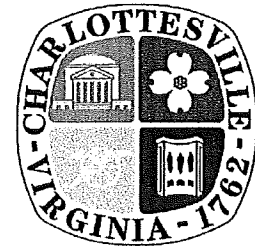


CITY OF CHARLOTTESVILLE
"A World Class City"



Department of Neighborhood Development
Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.org

April 28, 2010

Mitchell Matthews Architects
PO Box 5603
Charlottesville, VA 22905

Preliminary Discussion
BAR 10-04-06
301 5th Street SW
Tax Map 29 Parcel 104
Mitchell/Matthews, Architect/ Michael and Ashley McMahon, Owners
Shed and addition demolitions, new addition and site work

Dear Mr. Matthews,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on April 20, 2010.

The BAR made preliminary comments: In general, they applauded the idea of removing the rear sheds and addition; liked the concept of a new addition, but thought the proposal is excessively large and overwhelms the house; suggested a perpendicular bar or another simpler footprint; questioned the commercial-looking window groupings, pergola, and large eaves; details are more Arts & Crafts than Victorian like the house. They like opening the corner, using a contrasting material, and 2/2 windows. The complete discussion may be viewed on archived video accessed through the City Council's website.

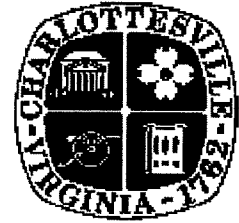
If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala
Preservation and Design Planner

cc:
Michael and Ashley McMahon
332 Clark's Tract
Keswick, VA 22947

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
April 20, 2010**



Preliminary Discussion

BAR 10-04-06

301 5th Street SW

Tax Map 29 Parcel 104

Mitchell/Matthews, Architect/ Michael and Ashley McMahon, Owners

Shed and addition demolitions, new addition and site work

Background

301 5th Street SW (before 1876) is an individually protected property. It is also a contributing structure in the Fifeville and Tonsler Neighborhoods (National and State Register) Historic District. A one-story frame rear wing was added in 1907, with a frame second story added before 1920. It was replaced with a one-story cinderblock wing that was later extended to both sides. The historic surveys are attached.

- ✓ August 18, 2009 - The BAR approved (8-0) the certificate of appropriateness application (to rehabilitate the front porch, repair or replace deteriorated elements, rebuild the chimneys above the roofline, replace the roof, repair the rear brick wall, and regrade the yards and redesign site walls) with the following conditions: the detail and resolution for the site retaining wall at the sidewalk, as well as the restoration of the wall at the areaway and detail for the new front door shall be brought back to the BAR for approval. The other work included in the proposal is approved as submitted.

Application

- ✓ The applicant is requesting preliminary discussion of a plan to demolish the rear block and wood frame addition and two storage sheds, construction of a new rear wood frame addition, and unspecified repairs to the existing structure.

Criteria and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec. 34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of*

Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

(4) The effect of the proposed change on the historic district neighborhood;

(5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;

(6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;

(8) Any applicable provisions of the City's Design Guidelines.

Pertinent Design Guidelines for Additions:

P. 3.18 Additions

1. *Function and Size*
 - a. *Attempt to accommodate needed functions within the existing structure without building an addition.*
 - b. *Limit the size of the addition so that it does not visually overpower the existing building.*
2. *Location*
 - a. *Attempt to locate the addition on rear or side elevations that are not visible from the street.*
 - b. *If additional floors are constructed on top of a building, set the addition back from the main façade so that its visual impact is minimized.*
 - c. *If the addition is located on a primary elevation facing the street or if a rear addition faces a street, parking area, or an important pedestrian route, the façade of the addition should be treated under the new construction guidelines.*
3. *Design*
 - a. *New additions should not destroy historic materials that characterize the property.*
 - b. *The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
4. *Replication of Style*
 - a. *A new addition should not be an exact copy of the design of the existing historic building. The design of new additions can be compatible with and respectful of existing buildings without*

- being a mimicry of their original design.*
- b. If the new addition appears to be part of the existing building, the integrity of the original historic design is compromised and the viewer is confused over what is historic and what is new.*
5. *Materials and Features*
- a. Use materials, windows, doors, architectural detailing, roofs, and colors that are compatible with historic buildings in the district.*
6. *Attachment to Existing Building*
- a. Wherever possible, new additions or alterations to existing buildings should be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the buildings would be unimpaired.*
- b. The new design should not use the same wall plane, roof line, or cornice line of the existing structure.*

Pertinent Design Guidelines for Site Design:

P. 2.4 - Walls and Fences

- 1) *Maintain existing materials such as stone walls, hedges, wooden picket fences, and wrought-iron fences.*
- 2) *When a portion of a fence needs replacing, salvage original parts for a prominent location.*
- 3) *Match old fencing in material, height, and detail.*
- 4) *If it is not possible to match old fencing, use a simplified design of similar materials and height.*
- 5) *For new fences, use materials that relate to materials in the neighborhood.*
- 6) *Take design clues from nearby historic fences and walls.*
- 7) *Chain-link fencing, split rail fences, vinyl plastic fences, and concrete block walls in general should not be used.*
- 8) *If street-front fences or walls are necessary or desirable, keep them below four (4) feet in height and use traditional materials and design.*
- 9) *Residential privacy fences may be appropriate in side or rear yards where not visible from the primary street.*
- 10) *Avoid fences over six (6) feet in height.*
- 11) *Fence structure should face the inside of the fenced property.*
- 12) *Relate commercial privacy fences to the materials of the building. If the commercial property adjoins a residential neighborhood, use brick or painted wood fence or heavily planted screen as a buffer.*
- 13) *Avoid the installation of new fences or walls if possible in areas where there are no fences or walls and yards are open.*
- 14) *Retaining walls should respect the scale, materials and context of the site and adjacent properties.*
- (15) *Respect the existing conditions of the majority of the lots on the street in planning new construction or a rehabilitation of an existing site.*

P. 2.6 Walkways and Driveways

- 1) *Use appropriate traditional paving materials like brick, stone, and scored concrete.*
- 2) *Limit asphalt use to driveways and parking areas.*
- 3) *Place driveways through the front yard only when no rear access to parking is available.*
- 4) *Do not demolish historic structures to provide areas for parking.*
- 5) *Add separate pedestrian pathways within larger parking lots, and provide crosswalks at vehicular lanes within a site.*

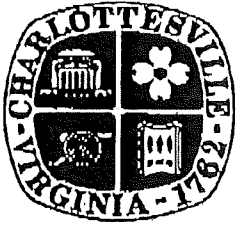
Discussion and Recommendations

The BAR may wish to comment on the following general topics:

- Removing existing addition and two sheds
- Relationship of addition to existing historic building:
 - Height and width
 - Massing and scale
 - Windows and Doors – rhythm, patterns, size and proportion
 - Foundation and cornice articulation
 - Architectural features: overhang; pergola
- Materials preferences
- Site Design
- How the addition is connected to the historic building and what historic fabric will be removed or obscured

Although this is an Individually Protected Property (IPP), and not technically part of a design control district, there are many IPP's in the immediate area (three others fronting on 5th Street, and five others fronting on Dice Street). Therefore, it may be appropriate to consider this addition in relation to the neighborhood, and not just the subject property.

An alternative design may be a freestanding garage, which would allow a smaller addition. This may be the only enclosed garage in the neighborhood.



**Board of Architectural Review (BAR)
Certificate of Appropriateness**

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.
For a new construction project, please include \$350 application fee. For all other projects requiring BAR approval, please include \$100 application fee. For both types of projects, the applicant must pay \$1.00 per required mail notice to property owners. The applicant will receive an invoice for these notices, and project approval is not final until the invoice has been paid. For projects that require only administrative approval, please include \$100 administrative fee. Checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Information on Subject Property

Physical Street Address: 301 5th Street SW
City Tax Map/Parcel: 29-104

Name of Historic District or Property: Shelton-Fuller House
Do you intend to apply for Federal or State Tax Credits for this project? Undecided

Applicant

Name: Mitchell/Matthews Architects
Address: Po Box 5603
Charlottesville, VA 22905
Email: pk@mitchellmatthews.com
Phone: (W) 434.970.7550(H)
FAX: 434.979.5220

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Rosaly-Keser 03/29/2010
Signature Date

Property Owner (if not applicant)

Name: Michael & Ashley McMahon
Address: 772 Clarks Tract
Keswick VA 22947
Email: mimcmahon@vt.edu
Phone: (W) 434.531.3663(H) 434.531.3663
FAX: 434.203.4492

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Michael McMahon 3/29/10
Signature Date

Description of Proposed Work (attach separate narrative if necessary): Removal of existing block & wood frame addition & storage sheds. Construction of new wood frame addition & repairs to existing structure

Attachments (see reverse side for submittal requirements): See attached document titled "301 5th Street - BAR Preliminary Review" dated 3/30/2010.

For Office Use Only

Received by: _____
Fee paid: _____ Cash/Ck. # _____
Date Received: _____

Approved/Disapproved by: _____
Date: _____
Conditions of approval: _____



(29-104)

Mike Mohan
301 5th St.



301 FIFTH STREET

**BAR PRELIMINARY REVIEW
CHARLOTTESVILLE, VIRGINIA**

MARCH 30, 2010

MITCHELL / MATTHEWS ARCHITECTS & PLANNERS

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11	5th STREET VIEW
12	DICE STREET VIEW

PROJECT DATA

Location:	301 Fifth Street SW Shelton Fuller House	
Site Area:	7,746 sf (0.178 acres)	
Zoning:	Existing: R-IS H	Proposed: R-IS H
Use:	Existing: Residential	Proposed: Residential
Height:	Existing: 2 stories + basement	Proposed: 2 stories + basement
Tax Map & Parcel Number:	TMP 29-104	
Building Area:	Existing Finished: First Floor = 1,173 sf Second Floor = 662 sf Total = 1,835 sf	Proposed Finished: First Floor = 1,562 sf Second Floor = 1,529 sf Total = 3,091 sf
	Existing Unfinished: Basement = 1,173 sf Shed 1 = 389 sf Shed 2 = 847 sf Total = 2,409 sf	Proposed Unfinished: Basement = 1,562 sf Total = 1,562 sf

All quantities, areas and dimensions are approximate and subject to change as the project is refined.



MAP

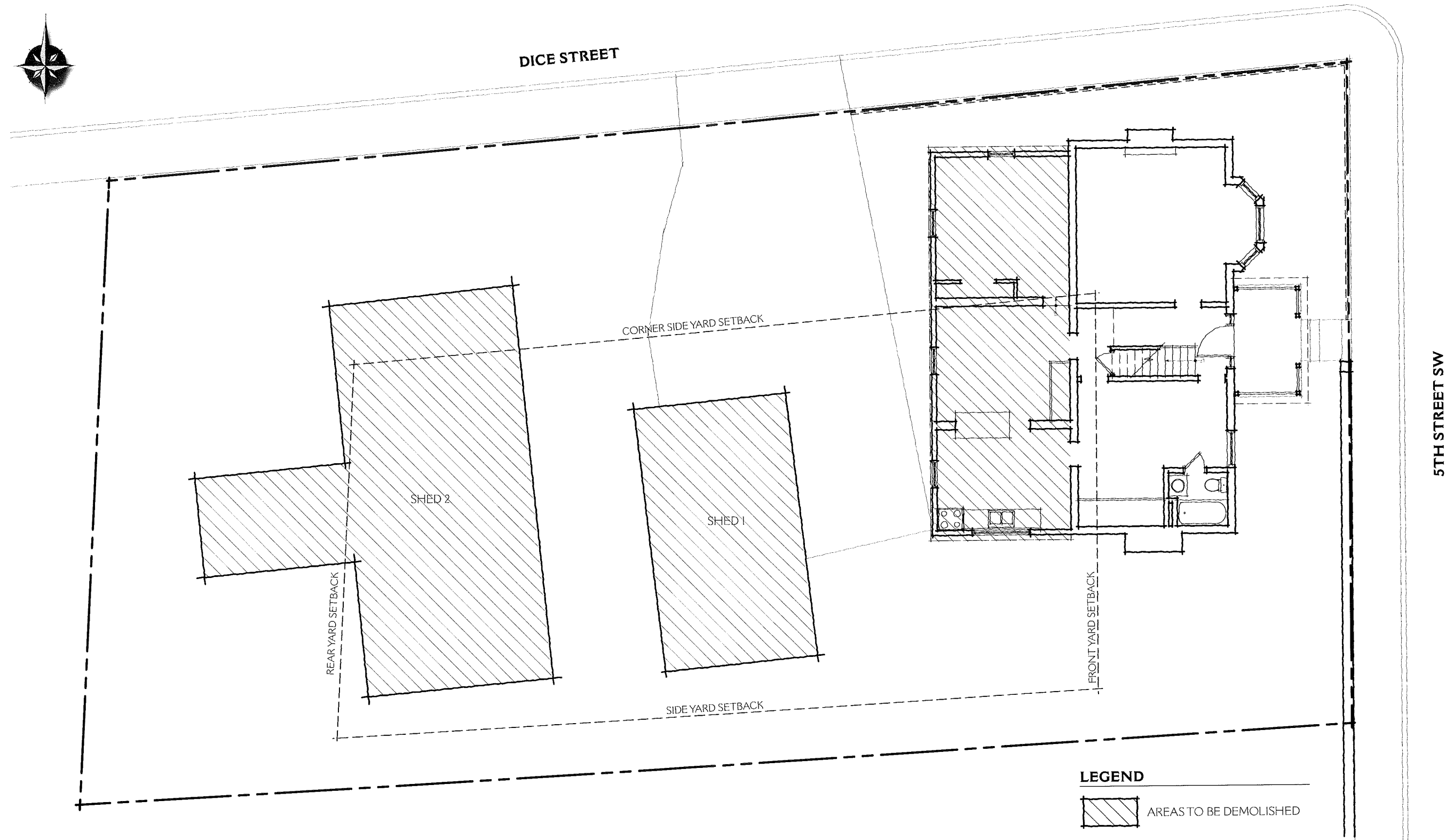


AERIAL

VICINITY

301 FIFTH STREET, CHARLOTTESVILLE, VIRGINIA
MCMAHON RESIDENCE
MARCH 30, 2010

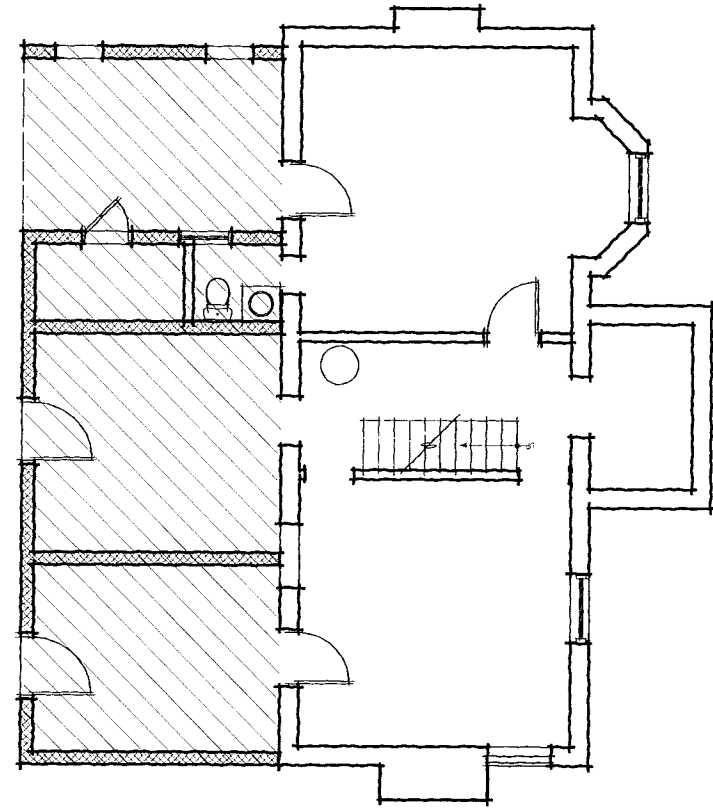
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ARCHITECTS AND URBAN PLANNERS
CHARLOTTESVILLE 434 979 7550



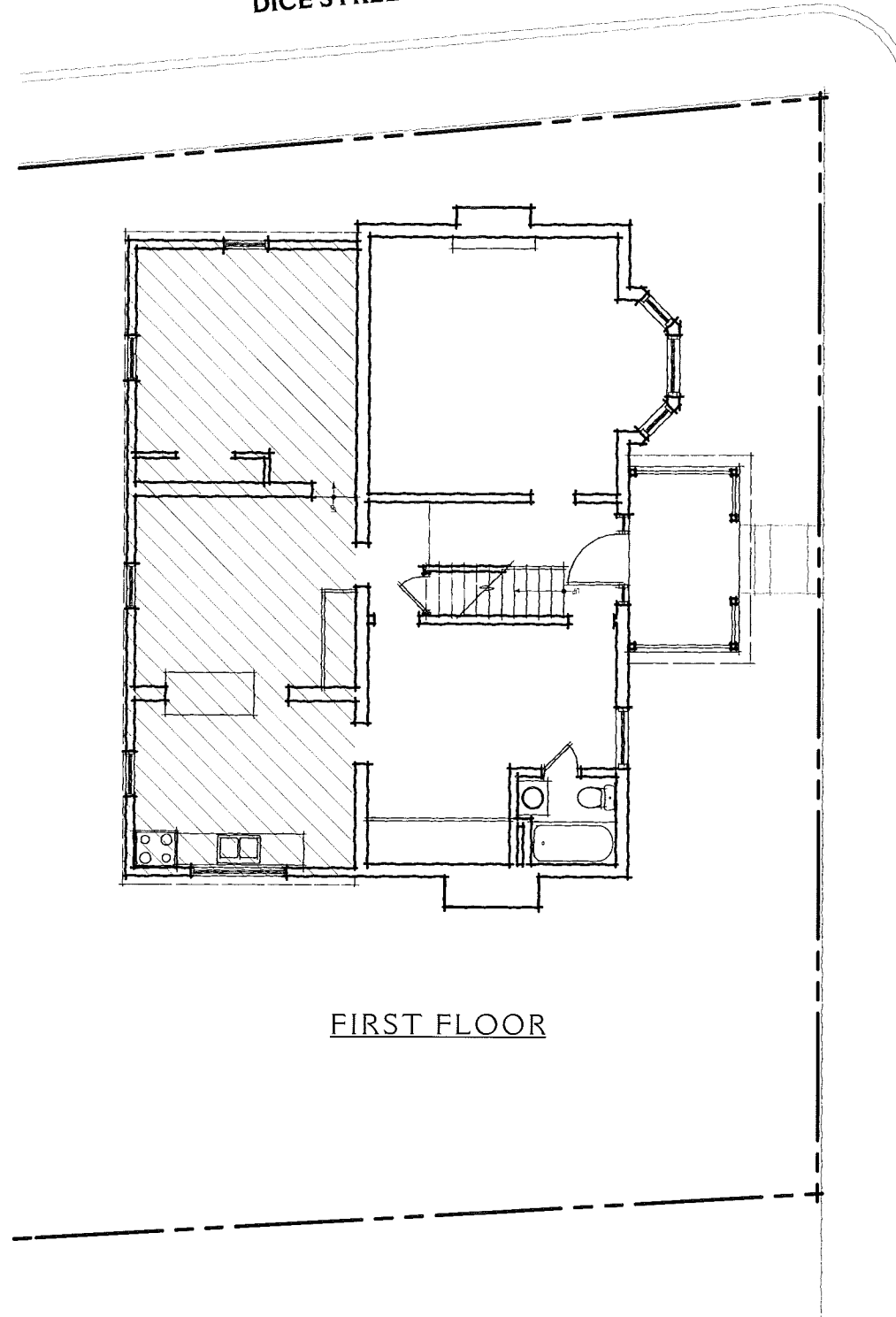
EXISTING SITE & DEMOLITION PLANS



DICE STREET

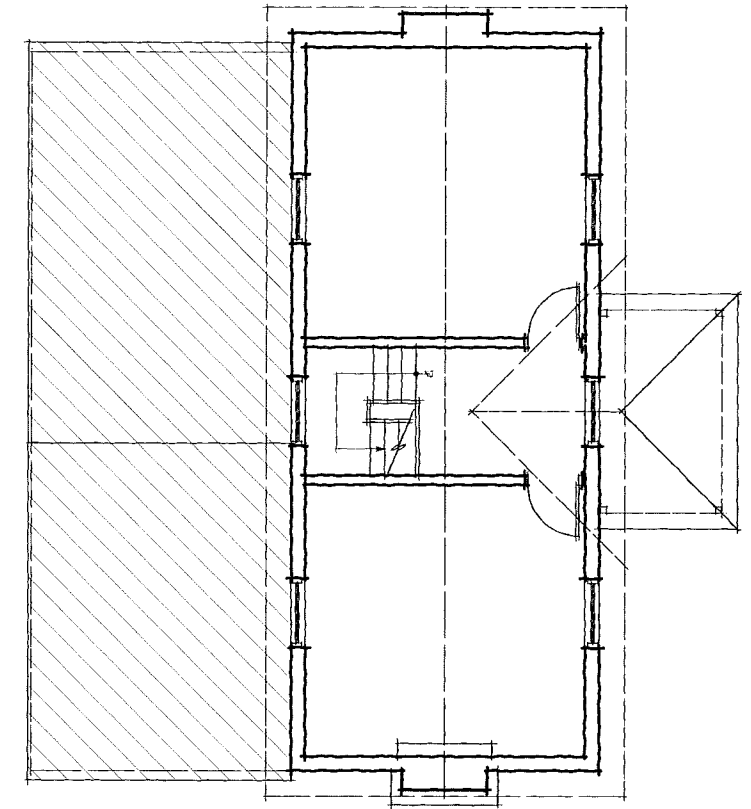


BASEMENT



FIRST FLOOR

5TH STREET SW



SECOND FLOOR

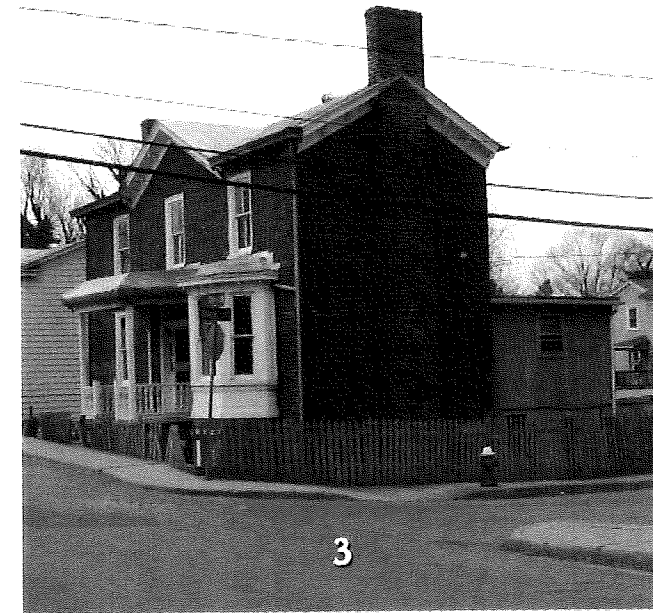
LEGEND



EXISTING PLANS

301 FIFTH STREET, CHARLOTTESVILLE, VIRGINIA
MCMAHON RESIDENCE
MARCH 30, 2010

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EXISTING BUILDING

301 FIFTH STREET, CHARLOTTESVILLE, VIRGINIA
MCMAHON RESIDENCE
MARCH 30, 2010

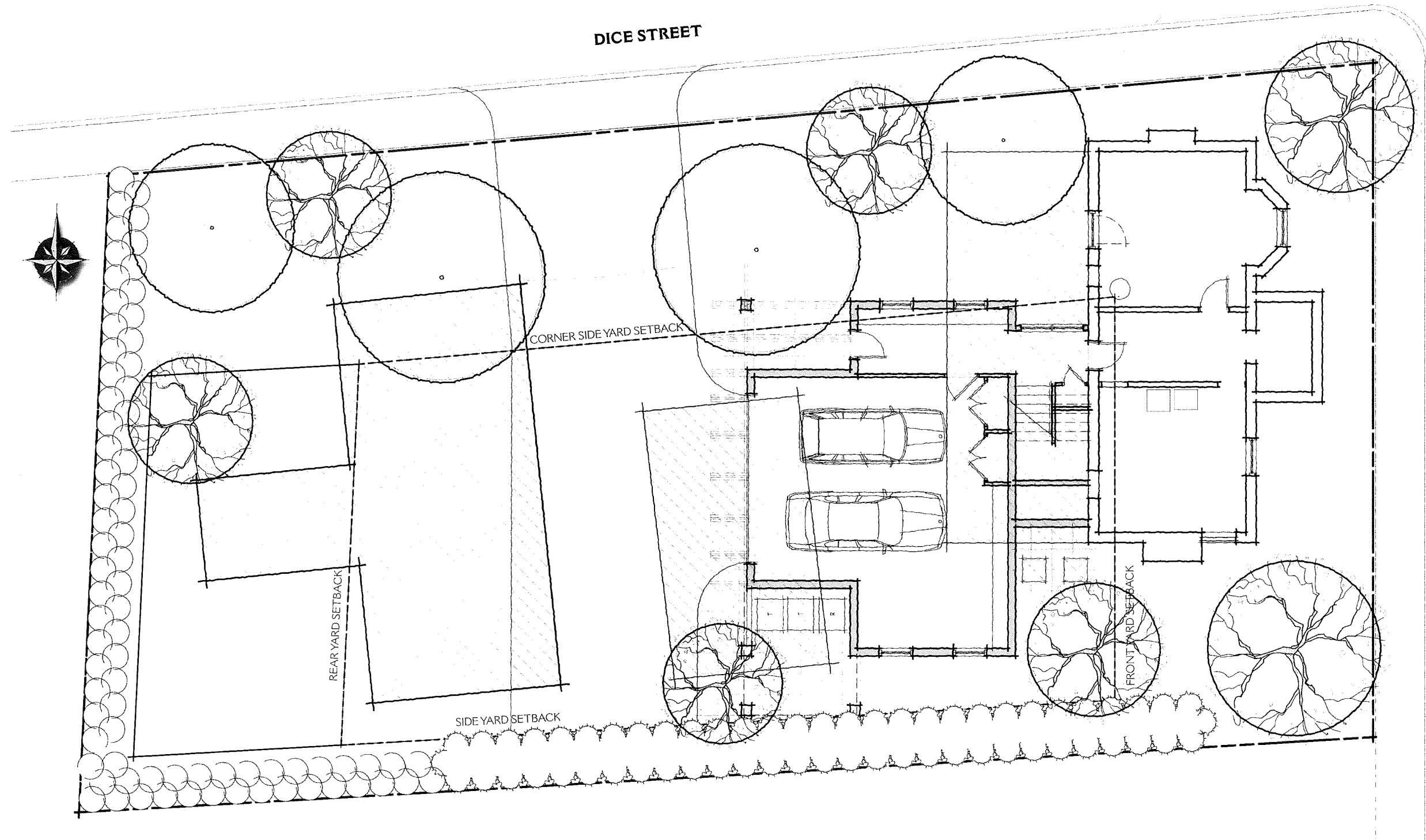
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CONTEXT

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MCMAHON RESIDENCE
MARCH 30, 2010

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DICE STREET

5TH STREET SW

CORNER SIDE YARD SETBACK

REAR YARD SETBACK

SIDE YARD SETBACK

FRONT YARD SETBACK

LEGEND

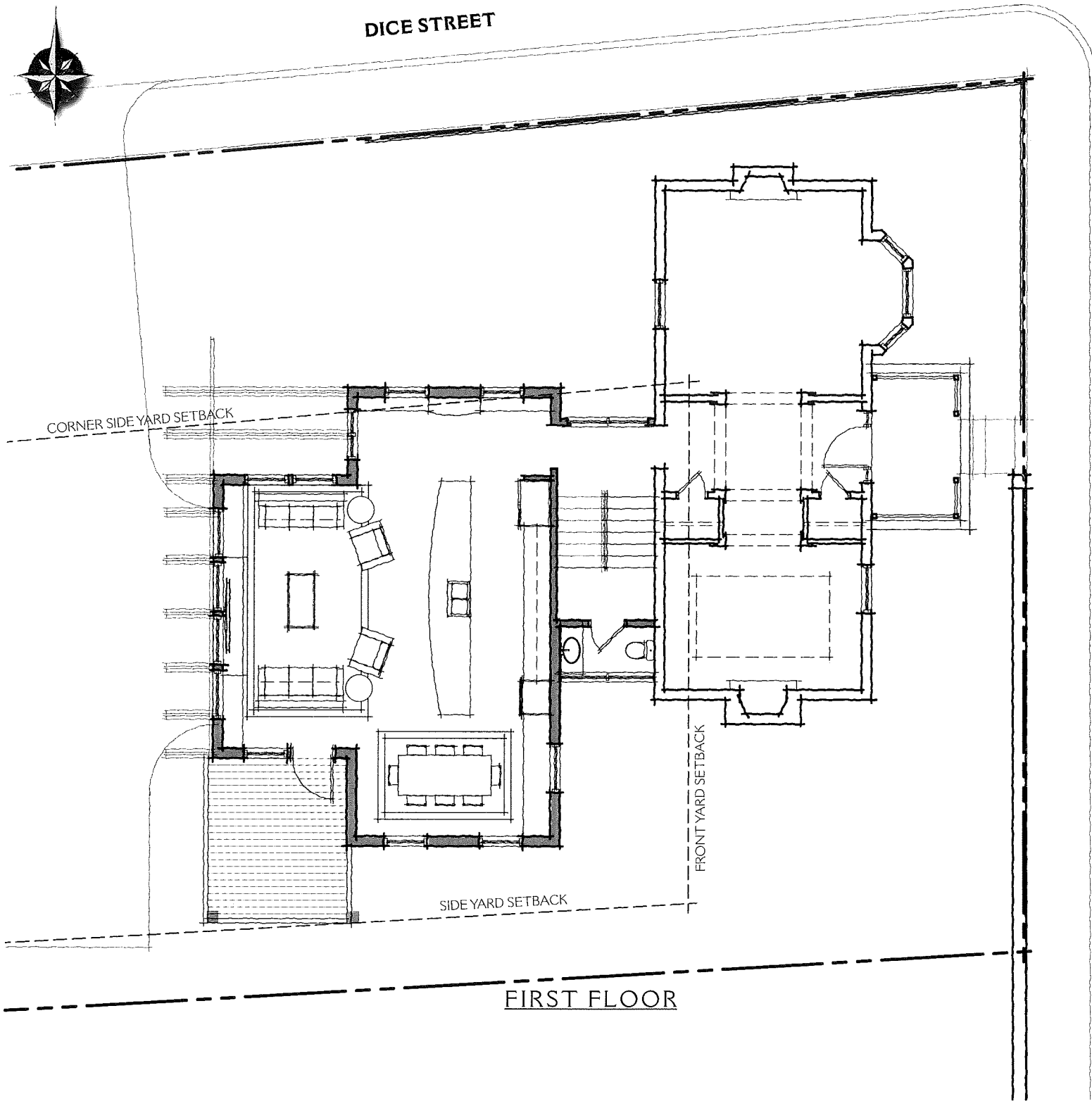
 AREAS TO BE DEMOLISHED

SKETCH #85
PROGRESS PRINT
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 03/30/2010

PROPOSED SITE PLAN

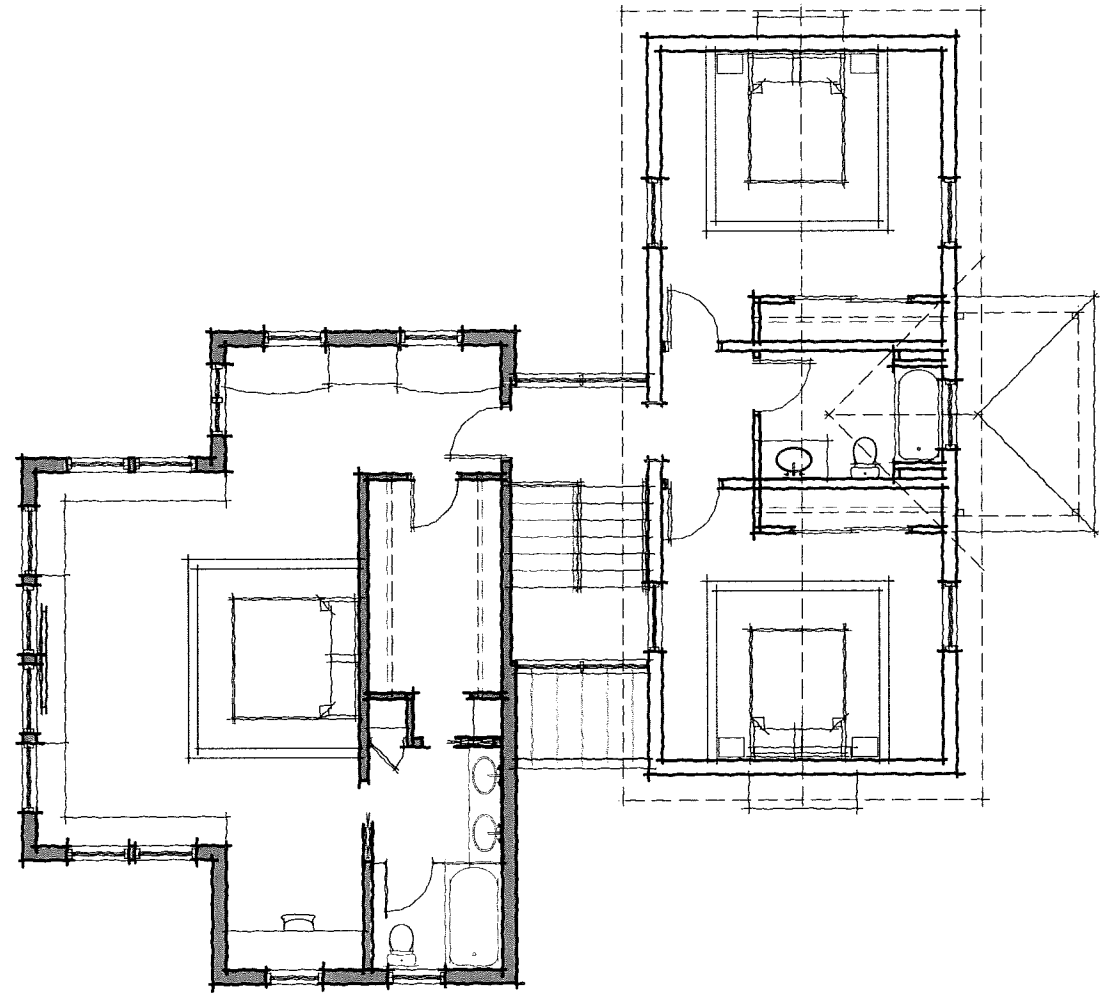
301 FIFTH STREET, CHARLOTTESVILLE, VIRGINIA
 MCMAHON RESIDENCE
 MARCH 30, 2010

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FIRST FLOOR

5TH STREET SW



SECOND FLOOR

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PROPOSED 1ST & 2ND FLOORS

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 MCMAHON RESIDENCE
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PROPOSED DICE STREET ELEVATION

301 FIFTH STREET, CHARLOTTESVILLE, VIRGINIA
MCMAHON RESIDENCE
MARCH 30, 2010

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PROPOSED REAR ELEVATION

301 FIFTH STREET, CHARLOTTESVILLE, VIRGINIA
MCMAHON RESIDENCE
MARCH 30, 2010

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5TH STREET VIEW

301 FIFTH STREET, CHARLOTTESVILLE, VIRGINIA
MCMAHON RESIDENCE
MARCH 30, 2010

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SKETCH #90
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REAR ELEVATIONS OF
NEIGHBORING PROPERTIES

DICE STREET VIEW

301 FIFTH STREET, CHARLOTTESVILLE, VIRGINIA
MCMAHON RESIDENCE
MARCH 30, 2010

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