there are national and state statistics that show that sometimes the reverse can be true.

Motion by **Commissioner Lahendro**, to recommend that City Council approve this petition including ZT16-00003 and ZM16-0000A to rezone the properties included on the attached list of parcels and as shown on the attached map, by adding an Historic Conservation Overlay District designation as requested on the basis that the rezoning would serve the interest of public necessity, convenience, general welfare or good zoning practice and would meet the historic criteria section 34-336C further I recommend and that the contributing properties are the same as described in the attached map, seconded **Commissioner Green** to approved Woolen Mills as historic district, motion passes 6-0.

**4. ZT16-00004 – West Main Street Density** – A proposed amendment to the text of the City's Zoning

Ordinance, Sections 34-621 and 34-641 of the Code of the City of Charlottesville (1990), as amended. West Main Street Corridor Districts – these proposed text amendments to Sections 34-621 and 34-641 of the City Code would modify the residential density of development allowed by right in the West Main East (WME) Corridor and West Main West Corridor (WMW). Currently WME and WMW allow residential density of up to 43 DUA by right, and permit up to 200 DUA with a special use permit. The proposed amendments would allow up to 64 DUA by right, and up to 180 DUA by special use permit in the WMW, and would allow 120 DUA by special use in the WME Corridor, but no additional density by right. The general usage specified by the Comprehensive Plan for WME and WMW is Mixed Use. The West Main Street Corridor is within the City’s Urban Development Area (UDA), and the City’s Comprehensive Plan contemplates a minimum density of four (4) DUA within the UDA.

### **Open the Public Hearing**

**Jean Hiatt**, President of Preservation Piedmont, and an architect in Charlottesville, She is not sure what changes have been made but basically but she is asking that the density be kept at a minimum, as low as we can keep and definitely not 200 DUA.

### **Closed the Public Hearing**

**Commissioner Keller** said she expressed her appreciation to Councilor Galvin and Lisa Robertson, Deputy City Attorney for taking additional looks at this proposed amendment after it was before us last time. She said we all looked at it and knew it wasn’t quite right and by Councilor Galvin looking at the map; this is much more achievable. With the kinds of parcels we have on West Main Street this will help illuminate some of the problems we have had in the past.

**Councilor Galvin** said more development would be a good thing for the city's economy. She analyzed the economic impact of seven major properties along West Main Street and found that they only generated \$380,000 before development compared to \$3.3 million after development.

She said this is a way to get revenue without raising taxes and we were doing so well that it gave us the flexibility to step back and say maybe we can ratchet this down so we can preserve areas that we want to preserve.

People had a chance to voice their opinions during Wednesday night’s joint Charlottesville City Council and Charlottesville Planning Commission meeting. Councilors and city planners caution that development must be balanced and maintain the character of the city.

Motion made by **Commissioner Santoski**, to recommend to City Council to amend section 34-621 and 34-641 of the zoning ordinance to revised the maximum residential density regulations in the West Main Street corridors as presented in the text amendment advertised in the November 9<sup>th</sup> 2016 hearing because I find this amendment is required by the public necessity, convenience, general welfare or good zoning practice, seconded by **Commissioner Clayborne**, motion passes 6-0.

**5. ZT16-00005 – Water Street Corridor** – A proposed amendment to the text of the City’s Zoning Ordinance, Section 34-743 of the Code of the City of Charlottesville (1990), as amended. Water Street District Corridor – this proposed text amendment would require a 25-foot setback for all building facades fronting on Ridge Street and would require a minimum stepback of 15 feet after a maximum 45 of streetwall height along all lot lines adjacent to the South Street District.

## **Open the Public Hearing**

**Kaye Slaughter** said she lives in the Woolen Mills and noted when you were having the earlier meeting about West Main Street, her concerns are about that site and how it does look. There is a wonderful row of trees, green space, and this is low income housing now, but it is a beautiful place for people to live. She said thinking about it being more developed, maybe they will be doing that, but there ought to be other ways to do it to preserve the amenities that this excellent low income affordable housing project has and people who live there are able to enjoy nature right outside their door with some buffering from all that goes on along Ridge Street with the emergency vehicles. She said she hopes you will consider that and she appreciates the efforts that the Planning Commission has made to look at these issues.

**Jean Hiatt**, President of Preservation Piedmont, and an architect in Charlottesville, said it is 100 Ridge Street and it does effect the historic district which is a locally architecturally controlled district and she believes there is a 25 foot setback on Ridge Street, so she thinks that is appropriate. Also, remember the Planning Commission was gracious enough to move the Midway Manor property into a different district after they had requested that and many people wished that they hadn't though it is at a point where it is very high and so any building that is on it, a taller building would be quite massive and over-powering if it is built to its maximum. It is really nicely hidden away by a buffer of trees and there is a parking lot between the building and the streetscape. There are 7 historic homes on Water Street and she has spoken with four of the owners and they would all appreciate not having a new building there overpowering an important historic area of the city and so it should as much as possible have a nice setback in the area adjacent to South Street. She said 45 feet is pretty high and is pretty much a huge cliff and she would hope there would be a setback before 45 feet, but there should be a setback and she thinks they agree with that. Consider what it is going to feel like for the people that live in those buildings and what it looks like for the rest of the downtown neighborhood.

## **Closed the Public Hearing**

### **Council closed their meeting.**

Motion by **Commissioner Lahendro** to recommend to Council that it should amend section 34-743 of the zoning ordinance to provide the setback and setback regulations in the Waters Street corridor as presented in the draft ordinance provided by staff because I find that this amendment is required by the public necessity, convenience, general welfare or good zoning practice particularly the setback on Ridge Street to be 25 foot and Stepback on Waters Street to be 15 feet at 45 foot height, Seconded by **Commissioner Keller** ,( **Commissioner Santoski** voted no), motion passes 5-1.

**Presentation – Ragged Mountain** - Planning Commission could comment on a plan to allow cycling and running at the Ragged Mountain Natural Area.

**Brian Daily, Director of the Parks and Recreation Department** said a consensus is not required as part of the process, what we wanted to hear is your comments and thoughts and ideas about this project. The city recently took over management of the natural area from the Ivy Creek Foundation following the construction of a new dam at the Ragged Mountain Reservoir. After several months of study, the Charlottesville Parks and Recreation Advisory Board recommended, 6-2, in October that some trails in the natural area should be opened to cyclists. This recommendation was presented even though the city code does not require that the panel make a recommendation before the City Council makes a decision.

**Mr. Daly** said there would be no biking in the southwest corner of the property, where the most significant and sensitive plant communities have been discovered, adding that the commission's comments would be included with the advisory board's recommendation. He said the board recommended keeping dogs out.

**Commissioner Lahendro** is the Planning Commission representative on the Parks and Recreation Board and was one of the two votes against expanding uses at Ragged Mountain. He believes that the natural area is rare and very special as being one of only two surviving in the Charlottesville region. He defended those who want to keep Ragged Mountain for walking only. He said there is so much that is unknown by man about how ecosystems operate, to jeopardize a preserved natural area for human recreation because it 'belongs to all the people' is the worst kind of human arrogance and hubris. Our natural area belongs to all living things.

**Commissioner Santoski** agreed. He said the intent originally was that Ragged Mountain and Ivy Creek were to be natural areas, and while I think there could be some rationale for expanding mountain biking there, there are also a lot of other opportunities for mountain biking. Why do we want to rush into mountain biking at Ragged Mountain at this time?

**Commissioner Green** said opening the trails to cyclists would provide a destination for them to ride to. She said if this was an opportunity, I would use it and I would ride from my home and would not get in my car.

**Commissioner Green** said the Charlottesville Area Mountain Bike Club and the Charlottesville Area Trail Runners are two organizations that would exercise stewardship of the trails and surrounding land.

**Commissioner Keller** said the group should send a message to City Council that nature can help relieve stress and that the city should recognize that value for the community's psychological health. She said what we might differ on is how it's used and how intensely it should be used and leave no trace should be a guiding principle whether you're walking or biking or jogging. If there are too many traces, they should be closed down and allowed to rest for a while.

**Commissioner Keller** motioned to adjourn until the 2<sup>nd</sup> Tuesday in December.

MINUTES  
PLANNING COMMISSION REGULAR MEETING  
Tuesday, December 13, 2016

I. PLANNING COMMISSION PRE-MEETING (Beginning at 4:30 p.m.)

Location: NDS Conference Room, Charlottesville City Hall, 2nd Floor

Members Present: Chairman Kurt Keesecker; Commissioners Lisa Green, John Santoski , Jody Lahendro, and Corey Clayborne; UVA representative Brian Hogg

Members Absent: Genevieve Keller, Taneaia Dowell

Call to Order: The meeting was called to order by Chair Keesecker at 5:00 p.m.

Commissioner Green asked if the Ware Street area requested for closure will be needed in the future as it is part of Pollack's Branch area noted in the SIA plan for future stream day lighting. Context on the waterway was provided.

The Commission discussed the November 30 joint work session noting the assignments and potential needs for meetings to meet deadlines.

Chairperson Keesecker asked about moving the December 27th work session to January 3rd and 5 members in attendance were supportive. There was a brief discussion about ways to accomplish the assignments. Commissioner Lahendro asked what do we need to do and what are the components of the project. It is difficult to know if splitting into subgroups will work until we have outlined those questions.

Commissioner Green noted that an overview of the Council Resolution will be important.

Commissioner Santoski raised concern about breaking into groups noting that working on everything as one group would be time efficient. The Commission would need to find a way to be more comfortable with the process if there were subcommittees.

II. ADMINISTRATIVE AGENDA (Beginning at 5:30 p.m.)

Location: City Council Chambers, Charlottesville City Hall, 2nd Floor

Members Present: Chair Kurt Keesecker; Commissioners Lisa Green, John Santoski, Jody Lahendro, and Corey Clayborne; UVA representative Brian Hogg

Members Absent: Genevieve Keller, Taneaia Dowell

City Council Members: Councilors Bob Fenwick, Kristin Szakos, and Mayor Mike Signor,

Staff: Missy Creasy, Heather Newmyer, Martin Silman, Mary Joy Scala, Carolyn McCray, Lisa Robertson, Deputy City Attorney

Call to Order: the meeting was called to order by Chair Keesecker at 5:30 p.m.

A. Commissioner's Reports:

**Commissioner Lahendro** reported attending the Housing Advisory Committee meeting on November 16<sup>th</sup>. We had an update on the RCLCO housing study recommendations presented to City Council. This study was directed by City Council last February. He said he emailed Stacy Pethia, Housing Program Coordinator for NDS, and she indicated that she did make a presentation to Council with the recommendations and thought they would be coming to the Planning Commission in January for a presentation. Ms. Pethia will be looking for our feedback and City Council has asked her to evaluate the potential recommendations to help set priorities for investment implementation. There was a presentation and discussion for a proposed Employer Assistance Housing program for low and moderate income employees of the city. A subcommittee was formed to explore this and come back with recommendations. The Tree Commission met on December 6, 2016. The Charlottesville Tree Stewards gave a presentation on their activities including the tree planting project on the Monticello Drive median and South 1st Street. There was a discussion of the 2013 Comp Plan objectives relative to trees in preparation for the Tree Commission's participation in the 2018 Comp Plan. There was an extensive discussion on the proposed CIP and the reduction in funding for tree maintenance and planting line item.

**Commissioner Green** - no report

**Commissioner Santoski** said he did attend the MPO Tech committee meeting and it was a good meeting. He did not attend the Parks & Recreation committee meeting.

**Commissioner Clayborne** stated he was not able to attend the BAR meeting, but he does plan to attend the meeting on December 20, 2016.

B. **University Report—Brian Hogg** reported attending a good community meeting a couple of weeks ago as part of the planning process for the memorial to enslaved laborers at UVA. There were between 30-40 people who came and participated in the conversation. The Office of the Architect has hired 2 new Planners, a Senior Planner and an Assistant Planner who started in the last 2 weeks to help with land planning and construction projects.

C. **Chair's Report—Chair Keesecker** reported that on November 30<sup>th</sup> we all attended the Planning Commission, City Council and PLACE Task Force Joint meeting to talk about the Council's work plan for the coming year. There was a robust discussion and a tremendous agenda ranging from a discussion of form based code to resources that might be needed to consider the code audit to consultants that could help us with some of these endeavors. He said he felt like it was a productive meeting that gave us some direction but made him realize how much we have on our plate. As a result, we have been talking to staff about how we can organize

ourselves and tackle some of the things that we have been asked to accomplish. We will be trying to do that in January. We will have our own internal work plan as a result. The next day he was ask to attend a charette at the Ix Park to talk about the possibilities for a market place related to retail that would answer to a more permanent market, not really a Christmas or Flea market but almost like a retail incubator. He said there was a discussion about how some of the energy generated by the Ix Art Park could be translated over into some of the craft people that are working and how space might be provided and what character that would add to that space. It really didn't result in any drawings or deliverable, it ended up being a really interesting discussion and the people attending were from all walks of life including some of the tenants that are there now that operate businesses. He said Brian Haluska was there to add his expertise. He said it was fun and good to receive insight into some of the ideas that the folks from Ix have in mind for the future. He and Mr. Lahendro attended a Woolen Mills neighborhood meeting to talk about the conservation district proposal. There were a number of people who were concerned about that district and the implications for their property and their ability to change their property in the future. Melanie Miller, Tim Mohr, Mary Joy Scala and Justin Sarafin, members from the BAR were there to answer questions about how the conservation district actually works and the experience that was had in the Martha Jefferson neighborhood. It was nice to see the neighborhood working together to try to resolve those issues. On December 6<sup>th</sup> there was a presentation in the NDS conference room by the folks at Ix who invited a consultant from DPZ who are planning consultants who have a lot of knowledge about form base code. They invited the landowners in the SIA, primarily large landowners, CHRA, PHA, and the folks that own Ix along with a couple members from PLACE, Planning Commission, and City Council. It was an informational and question session for those present. It was mainly a form based code 101 presentation by Marina from DPZ. He learned that form base codes can be organized in many different ways either character zones, transect versus more street based and frontage regulations. The speaker talked about how the character zone organization of the formed based code had some advantages particularly in historic areas and areas our size. She said form based codes were not necessarily a flip the switch and it was all on or all off. There is a degree of formed based codes you could physically try to regulate the massing of the building and maybe the placement on the site all the way up to the number of openings and where the entrances are located all the way up to the materials and architectural style. He said he learned the degree from 1-10, we might feel that we want to be 1-2-3-4 for a certain zone but maybe in other areas you might dial it up to 10 and it didn't have to be one size fits all.

D. NDS Department Report: given by Missy Creasy, noting that the November 30<sup>th</sup> work session provided directions on the 4 agenda items. The next steps for the Planning Commission are the legal review and community engagement plan work for the next Comprehensive Plan review which will be coming to the next work session. Those will be moving forward working to accomplish the March deadline that has been provided for the next milestone. Council decided to move forward with funding for the Standards and Design Manual update. We have RFP information ready to go as soon as funding is provided. For the SIA phase one form based code, we have outlined from the November 30<sup>th</sup> meeting what we heard from the groups and we will be presenting that to Council along with some cost estimates that we have gathered from what other communities have done in order to implement a code. We are moving ahead with all of those projects. The SIA form based code portion is probably going to be on a bit different track than the resolution that we are working off of due to input provided on November 30<sup>th</sup> but



everything else remains on track with the resolution. Bill Fritz with the County informed us last week, concerning the Woolen Mills re-development project that they received 4 applications for zoning map amendments and SUP. At that point in time they had them in the office but they were still under evaluation and noted that as soon as they have some comments, they will provide those for us to review. That application included a rezoning request, a steep slope overlay modification, and special permits for residential within a commercial district and activity within the flood plain. On November 30 Legal Aid requested staff put together a zoning 101 session. We held that today and a variety of people came with different interests and different levels of knowledge of zoning and community planning. We started with 101 basics and the conversation evolved to a lot of different topics. We anticipate further requests from that group for educational opportunities.

**Commissioner Keesecker** said we have our work session on the 4<sup>th</sup> Tuesday of every month but because of the holiday we will move the work session into the new year to Tuesday, January 3 from 5-7.

A Motion was made by **Commissioner Santoski** to change the date of the work session and seconded by **Commissioner Green**, motion passes 5-0.

### **Matters by the Public**

**Lena Seville** –I think the Bicycle Pedestrian Advisory Committee should be two separate entities. There are some similarities between cyclists and pedestrians in the Comprehensive Plan but also a great many places where they diverge. Pedestrians have as much (or more) in common with the Tree Commission, ADA and CAT Advisory Board. The majority of BPAC members are cyclists, which means that the conversation focuses on cyclists and when there is a disagreement, the pedestrians are outvoted.

#### 1. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - September 13, 2016 – Pre meeting and Regular meeting
2. Minutes - September 27, 2016 – Work Session
3. Minutes - October 11, 2016 – Pre meeting and Regular meeting
4. Minutes - November 22, 2016 – Work Session
5. Site Plan – Aqua Car Wash

Motion by **Commissioner Santoski**, Seconded by **Commissioner Clayborne**, motion passes 5-0.

### III. JOINT MEETING OF COMMISSION/ COUNCIL

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

**Charlottesville Capital Improvement Program FY 2018-2022:** Consideration of the proposed 5-year Capital Improvement Program totaling \$89,743,542 in the areas of Education, Economic Development, Public Safety & Justice, Facilities Management, Transportation & Access, Parks & Recreation, Technology Infrastructure, Stormwater Initiatives and General Government Infrastructure. A copy of the proposed CIP is available for review at <http://www.charlottesville.org/departments-and-services/departments-a-g/budget-and-performancemanagement/fy-2017-2018-budget-development>.

The report was presented by Ryan Davidson, Office of Budget and Performance Management.

**Commissioner Lahendro** said this amount would not cover the cost of pruning and maintaining city-owned trees, nor would it allow for the planting of any new trees next year.

**Councilor Szakos** – Councilor asked about the Housing Funding amount being proposed.

**Mr. Davidson** said City Council increased the amount in the city housing fund and FY 2017-2021 year was projected to go back to 1.56 %, and we increased it 1.69 so technically it is a \$130,000 increase on those years from what was projected. He said there have only been two years where the full five years met the 2025 goal. Council has funding other priorities in other years. We can look at it and balance it along with our other needs as we move forward.

**Councilor Szakos** also asked about Belmont Bridge funding of 4.5 million.

**Mr. Davidson** said we have put in a 4.5 million dollar revenue sharing request with the State to match City dollars for a 9 million dollar total. If we don't get the revenue sharing grant from the state, we will still have this 4.5 million and at that point City Council will have to go back and have a discussion about what the bridge enhancements will be without full funding.

**Councilor Fenwick** asked is this the beginning and just an overview discussion tonight?

**Mr. Davidson** said this is the first draft of the City Manager proposal of the CIP and we have a Council work session scheduled for the 24<sup>th</sup> of January. We will discuss the CIP and debt and you will have a copy of the budget from the City Manager including the best proposed CIP. There will be an additional work session in March.

**Mayor Signor** what are the specifics about small areas plans?

**Mr. Davidson** said we set aside \$50,000 per year in the capital budget for small areas plans and it is a discussion for the Planning Commission and City Council to determine how to use that funding. The Mayor noted that he remembers Council saying that was not enough and Mr. Davidson said he will look into that.

Council called their meeting to order.

**Open the Public hearing. No speakers present.**  
**Closed the Public Hearing.**

**Commissioner Green** said the Planning Commission did not specify where the additional \$75,000 for trees would come from so she is reluctant to take away money from other capital improvement requests, particularly the city's contribution to the Charlottesville Affordable Housing Fund. She continued saying while she loves trees as much as the next person, she is having a hard time with saying trees are more important than affordable housing.

**Commissioner Lahendro** further stated that many Charlottesville tree plantings in recent years were part of highway construction projects funded by the Virginia Department of Transportation. Those projects are over, and the funding is gone.

**Commissioner Santoski** suggested that maintenance costs for the city's trees be classified as an operational expense for the parks department and separated from its annual capital improvement requests. He said the CIP is supposed to be for one-time expenses, and we are giving the impression that we are spending \$50,000 to plant trees every year.

**Commissioner Keesecker** – said he understands the hard work that goes into the committee work. He is hopefully for additional opportunities to underground utilities.

**Commissioner Lahendro --read on behalf of the Tree Commission:** The 2018 CIP proposal in front of us now includes \$50,000 per year for the Urban Tree Preservation and Planting line item. This represents a 60% reduction in Parks & Rec original request for \$125,000 to perform this work. The original request was carefully considered with input from the Tree Commission. This line item must cover maintenance and preservation of city owned trees that includes: 1) treatments for Emerald Ash Borer and Dutch Elm Disease (estimated at \$20K); 2) structural pruning and arboreal maintenance of downtown mall trees and Corner trees (estimated at \$25K); and, 3) arboreal maintenance of other city trees in parks, road right-of-ways, schools, etc. (estimated at \$30K). Proactively maintaining and preserving the City's existing trees alone will cost \$25,000 MORE than this CIP's total amount. Needless to say, there will be no funds available for planting new trees or replacing trees that are removed due to storm damage or age.

This news is especially disturbing coming on the heels of last year's Tree Canopy Study which found that Charlottesville experienced a canopy loss of 6.2% (roughly 420 acres) over the past ten years.

Parks & Rec was able to offset insufficient funding for City trees in recent years with the infusion of VDOT funding for the Parkway and Route 29 projects. That funding is now gone. The 2013 Comprehensive Plan's goal to "expand and protect the overall tree canopy of the City" cannot be achieved with the currently proposed CIP funding level. To simply maintain the City's current trees will require about \$75,000. To meet Tree Commission recommendations to plant 200 new trees per year, at a cost of about \$50,000, will require a total CIP funding level of \$125,000. I urge the Planning Commission and City Council to increase the Urban Tree Preservation and Planting CIP line item to \$125,000. To accept the proposed, much reduced CIP funding level is to knowingly decrease protection and maintenance of the City's existing trees and totally eliminate the planting of new trees. The City's tree canopy will continue to decline along with the health and financial benefits it provides to our community.

He said the city's parks and recreation department needs at least \$75,000 in capital improvement funding to preserve the city's existing tree canopy in the upcoming fiscal year. The Tree Commission recommended a total of \$125,000, which also would support the planting and maintenance of 200 new trees.

The Planning Commission recommended that the city raise its contribution to the Affordable Housing Fund by \$45,788 to keep pace with the City Council's 2025 Goals for Affordable Housing. The city's current proposal for FY2018, which begins July 1, matched this year's contribution of \$1,699,602. The Charlottesville Planning Commission has recommended that the City Council increase funding for tree preservation and planting by \$75,000. The draft budget reserves \$50,000 for urban tree initiatives.

**Commissioner Santoski** moved to accept the CIP as presented with the recommendations made by the Planning Commission and to pass the recommendations onto the City Council; seconded by **Commissioner Lahendro**, Motion passes 5-0.

Break - 10 minutes

**Street Vacation – Ware Street:** Consideration of the proposed vacation of a portion of an unaccepted street named Ware Street, off Stonehenge Avenue, originally platted in 1951 in Deed Book 159, page 113 in the Charlottesville Circuit Court Clerk's Office.

**Marty Silman**, City Engineer, provided a report.

**Mr. Lawrence Rogers**, on behalf of his brother, Charles Rogers, owner of a vacant lot in the 500 block of Stonehenge Avenue, has petitioned the City to close a portion of Ware Street Extended. This area is a dedicated, but unaccepted right-of-way at the end of Stonehenge Avenue. Ware Street Extended was created by subdivision plat recorded in 1951, but never accepted into the City street system. In 1976 Bertha Rogers, the owner of Lots 1 and 18 in this subdivision, successfully petitioned to have the southern portion of Ware Street Extended vacated, thereby adding half of that portion of Ware Street Extended (a strip of land 25' x 89') to Lot 1, currently owned by Charles Rogers, identified as Tax Map Parcel 27-114. Lot 1 originally had 35.83 feet of frontage on Stonehenge Avenue, an accepted street, making it a non-conforming lot. After the street closing in 1976, the lot measured 60.83 feet facing Stonehenge Avenue, but only 35 feet of it fronted on an accepted and improved street, falling short of the 50' of frontage required to build a home on the lot. Closure of this portion of Ware Street Extended would grant Rogers' lot an additional 50' of frontage on Stonehenge Avenue. Mr. Rogers has a potential buyer for the lot but only if it meets the City's requirement for a buildable lot.

**Commissioner Green** asked Lisa Robertson, Deputy City Attorney, when was it a requirement to have 50 feet of road frontage onto a right of way. Is it a requirement in the city for lots on paper streets?

**Ms. Robertson, City Attorney** explained the situation to the Commission: Lot 1 originally had 35.83 feet of frontage on Stonehenge Avenue, an accepted street, making it a non-conforming lot. After the street closing in 1976, the lot measured 60.83 feet facing Stonehenge Avenue, but

only 35 feet of it fronted on an accepted and improved street, falling short of the 50' of frontage required to build a home on the lot. Closure of this portion of Ware Street Extended would grant Rogers' lot an additional 50' of frontage on Stonehenge Avenue.

**Open the Public Hearing. No speakers.**  
**Closed the Public Hearing**

**Commissioner Clayborne** moved that we approve this proposed vacation of a portion of an unaccepted street named Ware Street with a 40 feet wide easement to sanitary sewer line and maintenance line; Seconded by **Mr. Lahendro**

**Commissioner Keesecker** amended the motion to include a pedestrian easement to allow for pedestrian access, seconded by **Commissioner Green**, motion passes 4-1 (one abstain Mr. Santoski).

**a. East McIntire Park – Heather Newmyer, City Planner**

The City of Charlottesville Parks Department, is requesting a waiver from Section 34-1120(b) of the City Code (Critical Slope Ordinance) to allow for improvements to East McIntire Park including the addition of trails, restrooms, pavilions, overlooks, a Visitors Center with an associated parking lot among other park features for public use. Improvements specific to areas where critical slopes would be impacted should the waiver be approved are shown on the Critical Slope Exhibit (Attachment 2) and include:

- The south side of the parking lot that supports the Visitor's Center
- A segment of the proposed boardwalk leading to overlook
- A segment of the proposed 10' wide multi-use path/bike trail north of park pavilion and children's play area

Based on the information presented within the application materials, staff verifies that the area for which this waiver is sought meets all of the above-referenced components of the definition of "critical slope".

**Staff Analysis:** Staff finds that the proposed park improvements will increase accessibility throughout the park and the overall plan to restore the majority of the park back to meadows and woodland will reduce stormwater runoff on-site. The engineering department agrees with this analysis.

**Staff Recommendation**

Staff finds the applicant's plan to restore the park back to a natural state will reduce stormwater runoff on-site and the proposed bio retention area that will serve the additional parking in the north section of the park will further aid in mitigating increased runoff. Staff believes the series of proposed improvements to the park that increase accessibility and provide for recreation activities for citizens is a public benefit. In conclusion, staff believes the minimal impacts to the critical slopes to provide for such improvements provide a benefit to the community that outweighs the benefit of leaving the slope undisturbed. Staff recognizes the proposed site plan implements the Concept Plan provided as part of the McIntire Park Master Plan approved by City Council on March 16, 2016. Staff believes the applicant does meet the criteria for a waiver of the critical slope ordinance and recommends approval of the waiver request.

**Commissioner Santoski** moved to recommend approval of the critical slope waiver for Tax Map 41, Parcel 1 and Tax Map 42 Parcel 6, East McIntire Park as requested, with no reservations or conditions, based on a finding that the public benefits of allowing the disturbance outweigh the benefits afforded by the existing undisturbed critical slope, per City Code 34-1120(b)(6)(d.i) Seconded by **Commissioner Green**, motion passes 5-0.

Gavel out of Planning Commission  
Gavel into the Entrance Corridor Review

#### **4. 1248 Emmet Street – Zaxby’s Restaurant**

The applicant is requesting approval of a certificate of appropriateness in an entrance corridor district to construct a 2,931 square foot one-story fast-food restaurant with drive-through window. Parking is provided for 35 cars including 2 handicapped spaces. The SUP requires at least two bike racks, each capable of storing at least two bicycles. The drawings have been revised since the preliminary discussion in October. After the COA has been approved, the Planning Commission may approve the site plan.

Mary Joy Scala provided the staff report including proposed conditions.

**Reid Murphy**, for the applicant noted that everyone has worked really hard on the process for this, we would like for you to strike the final condition proposed to have the light appear to be white lights at night. In a shopping center, a uniformed sign appearance throughout the shopping center makes sense. This is a stand-alone building in a corridor of stand-alone buildings each with its own individual branding like Arby’s, Bodos and Cook Out. To require this sign to be white at night, he is not quite sure where he sees that accomplishing a uniform appearance or is desirable. It is hard enough for them to compete on this straight of road with the restriction on operating hours and to ask them to sacrifice this corporate identity and branding. It seems a bit too much. He said there is a sign option, other than this, blue during the day and white neon tubing and backed by the white lights. Any change to that sign must be approved by corporate.

**Commissioner Lahendro** move to approve the Entrance Corridor Certificate of Appropriateness application for the new Zaxby’s fast-food restaurant with drive-through window at 1248 Emmet Street North, with Option 1 color scheme, and with the condition that channel letters will appear lit white at night Seconded by **Commissioner Clayborne**, motion passes 3-2.

Gavel out of Entrance Corridor Review  
Gavel back into Planning Commission

#### **Preliminary Site Plan**

**Commissioner Santoski** moved to recommend approval of the preliminary site plan for Zaxby’s with the condition that the certificate of appropriateness be reflected in the final site plan Seconded **Commissioner Green**, motion passes 5-0.

**Commissioner Santoski** Motion to adjourn to the second Tuesday in January. Adjourn 9:15 pm

**CITY OF CHARLOTTESVILLE**  
**DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES**  
**STAFF REPORT**



**REQUEST FOR INITIATION OF  
ZONING TEXT AMENDMENTS**

**PLANNING COMMISSION REGULAR MEETING**  
**DATE OF PLANNING COMMISSION MEETING: January 10, 2017**

**Author of Staff Report:** Mary Joy Scala, Preservation and Design Planner

**Date of Staff Report:** December 19, 2016

**Origin of Request:** Board of Architectural Review

**Applicable City Code Provisions:** 34- 41 Amendments to the Zoning Ordinance

**Initiation Process**

Whenever the public necessity, convenience, general welfare or good zoning practice require, the City Council may, by ordinance, amend, supplement, or change the city's zoning district regulations, district boundaries, or zoning district classifications of property. Any such amendments may be initiated by: (1) Resolution of the City Council; or (2) Motion of the Planning Commission. (See City Code §34-41(a), which is based on Virginia Code §15.2-2286(a) (7)). (A rezoning of a particular piece of property can be initiated by Council, Planning Commission, the property owner, owner's agent, or contract purchaser.)

If a person or group seeks to effectuate such a change, the amendment can be initiated by Council or Commission, as required by Code. In such an instance, an applicant will be given the opportunity at a regularly scheduled Planning Commission meeting to present their request, seeking a vote in favor of *initiating* the amendment. Initiating, in this context, is the action by which the Commission decides whether to begin a formal study on the proposal, or to decline the request.

**Discussion**

The Historic Conservation District ordinance was adopted on March 16, 2009 to create a second, less stringent type of local historic district to supplement the existing Architectural Design Control (ADC) District. A Historic Conservation District is intended to protect the character and scale of a historic neighborhood through required review of proposed demolitions and new construction, without imposing excessive requirements on the current residents who may want to remodel their homes.

There are currently two areas of the City with Historic Conservation District zoning in place: in Martha Jefferson Neighborhood and along Rugby Road in Venable Neighborhood. On July 12,

2016 the Planning Commission initiated a zoning text and map amendment to create a third Historic Conservation District in the Woolen Mills Neighborhood. A public hearing was held on November 9, 2016, when the Planning Commission unanimously recommended approval (6-0) to Council. The City Council has not yet held either of the two required readings.

Even before the currently proposed Woolen Mills District was initiated, the Board of Architectural Review (BAR) had been discussing needed changes to the ordinance language, in order to clarify what actions would require BAR review, and to add a section allowing administrative review. The pending Woolen Mills designation has made more pressing the need for clarity in the Historic Conservation District ordinance.

### **Standard of Review**

If initiated, the Planning Commission shall review and study each proposed amendment to determine:

- (1) Whether the proposed amendment conforms to the general guidelines and policies contained in the comprehensive plan;
- (2) Whether the proposed amendment will further the purposes of this chapter and the general welfare of the entire community;
- (3) Whether there is a need and justification for the change; and
- (4) When pertaining to a change in the zoning district classification of property, the effect of the proposed change, if any, on the property itself, on surrounding property, and on public services and facilities. In addition, the Commission shall consider the appropriateness of the property for inclusion within the proposed zoning district, relating to the purposes set forth at the beginning of the proposed district classification. City Code § 34-42

### **Appropriate Motions**

Staff supports the Board of Architectural Review's request for initiation of this zoning text amendment. The Planning Commission has the following options for moving forward:

- (1) Initiate the process by making a motion such as:  
  
"I move to *initiate* a proposed amendment to the city's zoning ordinance, to wit: amending Article II, Division 5. Historic Conservation Overlay Districts," or
- (2) Decline to initiate the process, by voting against such a motion.





**CITY OF CHARLOTTESVILLE**  
**DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES**  
**STAFF REPORT TO THE ENTRANCE CORRIDOR REVIEW BOARD (ERB)**

**ENTRANCE CORRIDOR (EC)**  
**CERTIFICATE OF APPROPRIATENESS**

**DATE OF PLANNING COMMISSION MEETING: January 10, 2017**

**Project Name:** 1170 Emmet Street North, CVS Pharmacy  
**Planner:** Mary Joy Scala, AICP  
**Applicant:** The Rebkee Company  
**Applicant's Representative:** Ashley Davies, Williams Mullen  
**Applicant's Relation to Owner:** Developer

**Application Information**

**Property Street Address:** 1170 Emmet Street North  
**Property Owner:** 1134 Emmet Street, LLC  
**Tax Map/Parcel #:** Tax Map 1, Parcels 4 and 4.1 (Online Records: 010004000 and 010004100)  
**Total Square Footage/Acreage Site:** 1.270 acres (CVS)  
**Comprehensive Plan (Land Use Plan) Designation:** Mixed Use  
**Current Zoning Classification:** URB Urban Corridor with Entrance Corridor (EC) Overlay  
**Entrance Corridor Overlay District:** §34-307(a)(1) Route 29 North from corporate limits to Ivy Road  
**Current Usage:** Three - one-story buildings formerly occupied by: ALC Copy Center, Anderson's Seafood Market, and Tavern Restaurant (buildings to be demolished).

**Background**

The ERB reviews Entrance Corridor Certificate of Appropriateness applications when the proposal is for new construction.

October 8, 2013 the ERB recommended (5-1) denial of a critical slopes waiver request on this site. The ERB then recommended (6-0) deferral of a Certificate of Appropriateness application for a four-story apartment building on the SE corner of the property. Commissioners noted this is an urban site; a gateway to the community; they preferred massing closer to the intersection; they noted the incongruous siting of the building and architecture. The public realm and pedestrian components should be addressed.

January 14, 2014 – The ERB granted the applicant a deferral on a revised plan for an apartment building and a mixed use building.

September 13, 2016 – Ms. Keller moved to defer this application so the applicant can address the revisions suggested by Ms. Scala and others. Green seconded the motion, which passed 7-0.

Commissioners noted major areas of concerns:

The pedestrian experience (interact with and enter building, NW corner is important, transparent windows, more canopy trees, separate sidewalk from curb,), respect and enhance Charlottesville character (brick and slate across street), siting issues (too much grade change, not parallel to Emmet Street), need references from this site to others on Emmet Street, do not turn back on residential areas.

### **Applicant's Request**

The current request is for approval of a certificate of appropriateness to construct a one-story pharmacy building with a drive-through window, and surface parking. The building is approximately 96' x 137' and varies in height from 23' - 4" on the low walls to 28' at the corner vestibules.

The current site rises from an elevation of approximately 441 at Barracks Road to approximately 455 at the Emmet Street entrance. The proposed plan shows the building having a finished floor elevation of 445, which is one foot higher than the existing ALC building at 443.9 feet. The area between the building and sidewalks is graded and landscaped. The sidewalks are now separated from Emmet Street by a five foot planting strip for street trees. There are now steps proposed from the sidewalk to access the NW and SW corners of the building. A short stretch of two foot retaining wall is proposed along Barracks Road near the drive-through. There is also a retaining wall along Emmet Street and the Emmet Street entrance drive, maximum five feet in height, which allows the parking to be depressed.

The vehicular circulation includes two, two-way entrances, off Emmet Street North and Barracks Road, which will eliminate multiple entrances currently serving this site. Additional right-of-way is being dedicated along Barracks Road for an east-bound right turn lane, and along both streets for an eight foot width sidewalk. The 30' maximum building setback along Emmet Street will allow room for the City to add a right turn lane off Emmet Street onto Barracks Road in the future, if warranted.

Proposed landscaping includes 13 street trees (Magnolia), interior trees (13 Zelcovas, 4 Sycamores, and 2 Nelly Stevens Hollies), shrubs, groundcover, mulch, and fescue lawn.

Building materials consist of Kurastone stacked stone (mortarless fiber cement panels); Nichiha Illumination Series (fiber cement panels in smooth finish, painted BM North Creek brown, and in Vintagewood textured finish, color cedar); STO Lotusan system (EIFS) in STO white; painted metal roof edge; unspecified storefront window, canopy and vestibule cornice materials.

Signage (red channel letters) is proposed on the north and west sides. The corner vestibules contain large red interior logo signs that are considered interior, and therefore, are not regulated.

## **Standard of Review**

The Planning Commission serves as the entrance corridor review board (ERB) responsible for administering the design review process in entrance corridor overlay districts. This development project requires a site plan, and therefore also requires a certificate of appropriateness from the ERB, pursuant to the provisions of §34-309(a)(3) of the City's Zoning Ordinance. The ERB shall act on an application within 60 days of the submittal date, and shall either approve, approve with conditions, or deny the application. Appeal would be to City Council.

## **Standards for considering certificates of appropriateness:**

In conducting review of an application, the ERB must consider certain features and factors in determining the appropriateness of proposed construction, alteration, etc. of buildings or structures located within an entrance corridor overlay district. Following is a list of the standards set forth within §34-310 of the City Code:

### **§34-310(1): Overall architectural design, form, and style of the subject building or structure, including, but not limited to: the height, mass and scale;**

The building is approximately 96' x 137' and varies in height from 23' - 4" on the low walls to 28' at the corner vestibules.

The building form is a rectangular box, with chamfered corners on the Emmet Street side, and a flat roof. The corner vestibules are taller than the wall, marking the two building entrances.

#### **Staff Analysis:**

A building of this height, mass and scale is appropriate in this location, if articulated appropriately. A multi-story building would add prominence to this important corner.

### **e§34-310(2): Exterior architectural details and features of the subject building or structure;**

The walls are fiber cement panels in different colors and textures. The two sign bands and the rear corners are white EIFS (Exterior Insulation Finishing System), with red channel letter signage.

Two main entrances are located in the faux-stone corner vestibules at the SW and NW corners. Each entrance has four doors with a canopy, and a full-height transom with interior logo signage.

The Emmet Street and Barracks Road elevations have 7' high windows with 5.5' high sill; the south elevation facing the side parking lot has 5' high windows with 7.5' sill, and 4' high windows with 8.5' sill, and the rear elevation has no windows other than the drive-through window with a canopy.

Two types of lighting are proposed on the building:

Downlights under the rear canopy at 9.3' height, and at the corner vestibules at 11.42' height;

and wall mounted lights on south and rear walls at 11.75' height..

Mechanical equipment will be screened on the roof with Envisor equipment screens.

**Staff Analysis:** The proposed contemporary design looks intentional for this corner location. The window sill height remains above eye level, but the two prominent corners are more welcoming to a pedestrian.

The main improvement to the building design is the main entrance located at the NW corner. The lighting is height-compliant, and appears to be dark-sky compliant. The regulated signage is height- and size- compliant. Staff recommends that the signage is lit white, consistent with the Barracks Road/Emmet Street area.

**§34-310(3): Texture, materials and color of materials proposed for use on the subject building or structure;**

The proposed building materials consist of:

- Walls: Kurastone stacked stone (mortarless fiber cement panels); Nichiha Illumination Series (fiber cement panels in smooth finish, painted BM North Creek brown, and in Vintagewood textured finish, color cedar); STO Lotusan system (EIFS) in STO white.
- Doors and Windows – unspecified storefront
- Canopies and Vestibule Cornice: unspecified materials
- Retaining walls: unspecified material
- Building Lighting: (Cut sheets) Spaulding wall lights; LF Illumination downlights; Gotham downlights.
- Site Lighting: (Cut sheets and lighting plan) (26) Spaulding pole lights Cimmaron LED mounted 12' height;
- Metal Doors: Painted SW San Antonio Sage

**Staff Analysis:** The building materials are unfortunately changed from mostly red brick to fiber cement and EIFS. This is a prominent intersection of two entrance corridors that lead to the University of Virginia and adjacent residential neighborhoods. The context is Barracks Road Shopping Center, with two corner banks located on the opposite side of the intersection that are constructed of brick and slate, with brick site walls. The red brick theme is carried throughout the retail complex.

The red brick is still recommended. Fiber cement is an appropriate material, but the imitation stone pattern is not appropriate. Stone is historically used in Charlottesville as site walls, not for building walls. EIFS should be avoided.

The windows should be specified with minimum 70 visible light transmittance (VLT).

The applicant should confirm that all lighting will be dark sky compliant when installed.

**§34-310(4): Design and arrangement of buildings and structures on the subject site;**

The site plan is generally compliant with City site plan regulations. The building has been pulled as close to the intersection as possible. The area between the building and sidewalks is graded and landscaped. The building siting is improved with stairs leading from the sidewalk to the two corner entrances. The street trees have been moved to a median between the sidewalk and the street along Emmet Street. The proposed trees are Magnolia, consistent with those on the other side of Emmet Street. The retaining wall is smaller along Barracks Road. Parking is located to the rear of the building, has been depressed, and has been coordinated with the strip mall parking.

**Staff Analysis:** The design and arrangement of the building on site is generally appropriate.

This is an auto-oriented use appropriately located on Emmet Street. The proposed parking layout and function are greatly improved from the existing conditions. Entrances have been combined, and the drive-through and parking lot have been well-designed. There is a good pedestrian path established through the parking lot. More thought has been given in this iteration to pedestrians' arrival at the building.

**§34-310(5): The extent to which the features and characteristics described within paragraphs (1)-(4), above, are architecturally compatible (or incompatible) with similar features and characteristics of other buildings and structures having frontage on the same EC street(s) as the subject property.**

**Staff Analysis:** The goals are to make the site function well for the users of this site and the entrance corridor, and to have an attractive development that is compatible with its surrounding context.

The site design will function as well as possible, given it is a by-right development, and existing roadway and traffic constraints. Compared to other buildings and structures having frontage on the same EC street, this site is very prominent and deserves a statement building. Staff has suggested changes that will make it more compatible with the corridor, but the ERB may have additional suggestions.

**§34-310(6): Provisions of the Entrance Corridor Design Guidelines.**

Relevant sections of the guidelines include:

Section 1 (Introduction)

The Entrance Corridor design principles are expanded below:

**• Design For a Corridor Vision**

New building design should be compatible (in massing, scale, materials, colors) with those structures that contribute to the overall character and quality of the corridor. Existing developments should be encouraged to make upgrades consistent with the corridor vision. Site designs should contain some common elements to provide continuity along the corridor. New development, including franchise

development, should complement the City's character and respect those qualities that distinguish the City's built environment.

- **Preserve History**

Preserve significant historic buildings as well as distinctive architecture from more recent periods. Encourage new contemporary design that integrates well with existing historic buildings to enhance the overall character and quality of the corridor.

- **Facilitate Pedestrian Access**

Encourage compact, walkable developments. Design pedestrian connections from sidewalk and car to buildings, between buildings, and between corridor properties and adjacent residential areas.

- **Maintain Human Scale in Buildings and Spaces**

Consider the building scale, especially height, mass, complexity of form, and architectural details, and the impact of spaces created, as it will be experienced by the people who will pass by, live, work, or shop there. The size, placement and number of doors, windows, portals and openings define human scale, as does the degree of ground-floor pedestrian access.

- **Preserve and Enhance Natural Character**

Daylight and improve streams, and retain mature trees and natural buffers. Work with topography to minimize grading and limit the introduction of impervious surfaces. Encourage plantings of diverse native species.

- **Create a Sense of Place**

In corridors where substantial pedestrian activity occurs or is encouraged, or where mixed use and multi-building projects are proposed, one goal will be creating a sense of place. Building arrangements, uses, natural features, and landscaping should contribute, where feasible, to create exterior space where people can interact.

- **Create an Inviting Public Realm**

Design inviting streetscapes and public spaces. Redevelopment of properties should enhance the existing streetscapes and create an engaging public realm.

- **Create Restrained Communications**

Private signage and advertising should be harmonious and in scale with building elements and landscaping features.

- **Screen Incompatible Uses and Appurtenances:**

Screen from adjacent properties and public view those uses and appurtenances whose visibility may be incompatible with the overall character and quality of the corridor, such as: parking lots, outdoor storage and loading areas, refuse areas, mechanical and communication equipment, Where feasible, relegate parking behind buildings. It is not the intent to require screening for utilitarian designs that are attractive, and/or purposeful.

- **Respect and Enhance Charlottesville's Character**

Charlottesville seeks new construction that reflects the unique character, history, and cultural diversity of this place. Architectural transplants from other locales, or shallow imitations of historic architectural styles, for example, are neither appropriate nor desirable. Incompatible aspects of franchise design or corporate signature buildings must be modified to fit the character of this community.

## Section 2 (Streetscape)

**Staff Analysis:** The street trees and landscaping will create a nice frontage and a comfortable place to walk.

Section 3 (Site):

**Staff Analysis:**

The site features are generally appropriate.

Section 4 (Buildings):

**Staff Analysis:**

The building design is generally appropriate but could be improved. Staff recommends incorporating red brick into the design, rather than fiber cement designed to look like faux stone.

Section 5 (Individual Corridors):

Route 29 North (Barracks Road to Ivy Road) Vision:

*Emmet Street has the potential to become more of an urban boulevard, with lively pedestrian activity and a greater mix and integration of uses. Both Barracks Road Shopping Center and Meadowbrook Shopping Center may redevelop with retail, office, hotels, housing, and structured parking. The attractive magnolia street trees along Emmet Street should be retained and new landscaping added to the streetscape as redevelopment occurs. There are opportunities for unified landscaping along the corridor that would help enhance the pedestrian connection. If possible, character-defining architecture should be incorporated into redevelopment plans. As the University redevelops its property on the southern end of the sub-area, including the University Arts Center, there may be opportunities to include student housing and community-related facilities in mixed use projects that front on Emmet Street.*

**Public Comments Received**

The Meadowbrook Neighborhood Association has participated with great interest in the site plan review.

**Staff Recommendations**

Staff has attached two images of CVS pharmacies in Gainesville, Florida and Williamsburg, Virginia.

Most of the objections listed below have been satisfied (noted with line struck through). Staff again recommends deferral, so that the remaining issues can be resolved before the entrance corridor certificate of appropriateness is approved.

1. Design the building so it is given the architectural attention that this site deserves;

- ~~2. In particular, give more importance to the NW corner of the building, and consider a corner entrance;~~
- ~~3. Make a better connection between the City sidewalk and the building, preferably at the corner;~~
4. All lighting should be 12' height maximum and should be confirmed as meeting the City's dark-sky requirements;
- ~~5. Consider replacing EIFS trim with a more sustainable material such as cultured stone;~~
6. Submit specifications for the clear glass in the windows. Consider dark aluminum storefront (windows and doors) with vertical orientation;
- ~~7. Verify that all mechanical units will be screened—submit screening design for rear;~~
8. The signage may be red during the day but it should be perforated type design that appears lit white at night;
- ~~9. Consider including some Magnolia trees in the site design to reference those on the other side of Emmet Street.~~

Staff recommends the following modifications to the current design (January 2017):

1. Incorporate red brick into the design as the predominant building wall material. Site walls should also be red brick. Eliminate the faux stone fiber cement.
2. Submit glass specifications for a minimum 70 VLT.
3. The wall signage should be lit white at night.
4. Confirm all lighting will meet dark sky requirements.

### **Suggested Motion**

1. "I move to defer the Entrance Corridor Certificate of Appropriateness application for the new CVS pharmacy at 1170 Emmet Street."

### **Alternate Motion**

1. "I move to approve the Entrance Corridor Certificate of Appropriateness application for the new CVS pharmacy at 1170 Emmet Street, with the following modifications.....".

### **Attachments:**

Two other CVS examples

- EC Application form (2 pages)
- CVS Project updates (1 page)
- CVS Review Package (8 pages)
  - Exterior Elevations color drawing
  - Planting Plan color drawing
  - Planting Notes and Details
  - Planting Schedule



Site Plan  
Grading Plan  
Lighting plan  
Lighting Cut Sheets  
Color perspectives (7 pages)  
Envisor equipment screen brochure (6 pages)



Gainesville, FL



Williamsburg, VA



**Entrance Corridor Review Application (EC)  
Certificate of Appropriateness**

Please Return To: City of Charlottesville  
Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.  
For a new construction project, please include \$375 application fee. For all other projects requiring EC approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.  
The Entrance Corridor Review Board (ERB) meets the second Tuesday of the month.  
Deadline for submittals is Tuesday 3 weeks prior to next ERB meeting by 3:30 p.m.

Owner Name 1134 Emmet Street, LLC Applicant Name Ashley Davies, Williams Mullen  
Project Name/Description CVS Pharmacy 1556 Parcel Number 10-40, 10-41  
Street Address 1138 Emmet Street, Corner of Barracks Road and Emmet Street 1-4; 1-4.1  
1170

**Applicant Information**

Address: 321 East Main Street, Suite 400  
Charlottesville, VA 22902  
Email: adavies@williamsmullen.com  
Phone: (W) 434-951-5725 (H) 434-409-9127  
FAX: \_\_\_\_\_

**Property Owner (if not applicant)**

Address: 455 Second Street, SE, 5th Floor  
Charlottesville, VA 22902  
Email: jos.hall@redlightmanagement.com  
Phone: (W) 434-245-4954 (H) \_\_\_\_\_  
FAX: \_\_\_\_\_

**Signature of Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Ashley Davies 3-9-16  
Signature \_\_\_\_\_ Date \_\_\_\_\_  
Ashley Davies 03-09-16  
Print Name \_\_\_\_\_ Date \_\_\_\_\_

**Property Owner Permission (if not applicant)**

I have read this application and hereby give my consent to its submission.

Andrew J. Dinkels 3/20/16  
Signature \_\_\_\_\_ Date \_\_\_\_\_  
Andrew J. Dinkels 3/20/16  
Print Name \_\_\_\_\_ Date \_\_\_\_\_

Description of Proposed Work (attach separate narrative if necessary):  
Construction of CVS store and upgrades to parking and site landscaping.

Attachments (see reverse side for submittal requirements):  
Building elevations with colors and materials, material board, 3-D model views, landscape plan, existing conditions.

**For Office Use Only**

Received by: \_\_\_\_\_  
Fee paid: 315.00 Cash/Ck. # 1620  
Date Received: 3/22/16

Approved/Disapproved by: \_\_\_\_\_  
Date: \_\_\_\_\_  
Conditions of approval: \_\_\_\_\_



## Entrance Corridor Review Application (EC) Certificate of Appropriateness

Please Return To: City of Charlottesville  
Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130 Fax (434) 970-3359

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The Entrance Corridor Review Board (ERB) meets the second Tuesday of the month.  
Deadline for submittals is Tuesday 3 weeks prior to next ERB meeting by 3:30 p.m.

Owner Name Meadowbrook Shopping Center, LLC Applicant Name Ashley Davies, Williams Mullen  
Project Name/Description CVS Pharmacy 1556 Parcel Number 10-40, 10-41  
Street Address 1170 Emmet Street, Corner of Barracks Road and Emmet Street  
*1170*

### Applicant Information

Address: 321 East Main Street, Suite 400  
Charlottesville, VA 22902  
Email: adavies@williamsmullen.com  
Phone: (W) 434-951-5725 (H) 434-409-9127  
FAX: \_\_\_\_\_

### Property Owner (if not applicant)

Address: 1754 Stony Point Road  
Charlottesville, VA 22911  
Email: cbwhandsur@aol.com  
Phone: (W) 434-249-8664 (H) \_\_\_\_\_  
FAX: \_\_\_\_\_

### Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

*Ashley Davies 3/9/16*  
Signature \_\_\_\_\_ Date \_\_\_\_\_  
Ashley Davies 03-09-16  
Print Name \_\_\_\_\_ Date \_\_\_\_\_

### Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

*Clara Belle Williams 3/21/2016*  
Signature \_\_\_\_\_ Date \_\_\_\_\_  
*Clara Belle Williams 3/21/2016*  
Print Name \_\_\_\_\_ Date \_\_\_\_\_

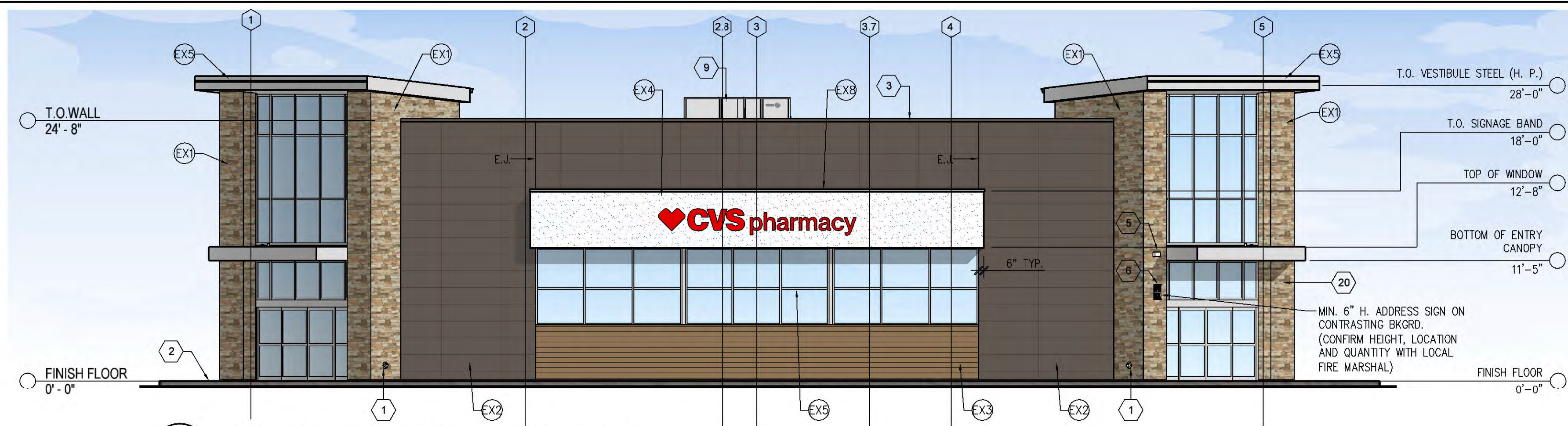
Description of Proposed Work (attach separate narrative if necessary):  
Construction of CVS store and upgrades to parking and site landscaping.

Attachments (see reverse side for submittal requirements):  
Building elevations with colors and materials, material board, 3-D model views, landscape plan, existing conditions.

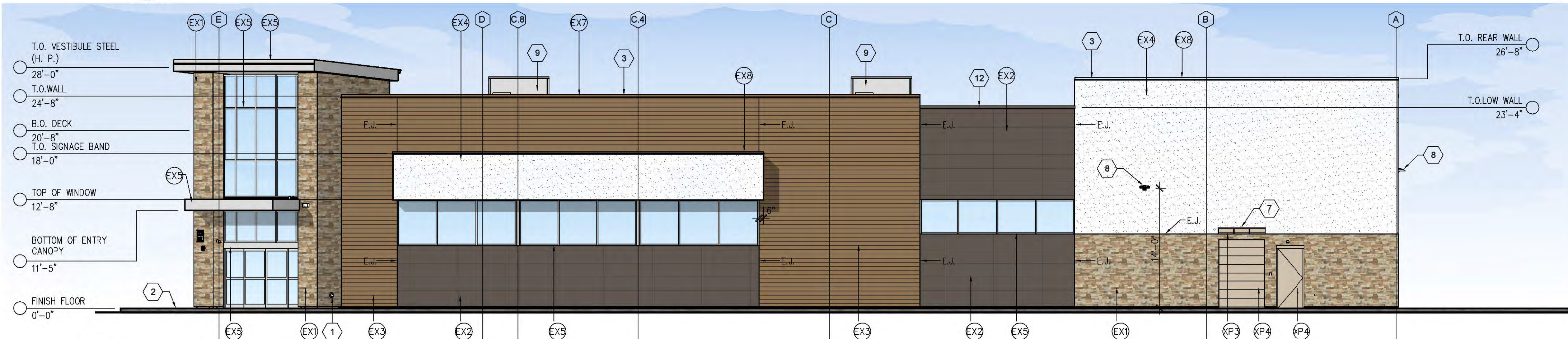
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Fee paid: \_\_\_\_\_ Cash/Ck. # \_\_\_\_\_  
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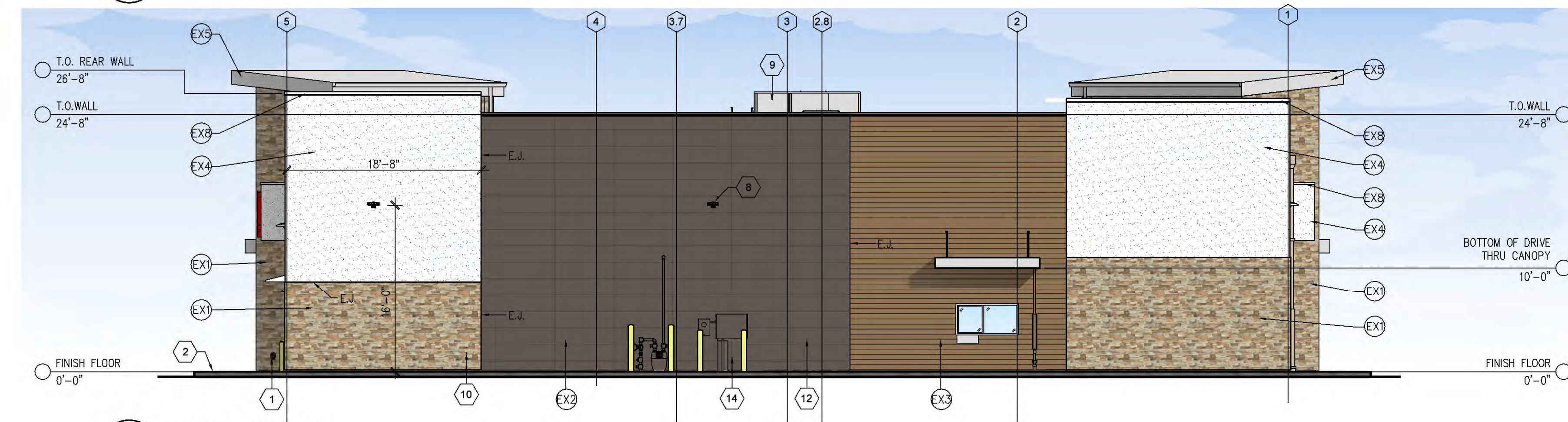
Approved/Disapproved by: \_\_\_\_\_  
Date: \_\_\_\_\_  
Conditions of approval: \_\_\_\_\_



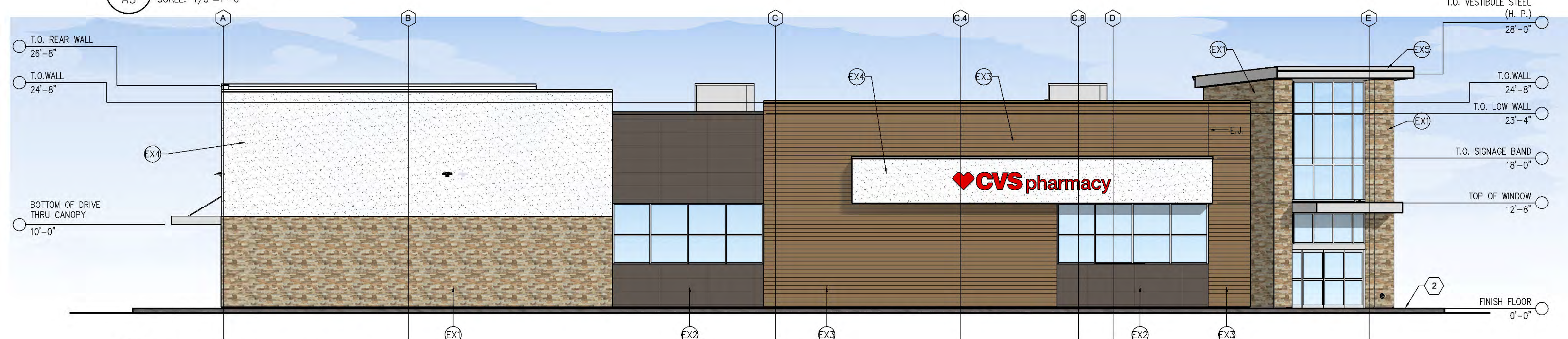
1 FRONT ELEVATION (EMMET STREET NORTH)  
A5 SCALE: 1/8"=1'-0"



2 RIGHT SIDE ELEVATION  
A5 SCALE: 1/8"=1'-0"



3 REAR ELEVATION  
A5 SCALE: 1/8"=1'-0"



4 LEFT SIDE ELEVATION (BARRACKS ROAD)  
A5 SCALE: 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE			
Material Mark	Material/Manufacturer	Material/Description	Sealant/Color
EX1	NICHIHA	STACKED STONE KURASTONE, COLOR: DESERT, FINISH: TEXTURED, SIZE: 6"H X 25-5/8"L	
EX2	NICHIHA	ILLUMINATION SERIES, SHOP PAINTED: BENJAMIN MOORE NORTH CREEK BROWN 1001, FINISH: SMOOTH, SIZE: 18"H X 6'-0"L CUT EDGES PAINTED IN FIELD TO MATCH - XP1	
EX3	NICHIHA	VINTAGEWOOD, COLOR: CEDAR, FINISH: TEXTURED, SIZE: 18"H X 10'-0"L	
EX4	STO	STO LOTUSAN SYSTEM, 191 STOLIT, LOUTUSAN 1.5, COLOR, 9433 80 STO WHITE	
EX5			
EX6	FIRESTONE	METAL ROOF EDGE, COLOR: PAINT, BM 1001 (4B) NORTH CREEK BROWN, FINISH: SATIN	
EX7	FIRESTONE	METAL ROOF EDGE, COLOR: PAINT, PPG CARAVEL BROWN 420-06 FINISH: SATIN	
EX8	FIRESTONE	METAL ROOF EDGE, COLOR: PAINT TO MATCH STO 9433 80 WHITE	
EX9	RE: SPECIFICATIONS	PLASTIC TO MATCH OSHA YELLOW	
XP1	BENJAMIN MOORE	PAINT, BM 1001 (4B) NORTH CREEK BROWN, FINISH: SATIN	
XP2	PPG	PAINT, PPG CARAVEL BROWN 420-06 FINISH: SATIN	
XP3	STO	PAINT, MATCH 9433 80 STO WHITE, FINISH: SATIN	
XP4	SHERWIN WILLIAMS	PAINT, SW 7731 SAN ANTONIO SAGE, FINISH: SATIN	

EXTERIOR KEYED NOTES	
#	Notes
1	DOWNSPOUT NOZZLE
2	APPROXIMATE FINISHED GRADE, RE: CIVIL
3	ROOF LINE, TYP.
4	STRUCTURAL COLUMN
5	LIGHT FIXTURE, RE: ELEC.
6	STORE HOURS PLAQUE
7	RAINHOOD
8	EXTERIOR WALL PACK LIGHT, RE: ELEC.
9	LINE OF RTU BEYOND
10	BOLLARD
11	
12	ELECTRIC METERING CABINET, RE: ELEC.
13	DRIVE THRU DOWNSPOUT
14	GAS METER LOCATION, RE: PLUMBING
15	COMPACTOR CHUTE DOOR - COORDINATE WITH COMPACTOR MANUFACTURER
16	PHARMACY ADVERTISING DISPLAY BOARD
17	OVERFLOW SCUPPER
18	DOWNSPOUT
19	DOWNSPOUT GUARD
20	KNOX BOX - WHERE REQUIRED BY JURISDICTION, PURCHASED FROM LOCAL FIRE DEPARTMENT, MOUNT PER FIRE DEPARTMENT REQUIREMENTS ON WALL ADJACENT TO ENTRANCE
21	3 1/2" FIBER CEMENTITIOUS CORNER TRIM BY MANUFACTURER, FINISH TO MATCH ADJACENT PANELS ON BOTH SIDES
22	FIBER CEMENTITIOUS CORNER KEY TRIM BY MANUFACTURER FINISH TO MATCH ADJACENT PANELS ON BOTH SIDES 1/4" PIECES TO BE FILLED PAINTED TO MATCH PANELS
23	DOUBLE GLANCE SEALANT BACKER BY FIBER CEMENTITIOUS MANUFACTURER, RUN PANEL TO SEALANT BACKER AND FILL CORNER JOINT WITH SEALANT

**CVS pharmacy**

13K\_RL\_REAR\_NO RHC  
RIGHT CHAMFER ENTRY  
REAR DRIVE THRU

STORE NUMBER: 1556  
N EMMETT ST & BARRACKS RD (SEC)  
CHARLOTTESVILLE, VA 22901

PROJECT TYPE: RELOCATION  
DEAL TYPE: FEE FOR SERVICE  
CS PROJECT NUMBER: 65209



1000 Commerce Park Drive  
Suite 201  
Williamsport, PA 17701  
Phone: 570.323.6603  
Fax: 570.323.9902  
www.larsondesigngroup.com

ARCHITECTS ENGINEERS SURVEYORS

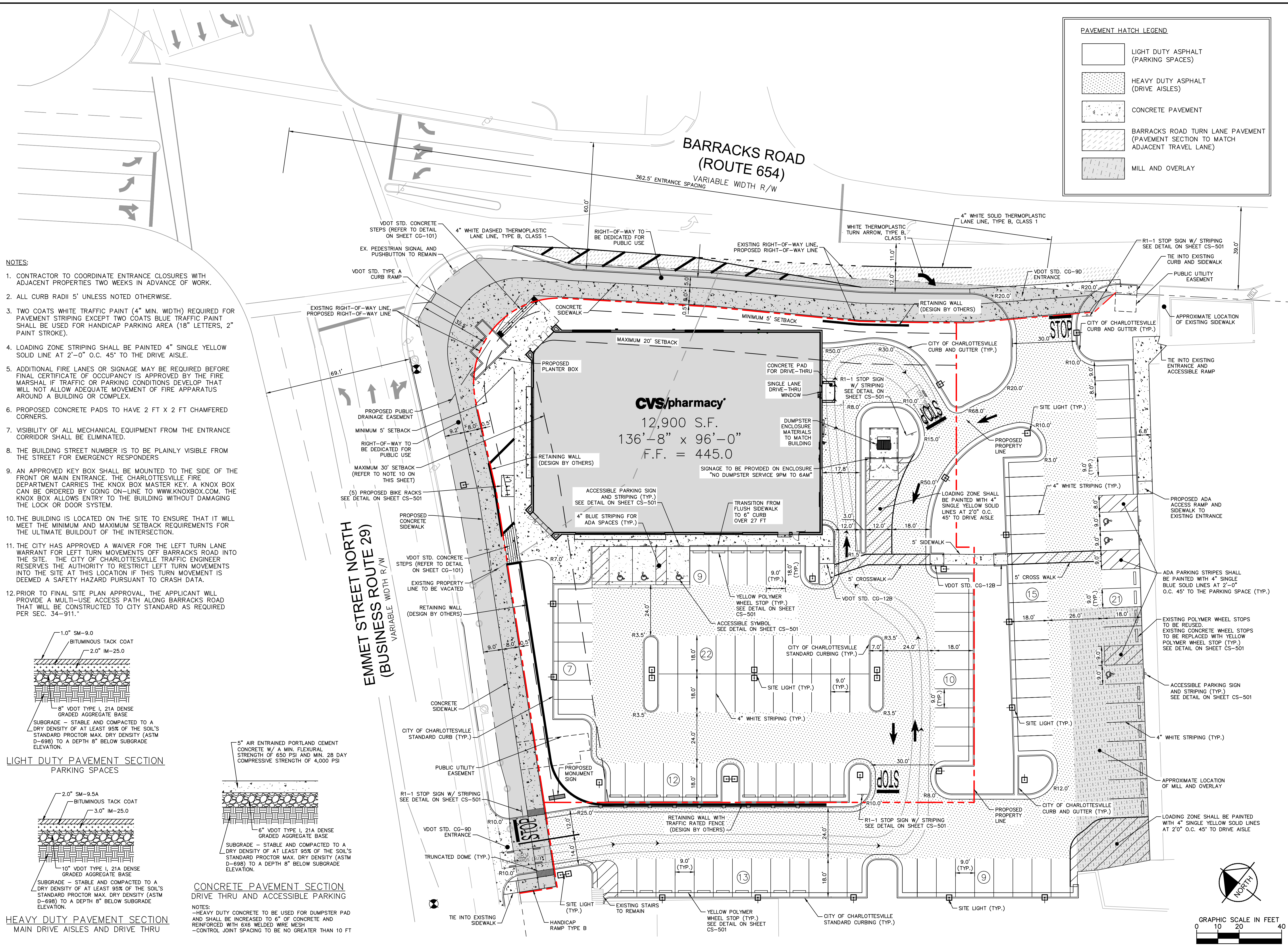
DEVELOPER:

THE REBKEE COMPANY  
15871 CITY VIEW DRIVE  
SUITE 300  
MIDLOTHIAN, VA 23113  
TEL: (804) 419-0740  
FAX: (804) 419-0759

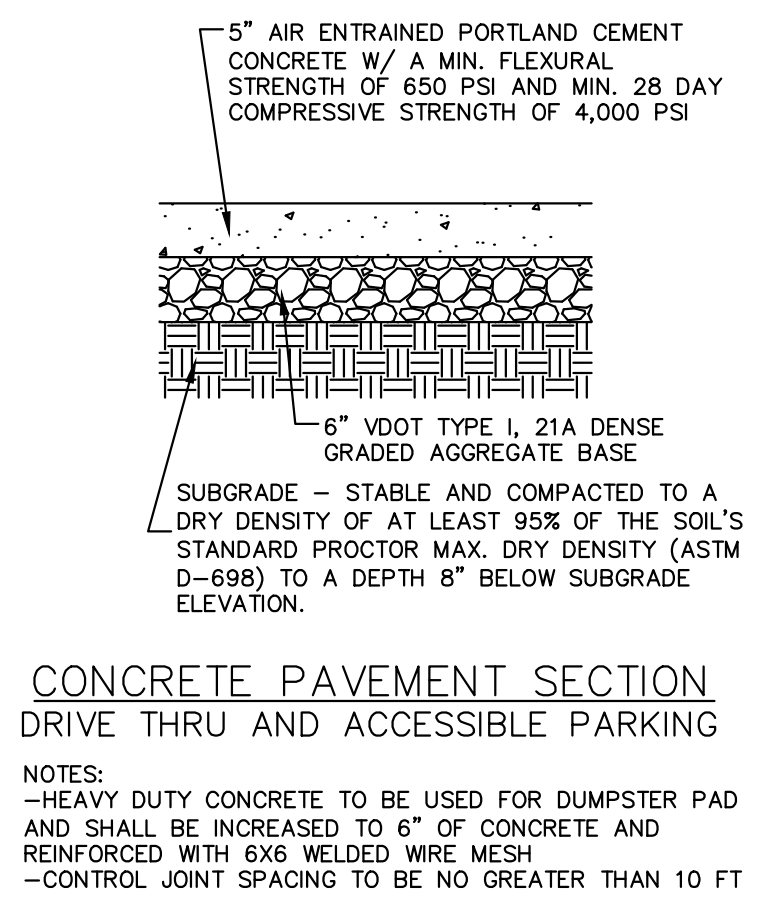
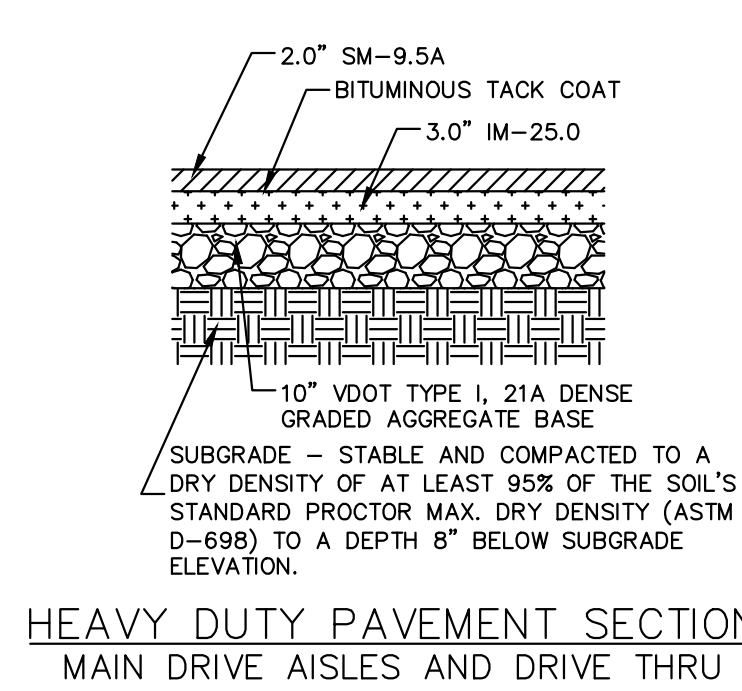
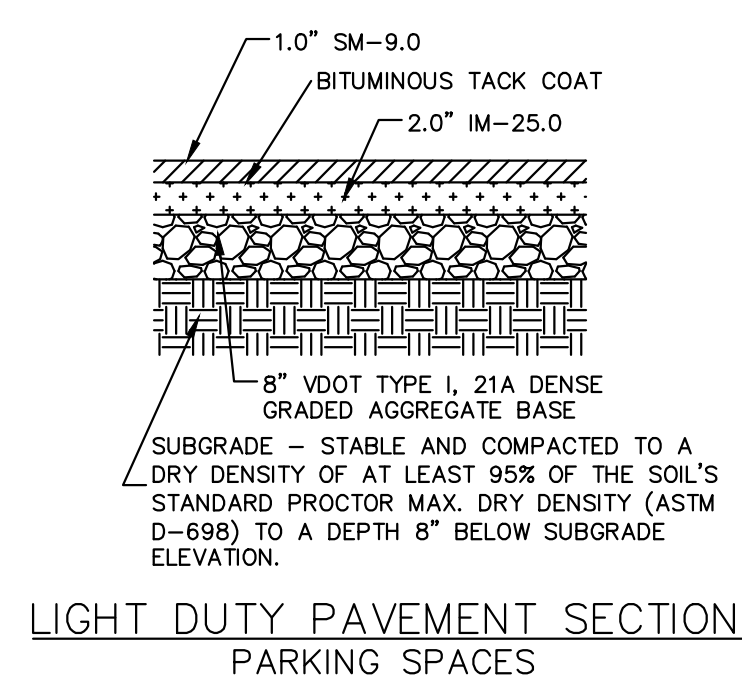
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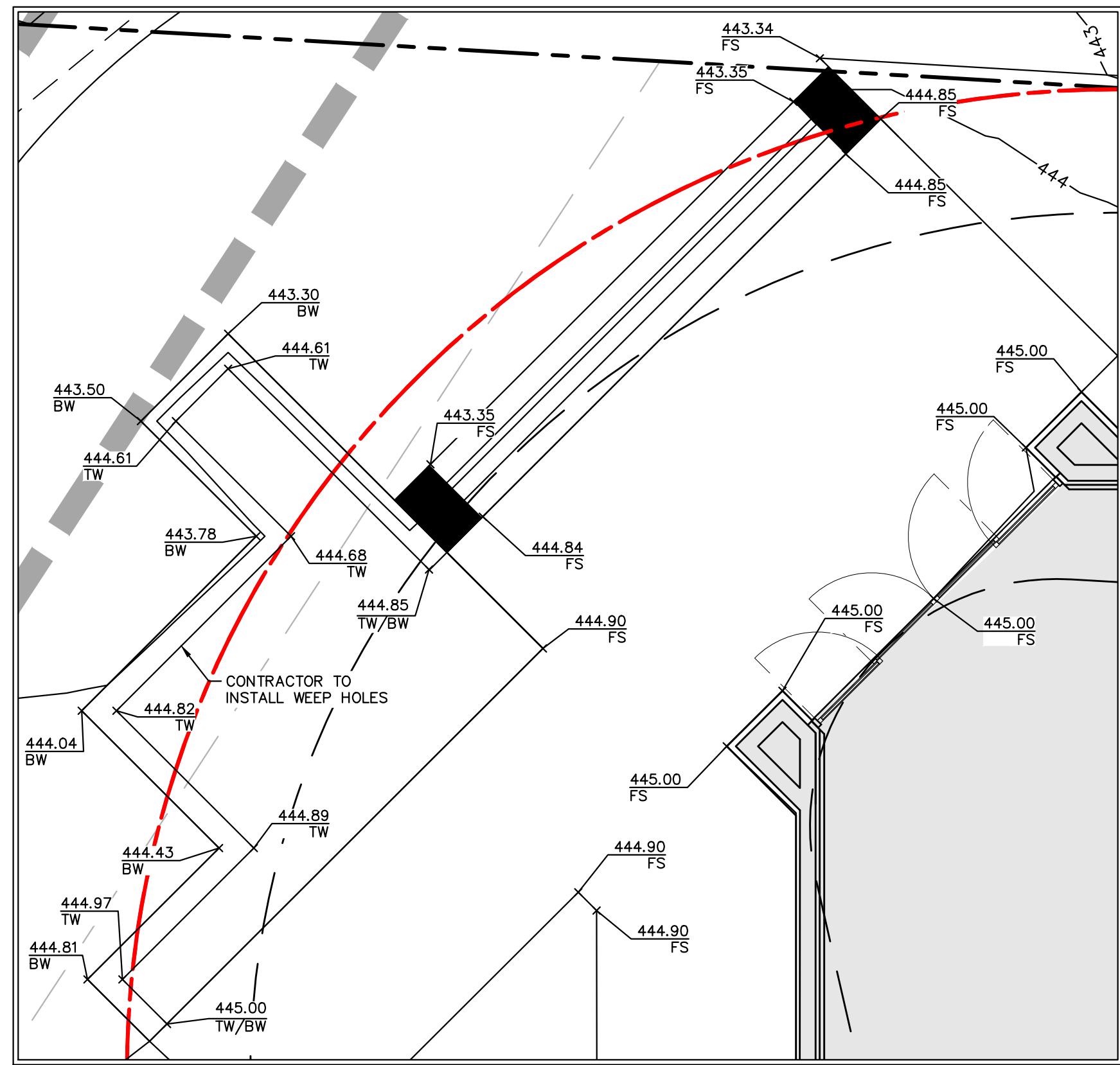
REVISIONS:


CVS PM: JJB  
DRAWING BY: JRL  
DATE: 26 OCT 2016  
JOB NUMBER: 6558-040  
TITLE: EXTERIOR ELEVATIONS  
SHEET NUMBER: A5c  
COMMENTS:

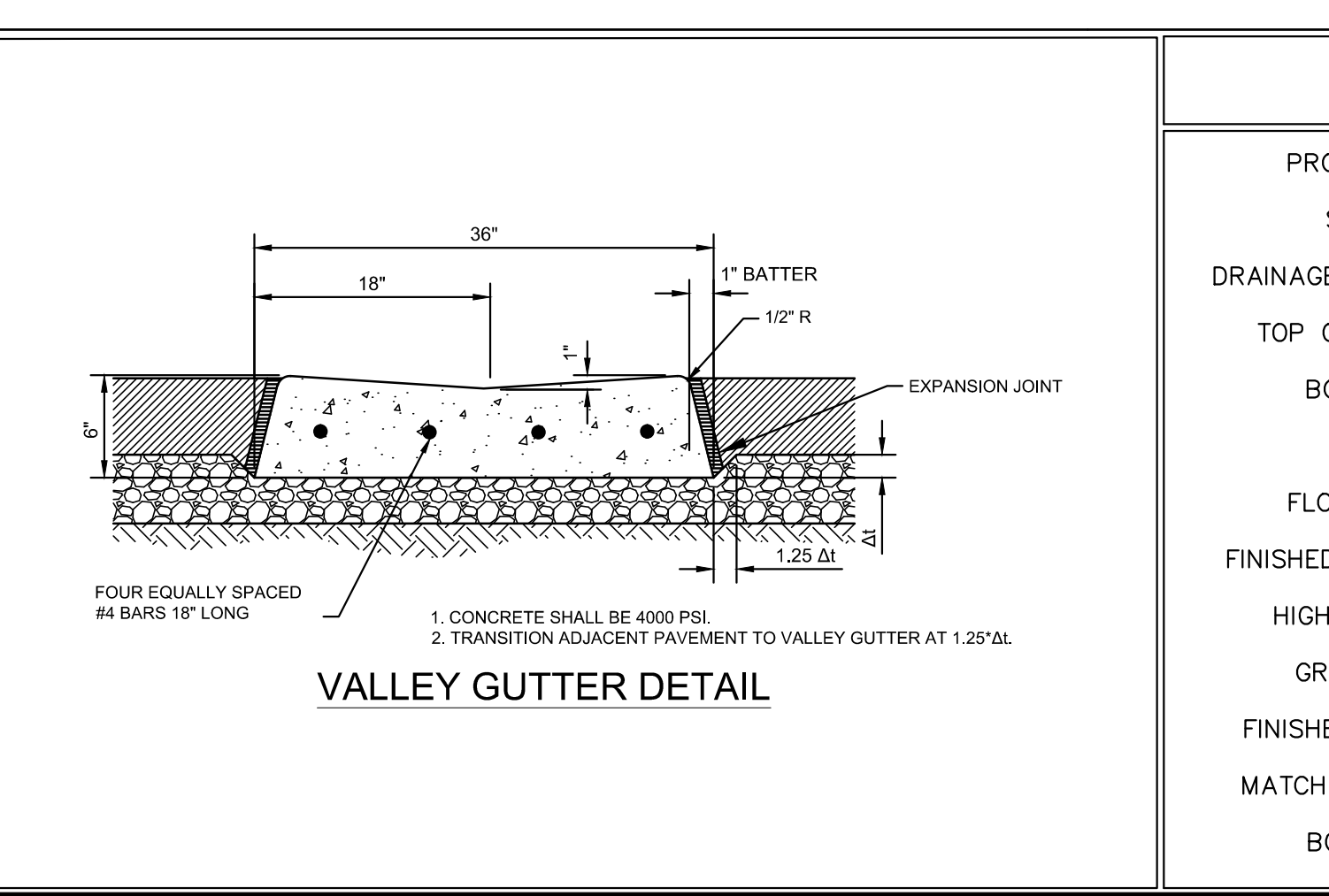
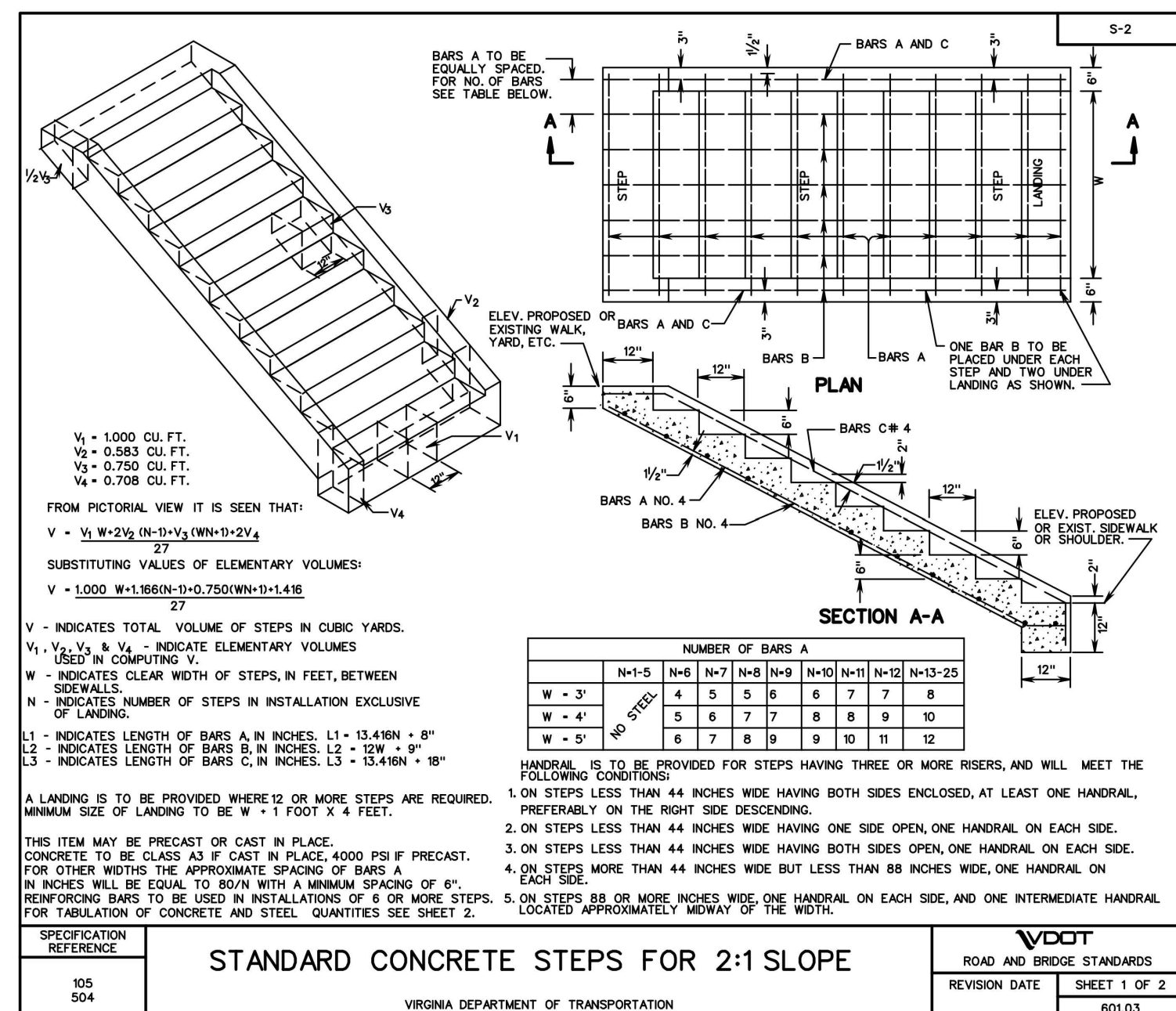


- NOTES:**
- CONTRACTOR TO COORDINATE ENTRANCE CLOSURES WITH ADJACENT PROPERTIES TWO WEEKS IN ADVANCE OF WORK.
  - ALL CURB RADII 5' UNLESS NOTED OTHERWISE.
  - TWO COATS WHITE TRAFFIC PAINT (4" MIN. WIDTH) REQUIRED FOR PAVEMENT STRIPING EXCEPT TWO COATS BLUE TRAFFIC PAINT SHALL BE USED FOR HANDICAP PARKING AREA (18" LETTERS, 2" PAINT STROKE).
  - LOADING ZONE STRIPING SHALL BE PAINTED 4" SINGLE YELLOW SOLID LINE AT 2'-0" O.C. 45' TO THE DRIVE AISLE.
  - ADDITIONAL FIRE LANES OR SIGNAGE MAY BE REQUIRED BEFORE FINAL CERTIFICATE OF OCCUPANCY IS APPROVED BY THE FIRE MARSHAL IF TRAFFIC OR PARKING CONDITIONS DEVELOP THAT WILL NOT ALLOW ADEQUATE MOVEMENT OF FIRE APPARATUS AROUND A BUILDING OR COMPLEX.
  - PROPOSED CONCRETE PADS TO HAVE 2 FT X 2 FT CHAMFERED CORNERS.
  - VISIBILITY OF ALL MECHANICAL EQUIPMENT FROM THE ENTRANCE CORRIDOR SHALL BE ELIMINATED.
  - THE BUILDING STREET NUMBER IS TO BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS.
  - AN APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTESVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY. A KNOX BOX CAN BE ORDERED BY GOING ON-LINE TO WWW.KNOXBOX.COM. THE KNOX BOX ALLOWS ENTRY TO THE BUILDING WITHOUT DAMAGING THE LOCK OR DOOR SYSTEM.
  - THE BUILDING IS LOCATED ON THE SITE TO ENSURE THAT IT WILL MEET THE MINIMUM AND MAXIMUM SETBACK REQUIREMENTS FOR THE ULTIMATE BUILDOUT OF THE INTERSECTION.
  - THE CITY HAS APPROVED A WAIVER FOR THE LEFT TURN LANE WARRANT FOR LEFT TURN MOVEMENTS OFF BARRACKS ROAD INTO THE SITE. THE CITY OF CHARLOTTESVILLE TRAFFIC ENGINEER RESERVES THE AUTHORITY TO RESTRICT LEFT TURN MOVEMENTS INTO THE SITE AT THIS LOCATION IF THIS TURN MOVEMENT IS DEEMED A SAFETY HAZARD PURSUANT TO CRASH DATA.
  - PRIOR TO FINAL SITE PLAN APPROVAL, THE APPLICANT WILL PROVIDE A MULTI-USE ACCESS PATH ALONG BARRACKS ROAD THAT WILL BE CONSTRUCTED TO CITY STANDARD AS REQUIRED PER SEC. 34-911.



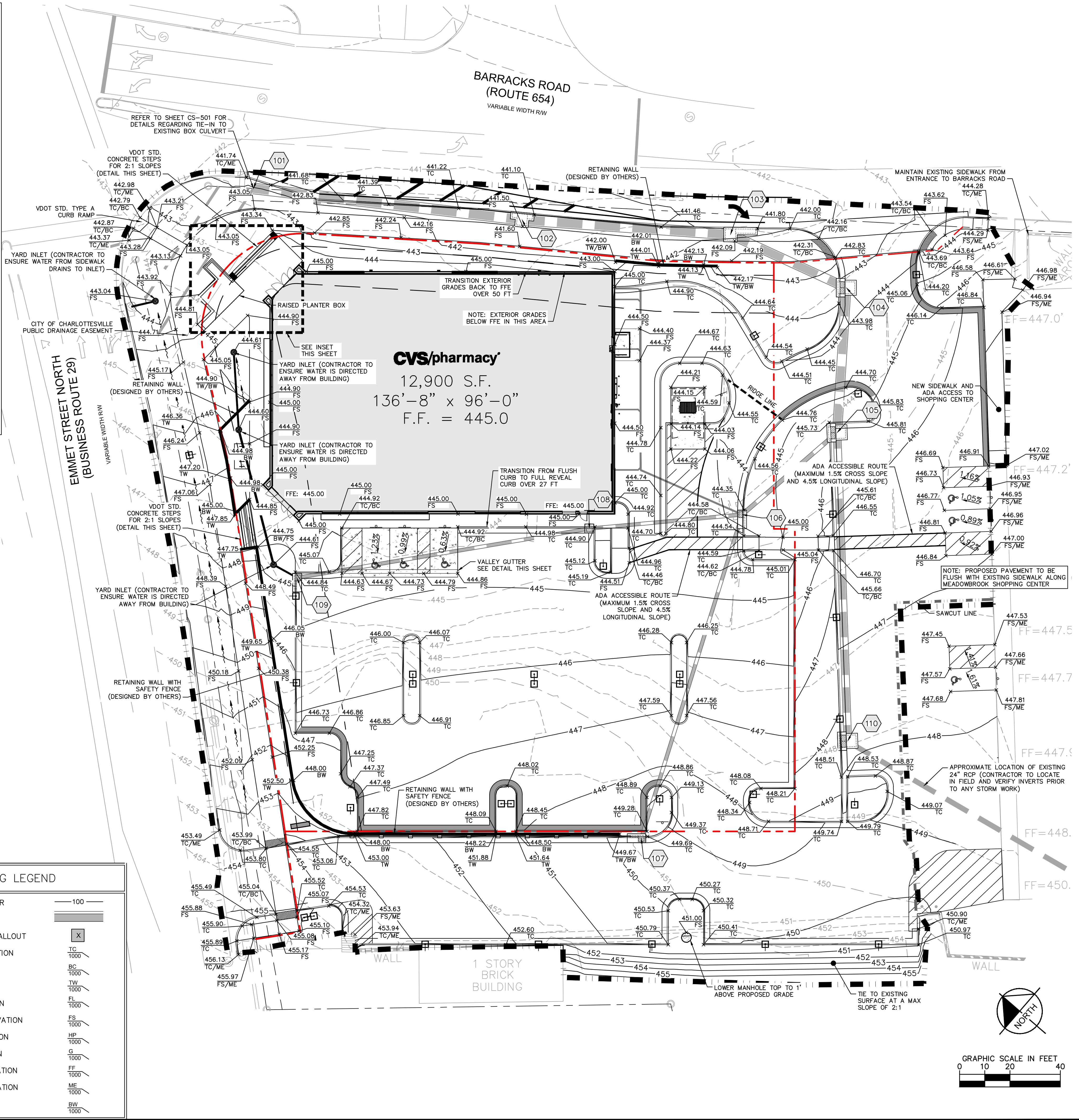


ENTRY GRADING INSET



**GRADING LEGEND**

PROPOSED CONTOUR	100
SPILLING CURB	X
DRAINAGE STRUCTURE CALLOUT	TC
TOP OF CURB ELEVATION	TC
BOTTOM OF CURB	BC
TOP OF WALL	TW
FLOWLINE ELEVATION	FL
FINISHED SURFACE ELEVATION	FS
HIGH POINT ELEVATION	HP
GROUND ELEVATION	G
FINISHED FLOOR ELEVATION	FF
MATCH EXISTING ELEVATION	ME
BOTTOM OF WALL	BW



**CVS pharmacy**  
NORTHERN 13225 - RIGHT  
REAR DRIVE-THRU

STORE NUMBER: 1556  
EMMET STREET AND BARRACKS ROAD  
CHARLOTTESVILLE, VA 22901  
PROJECT TYPE: NEW STORE  
DEAL TYPE: FFS

CS PROJECT NUMBER: 65209

ENGINEER:  
**Kimley»Horn**

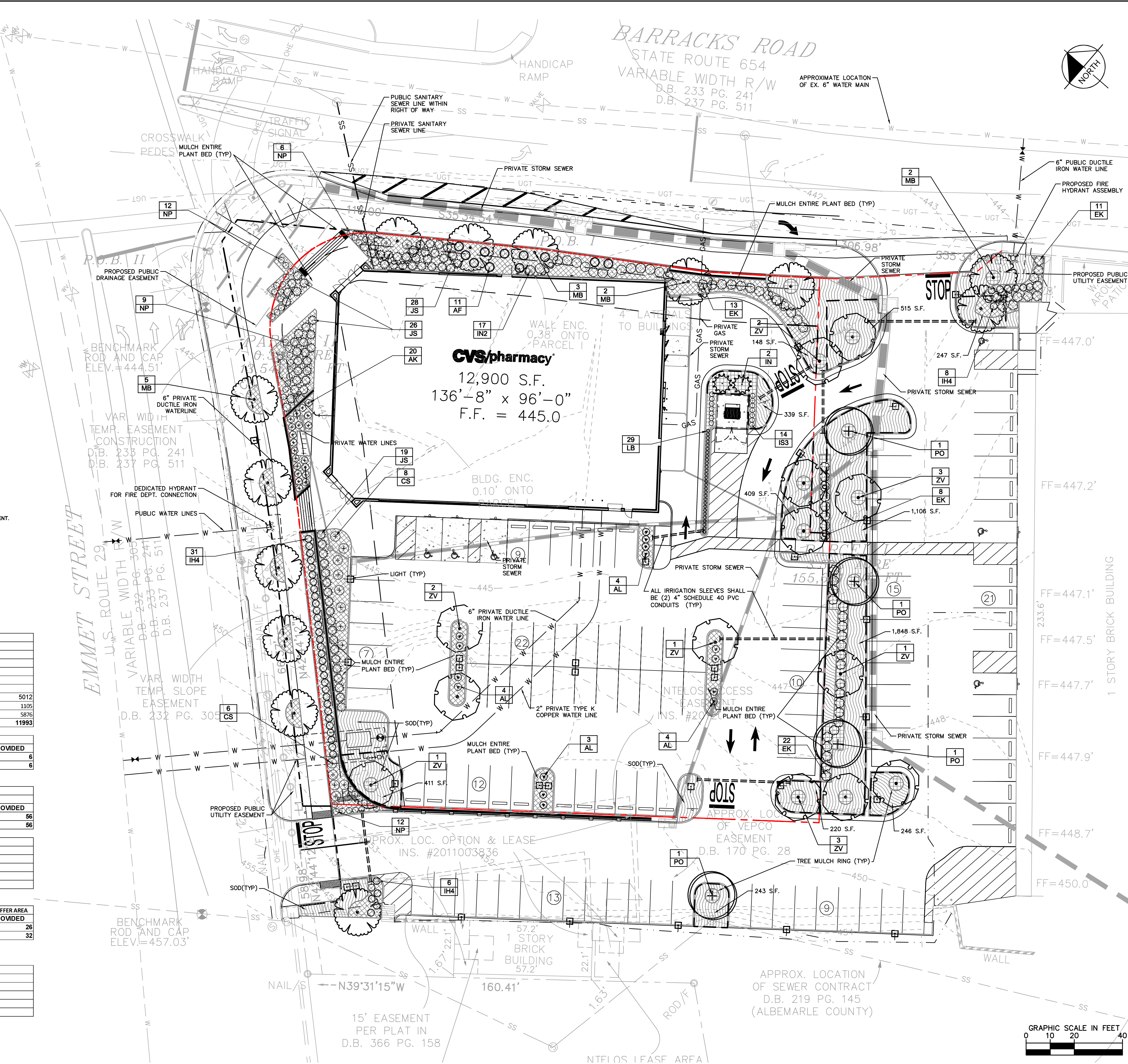
CONSULTANT:  
KIMLEY-HORN AND ASSOCIATES, INC.  
1700 WILLOW LAWN DR, SUITE 200  
RICHMOND, VA 23230  
TEL (804) 673-3882  
FAX (804) 673-3980

DEVELOPER:  
THE REBKEC COMPANY  
15871 CITY VIEW DRIVE, SUITE 300  
MIDLOTHIAN, VA 23113  
TEL: (804) 419-0740  
FAX: (804) 419-0759

SEAL:  
COMMONWEALTH OF VIRGINIA  
RYAN R. PERKINS  
Lic. No. 046565  
11/21/16  
PROFESSIONAL ENGINEER

REVISIONS:

DRAWING BY: KRW  
DATE: NOVEMBER 21, 2016  
JOB NUMBER: 113001373  
TITLE: **GRADING PLAN**  
SHEET NUMBER: **CG-101**  
COMMENTS:



NOTE:

- FESCUE SOD SHALL NOT BE INSTALLED WHENEVER THE GROUND IS FROZEN.
- ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE NOT OTHERWISE COVERED BY BUILDING, PAVING, PLANT BEDS, MULCH RINGS OR OTHERWISE PERMANENTLY STABILIZED WITH LAWN SHALL BE PERMANENTLY SEEDED ACCORDING TO THE SEEDING NOTES ON SHEET CP-801.
- TO PREVENT SLIPPAGE SOD ON SLOPES 3:1 OR GREATER SHALL BE STAKED WITH BIO-DEGRADABLE STAKES AS MANUFACTURED BY GREENSTAKE, INC.
- ALL SITE PLANTINGS OF TREES AND SHRUBS SHALL BE ALLOWED TO REACH AND BE MAINTAINED AT MATURE HEIGHT. THE TOPPING OF TREES IS PROHIBITED. SHRUBS AND TREES SHALL BE PRUNED MINIMALLY AND ONLY TO SUPPORT THE OVERALL HEALTH OF THE PLANT.
- THE CONTRACTOR SHALL PROVIDE A DESIGN BUILD AUTOMATIC IRRIGATION SYSTEM THAT PROVIDES 100 PERCENT COVERAGE OF ALL LANDSCAPE AND LAWN AREAS. THE IRRIGATION SYSTEM SHALL AT A MINIMUM PROVIDE SEPARATE ZONES FOR PLANTED BEDS AND LAWN AREAS. THE CONTRACTOR SHALL PROVIDE AN IRRIGATION PLAN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ALL IRRIGATION RELATED WORK SHALL BE COORDINATE WITH OTHER DISCIPLINES.

NOTE REGARDING TREES IN CLOSE PROXIMITY TO FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTORS:  
TREES SHALL BE A MINIMUM OF 10' AWAY FROM ALL FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTORS. TREE BRANCHES IN CLOSE PROXIMITY TO THESE UTILITIES SHALL BE TRIMMED SO THEY ARE A MINIMUM OF FIVE FEET AWAY FROM ANY PART OF THE HYDRANT.

LEGEND OF INTERIOR PARKING LOT AREA GREEN SPACE PROVIDED  
SEE PLAN FOR ALL INTERIOR GREEN AREAS COUNTED FOR THIS REQUIREMENT.

#### LANDSCAPE CALCULATIONS

Section 34-869(a)(1) Tree Cover Requirements			
<b>Tree Canopy Calculations</b>			
Lease Area of CVS =	2.25 acres		
tree canopy required =	10 percent		
site area	98010.0 sf		
canopy required	9801.0 sf		
	4 Platanus occidentalis	1253	5012
	13 Magnolia Grandiflora	85	1105
	13 Zelkova	452	5876
<b>TOTAL CANOPY PROVIDED</b>			<b>11993</b>

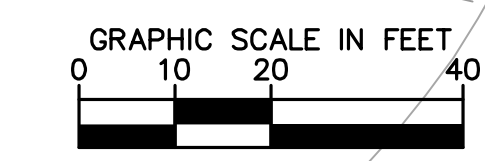
Section 34-870(c)(1) Streetscape Trees			
Street Frontage	L.F. Frontage	REQUIRED AT 1/40 L.F.	PROVIDED
Emmet Street *	233	6	6
Barracks Road *	256	6	6
* FRONTAGE IS MINUS PUBLIC EASEMENT PROHIBITING PLANT MATERIALS.			

Section 34-312(c)(2) (ii) screening with shrubs only			
A double staggered row of evergreen shrubs 5' on center minimum of 24" ht. at planting			
Street Frontage	L.F. Frontage	REQUIRED AT 5' O.C.	PROVIDED
Emmet Street	136	54	56
Barracks Road	102	41	56

Section 34-873(d) Interior Landscaped Areas			
Interior Parking Lot Landscaping (60 spaces)			
28,807 s.f. Parking Lot Area	Required	Provided	
5 Percent Landscape Area Required	1,440	1,527	
1 tree per 8 parking spaces Required	8	8	
3 shrubs per 8 parking spaces Required	23	23	

Section 34-873(1&2) Street Plantings other than Trees AT 1 PER 100 S.F. OF REQUIRED 10' LANDSCAPE BUFFER AREA			
10' Street Buffer adj. to parking lot	BUFFER AREA IN SF	REQUIRED AT 1/100 SF	PROVIDED
Emmet Street 140 lf of frontage	1,400	14	26
Barracks Road 115 lf of frontage	1,150	12	32

Section 34-873(d) Interior Landscaped Areas			
Interior Parking Lot Landscaping for adjacent new parking lot (59 spaces)			
28,888 s.f. Parking Lot Area	Required	Provided	
5 Percent Landscape Area Required	1,444	3,447	
1 tree per 8 parking spaces Required	8	9	
3 shrubs per 8 parking spaces Required	22	22	



**GENERAL PLANTING NOTES:**

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, ETC. NECESSARY TO COMPLETE ALL PLANTINGS AS SHOWN ON THE PLANTING PLANS. AS SPECIFIED HEREIN OR IN SUPPLEMENTAL SPECIFICATIONS, AND/OR AS REQUIRED BY JOB CONDITIONS. THE WORK IN GENERAL INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
- (1) SOIL PREPARATION
  - (2) PROVIDING TOPSOIL AND ALL SOIL AMENDMENTS
  - (3) EXCAVATION OF PLANT PITS
  - (4) PROVIDING ALL PLANT MATERIAL AND MULCH AS INDICATED ON PLANS
  - (5) FERTILIZING
  - (6) STAKING
  - (7) CHEMICAL APPLICATION
  - (8) MAINTENANCE AND GUARANTEE
  - (9) ALL OTHER ITEMS NECESSARY TO MAKE WORK COMPLETE

THE PLANTING CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH THE OTHER CONTRACTORS. THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES. PRIOR TO ANY CONSTRUCTION, EXCAVATION, OR ROTOTILLING THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY OF VERIFYING THE LOCATIONS OF ALL UTILITIES ABOVE AND/OR BELOW GROUND, PUBLIC AND/OR PRIVATE THAT MAY EXIST AND CROSS THROUGH THE AREAS OF CONSTRUCTION.

- (1) SOIL PREPARATION
- (1.1) BECAUSE OF SOIL COMPACTION DURING CONSTRUCTION, ALL PLANTING AREAS SHALL BE ROTOTILLED TO A DEPTH AS SHOWN IN DETAILS OR AS SPECIFIED IN WRITTEN SPECIFICATIONS. A PLANTING AREA IS ANY AREA IN WHICH NEW PLANTING OCCURS. EXCAVATE THE ENTIRE AREA BOUNDED BY WALKS, WALLS, FENCES, ETC. REMOVE SPILL MATERIAL AS DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.

- (1.2) EXCAVATED SOIL SHOULD BE USED AS BACKFILL MATERIAL IN ORDER TO ELIMINATE OR MINIMIZE THE OCCURRENCE OF HYDROLOGIC DISCONTINUITIES AND/OR SOIL INTERFACES. PROBLEMS COMMON TO PLANTING BEDS CONTAINING SOILS OF DIFFERENT TEXTURE, WHERE THE TEXTURE OF THE EXISTING SOIL IS UNDESIRABLE FOR THE PLANT SPECIES BEING PLANTED, IS HEAVY CLAY, PURE SAND AND WHERE THE pH OF THE EXISTING SOIL IS UNSUITABLE FOR THE SPECIES BEING PLANTED, THE SOIL SHALL BE BLENDED 66% EXISTING SOIL WITH 33% AMENDED SOIL.

- (1.3) WHERE IT IS DETERMINED THAT THE EXISTING SOIL EXCAVATED IS TOTALLY UNSUITABLE FOR USE AS BACKFILL MATERIAL BECAUSE OF IMPROPER pH OR THE PRESENCE OF DEBRIS OR OTHER DELETERIOUS MATERIAL, THE BACKFILL MATERIAL SHALL BE 100% AMENDED SOIL MIXTURE AS DESCRIBED BELOW WITH THE ADDITION OF 1/2 PART SAND.

- AMENDED SOIL: PLANTING SOIL FOR AMENDING BACKFILL SHALL BE 100% TOPSOIL WITH AMENDMENTS ADDED ACCORDING TO THE RECOMMENDATIONS OF THE SOILS TEST REPORT TO BRING THE pH VALUE OF THE PLANTING BACKFILL MIXTURE WITHIN THE RANGES DESCRIBED BELOW. THE TOPSOIL AND AMENDMENTS SHALL BE MIXED AT AN ON-SITE LOCATION. PLANTING SOIL SHALL NOT BE MIXED AT INDIVIDUAL PLANT LOCATIONS.

- (2) TOPSOIL AND ALL SOIL AMENDMENTS
- (2.1) NECESSARY QUANTITIES OF TOPSOIL SHALL BE SUPPLIED BY THE CONTRACTOR AND APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL APPLY TOPSOIL ONLY AFTER SOILING SOIL TEST (P.11) APPLYING RECOMMENDED TREATMENT THEREOF, AND SUBMITTING FOR APPROVAL.

- (2.2) ON-SITE TOPSOIL MEETING THE CONDITIONS FOR THESE NOTES MAY BE USED, OR IF INSUFFICIENT QUANTITIES ARE AVAILABLE, OUTSIDE TOPSOIL MEETING THE FOLLOWING CRITERIA SHALL BE PROVIDED.
  - (2.2.1) ON-SITE TOPSOIL SHALL BE STOCKPILED TOPSOIL THAT HAS BEEN SALVAGED IN ACCORDANCE WITH SECTION 310.04(A) OF THE V.I. SPECIFICATIONS. AND LOCAL FERTILIZER LAWS. FERTILIZER SHALL BE APPLIED WITH CALIBRATED EQUIPMENT TO EACH SIDE OF THE TREE 180 DEGREES APART. STAKES SHALL BE DRIVEN VERTICALLY INTO THE GROUND OUTSIDE THE EDGE OF THE ROOTBALL TO A DEPTH OF 12" TO 1' ON OPPOSITE SIDES OF THE TREE IN SUCH A MANNER AS NOT TO INJURE THE ROOT BALL OR ROOTS. STAKES FOR SUPPORTING TREES SHALL BE 1.5" X 1" SQUARE OR ROUND, BY 8'; THE STAKES SHALL BE SOUND WOOD TREATED WITH A SUITABLE WOOD PRESERVATIVE.

- (2.3) THIS SHALL BE ARBORITE (OR EQUAL) SIZED APPROPRIATELY PER MANUFACTURER'S RECOMMENDATIONS FOR THE SIZE OF TREE SPECIFIED.
  - ARBORITE (OR EQUAL) SHALL BE NAILED TO WOODEN STAKES, OR TIED AROUND A STAKE WITH A ROLLING WICH. NO ANCHORS OR NAILS SHALL BE USED ON THE TREE ITSELF.
  - ARBORITE (OR EQUAL) SHALL BE SECURE, GROUND FAST AND TIGHTLY TIED TO THE TREE, WHICH WILL PROTECT THE TREE GROWS. NO ANCHORS OR NAILS SHALL BE USED ON THE TREE ITSELF.

- (2.4) "A" HORIZONS SHALL BE MINERAL. HORIZONS CONSISTING OF (1) HORIZONS OR ORGANIC MATTER ACCUMULATION AT OR ABOVE THE SURFACE; (2) HORIZONS THAT CONTAIN SILT, CLAY, IRON, OR ALUMINUM, WITH RESULTANT CONCENTRATIONS OF QUARTZ OR OTHER RESISTANT MINERALS OF SAND OR SILT SIZE; OR (3) HORIZONS DOMINATED BY OR 2" ABOVE BUT TRANSITIONAL TO AN UNDERLYING OR C.

- (2.4.2) "A" HORIZON SUBDIVISIONS: A1 HORIZONS SHALL BE MINERAL HORIZONS, FORMED OR FORMING AT OR ADJACENT TO THE SURFACE, IN WHICH THE FEATURE EMPHASIZED IS AN ACCUMULATION OF HUMIFIED ORGANIC MATTER WITHIN ASSOCIATED SUBSTRATA. A2 HORIZONS SHALL BE MINERAL HORIZONS, FORMED OR FORMING AT OR ADJACENT TO THE SURFACE, IN WHICH THE FEATURE EMPHASIZED IS LOSS OF CLAY, IRON OR ALUMINUM, WITH RESULTANT CONCENTRATION OF QUARTZ OR OTHER RESISTANT MINERALS IN SAND AND SILT SIZES.

- (2.4.3) "A" HORIZON TOPSOIL CONTENT: "A" HORIZON TOPSOIL SHALL BE IN ACCORDANCE WITH THE FOLLOWING MATERIALS BY PERCENTAGE OR VOLUME.

- (2.5) TOPSOIL SHALL HAVE A pH IN THE RANGE OF 6.0 TO 7.0 PRIOR TO MIXING WITH AMENDMENTS, IF THE pH IS NOT WITHIN THIS RANGE, THE pH SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE OR A DIFFERENT SOURCE OF SUPPLY SHALL BE SELECTED AND APPROVED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL UTILITIES ABOVE AND/OR BELOW GROUND, PUBLIC AND/OR PRIVATE THAT MAY EXIST AND CROSS THROUGH THE AREAS OF CONSTRUCTION.

- (3) EXCAVATION OF PLANT PITS
- (3.1) PRIOR TO EXCAVATION OF TREE PITS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTOTILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.

- (3.2) IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTOTILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOTBALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH.
  - (3.2.1) THREE PITS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE PIT SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. ROOT WALLS SHALL BE COVERED PRIOR TO PLANT INSTALLATION.

- (3.4) SHRUB BEDS SHALL BE EXCAVATED TO 6" BELOW THE ROOT BALL OF THE SHRUB.
  - (3.5) ALL AIR POCKETS SHALL BE REMOVED FROM PLANT PIT UPON BACK FILLING WITH PLANTING SOIL BY FILLING APPROXIMATELY 1/2 TO 2/3 OF THE PIT WITH PLANTING BACKFILL MATERIAL, TAMPING BACKFILL MATERIAL, AND THEN WATERING TO ENSURE SETTLEMENT OF MATERIAL. MATERIAL SHALL THEN BE PLACED WITHIN THE REMAINING CAVITIES OF THE PLANT PIT, TAMPING AND WATERED AGAIN TO ENSURE SETTLEMENT OF THE BACKFILL MATERIAL. UNDER NO CIRCUMSTANCES SHALL ANY SOIL OR BACKFILL MATERIAL BE APPLIED ABOVE THE ROOT BALL OF THE PLANTS.

- (6) GROUND COVERS SHALL BE PLANTED IN BEDS HAVING A MINIMUM DEPTH OF 4" BELOW THE PROPOSED ROOT DEPTH. PLANTS SHALL BE EVENLY SPACED AND SET TO MAINTAIN THE ORIGINAL GROWING DEPTH WHILE ALLOWING FOR A 2" TOP DRESSING OF MULCH.

- (4) PLANT MATERIAL AND MULCH
  - (4.1) THE NAMES OF PLANTS REQUIRED UNDER THIS CONTRACT CONFORM TO THOSE GIVEN IN L.N. BAILEY'S HORTUS THIRD, 1976 EDITION, NAMES OF VARIETIES NOT INCLUDED THEREIN COMMON GENERALLY WITH NAMES ACCEPTED IN THE NURSERY TRADE. ALL PLANTS SHALL HAVE A HABIT OF GROWTH THAT IS NORMAL FOR THEIR SPECIES AND THEY SHALL BE SOUND, HEAVY BUD AND PRODUCE WELL DEVELOPED ROOT SYSTEMS. ALL PLANT MATERIAL SHALL BE FREE FROM INSECT PESTS, PLANT DISEASES, AND INJURIES. ALL PLANTS SHALL BE AT LEAST 18" HIGH. MEASUREMENTS OF PLANT HEIGHT SHALL BE TAKEN TO THE TOP OF THE PLANT PRIOR TO OPERATIONS. TREES SHALL HAVE SINGLE TRUNKS EXCEPT AS NOTED. ALL SHRUBS SHALL BE HEALTHY, VIGOROUS, AND OF GOOD COLOR. ONLY DAMAGED OR BROKEN BRANCHES OF PLANT MATERIAL, MAY BE PRUNED AND ANY NECESSARY PRUNING SHALL BE DONE AT THE TIME OF PLANTING, HOWEVER UNDER NO CIRCUMSTANCES SHALL THE CENTRAL LEADER OF A PLANT BE PRUNED.

- (4.2) ALL TAGS, STRINGS OR ANY OTHER MATERIAL ATTACHED TO THE PLANTS SHALL BE REMOVED AT THE TIME OF THE PLANTING. BALLING AND BURLAPPING OF PLANTS SHALL FOLLOW THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN STANDARD FOR NURSERY STOCK.

- (4.3) SUBSTITUTIONS WILL BE PERMITTED ONLY UPON SUBMISSION OF PROOF THAT ANY PLANT IS NOT OBTAINABLE. ALL SUBSTITUTIONS MUST BE AUTHORIZED BY THE OWNER OR THE OWNER'S REPRESENTATIVE IN WRITING PROVIDING FOR USE OF THE NEAREST EQUIVALENT OBTAINABLE SIZE OR VARIETY OF PLANT HAVING THE SAME ESSENTIAL CHARACTERISTICS AS THE ORIGINAL VARIETY WITH AN EQUIVALENT ADJUSTMENT OF CONTRACT PRICE.

- (4.4) BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL ORS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO COMPASS THE FIBERS AND FEEDING ROOT SYSTEMS AND NECESSARY FOR FULL RECOVERY OF THE PLANT. BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SMALL MATERIAL AND BOUND WITH TWINE OR CABLE THAT SHALL NOT BE ROLLED OUT FROM UNDER BALLS DURING PLANTING OPERATIONS. B&B PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE COVERED WITH MOST SOIL MULCH, OR OTHER MATERIAL TO PROVIDE PROTECTION FROM DRYING WINDS AND SUN.

- (4.5) PLANTS NOTED "CONTAINER" ON THE PLANT LIST MUST BE CONTAINER GROWN WITH WELLS ESTABLISHED ROOT SYSTEMS. LOSS OF CONTAINERIZED PLANT MATERIAL WILL NOT BE ACCEPTED. ALL PLANTS BARRIED AND PLANTS WITH ROOT BALLS BROKEN DURING TRANSPORT OR PLANTING OPERATIONS WILL BE REJECTED. BARRIED ROOTED PLANTS (B&B) WHICH ARE NOT HEADED IN IMMEDIATELY UPON DELIVERY, ALL PLANTS SHALL BE WATERED AS NECESSARY UNTIL PLANTED.

- (4.6) NEW PLANTINGS SHALL BE LOCATED WHERE SHOWN ON THE PLAN EXCEPT WHERE OBSTRUCTIONS BELOW GROUND ARE ENCOUNTERED OR WHERE CHANGES HAVE BEEN MADE IN THE PROPOSED CONSTRUCTION. NECESSARY ADJUSTMENTS SHALL BE MADE ONLY AFTER APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE. REASONABLE CARE SHALL BE EXERCISED TO HAVE PLANTING PITS DUG AND SOIL PREPARED PRIOR TO MOVING PLANTS TO THE PLANTING LOCATIONS. THE CONTRACTOR SHALL ENSURE THAT THEY WILL NOT BE UNNECESSARILY EXPOSED TO DRYING OR PHYSICAL DAMAGE.

- (4.7) A LIST OF PLANTS, INCLUDING SIZES, QUANTITIES AND OTHER REQUIREMENTS, IS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE QUANTITIES AS SHOWN ON THE DRAWINGS, IF DISCREPANCIES OCCUR IN THE QUANTITIES SHOWN, THE PLANTING PLANS SHALL GOVERN.

- (4.8) THE PLANTING CONTRACTOR WILL BE NOTIFIED BY THE GENERAL CONTRACTOR WHEN OTHER DIVISIONS OF THE WORK HAVE PROGRESSED SUFFICIENTLY TO COMMENCE WORK ON THE PLANTING OPERATION. THEREAFTER PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS DURING THE NEXT SEASON OR SEASONS UNLESS OTHERWISE NORMAL FOR SUCH WORK. REMOVAL OF ROCK OR OTHER UNDERGROUND OBSTRUCTIONS, RELOCATIONS TO AVOID OBSTRUCTIONS, AND PROVISION OF DRAINAGE FOR PLANTING AREAS SHALL BE DONE AS APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

- (4.9) ALL PLANTS SHALL BE PLANTED UPRIGHT AND FACED TO GIVE THE BEST APPEARANCE. RELATIONSHIP TO ADJACENT STRUCTURES: ROOTS SHALL BE SPREAD IN THEIR NORMAL POSITION, ALL BROKEN OR PRAYED ROOTS SHALL BE CUT OFF CLEANLY. PLANTS WITH CIRCLING ROOTS SHALL NOT BE ACCEPTED. BURLAP TWINE AND OTHER FASTENING MATERIAL SHALL BE CUT AND PUSHED TO THE BOTTOM OF THE PLANT PIT PRIOR TO BACKFILL MATERIAL BEING PLACED. THE PLANT SHALL NOT BE ROCKED BACK AND FORN TO ENTIRELY REMOVE THE WRAPPING MATERIAL. NONE SHALL ANY OTHER PRACTICES BE PERFORMED WHICH COULD CAUSE THE ROOT BALL TO BREAK APART, WHEN WIRE BASKETS ARE USED ON THE ROOT BALL OF PLANTS THE WIRE SHALL BE REMOVED TO AT LEAST 12" BELOW THE TOP OF THE ROOT BALL.

(4.10) AT THE TIME OF PLANTING, AND AS MANY TIMES LATER AS SEASONAL CONDITIONS REQUIRE, EACH PLANT AND THE SOIL AROUND IT SHALL BE THOROUGHLY WATERED. CARE SHOULD BE EXERCISED WHEN WATERING TO AVOID FLOODING OF PLANTS AND BEDS, DISPLACEMENT OF MULCH MATERIAL, AND EROSION OF SOIL. AVOID USE OF HIGH PRESSURE HOSES. THE CONTRACTOR SHALL MAKE AT HIS EXPENSE, WETTING ARRANGEMENTS MAY BE NECESSARY TO ENSURE AN ADEQUATE SUPPLY OF WATER TO MEET THE NEEDS OF THIS CONTRACT DURING INSTANTATION. THE CONTRACTOR SHALL ALSO FURNISH ALL NECESSARY HOSE, EQUIPMENT ATTACHMENTS AND ACCESSORIES FOR THE ADEQUATE WATERING OF PLANTING AREAS AS MAY BE REQUIRED UNTIL ACCEPTANCE BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

(4.11) MULCH SHALL BE CLEAN, GROUND OR SHREDED BARK OR HARDWOOD, MULCH IN PLANTING AREAS WHERE SLOPES EXCEED 3:1 AND AT DRAINAGE DISPERSION POINTS OR ALONG NATURAL WATERWAYS WHERE CONCENTRATIONS OF SURFACE WATER, EMPTY FROM CULTURED DITCHES, HEAVY JETTS MESH SHALL BE INSTALLED. SHREDED HARDWOOD OR BARK MULCH SHALL HAVE BEEN COMPOSTED FOR AT LEAST TWO MONTHS PRIOR TO APPLICATION. FRESHLY GROUND MULCH WHICH INCLUDES HEAVY BRUSH AND OTHER DELETERIOUS MATTER, WHICH DOES NOT PROMOTE GROWTH OR BECOMES WATERLOGGED WILL NOT BE ACCEPTED. MULCH SHALL BE COMPOSED OF SIMILAR SIZED FRAGMENTS AND SHALL NOT CONTAIN STICKS, CONES, LEAVES, UNSHREDED PIECES, OR OTHER DELETERIOUS MATTER. ALL AZALEA AND CAMELLIA PLANTING BEDS SHALL HAVE 1" OF FINE STRAW MULCH UNDER 3" OF SHREDED HARDWOOD MULCH.

(4.12) ALL PLANTS SHALL BE MULCHED IMMEDIATELY AFTER PLANTING. GROUND COVERS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDED HARDWOOD MULCH. ALL OTHER PLANTING BEDS, SHRUBS AND TREE PLANTINGS SHALL BE MULCHED WITH A 4" MINIMUM LAYER OF MULCH. THIS MULCH SHALL ENTIRELY COVER THE AREA OF THE PLANTING PIT, BED, OR EARTH BERM AROUND EACH PLANT WITH THE EXCEPTION OF THE AREA IMMEDIATELY ADJACENT TO THE PLANT TRUNK OR TRUNKS. MULCH SHALL BE IMMEDIATELY ADJACENT TO THE PLANT TRUNK OR TRUNKS SHALL BE LEFT FREE OF ANY MULCH.

(5) FERTILIZING

(5.1) THE FERTILIZER SHOULD BE A DRY SLOW RELEASE FORM OF FERTILIZER. IT SHOULD CONTAIN AT LEAST 25-50% WATER INSOLUBLE NITROGEN. THE FERTILIZER SELECTED SHOULD ALSO HAVE A LOW ADJUSTED SALT INDEX TO PREVENT BURNING. THE N-P-K RATIO SHOULD NOT EXCEED 3-1-2 UNLESS THE SOIL TEST REVEALS THAT ADDITIONAL LEVELS OF P AND K ARE NECESSARY.

(5.2) FOR DECIDUOUS TREES, USE OSMOCOTE (18-6-12) AT THE RATE EQUIVALENT TO 4 LBS ACTUAL N/1000 SQ FT OF ROOT ZONE AREA/YEAR. FOR EVERGREEN TREES USE 2 LBS ACTUAL N/1000 SQ FT OF ROOT ZONE AREA/YEAR.

(5.3) MIX THE FERTILIZER INTO THE BACKFILL SOIL OR THE TREE PITS. FOR SHRUB BEDS, MIX THE FERTILIZER INTO THE AREA THAT HAS BEEN REPAIRED FOR THE PLANTING. FOR TREE PLANTINGS, THE FERTILIZER SHALL BE APPLIED WITH CALIBRATED EQUIPMENT TO EACH SIDE OF THE TREE 180 DEGREES APART. STAKES SHALL BE DRIVEN VERTICALLY INTO THE GROUND OUTSIDE THE EDGE OF THE ROOTBALL TO A DEPTH OF 12" TO 1' ON OPPOSITE SIDES OF THE TREE IN SUCH A MANNER AS NOT TO INJURE THE ROOT BALL OR ROOTS. STAKES FOR SUPPORTING TREES SHALL BE 1.5" X 1" SQUARE OR ROUND, BY 8'; THE STAKES SHALL BE SOUND WOOD TREATED WITH A SUITABLE WOOD PRESERVATIVE.

(5.4) ALWAYS BE SURE THAT ADEQUATE MOISTURE IS AVAILABLE WHEN FERTILIZING SO THAT THE FERTILIZER WILL BE DISSOLVED INTO THE SOIL SOLUTION FOR ROOT UPTAKE AND TO AVOID BURNING THE ROOTS.

(6) STAKING

(6.1) ALL TREES SHALL BE STAKED ACCORDING TO THE TYPICAL DETAILS PROVIDED.

(6.2) THREE STAKES SHALL BE REQUIRED PER LARGE AND MEDIUM TREES. SMALL DECIDUOUS TREES LARGER THAN 1" CALIPER AND EVERGREEN TREES SHALL NOT BE REQUIRED TO BE STAKED WITH 2 STAKES. TREES 1" CALIPER AND SMALLER SHALL ONLY BE REQUIRED TO BE STAKED WITH ONE STAKE. THE STAKES SHALL BE DRIVEN IN A RADIAL PATTERN FOR LARGE, MEDIUM AND SMALL DECIDUOUS TREES. STAKES FOR EVERGREEN TREES SHALL BE PROVIDED ON EACH SIDE OF THE TREE 180 DEGREES APART. STAKES SHALL BE DRIVEN VERTICALLY INTO THE GROUND OUTSIDE THE EDGE OF THE ROOTBALL TO A DEPTH OF 12" TO 1' ON OPPOSITE SIDES OF THE TREE IN SUCH A MANNER AS NOT TO INJURE THE ROOT BALL OR ROOTS. STAKES FOR SUPPORTING TREES SHALL BE 1.5" X 1" SQUARE OR ROUND, BY 8'; THE STAKES SHALL BE SOUND WOOD TREATED WITH A SUITABLE WOOD PRESERVATIVE.

(6.3) THIS SHALL BE ARBORITE (OR EQUAL) SIZED APPROPRIATELY PER MANUFACTURER'S RECOMMENDATIONS FOR THE SIZE OF TREE SPECIFIED. ARBORITE (OR EQUAL) SHALL BE NAILED TO WOODEN STAKES, OR TIED AROUND A STAKE WITH A ROLLING WICH. NO ANCHORS OR NAILS SHALL BE USED ON THE TREE ITSELF.

(6.4) ARBORITE (OR EQUAL) SHALL BE SECURE, GROUND FAST AND TIGHTLY TIED TO THE TREE, WHICH WILL PROTECT THE TREE GROWS. NO ANCHORS OR NAILS SHALL BE USED ON THE TREE ITSELF. SECURE LONG END OF ARBORITE (OR EQUAL) TO THE EYE OF THE STAKE OR ANCHOR. ADD TENSION TO THE ARBORITE (OR EQUAL) BY DRIVING THE STAKE OR ANCHOR INTO THE GROUND OUTSIDE OF THE PLANTING HOLE AT A 45 DEGREE ANGLE TO THE TREE TRUNK.

(6.5) WHEN DRIVING THE STAKE OR ANCHOR INTO THE GROUND, ENSURE EYE OPENING IS NOT BURIED. FINAL STAKE PLACEMENT SHALL ENSURE EYE OPENING IS EVEN TO SOIL LEVEL.

(6.6) STAKES OR ANCHORS SHALL BE EVENLY SPACED AROUND THE TREE.

(7) CHEMICAL APPLICATION

(7.1) ALL PESTICIDES SHALL BE PRODUCTS OF RECOGNIZED COMMERCIAL MANUFACTURERS, AND SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL PESTICIDE LAWS, PESTICIDE LABELS, AND OTHER NECESSARY OPERATIONAL REQUIREMENTS. ACCORDING TO EPA LABEL RESTRICTIONS AND REGULATIONS BY A CERTIFIED APPLICATOR. ANY DAMAGE INCURRED TO THE SITE, ADJACENT PROPERTIES, OR APPLICATOR DURING PESTICIDE APPLICATIONS WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

(7.2) PESTICIDES SHOULD BE USED ONLY WHEN NECESSARY TO TREAT AN OUTBREAK OF A HARMFUL PEST OR DISEASE PROBLEM. THE OWNER OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED 24 HOURS PRIOR TO THE APPLICATION OF ANY PESTICIDE.

(8) MAINTENANCE AND GUARANTEE

(8.1) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING HIS WORK FOR THE PERIOD OF TWO YEAR AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER OR THE OWNER'S REPRESENTATIVE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTRIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RESETTING OF PLANTS TO PROPER GRADES OR PROPER POSITION, RESTORATION OF EARTH BERMS, AND OTHER NECESSARY OPERATIONS. ADEQUATE PROTECTION FOR LAWN AREAS AGAINST TRESPASSING DURING PLANTING OPERATIONS AND AGAINST DAMAGE OF ANY KIND SHALL BE PROVIDED. NOTHING IN THESE NOTES IS INTENDED TO RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO REPAIR EXISTING LAWN AREAS DAMAGED BY WORKMEN ENGAGED IN THE COMPLETION OF THIS PROJECT.

(8.2) INSPECTION OF THE WORK TO DETERMINE COMPLETION OF THE CONTRACT EXCLUSIVE OF THE POSSIBLE REPLACEMENT OF PLANTS SHALL BE MADE BY THE OWNER OR THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION PERIOD UPON WRITTEN NOTICE REQUIRING SUCH INSPECTION. REQUEST SHALL BE SUBMITTED BY CONTRACTOR AT LEAST SEVEN DAYS PRIOR TO THE ANTICIPATED DATE FOR INSPECTION. AFTER INSPECTION, THE CONTRACTOR WILL BE NOTIFIED IN WRITING BY THE OWNER OR THE OWNER'S REPRESENTATIVE OF ACCEPTANCE OF THE WORK EXCLUSIVE OF THE POSSIBLE REPLACEMENT OF PLANTS SUBJECT TO GUARANTEE; OR IF THERE ARE ANY DEFICIENCIES, THE CONTRACTOR WILL BE NOTIFIED OF THE REQUIREMENTS NECESSARY FOR COMPLETION OF THE WORK. PLANTINGS SHALL NOT BE CONSIDERED ACCEPTED UNTIL ALL DEFICIENCIES HAVE BEEN CORRECTED AND APPROVED IN WRITING.

(8.3) NURSERY STOCK SHALL BE FULLY GUARANTEED FOR TWO FULL YEARS. ALL PLANTS THAT FAIL TO MAKE NEW GROWTH FROM A DORMANT CONDITION OR THAT DIE DURING THE FIRST YEAR AFTER PLANTING SHALL BE REPLACED. ALL REPLACEMENTS SHALL CONFORM WITH THE ORIGINAL SPECIFICATIONS AS TO SIZE AND TYPE. ALL COSTS OF REPLACEMENTS SHALL BE BORNE BY THE CONTRACTOR.

(8.4) ALL OTHER ITEMS NECESSARY TO MAKE WORK COMPLETE

(8.5) ANY PLANT MATERIAL NOT PLANTED SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNUSED RUBBISH AND DEBRIS FROM THE SITE UPON COMPLETION OF HIS WORK.

(9) PERMANENT SEEDING (SMALL ONLY APPLY TO DISTURBED AREAS NOT INDICATED TO RECEIVE SOIL)

(9.1) TOPSOILING: WHERE TOPSOIL IS REQUIRED ON ADVERSE SOIL CONDITIONS, A MINIMUM OF FOUR INCHES OF TOPSOIL SHOULD BE USED. THE TOPSOIL SHOULD CONTAIN A MINIMUM OF 35% FINE GRAINED MATERIAL (SILT AND CLAY AND 15%+ ORGANIC MATTER).

(9.2) LIME AND FERTILIZER

- LIME: APPLY 4 TONS PER ACRE OR EQUIVALENT
- LIME: APPLY PULVERIZED AGRICULTURAL LIMESTONE OR EQUIVALENT AT THE RATE OF 2 TONS PER ACRE
- FERTILIZER: 500 POUNDS PER ACRE OF 10-20-10 FERTILIZER OR EQUIVALENT

IF SOILS ARE UNIFORM, IT IS DESIRABLE TO HAVE LIME AND FERTILIZER RECOMMENDATIONS BASED ON SOIL TESTS. THE LIME AND FERTILIZER SHOULD BE DIBBLED OR WORKED INTO A GOOD SEEDBED TO A DEPTH OF THREE TO FOUR INCHES.

(9.3) SPRING AND FALL SEEDING: SEED ONE OF THE FOLLOWING VARIETIES AT THE SPECIFIED RATES PER ACRE FOR TURF AREAS SEEDED IN THE SPRING OR FALL (SEE SPECIFIED SEEDING DATES BELOW).

TYPE OF GRASS	SEEDING RATE	SEEDING DATE
TALL FESCUE (1)	5-7 LBS/1000 SQ. FT.	SPRING SEEDING: MARCH TO EARLY APRIL FALL SEEDING: AUGUST 1 TO NOVEMBER 1

NOTE: PREFERRED FESCUE SEEDING DATES ARE FROM AUGUST 1 TO NOVEMBER 1. SPRING SEEDING DATES WOULD BE FROM FEBRUARY 28, TO MAY 15.

(9.4) ONLY FESCUE SEED THAT HAS PROVEN SUCCESSFUL IN THE PROJECT VICINITY SHALL BE SELECTED FROM THE FOLLOWING VARIETIES OR FROM VARIETIES AS RECOMMENDED IN THE 2014-2015 VIRGINIA TURFGRASS VARIETY RECOMMENDATIONS AVAILABLE FROM VIRGINIA COOPERATIVE EXTENSION, VIRGINIA TECH, VIRGINIA STATE UNIVERSITY, AND SHALL BE A BLEND OF SEED THAT WILL BE TOLERANT OF SHADE TO FULL SUN CONDITIONS.

2ND MILLENNIUM, AVENGER, BILTMORE, BINGO, BLACKWATCH, BRAVO, COCHISE (R), COCHISE III, CONSTITUTION, COYOTE II, CROSSFIRE II, DAVINCI, DAYTONA, ENDEAVOR, FALCON IV, FIDELITY, FORTE, GONDRO-ENG (4), GRANDE/II, GOOD-EN, GRANDE, GRANDE II, GREENKEEPER WAY, GUARDIAN 21, HOJUNDOS S, HUNTER, INFENRO, JUSTICE, MAGELLAN, MASTERPIECE, MATADOR, MATADOR GT, ONYX, PADRE, PICASSO, PENN 1901, RAPTOR, REBEL EXEDA, REGIMENT II, REMBRANDT, SOUTHERN CHOICE II, SR 8250, TAOS, TARTHEEL, TARTHEEL II, TEMPEST, TITANIUM, TOMSTONE, TURBO, ULTIMATE, WATCHDOG, AND WOLFPACK.

(10.4) MULCH

- MULCH WITH ANY OF THE MATERIALS LISTED BELOW AND AT THE RATE INDICATED. SPREADING SHOULD BE UNIFORM AND AT A RATE THAT PERMITS NO MORE THAN 25-50% OF THE GROUND SHOWING THROUGH THE MULCH.
- MULCHING IS SPECIFICALLY REQUIRED ON ALL SOILS EXCEEDING 2% SLOPE.
- STRAW - 1 TO 2 TONS/ACRE DEPENDING ON SEASON AND METHOD OF APPLICATION.
- WOOD FIBER MATERIALS - 1000 LBS PER ACRE.

(10.5) MAINTENANCE

- IRRIGATION - IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS AND PLANTINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FULLY ESTABLISHED.
- REPAIR - INSPECT ALL AREAS FOR PLANTING FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDING WITH THE PLANTING SEEDS IF POSSIBLE.
- LIME AND FERTILIZER - SHALL BE APPLIED UNDER A REGULAR PROGRAM THAT IS BASED ON SOIL FERTILITY TESTS AND ON THE USE AND GENERAL APPEARANCE OF THE VEGETATIVE COVER DURING SUBSEQUENT GROWING SEASONS.

SEEDING NOTES:

ALL AREAS WITHIN THE LIMITS OF CONSTRUCTION THAT ARE NOT OTHERWISE COVERED BY BUILDINGS, PAVEMENT, SIDEWALKS, WOODS, OR OTHER EXISTING MULCHED BEDS OR OTHERWISE CALLED OUT AS SOIL LAW AREAS SHALL BE SEED PER THE PERMANENT SEEDING SPECIFICATIONS IN THE PRECEDING PARAGRAPH.

SEEDS ARE ALL WILL ONLY BE ACCEPTED AFTER DISTURBED AREAS ARE COMPLETELY COVERED IN A DENSE LAWN CONSISTING OF THE SPECIFIED PERMANENT GRASS.

**SODDING NOTES:**

(1) VEGETATIVELY PROPAGATED FESCUE SOD IS THE PREFERRED LAWN GRASS. ONLY VARIETIES THAT HAVE PROVEN SUCCESSFUL IN THE PROJECT VICINITY SHALL BE SELECTED FROM THE FOLLOWING OR FROM VARIETIES AS RECOMMENDED IN THE 2014-2015 VIRGINIA TURFGRASS VARIETY RECOMMENDATIONS AVAILABLE FROM VIRGINIA COOPERATIVE EXTENSION, VIRGINIA TECH, VIRGINIA STATE UNIVERSITY AND SHALL BE A BLEND OF SEED THAT WILL BE TOLERANT OF SHADE TO FULL SUN CONDITIONS.

2ND MILLENNIUM, AVENGER, BILTMORE, BINGO, BLACKWATCH, BRAVO, COCHISE I, COCHISE III, CONSTITUTION, COYOTE II, CROSSFIRE II, DAVINCI, DAYTONA, ENDEAVOR, FALCON IV, FIDELITY, FORTE, GOOD-EN, GRANDE, GRANDE II, GREENKEEPER WAY, GUARDIAN 21, HOJUNDOS S, HUNTER, INFENRO, JUSTICE, MAGELLAN, MASTERPIECE, MATADOR, MATADOR GT, ONYX, PADRE, PICASSO, PENN 1901, RAPTOR, REBEL EXEDA, REGIMENT II, REMBRANDT, SOUTHERN CHOICE II, SR 8250, TAOS, TARTHEEL, TARTHEEL II, TEMPEST, TITANIUM, TOMSTONE, TURBO, ULTIMATE, WATCHDOG, AND WOLFPACK.

(2) THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

(3) THE SOD SHALL BE CERTIFIED TO MEET LOCAL STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

(4) SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IN THE OPINION OF THE OWNER, TOP DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

(5) DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

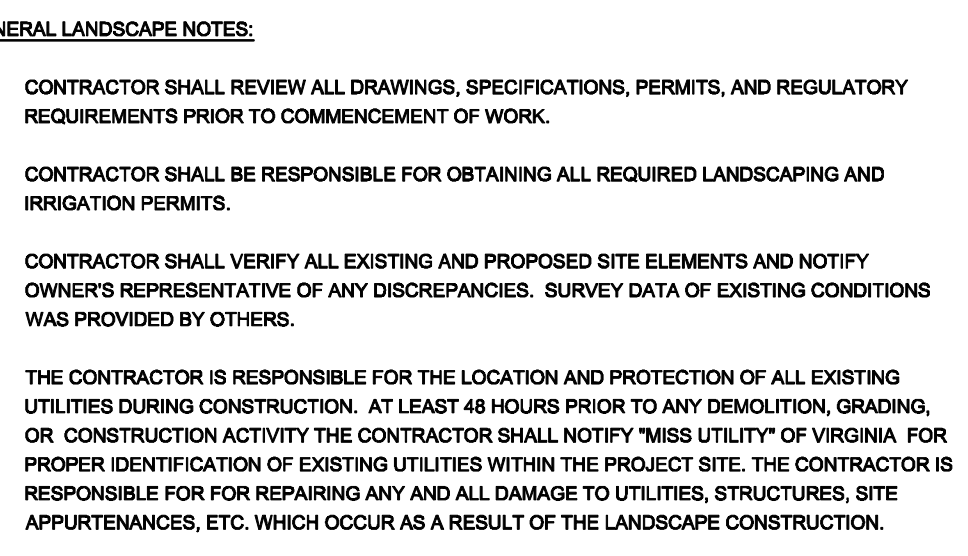
(6) LAWN MAINTENANCE

(7) WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PROVIDE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).

(8) CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD LAWN FOR A PERIOD OF TWO YEARS UNTIL ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE.

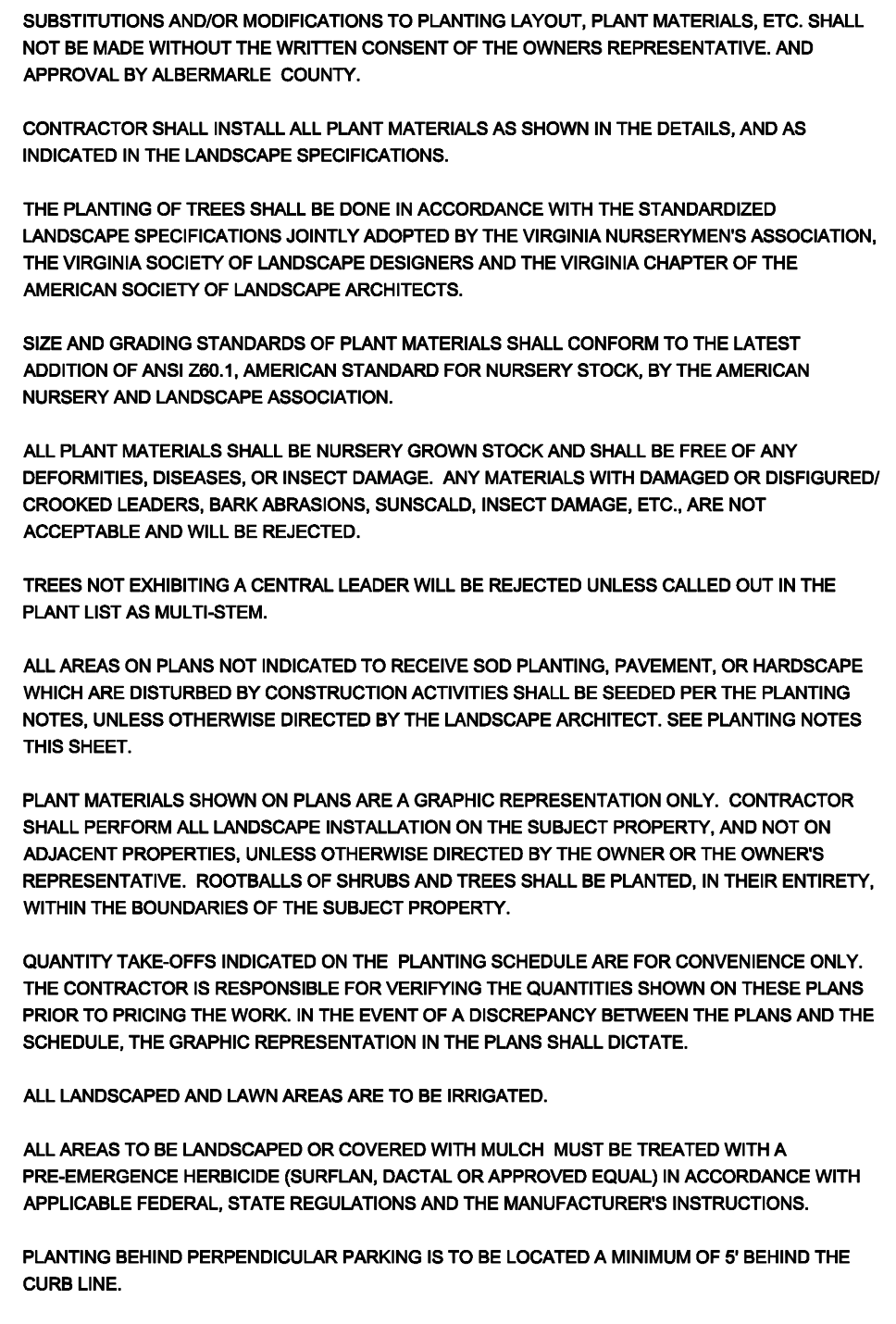
**Tree Tie Detail**

SECTION (TREES UNDER 3.5" CAL. OR 14' IN HEIGHT) NTS



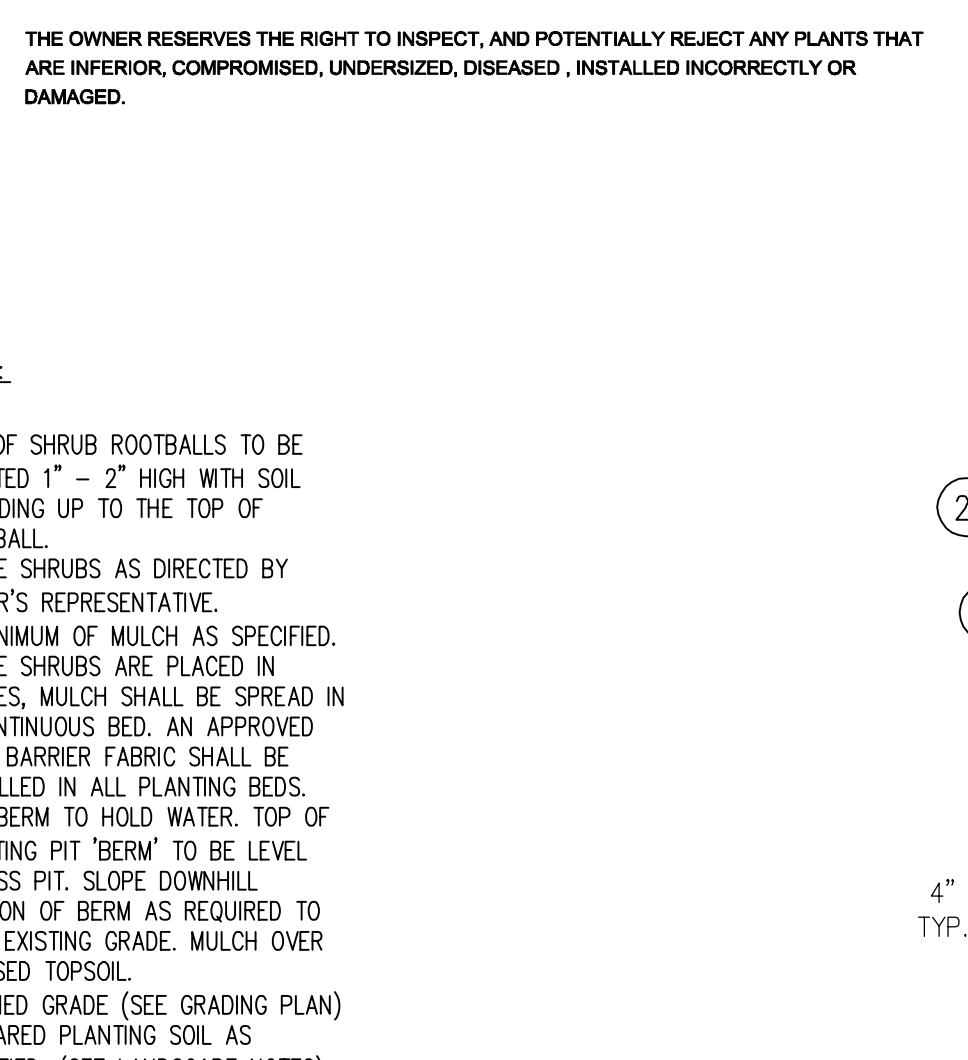
**Small Tree Planting**

SECTION (TREES UNDER 3.5" CAL. OR 14' IN HEIGHT) NTS



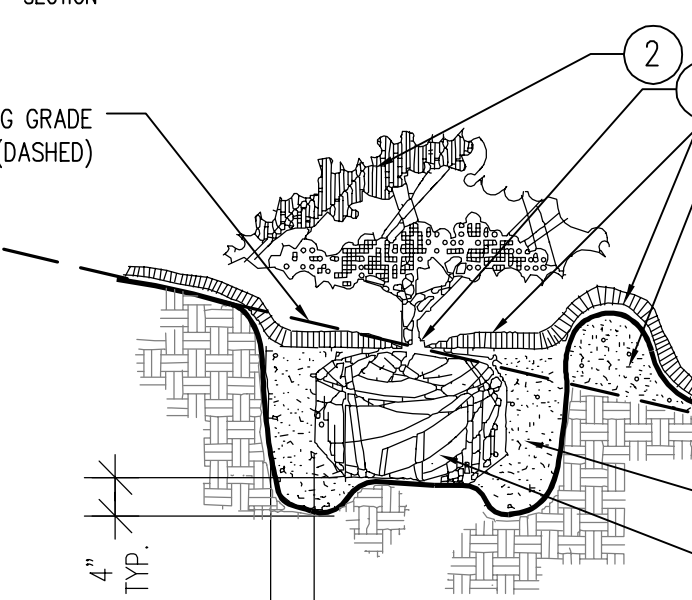
**Tree Planting on a Slope**

SECTION NTS



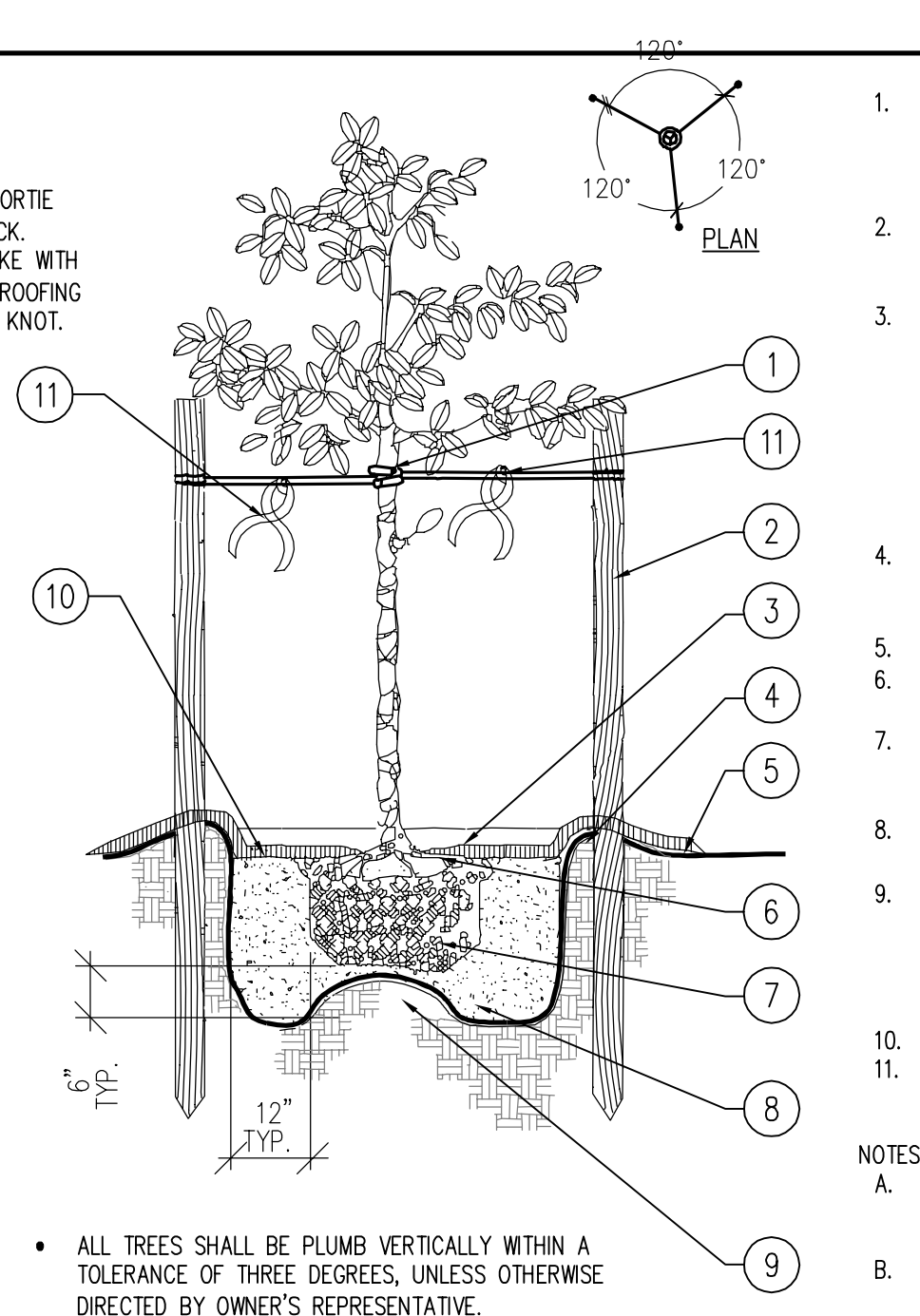
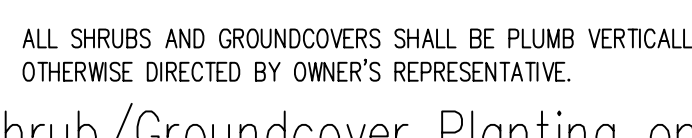
**Shovel Edge Detail**

SECTION NTS



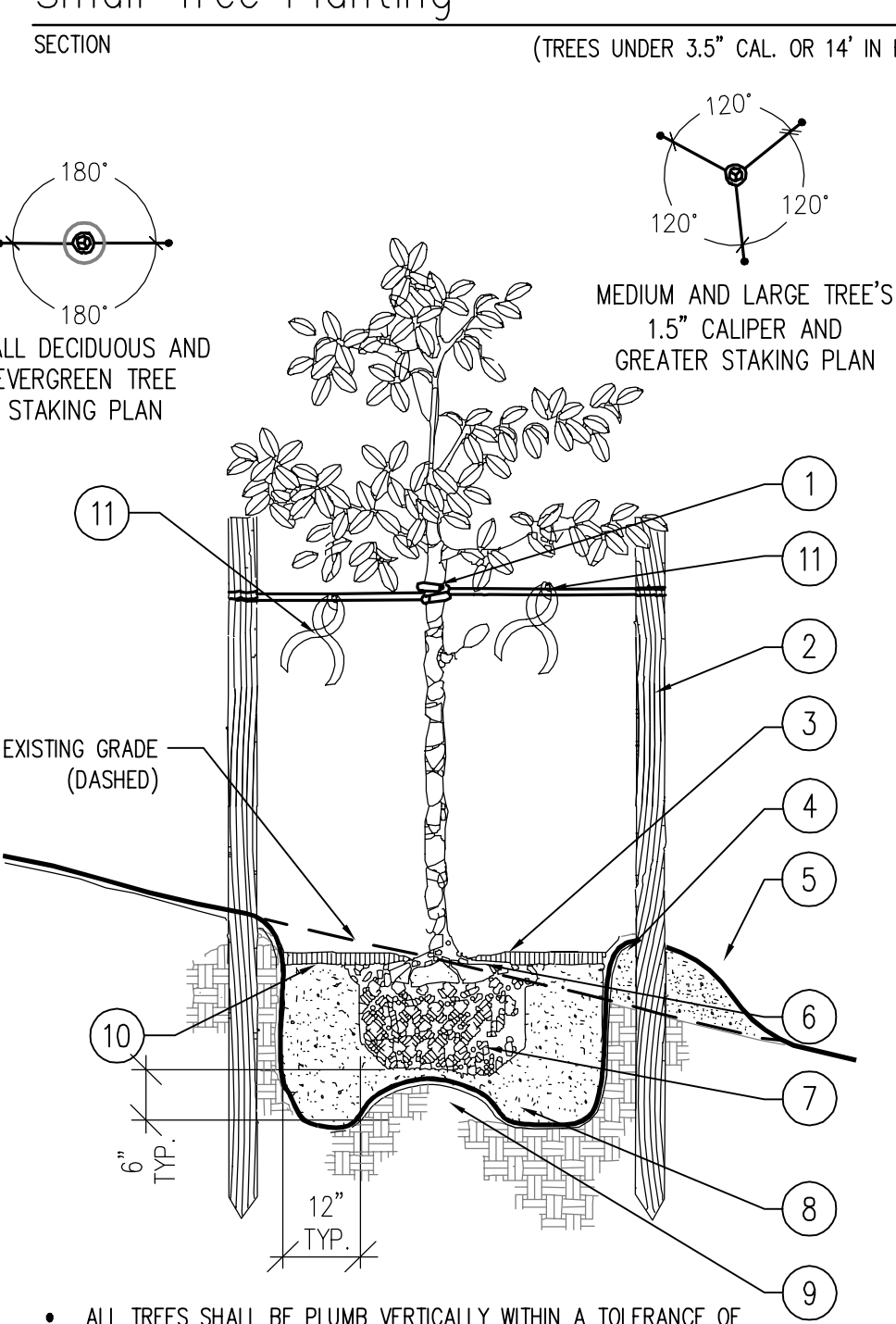
**Shrub/Groundcover Planting on a Slope**

SECTION NTS




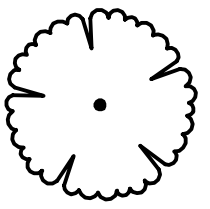
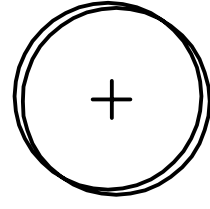
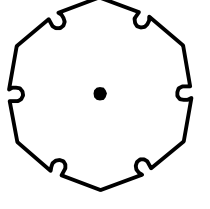










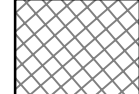
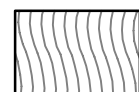
**Small Tree Planting**

SECTION (TREES UNDER 3.5" CAL. OR 14' IN HEIGHT) NTS





**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS	
	IN	2	ILEX X 'NELLIE R STEVENS'	NELLIE STEVENS HOLLY	B & B		7'-8" HT. MIN.		
	MB	13	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD' TM	SOUTHERN MAGNOLIA	B & B	2" CAL. MIN.	12' HT. MIN. 6' TRUNK HT.		
	PO	4	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	B & B	2" CAL. MIN.	12' HT. MIN.		
	ZV	13	ZELKOVA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOVA	B & B	2" CAL. MIN.	12' HT. MIN.		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS	
	AL	11	ABELIA X GRANDIFLORA 'LITTLE RICHARD'	LITTLE RICHARD ABELIA	CONT.		18" HT. MIN.		
	EK	54	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN'	MANHATTAN EUONYMUS	CONT.		24" HT. MIN.		
	IN2	17	ILEX CORNUTA 'NEEDLEPOINT'	NEEDLEPOINT HOLLY	CONT.		24" HT. MIN.		
	IH4	45	ILEX CRENATA 'HOOGENDOORN'	HOOGENDOORN JAPANESE HOLLY	CONT.		24" HT. MIN.		
	IS3	14	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	CONT.		24" HT. MIN.		
	JS	73	JUNIPERUS CHINENSIS 'SARGENTII'	SARGANT JUNIPER	CONT.		24" HT. MIN.		
	NP	39	NANDINA DOMESTICA 'FIRE POWER'	FIREPOWER NANDINA	CONT.		18" HT. MIN.		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS	
	AK	20	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'	GLOSSY ABELIA	CONT.		15"-18" SP.		
	CS	27	COTONEASTER SALICIFOLIUS 'REPANDENS'	WILLOWLEAF COTONEASTER	CONT.		18" SP. MIN.		
	LB	29	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	CONT.		1 GAL.		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	FIELD3	SPACING	REMARKS
	HS	7,204 SF	HARDWOOD MULCH	SHREDDED HARDWOOD MULCH	NONE				
	CB	6,456 SF	PERMANENT LAWN	SOD	SOD				SEE NOTES REGARDING TYPE OF SOD TO USE

**NOTE REGARDING TREES IN CLOSE PROXIMITY TO FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTORS:**  
 TREES SHALL BE A MINIMUM OF 10' AWAY FROM ALL FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTORS. TREE BRANCHES OF TREES IN CLOSE PROXIMITY TO THESE UTILITIES SHALL BE TRIMMED SO THEY ARE A MINIMUM OF FIVE FEET AWAY FROM ANY PART OF THE HYDRANT.



NORTHERN 13225 - RIGHT REAR DRIVE-THRU

STORE NUMBER: 1556

EMMET STREET AND BARRACKS ROAD CHARLOTTESVILLE, VA 22901

PROJECT TYPE: NEW STORE  
 DEAL TYPE: FF&S

CS PROJECT NUMBER: 65209

ENGINEER:



CONSULTANT:

KIMLEY-HORN AND ASSOCIATES, INC.  
 1700 WILLOW LAWN DR, SUITE 200  
 RICHMOND, VA 23230  
 TEL (804) 673-3882  
 FAX (804) 673-3980

DEVELOPER:

THE REBKEE COMPANY  
 15871 CITY VIEW DRIVE, SUITE 300  
 MIDLOTHIAN, VA 23113  
 TEL: (804) 419-0740  
 FAX: (804) 419-0759

SEAL:



REVISIONS:


DRAWING BY: KRW

DATE: NOVEMBER 21, 2016

JOB NUMBER: 113001373

TITLE: **PLANTING SCHEDULE**

SHEET NUMBER:

**CP-502**

COMMENTS:

Luminaire Schedule									
Project: HUBBELL LIGHTING									
Symbol	Label	Qty	Arrangement	Description	Lum. Lumens	LMF	Lum. Watts	Arr. Watts	Total Watts
	P2	1	SINGLE	CL1S-16LU-4K-2	3322	0.903	38.1	38.1	38.1
	P3	1	SINGLE	CL1S-16LU-4K-3	3350	0.903	38	38	38
	P4	1	SINGLE	CL1S-16LU-4K-4	3254	0.903	38	38	38
	P4-BC	5	SINGLE	CL1S-16LU-4K-4-BC	2101	0.903	113	113	565
	P5	13	SINGLE	CL1S-16LU-4K-5W	3169	0.903	38.1	38.1	495.3
	P5-2	5	BACK-BACK	CL1S-16LU-4K-5W	3169	0.903	38.1	76.2	381

Calculation Summary									
Project: HUBBELL LIGHTING									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
CalcPts Extending Out To Zero	Illuminance	Fc	0.80	10.8	0.0	N.A.	N.A.	10	10
Adjacent Strip Center Parking	Illuminance	Fc	0.89	2.6	0.0	N.A.	N.A.		
CVS Parking	Illuminance	Fc	1.63	3.6	0.6	2.72	6.00		

Luminaire Schedule						
Project: FIXTURES BY OTHERS - HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRES MANUFACTURED BY OTHERS						
Symbol	Label	Qty	Arrangement	Description	Lum. Lumens	LMF
	OB	4	SINGLE	5811-1SAT20L8040M	1130	0.903
	OC OLD	4	SINGLE	EVO 41/29 8AR 120	3108	0.903
	WP	4	SINGLE	DSXW1 LED 10C 1000 40K TFTM MVOLT	3944	0.903



**CVS  
pharmacy**  
NORTHERN 13225 - RIGHT  
REAR DRIVE-THRU

STORE NUMBER: 1556  
EMMET STREET AND BARRACKS ROAD  
CHARLOTTESVILLE, VA 22901  
PROJECT TYPE: NEW STORE  
DEAL TYPE: FFS  
CS PROJECT NUMBER: 65209

ENGINEER:  
**Kimley»Horn**

CONSULTANT:  
KIMLEY-HORN  
AND ASSOCIATES, INC.  
1700 WILLOW LAWN DR,  
SUITE 200  
RICHMOND, VA 23230  
TEL (804) 673-3882  
FAX (804) 673-3980

DEVELOPER:  
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FAX: (804) 419-0759

SEAL:

REVISIONS:

DRAWING BY: KRW  
DATE: NOVEMBER 21, 2016  
JOB NUMBER: 113001373  
TITLE:

**LIGHTING PLAN**

SHEET NUMBER:  
**CL-101**

COMMENTS:

NOT A CONSTRUCTION DOCUMENT -  
FOR DESIGN PURPOSES ONLY

1. THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.  
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.  
3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.



## **CVS Project Updates**

December 20, 2016

1. Intersection Improvements—
  - a. Turn Lane added on Barracks Road
  - b. More stacking for left turn lane on Emmet Street South
  - c. Land for new right turn lane on Emmet Street North
2. 8 foot wide multi-use sidewalk with 5 foot planting strip including Magnolias (13 total).
3. Direct pedestrian access from the street to the building.
4. Modern design that coordinates with new development proposed at 1200 Emmet Street.
5. Tower element to add prominence to the NW corner.
6. Spandrel glass window removed and 2<sup>nd</sup> Door for pedestrians at the corner of Barracks and Emmet added.
7. Building finished floor lowered and retaining wall removed along Barracks Road
8. All lighting lowered to 12 feet or below; cove lighting removed from sill.
9. Signage proposed on smaller distinctive canopy areas above the windows.
10. Additional screening of rooftop mechanical units incorporated.



CVS pharmacy

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**innovative equipment screens**



**3 generations ahead of the next best solution**

## An affordable solution for equipment screening is finally here...

Envisor equipment screens now offer architects the flexibility to create affordable, elegant, **customized screening solutions** that integrate with their building design, all with **no rooftop penetration**.

Our patented equipment screens also provide a viable solution for **municipal screening code requirements** on everything from HVAC units to



52" Louver Panels

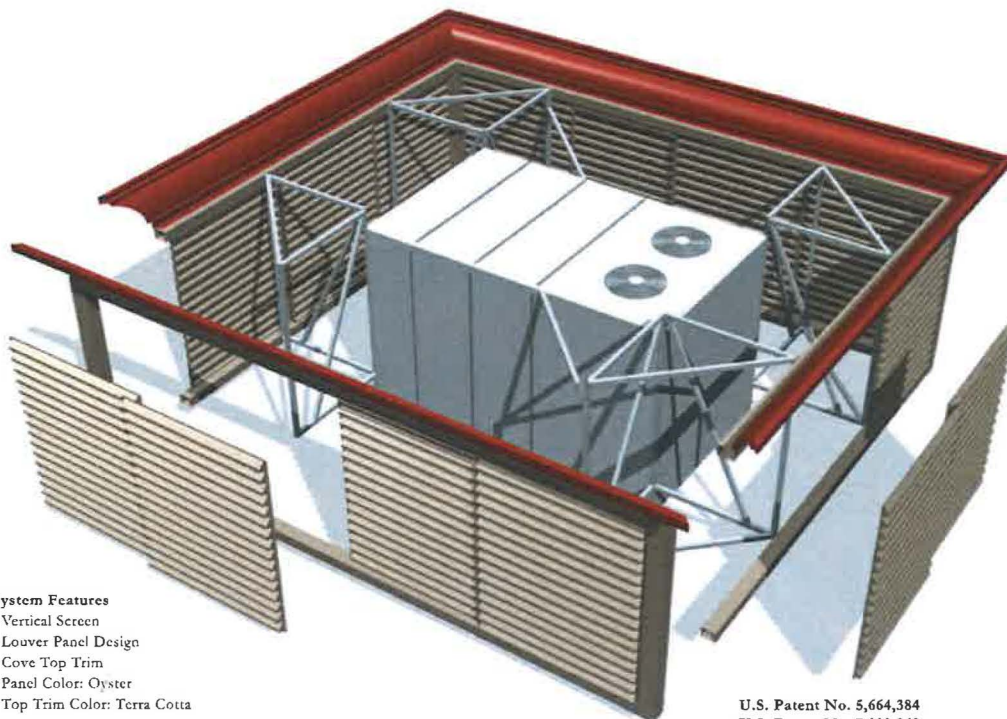


The Ohio State University Foundation - Columbus, Ohio

chillers, air handlers, power exhausts, roof stacks, communication equipment, dumpsters - you name it!

## Customizing a screen to fit your needs is easy...

Simply choose between canted or vertical, decide on a panel design, select a top trim (optional), and pick a color. It's that simple! **We can customize any feature** to your particular design requirements, including custom panel designs, custom colors, and custom top trim designs. If you don't see what you need, tell us what you want. We'll build it for you.



#### System Features

- Vertical Screen
- Louver Panel Design
- Cove Top Trim
- Panel Color: Oyster
- Top Trim Color: Terra Cotta

U.S. Patent No. 5,664,384  
 U.S. Patent No. 7,000,362  
 U.S. Patent No. 7,707,798

## Step 1: Choose a Canted or Vertical System



Enviro screens are the perfect alternative to parapet walls and they satisfy even the strictest screening code requirements. Both styles feature our patented attachment method, which secure our screens directly to the equipment with no rooftop penetration. Screen heights are available to screen virtually anything you desire.

## Step 2: Decide on a Panel Design



WIDE RIB



BATTEN



LOUVER



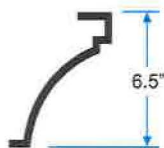
PAN



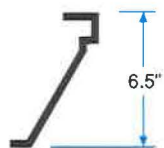
BRICK

Panels are available in **5 standard styles** allowing you to control the project without sacrificing the essential elements of the building design. The panels are constructed of thermoformed high impact ABS with a **co-extruded UV protective layer** on both sides. The panels are held firmly in place using a rust-free, double tracked aluminum rail system. This enables the panels to slide side-to-side for easy access to the unit during servicing and maintenance. Don't see a panel that fits your project? Tell us and we'll make one that you design.

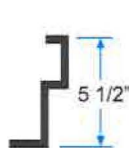
## Step 3: Select a Top Trim (optional)



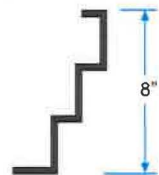
COVE



ALAMO



STEP 1



STEP 2



FLAT

Decorative top trim options offer the flexibility to further customize the elegant appearance of the screens by **picking up on your building design elements** and incorporating those details into the screen itself. Although optional, they offer one more way to make screens part of the design, not part of the problem. We can manufacture any size and shape top trim you create.

## Step 4: Pick a Designer Color



Our designer colors complement most architectural applications, but don't let standard colors limit your creativity. We have the ability to **match to any cross-referenced color specification**. Send us samples to match. We've even matched a color to a rock! *Colors shown are only approximate. Please call for actual samples.*

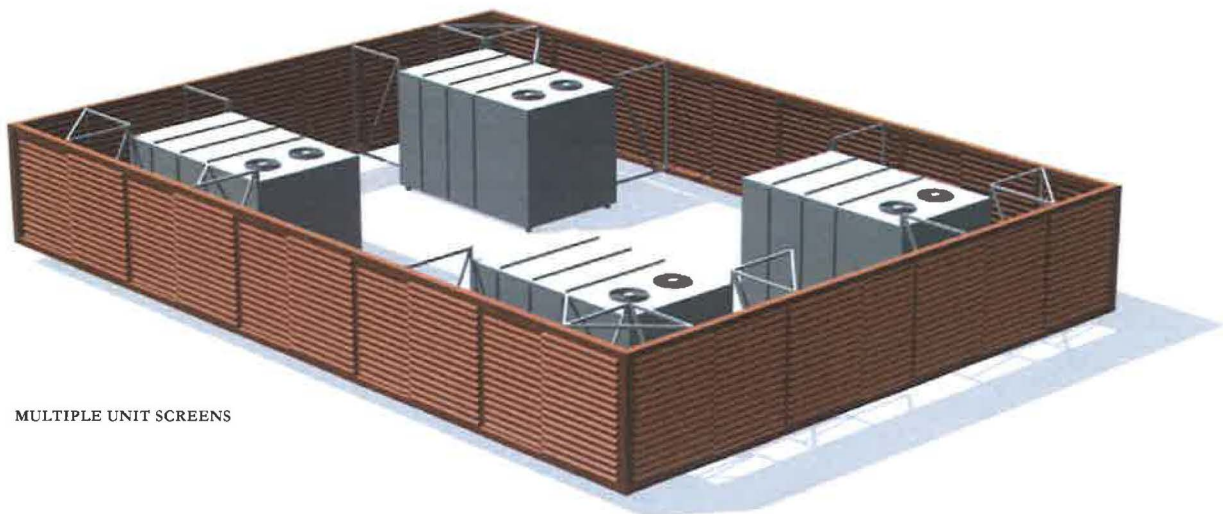
## Step 5: Custom Designed Solutions



TOP TRIM ADDED



CUSTOM PANELS



MULTIPLE UNIT SCREENS

Envisor equipment screens can be manufactured in a limitless combination of shapes and configurations to help reduce cost, add to the aesthetics of a building, or both. Let us design one for you! Just tell us the equipment manufacturer, the model numbers, and the special requirements you might have. Call for a complete design kit today or visit our website at [www.cityscapesinc.com](http://www.cityscapesinc.com).

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## **Product Features**

**No Rooftop Penetration**

**Pre-Engineered Screening System**

**Screening Code Solution**

**Attractive Alternative to Parapet Walls**

**Multiple Panel Designs**

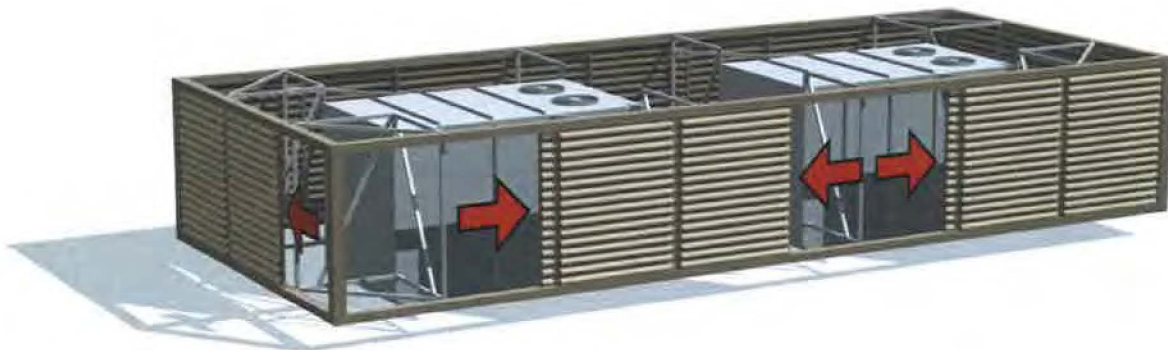
**Designer Top Trim Accents**

**Vertical or Canted Designs**

**Wide Range of Designer Colors**

**Panels Slide for Easy Service Access**

**Custom Design Capabilities**



Our panels are designed to slide side-to-side in either direction for easy access to the equipment for servicing and routine maintenance.



## Equipment Vendors

Commercial HVAC and Chiller Equipment Vendors who have installed ENVISOR Rooftop Equipment Screens include:

Trane  
Lennox  
York  
Carrier  
Heil  
AAON  
Liebert  
Rheem  
Reznor

Hussmann  
Airwise  
Bryant  
McQuay  
BAC  
Hill Phoenix  
Am. Standard  
Munters  
Engineered Air

## Retail Clients

Some of the clients utilizing ENVISOR Rooftop Equipment screens on their HVAC and Chiller Equipment include:

Aldi  
AMC Theaters  
Avis  
Best Buy  
Blockbuster  
Costco  
CVS  
Hertz  
Home Depot  
Kohl's  
Lowe's

McDonald's  
Meijer  
Mobil Oil  
Muvico  
Rite Aid  
Sam's Club  
Sears  
Target  
Walgreen's  
Wal-Mart  
Wendy's



by CityScapes International  
4200 Lyman Court  
Hilliard, OH 43026  
Toll Free: 877.727.3367  
Fax: 800.726.4817





FRONT ELEVATION (JEMMET STREET NORTH)



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION (BARRACKS ROAD)

**EXTERIOR MATERIAL SCHEDULE**

Item	Description	Quantity
1	Dark Stucco	1000 sq ft
2	Light Stucco	500 sq ft
3	Dark Brick	2000 sq ft
4	Light Brick	1000 sq ft
5	Dark Glass	1000 sq ft
6	Light Glass	500 sq ft
7	Dark Metal	100 sq ft
8	Light Metal	50 sq ft
9	Dark Paint	1000 sq ft
10	Light Paint	500 sq ft
11	Dark Sealant	1000 sq ft
12	Light Sealant	500 sq ft

**EXTERIOR WINDOW NOTES**

1. All windows shall be double glazed with low E coating.
2. All windows shall be operable.
3. All windows shall be finished with dark metal.
4. All windows shall be finished with light metal.
5. All windows shall be finished with dark glass.
6. All windows shall be finished with light glass.
7. All windows shall be finished with dark sealant.
8. All windows shall be finished with light sealant.

**CVS pharmacy**

EX - 12 - REAR - NO RHC  
RIGHT CHAMFER ENTRY  
REAR DRIVE THRU

STORE NUMBER 1556

PROJECT TYPE: RETAIL

PROJECT NUMBER: 65209



**Larson Design Group**

200 University Park Blvd  
Charlottesville, VA 22902  
Phone: 804.752.2200  
Fax: 804.752.2200  
www.larsondesigngroup.com

**DEVELOPER**

THE WALSH COMPANY  
1000 E. MAIN STREET  
CHARLOTTESVILLE, VA 22902  
TEL: 804.752.2200  
FAX: 804.752.2200



CVS/pharmacy Store #1556 Charlottesville, VA  
Exterior Color Board

**SEAL**

DATE: \_\_\_\_\_

DESIGNED BY: \_\_\_\_\_

DATE: 10/27/2010

EXTERIOR ELEVATIONS

PROJECT NUMBER: \_\_\_\_\_

**A5c**



**CITY OF CHARLOTTESVILLE**  
**DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES**  
**STAFF REPORT TO THE ENTRANCE CORRIDOR REVIEW BOARD (ERB)**

**ENTRANCE CORRIDOR (EC)**  
**CERTIFICATE OF APPROPRIATENESS**

**DATE OF PLANNING COMMISSION MEETING: January 10, 2017**

**Project Name:** 1200 Emmet Street North, Emmet & Barracks Retail Building

**Planner:** Mary Joy Scala, AICP

**Applicant:** Riverbend Development

**Applicant's Representative:** Alan Taylor

**Applicant's Relation to Owner:** Applicant is contract purchaser

**Application Information**

**Property Street Address:** 1200 Emmet Street North

**Property Owner:** Capital One N.A.

**Tax Map/Parcel #:** Tax Map 40, Parcel 2.1 (Online Record: 400002100)

**Total Square Footage/Acreage Site:** 0.898 acres

**Comprehensive Plan (Land Use Plan) Designation:** Mixed Use

**Current Zoning Classification:** URB Urban Corridor with Entrance Corridor (EC) Overlay

**Entrance Corridor Overlay District:** §34-307(a)(1) Route 29 North from corporate limits to Ivy Road

**Current Usage:** Vacant lot (former Exxon service station building was demolished in 2008)

**Background**

The ERB reviews Entrance Corridor Certificate of Appropriateness applications when the proposal is for new construction.

July 10, 2007 – The ERB approved a COA for a Chevy Chase bank, which was never built.

**Applicant's Request**

The applicant is requesting approval of a certificate of appropriateness to construct a one-story retail building. Parking is provided to the north and east of the building for 56 cars.

The vehicular circulation includes two two-way entrances, off Emmet Street North and Meadowbrook Road. There are existing 5-foot sidewalks along Emmet Street North and Barracks Road; none along Meadowbrook Road. The applicant proposes 7 foot sidewalks, with a

median strip for street trees along Emmet Street that separates the sidewalk from the Emmet Street curb. The City Department of Parks and Recreation is planning a sidewalk/trail project along Meadow Creek at the rear of the site, from Barracks Road to Morton Drive. There is a proposed retaining wall and screening fence along Meadowbrook Road.

Proposed landscaping includes street trees: 8 Willow Oaks along Emmet Street, 8 Japanese Katsuras and 4 Red Maples along Barracks Road, and 11 Japanese Katsuras along Meadowbrook Road. Additional trees on site include 5 Sawtooth Oaks, 3 Japanese Katsuras, and 10 White Oaks. Evergreen and deciduous shrubs are also proposed.

Building materials consist of Boral brick, Masonry veneer, Buffalo Lumber Western Red Cedar planks Hardi siding, Texston Plaster Panel System, Kawneer dark bronze aluminum storefront, metal awnings and canopies, and low-e glass similar to PPG Solarban 60 (72VLT).

Channel letter signage is proposed for individual shops.

Proposed lighting includes one wall light mounted at 14' height on the south side, and three pole lights, shown at 12' and 20' mounting height.

### **Standard of Review**

The Planning Commission serves as the entrance corridor review board (ERB) responsible for administering the design review process in entrance corridor overlay districts. This development project requires a site plan, and therefore also requires a certificate of appropriateness from the ERB, pursuant to the provisions of §34-309(a)(3) of the City's Zoning Ordinance. The ERB shall act on an application within 60 days of the submittal date, and shall either approve, approve with conditions, or deny the application. Appeal would be to City Council.

### **Standards for considering certificates of appropriateness:**

In conducting review of an application, the ERB must consider certain features and factors in determining the appropriateness of proposed construction, alteration, etc. of buildings or structures located within an entrance corridor overlay district. Following is a list of the standards set forth within §34-310 of the City Code:

#### **§34-310(1): Overall architectural design, form, and style of the subject building or structure, including, but not limited to: the height, mass and scale;**

The proposed building has a footprint of 81.5' x 137.5' and is approximately 23' in height, with projecting façade elements that reach 31' in height. There is a restaurant patio canopy on the Barracks Road side, and a freestanding solar canopy over the three EV charger parking spaces on the NE side, with a footprint of approximately 16' x 28'.

The building form is contemporary, with a flat roof.

**Staff Analysis:**

A building of this height, mass and scale is appropriate in this location if articulated appropriately.

**e§34-310(2): Exterior architectural details and features of the subject building or structure:**

The walls are articulated on all sides using several different durable building materials, metal canopies, and three vertical façade projections of different heights. The design includes storefront glass windows and doors with transoms above. The building has the largest area of storefront glass facing Meadowbrook and Barracks Roads, with less glass on the Emmet Street and north side.

Channel letter signage in red and blue colors is proposed for individual shops.

Proposed lighting includes one wall light mounted at 14' height on the south side, and three pole lights, shown at 12' and 20' mounting height.

The mechanical equipment location and screening are not shown.

**Staff Analysis:** The proposed contemporary design looks intentional for this corner location, but the front of the building appears to face the parking lot on Meadowbrook Road side, rather than Emmet Street.

If shop #1 faces Barracks Road, then shops #1, 2, and 5 all have a good presence on both Emmet Street and the rear parking lot. However, shops #4 and 5 are turning their backs to Emmet Street, with no storefront glass except for single glass doors that appear more as service entrances. The vertical façade projection on Emmet Street seems to indicate a main entrance which is not there. The other two roof projects are appropriately located.

This site abuts low-density residential, therefore all lighting must be maximum 12 feet in height. It appears to be dark-sky compliant.

The signage must be located no higher than 20 feet. In a shopping center, each shop is permitted two signs, with size generally determined by façade width. Staff recommends that the signage is lit white, consistent with the Barracks Road/Emmet Street area.

Mechanical equipment location and screening must be shown.

**§34-310(3): Texture, materials and color of materials proposed for use on the subject building or structure:**

The proposed building materials consist of:

- Boral brick – standard size “Wellington” blend with Holcim “Dandelion” mortar
- HardiePlank cementitious lap siding – “Mojave Beige”
- Masonry veneer equal to Rockcast AMV Series “Buffstone” with Holcim “Shelby Tan”

mortar

- Buffalo Lumber Western Red Cedar planks – “Butternut” stain
- Screening fence – wood boards to match wall siding but stained dark green or brown
- Texston Plaster Panel System – colors “White” and “Lava Rock”
- Kawneer “dark bronze” aluminum storefront
- Metal awning with C-channel fascia powdercoated “Black”
- Metal canopy –pre-finished extruded aluminum – corrugated metal deck – “lead-cote”
- Low-e glass similar to PPG Solarban 60 (72VLT).
- EV charger area canopy – Lumos in neutral color
- Lighting: WLS Lighting Systems – WMEL series and CLX series

**Staff Analysis:**

The proposed new retail building is simple in design, with an attractive mix of durable building materials. It is important to continue the red brick theme that is part of the context of this area. The colors are subdued, which will focus attention on the lighted interiors.

All the materials and colors are recommended, except smooth textured Hardie siding is preferred to wood grain.

The applicant should confirm that all lighting will be dark sky compliant and no higher than 12’ when installed.

**§34-310(4): Design and arrangement of buildings and structures on the subject site;**

The site plan is generally compliant with City site plan regulations.

The building has been pulled as close to the intersection as possible. New sidewalks are provided on the three City streets, and a pedestrian walkway surrounds the building.

The street trees along Emmet Street are located in a median between the sidewalk and the curb. Street trees are located behind the sidewalks on Barracks Road and Meadowbrook Road.

There is a retaining wall and screening fence along Meadowbrook Road. There is a solar canopy provided above the EV charger parking spaces.

**Staff Analysis:** The design and arrangement of the buildings and structures on site are appropriate. Staff has noted the issue with the orientation of shop storefronts.

There is a desire to make this general location more pedestrian-friendly. The pedestrian connections and the outdoor patio will help accomplish that goal on this site.

Vehicular circulation is simple and efficient.

The landscape plan, including screening of the parking lot is well- developed.

**§34-310(5): The extent to which the features and characteristics described within paragraphs (1)-(4), above, are architecturally compatible (or incompatible) with similar features and characteristics of other buildings and structures having frontage on the same EC street(s) as the subject property.**

**Staff Analysis:** The goals are to make the site function well for the users of this site and the entrance corridor, and to have an attractive development that is compatible with its surrounding context.

The site design will function well, and this building will be architecturally compatible with other buildings in this area.

**§34-310(6): Provisions of the Entrance Corridor Design Guidelines.**

Relevant sections of the guidelines include:

**Section 1 (Introduction)**

The Entrance Corridor design principles are expanded below:

**• Design For a Corridor Vision**

New building design should be compatible (in massing, scale, materials, colors) with those structures that contribute to the overall character and quality of the corridor. Existing developments should be encouraged to make upgrades consistent with the corridor vision. Site designs should contain some common elements to provide continuity along the corridor. New development, including franchise development, should complement the City's character and respect those qualities that distinguish the City's built environment.

**• Preserve History**

Preserve significant historic buildings as well as distinctive architecture from more recent periods. Encourage new contemporary design that integrates well with existing historic buildings to enhance the overall character and quality of the corridor.

**• Facilitate Pedestrian Access**

Encourage compact, walkable developments. Design pedestrian connections from sidewalk and car to buildings, between buildings, and between corridor properties and adjacent residential areas.

**• Maintain Human Scale in Buildings and Spaces**

Consider the building scale, especially height, mass, complexity of form, and architectural details, and the impact of spaces created, as it will be experienced by the people who will pass by, live, work, or shop there. The size, placement and number of doors, windows, portals and openings define human scale, as does the degree of ground-floor pedestrian access.

**• Preserve and Enhance Natural Character**

Daylight and improve streams, and retain mature trees and natural buffers. Work with topography to minimize grading and limit the introduction of impervious surfaces. Encourage plantings of diverse native species.

**• Create a Sense of Place**

In corridors where substantial pedestrian activity occurs or is encouraged, or where mixed use and multi-building projects are proposed, one goal will be creating a sense of place. Building arrangements, uses, natural features, and landscaping should contribute, where feasible, to create exterior space where people can interact.

• **Create an Inviting Public Realm**

Design inviting streetscapes and public spaces. Redevelopment of properties should enhance the existing streetscapes and create an engaging public realm.

• **Create Restrained Communications**

Private signage and advertising should be harmonious and in scale with building elements and landscaping features.

• **Screen Incompatible Uses and Appurtenances:**

Screen from adjacent properties and public view those uses and appurtenances whose visibility may be incompatible with the overall character and quality of the corridor, such as: parking lots, outdoor storage and loading areas, refuse areas, mechanical and communication equipment, Where feasible, relegate parking behind buildings. It is not the intent to require screening for utilitarian designs that are attractive, and/or purposeful.

• **Respect and Enhance Charlottesville's Character**

Charlottesville seeks new construction that reflects the unique character, history, and cultural diversity of this place. Architectural transplants from other locales, or shallow imitations of historic architectural styles, for example, are neither appropriate nor desirable. Incompatible aspects of franchise design or corporate signature buildings must be modified to fit the character of this community.

Section 2 (Streetscape)

**Staff Analysis:** The street trees and landscaping will create a nice frontage and a comfortable place to walk.

Section 3 (Site):

**Staff Analysis:**

The site features are appropriate for the use.

Section 4 (Buildings):

**Staff Analysis:**

The building design is appropriate.

Section 5 (Individual Corridors):

Route 29 North (Bypass to Barracks Road) Vision:

It is expected that the small scaled restaurants and businesses of this central section of the corridor will redevelop, either individually or on larger, consolidated parcels. The natural buffer of Meadow Creek at the rear of many of the existing lots on the east side creates an opportunity



for outdoor eating areas or other amenities. Building designs that reflect community character are preferred over franchise design and corporate signature buildings. There are opportunities for unified landscaping along the corridor that would help enhance the pedestrian connection and the character of this area as it redevelops.

### **Public Comments Received**

The Meadowbrook Neighborhood Association has expressed interest in the development of this site.

### **Staff Recommendations**

Staff recommends the following modifications to the current design:

1. Modify the Emmet Street façade in the location of the two single doors to make it appear that it is facing Emmet Street;
2. The wall signage should be maximum 20 feet high, and lit white at night.
3. Confirm all lighting will meet height and dark sky requirements.
4. Show mechanical units location and screening.

### **Suggested Motion**

1. “I move to defer the Entrance Corridor Certificate of Appropriateness application for the new retail building at 1200 Emmet Street.”

### **Alternate Motion**

1. “I move to approve the Entrance Corridor Certificate of Appropriateness application for the new retail building at 1200 Emmet Street, with the following modifications.....”.

### **Attachments:**

EC Application form  
EC Project Narrative  
Landscape Plan  
Lighting Plan  
Screening Fence Study A  
Screening Fence Study B  
Screening Fence Detail  
Front and Right Elevation  
Rear and Left Elevation  
Perspectives (4 pages)  
Solar Canopy (3 pages)



**Entrance Corridor Review Application (EC)  
Certificate of Appropriateness**

**RECEIVED**

**DEC 13 2016**

Please Return To:  
City of Charlottesville  
Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130

**NEIGHBORHOOD DEVELOPMENT SERVICES**

Email [scala@charlottesville.org](mailto:scala@charlottesville.org)

**Please submit one (1) hard copy and one (1) digital copy of application form and all attachments.  
Please include application fee as follows: New construction project \$375; Additions and other projects requiring BAR approval \$125; Administrative approval \$100.  
Make checks payable to the City of Charlottesville.**

The Entrance Corridor Review Board (ERB) meets the second Tuesday of the month.  
Deadline for submittals is Tuesday 3 weeks prior to next ERB meeting by 3:30 p.m.

Owner Name Capital One NA Applicant Name Riverbend Development  
Project Name/Description Barracks and Emmet Retail Parcel Number \_\_\_\_\_  
Project Street Address 1200 Emmet St N

**Applicant Information**

Address: 455 Second St SE, 5th Fl  
Charlottesville, VA 22902  
Email: Alan@riverbenddev.com ; RS@riverbenddev.com  
Phone: (W) 434-245-4900 (C) \_\_\_\_\_

**Signature of Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

[Signature] 12/13/16  
Signature Date  
Robby Saady 12/13/16  
Print Name Date

**Property Owner (if not applicant)**

Address: \_\_\_\_\_  
Email: \_\_\_\_\_  
Phone: (W) \_\_\_\_\_ (C) \_\_\_\_\_

**Property Owner Permission (if not applicant)**

I have read this application and hereby give my consent to its submission.

Signature \_\_\_\_\_ Date \_\_\_\_\_  
Print Name \_\_\_\_\_ Date \_\_\_\_\_

Description of Proposed Work (attach separate narrative if necessary): Attached

Attachments (see reverse side for submittal requirements): \_\_\_\_\_

**For Office Use Only**

Received by: O. Eubank  
Fee paid: 375.00 Cash/Ck. # 15561  
Date Received: 12/13/16

Approved/Disapproved by: \_\_\_\_\_  
Date: \_\_\_\_\_  
Conditions of approval: \_\_\_\_\_



PHILLIPS

PHONE 770.394.1616

FAX 770.394.1314

Date: 12.13.16

Riverbend Development

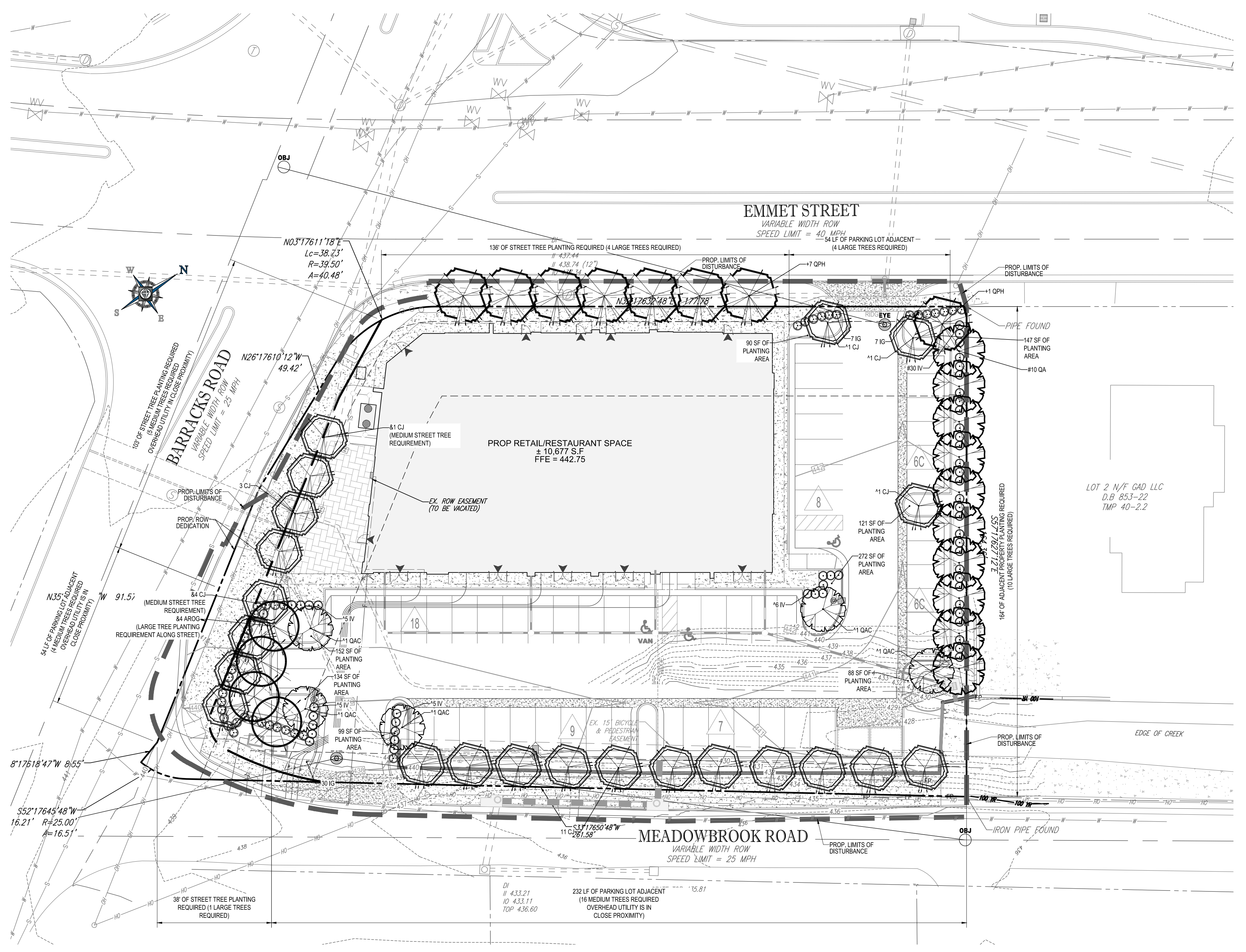
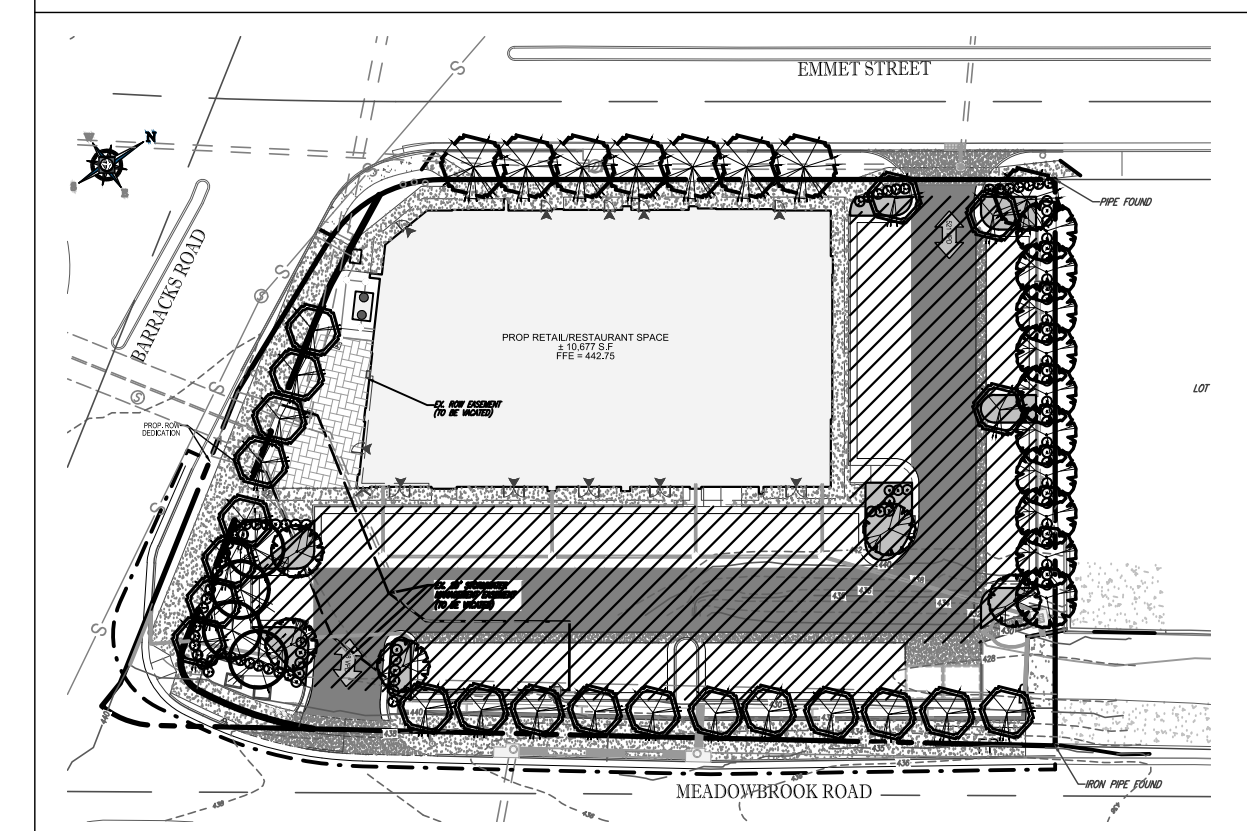
Narrative for 1200 Emmet Street in Charlottesville, VA PP Job # 1442620:

New construction of a single-story 10,788 sqft retail building, built at the corner of Emmet Street and Barracks Road. The exterior elevation design pulls materials from the surrounding context and incorporates them into a modern design. The design incorporates brick, hardie siding, and metal panels that are present in the Barracks Road Shopping Center, in addition to cedar siding veneer elements into the façade. The façade of the building will include a variety of materials and features changes in parapet height to help break up the massing of the building. EIFS veneer is not used in the design. Storefront glazing will be clear low-e glass (equal or similar to PPG Solarban 60) that allows for visibility into the shops spaces.

The building will feature pedestrian access and storefront on all four sides of the building as well as a covered patio element for a potential restaurant tenant on the Barracks Road side of the building. Canopies and large overhangs will be provided on all sides of the building to provide weather protection to pedestrians walking along the face of the building. The building will sit close to the intersection of Barracks Road and Emmet Street, in order to increase the visibility of the building, and features storefront at the corner of the building in order to provide a destination for pedestrians walking around the corner of the building.

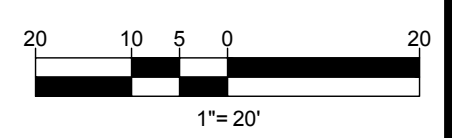
Per Sheet 6 of the site plan, there will be a canopy over the 3 proposed EV charger parking spaces. The canopy will be similar in design to the attached Solar Exhibit 1, though the color of the canopy will be more neutral, not blue. Solar exhibits 2 and 3 are also enclosed for further reference of Lumos projects.

ZONING ORDINANCE REQUIREMENTS			
SECTION	REQUIREMENTS	CALCULATIONS (REQUIRED/PROPOSED)	COMPLIANCE
34-869 TREE COVER REQUIREMENTS	ALL DEVELOPMENTS, PUBLIC OR PRIVATE, REQUIRING SUBMISSION AND APPROVAL OF A SITE PLAN SHALL INCLUDE PROVISIONS FOR THE PRESERVATION AND PLANTING OF TREES ON THE SITE TO THE EXTENT THAT, AT TEN (10) YEARS FROM PLANTING, MINIMUM TREE CANOPIES OR COVERS WILL BE PROVIDED AS FOLLOWS:  B-1, B-2, B-3, IC - 10%	REQUIRED: 39,030 SF SITE AREA 3,903 SF TREE CANOPY PROVIDED 11,679 SF TREE CANOPY REQUIRED	COMPLIES
34-870 STREETSCAPE TREES	STREETSCAPE TREES SHALL BE PLANTED WITH EVEN SPACING IN A ROW, AT INTERVALS SUFFICIENT TO ALLOW FOR THEIR HEALTHY GROWTH AND DEVELOPMENT.  (1) ONE (1) LARGE TREE SHALL BE REQUIRED FOR EVERY FORTY (40) FEET OF ROAD FRONTAGE, OR PORTION THEREOF, IF TWENTY-FIVE (25) FEET OR MORE; OR,  (2) WHERE PERMITTED, ONE (1) MEDIUM TREE SHALL BE REQUIRED FOR EVERY TWENTY-FIVE (25) FEET OF ROAD FRONTAGE, OR PORTION THEREOF, IF TWENTY (20) FEET OR MORE.  (3) WHERE REQUIRED ALONG THE EDGE OF A PARKING LOT (AS SET FORTH WITHIN SECTION 34-873, ONE (1) LARGE TREE SHALL BE REQUIRED FOR EVERY FIFTEEN (15) FEET OF STREET FRONTAGE.	EMMET STREET 136 LF OF RIGHT-OF-WAY 54 LF ADJACENT TO PARKING LOT  1 TREE PER 40 LF REQ FOR ROW ADJACENT PORTION 1 TREE PER 15 LF REQ FOR PARKING LOT ADJACENT PORTION  8 TOTAL TREES REQUIRED 8 LARGE TREES PROVIDED  ** * INDICATES PLANT MATERIAL UTILIZED TO FULFIL THE REQUIREMENT  BARRACKS ROAD 103 LF OF RIGHT-OF-WAY 54 LF ADJACENT TO PARKING LOT  1 TREE PER 25 LF REQ FOR ROW ADJACENT PORTION 1 TREE PER 15 LF REQ FOR PARKING LOT ADJACENT PORTION  9 TOTAL TREES REQUIRED 9 TOTAL TREES PROVIDED (4 LARGE, 5 MEDIUM)  * * INDICATES PLANT MATERIAL UTILIZED TO FULFIL THE REQUIREMENT  MEADOWBROOK ROAD 260 LF OF RIGHT-OF-WAY 232 LF ADJACENT TO PARKING LOT  1 TREE PER 40 LF REQ FOR ROW ADJACENT PORTION 1 TREE PER 15 LF REQ FOR PARKING LOT ADJACENT PORTION  11 TOTAL TREES REQUIRED 11 TREES PROVIDED  A MODIFICATION IS REQUESTED DUE TO AN RETAINING WALL, REQUIRED TREES CANNOT BE PROVIDED, AN OPAQUE FENCE IS PROPOSED TO PROVIDE PARKING LOT SCREENING.	COMPLIES
34-873 PARKING LOTS, SCREENING AND INTERIOR LANDSCAPING	(1) A CONTINUOUS LANDSCAPED BUFFER AT LEAST FIVE (5) FEET IN WIDTH SHALL BE ESTABLISHED BETWEEN THE EDGE OF A PARKING LOT AND AN ADJACENT PROPERTY, WHERE THERE IS NO INTERVENING PUBLIC RIGHT-OF-WAY.  (2) THE REQUIRED BUFFER SHALL CONSIST OF 5-2 SCREEN MATERIALS, ONE (1) LARGE TREE AND THREE (3) SHRUBS SHALL BE PLANTED FOR EVERY FIFTEEN (15) FEET OF LENGTH OF THE PROPERTY LINE. PLANTS SHALL BE EVENLY SPACED IN A ROW, AT INTERVALS SUFFICIENT TO ALLOW FOR THEIR HEALTHY GROWTH AND DEVELOPMENT.  (3) IF THE EDGE OF A PARKING LOT ABUTS ANOTHER PARKING LOT ON AN ADJACENT PROPERTY, AND THE OTHER EXISTING LOT HAS A LANDSCAPED BUFFER AREA OF AT LEAST FOUR (4) FEET WIDE, THEN NO ADDITIONAL BUFFER SHALL BE REQUIRED.	NORTHEAST PROPERTY LINE 138 LF OF PROPERTY LINE  1 TREE PER 15 LF REQ 10 TREES REQUIRED 28 SHRUBS REQUIRED  * * INDICATES PLANT MATERIAL UTILIZED TO FULFIL THE REQUIREMENT	COMPLIES
34-873 PARKING LOTS, SCREENING AND INTERIOR LANDSCAPING	(1) IN ADDITION TO THE OTHER APPLICABLE REQUIREMENTS OF THIS SECTION, AN AREA EQUAL TO FIVE (5) PERCENT OF THE GROSS AREA OF A PARKING LOT SHALL BE LANDSCAPED WITH TREES OR SHRUBS ("INTERIOR LANDSCAPED AREA").  (2) INTERIOR LANDSCAPED AREAS SHALL CONSIST OF AT LEAST ONE (1) TREE, AND AT LEAST THREE (3) SHRUBS, PER EIGHT (8) PARKING SPACES OR PORTION THEREOF. INTERIOR LANDSCAPED AREAS WITH AN AREA OF LESS THAN 300 SQUARE FEET SHALL BE PLANTED WITH AT LEAST ONE (1) MEDIUM TREE; THOSE HAVING AN AREA OF 300 SQUARE FEET OR MORE SHALL CONTAIN AT LEAST ONE (1) LARGE TREE, OR TWO (2) MEDIUM TREES.	AREA OF PARKING LOT: 16,240 SF 5% AREA = 812 SF  INTERIOR PARKING LOT LANDSCAPING PROVIDED: 1,103 SF  56 SPACES TOTAL  8 TREES REQUIRED 21 SHRUBS REQUIRED  8 TREES PROVIDED 21 SHRUBS PROVIDED  * * * INDICATES PLANT MATERIAL UTILIZED TO FULFIL THE REQUIREMENT	COMPLIES



LANDSCAPE SCHEDULE							
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	TREE CANOPY CREDIT	TREE CANOPY CREDIT TOTAL
<b>LARGE TREE(S)</b>							
AROG	4	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B	397	1588
QA	10	QUERCUS ALBA	WHITE OAK	2 1/2-3" CAL.	B+B	243	2430
QPH	8	QUERCUS PHELLOS	WILLOW OAK	2 1/2-3" CAL.	B+B	370	2960
SubTOTAL:	22						6978
<b>MEDIUM TREE(S)</b>							
CJ	22	CERCIDIPHYLLUM JAPONICUM	JAPANESE KATSURA TREE	2 1/2-3" CAL.	B+B	222	4894
QAC	5	QUERCUS ACUTISSIMA	SAWTOOTH OAK	2 1/2-3" CAL.	B+B	585	2925
SubTOTAL:	13						7809
<b>DECIDUOUS SHRUB(S)</b>							
IV	52	ITEA VIRGINICA 'HENRY'S GARNET'	GARNET SWEETSPIRE	24-30"	#5 CAN		
SubTOTAL:	52						
<b>EVERGREEN SHRUB(S)</b>							
IG	43	ILEX GLABRA	INKBERRY HOLLY	18-24"	#3 CAN		
SubTOTAL:	43						

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY



**BOHLER ENGINEERING**

LAND SURVEYING • PROGRAM MANAGEMENT • LANDSCAPE ARCHITECTURE  
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NORTH CAROLINA  
NORTH VIRGINIA

REVISIONS			
REV	DATE	COMMENT	BY
1	08/19/16	PER CITY COMMENTS	DRH
2	11/09/16	PER CITY COMMENTS	DRH

**NOT APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXISTING DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811 (WV 1-800-368-4848) (PA 1-800-242-1776) (DC 1-800-287-7777) (VA 1-800-552-7071) (MD 1-800-257-7777) (DE 1-800-282-8559)

PROJECT No.: V152007  
DRAWN BY: ADB  
CHECKED BY: RTY  
DATE: 11/09/16  
SCALE: 1" = 20'  
CAD I.D.: SS1

**SITE PLAN DOCUMENTS**  
FOR  
**EMMET & BARRACKS RETAIL CENTER**

LOCATION OF SITE  
EMMET STREET N. & BARRACKS ROAD  
TAX MAP 40-2.1, LOT 1  
CHARLOTTEVILLE, VA 22903  
CITY OF CHARLOTTEVILLE

**BOHLER ENGINEERING**

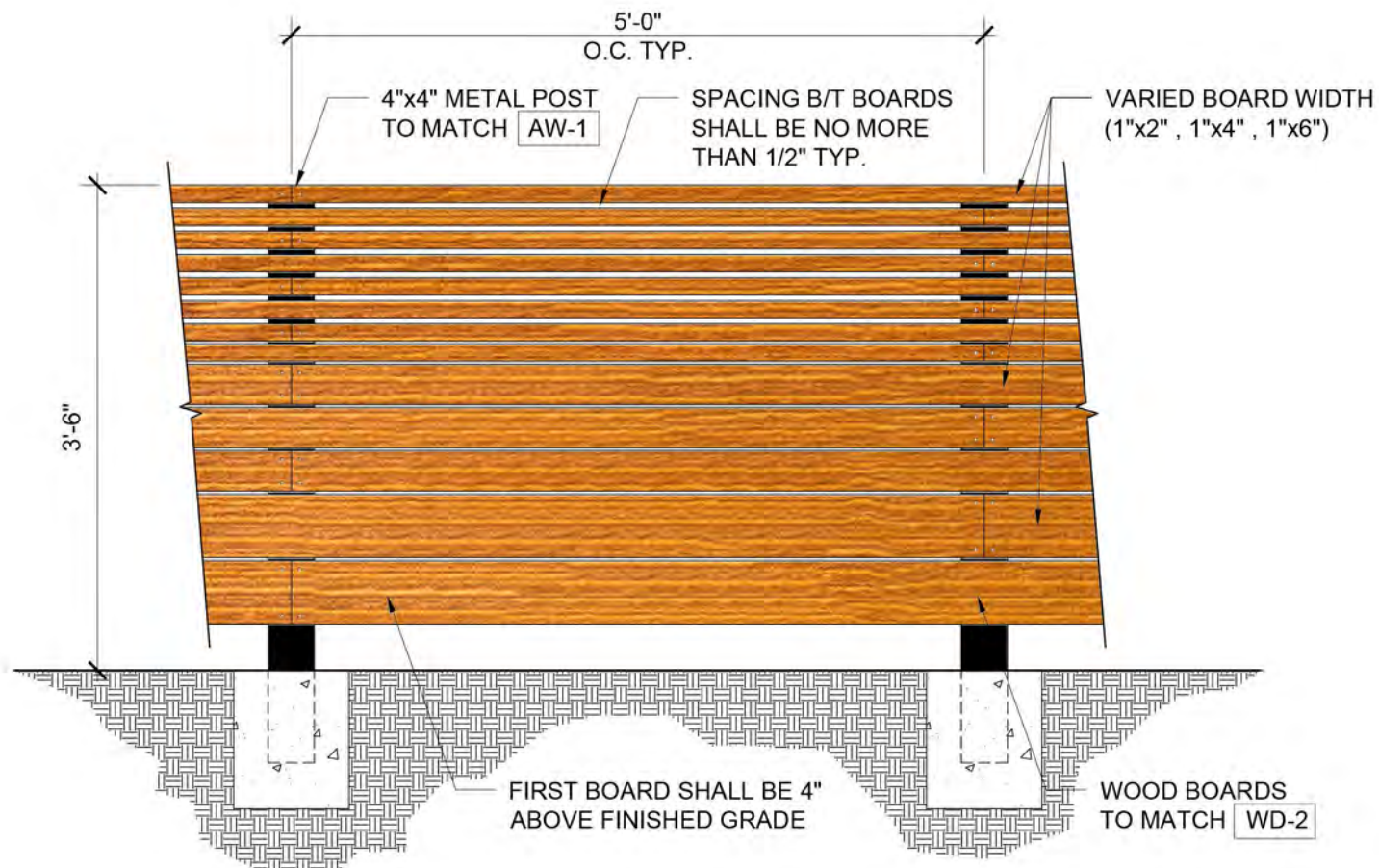
28 BLACKWELL PARK LANE, SUITE 201  
WARRENTON, VIRGINIA 20186  
Phone: (540) 349-4500  
Fax: (540) 349-0321  
VA@BohlerEng.com

**COMMONWEALTH OF VIRGINIA**  
DANIEL R. HINES  
Lic. No. 043176  
11/09/16  
PROFESSIONAL ENGINEER

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**17**





FINISH SCHEDULE		
AW-1	METAL AWNING - METAL AWNING WITH C-CHANNEL FASCIA. COLOR: STANDARD POWDER COAT TO BE BLACK.	*
AW-2	METAL CANOPY - PRE-FINISHED EXTRUDED ALUMINUM CANOPY W/ CORRUGATED METAL DECK - LEAD-COTE	*
BR-1	BRICK VENEER - STANDARD SIZE - BORAL "WELLINGTON" W/ HOLCIM "DANDELION" MORTAR	*
L-1	OUTDOOR LIGHT FIXTURE - LURALINE - CYLINDER 290 WM - "BLACK"	*
MC-1	METAL COPING - COLOR TO MATCH PAC-CLAD MATTE BLACK	*
MV-1	MASONRY VENEER - EQUAL TO ROCKCAST AMV SERIES "CRYSTAL WHITE - ST015" W/ HOCLCIM "SHELBY TAN" MORTAR	*
PS-1	PLASTER PANEL SYSTEM - TEXSTON PRECAST FINISH - TUSCANY CODE: VPC - 6605F - 110116 - LAVA ROCK	*
PS-2	PLASTER PANEL SYSTEM - TEXSTON WHITE FINISH - VPC-35066-082316	*
SF-1	STOREFRONT - KAWNEER 451 - DARK BRONZE	*
WD-1	WOOD SIDING - JAMES HARDIE: 5/16" X 10.75" HARDIEPLANK LAP SIDING - MOHAVE BEIGE	*
WD-2	8" KILN DRIED WESTERN RED CEDAR PLANKS BY BUFFALO LUMBER - SURFACED, GRADE #2, FACTORY PRE-FINISHED ALL SIDES - TIMBER OX GREEN "BUTTERNUT" STAIN	*

**LEGEND**

CJ MASONRY CONTROL JOINT- SHOWN FOR AESTHETIC PURPOSES ONLY  
-VERIFY MAX. DISTANCE BETWEEN JOINTS W/ MANUF.

NOTE:  
ALL CONTROL JOINTS RUNNING HORIZONTALLY SHALL BE ALIGNED WITH ADJACENT TENANTS' HORIZONTAL CONTROL JOINTS - VERTICAL DEVIATIONS ARE NOT ACCEPTABLE.

2 SCREENING FENCE A  
SCALE: 3/4"= 1'-0"

1 SCREENING FENCE EXAMPLE  
SCALE: N.T.S.

CLIENT



PROJECT  
BARRACKS AND EMMETT

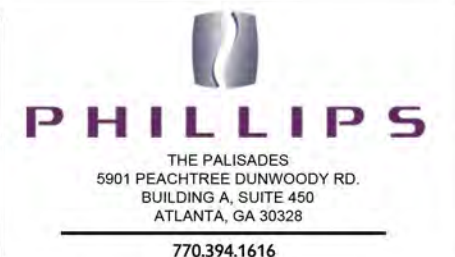
LOCATION  
CHARLOTTESVILLE, VA

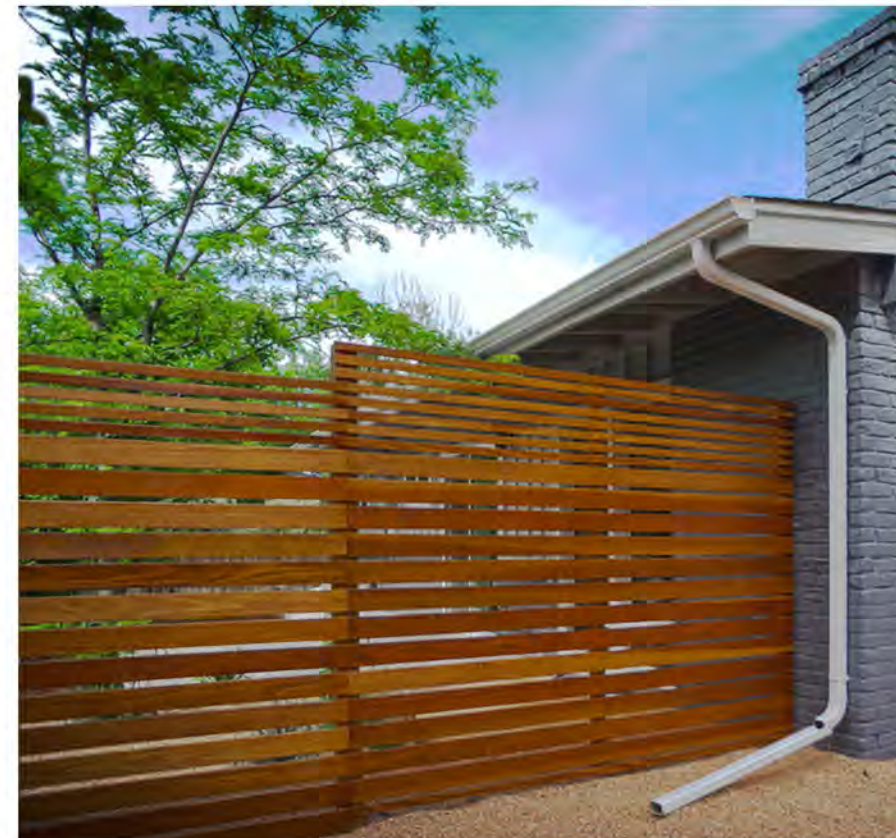
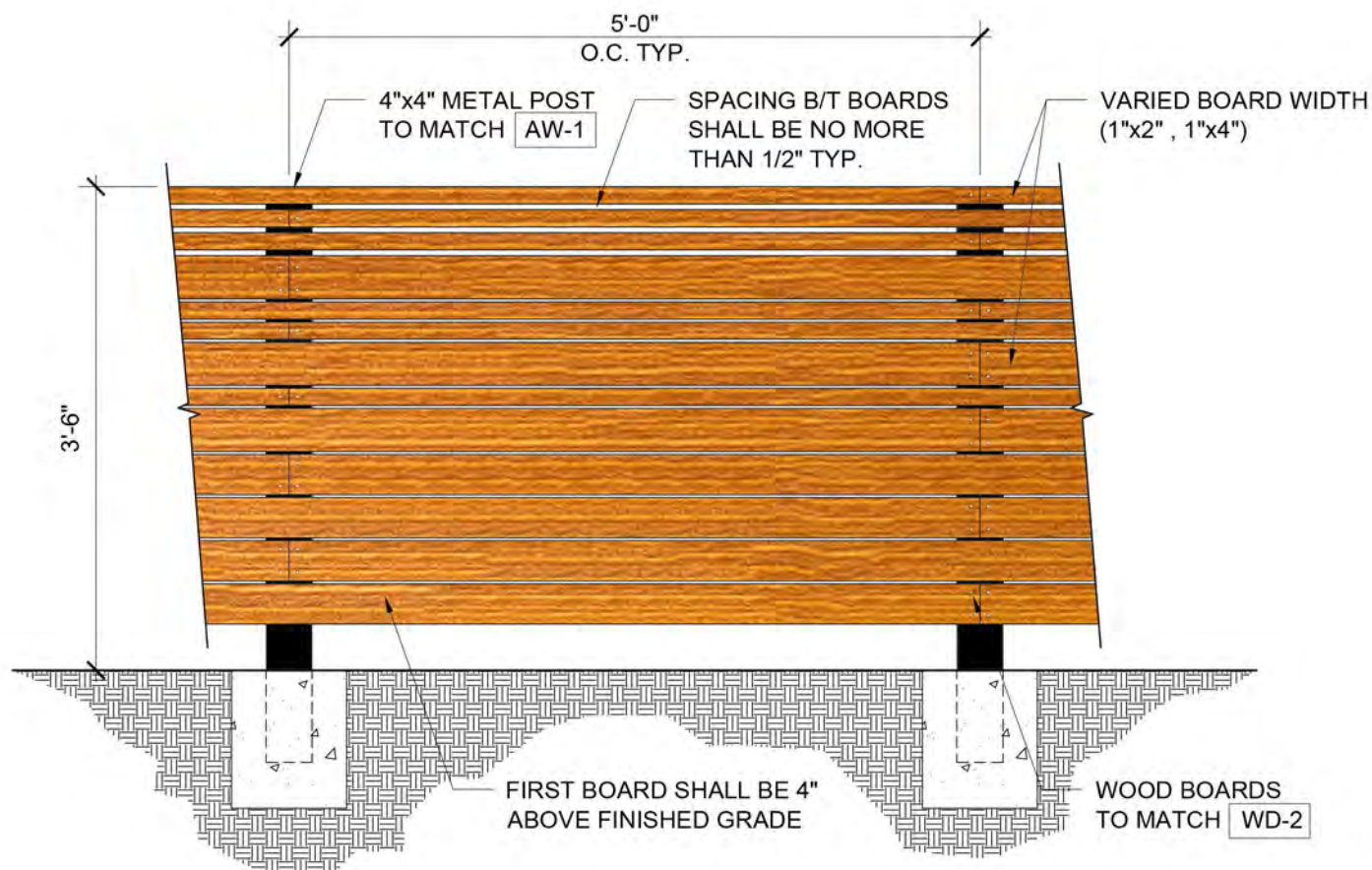
JOB NUMBER  
1442620

DATE  
12.02.16

BY

DRAWING  
SCREENING FENCE 'A' DETAIL AND EXAMPLE





FINISH SCHEDULE		
AW-1	METAL AWNING - METAL AWNING WITH C-CHANNEL FASCIA. COLOR: STANDARD POWDER COAT TO BE BLACK.	*
AW-2	METAL CANOPY - PRE-FINISHED EXTRUDED ALUMINUM CANOPY W/ CORRUGATED METAL DECK - LEAD-COTE	*
BR-1	BRICK VENEER - STANDARD SIZE - BORAL "WELLINGTON" W/ HOLCIM "DANDELION" MORTAR	*
L-1	OUTDOOR LIGHT FIXTURE - LURALINE - CYLINDER 290 WM - "BLACK"	*
MC-1	METAL COPING - COLOR TO MATCH PAC-CLAD MATTE BLACK	*
MV-1	MASONRY VENEER - EQUAL TO ROCKCAST AMV SERIES "CRYSTAL WHITE - ST015" W/ HOCLCIM "SHELBY TAN" MORTAR	*
PS-1	PLASTER PANEL SYSTEM - TEXSTON PRECAST FINISH - TUSCANY CODE: VPC - 6605F - 110116 - LAVA ROCK	*
PS-2	PLASTER PANEL SYSTEM - TEXSTON WHITE FINISH - VPC-35066-082316	*
SF-1	STOREFRONT - KAWNEER 451 - DARK BRONZE	*
WD-1	WOOD SIDING - JAMES HARDIE: 5/16" X 10.75" HARDIEPLANK LAP SIDING - MOHAVE BEIGE	*
WD-2	8" KILN DRIED WESTERN RED CEDAR PLANKS BY BUFFALO LUMBER - SURFACED, GRADE #2, FACTORY PRE-FINISHED ALL SIDES - TIMBER OX GREEN "BUTTERNUT" STAIN	*

**LEGEND**

CJ MASONRY CONTROL JOINT- SHOWN FOR AESTHETIC PURPOSES ONLY  
-VERIFY MAX. DISTANCE BETWEEN JOINTS W/ MANUF.

NOTE:  
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2 SCREENING FENCE B  
SCALE: 3/4" = 1'-0"

1 SCREENING FENCE EXAMPLE  
SCALE: N.T.S.

CLIENT



PROJECT  
BARRACKS AND EMMETT

LOCATION  
CHARLOTTESVILLE, VA

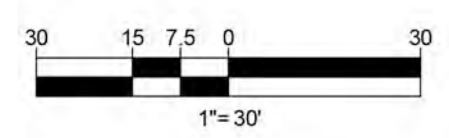
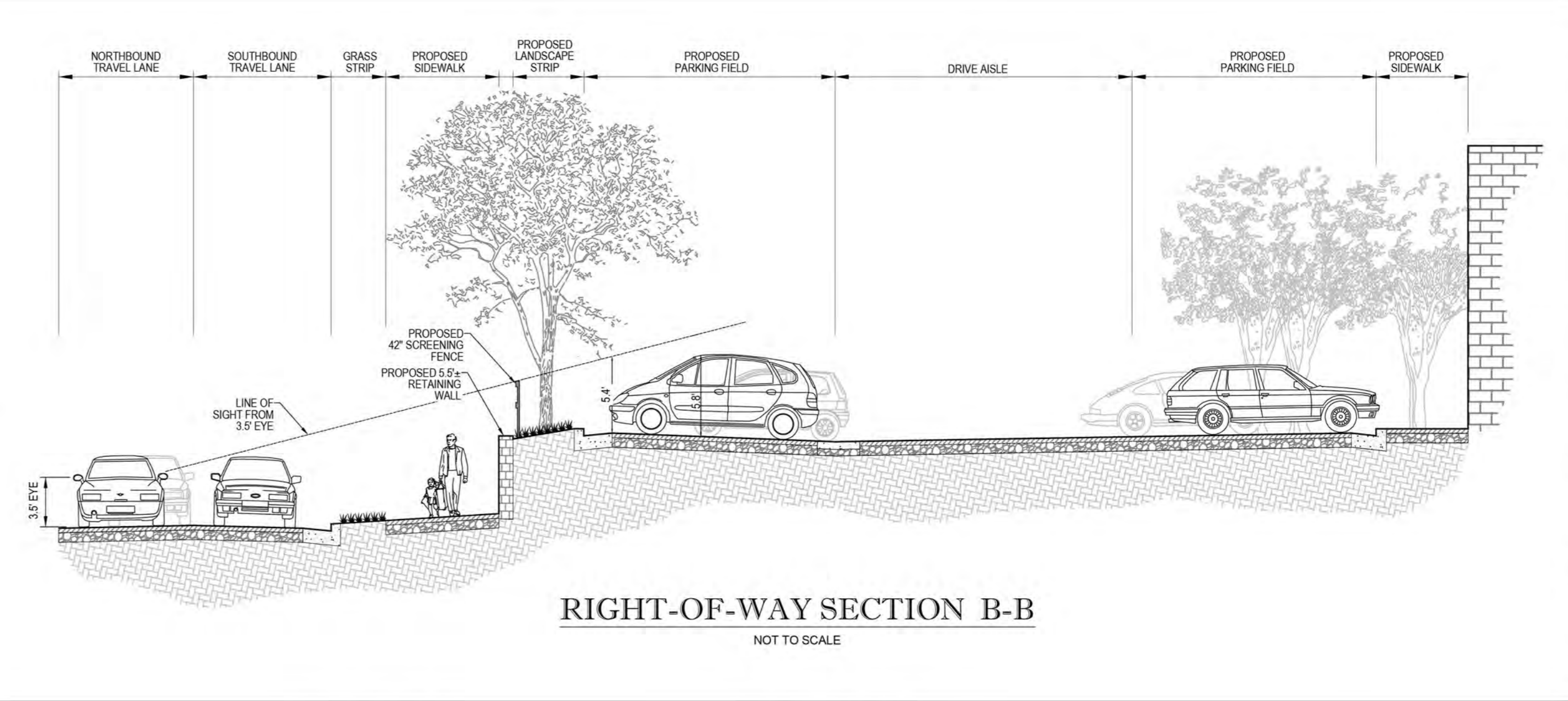
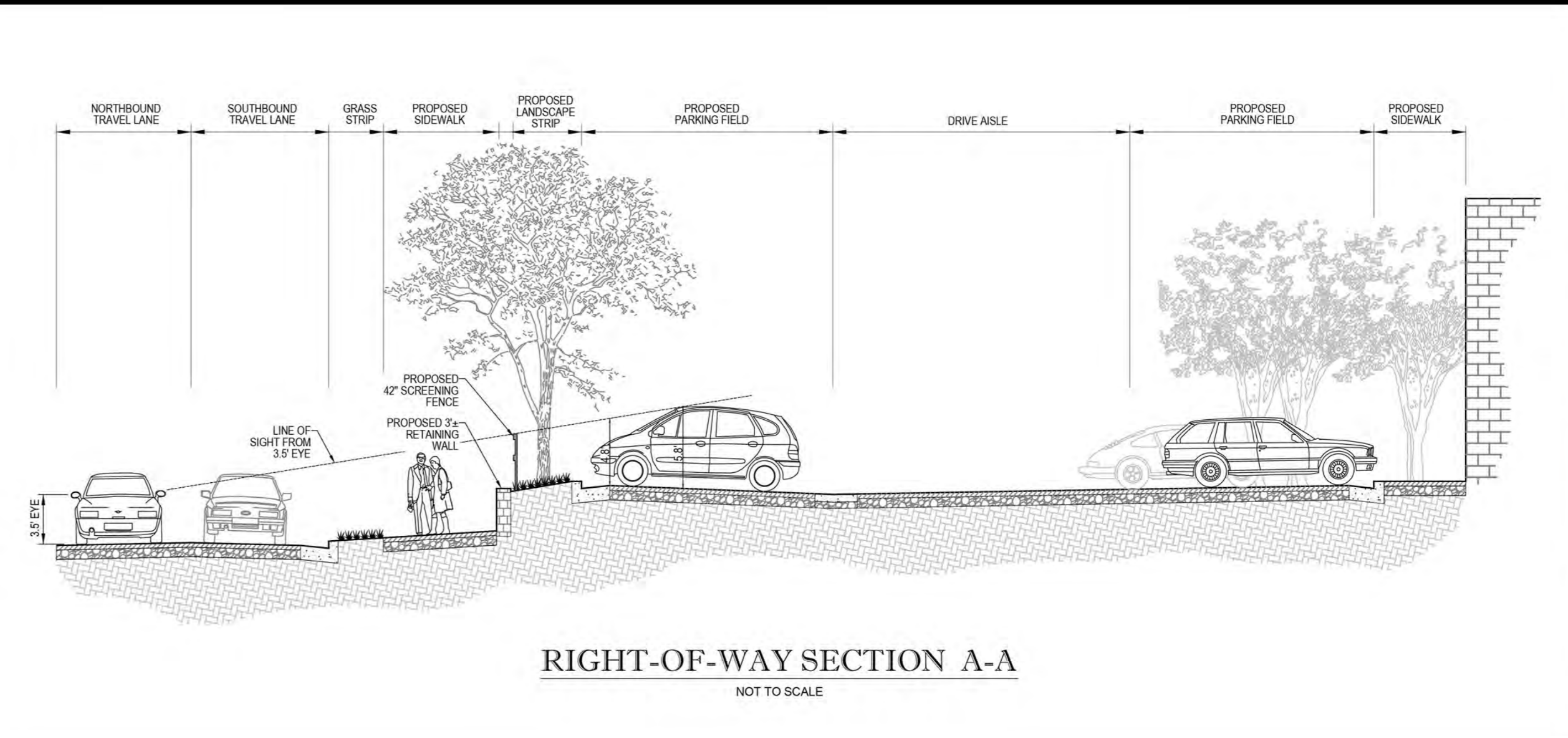
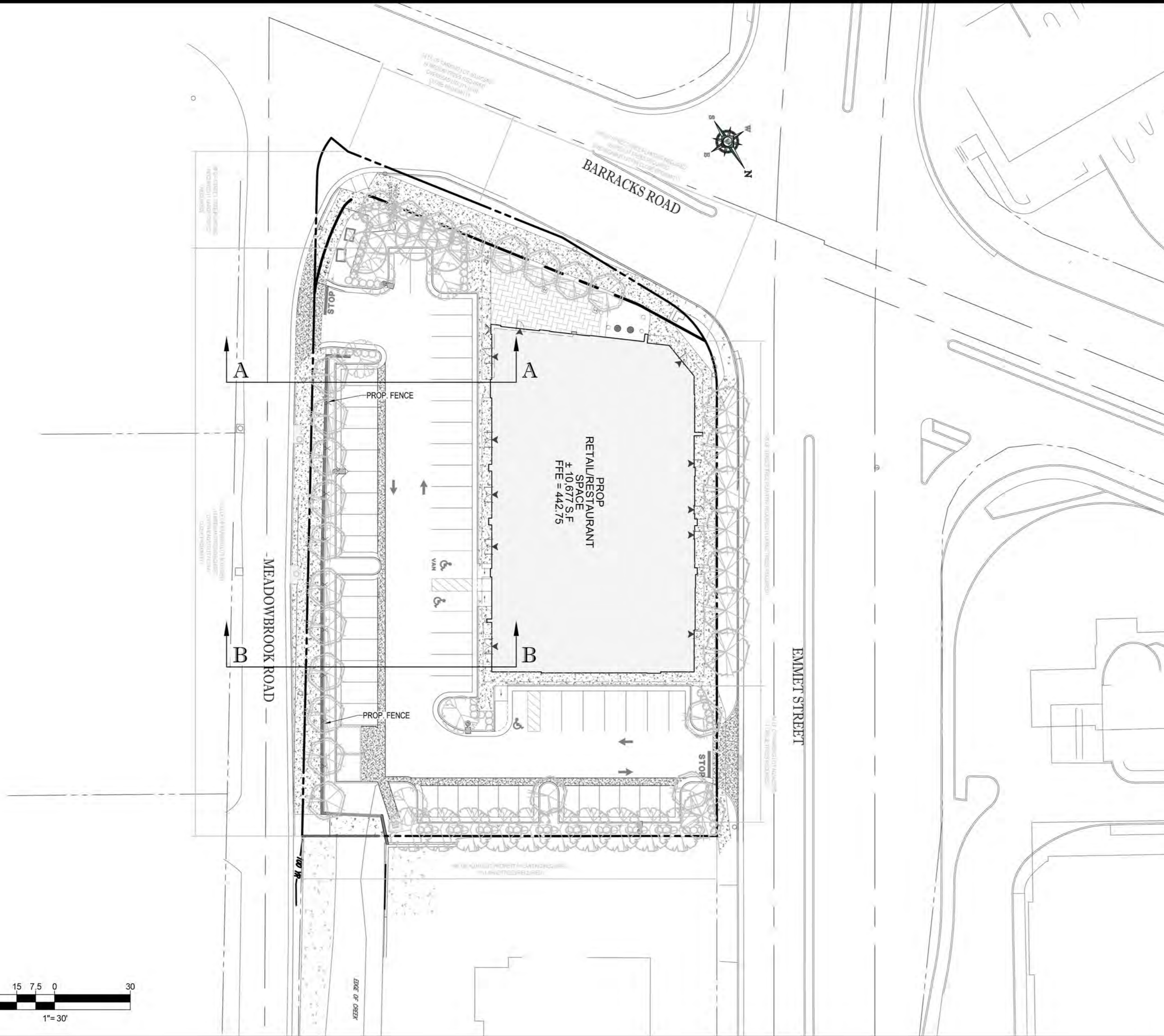
JOB NUMBER  
1442620

DATE  
12.02.16

BY

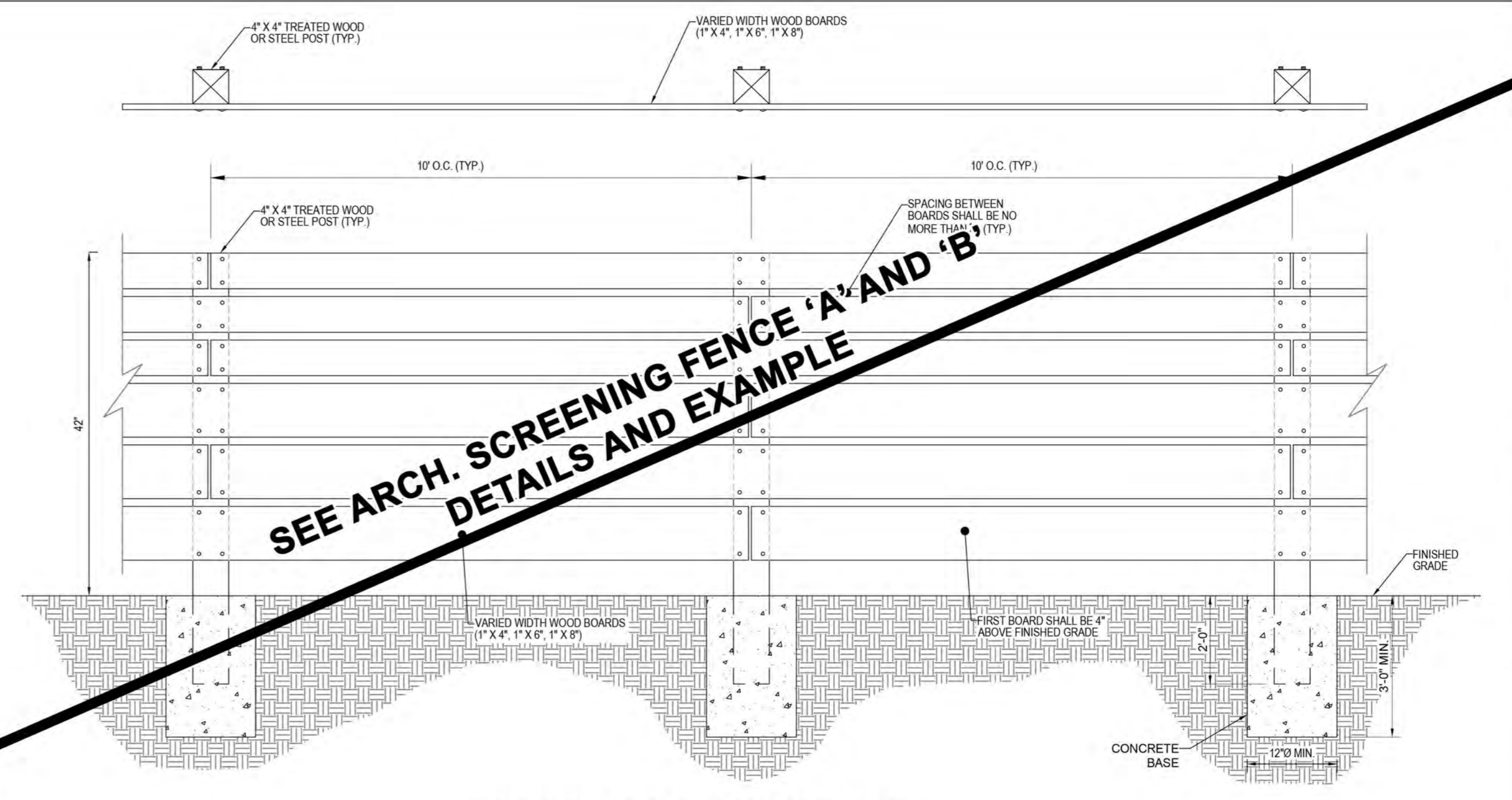
DRAWING  
SCREENING FENCE 'B' DETAIL AND EXAMPLE





**SEE ARCH. SCREENING FENCE 'A' AND 'B' DETAILS AND EXAMPLE**

**FENCE EXAMPLES PER DETAIL**  
(FOR ILLUSTRATIVE PURPOSES ONLY)



**SCREENING FENCE DETAIL**  
NOT TO SCALE

NOTE:  
BOARD FENCE SHALL BE STAINED A DARK GREEN OR DARK BROWN COLOR THAT COMPLIMENTS THE PROPOSED BUILDING

**BOHLER ENGINEERING**

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NORTH CAROLINA  
NORTH VIRGINIA  
CENTRAL VIRGINIA

**REVISIONS**

REV	DATE	COMMENT	BY
1	08/19/16	PER CITY COMMENTS	DRH
2	11/09/16	PER CITY COMMENTS	DRH

**NOT APPROVED FOR CONSTRUCTION**

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PROJECT No. V152087  
DRAWN BY: ADB  
CHECKED BY: RTY  
DATE: 11/09/16  
SCALE: 1" = 20'  
CAD I.D.: SS1

**SITE PLAN DOCUMENTS**  
FOR  
**EMMET & BARRACKS RETAIL CENTER**

LOCATION OF SITE  
EMMET STREET N. & BARRACKS ROAD  
TAX MAP 40-2.1, LOT 1  
CHARLOTTESVILLE, VA 22903  
CITY OF CHARLOTTESVILLE

**BOHLER ENGINEERING**

28 BLACKWELL PARK LANE, SUITE 201  
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Fax: (540) 349-0321  
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA  
**DANIEL R. HINES**  
Lic. No. 043176  
11/09/16  
PROFESSIONAL ENGINEER

SHEET TITLE:  
**LANDSCAPE FENCE NOTES AND DETAILS**

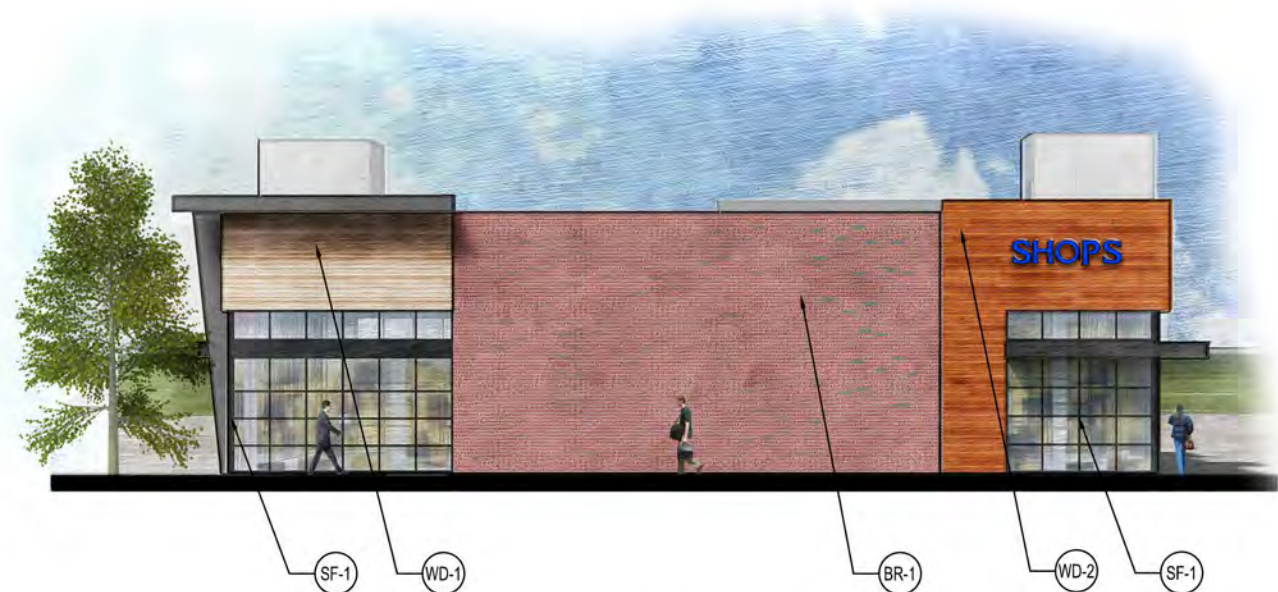
SHEET NUMBER:  
**17A**





1 FRONT ELEVATION  
 LOD-4.1A SCALE: 1/16"= 1'-0"

FINISH SCHEDULE		
AW-1	METAL AWNING - METAL AWNING WITH C-CHANNEL FASCIA. COLOR: STANDARD POWDER COAT TO BE BLACK.	.
AW-2	METAL CANOPY - PRE-FINISHED EXTRUDED ALUMINUM CANOPY W/ CORRUGATED METAL DECK - LEAD-COTE	.
BR-1	BRICK VENEER - STANDARD SIZE - BORAL "WELLINGTON" W/ HOLCIM "DANDELION" MORTAR	.
L-1	OUTDOOR LIGHT FIXTURE - LURALINE - CYLINDER 290 WM - "BLACK"	.
MC-1	METAL COPING - COLOR TO MATCH PAC-CLAD MATTE BLACK	.
MV-1	MASONRY VENEER - EQUAL TO ROCKCAST AMV SERIES "CRYSTAL WHITE - ST015" W/ HOCLCIM "SHELBY TAN" MORTAR	.
PS-1	PLASTER PANEL SYSTEM - TEXSTON PRECAST FINISH - TUSCANY CODE: VPC - 6605F - 110116 - LAVA ROCK	.
PS-2	PLASTER PANEL SYSTEM - TEXSTON WHITE FINISH - VPC-35066-082316	.
SF-1	STOREFRONT - KAWNEER 451 - DARK BRONZE	.
WD-1	WOOD SIDING - JAMES HARDIE: 5/16" X 10.75" HARDIEPLANK LAP SIDING - MOHAVE BEIGE	.
WD-2	8" KILN DRIED WESTERN RED CEDAR PLANKS BY BUFFALO LUMBER - SURFACED, GRADE #2, FACTORY PRE-FINISHED ALL SIDES - TIMBER OX GREEN 'BUTTERNUT' STAIN	.



2 RIGHT SIDE ELEVATION  
 LOD-4.1A SCALE: 1/16"= 1'-0"

CLIENT



**RIVERBEND  
 DEVELOPMENT**

PROJECT  
 BARRACKS AND EMMETT


LOCATION  
 CHARLOTTESVILLE, VA

JOB NUMBER  
 1442620

DATE  
 12.02.16

BY  
 MKY/MLH

DRAWING  
 LOD-4.1A FRONT AND RIGHT SIDE ELEVATION



**PHILLIPS**  
 THE PALISADES  
 5901 PEACHTREE DUNWOODY RD.  
 BUILDING A, SUITE 450  
 ATLANTA, GA 30328  
 770.394.1616



1 REAR ELEVATION  
 LOD-4.1B SCALE: 1/16"= 1'-0"



2 LEFT SIDE ELEVATION  
 LOD-4.1B SCALE: 1/16"= 1'-0"

FINISH SCHEDULE		
AW-1	METAL AWNING - METAL AWNING WITH C-CHANNEL FASCIA. COLOR: STANDARD POWDER COAT TO BE BLACK.	*
AW-2	METAL CANOPY - PRE-FINISHED EXTRUDED ALUMINUM CANOPY W/ CORRUGATED METAL DECK - LEAD-COTE	*
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MC-1	METAL COPING - COLOR TO MATCH PAC-CLAD MATTE BLACK	*
MV-1	MASONRY VENEER - EQUAL TO ROCKCAST AMV SERIES "CRYSTAL WHITE - ST015" W/ HOCLCIM "SHELBY TAN" MORTAR	*
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WD-2	8" KILN DRIED WESTERN RED CEDAR PLANKS BY BUFFALO LUMBER - SURFACED, GRADE #2, FACTORY PRE-FINISHED ALL SIDES - TIMBER OX GREEN "BUTTERNUT" STAIN	*

CLIENT



**RIVERBEND**  
 DEVELOPMENT

PROJECT  
 BARRACKS AND EMMETT

LOCATION  
 CHARLOTTESVILLE, VA

JOB NUMBER  
 1442620

DATE  
 12.02.16

BY  
 MKY/MLH

DRAWING  
 LOD-4.1B REAR AND LEFT SIDE ELEVATION



THE PALISADES  
 5901 PEACHTREE DUNWOODY RD.  
 BUILDING A, SUITE 450  
 ATLANTA, GA 30328

770.394.1616



CLIENT



**RIVERBEND**  
DEVELOPMENT

PROJECT

EMMET STREET/BARRACKS ROAD - SHOPS

LOCATION

CHARLOTTESVILLE, VA

JOB NUMBER

1442620

DATE

12.02.16

BY

MKY/MLH

DRAWING

CONCEPTUAL RENDERING - A



**PHILLIPS**

THE PALISADES  
5901 PEACHTREE DUNWOODY RD.  
BUILDING A, SUITE 450  
ATLANTA, GA 30328

770.394.1616



CLIENT



**RIVERBEND**  
DEVELOPMENT

PROJECT

EMMET STREET/BARRACKS ROAD - SHOPS

LOCATION

CHARLOTTESVILLE, VA

JOB NUMBER

1442620

DATE

12.02.16

BY

MKY/MLH

DRAWING

CONCEPTUAL RENDERING - B



**PHILLIPS**

THE PALISADES  
5901 PEACHTREE DUNWOODY RD.  
BUILDING A, SUITE 450  
ATLANTA, GA 30328

770.394.1616



CLIENT



**RIVERBEND**  
DEVELOPMENT

PROJECT

EMMET STREET/BARRACKS ROAD - SHOPS

JOB NUMBER

1442620

BY

MKY/MLH

LOCATION

CHARLOTTESVILLE, VA

DATE

12.02.16

DRAWING

CONCEPTUAL RENDERING - C



**PHILLIPS**

THE PALISADES  
5901 PEACHTREE DUNWOODY RD.  
BUILDING A, SUITE 450  
ATLANTA, GA 30328

770.394.1616



CLIENT



**RIVERBEND**  
DEVELOPMENT

PROJECT

EMMET STREET/BARRACKS ROAD - SHOPS

JOB NUMBER

1442620

BY

MKY/MLH

LOCATION

CHARLOTTESVILLE, VA

DATE

12.02.16

DRAWING

CONCEPTUAL RENDERING - D




**PHILLIPS**

THE PALISADES  
5901 PEACHTREE DUNWOODY RD.  
BUILDING A, SUITE 450  
ATLANTA, GA 30328

770.394.1616

Solar Exhibit 3



# LUMOS

## LSX Canopy

A unique architectural free standing solar structure

Features	Benefits
Transparent LSX Frameless Module	<ul style="list-style-type: none"><li>• Light passes through for a unique solar experience</li><li>• Weatherproof</li></ul>
Symmetric 2-car design	<ul style="list-style-type: none"><li>• Accommodates cars from any direction</li></ul>
Integrated wireway	<ul style="list-style-type: none"><li>• Conceals all conductors, providing UV &amp; rodent protection</li><li>• Speeds installation time</li></ul>
Tamper-resistant stainless fasteners	<ul style="list-style-type: none"><li>• Keeps your investment working for you</li></ul>

1550 Frontier Avenue Ste C-2  
Boulder, CO 80301  
www.lumosolar.com  
info@lumosolar.com  
(877) 361-3582

# LUMOS

Solar Exhibit 1





Solar Exhibit 2





UB-1 BRICK VENEER - STANDARD 8 1/2" BOND  
SERIAL "WILLINGTON"  
MORTAR: HOLOM "DARTSLON" MORTAR



MU-GRANITE VENEER  
EQUAL TO ROCKFALL ANY LEAF 7" BUFF STONE - STUPE  
MORTAR: HOLOM "DARTSLON" MORTAR



SF-1 STONEFRONT  
KAWNEER 451 - DARK BRONZE



PL-1 PLASTER PANEL SYSTEM - TEXSTON  
CODE: WPC-600F-10318-LAW-ROCK



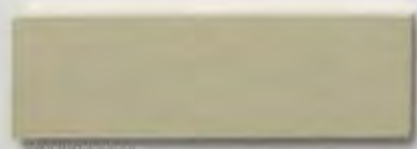
PL-2 PLASTER PANEL SYSTEM - TEXSTON  
CODE: WHITE #EG-604-12378



AW-1 METAL AWING - METAL AWING WITH C-CORNER, TABS &  
COLOR: STANDARD POWDER COAT TO BE BLACK



AW-2 METAL CANOPY - PNE-FINISHED EXTRUDED ALUMINUM CANOPY  
CORRUGATED METAL DECK  
COLOR: LEAD-COTE



WD-1 WOOD SIDING  
AMER HARD: 5/8" x 10" DANGER PLAN LAP SIDING  
COLOR: MOHAVE BEIGE



PV-1 VINYL SIDING - RED CEDAR PLANKS BY BUNZAC LUMBER  
SUNFROST GRAB-N-FIX FACTORY PRE-FINISHED ALL SIDING  
TANNER OX GREEN BUTTERNUT STAIN



MATERIAL BOARD  
CHARLOTTESVILLE, VIRGINIA  
DECEMBER 2, 2016

