

CONTACTS

OWNER /
CONTRACTOR

MICHAEL & ASHLEY McMAHON
332 CLARKS TRACT
KESWICK, VIRGINIA 22947

P: 434.531.3663

301 5TH STREET SW
ADDITION & RENOVATION
CHARLOTTESVILLE, VIRGINIA

RECEIVED
SEP 22 2011
NEIGHBORHOOD DEVELOPMENT SERVICES



MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
300 Twin Sycamore Lane • Charlottesville, Virginia 22903
Tel: 434.979.7550 Fax: 434.979.5120

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA

VICINITY MAP



INDEX OF DRAWINGS

SHEET NUMBER	DRAWING TITLE
T1	COVER SHEET
T2	GENERAL NOTES / PROJECT DATA / SYMBOLS
T3	ABBREVIATIONS
D-1	EXISTING SITE DEMO PLAN
D-2	TERRACE DEMOLITION PLAN
D-3	FIRST FLOOR DEMOLITION PLAN
D-4	SECOND FLOOR DEMOLITION PLAN
S-1	STRUCTURAL PLANS, NOTES & DETAILS
S-2	FOUNDATION PLAN
S-3	FIRST FLOOR FRAMING PLAN
S-4	SECOND FLOOR FRAMING PLAN
S-5	ROOF FRAMING PLAN, TYP. WALL SECTION
S-6	SECTIONS AND DETAILS
L-1	SITE & LANDSCAPING PLAN
A-1	TERRACE PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	ROOF PLAN
A-5	EAST & NORTH ELEVATIONS
A-6	WEST & SOUTH ELEVATIONS
A-7	TYPICAL WALL SECTION
A-8	BUILDING SECTION
A-9	WINDOW SCHEDULE

PERMIT SET
09.15.11

This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

TITLE SHEET

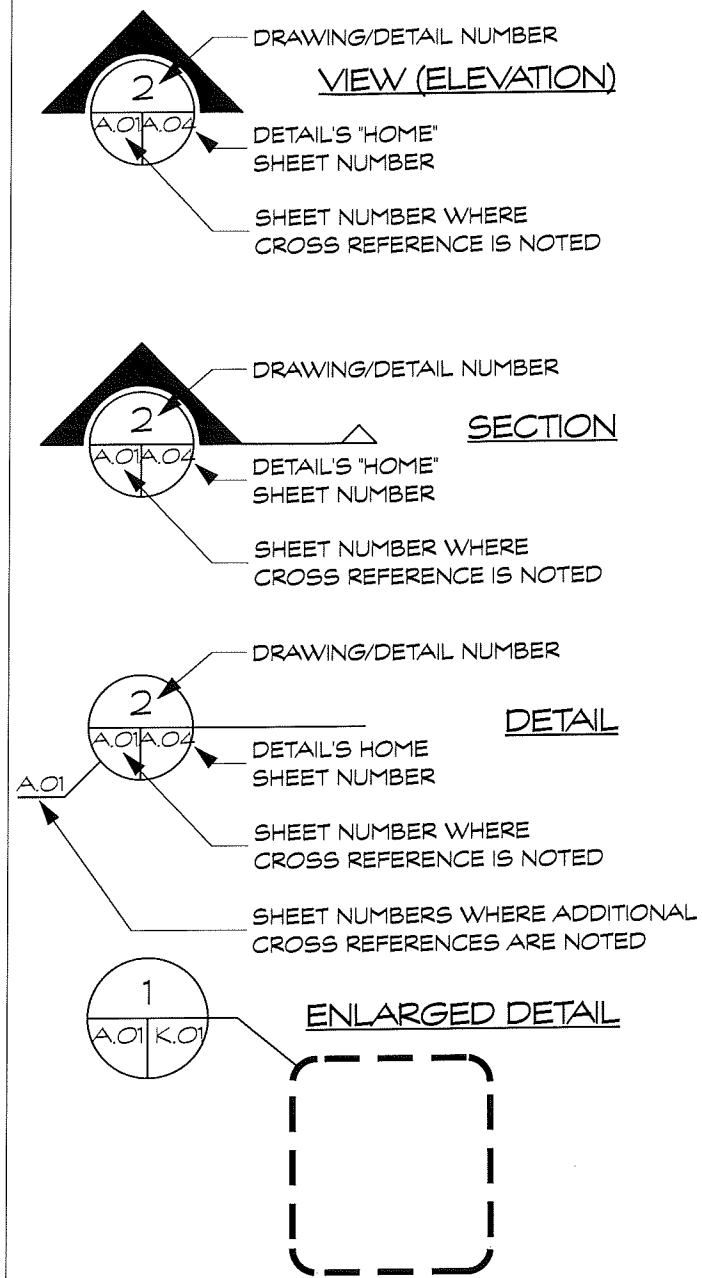
PROJECT _____
DATE _____
DRAWN _____
CHECKED _____
REVIEWED _____

T-1

GENERAL NOTES

- 1) Provide a finished, complete and watertight building as described and illustrated in these construction documents. Fully complete all portions of the work, including those items of work, finishes, fixtures, equipment or materials that may not be shown but would reasonably be included in a finished project of this nature.
- 2) The Contractor is responsible to coordinate all General Notes and associated work with electrical, mechanical, plumbing and site work.
- 3) All components, systems and all other manufactured articles, materials components and equipment shall be applied, installed, connected, erected, used, cleaned, stored, handled, conditioned and maintained, etc. as per manufacturer's recommendations. Any conflict, discrepancy or question concerning these documents or manufacturers' recommendations should be brought, in writing, to attention of the Owner before proceeding with the work. All assemblies required to be fire rated must be UL listed or Factory Mutual rated.
- 4) Equal materials or components to those specified may be considered. Discuss any proposed substitutions with the Owner and obtain an approval before ordering or proceeding with work.
- 5) All finished work shall be properly protected from damage by subsequent work or trades. All damage shall be repaired or replaced at the expense of parties responsible for damage. Any surfaces, materials, or equipment developing cracks, tears, dislocations, blemishes, or problems of like nature shall be replaced, repaired or relieved in a manner acceptable to the Owner. All cost related thereto shall be paid by the contractor without additional cost to Owner.
- 6) The contractor is responsible for carefully and thoroughly reviewing all drawings and specifications before beginning any work or ordering any materials. Any discrepancies in the drawings should immediately be brought to the attention of the Owner for clarification before proceeding with the work.
- 7) It is expected and required that the General Contractor, individual specialized contractors and all sub-contractors be experienced in their trades and shall use workmen who are skilled in their particular field. Quality workmanship and sound, solid, trouble-free construction will be the standard of acceptance.
- 8) It is further expected that construction shall proceed in compliance with generally accepted good building practices. IF THERE IS ANY QUESTION CONCERNING NEED FOR ADDITIONAL DETAIL, METHOD, SUBSTITUTION OF MATERIAL OR EQUIPMENT, ETC.... THE CONTRACTOR SHALL CONSULT THE OWNER FOR ADDITIONAL DRAWINGS OR CLARIFICATION OF THE INTENT OF THE DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
- 9) Do not scale these drawings. Where dimensions are incomplete or directions are not clear, contact the Owner for clarification.
- 10) Due to the irregular nature of the existing building and building materials, dimensions shown are to be field verified. The dimensions shown are for planning purposes only. The Contractor SHALL verify all site and existing conditions and dimensions prior to commencing work.
- 11) The Contractor is responsible for any damage to existing roads and utilities which occur as a result of this construction project within or contiguous to existing rights-of-way.
- 12) It is the Contractor's responsibility to coordinate any work shown herein with any other separate, connecting or contiguous work.
- 13) Extreme care shall be taken to protect the existing building and landscape. Repair of any damage to existing physical features that are scheduled to remain (trees, shrubs, walks, buildings, etc.) shall be the responsibility of the Contractor. Repairs or replacement shall be made as necessary at no cost to the Owner - and shall be to the Owner's satisfaction.
- 14) Provide "material compatible" and manufacturer's approved caulking at all exterior joints to ensure water-tight & air-tight installation.
- 15) Provide blocking required in all walls for the support of wall hung and wall attached elements - such as cabinets, casework, handrails, mirrors, sinks, etc.

SYMBOLS



MATERIALS

NOTE: MATERIALS LIST FOR GENERAL GUIDANCE ONLY. MATERIAL SYMBOL MAY NOT BE SHOWN IN ALL INSTANCES. CONSULT ARCHITECT FOR ANY CLARIFICATIONS.

	EARTH
	CONCRETE (SECTION)
	CONCRETE (PLAN)
	PLYWOOD
	FINISHED WOOD
	ROUGH WOOD
	BLOCKING

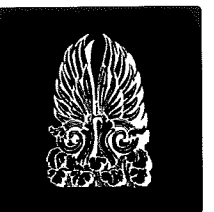
SITE & BUILDING DATA

Reference: Parcel 290104000
 Owner: Michael & Ashley McMahon
 Tax Map #: TMP 29-104
 Zoning: R-1S H
 Use: Single Family Residence
 Area: 7,746 sf.
 Location: 301 Fifth Street SW

OCCUPANCY GROUP..... SINGLE FAMILY RESIDENCE
 TYPE OF CONSTRUCTION..... MASONRY & WOOD WALLS / WOOD ROOF & FLOOR W/ BASEMENT

BUILDING AREAS:

PERMIT SET
 09.15.11

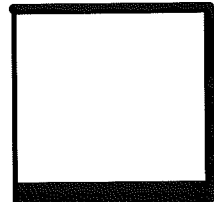


MITCHELL / MATTHEWS
 ARCHITECTS PLANNERS
 305 West Spotswood Lane - Charlottesville, Virginia 22903
 Tel: 434-979-1250 Fax: 434-979-5220

301 FIFTH STREET
 McMAHON RESIDENCE
 CHARLOTTESVILLE, VIRGINIA

- This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
- The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

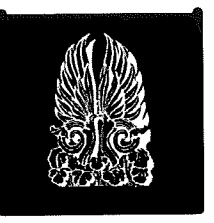
PROJECT _____
 DATE _____
 DRAWN _____
 CHECKED _____
 REVIEWED _____



ABBREVIATIONS

ABBR.	LABEL	ABBR.	LABEL	ABBR.	LABEL	ABBR.	LABEL	ABBR.	LABEL
ABV	ABOVE	EMER	EMERGENCY	LAM	LAMINATED	RFL	REFLECT (ED) (VE) (OR)	W	WEST
AFF	ABOVE FINISHED FLOOR	ENC	ENCLOSE (URE)	LAV	LAVATORY	REFR	REFRIGERATOR	W	WIDTH, WIDE
A.P.	ACCESS PANEL	EQ	EQUAL	L.H.	LEFT HAND	RCP	REINFORCED CONCRETE PIPE	WIN	WINDOW
ACT	ACCUSTICAL TILE	EQUIP	EQUIPMENT	LT	LIGHT	REQD	REQUIRED	W	WITH
ADD	ADDENDUM	ETC.	ET CETERA	LL	LIVE LOAD	RA	RETURN AIR	WO	WITHOUT
ADJ	ADJACENT	EXG	EXISTING			REV	REVISION (S), REVISED	WD	WOOD
A/C	AIR CONDITIONING	E.B.	EXPANSION BOLT	MFR	MANUFACTURE (ER)	RH	RIGHT HAND		
AHU	AIR HANDLING UNIT	E.J.	EXPANSION JOINT	MAS	MASONRY	R.O.W.	RIGHT OF WAY		
ALUM	ALUMINUM	EXT.	EXTERIOR	M.O.	MASONRY OPENING	RD	ROOF DRAIN		
ADA	AMERICANS WITH DISABILITIES ACT	E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	MTL	MATERIAL (S)	RFG	ROOFING		
A.B.	ANCHOR BOLTS			MAX	MAXIMUM	RM	ROOM		
ARA	AREA OF RESCUE ASSISTANCE	FB	FACE BRICK	MECH	MECHANIC (AL)	R.O.	ROUGH OPENING		
ARCH	ARCHITECT (URAL)	FOC	FACE OF CONCRETE	MED	MEDIUM	RS	RISER		
ASPH	ASPHALT	FOB	FACE OF BLOCK	MET	METAL				
AWI	ARCHITECTURAL WOODWORK INSTITUTE	FOS	FACE OF STUD	M	METER	SCH	SCHEDULE		
BSMT	BASEMENT	FOW	FACE OF WALL	MM	MILLIMETER	SECT	SECTION		
BM	BEAM	FCU	FAN COIL UNIT	MIN	MINIMUM	SHT	SHEET		
BRG	BEARING	FT	FEET, FOOT	MIN	MINUTE	SIM	SIMILAR		
BLK	BLACK	FIN.	FINISH	MISC	MISCELLANEOUS	SC	SOLID CORE		
BLKG	BLOCKING	FFE	FINISH FLOOR ELEVATION	MR	MOISTURE RESISTANT	S	SOUTH		
BD	BOARD	FFL	FINISH FLOOR LINE	MLD	MOULDING	SPEC	SPECIFICATION (S)		
BOT	BOTTOM	FRT	FIRE RETARDANT TREATED	MT	MOUNT (ED) (ING)	SQ	SQUARE		
BLDG	BUILDING	FP	FIREPROOF			STD	STANDARD		
		FLR	FLOOR (ING)	N.E.R.	NATIONAL EVALUATION REPORT	ST	STEEL		
CAB	CABINET	FD	FLOOR DRAIN	NOM	NOMINAL	STO	STORAGE		
CSMT	CASEMENT	FTG	FOOTING	N	NORTH	SD	STORM DRAIN		
CLG	CEILING	FR	FRAME (D) (ING)	N.I.C.	NOT IN CONTRACT	STRUCT.	STRUCTURAL		
CL	CENTER LINE	FS	FLOOR SINK	N.T.C.	NOT TO SCALE	SYM	SYMMETRY (ICAL)		
CM	CENTIMETER	FBO	FURNISHED BY OTHERS	NO., NUM., #	NUMBER	SYN	SYNTHETIC		
CT	CERAMIC TILE					SYS	SYSTEM		
CIR	CIRCLE	GA	GAUGE	O.C.	ON CENTER				
CIRC	CIRCUMFERENCE	GALV	GALVANIZED	OPG	OPENING	TEL	TELEPHONE		
COL	COLUMN	GC	GENERAL CONTRACTOR	OPP	OPPOSITE	TV	TELEVISION		
COMM	COMMUNICATIONS	GB	GRAB BAR	OPP.H.	OPPOSITE HAND	TEMP	TEMPORARY		
CONC.	CONCRETE	GD	GRADE, GRADING	OD	OUTSIDE DIAMETER	THK	THICK (NESS)		
CMU	CONCRETE MASONRY UNIT	GYP	GYPSUM	OA	OVER ALL	TPD	TOILET PAPER DISPENSER		
CONST	CONSTRUCTION	GYP BD.	GYPSUM DRY WALL			TOL	TOLERANCE		
CONT.	CONTINUOUS OR CONTINUE			PNT	PAINT	TOM	TOP OF MASONRY		
C.J.	CONTROL JOINT	HDWR	HARDWARE	PTD	PAINTED	T & G	TONGUE AND GROOVE		
CS	COUNTER SINK	HDR	HEADER	PNL	PANEL	TB	TOWEL BAR		
COOR	COORDINATE	HTG	HEATING	PB	PANIC BAR	TRD	TREAD		
CORR	CORRIDOR	HVAC	HEATING/VENTILATING AIR CONDITIONING	PAR	PARALLEL	TRTD	TREATED		
CFT	CUBIC FOOT			PK	PARKING	TS	TUBULAR STEEL		
CYD	CUBIC YARD	HT	HEIGHT	PVMT	PAVEMENT	TYP	TYPICAL		
		HM	HOLLOW METAL	PERF	PERFORATE (D)	UL	UNDERWRITERS LABORATORIES		
DL	DEAD LOAD	HOR	HORIZONTAL	PLAM	PLASTIC LAMINATE	UFAS	UNIFORM FEDERAL ACCESSIBILITY STANDARD		
DEMO	DEMOLISH OR DEMOLITION	HB	HOSE BIB	PL	PLATE				
D	DEPTH	HWH	HOT WATER HEATER	PLUMB	PLUMBING				
DTL	DETAIL	HR	HOUR	PLWD	PLYWOOD	USBC	UNIFORM STATEWIDE BUILDING CODE		
DIA.	DIAMETER			PNT	POINT	UN	UNLESS OTHERWISE NOTED		
DIM.	DIMENSION	INCL	INCLUDING	PVC	POLYVINYL CHLORIDE	UR	URINAL		
DR	DOOR	INS	INSULATE (D) (ON)	PCF	POUNDS PER CUBIC FEET				
DH	DOUBLEHUNG	I.J.	INSULATION JOINT	PLF	POUNDS PER LINEAL FOOT	VB	VAPOR BARRIER		
DS	DOWNSPOUT	INT	INTERIOR	PSI	POUNDS PER SQUARE INCH	V.I.F.	VERIFY IN FIELD		
DI	DRAIN INLET	JC	JANITORS CLOSET	PCC	PRECAST CONCRETE	VERT	VERTICAL		
DVG	DRAWING	JT	JOINT	PT	PRESSURE TREATED	VAT	VINYL ASBESTOS TILE		
DF	DRINKING FOUNTAIN	JST	JOIST	PROD.	PRODUCT	VB	VINYL BASE		
EA	EACH					VT	VINYL TILE		
E	EAST	K.F.	KRAFT FACED	QT	QUARRY TILE	WSCT	WAINSCOT		
ELEC	ELECTRIC (AL)					WC	WATER CLOSET		
EVH	ELECTRIC WATER HEATER	LBL	LABEL	RAD	RADIUS	WP	WATER PROOFING		
EL	ELEVATION	LAB	LABORATORY	RWL	RAIN WATER LEADER	WWM	WELDED WIRE MESH		
ELEV.	ELEVATOR	LB	LAG BOLT	REF	REFERENCE				

PERMIT SET
09-15-11



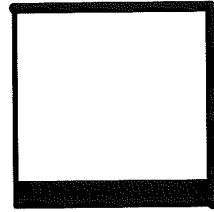
MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
300 Tenth Street, Suite 1000 - Charlottesville, Virginia 22903
Tel: 434-979-7550 Fax: 434-979-3220

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA

- This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
- The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.



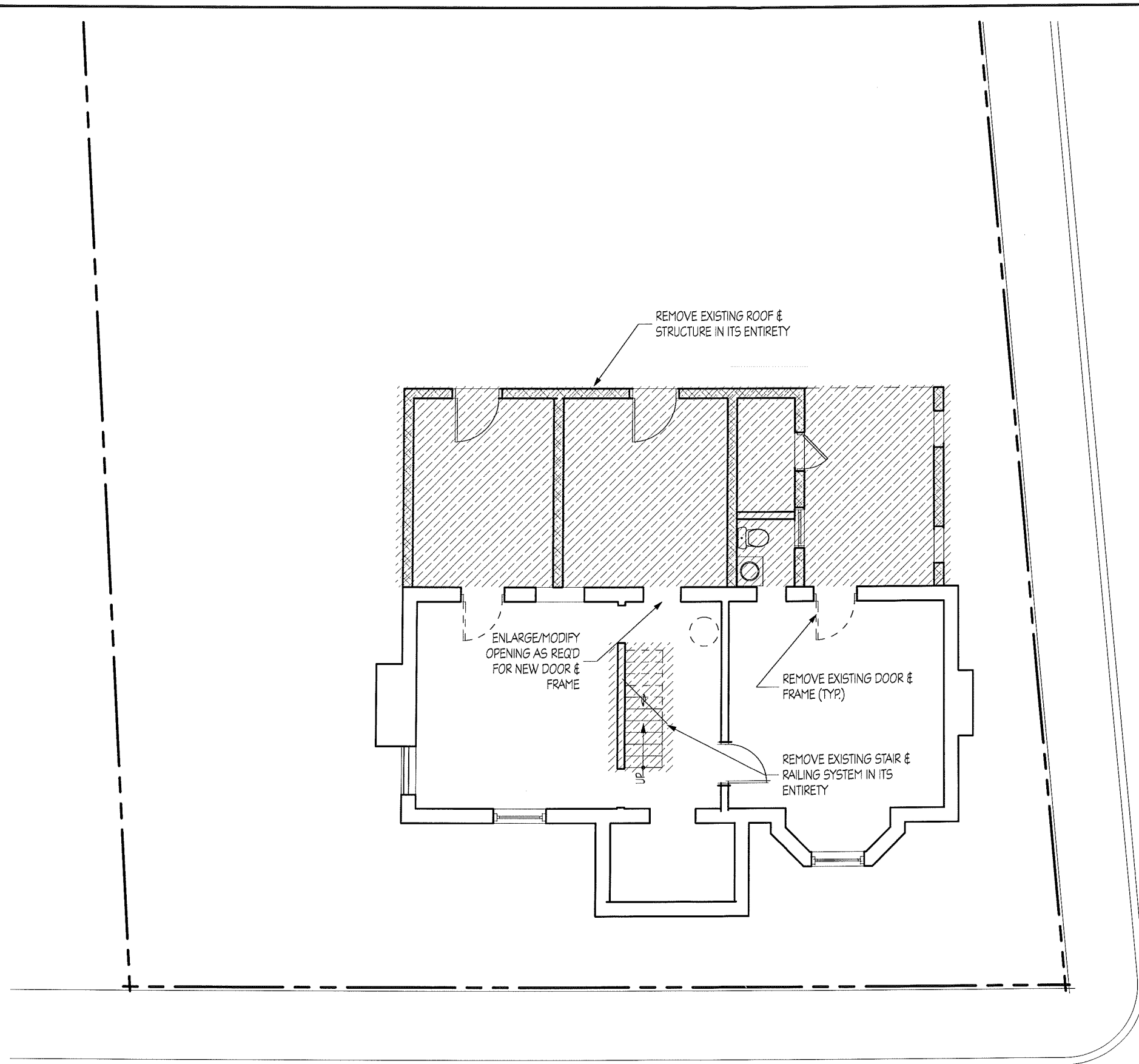
PROJECT _____
DATE _____
DRAWN _____
CHECKED _____
REVIEWED _____





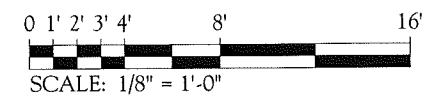
MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
305 Park Lane • Charlottesville, Virginia 22903
Tel: 434-979-2550 Fax: 434-979-5220

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA



1 DEMO - TERRACE LEVEL
SCALE: 1/8" = 1'-0"
PLAN NORTH

PERMIT SET
09.15.11

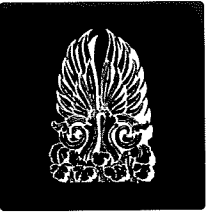


- This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
- The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

BASEMENT
DEMO
PLAN

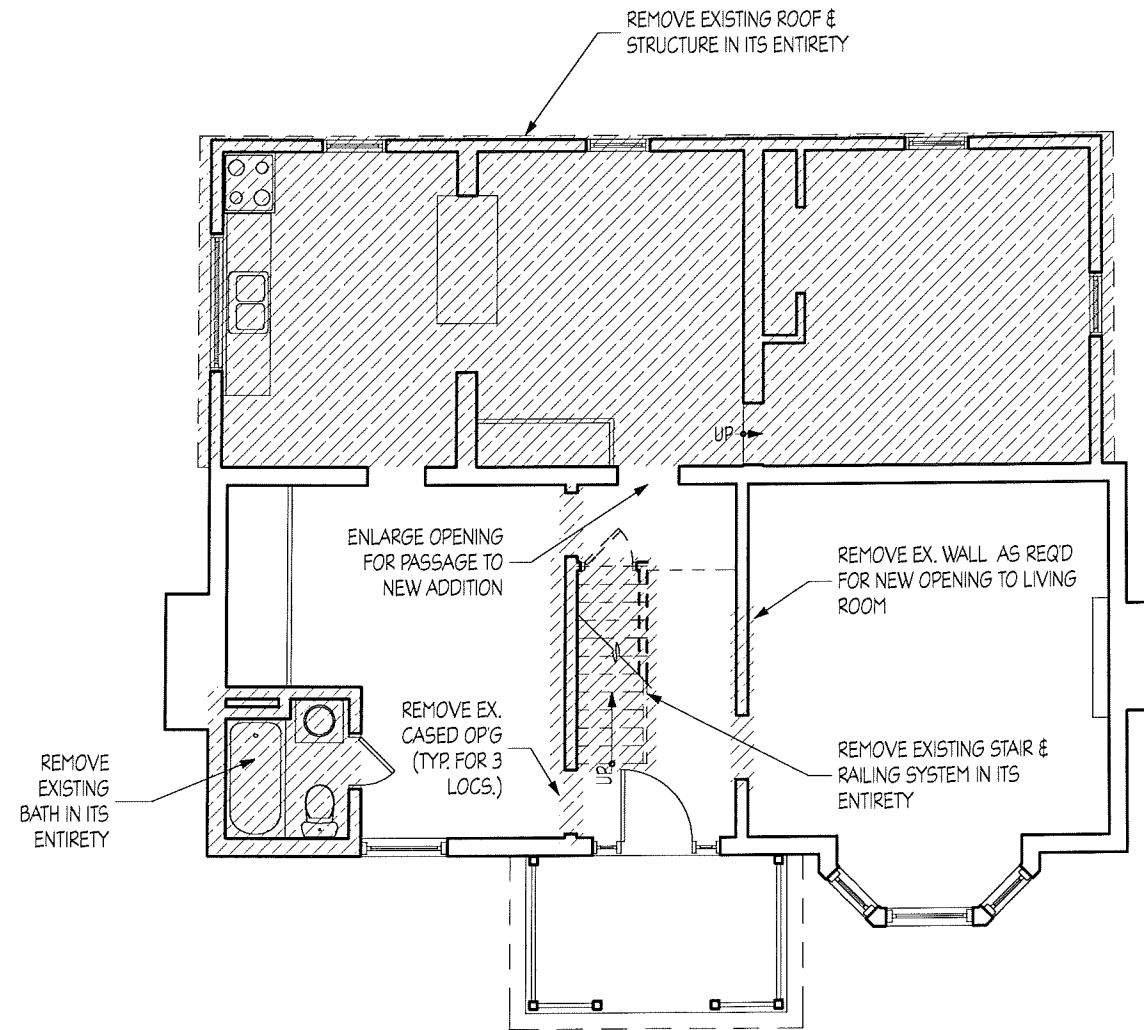
PROJECT	_____
DATE	_____
DRAWN	_____
CHECKED	_____
REVIEWED	_____

D-2



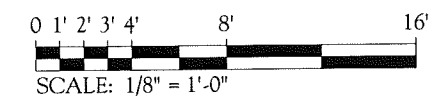
MITCHELL / MATTHEWS
 ARCHITECTS PLANNERS
 30 Twin Elmwood Lane - Charlottesville, Virginia 22903
 Tel. 434-977-7150 Fax. 434-977-5228

301 FIFTH STREET
 McMAHON RESIDENCE
 CHARLOTTESVILLE, VIRGINIA



1 DEMO - FIRST FLOOR
 SCALE: 1/8" = 1'-0"
 PLAN NORTH

PERMIT SET
 09.15.11

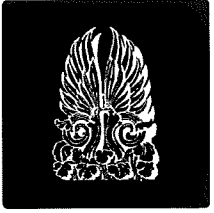


• This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
 • The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

1ST FLOOR
 DEMO
 PLAN

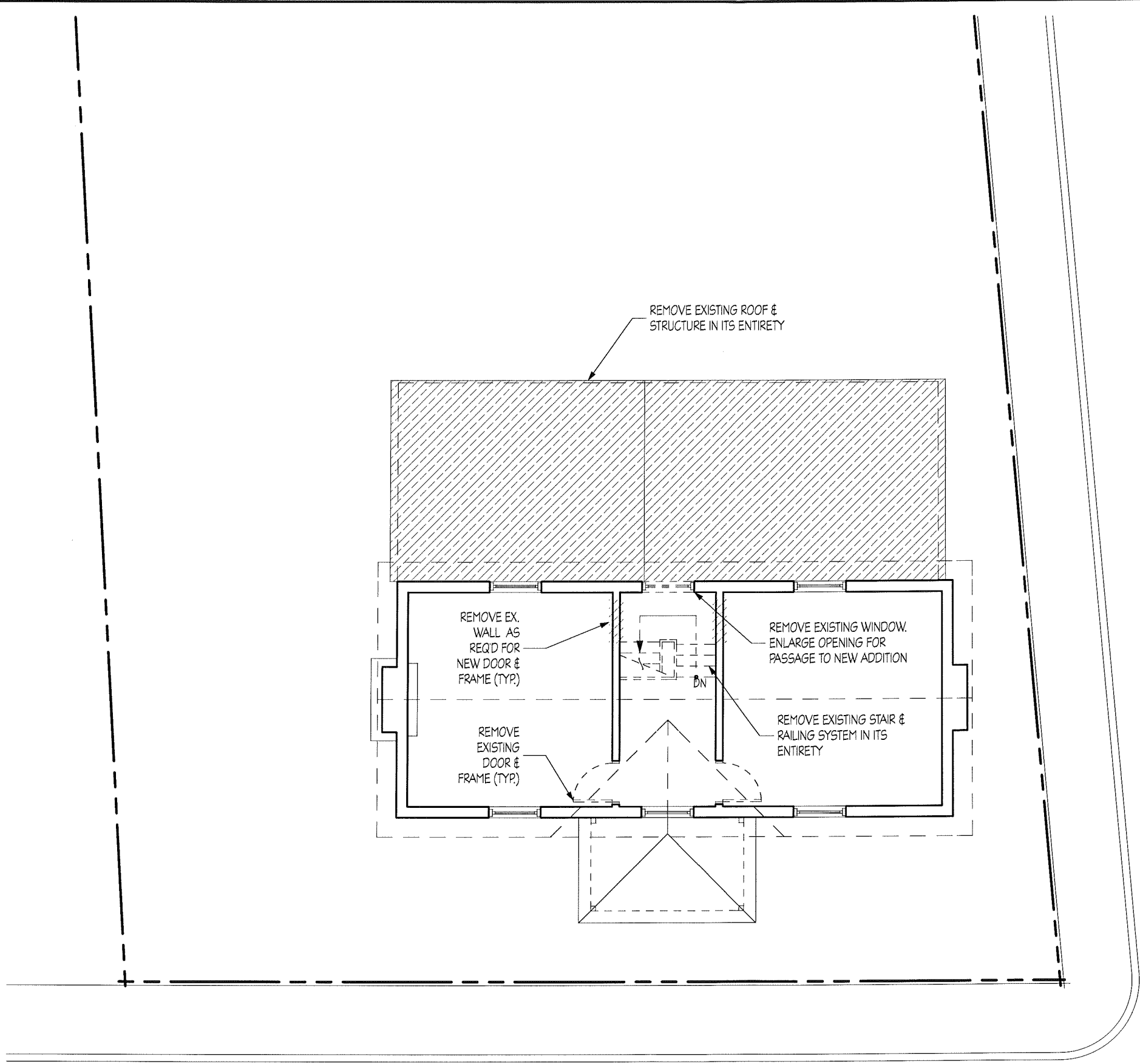
PROJECT	_____
DATE	_____
DRAWN	_____
CHECKED	_____
REVIEWED	_____

D-3



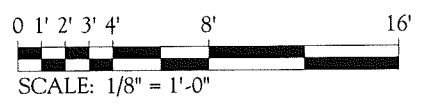
MITCHELL / MATTHEWS
 ARCHITECTS PLANNERS
 300 Twin Sycamore Lane • Charlottesville, Virginia 22903
 Tel: 434-979-7550 Fax: 434-979-5230

301 FIFTH STREET
 McMAHON RESIDENCE
 CHARLOTTESVILLE, VIRGINIA



1 DEMO - SECOND FLOOR
 SCALE: 1/8" = 1'-0"
 PLAN NORTH

PERMIT SET
 09.15.11

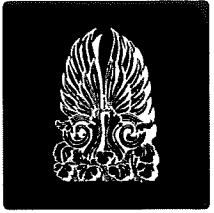


- This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
- The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

2ND
 FLOOR
 DEMO
 PLAN

PROJECT	_____
DATE	_____
DRAWN	_____
CHECKED	_____
REVIEWED	_____

D-4



MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
309 Twin Sycamore Lane - Charlottesville, Virginia 22903
Tel : 434-979-7500 Fax : 434-979-5200

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA

• This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
• The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

EX. SITE/
DEMO
PLAN

PROJECT _____
DATE _____
DRAWN _____
CHECKED _____
REVIEWED _____

D-1

Legal Reference:
D.B.952 Pg.162

This plat was prepared for:
South Branch Capital, LLC

This is to certify that on January 19, 2007, I surveyed the property shown on this plat and the title lines and walls of the building are shown hereon. This property lies in Zone C and not in an area designated as Zone A (100 Year Flood Hazard) as shown on Federal Flood Rate Insurance Maps, effective date: June 15, 1979.

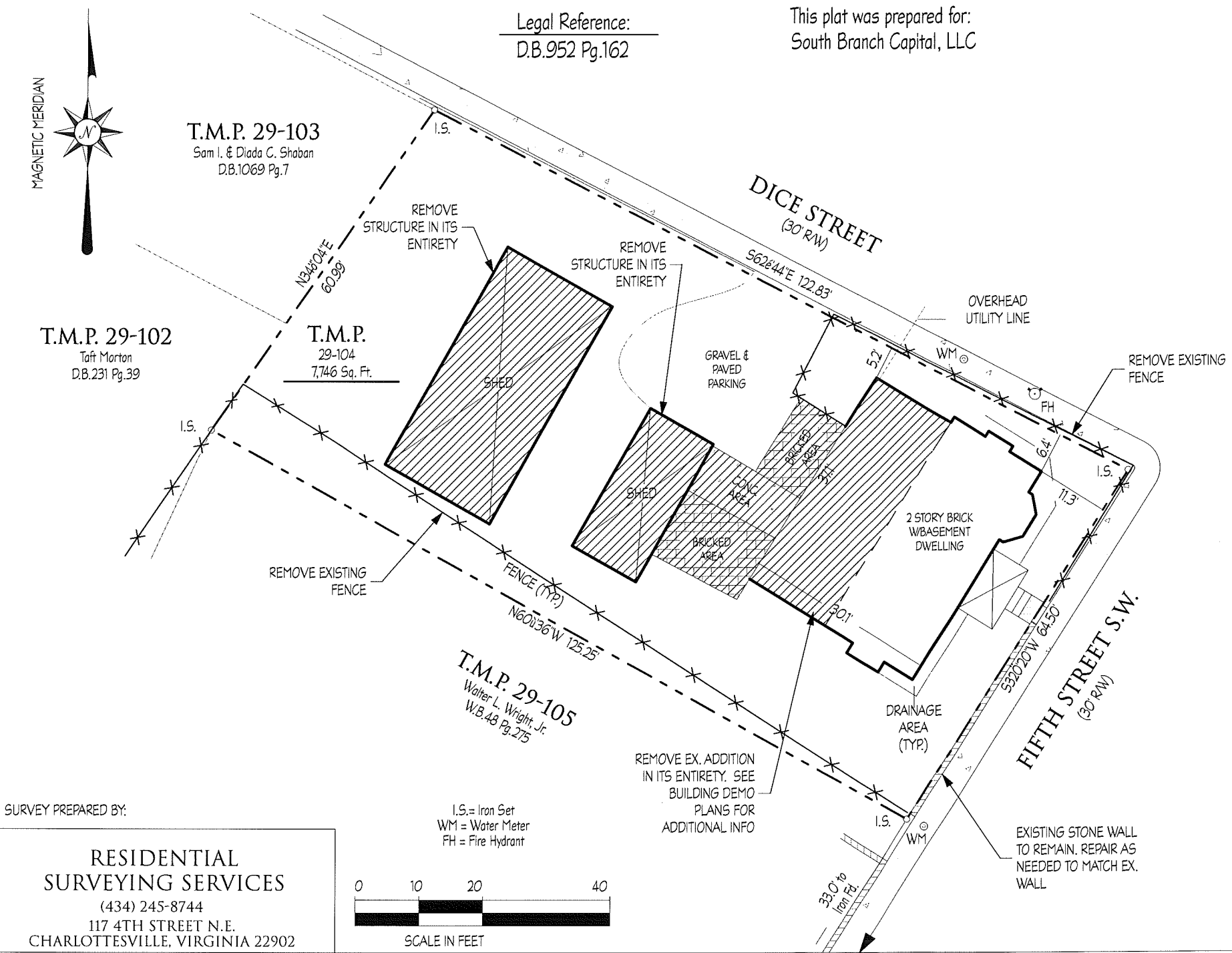
Utilities and Easements other than those shown may exist.

Note: See recorded subdivision plat or title abstract for any additional easements or restrictions that may impact this lot.

A current title report was not supplied for this survey.

The property lines shown hereon are according to field evidence and plats or descriptions of record.

PLAT SHOWING
PHYSICAL SURVEY OF
T.M.P. 29 - 104
FIFE ESTATE
301 FIFTH STREET S.W.
CHARLOTTESVILLE, VIRGINIA
JANUARY 24, 2007

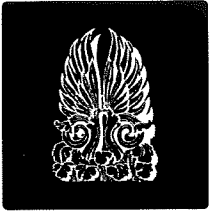


SURVEY PREPARED BY:
RESIDENTIAL SURVEYING SERVICES
(434) 245-8744
117 4TH STREET N.E.
CHARLOTTESVILLE, VIRGINIA 22902

I.S. = Iron Set
WM = Water Meter
FH = Fire Hydrant

0 10 20 40
SCALE IN FEET

PERMIT SET
09.15.11



MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
300 Twin Sycamore Lane • Charlottesville, Virginia 22903
Tel: 434-979-7500 Fax: 434-979-5200

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA

- This drawing is the property of the Architect and may not be re-traced or used without the express permission of the Architect.
- The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

SITE PLAN

PROJECT _____
DATE _____
DRAWN _____
CHECKED _____
REVIEWED _____

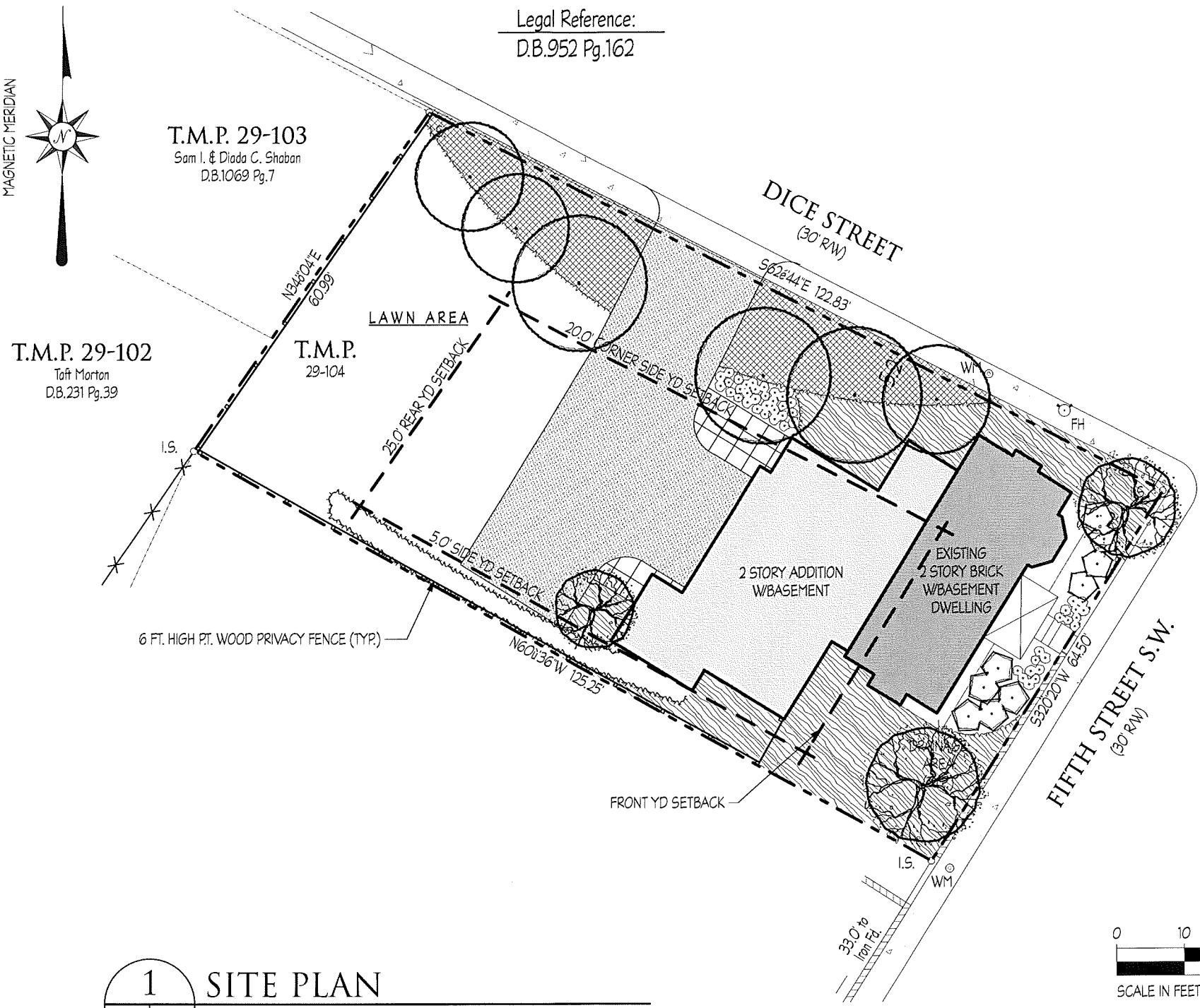
L-1

PLANTING LEGEND	
	JAPANESE MAPLE
	LACE BARK ELM
PROPOSED SHRUB PLANTINGS & MULCH	
	BLUE HYDRANGEA
	DAPHNE
	BURNING BUSH
	LIRIOPE & MULCH
	PERIWINKLE & MULCH
	GRAVEL

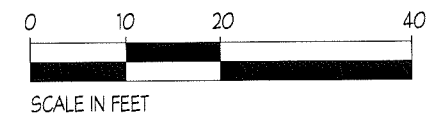
NOTE:
1. BASE SITE PLAN SURVEY PREPARED BY RESIDENTIAL SURVEYING SERVICES, DATED JANUARY 24, 2007.



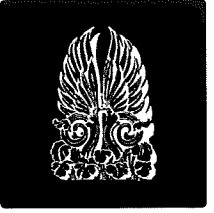
Legal Reference:
D.B.952 Pg.162



1 SITE PLAN
SCALE: 1" = 20.0'

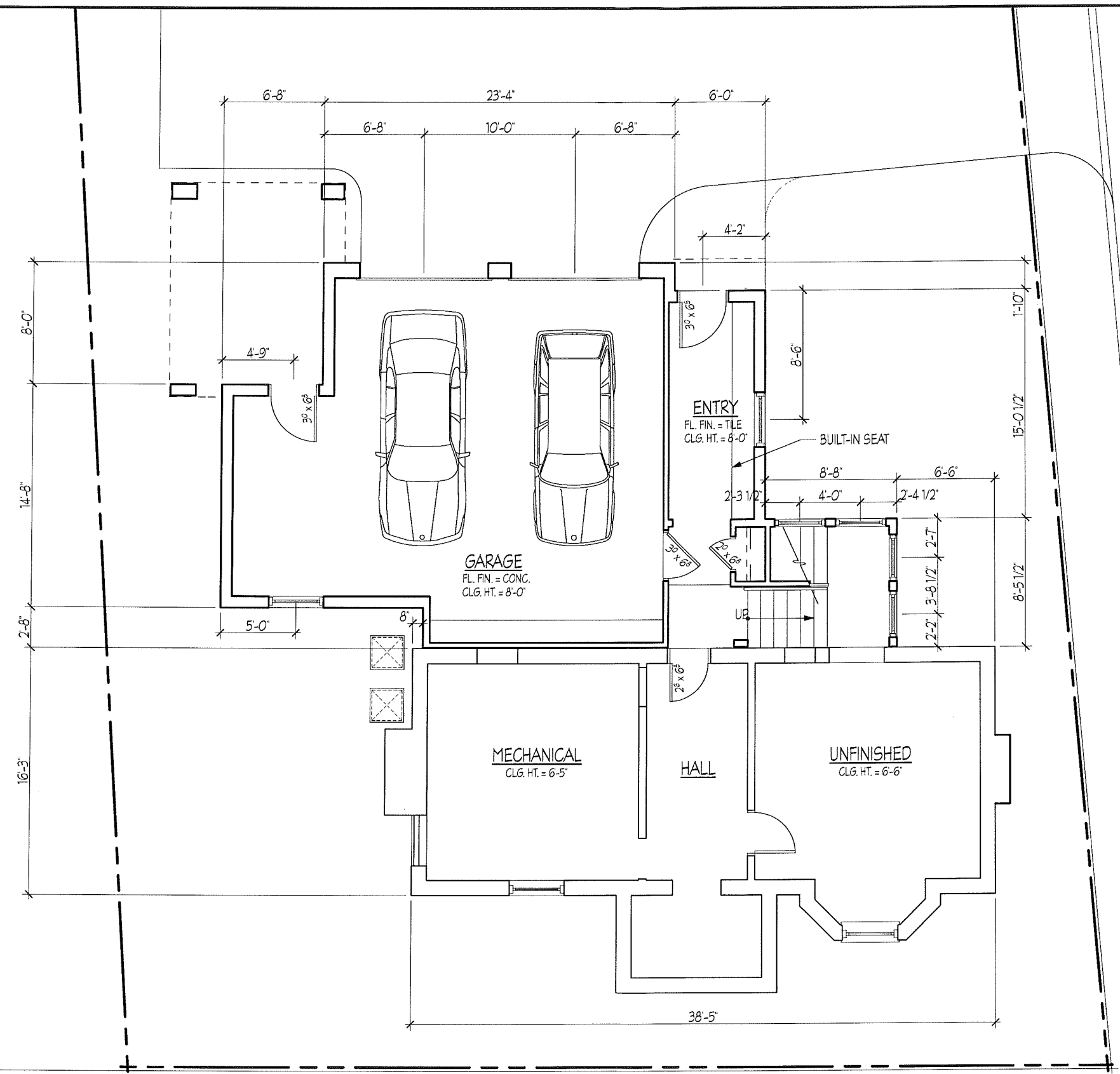


PERMIT SET
09.15.11



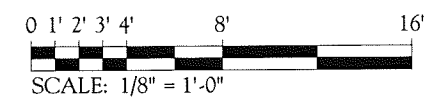
MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
302 Twin Elmwood Lane • Charlottesville, Virginia 22903
Tel: 434-979-7550 Fax: 434-979-5220

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA



1 TERRACE LEVEL
SCALE: 1/8" = 1'-0"
PLAN NORTH

PERMIT SET
09.15.11

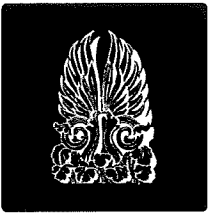


- This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
- The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

TERRACE
PLAN

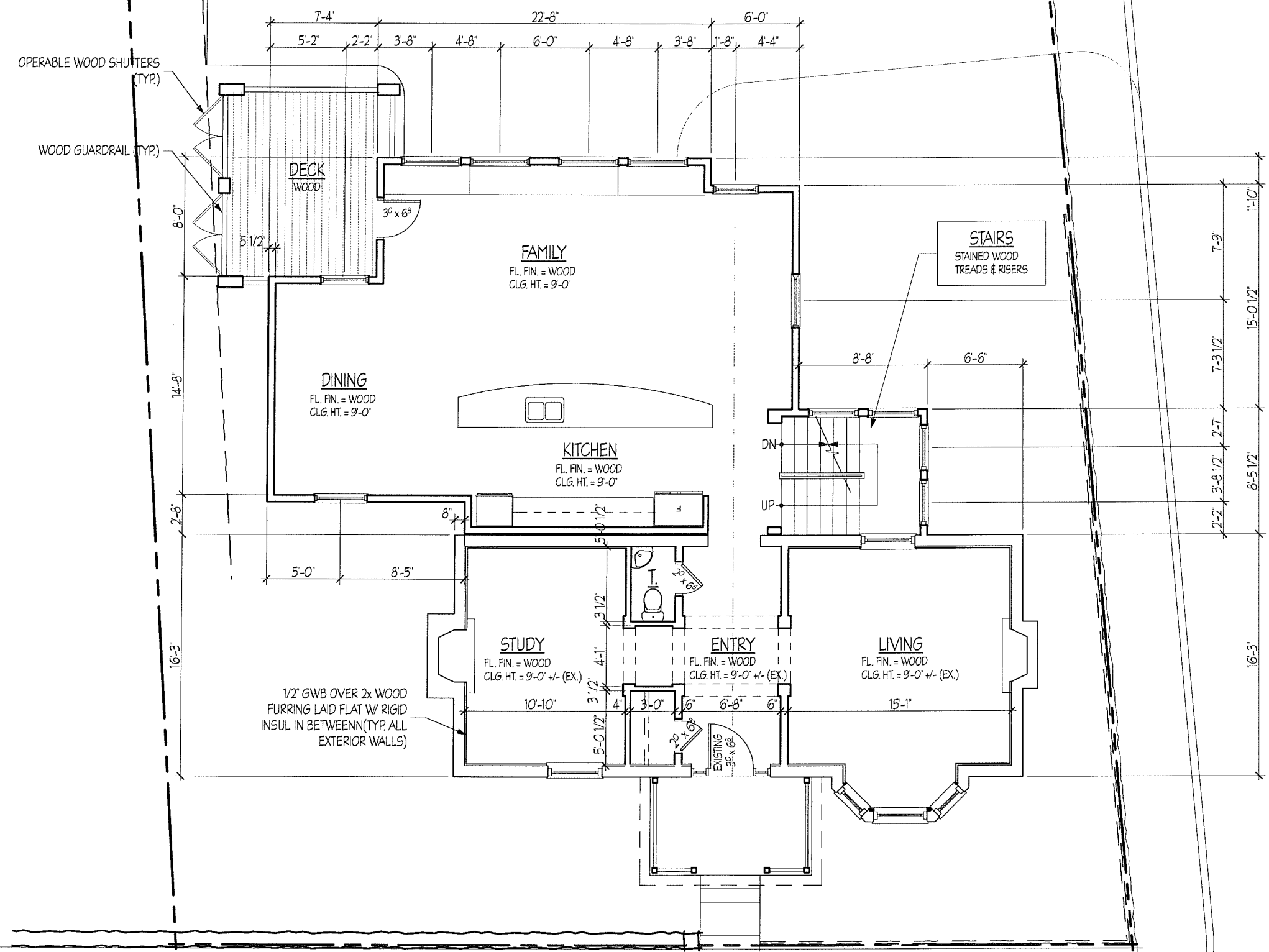
PROJECT	_____
DATE	_____
DRAWN	_____
CHECKED	_____
REVIEWED	_____

A-1



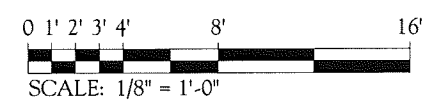
MITCHELL / MATTHEWS
 ARCHITECTS PLANNERS
 309 Twin Sycamore Lane • Charlottesville, Virginia 22903
 Tel: 434.979.7550 Fax: 434.979.5220

301 FIFTH STREET
 McMAHON RESIDENCE
 CHARLOTTESVILLE, VIRGINIA



PERMIT SET
 09.15.11

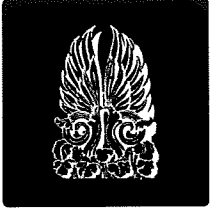
1 FIRST FLOOR
 SCALE: 1/8" = 1'-0"
 PLAN NORTH



• This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
 • The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

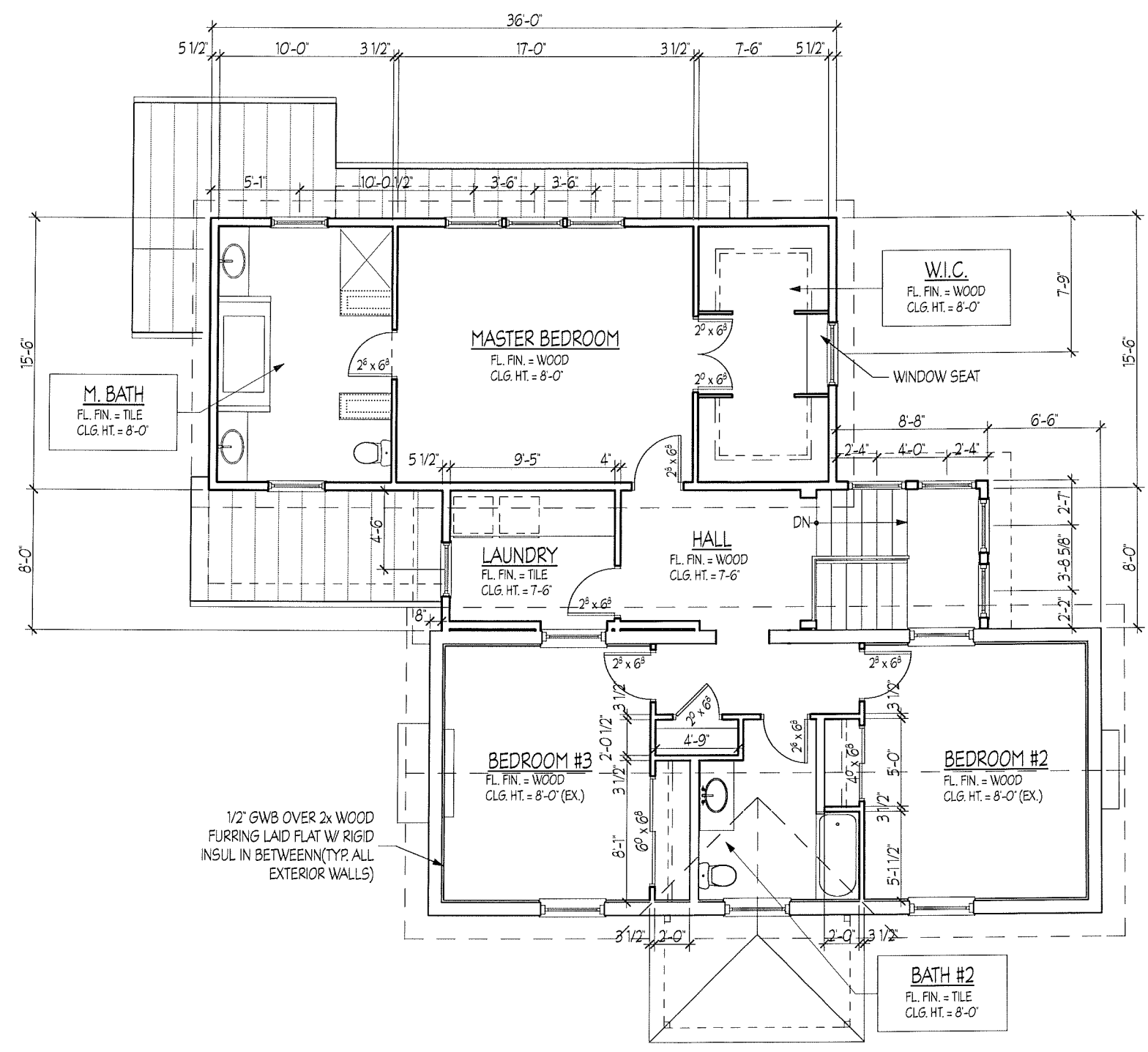
1ST FLOOR
 PLAN

PROJECT	_____
DATE	_____
DRAWN	_____
CHECKED	_____
REVIEWED	_____



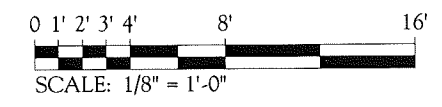
MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
300 Tenth Street East - Charlottesville, Virginia 22903
Tel: 434-979-7500 Fax: 434-979-5233

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA



1 SECOND FLOOR
SCALE: 1/8" = 1'-0"
PLAN NORTH

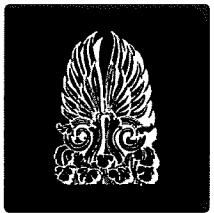
PERMIT SET
09.15.11



- This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
- The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

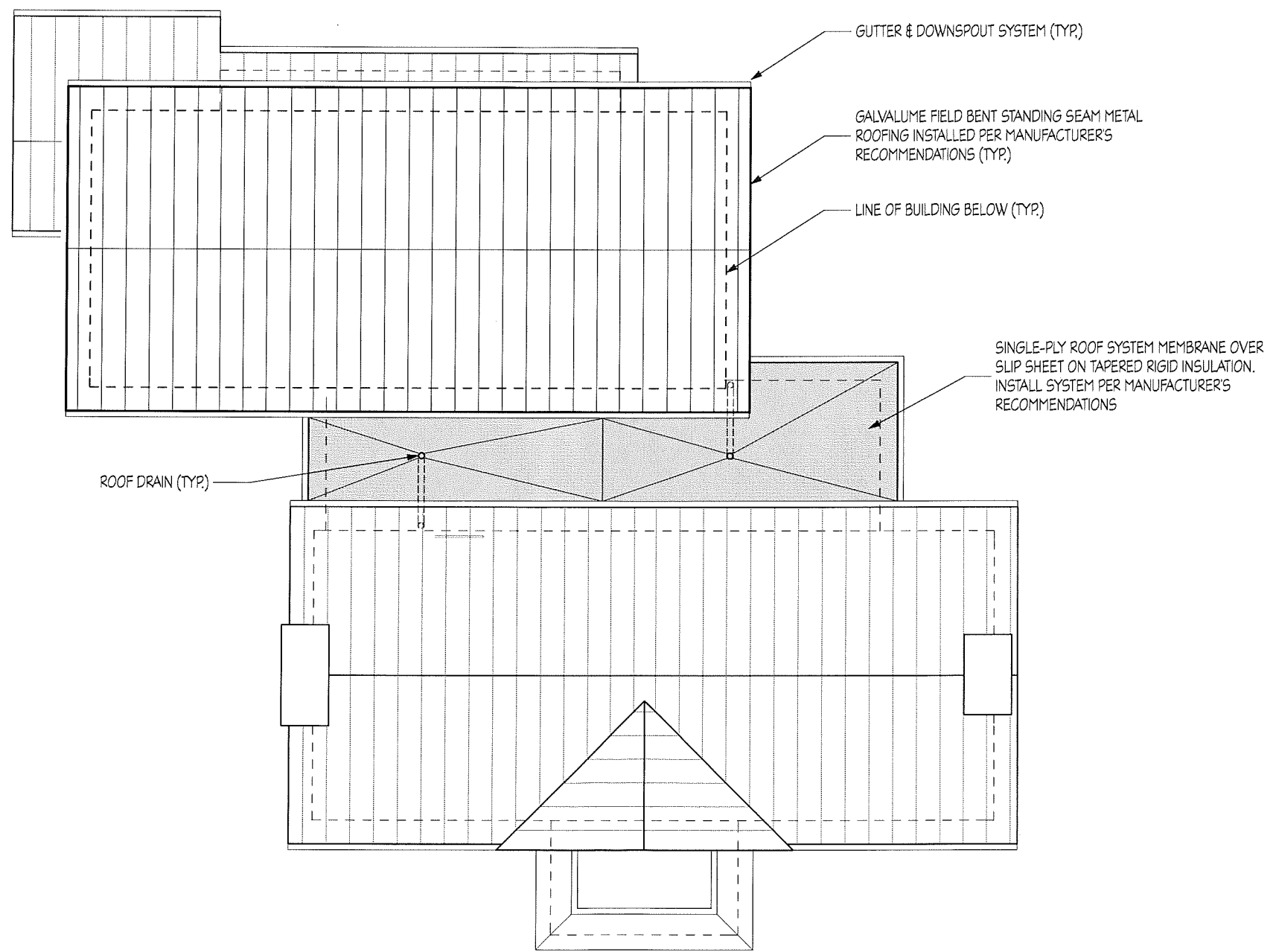
2ND FLOOR PLAN

PROJECT	_____
DATE	_____
DRAWN	_____
CHECKED	_____
REVIEWED	_____



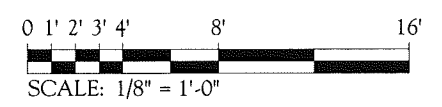
MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
300 Twin Sycamore Lane • Charlottesville, Virginia 22903
Tel: 434.979.7500 Fax: 434.979.5200

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA



1 ROOF PLAN
SCALE: 1/8" = 1'-0"
PLAN NORTH

PERMIT SET
09.15.11



- This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
- The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

ROOF PLAN

PROJECT	_____
DATE	_____
DRAWN	_____
CHECKED	_____
REVIEWED	_____

A-4

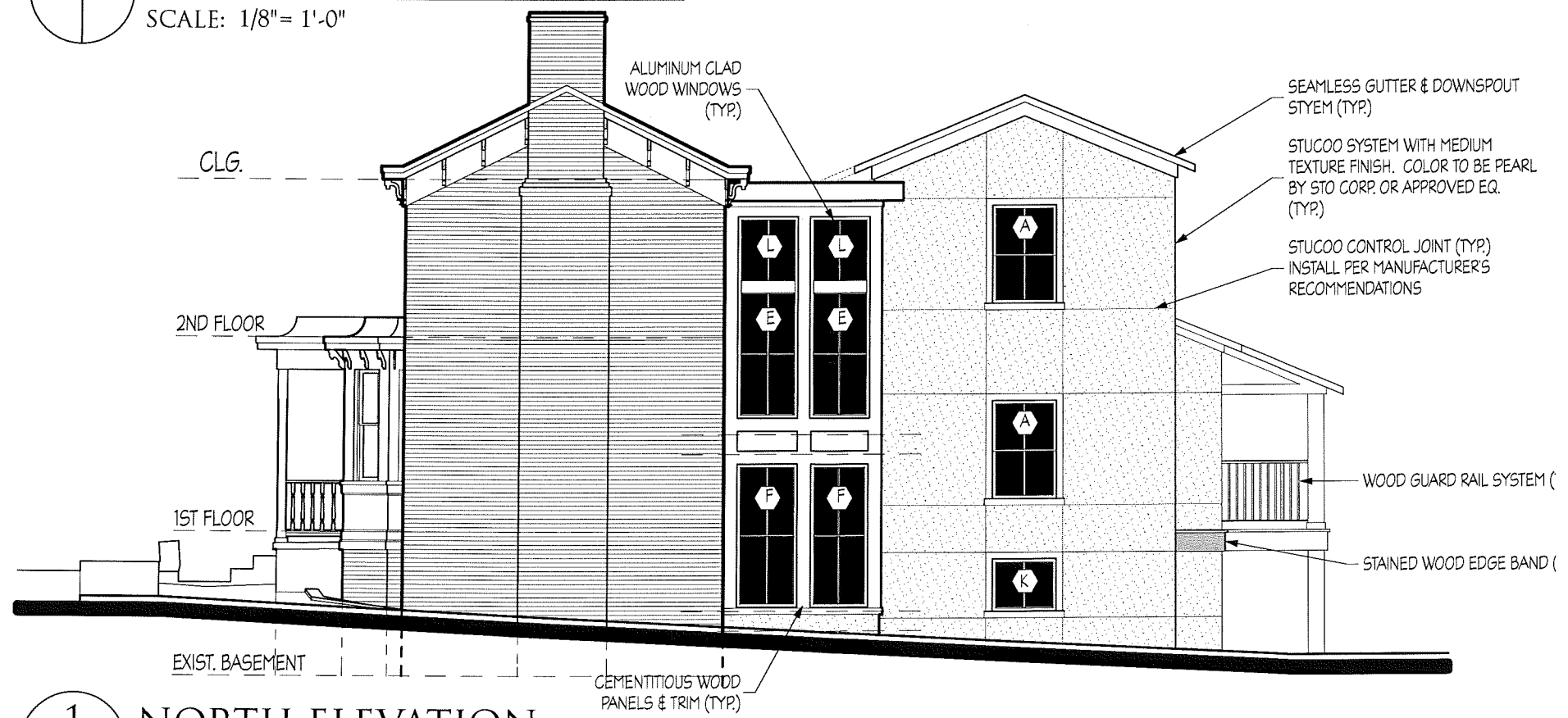


MITCHELL / MATTHEWS
ARCHITECTS
307 South Boulevard Lane - Charlottesville, Virginia 22903
Tel: 434.979.7350 Fax: 434.979.5200

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA

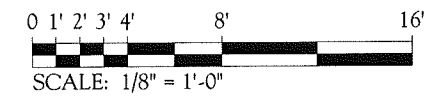


1 FRONT (EAST) ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

PERMIT SET
09.15.11



• This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
• The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

BUILDING ELEVATIONS

PROJECT _____
DATE _____
DRAWN _____
CHECKED _____
REVIEWED _____

A-5



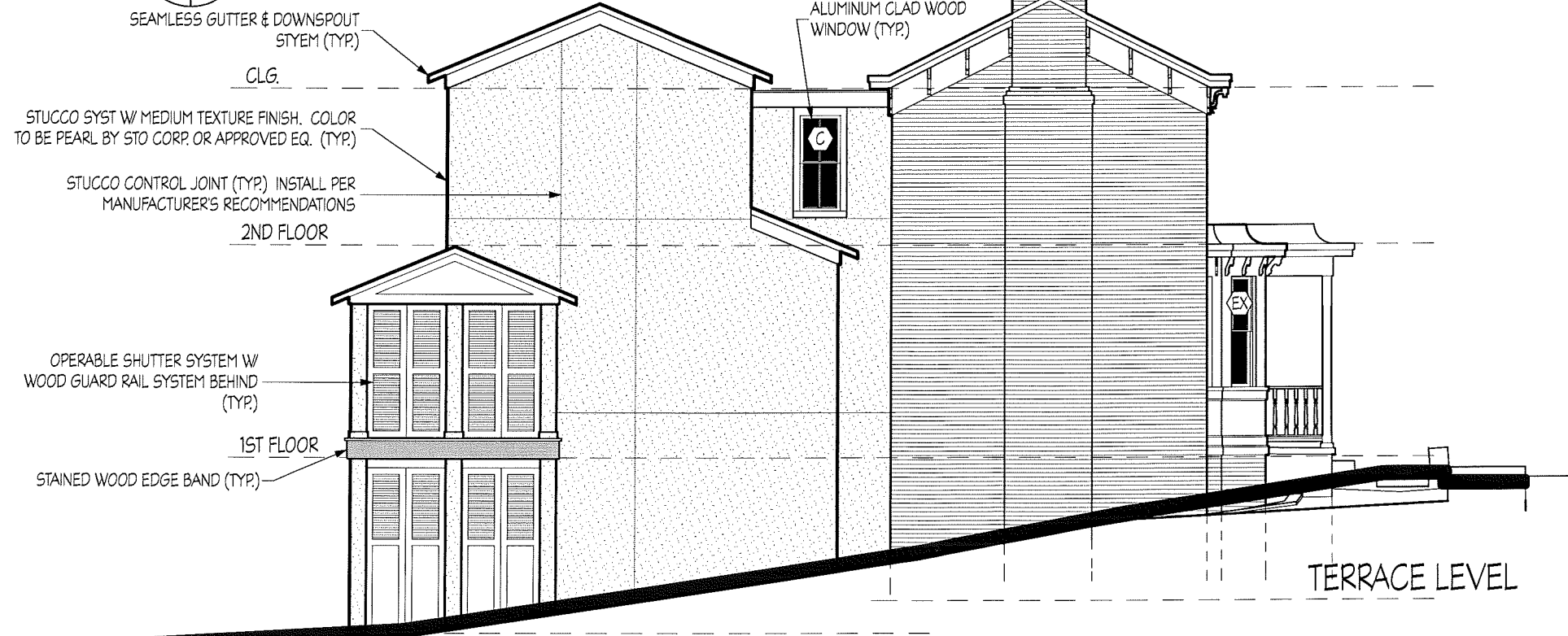
MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
300 Twin Sycamore Lane • Charlottesville, Virginia 22903
Tel: 434.979.7550 Fax: 434.979.5220

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA



1 REAR (WEST) ELEVATION

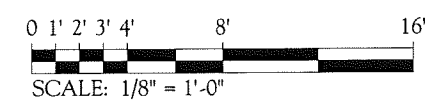
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

PERMIT SET
09.15.11

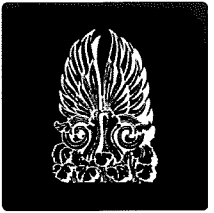


• This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
• The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

BUILDING ELVES

PROJECT _____
DATE _____
DRAWN _____
CHECKED _____
REVIEWED _____

A-6



MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
300 Two Sycamore Lane • Charlottesville, Virginia 22903
Tel: 434-979-1550 Fax: 434-979-5233

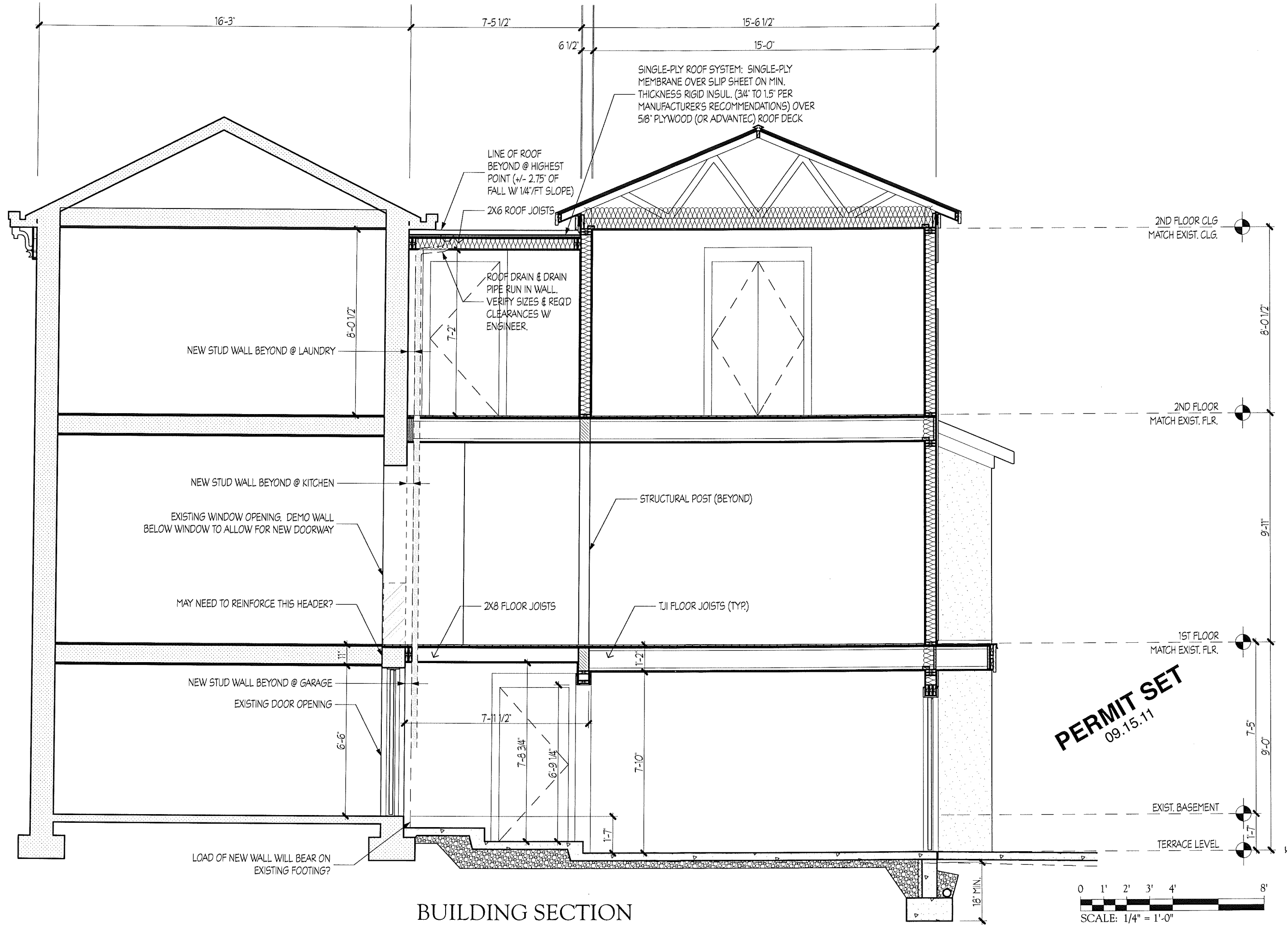
301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA

• This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
• The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

BUILDING SECTION

PROJECT _____
DATE _____
DRAWN _____
CHECKED _____
REVIEWED _____

A-7



BUILDING SECTION

GALVALUME STANDING SEAM METAL ROOFING INSTALLED PER MANUFACTURER'S RECOMMENDATIONS SLIP SHEET (UNDER METAL ROOFING PER MANUFACTURER'S RECOMMENDATIONS) OVER 30# BLDG FELT ON PLYWOOD (OR ADVANTEC) ROOF DECK OVER PREMANUFACTURED WOOD ROOF TRUSSES - SEE STRUCT. DWGS.

2X FRAMING - MATCH EXISTING

1'-0"

1X TRIM - MATCH EXISTING

SOFFIT BOARDS - MATCH EXISTING

1X TRIM - MATCH EXISTING

2ND FLOOR CLG. MATCH EXIST. CLG.

8'-0 1/2"

1/2" PAINTED GYP. BD. OVER MOISTURE BARRIER ON BOTTOM CHORD OF ROOF TRUSSES W BATT INSULATION (R-38 MIN.)

R.O.

SCHEDULED FLOORING OVER OSB OR PLYWOOD SUBFLOOR - SEE STRUCTURAL DWGS (TYP.)

PRE-ENG. OPEN WEB WOOD FLOOR TRUSSES - SEE STRUCTURAL DWGS. (TYP.)

2ND FLOOR MATCH EXIST. FLR.

9'-11"

1/2" PAINTED GYP. BD.

1/2" PAINTED GYP. BD. OVER MOISTURE BARRIER ON 2X6 STUDS @ 16" O.C. W FULL BATT INSULATION (R-13 MIN.)

R.O.

5/8" POWERWALL STUCCO SYSTEM (3/4" TOTAL THICKNESS). FINISH COAT OVER BROWN COAT ON SCRATCH COAT ON EXPANDED METAL LATH OVER (2) LAYERS 15# BLDG. FELTS ON SCHEDULED OSB SHEATHING. STUCCO TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & DETAILS.

1ST FLOOR MATCH EXIST. FLR.

7'-4"

PT. 2X6 SILL PLATE SECURELY ATTACHED TO TOP OF FOUNDATION WALL

SCHEDULED FOOTING & FOUNDATION WALL W WATERPROOF MEMBRANE & FOUNDATION DRAINAGE SYSTEM - SEE STRUCT. DWGS.

2" RIGID PERIMETER INSULATION

REINF. CONC. SLAB - SEE STRUCT. DWGS.

EXIST. BASEMENT

TERRACE LEVEL

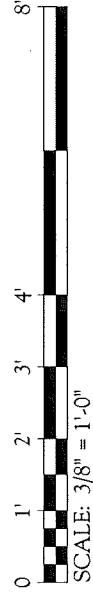
1'-8"

FINISHED GRADE

18" MIN.

1 TYPICAL SECTION

SCALE: 3/8" = 1'-0"



- This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
- The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

TYP. WALL SECTION

PROJECT	_____
DATE	_____
DRAWN	_____
CHECKED	_____
REVIEWED	_____

A-8

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA

MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
300 Twin Spinnaker Lane - Charlottesville, Virginia 22903
Tel: 434.979.7550 Fax: 434.979.5220





MITCHELL / MATTHEWS
ARCHITECTS PLANNERS
308 Twin Sycamore Lane - Charlottesville, Virginia 22903
Tel: 434.979.1550 Fax: 434.979.5200

301 FIFTH STREET
McMAHON RESIDENCE
CHARLOTTESVILLE, VIRGINIA

• This drawing is the property of the Architect and may not be reproduced or used without the express permission of the Architect.
• The contractor is responsible for checking and verifying all levels and dimensions and shall report any discrepancies to the Architect.

WINDOW
SCHED.

PROJECT _____
DATE _____
DRAWN _____
CHECKED _____
REVIEWED _____

A-9

WINDOW INFORMATION

TYPE	DESCRIPTION	WINDOW UNIT	WIDTH (R.O.)	HEIGHT (R.O.)	REMARKS
A	CLAD WOOD DOUBLE HUNG	TCD3760	3'-2 1/8"	5'-0 3/4"	
B	CLAD WOOD DOUBLE HUNG	TCD3752	3'-2 1/8"	4'-4 3/4"	
C	CLAD WOOD DOUBLE HUNG	TCD2556	2'-2 1/8"	4'-8 3/4"	
D	CLAD WOOD CASEMENT	TCC3640	3'-0 3/4"	3'-4 3/4"	
E	CLAD WOOD CASEMENT	TCCP3272	2'-8 3/4"	6'-0 3/4"	PICTURE WINDOW
F	CLAD WOOD CASEMENT	TCCP3284	2'-8 3/4"	7'-0 3/4"	PICTURE WINDOW
G	CLAD WOOD CASEMENT	TCC3672	3'-0 3/4"	6'-0 3/4"	
H	CLAD WOOD CASEMENT	TCC3684	3'-0 3/4"	7'-0 3/4"	
J	CLAD WOOD CASEMENT	TCCP4856	4'-0 3/4"	5'-6 3/4"	PICTURE WINDOW
K	CLAD WOOD AWNING	TCA3628	3'-0 3/4"	2'-4 3/4"	
L	CLAD WOOD AWNING	TCA3230	2'-8 3/4"	2'-6 3/4"	
M	CLAD WOOD AWNING	TCA3630	3'-0 3/4"	2'-6 3/4"	
N	CLAD WOOD AWNING	TCA4828	4'-0 3/4"	2'-4 3/4"	
EX	EXISTING WINDOW				REPAIR AS REQD; REPAIRS TO MATCH EXISTING WOOD WINDOW

WINDOW SCHEDULE

WINDOW SCHEDULE - NOTES

- GENERAL NOTES:
- GENERAL SCOPE: The windows shown on the drawings are based upon units supplied by Jeldwen. Window units shown are from the Premium Wood Traditions Plus series. Provide window units for the model numbers designated, and where not designated, as required to accommodate the opening size and finish work at these locations. All work included in the installation of windows shall comply with the manufacturer's installation standards, instructions, and recommendations.
 - ROUGH OPENINGS: Provide structurally sound rough openings, fully flashed, for the installation of window units. Align window units to maintain level and plumb trim lines shown on the drawings, and spaced to accommodate building systems installed by other trades. Verify unit size and rough opening size for each wall opening prior to commencement of framing and the purchase of window units.
 - FLEXIBLE FLASHING: Provide Vycor Plus Self-Adhered flashing manufactured by Grace Construction Products or equal approved by the Architect. Install, protect, and maintain during the construction period per the manufacturer's installation instructions.
 - EXTERIOR CASING: The design shown is based upon field installation of cementitious boards (Hardi Trim) 3.5" wide by 1" thick unless noted otherwise.
 - GLAZING: Windows shall be glazed with Jeldwen Insul Low E2 with argon filled cavity unless noted otherwise. Provide Simulated Divided Lites (SDL) to accommodate the patterns shown unless noted otherwise.
 - SAFETY GLASS: Provide tempered and heat strengthened glass where shown or as required to comply with ANSI Z97.1 and testing requirements of 16 CFR Part 1201 for category II materials.
 - SCREENS: All operable sash shall be fitted with factory assembled insect screens unless noted otherwise.
 - SEALANTS: Provide manufacturer's recommended sealant at exterior joints and window perimeter for a waterproof and air-tight installation. Provide 3/8" wide joint between window unit and adjacent material unless noted otherwise. Fit joint with backer rod and fill joint with sealant.
 - MOUNTING HEIGHTS: Refer to wall sections for window head and sill heights.
 - WINDOW LOCATIONS: The exterior building elevation drawings do not show all window locations. Refer to the floor plan drawings to identify all window locations.
 - COLORS: All windows shall be factory finished in Jeldwen standard French White color.
 - WOOD BLOCKING: Provide wood blocking for the installation of exterior window units and trim material. Shim and kerf blocking, as required, to provide a level and plum surface for alignment of the exterior casing trim material.
 - WINDOW INSTALLATION AT SILL PAN: Provide a direct set installation with no sealant at the bottom of the window unit - keep open to allow for drainage of sill pan.
 - EXISTING WINDOW: Existing windows to remain unless noted otherwise. Repair as required. All repairs to match existing window components.
 - MUNTINS: Provide 7/8" Simulated Divided Lites (SDL) in pattern shown on the elevations.

PERMIT SET
09.15.11

RECEIVED

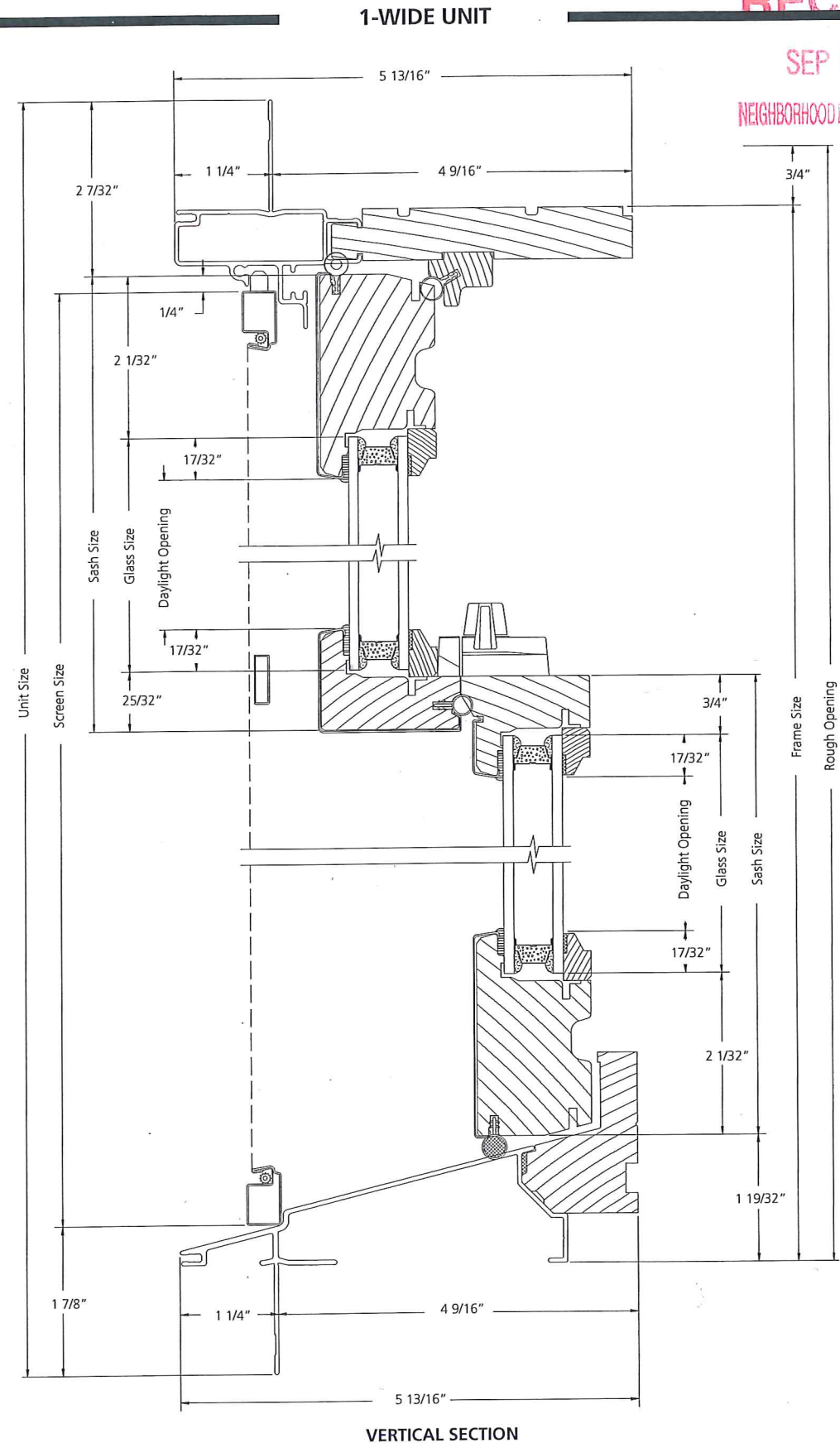
SEP 22 2011

NEIGHBORHOOD DEVELOPMENT SERVICES

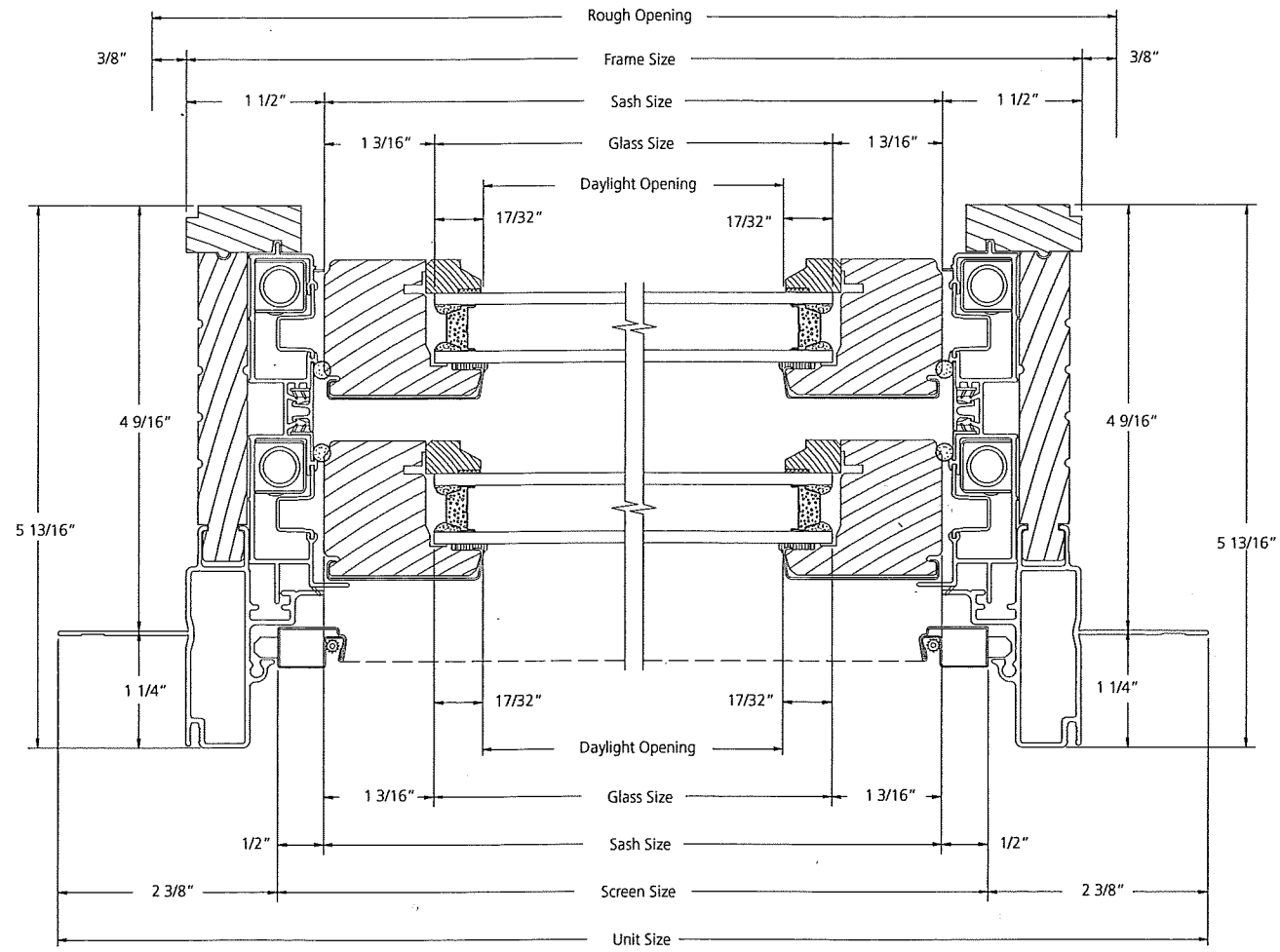
RECEIVED

SEP 22 2011

NEIGHBORHOOD DEVELOPMENT SERVICES



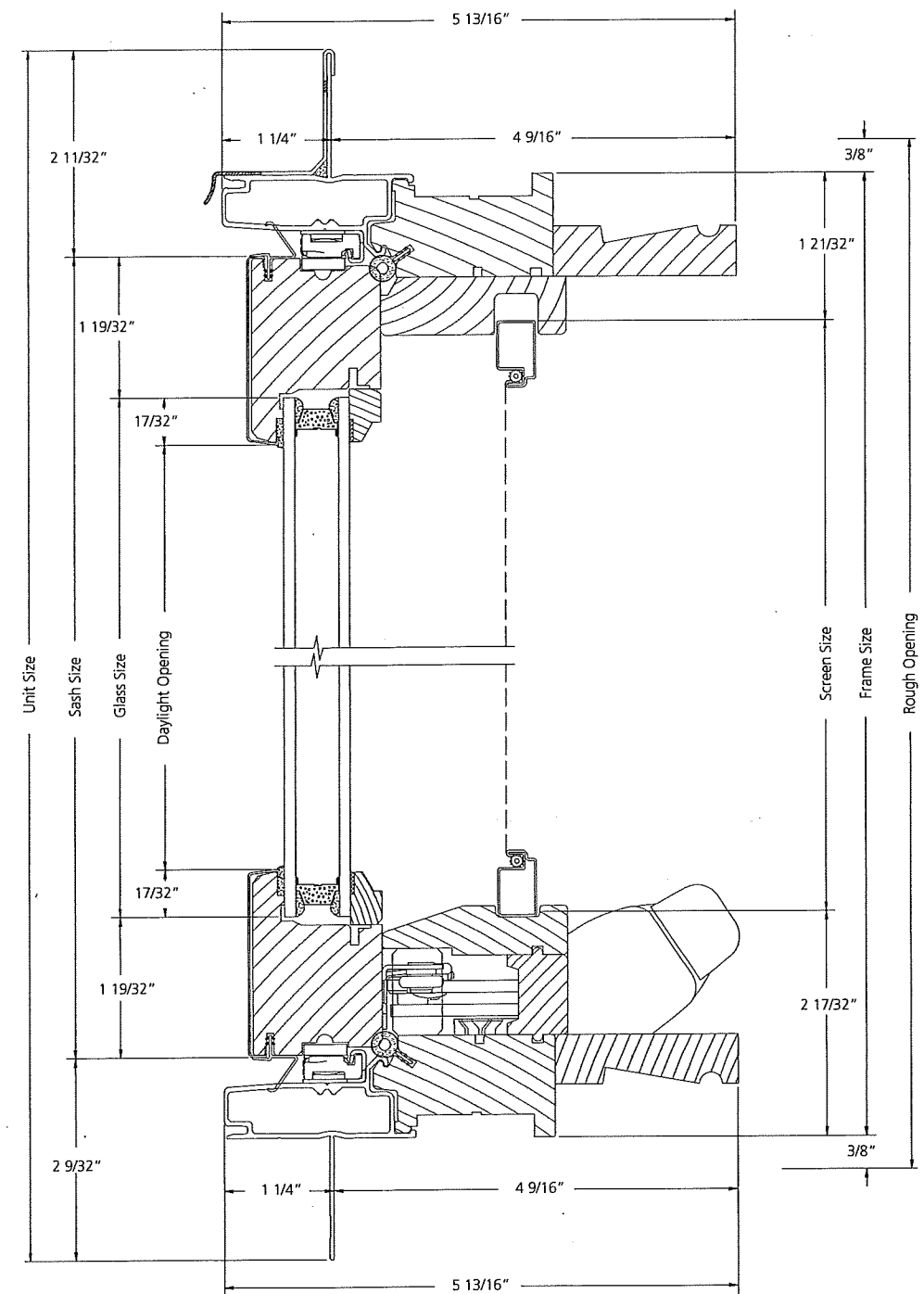
1-WIDE UNIT



HORIZONTAL SECTION

SCALE: 6" = 1'

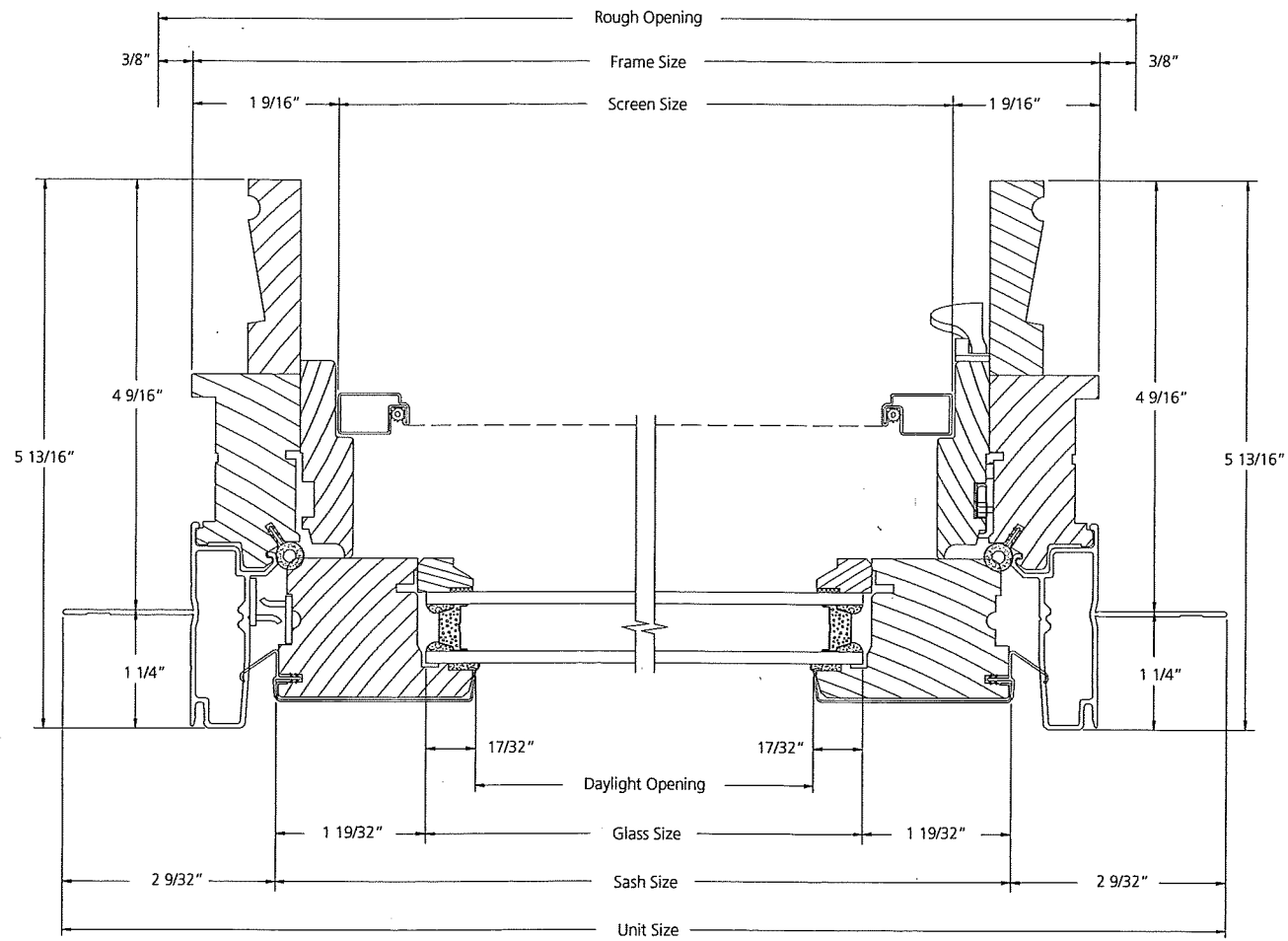
OPERATING UNIT



VERTICAL SECTION

SCALE: 6" = 1'

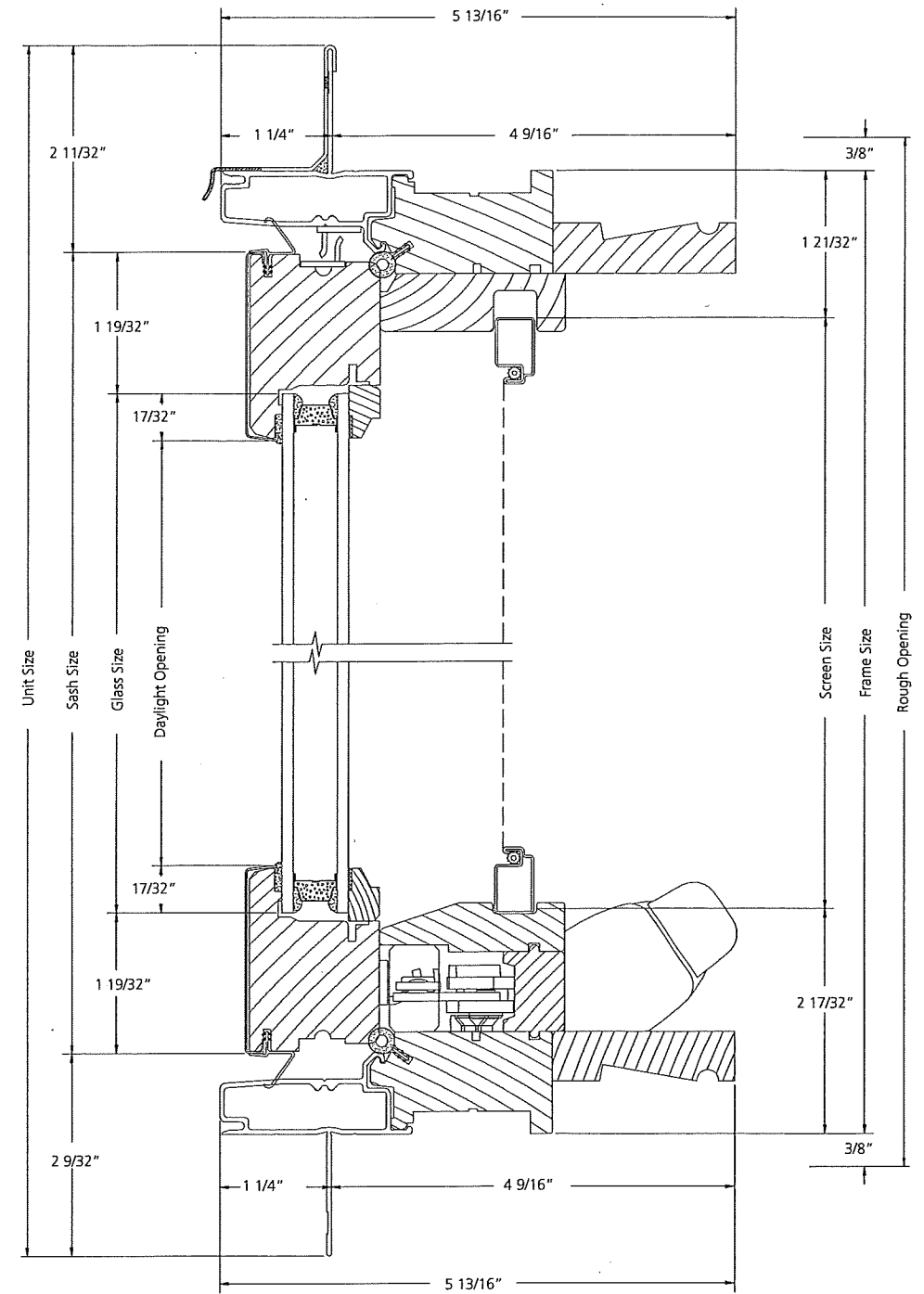
OPERATING UNIT



HORIZONTAL SECTION

SCALE: 6" = 1'

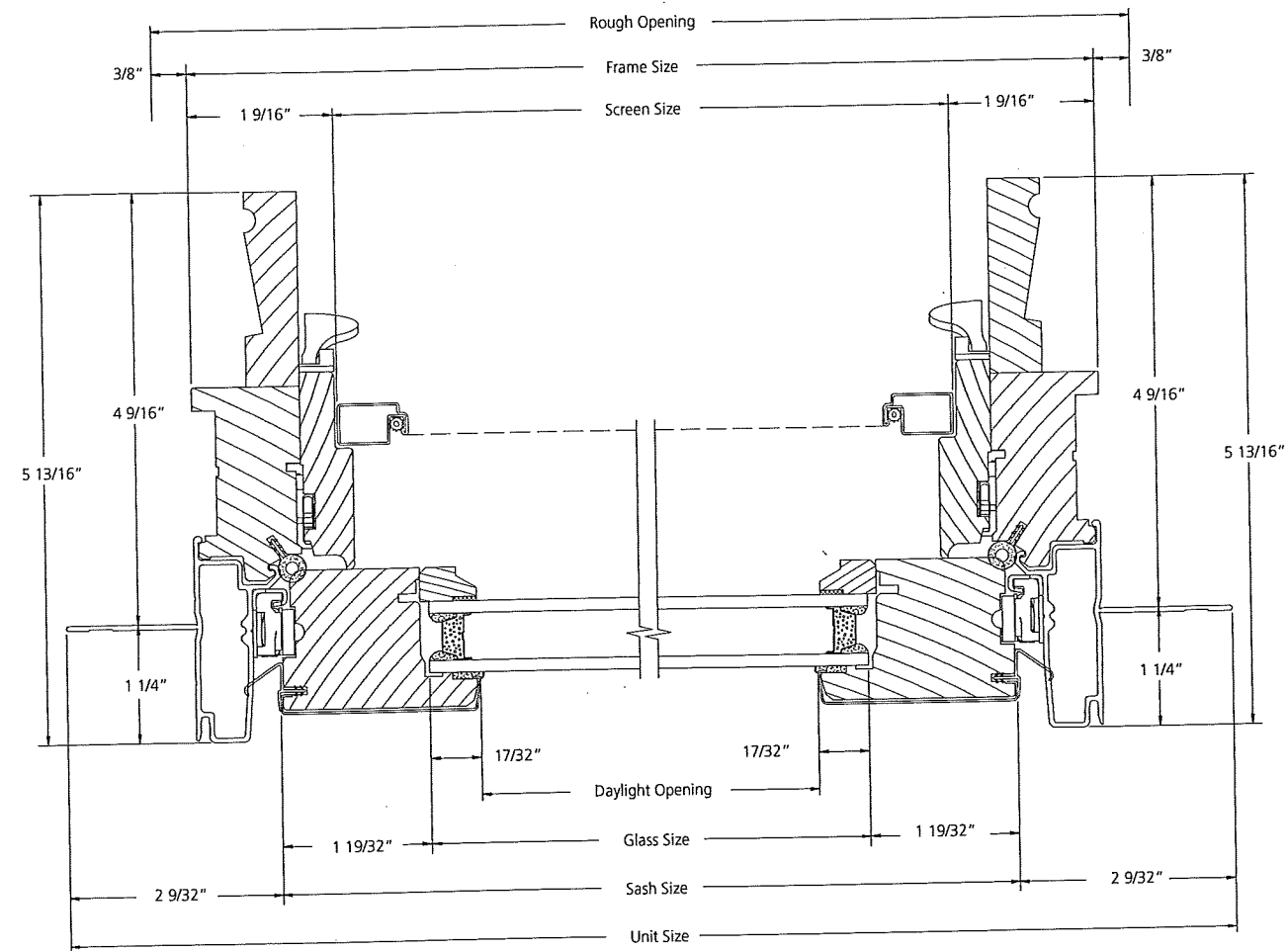
OPERATING UNIT



VERTICAL SECTION

SCALE: 6" = 1'

OPERATING UNIT



HORIZONTAL SECTION

SCALE: 6" = 1'