

Scala, Mary Joy

From: Scala, Mary Joy
Sent: Thursday, May 30, 2013 5:12 PM
To: McHugh, Kathy
Cc: Galvin, Kathy; Tolbert, Jim
Subject: Design comments - 210 8th St NW

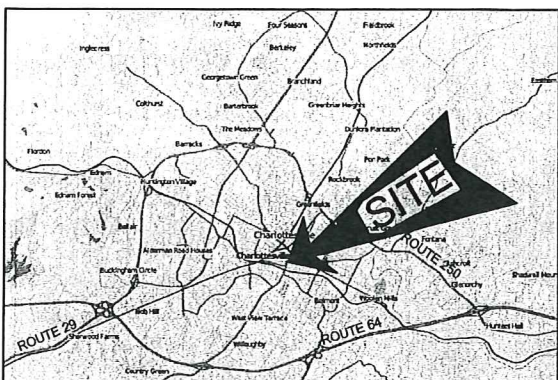
Kathy,

You asked me to provide design comments for the City of Promise house. Here are my suggestions:

1. I understand that the front patio has to be accessible, but I would suggest adding a 36" high wood picket railing to add privacy and make it look like other porches in the neighborhood; a usable porch is a very important feature.
2. Thank you for preserving the original front site wall and pilasters. Unfortunately the front door centered on the porch does not line up with the site wall opening or the front walkway. However, if you move the front door about 2 or 2-1/2 feet to the far right side of the porch it would line up with the site wall opening and the walkway, which could then be straight instead of having the slight curve. (If you move the front door you will need to also move the upstairs window the same distance to line up vertically.) Moving the door and adding railing would make a big difference.
3. Aluminum clad windows are preferable because they are more sustainable and longer-lasting than vinyl clad. If simulated divided lights are necessary then they should be applied to the exterior and not be the "grids between the glass" or interior snap-in type. (Or using a one-over-one window configuration instead would be fine.)
4. Regarding flipping the floor plan, you mentioned the architect had concerns about locating the gas and electrical lines on the side of the house with more windows, and concerns locating the patio where the parking is proposed. I still think it could be flipped by carefully locating the utilities, and by keeping the patio where it is now and moving the rear walkway next to the building for access. But given that Page Street is not very heavily travelled in that location, I think the current plan is probably OK. Regardless, you may want to move the rear walkway closer to the house instead of further back because people will tend to cut the shortest path from parking to kitchen door.
5. Check with Read Brodhead, but I believe that the mechanical units must be located outside the corner side yard setback, which looks possible, and they should be screened with a fence or shrubs. Or they could be located in the rear yard and screened from the street.
6. The site plan shows you will keep the three existing large street trees, which is good, but I believe you will be required to add a sidewalk along Page Street frontage if none exists. If the two trees must be removed for a sidewalk then they should be replaced with a large deciduous species min 2" caliper.
7. Screening the parking from the adjacent property is good.
8. I do not prefer the 16 foot curb cut with two cars having to back into the street, but cannot think of another way to reduce the curb cut width without stacking the cars.
9. The fiber-cement lap siding with wood composite trim is appropriate. The color scheme for the house should be bright and cheerful like others in the neighborhood.

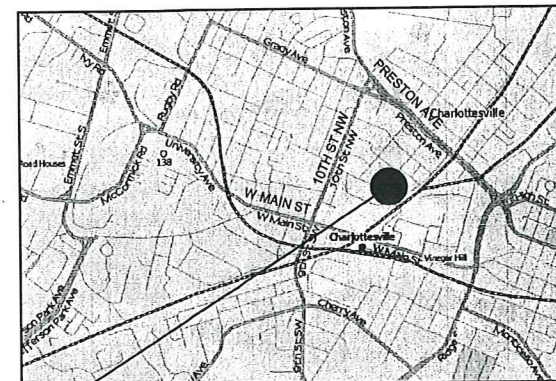
Thank you for the opportunity to comment. Let me know if you have questions.

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street



CITY OF CHARLOTTESVILLE SINGLE FAMILY RESIDENCE

FOR CONSTRUCTION
MAY 13, 2013



GENERAL NOTES:

- THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED FOR USE AS FABRICATION DRAWINGS. THESE DRAWINGS INDICATE THE GENERAL AND APPROXIMATE SIZE AND LOCATION OF MATERIAL. FIELD VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO BEGINNING WORK. ALL UTILITIES NOTED ON PLANS ARE APPROXIMATE AND CONTRACTOR SHALL FIELD VERIFY LOCATION.
- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO, THE 2009 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (MARCH 1, 2011) AND ASSOCIATED CODES OF REFERENCE. REFER TO APPLICABLE CODES LIST THIS SHEET.
- CONTRACTOR SHALL OBTAIN ALL BUILDING AND TRADE PERMITS FOR CONSTRUCTION.
- ALL MATERIAL SHALL BE NEW UNLESS OTHERWISE NOTED. MATERIALS ARE BASED ON THE INDICATED MANUFACTURERS/MODELS AND ARE INTENDED ONLY TO SHOW THE GENERAL SIZE, CONFIGURATION, LOCATION, CONNECTIONS, AND SUPPORT FOR INDICATED MATERIAL WITH RELATION TO OTHER BUILDING SYSTEMS. MATERIAL BY ANY MANUFACTURER THAT MEETS THE SCHEDULED CRITERIA IS ACCEPTABLE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ACTUAL INSTALLED MATERIAL AND ASSOCIATED CHANGES.
- THE CONTRACTOR SHALL COORDINATE THE WORK WITH EXISTING CONDITIONS, INCLUDING SITE FEATURES AND OTHER OBSTRUCTIONS, WHETHER OR NOT SUCH IS SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE THE WORK BETWEEN ALL TRADES. MATERIAL LOCATIONS SHALL BE COORDINATED BETWEEN VARIOUS PLANS TO AVOID CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE THAT OCCURS TO EXISTING MATERIAL TO REMAIN OR TO BE RELOCATED DURING DEMOLITION AND CONSTRUCTION.
- THE CONTRACTOR SHALL ADVISE THE A/E AND OWNER IMMEDIATELY OF DISCREPANCIES FOUND ON THE DRAWINGS, IN THE SPECIFICATIONS, OR BETWEEN THE TWO. MINOR DEVIATIONS FROM THE PLANS MAY BE MADE TO AVOID MINOR CONFLICTS. WHERE MAJOR CONFLICTS ARE ENCOUNTERED, THE AFFECTED WORK SHALL NOT BE INSTALLED UNTIL THE CONFLICT HAS BEEN RESOLVED. NEITHER THE A/E NOR THE OWNER SHALL BE RESPONSIBLE FOR CONSEQUENCES OF PROCEEDING WITH WORK BASED ON CONTRACTOR INTERPRETATION OR ON DIRECTION FROM OTHER PARTIES.
- ALL MATERIAL SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS, MAINTAINING ALL REQUIRED CLEARANCES AND WITH ALL COMPONENTS ACCESSIBLE AND SERVICEABLE.
- CONTRACTOR SHALL PROVIDE MATERIAL DATA SUBMITTALS FOR ALL NEW MATERIAL. THE CONTRACTOR SHALL PROVIDE A SUBMITTAL SCHEDULE WITHIN 30 DAYS OF AWARD OF CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSEMBLING OPERATION AND MAINTENANCE MANUALS CONTAINING ALL MATERIAL SUBMITTALS, INSTALLATION AND OPERATING INSTRUCTIONS, AND WARRANTY INFORMATION. THREE (3) HARD COPIES AND TWO (2) ELECTRONIC COPIES IN PDF FORMAT OF O&M MANUALS SHALL BE SUBMITTED TO THE OWNER AT THE TIME OF SUBSTANTIAL COMPLETION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SET OF AS-BUILT DRAWINGS ON SITE WHICH INDICATE IN RED ALL DEVIATIONS FROM ORIGINAL CONSTRUCTION DOCUMENTS, INCLUDING APPROVED CONSTRUCTION CHANGE ORDERS.
- CONTRACTOR SHALL KEEP PUBLIC AREAS FREE OF TRASH AND CONSTRUCTION DEBRIS AND CLEAN ENTIRE WORK AREA ON A DAILY BASIS.
- CONTRACTOR SHALL COORDINATE TEMPORARY AND PERMANENT UTILITY CONNECTIONS WITH VARIOUS UTILITY COMPANIES. OWNER SHALL PAY ANY REQUIRED CONNECTION FEES.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TOILET FACILITY FOR USE BY CONTRACTOR'S PERSONNEL FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE SCOPE OF WORK AND TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE A/E AND THE OWNER FOR CLARIFICATION PRIOR TO BIDDING.
- THE CONTRACTOR IS TYPICALLY PERMITTED TO WORK BETWEEN 7:00 AM AND 6:00 PM MONDAY THRU FRIDAY. WORK OUTSIDE THESE HOURS SHALL BE COORDINATED WITH OWNER'S PROJECT MANAGER DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE ADJACENT FEATURES, ROADWAYS, WALKWAYS, SITE IMPROVEMENTS, EXTERIOR PLANTINGS, LANDSCAPING, ETC. AS REQUIRED FROM DAMAGE AND CORRECT DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL RECYCLE CONSTRUCTION WASTE TO THE GREATEST EXTENT FEASIBLE AND SUBMIT DOCUMENTATION ON RECYCLING EFFORTS. CONTRACTOR SHALL COLLECT DEMOLISHED MATERIALS AND PLACE IN APPROPRIATE DISPOSAL CONTAINERS. DEMOLISHED MATERIALS SHALL BE PROMPTLY REMOVED FROM THE OWNER'S PROPERTY AND DISPOSED OF LEGALLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL PROVIDE PRE-DEMOLITION PHOTOGRAPHIC OR VIDEOGRAPHIC DOCUMENTATION TO SHOW EXISTING CONDITIONS OF FINISHED SURFACES IN WORK AREA AND ADJOINING CONSTRUCTION INCLUDING SITE STORAGE AND ACCESS AREAS A MINIMUM OF 10 WORKING DAYS PRIOR TO COMMENCEMENT OF WORK.
- ANY ROAD/PARKING LOT CLOSURE SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE VIRGINIA WORK AREA PROTECTION MANUAL.
- CONTRACTOR SHALL TRAIN OWNER IN OPERATION OF ALL EQUIPMENT PRIOR TO FINAL COMPLETION.
- DEFINITIONS:
FURNISH: SUPPLY AND DELIVER TO PROJECT SITE FOR INSTALLATION BY OTHERS.
INSTALL: INSTALL ITEMS FURNISHED BY OTHERS, INCLUDING UNLOADING, TEMPORARILY STORING, UNPACKING, AND ASSEMBLY.
PROVIDE: FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.
REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE FOR REUSE, AND REINSTALL WHERE INDICATED.
REMOVE AND SALVAGE: CAREFULLY DETACH FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER.

SUBMITTALS LIST:

- ADMINISTRATIVE**
- SUBMITTAL SCHEDULE
 - WORK SCHEDULE
 - SCHEDULE OF VALUES
 - CONSTRUCTION WASTE RECYCLING DOCUMENTATION
- SITE**
- TOPOGRAPHIC SURVEY DATA
 - GRASS SEED
 - SOIL TEST RESULTS
 - SOIL AMENDMENTS
 - SITE DISTRIBUTION - BOXES AND PIPING MATERIALS
 - PAVEMENT MATERIALS
- BUILDING ARCHITECTURAL AND STRUCTURAL**
- CONCRETE MIX DESIGNS FOR TURNDOWN FLOOR SLAB, SIDEWALKS, AND PATIOS
 - CONCRETE REINFORCING STEEL SHOP DRAWINGS
 - REBAR AND WWF PRODUCT DATA
 - ISOLATION JOINT MATERIAL
 - JOINT FILLER
 - ROUGH CARPENTRY INCLUDING WOOD PRODUCT DATA, WOOD-PRESERVATIVE TREATMENT, AND METAL FRAMING ANCHORS
 - ENGINEERED WOOD FLOORING PRODUCT AND INSTALLATION DATA
 - FLOOR, ROOF, AND WALL SHEATHING
 - BUILDING INSULATION
 - WALL VAPOR BARRIER
 - FLOOR VAPOR BARRIER
 - HURRICANE STRAPS
 - VENTILATION LOUVERS
 - SHINGLE ROOFING SYSTEM
 - GUTTERS AND DOWNSPOUTS
 - DOORS AND WINDOWS
 - DOOR HARDWARE
 - WOOD CABINETS
 - GRANITE COUNTERTOPS
 - CABINET HARDWARE
 - PAINT
 - TERMITE TREATMENT
- MECHANICAL**
- EXHAUST FANS
 - FURNACES WITH SPLIT AIR CONDITIONING
 - THERMOSTATS
 - CONTROL WIRING
 - FLEXIBLE CONNECTORS
 - DUCTWORK
 - AIR DEVICES
 - GAS PIPING
 - DUCT INSULATION
 - DRYER EXHAUST DUCT
- PLUMBING**
- VALVES
 - BACKFLOW PREVENTER
 - EXTERIOR WALL HYDRANT
 - BUILDING PIPING MATERIAL
 - FIXTURES AND FAUCETS
 - FLOOR DRAINS AND CLEANOUTS
 - PRESSURE REDUCING VALVE
 - THERMOSTATIC MIXING VALVE
 - WATER HEATER AND PRESSURE SAFETY VALVE
 - EXPANSION TANK
 - PIPE INSULATION
- ELECTRICAL**
- PANELBOARD
 - CIRCUIT BREAKERS
 - ENCLOSED SWITCHES
 - LUMINAIRES
 - LAMPS
 - DEVICES

DRAWING LIST:

DRAWING NO	TITLE
T1	TITLE SHEET
A1	LOCATION PLAN
A2	FIRST AND SECOND FLOOR PLANS
A3	ELEVATIONS
A4	SECTIONS AND DETAILS
A5	REFLECTED CEILING PLANS
A6	ROOF PLAN
S1	SLAB PLAN
S2	FRAMING PLANS
S3	GENERAL STRUCTURAL NOTES
M1	LEGEND AND SPECIFICATIONS
M2	MECHANICAL PLANS
M3	SCHEDULES
P1	LEGEND, SPECIFICATIONS, SCHEDULES, & DETAILS
P2	SANITARY WASTE AND VENT PLAN
P3	DOMESTIC WATER PLAN
P4	SANITARY WASTE & VENT AND DOMESTIC WATER RISER
E1	LEGEND AND SPECIFICATIONS
E2	LIGHTING PLANS
E3	POWER PLANS

GENERAL INFORMATION:

PROJECT INFORMATION:	
OWNER:	CITY OF CHARLOTTESVILLE
PROJECT TITLE:	SINGLE FAMILY RESIDENCE
ADDRESS:	210 8TH STREET NW, CHARLOTTESVILLE, VIRGINIA 22903
APPLICABLE CODES: BUILDING CODES	2009 VIRGINIA UNIFORM STATEWIDE BUILDING CODE - VUSBC (EFFECTIVE MARCH 1, 2011) INTERNATIONAL BUILDING CODE - IBC (2009) INTERNATIONAL MECHANICAL CODE - IMC (2009) INTERNATIONAL PLUMBING CODE - IPC (2009) NATIONAL ELECTRICAL CODE - NFPA-70 (2008) NATIONAL FIRE ALARM CODE - NFPA-72 (2007) INTERNATIONAL RESIDENTIAL BUILDING CODE (2009)
ACCESSIBILITY STANDARDS:	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - DEPARTMENT OF JUSTICE (SEPTEMBER 15, 2010)
OTHER:	ENERGY STAR NEW HOME STANDARDS BRONZE LEVEL UNIVERSAL DESIGN STANDARDS CITY OF CHARLOTTESVILLE RESIDENTIAL DESIGN STANDARDS

ALLOWANCES (SEE DRAWINGS FOR ADDITIONAL INFORMATION):

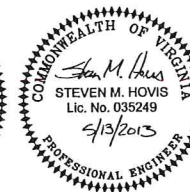
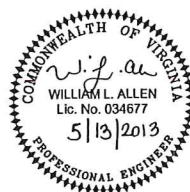
- LANDSCAPING - \$5,000
- DOWNSPOUT DRAIN COLLECTION - \$2,000
- CABINETS AND COUNTERTOPS - \$8,000
- CARPET AND PAD - \$2,400
- ENGINEERED WOOD FLOORING - \$5,400
- CERAMIC TILE WAINSCOT, FLOORING, SHOWER/TUB WALLS, AND KITCHEN BACKSPLASH - \$4,200

*- Review for compatibility w/ neighborhood
- Realize that there are no design criteria
for this location*

VIRGINIA A&E, PLLC
1115 VISTA PARK DRIVE
FOREST, VA 24551
PHONE: (434) 316-6001



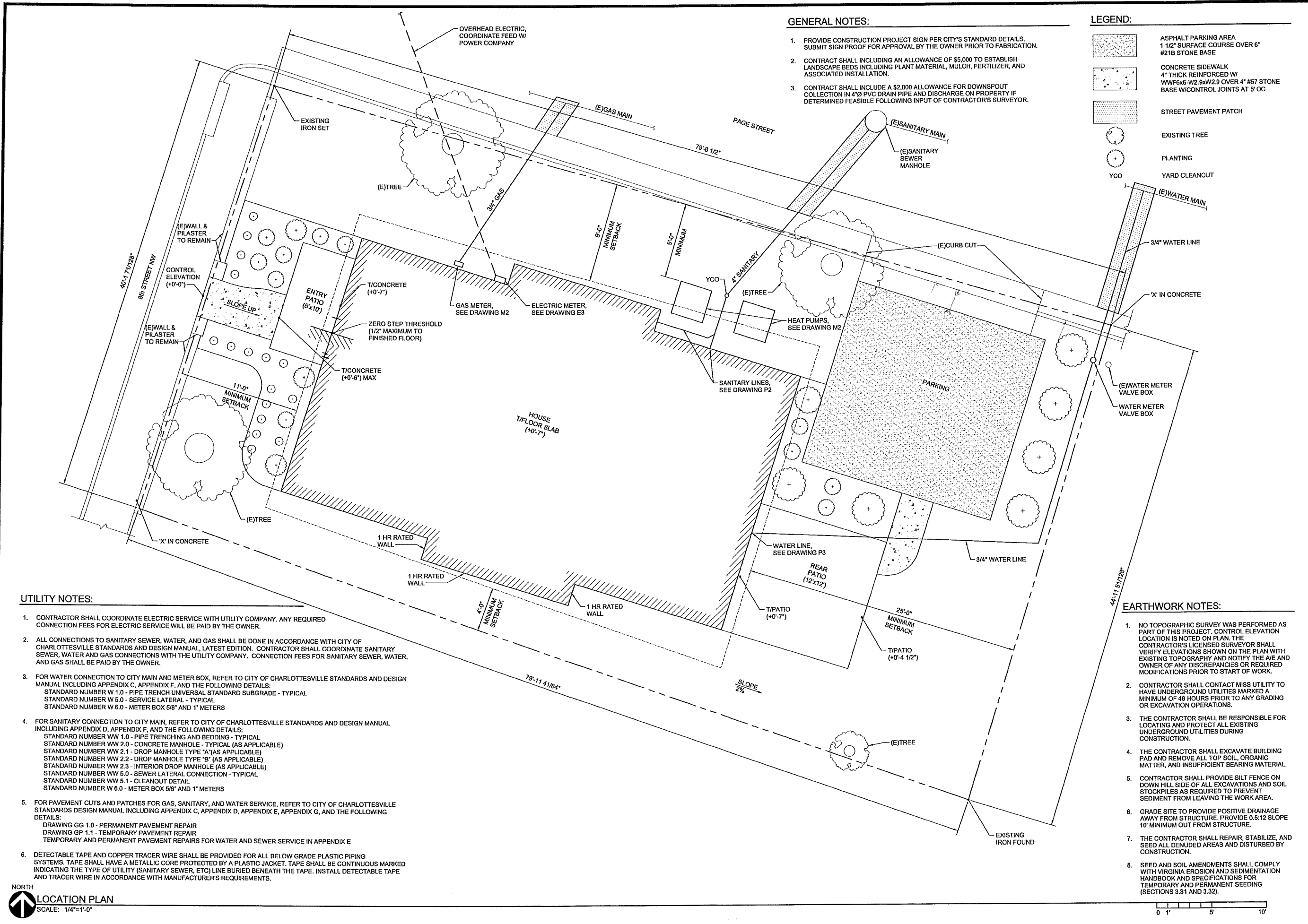
VAE PROJECT NO: 12110



Job No.: 12110

Drawing No.:

T1



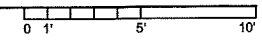
- GENERAL NOTES:**
1. PROVIDE CONSTRUCTION PROJECT SIGN PER CITY'S STANDARD DETAILS. SUBMIT SIGN PROOF FOR APPROVAL BY THE OWNER PRIOR TO FABRICATION.
 2. CONTRACT SHALL INCLUDING AN ALLOWANCE OF \$5,000 TO ESTABLISH LANDSCAPE BEDS INCLUDING PLANT MATERIAL, MULCH, FERTILIZER, AND ASSOCIATED INSTALLATION.
 3. CONTRACT SHALL INCLUDE A \$2,000 ALLOWANCE FOR DOWNSPOUT COLLECTION IN 4" PVC DRAIN PIPE AND DISCHARGE ON PROPERTY IF DETERMINED FEASIBLE FOLLOWING INPUT OF CONTRACTOR'S SURVEYOR.

- LEGEND:**
- ASPHALT PARKING AREA
1 1/2" SURFACE COURSE OVER 6" #21B STONE BASE
 - CONCRETE SIDEWALK
4" THICK REINFORCED W/ WWF6x6-W2.9xW2.9 OVER 4" #57 STONE BASE W/CONTROL JOINTS AT 5' OC
 - STREET PAVEMENT PATCH
 - EXISTING TREE
 - PLANTING
 - YCO
YARD CLEANOUT

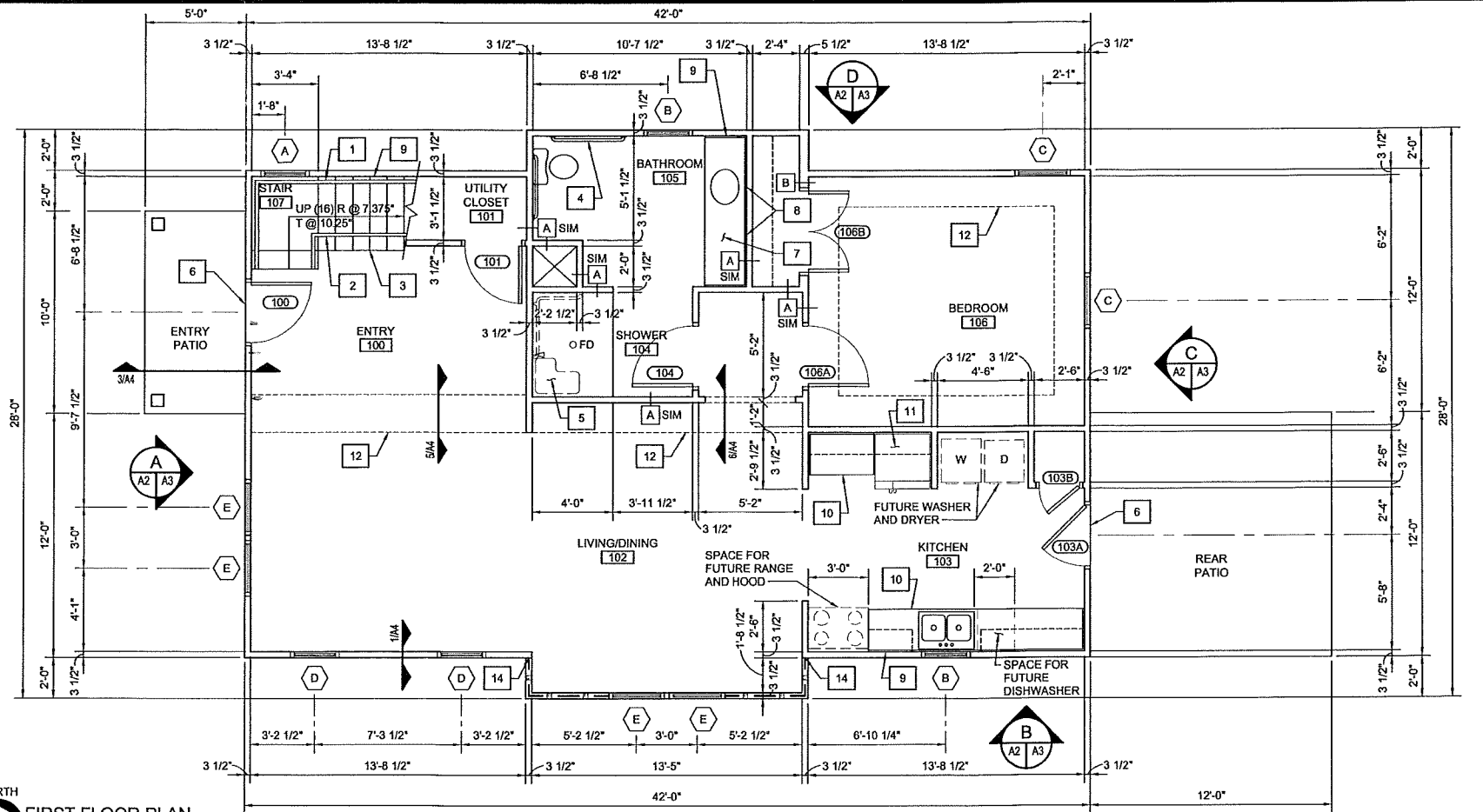
- UTILITY NOTES:**
1. CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE WITH UTILITY COMPANY. ANY REQUIRED CONNECTION FEES FOR ELECTRIC SERVICE WILL BE PAID BY THE OWNER.
 2. ALL CONNECTIONS TO SANITARY SEWER, WATER, AND GAS SHALL BE DONE IN ACCORDANCE WITH CITY OF CHARLOTTESVILLE STANDARDS AND DESIGN MANUAL, LATEST EDITION. CONTRACTOR SHALL COORDINATE SANITARY SEWER, WATER AND GAS CONNECTIONS WITH THE UTILITY COMPANY. CONNECTION FEES FOR SANITARY SEWER, WATER, AND GAS SHALL BE PAID BY THE OWNER.
 3. FOR WATER CONNECTION TO CITY MAIN AND METER BOX, REFER TO CITY OF CHARLOTTESVILLE STANDARDS AND DESIGN MANUAL INCLUDING APPENDIX C, APPENDIX F, AND THE FOLLOWING DETAILS:
STANDARD NUMBER W 1.0 - PIPE TRENCH UNIVERSAL STANDARD SUBGRADE - TYPICAL
STANDARD NUMBER W 5.0 - SERVICE LATERAL - TYPICAL
STANDARD NUMBER W 6.0 - METER BOX 5/8" AND 1" METERS
 4. FOR SANITARY CONNECTION TO CITY MAIN, REFER TO CITY OF CHARLOTTESVILLE STANDARDS AND DESIGN MANUAL INCLUDING APPENDIX D, APPENDIX F, AND THE FOLLOWING DETAILS:
STANDARD NUMBER WW 1.0 - PIPE TRENCHING AND BEDDING - TYPICAL
STANDARD NUMBER WW 2.0 - CONCRETE MANHOLE - TYPICAL (AS APPLICABLE)
STANDARD NUMBER WW 2.1 - DROP MANHOLE TYPE "A" (AS APPLICABLE)
STANDARD NUMBER WW 2.2 - DROP MANHOLE TYPE "B" (AS APPLICABLE)
STANDARD NUMBER WW 2.3 - INTERIOR DROP MANHOLE (AS APPLICABLE)
STANDARD NUMBER WW 5.0 - SEWER LATERAL CONNECTION - TYPICAL
STANDARD NUMBER WW 5.1 - CLEANOUT DETAIL
STANDARD NUMBER W 6.0 - METER BOX 5/8" AND 1" METERS
 5. FOR PAVEMENT CUTS AND PATCHES FOR GAS, SANITARY, AND WATER SERVICE, REFER TO CITY OF CHARLOTTESVILLE STANDARDS DESIGN MANUAL INCLUDING APPENDIX C, APPENDIX D, APPENDIX E, APPENDIX G, AND THE FOLLOWING DETAILS:
DRAWING GG 1.0 - PERMANENT PAVEMENT REPAIR
DRAWING GP 1.1 - TEMPORARY PAVEMENT REPAIR
TEMPORARY AND PERMANENT PAVEMENT REPAIRS FOR WATER AND SEWER SERVICE IN APPENDIX E
 6. DETECTABLE TAPE AND COPPER TRACER WIRE SHALL BE PROVIDED FOR ALL BELOW GRADE PLASTIC PIPING SYSTEMS. TAPE SHALL HAVE A METALLIC CORE PROTECTED BY A PLASTIC JACKET. TAPE SHALL BE CONTINUOUS MARKED INDICATING THE TYPE OF UTILITY (SANITARY SEWER, ETC) LINE BURIED BENEATH THE TAPE. INSTALL DETECTABLE TAPE AND TRACER WIRE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

- EARTHWORK NOTES:**
1. NO TOPOGRAPHIC SURVEY WAS PERFORMED AS PART OF THIS PROJECT. CONTROL ELEVATION LOCATION IS NOTED ON PLAN. THE CONTRACTOR'S LICENSED SURVEYOR SHALL VERIFY ELEVATIONS SHOWN ON THE PLAN WITH EXISTING TOPOGRAPHY AND NOTIFY THE A/E AND OWNER OF ANY DISCREPANCIES OR REQUIRED MODIFICATIONS PRIOR TO START OF WORK.
 2. CONTRACTOR SHALL CONTACT MISS UTILITY TO HAVE UNDERGROUND UTILITIES MARKED A MINIMUM OF 48 HOURS PRIOR TO ANY GRADING OR EXCAVATION OPERATIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECT ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
 4. THE CONTRACTOR SHALL EXCAVATE BUILDING PAD AND REMOVE ALL TOP SOIL, ORGANIC MATTER, AND INSUFFICIENT BEARING MATERIAL.
 5. CONTRACTOR SHALL PROVIDE SILT FENCE ON DOWN HILL SIDE OF ALL EXCAVATIONS AND SOIL STOCKPILES AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE WORK AREA.
 6. GRADE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE. PROVIDE 0.5:12 SLOPE 10' MINIMUM OUT FROM STRUCTURE.
 7. THE CONTRACTOR SHALL REPAIR, STABILIZE, AND SEED ALL DENUDED AREAS AND DISTURBED BY CONSTRUCTION.
 8. SEED AND SOIL AMENDMENTS SHALL COMPLY WITH VIRGINIA EROSION AND SEDIMENTATION HANDBOOK AND SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING (SECTIONS 3.31 AND 3.32).

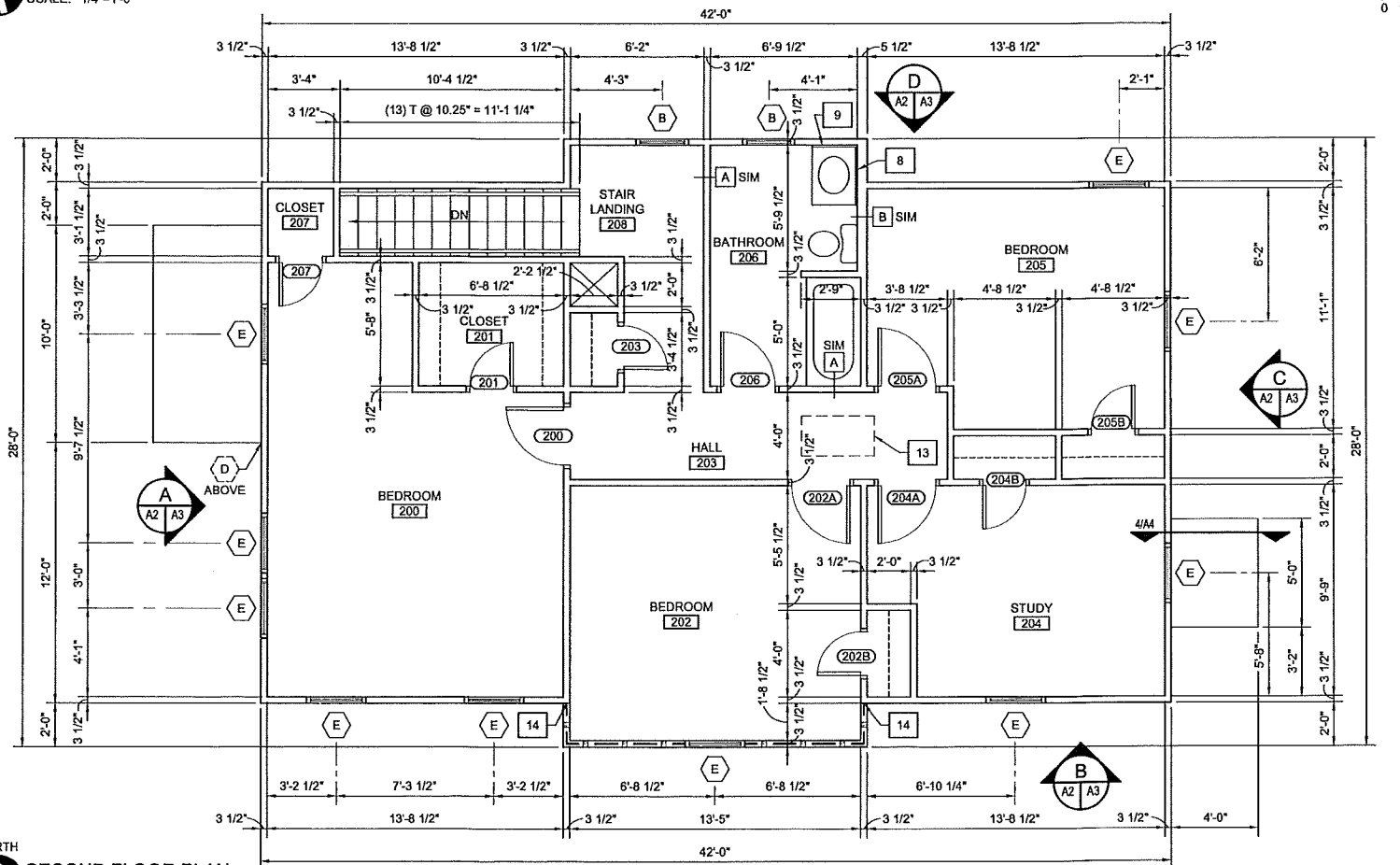
LOCATION PLAN
SCALE: 1/4"=1'-0"



DATE	
REVISIONS	
BY	
NO.	
CITY OF CHARLOTTESVILLE SINGLE FAMILY RESIDENCE	
CHARLOTTESVILLE, VIRGINIA	
LOCATION PLAN	
DATE:	13 MAY 13
PROJECT NO.:	13110
Full Scale Verification 	
A1	



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

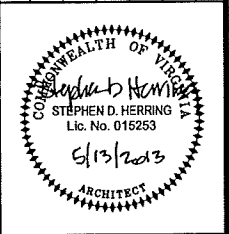
GENERAL NOTES:

1. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES.
2. REFER TO DRAWING A5 FOR FINISH AND DOOR SCHEDULES.
3. ALL INTERIOR WALLS ARE 2x4 WOOD STUDS AT 16" ON CENTER WITH 5/8" GYPSUM BOARD SMOOTH FINISH UNLESS INDICATED OTHERWISE.
4. ALL CEILINGS ARE 5/8" GYPSUM BOARD WITH SMOOTH FINISH.
5. PROVIDE FLOORING, BASE, AND FLOORING TRANSITIONS PER FINISH SCHEDULE.
6. PROVIDE WOOD PANEL DOORS IN WOOD FRAMES. REFER TO DOOR SCHEDULE.
7. PROVIDE VINYL- OR ALUMINUM-CLAD WINDOWS. REFER TO WINDOW SCHEDULE FOR BASIS OF DESIGN.
8. PROVIDE PAINT OR FINISH COATING ON ALL WALLS, DOORS, FRAMES, AND ANY OTHER UNFINISHED SURFACE.
9. PROVIDE LADDER BLOCKING AT INTERSECTION OF INTERIOR WALLS WITH EXTERIOR WALLS TO ALLOW FULL DEPTH INSULATION IN EXTERIOR WALL.

XX CONSTRUCTION NOTES:

1. PROVIDE 2" OUTSIDE DIAMETER STAINED SOLID WOOD HANDRAIL WITH TOP AT 38" ABOVE NOSING ON BOTH SIDES OF STAIR.
2. PROVIDE (3) 5/4 x 5/4 PAINTED WOOD BALUSTERS DOWELLED INTO EACH TREAD ON EXPOSED SIDE OF STAIR. INSTALL ALL BALUSTERS AT EQUAL SPACING.
3. PROVIDE 5/4 STAINED WOOD TREAD WITH 1-1/2" OVERHANG AT RISER AND SIDE WALL. PROVIDE 3/4" x 3/4" STAINED COVE TRIM BELOW TREAD OVERHANG.
4. PROVIDE GRAB BARS TO COMPLY WITH ADA REQUIREMENTS. PROVIDE (1) 36" AND (1) 42" BAR MOUNTED HORIZONTALLY WITH CENTER AT 34" ABOVE FLOOR. PROVIDE (1) 18" BAR MOUNTED VERTICALLY WITH BOTTOM PLATE CENTER AT 40" ABOVE FLOOR.
5. PROVIDE CONTINUOUS BLOCKING IN (3) WALLS TO ACCOMMODATE FUTURE SHOWER SEAT AND GRAB BARS.
6. PROVIDE MAXIMUM 1/2" RISE AT DOOR THRESHOLDS.
7. PROVIDE CABINET AND COUNTERTOP WITH 30" WIDE ADA COMPLIANT CLEAR KNEE SPACE CENTERED ON LAVATORY. PROVIDE 15" WIDE BASE CABINET WITH (3) DRAWERS ON EACH SIDE OF LAVATORY AND (1) BASE CABINET WITH DOORS ON RIGHT END OF CABINET. FINISHED TOP SURFACE OF COUNTERTOP TO BE 34" ABOVE FINISHED FLOOR. PROVIDE HOT WATER PIPE PROTECTION BELOW COUNTERTOP.
8. PROVIDE 24" WIDE BY 36" HIGH MIRRORS WITH ONE CENTERED ON LAVATORY. INSTALL WITH BOTTOM OF REFLECTING SURFACE 40" ABOVE FLOOR. PROVIDE (2) MIRRORS IN BATHROOM 105 AND (1) MIRROR IN BATHROOM 206.
9. PROVIDE FINISHED GYPSUM WALL BOARD BELOW STAIR AND CONTINUOUS BEHIND CABINETS TO ACHIEVE ENERGY STAR AIR BARRIER REQUIREMENTS.
10. PROVIDE KITCHEN BASE AND WALL CABINETS. REFER TO FINISH SCHEDULE. FINISHED TOP SURFACE OF COUNTERTOP TO BE 34" ABOVE FINISHED FLOOR.
11. PROVIDE ADA-COMPLIANT KITCHEN APPLIANCES AS FOLLOWS:
 - REFRIGERATOR - GE ENERGY STAR MODEL GSHS3KGZSS
 - COUNTERTOP MICROWAVE - GE MODEL JEB1860SMSS
12. PROVIDE SOFFIT FOR MECHANICAL DUCT CHASE. REFER TO SECTIONS ON DRAWING A4.
13. PROVIDE PULL DOWN FOLDING ACCESS STAIR, FULLY GASKETED AND INSULATED WITH R-10 MINIMUM COVER.
14. LIMIT OF ONE HOUR RATED WALL FROM TOP OF SLAB TO ROOF.

NO.	BY	REVISIONS	DATE



Virginia A & E
VIRGINIA A&E, PLLC
1115 VISTA PARK DRIVE
FOREST, VIRGINIA 24651
PHONE: (434) 316-6001

**CITY OF CHARLOTTESVILLE
SINGLE FAMILY RESIDENCE**
CHARLOTTESVILLE, VIRGINIA

**FIRST AND SECOND
FLOOR PLANS**
PROJECT NO.: 12110
DATE: 13 MAY 13

Full Scale Verification
0" 1"
Drawing No.: **A2**

XX CONSTRUCTION NOTES:

1. VINYL OR ALUMINUM CLAD WINDOW, TYPICAL. REFER TO WINDOW SCHEDULE.
2. 1x4 NOMINAL WOOD COMPOSITE DOOR & WINDOW TRIM WITH HEAD DRIP AT FIRST FLOOR.
3. RIDGE VENT WITH SHINGLE COVER.
4. FIBERGLASS REINFORCED ASPHALT SHINGLES, 235 LBS/SQUARE MINIMUM, 40-YEAR WARRANTY, ASTM D3018 TYPE 1, CLASS A.
5. 5" K-STYLE ALUMINUM GUTTER.
6. FIBER-CEMENT LAP SIDING W/6" EXPOSURE.
7. 1x4 WOOD COMPOSITE CORNER BOARD.
8. 3"x4" ALUMINUM DOWNSPOUT. TERMINATE ON 36" LONG CONCRETE SPLASHBLOCK AND POSITIVELY DRAIN AWAY FROM BUILDING.
9. PROVIDE SIDEWALL FLASHING BEHIND SIDING AND BELOW SHINGLES. PROVIDE 1-1/2" CLEAR BETWEEN TOP OF ROOFING AND BOTTOM OF SIDING.
10. 5/4 CONTINUOUS TRIM BOARD, FORMS WINDOW HEAD TRIM.
11. PERIMETER SLAB INSULATION. REFER TO SECTION 1 ON DRAWING A4.



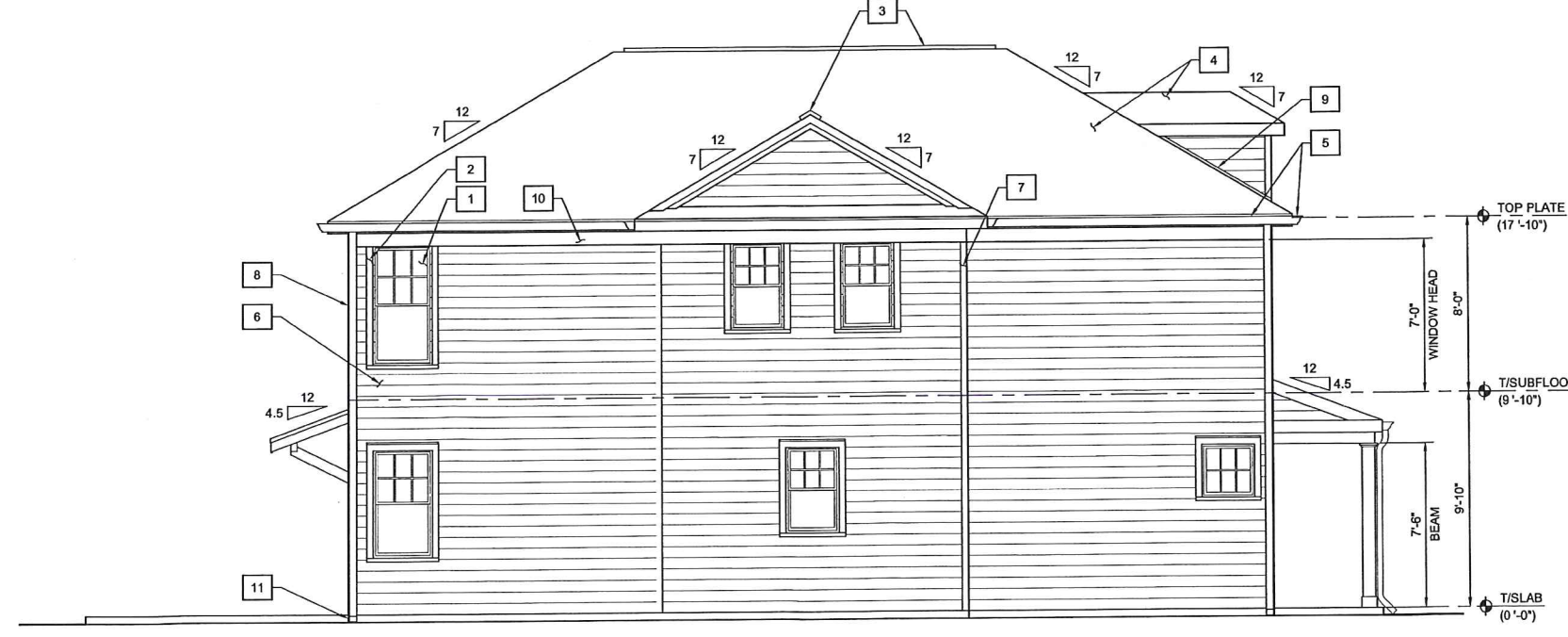
A FRONT ELEVATION
SCALE: 1/4"=1'-0"



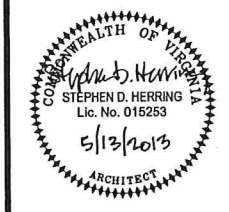
B SIDE ELEVATION
SCALE: 1/4"=1'-0"



C REAR ELEVATION
SCALE: 1/4"=1'-0"



D SIDE ELEVATION
SCALE: 1/4"=1'-0"



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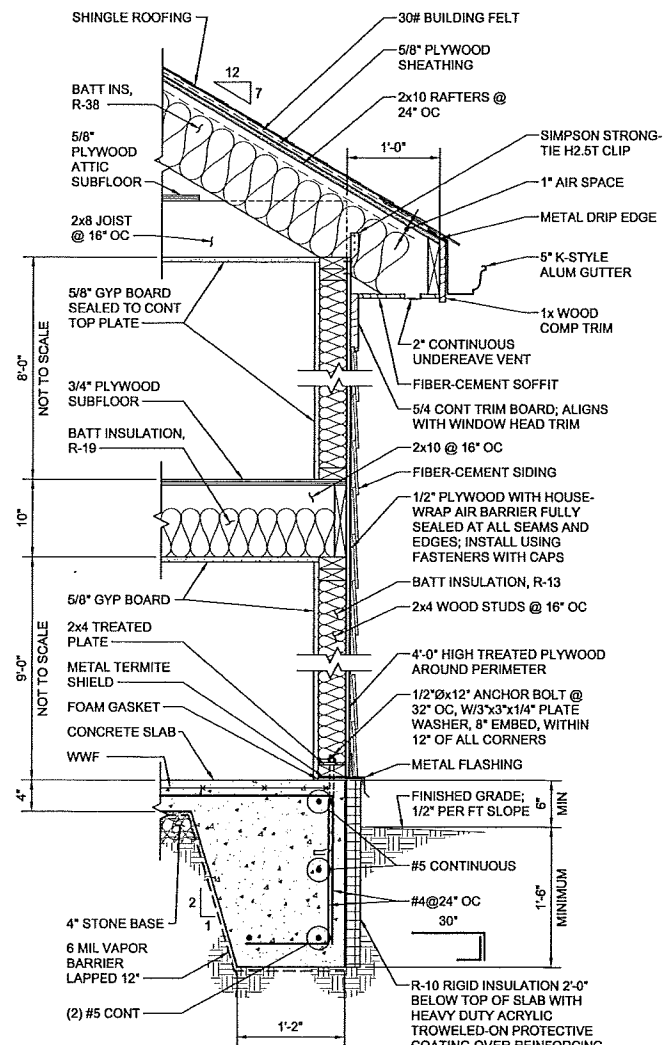
CITY OF CHARLOTTESVILLE
 SINGLE FAMILY RESIDENCE
 CHARLOTTESVILLE, VIRGINIA

ELEVATIONS
 PROJECT NO: 12116
 DATE: 13 MAY 13

Full Scale Verification
 0" 1"

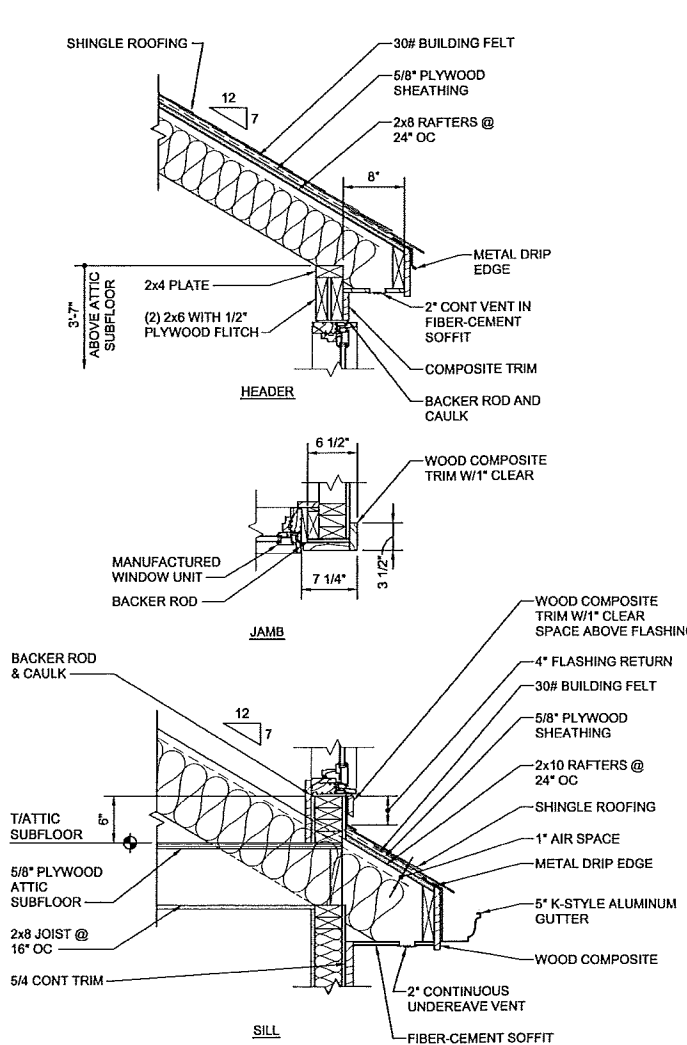
Drawing No: **A3**

NO.	BY	REVISIONS	DATE

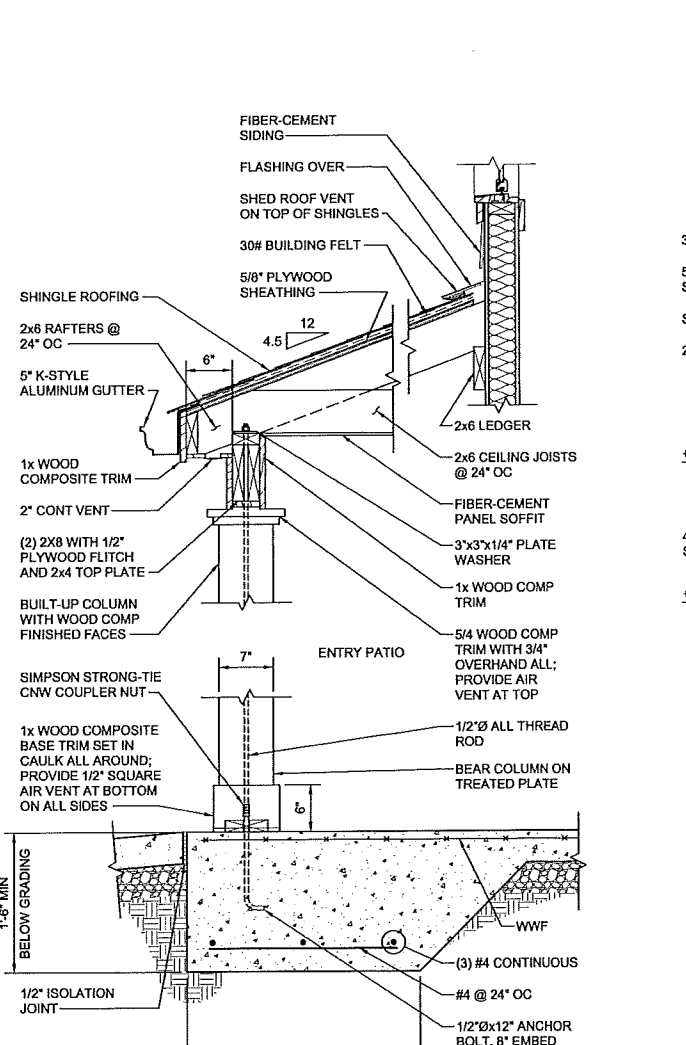


NOTE:
1. WHERE BEAMS ARE TO BE SUPPORTED PER STRUCTURAL DRAWING S2 PROVIDE SUITABLE SUPPORT FOR REACTIONS NOTED.

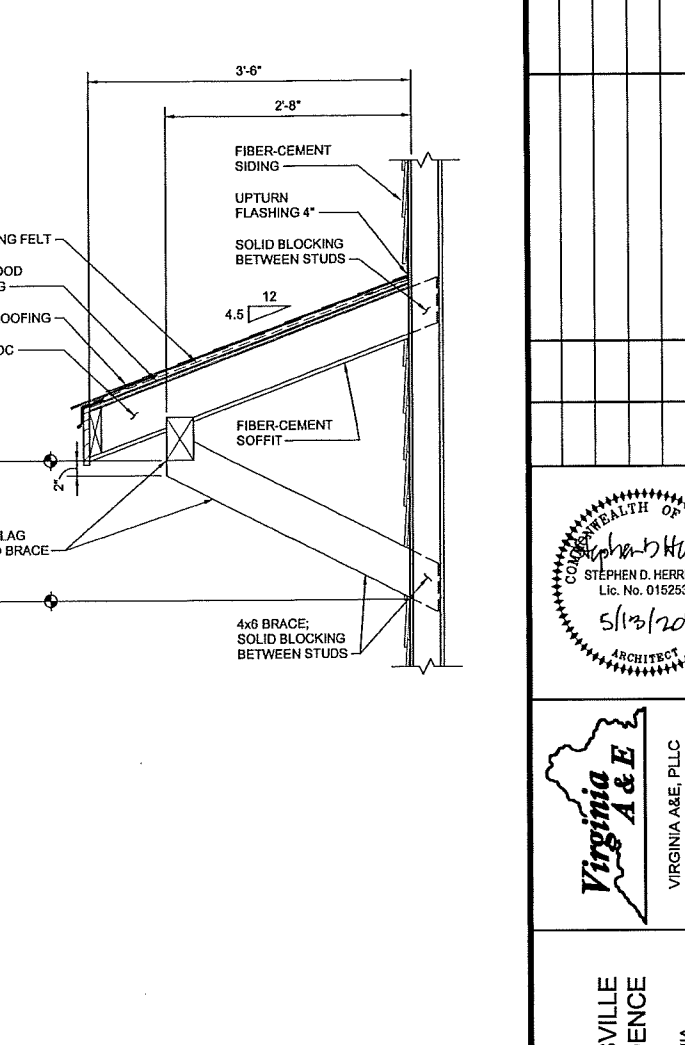
1 TYPICAL WALL SECTION
SCALE: 1"=1'-0"



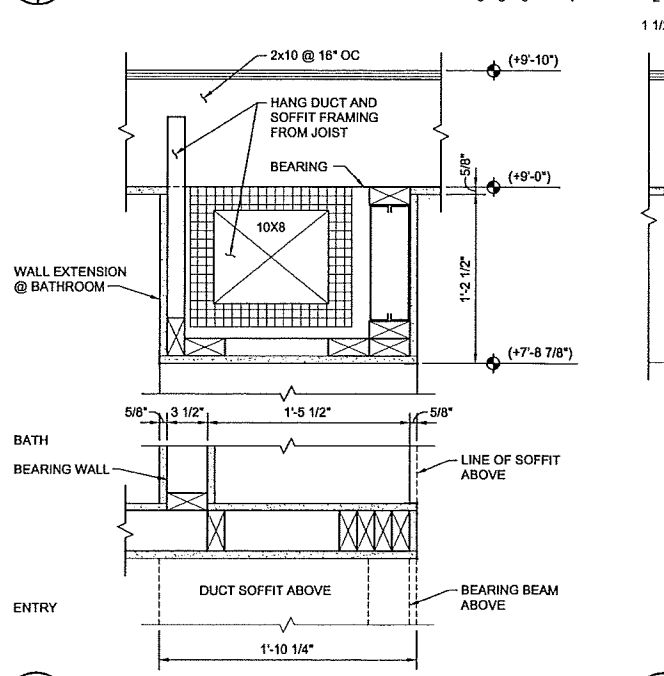
2 SECTION @ ATTIC DORMER
SCALE: 1"=1'-0"



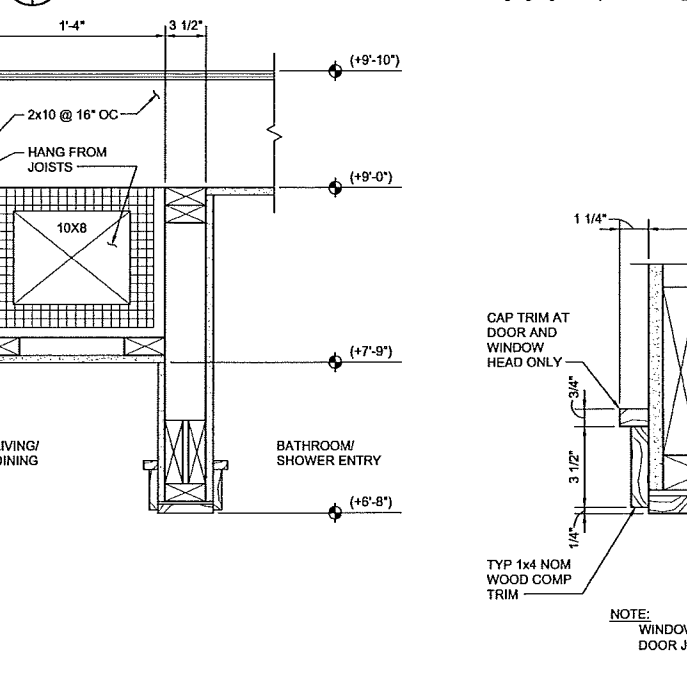
3 SECTION
SCALE: 1"=1'-0"



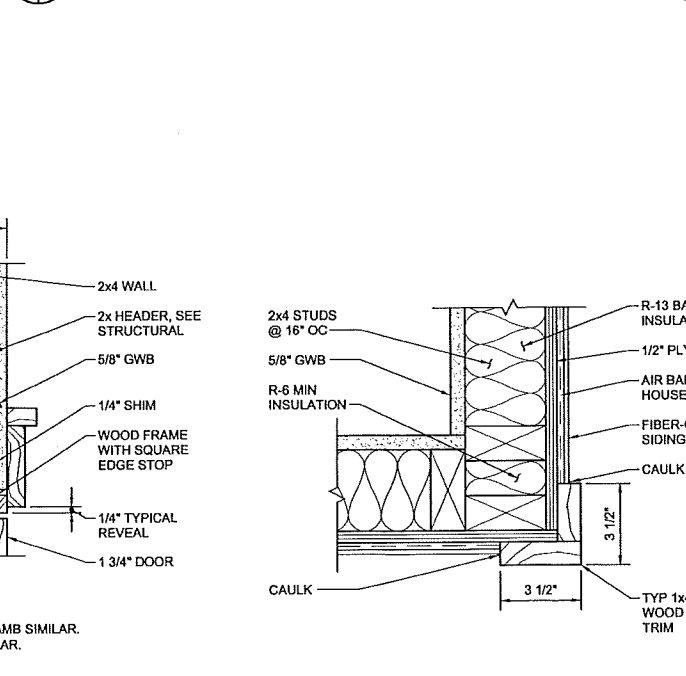
4 SECTION
SCALE: 1"=1'-0"



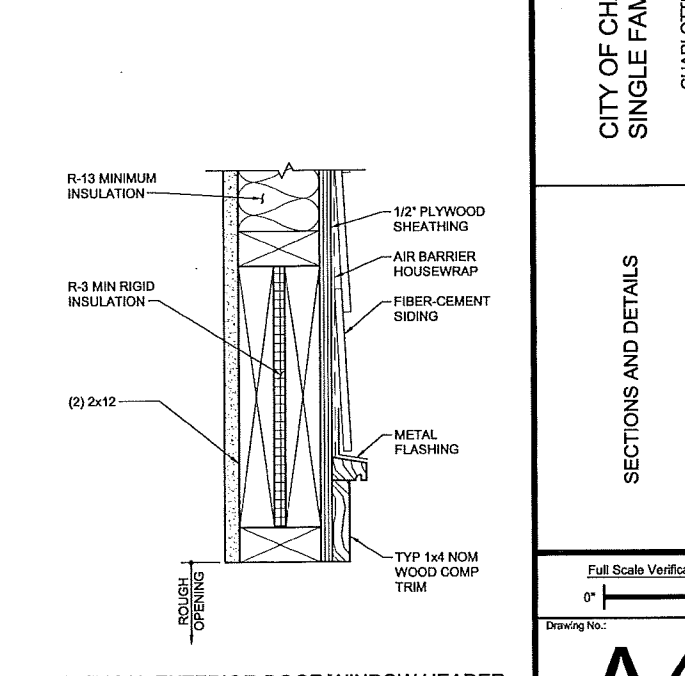
5 SECTION
SCALE: 1 1/2"=1'-0"



6 SECTION
SCALE: 1 1/2"=1'-0"

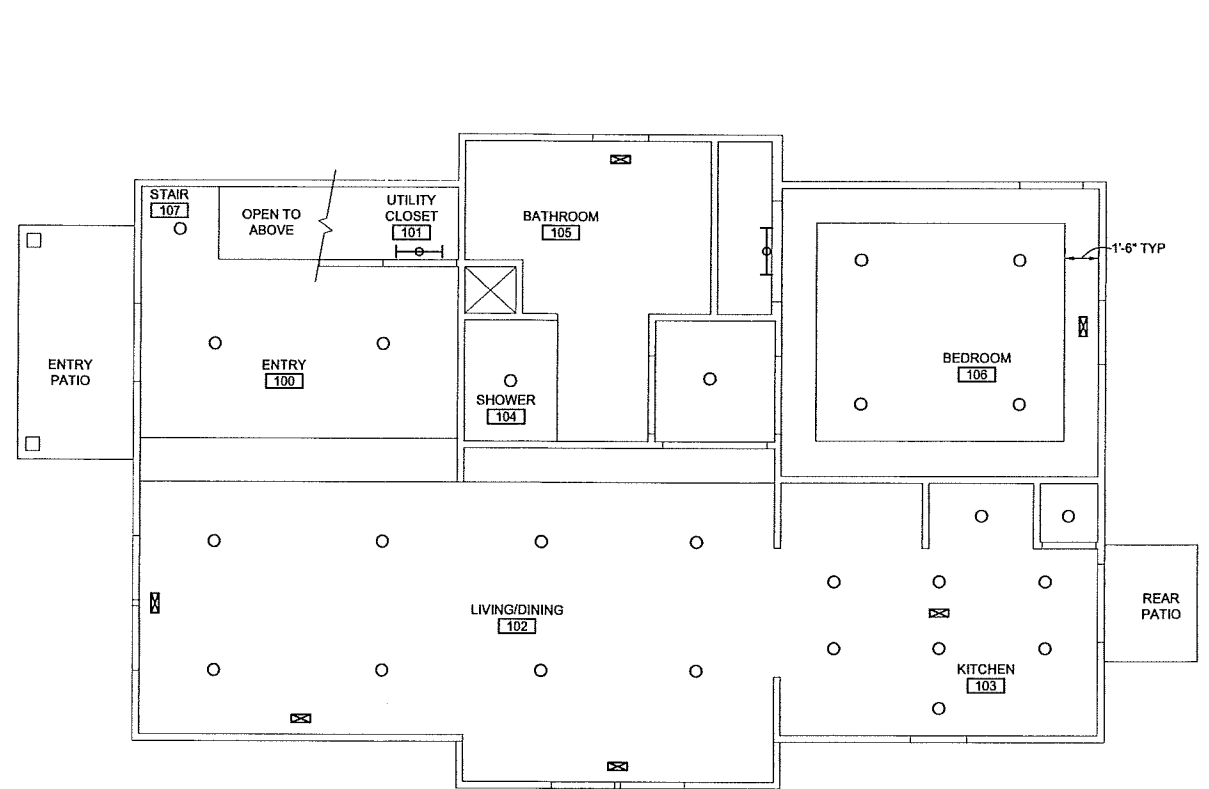


TYPICAL INTERIOR DOOR HEAD DETAILS
SCALE: 3"=1'-0"

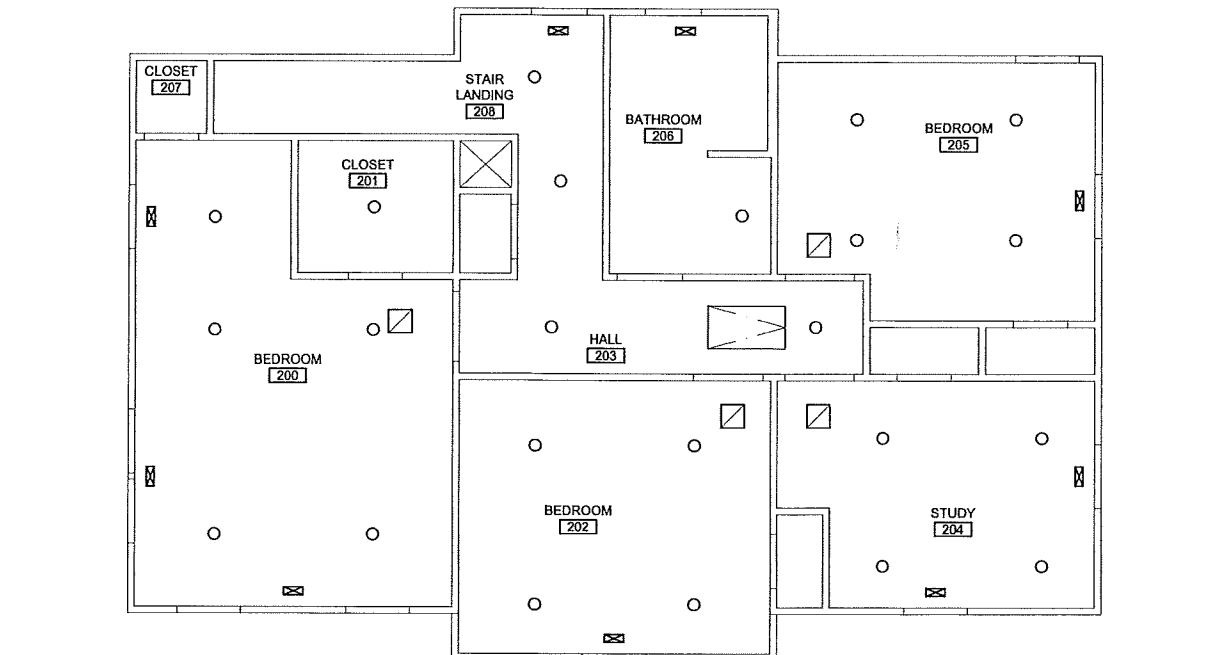


TYPICAL OUTSIDE CORNER BOARD
SCALE: 3"=1'-0"

DATE	
REVISIONS	
BY	
NO.	
CITY OF CHARLOTTEVILLE SINGLE FAMILY RESIDENCE CHARLOTTEVILLE, VIRGINIA	
SECTIONS AND DETAILS	
PROJECT NO.	12110
DATE:	13 MAY 13
Full Scale Verification 	
A4	



NORTH
FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"



NORTH
SECOND REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

LEGEND:

- RECESSED DOWNLIGHT
- ⊗ JUNCTION BOX
- ▭ SUPPLY AIR DIFFUSER
- ▭ RETURN GRILLE
- ▭ PULL DOWN FOLDING ACCESS STAIR

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING		NOTES
					MATERIAL	HEIGHT	
100	ENTRY	WOOD	1 X 6 NOM.	GWB	GWB, PNTD	9'-0"	-
101	UTILITY CLOSET	WOOD	1 X 4 NOM.	GWB	GWB, PNTD	9'-0"	-
102	LIVING / DINING	WOOD	1 X 6 NOM.	GWB	GWB, PNTD	9'-0"	9
103	KITCHEN	WOOD	1 X 6 NOM.	GWB	GWB, PNTD	9'-0"	6
104	SHOWER	CERAMIC TILE	CERAMIC TILE	CER. TILE	GWB, PNTD	9'-0"	2, 3, 7
105	BATHROOM	CERAMIC TILE	CERAMIC TILE	GWB, CER. TILE	GWB, PNTD	9'-0"	2, 6
106	BEDROOM	WOOD	1 X 6 NOM.	GWB	GWB, PNTD	9'-0"	1
107	STAIR	WOOD	1 X 6 NOM.	GWB	GWB, PNTD	VARIES	5
200	BEDROOM	CARPET	1 X 6 NOM.	GWB	GWB, PNTD	8'-0"	-
201	CLOSET	CARPET	1 X 4 NOM.	GWB	GWB, PNTD	VARIES	-
202	BEDROOM	CARPET	1 X 6 NOM.	GWB	GWB, PNTD	8'-0"	9
203	HALL	CARPET	1 X 6 NOM.	GWB	GWB, PNTD	8'-0"	-
204	STUDY	CARPET	1 X 6 NOM.	GWB	GWB, PNTD	8'-0"	-
205	BEDROOM	CARPET	1 X 6 NOM.	GWB	GWB, PNTD	8'-0"	-
206	BATHROOM	CERAMIC TILE	CERAMIC TILE	GWB, CER. TILE	GWB, PNTD	8'-0"	2, 4, 6
207	CLOSET	CARPET	1 X 4 NOM.	GWB	GWB, PNTD	8'-0"	-
208	STAIR LANDING	CARPET	1 X 6 NOM.	GWB	GWB, PNTD	8'-0"	8

GENERAL NOTES:

- ANY SURFACE FINISH NOT CLEARLY DEFINED IN THE SCHEDULE SHALL BE FINISHED IN THE SAME MATERIALS AND MANNER AS SURFACES OF SIMILAR USE.
- PAINTING, FLOORING AND OTHER FINISHES SHALL EXTEND COMPLETELY OVER, UNDER, AND BEHIND ANY EQUIPMENT.
- WALLS SHALL HAVE LATEX PRIMER AND TWO (2) COATS OF LATEX PAINT ON GYPSUM BOARD.
- ALL PAINT PRIMER AND FINISH COATS SHALL BE COMPATIBLE AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- FOR INTERIOR PAINTING, PROVIDE (1) TRIM COLOR, AND UP TO (3) WALL COLORS.
- ALL GWB SHALL RECEIVE A LEVEL 5 FINISH, PAINTED.
- ALL TRIM SHALL BE WOOD COMPOSITE, PAINTED.
- PROVIDE 3/4" QUARTER ROUND TRIM AT WOOD COMPOSITE BASE.
- FOR PORCELAIN WALL AND FLOOR TILE, PROVIDE UP TO (2) COLORS FOR TILE AND UP TO (3) COLORS FOR GROUT.
- PROVIDE TRANSITION BETWEEN DIFFERING FLOOR FINISHES. PROVIDE MARBLE THRESHOLD TO OCCUR BETWEEN TILE AND WOOD AND BETWEEN TILE AND CARPET. LINE OF FLOORING TRANSITION TO OCCUR UNDER CENTERLINE OF CLOSED DOOR. TRANSITIONS TO BE ADA-COMPLIANT.
- WOOD FLOORING SHALL BE ENGINEERED HARDWOOD ON 6-MIL POLY AND FOAM PAD. CONCRETE SLAB SHALL BE FULLY CURED AND TESTED FOR NO GREATER THAN 3LBS. PER 1000 SF MOISTURE CONTENT.
- CARPET SHALL BE COMMERCIAL GRADE GLUE DOWN. COLOR AND PATTERN SHALL BE APPROVED BY THE OWNER.
- PROVIDE CERAMIC TILE WALL FINISH IN KITCHEN BETWEEN BACKSPLASH AND WALL CABINETS.
- WALL TILE SHALL BE INSTALLED ON BOND COAT ON CEMENT BACKER BOARD, SIMILAR TO TCNA W244C-12.
- FLOOR TILE OVER WOOD FRAMING SHALL BE NON-SLIP ON CEMENT BACKER BOARD, SIMILAR TO TCNA F144-12.
- PROVIDE TILE AND GROUT COLORS, PATTERN, AND PRODUCT DATA FOR OWNER APPROVAL.
- FLOOR TILE OVER CONCRETE SHALL BE NON-SLIP ON EPOXY GROUT, SIMILAR TO TCNA F115-12.

NOTES:

- GWB SOFFIT AROUND ROOM PERIMETER.
- 3'-8" HIGH CERAMIC TILE WAJNSCOT ON ALL WALLS.
- CERAMIC TILE TO CEILING ON THREE WALLS IN SHOWER AREA.
- CERAMIC TILE TO CEILING IN TUB AREA.
- STAINED WOOD TREADS AND PAINTED WOOD RISERS.
- PROVIDE 4" HIGH BACKSPLASH TO MATCH COUNTERTOP. PROVIDE BACKSPLASH ON ALL WALLS ADJOINING COUNTERTOP.
- SLOPE FLOOR TO DRAIN.
- PROVIDE WOOD NOSING / CARPET TRANSITION TO MATCH TYPICAL TREAD WIDTH.
- ALL WALLS, INCLUDING GABLES, LESS THAN 5'-0" FROM PROPERTY LINE SHALL HAVE 5/8" TYPE X GYPSUM BOARD PANELS ON INTERIOR AND 5/8" TYPE X EXTERIOR GYPSUM SHEATHING FOR 1-HOUR RATING PER UL DESIGN U305.

DOOR NUMBER	DOOR TYPE	SIZE			FRAME			NOTES	HARDWARE SET
		WIDTH	HEIGHT	THICKNESS	TYPE	DEPTH	JAMB COND		
100	B	3'-0"	6'-8"	1 3/4"	WOOD	4 3/4"		1	A
101	A	2'-10"	6'-0"	1 3/4"	WOOD	4 3/4"		2	B
103A	C	3'-0"	6'-8"	1 3/4"	WOOD	4 3/4"		1	A
103B	A	2'-0"	6'-8"	1 3/4"	WOOD	4 3/4"			B
104	A	3'-0"	6'-8"	1 3/4"	WOOD	4 3/4"		1	C
106A	A	3'-0"	6'-8"	1 3/4"	WOOD	4 3/4"			D
106B	A	(2) 2'-0"	6'-8"	1 3/4"	WOOD	6 3/4"			D
200	A	2'-8"	6'-8"	1 3/4"	WOOD	4 3/4"			C
201	A	2'-0"	6'-8"	1 3/4"	WOOD	4 3/4"			B
202A	A	2'-8"	6'-8"	1 3/4"	WOOD	4 3/4"			C
202B	A	2'-0"	6'-8"	1 3/4"	WOOD	4 3/4"			B
203	A	2'-0"	6'-8"	1 3/4"	WOOD	4 3/4"			B
204A	A	2'-8"	6'-8"	1 3/4"	WOOD	4 3/4"			C
204B	A	2'-0"	6'-8"	1 3/4"	WOOD	4 3/4"			B
205A	A	2'-8"	6'-8"	1 3/4"	WOOD	4 3/4"			C
205B	A	2'-0"	6'-8"	1 3/4"	WOOD	4 3/4"			B
206	A	2'-6"	6'-8"	1 3/4"	WOOD	4 3/4"		1	C
207	A	2'-0"	6'-8"	1 3/4"	WOOD	4 3/4"			B

GENERAL NOTES:

- PROVIDE SOLID CORE, PRE-HUNG WOOD PANEL DOORS IN WOOD FRAMES.
- UNDERCUT ALL DOORS TO CLEAR FLOOR FINISHES AND THRESHOLDS BY 1/2", UON.
- ALL EXTERIOR DOORS SHALL BE FULLY WEATHERSTRIPPED.
- SEAL EXTERIOR DOOR ROUGH OPENINGS WITH CAULK OR FOAM.
- DOOR HARDWARE TO BE ADA-COMPLIANT. SUBMIT FOR REVIEW.
- HARDWARE SET A:
HINGES: 1-1/2 PR, FULL MORTISE, STEEL, BEARING KNUCKLES, SQ. BUTT, 4" x 4", BHMA 652.
LOCKSET: GRADE 1 (ANSI A156.2), LEVER HANDLES, ENTRY LOCKSET (F82) AND DEADBOLT, BHMA 652.
KICKPLATE: 0.050-INCH STAINLESS STEEL, 8" HIGH, INTERIOR AND EXTERIOR OF DOOR, BHMA 652.
WEATHERSTRIP: FULL PERIMETER GASKETING AND THRESHOLD, BHMA 652.
- HARDWARE SET B:
HINGES: 1-1/2 PR, FULL MORTISE, BRASS/BRONZE, BEARING KNUCKLES, SQ. BUTT, 4" x 4", BHMA 626.
LOCKSET: GRADE 1 (ANSI A156.2), LEVER HANDLES, PASSAGE LOCKSET (F75), BHMA 626.
- HARDWARE SET C:
HINGES: 1-1/2 PR, FULL MORTISE, BRASS/BRONZE, BEARING KNUCKLES, SQ. BUTT, 4" x 4", BHMA 626.
LOCKSET: GRADE 1 (ANSI A156.2), LEVER HANDLES, PRIVACY LOCKSET (F76), BHMA 626.
- HARDWARE SET D:
HINGES: 1-1/2 PR (PER DOOR), FULL MORTISE, BRASS/BRONZE, BEARING KNUCKLES, SQ. BUTT, 4" x 4", BHMA 626.
LOCKSET: GRADE 1 (ANSI A156.2), LEVER HANDLES, SINGLE DUMMY LOCKSET (F75), BHMA 626.
ROLLER OR BALL CATCH: ADJUSTABLE SPRING LOADED, WITH STRIKE, BHMA 626.

NOTES:

- PROVIDE 1/2" MAXIMUM HEIGHT ADA-COMPLIANT THRESHOLD.
- MODIFY HEIGHT TO FIT BELOW STAIR STRINGER.

CITY OF CHARLOTTESVILLE
SINGLE FAMILY RESIDENCE
CHARLOTTESVILLE, VIRGINIA

REFLECTED CEILING PLANS

Full Scale Verification
0" 1"

Project No. 1210

DATE: 13 MAY 13

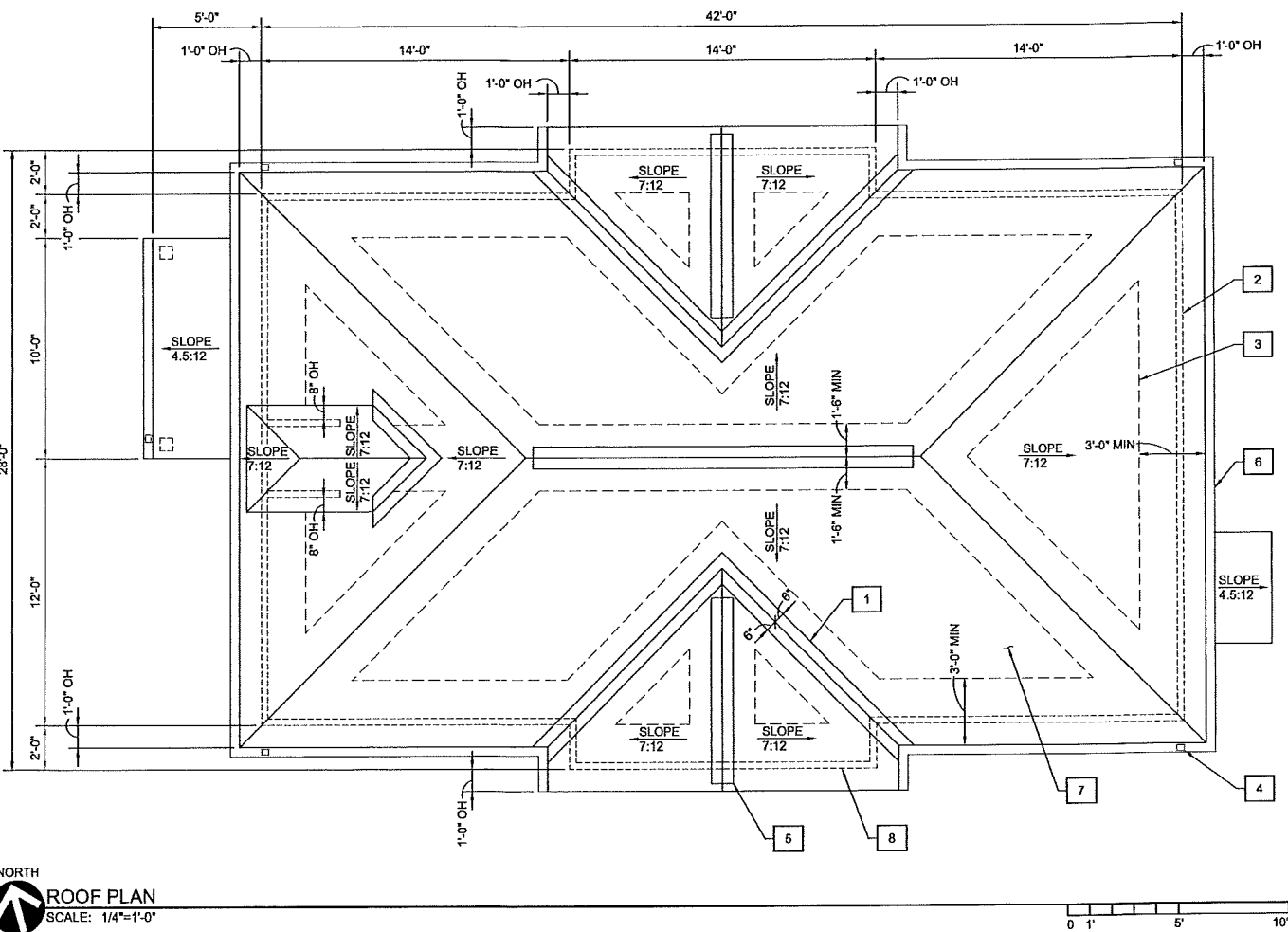
NO. BY DATE

REVISIONS

ARCHITECT
Stephen D. Herring
Lic. No. 015253
5/13/2013

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1115 VISTA PARK DRIVE
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A5



CONSTRUCTION NOTES:

1. OPEN VALLEY WITH METAL VALLEY PAN OVER ADHESIVE FLASHING.
2. WALL BELOW.
3. LINE OF ADHESIVE FLASHING, TYPICAL.
4. 3"x4" ALUMINUM DOWNSPOUT. TERMINATE ON 36" LONG CONCRETE SPLASHBLOCK AND POSITIVELY DRAIN AWAY FROM BUILDING.
5. RIDGE VENT WITH SHINGLE COVER.
6. 5" K-STYLE ALUMINUM GUTTER.
7. FIBERGLASS REINFORCED ASPHALT SHINGLES, 235 LBS/SQUARE MINIMUM, 40-YEAR WARRANTY, ASTM D3018 TYPE 1, CLASS A.
8. ALL WALLS, INCLUDING GABLES, LESS THAN 5'-0" FROM PROPERTY LINE SHALL HAVE 5/8" TYPE X GYPSUM BOARD PANELS ON INTERIOR AND 5/8" TYPE X EXTERIOR GYPSUM SHEATHING FOR 1-HOUR RATING PER UL DESIGN U305.

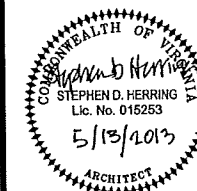
WINDOW SCHEDULE					
WINDOW TYPE	MIN. ROUGH OPENING SIZE		CLEAR OPENING SF	BASIS-OF-DESIGN (ANDERSEN 200 SERIES)	NOTES
	WIDTH	HEIGHT			
A	2'-4"	2'-4"	-	AAN2424	
B	2'-4"	4'-0"	-	244DH2440	
C	2'-8"	5'-0"	5.0	244DH2850	1
D	2'-8"	2'-8"	-	AAN2828	
E	2'-8"	5'-6"	5.7	244DH2856	1

GENERAL NOTES:

1. WINDOWS SHALL HAVE VINYL- OR ALUMINUM CLAD EXTERIOR.
2. PROVIDE SIMULATED DIVIDED LITES IN PATTERN SHOWN ON EXTERIOR ELEVATIONS.
3. PROVIDE LOW-E INSULATING GLAZING.
4. PROVIDE SCREENS WITH ALL OPERABLE WINDOWS.
5. FIRST FLOOR WINDOW HEAD ROUGH OPENING AT 7'-6" ABOVE SUBFLOOR, SECOND FLOOR HEAD ROUGH OPENING AT 7'-0" ABOVE SUBFLOOR.
6. PROVIDE SILL PAN FLASHING, BUILDING WRAP, AND ADHESIVE FLASHING AT ALL WINDOWS.
7. WINDOWS SHALL HAVE MIN. U-FACTOR OF 0.32 AND MIN. SHGC OF 0.40.
8. SEAL ROUGH OPENINGS WITH CAULK OR FOAM.
9. FRAME WINDOW AND EXTERIOR DOOR OPENINGS WITH ONE PAIR KING STUDS AND ONE PAIR JACK STUDS PER OPENING.

NOTES:

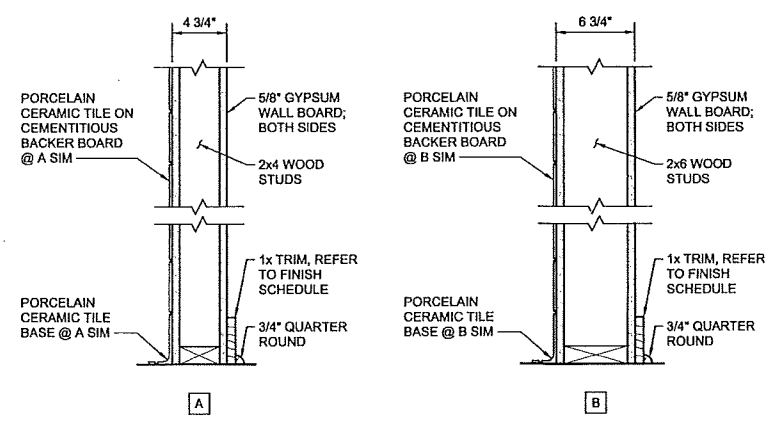
1. MIN. 20" CLEAR OPENING WIDTH AND 24" CLEAR OPENING HEIGHT.



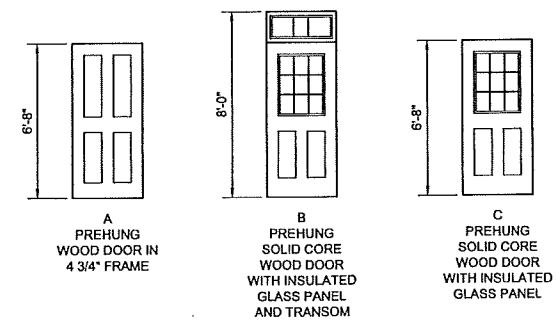
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 1115 VISTA PARK DRIVE
 FOREST, VIRGINIA 24551
 PHONE: (434) 316-6001

CITY OF CHARLOTTESVILLE
 SINGLE FAMILY RESIDENCE
 CHARLOTTESVILLE, VIRGINIA

ROOF PLAN
 SCALE: 1/4"=1'-0"



WALL TYPES
 SCALE: 1 1/2"=1'-0"



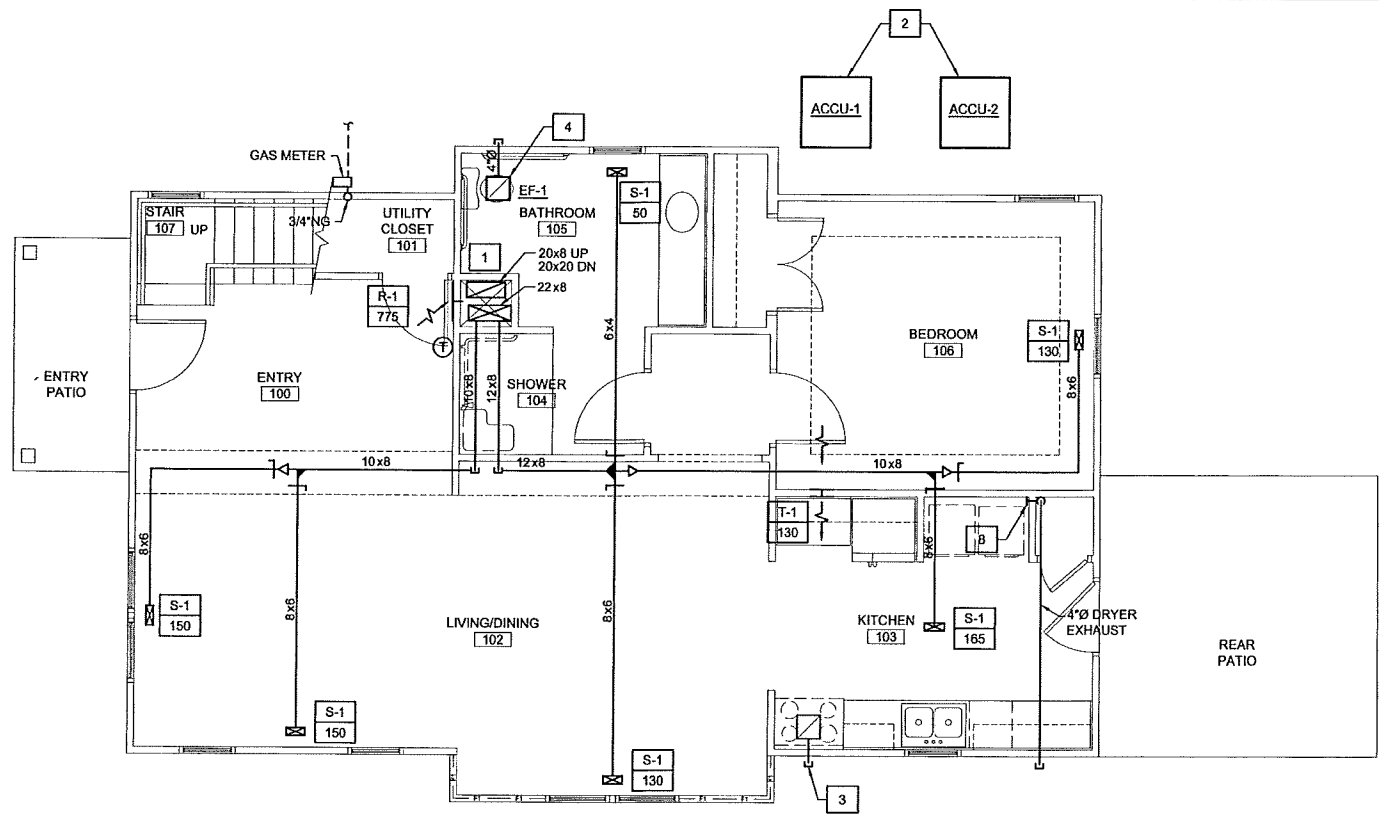
DOOR TYPES
 SCALE: 1/4"=1'-0"

ROOF PLAN
 PROJECT NO: 12110
 DATE: 13 MAY 13

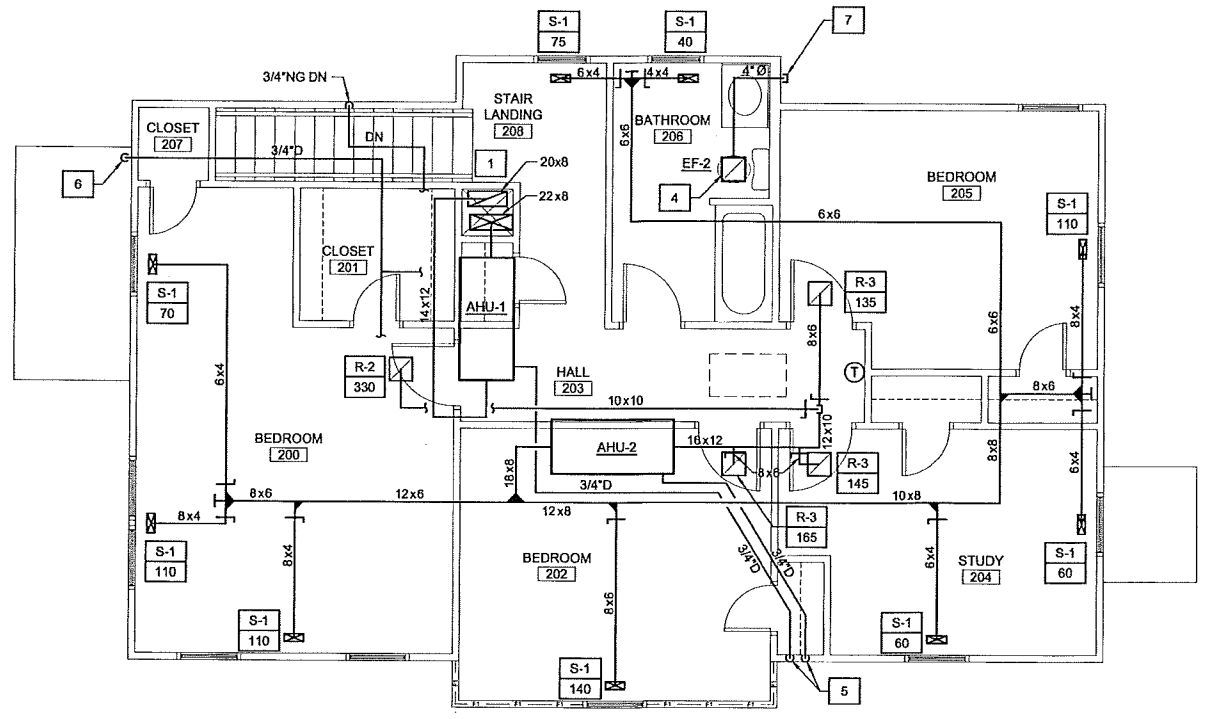
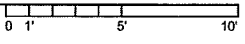
Full Scale Verification
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Drawing No.: **A6**

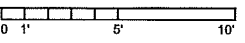
NO.	BY	REVISIONS	DATE



NORTH
FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



NORTH
SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



xx CONSTRUCTION NOTES:

1. SPLIT SUPPLY AND RETURN DUCT AROUND JOIST PASSING THROUGH CHASE. REJOIN RETURN DUCT ONCE PAST JOIST. MAINTAIN AS MUCH FREE AREA AS POSSIBLE.
2. PROVIDE CONDENSING UNITS ON CONCRETE PADS, PER DETAIL, WITH NEOPRENE ISOLATORS. LOCATE UNITS WITH MINIMUM 12" CLEARANCE BETWEEN WALLS AND 36" CLEARANCE IN FRONT OF SERVICE PANELS. COORDINATE WITH ELECTRICAL TO LOCATE DISCONNECTS SUCH THAT THEY ARE NOT DIRECTLY BEHIND CONDENSING UNITS AND HAVE 30" WIDE BY 36" CLEAR IN FRONT OF THEM. COORDINATE UNIT LOCATIONS WITH GAS METER. UNITS SHALL BE A MINIMUM OF 5'-0" FROM PROPERTY LINE.
3. PROVIDE ROUGH-IN FOR ENERGY STAR RANGE HOOD EXHAUSTING 100-200 CFM DIRECTLY TO OUTDOORS WITH MANUAL SWITCH. SIZE AND MATERIAL OF DUCT SHALL BE PER MANUFACTURER'S INSTRUCTIONS. PROVIDE MANUFACTURER'S WALL CAP AND COVER PLATE AT CEILING.
4. PROVIDE WALL SWITCH LABELED "VENTILATION CONTROL - LEAVE ON WHEN HOUSE IS IN USE."
5. ROUTE MAIN CONDENSING DRAIN INSIDE WALL AND TERMINATE 12" ABOVE GRADE WITH SPLASH BLOCK.
6. TERMINATE AUXILIARY DRAIN JUST BENEATH SOFFIT.
7. PROVIDE BACKDRAFT DAMPER IN DUCT AND TERMINATE IN SOFFIT WITH 1/2" MESH.
8. CAP 4" DRYER VENT ELBOW FOR FUTURE DRYER CONNECTION.



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CITY OF CHARLOTTESVILLE
 SINGLE FAMILY RESIDENCE
 CHARLOTTESVILLE, VIRGINIA

MECHANICAL PLANS

Full Scale Verification
 0" 1"

Drawing No:
M2

NO.	BY	REVISIONS	DATE

PROJECT NO:
 12110

DATE:
 13 MAY 13