

From: Scala, Mary Joy
Sent: Wednesday, March 20, 2013 11:38 AM
To: Coiner, Preston; Charles Hendricks
Subject: 1102 Carlton Ave BAR Action

March 20, 2013

My properties, LLC c/o Julie Coiner
411 Second Street NE
Charlottesville, VA 22902

Certificate of Appropriateness Application

BAR 13-03-02
1102 Carlton Avenue
Tax Map 56 Parcel 86
My Properties LLC, Julie Coiner, Applicant/Owner
Improvements to parking and access

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on March 19, 2013. The following action was taken:

Approved (9-0) with the following modifications:

- 1. Substitute Sugar Maple for [invasive] Norway Maple;**
- 2. Remove Blue Spruce and alignment of large Maples on Carlton Avenue;**
- 3. Plant another Dogwood symmetrically about the front walk in front of the building;**
- 4. Painted fir on rear porch;**
- 5. Move parking aisle over to give building 3-4 ft. buffer along driveway side.**

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

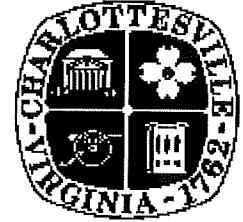
This certificate of appropriateness shall expire in 18 months (September 19, 2014), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced construction. The expiration date may differ if the COA is associated with a valid site plan. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of construction, please contact me for an inspection of the improvements included in this application. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner
Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
March 19, 2013**



Certificate of Appropriateness

BAR 13-03-02

1102 Carlton Avenue

Tax Map 56 Parcel 86

My Properties LLC, Julie Coiner, Applicant/Owner

Improvements to parking and access

Background

The J.S. Young building constructed in 1916 is an individually protected property located in Belmont, and is individually listed on the National Register. Originally an office building for the J.S. Young Manufacturing Company, the structure has been altered very little over time despite being used as a rental property from 1938 until the 1980s. It is currently the only Jacobean Revival structure in Charlottesville, characterized by the prominent Tudor or Jacobean gables on the ends and front façade which faces Carlton Avenue, decorative finials, and decorative (often terra-cotta) brick work (seen on the front façade).

October 16, 2012- The BAR approved a number of rehabilitation alterations including:

1. **Replace roof material:** The current fiberglass shingles will be replaced with a low-profile standing seam metal roof with 17" on center panels manufactured by Sheffield Metals International. There will be no ridge cap. The roof will be pre-painted slate gray. There will be powder-coated snow guards to match the roof color.
2. **Replace gutters:** The gutters will be 5" half round with 3" downspouts installed at previous locations near the front gable.
3. **Remove wooden railings and replace iron pipe railing on steps:** Wooden railings flanking a poured concrete stair at the front of the building will be removed. Black iron pipe railing flanking the poured concrete stair at the rear (southwest) side of the property will be replaced with new similar railing.
4. **Plant screening vegetation:** Plant screen of vegetation around the existing gas meter and existing/possibly future AC units located at the back of the building and the side of the building facing west towards Rives Street.
5. **Remove 11 trees on the property:** Remove four Leyland Cypress trees on the rear (southwest) side of the property. Remove seven Leyland Cypress trees from the west side of the property facing Rives Street.
6. **Replace round metal vents in the front and side gables:** Remove existing metal vents on the round openings in the front and side gables. Replace the vents with louvered vents seen in an earlier photo submitted by the applicant dated to c. 1990.
7. **Remove plantings and chain link fence around perimeter:** Remove azaleas planted on the front (north) border of the property and the chain-link fence which circulates the perimeter of the property.

Application

The applicant is requesting approval to:

1. Add a wooden deck and wheel chair lift to the rear of the property
2. Add five parking spaces
3. Plant six Norwegian Sugar Maples
4. Add a solid board fence at the rear of the property

Criteria, Standards and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
 - 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
 - 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
 - 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
 - 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
 - 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
 - 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
 - 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
 - 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
 - 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Guidelines for Rehabilitation include:

L. REAR OF BUILDINGS

The area behind commercial buildings is often forgotten and neglected. This area may be a utilitarian space for deliveries and storage of discarded goods. However, in some cases the rear of the building may provide the opportunity for a secondary entrance, particularly if oriented to a public alley. The appearance of the back area then

becomes important to the commercial district and to the individual business. Customers may be provided with direct access from any parking area behind the building. In these cases, the back entrance becomes a secondary entrance to the store and is the first contact the customer makes with the business.

- 1) Meet all handicapped accessibility requirements.*
- 2) Consolidate and screen mechanical and utility equipment in one location when possible.*
- 3) Consider adding planters or a small planting area to enhance and highlight the rear entrance, and create an adequate maintenance schedule for them.*
- 4) Retain any historic door or select a new door that maintains the character of the building and creates an inviting entrance.*
- 5) Note building and ADA codes when and if changing dimensions or design of entrance.*
- 6) Windows define the character and scale of the original façade and should not be altered.*
- 7) If it is necessary to replace a window, follow the guidelines for windows earlier in this chapter.*
- 8) If installation of storm windows is necessary, follow the guidelines for windows earlier in this chapter.*
- 9) Remove any blocked-in windows and restore windows and frames if missing.*
- 10) Security grates should be unobtrusive and compatible with the building.*
- 11) Avoid chain-link fencing.*
- 12) If the rear window openings need to be covered on the interior for merchandise display or other business requirements, consider building an interior screen, and maintain the character of the original window's appearance from the exterior.*
- 13) Ensure that the design of the lighting relates to the historic character of the building.*
- 14) Consider installing signs and awnings that are appropriate for the scale and style of the building.*
- 15) Design and select systems and hardware to minimize impact on the historic fabric of the building.*
- 16) Ensure that any fire escapes meet safety regulations and that no site elements inhibit proper egress.*
- 17) Ensure that any rear porches are well maintained; and if used as upper floor entrance(s), are well lit and meet building codes while retaining their historic character.*

Pertinent Guidelines for Site Design and Elements include:

B. PLANTINGS

- 1) Encourage the maintenance and planting of large trees on private property along the streetfronts, which contribute to the "avenue" effect.*
- 2) Generally, use trees and plants that are compatible with the existing plantings in the neighborhood.*
- 3) Use trees and plants that are indigenous to the area.*
- 4) Retain existing trees and plants that help define the character of the district, especially street trees and hedges.*
- 5) Replace diseased or dead plants with like or similar species if appropriate.*
- 6) When constructing new buildings, identify and take care to protect significant existing trees and other plantings.*
- 7) Choose ground cover plantings that are compatible with adjacent sites, existing site conditions, and the character of the building.*
- 8) Select mulching and edging materials carefully and do not use plastic edgings, lava, crushed rock, unnaturally colored mulch or other historically unsuitable materials.*

C. WALLS AND FENCES

- 1) Maintain existing materials such as stone walls, hedges, wooden picket fences, and wrought-iron fences.*
- 2) When a portion of a fence needs replacing, salvage original parts for a prominent location.*
- 3) Match old fencing in material, height, and detail.*
- 4) If it is not possible to match old fencing, use a simplified design of similar materials and height.*

- 5) *For new fences, use materials that relate to materials in the neighborhood.*
- 6) *Take design clues from nearby historic fences and walls.*
- 7) *Chain-link fencing, split rail fences, and vinyl plastic fences should not be used.*
- 8) *Traditional concrete block walls may be appropriate.*
- 9) *Modular block wall systems or modular concrete block retaining walls are strongly discouraged but may be appropriate in areas not visible from the public right-of-way.*
- 10) *If street-front fences or walls are necessary or desirable, they should not exceed four (4) feet in height from the sidewalk or public right-of-way and should use traditional materials and design.*
- 11) *Residential privacy fences may be appropriate in side or rear yards where not visible from the primary street.*
- 12) *Fences should not exceed six (6) feet in height in the side and rear yards.*
- 13) *Fence structures should face the inside of the fenced property.*
- 14) *Relate commercial privacy fences to the materials of the building. If the commercial property adjoins a residential neighborhood, use a brick or painted wood fence or heavily planted screen as a buffer.*
- 15) *Avoid the installation of new fences or walls if possible in areas where there are no fences or walls and yards are open.*
- 16) *Retaining walls should respect the scale, materials and context of the site and adjacent properties.*
- 17) *Respect the existing conditions of the majority of the lots on the street in planning new construction or a rehabilitation of an existing site.*

Discussion and Recommendations

With some modifications, the proposed changes are positive and necessary to encourage reuse of the historic office building as a contemporary office space.

A site plan amendment is currently under review. It is likely the parking will have to be adjusted to meet the ordinance. Recommended changes from the BAR should include:

No parking in front of the building on Carlton Avenue (one space could probably be moved to the Rives Street side yard);

Rather than paving to the side and rear property lines, there should be at least three feet buffer area that incorporates plantings;

Mechanical units should be screened.

The wood deck and railing materials should be specified. The railings should be painted fir or similar wood, rather than pressure treated lumber.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitation and Site Design and Elements, I move to find that the proposed changes satisfy the BAR's criteria and are compatible with this contributing, Individually Protected Property, and that the BAR approves the application with the following modifications....



Board of Architectural Review (BAR) Certificate of Appropriateness

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.
For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.
The BAR meets the third Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name My Properties LLC. c/o Julie Coiner Applicant Name Julie Coiner
Project Name/Description The Young Bldg Parcel Number TM 56-86 Parcel A
Property Address 1102 Carlton Avenue

Applicant Information

Address: 411 Second St. NE
Charlottesville, VA 22902
Email: pnjcoiner@embarqmail.com
Phone: (W) _____ (H) 434-979-4169
FAX: _____

Property Owner Information (if not applicant)

Address: _____
Email: _____
Phone: (W) _____ (H) _____
FAX: _____

Do you intend to apply for Federal or State Tax Credits for this project? _____

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Julie M. Coiner 2/18/13
Signature Date

Julie M. Coiner 2/18/13
Print Name Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Signature _____ Date _____

Print Name _____ Date _____

Description of Proposed Work (attach separate narrative if necessary):

Improvements to parking and access for proposed office space.

List All Attachments (see reverse side for submittal requirements):

SITE PLAN, ELEVATIONS

For Office Use Only

Received by: D. Eubank
Fee paid: 125.00 Cash/Ck. # 1047
Date Received: 2/19/13

P13-0029

Approved/Disapproved by: _____

Date: _____

Conditions of approval: _____



VICINITY MAP

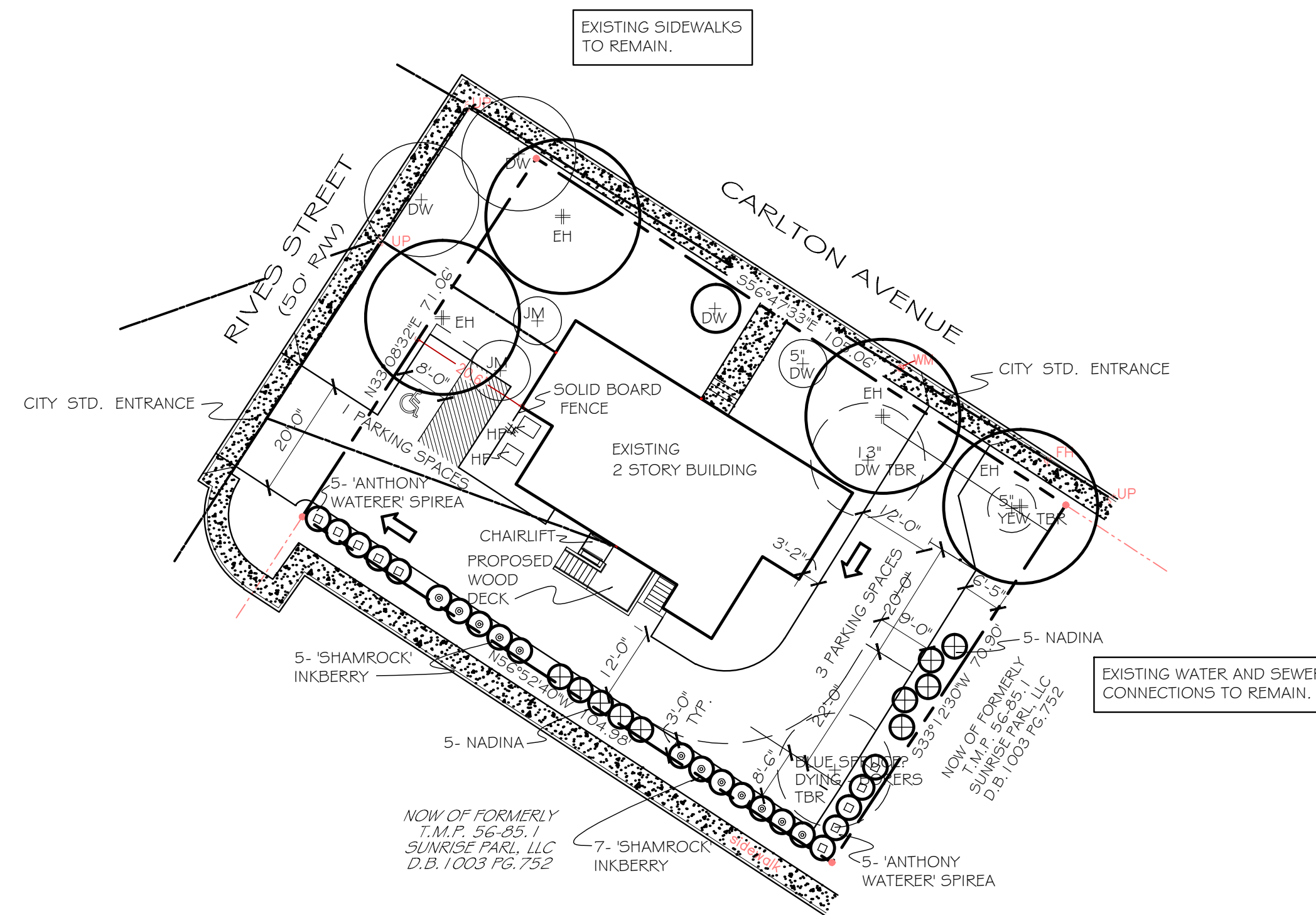
GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE FOLLOWING AUTHORITIES TO SCHEDULE ON-SITE INSPECTIONS AS APPROPRIATE THROUGHOUT THE COURSE OF HIS/HER WORK.
EROSION AND SEDIMENT CONTROL - E45 / ZONING ADMINISTRATOR 970-3182
SANITARY SEWER MAINS - PUBLIC UTILITIES 970-3800
POTABLE WATER MAINS - PUBLIC UTILITIES 970-3800
STORMWATER STRUCTURES - CITY ENGINEER 970-3182
PUBLIC RIGHT-OF-WAY (SIDEWALKS, STREET SUB-GRADE, ETC.) - ND5 INSPECTOR 970-3182
STREET CUT - PUBLIC SERVICE 970-3830
2. DRIVEWAY ENTRANCES TO BE CITY STANDARD DESIGN. THIS WILL INCLUDE THE TINTED CONCRETE MIX DESIGN.
3. PAVEMENT PATCH SHOULD MATCH EXISTING PAVEMENT SECTION OR 3" OF VDOT SM-9.5 SURFACE MIX AND 8" 21A COMPACTED STONE BASE, WHICHEVER IS GREATER. THE WIDTH OF THE PATCH SHOULD BE A MINIMUM OF 3'-0".
4. A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES, AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.
5. ALL ROADWAY MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.
6. OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13'-6".
7. ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 75,000 LBS.
8. ACCESS TO THE BUILDING DURING DEMOLITION AND CONSTRUCTION SHALL BE MAINTAINED PER IFC 1410.1
9. AN APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTEVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY PER IFC 506.1.
10. BUILDING STREET NUMBER SHOULD BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS PER IFC 505.
11. SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES DURING CONSTRUCTION PER IFC 1404.1.
12. WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORK DAY DURING CONSTRUCTION PER IFC 1404.2.
13. OPERATIONS INVOLVING CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 26, OF THE INTERNATIONAL FIRE CODE, ADDRESSING WELDING AND HOTWORK OPERATIONS PER IFC 1404.6.
14. FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED PER IFC 1414.1.
15. AN ACCESSIBLE ROUTE SHALL BE MAINTAINED FROM THE HP SPACE TO THE DESIGNATED BUILDING ENTRANCE.

SITE PLAN AMENDMENT YOUNG BUILDING 1102 CARLTON AVE. TAX MAP 56-86 PARCEL A CHARLOTTEVILLE, VIRGINIA

INDEX TO DRAWINGS

- CS COVER SHEET
- C1 CITY STANDARD DETAILS



SITE PLAN
SCALE: 1" = 20'-0"
NORTH

CURRENT STREET ADDRESS: 1102 CARLTON AVE.

TMP 56-86 PARCEL A

OWNER: MY PROPERTIES, LLC
411 2ND ST. N.E.
CHARLOTTEVILLE, VA. 22902

ZONING: B-2
PRESENT USE: VACANT
PROPOSED USE: OFFICE

ACREAGE: .17 ACRES
DISTURBED AREA: .12 ACRES

LAND AREAS:	PROPOSED
BUILDINGS	1,426 SF 20%
PARKING / TRAVEL WAY	2,973 SF 40%
SIDEWALK	97 SF .01%
TOTAL IMPERVIOUS AREA	4,496 SF 60%
LANDSCAPE FEATURES	2,958 SF 40%
TOTAL SITE AREA	7,454 SF 100%

OFFSTREET PARKING:
REQUIRED PARKING: NO PARKING REQUIRED

PARKING PROVIDED: TOTAL = 4 SPACES

PAVING NOTES:
CONCRETE WORK WITHIN THE CITY RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARDS.

BUILDING CODE REQUIREMENTS
ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE 2009 VIRGINIA USBC.

BUILDING AREAS BY USE

BUILDING USE	AREA
OFFICE	2,770 SF

SITE DATA
BOUNDARY INFORMATION BASED ON ELECTRONIC FILE DATA PROVIDED BY RESIDENTIAL SERVICES.

UTILITY MAPS, AND FIELD VERIFICATION: THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

TREE CANOPY REQUIREMENTS

	10 YEAR CANOPY
EXISTG DOGWOOD	124 SF
EXISTG JAPANESE MAPLE	163 SF
EXISTG JAPANESE MAPLE	163 SF
EXISTG YEW	72 SF TO BE REMOVED
TOTAL EXISTG CANOPY	450 SF
STREET TREES (DW) (1)	113 SF
STREET TREES (EH) (4)	708 SF
TOTAL CANOPY PROVIDED	1271 SF
TOTAL SITE	7454 SF
CANOPY REQD = 10%	745 SF

PROPOSED PLANT SCHEDULE
EUROPEAN HORNBEAM (EH) (4) (CARPINUS BETULUS)
DOGWOOD (DW) (4) (CORNUS FLORIDA)

APPROVALS

REVISIONS

NO.	DATE	DESCRIPTION
1	3/18/13	DATE REVIEW COMMENTS
2	3/19/13	DATE REVIEW COMMENTS / ENGINEERING COMMENTS
3	3/19/13	DATE REVIEW COMMENTS / ENGINEERING COMMENTS

THE GAINES GROUP
RESIDENTIAL & COMMERCIAL ARCHITECTURE

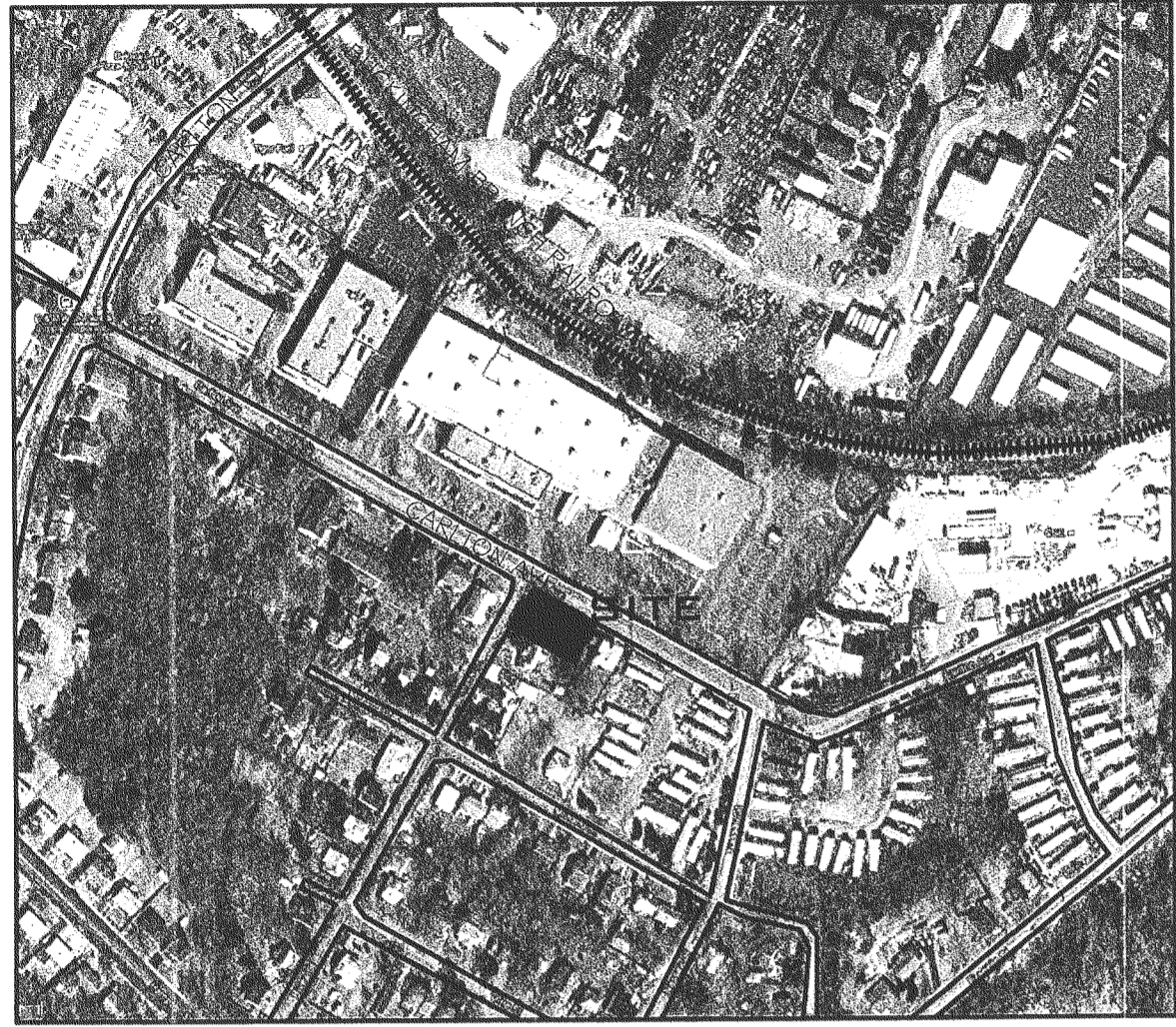
SITE PLAN AMENDMENT
YOUNG BUILDING
TAX MAP 56-86, PARCEL A
CHARLOTTEVILLE, VIRGINIA

JOB NO:
1225

DATE:
2-12-13

DRAWN:
CBH

CS



VICINITY MAP

SITE PLAN AMENDMENT YOUNG BUILDING 1102 CARLTON AVE. TAX MAP 56-86 PARCEL A CHARLOTTEVILLE, VIRGINIA

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 TMP 56-86 PARCEL A
 OWNER: MY PROPERTIES, LLC
 411 2ND ST. N.E.
 CHARLOTTEVILLE, VA. 22902

ZONING: B-2
 PRESENT USE: VACANT
 PROPOSED USE: OFFICE

ACREAGE: .17 ACRES
 DISTURBED AREA: .12 ACRES

LAND AREAS:	PROPOSED	
BUILDINGS	1,426 SF	19%
PARKING / TRAVEL WAY	3,850 SF	52%
SIDEWALK	97 SF	.01%
TOTAL IMPERVIOUS AREA	5,373 SF	72%
LANDSCAPE FEATURES	2,081 SF	28%
TOTAL SITE AREA	7,454 SF	100%

OFFSTREET PARKING:
 REQUIRED PARKING: OFFICE: 2,770 SF / 500 SF = 5.54 = 6 SPACES
 SEC. 34-905 (B) (2): BUS STOP LOCATED WITHIN 300 FEET OF SITE PROVIDES A REDUCTION OF PARKING REQUIREMENT BY 2 SPACES
 TOTAL = 4 SPACES REQUIRED

PARKING PROVIDED: TOTAL = 5 SPACES

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 ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE 2009 VIRGINIA USBC.

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TOTAL SITE	7454 SF
CANOPY REQD = 10%	745 SF

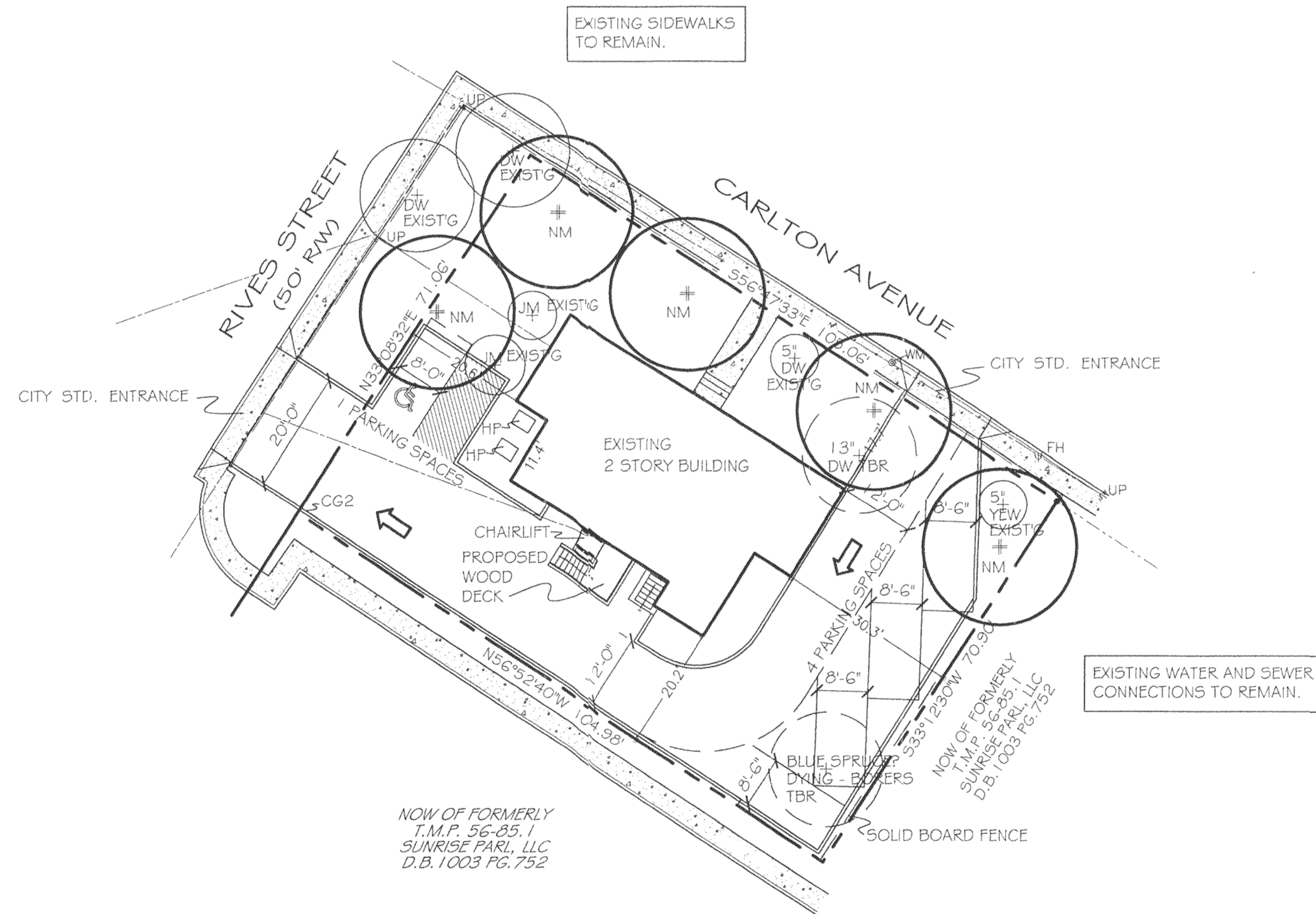
PROPOSED PLANT SCHEDULE
 NORWEGIAN SUGAR MAPLE (NM) (G)

INDEX TO DRAWINGS

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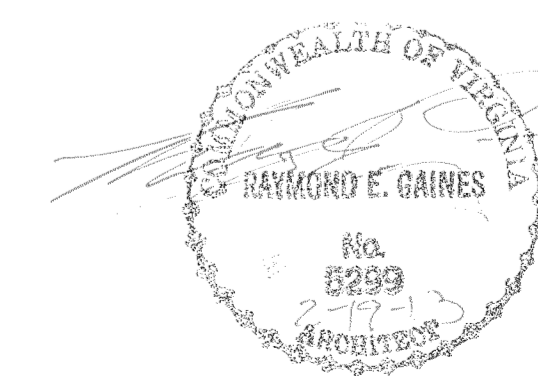
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 SITE PLAN
 SCALE: 1" = 20'-0"

APPROVALS



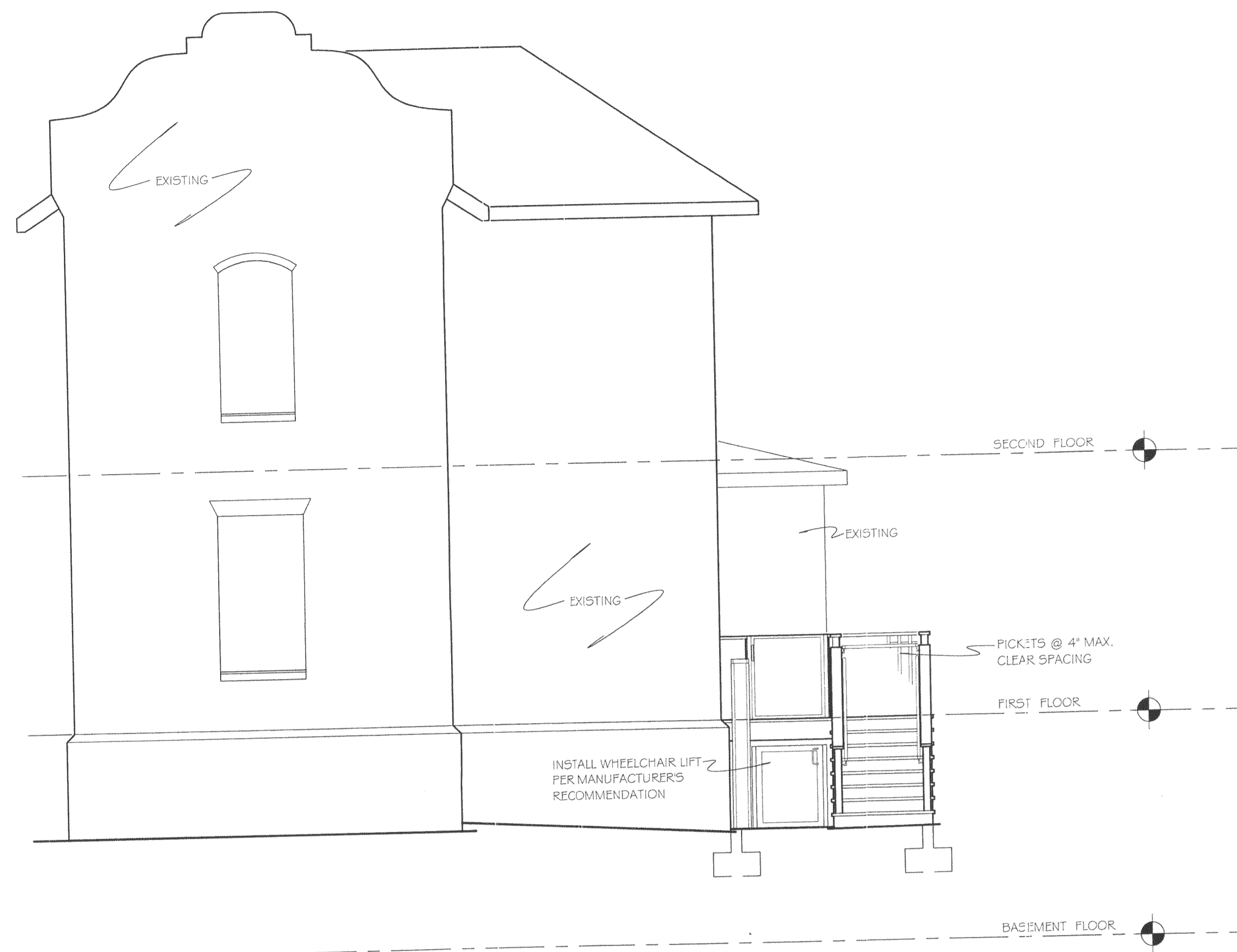
REVISIONS

THE GAINES GROUP
 RESIDENTIAL & COMMERCIAL ARCHITECTURE

SITE PLAN AMENDMENT
 YOUNG BUILDING
 TAX MAP 56-86, PARCEL A
 CHARLOTTEVILLE, VIRGINIA

JOB NO: 1225
 DATE: 2-18-13
 DRAWN: CBH

CS



NORTH-WEST ELEVATION
SCALE: 1/4" = 1'-0"

GARAVENTA LIFT - MANUF.
GENESIS OPAL - STANDARD MODEL
STRAIGHT-THROUGH CONFIGURATION
UNENCLOSED VERTICAL PLATFORM LIFT



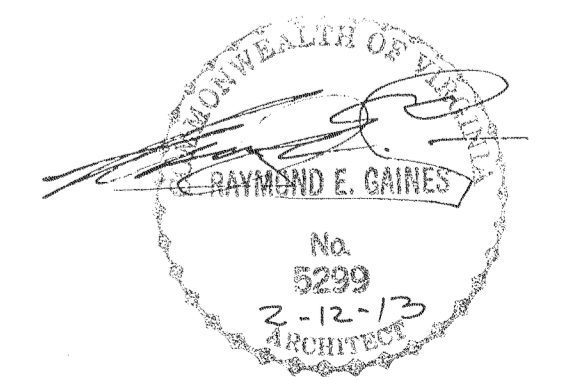
SOUTH-WEST ELEVATION
SCALE: 1/4" = 1'-0"

RESTORE EXISTING
WINDOWS - TYP.

VERIFY DEPTH AND
CONFIGURATION
OF FOOTINGS



SOUTH-EAST ELEVATION
SCALE: 1/4" = 1'-0"



REVISIONS

ELEVATIONS

THE GAINES GROUP, PLC.
RESIDENTIAL & COMMERCIAL ARCHITECTURE

RENOVATIONS TO
YOUNG BUILDING
1102 CARLTON AVENUE
CHARLOTTEVILLE, VIRGINIA

JOB NO:
1225
DATE:
2-12-13
DRAWN:
PMT DLS

A2

CITY OF CHARLOTTESVILLE
"A World Class City"

Department of Neighborhood Development Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.org



AFFIDAVIT OF MAILING

To File: 1102 Carlton Avenue (BAR 13-03-02)

I, Kristin Rourke, being first duly sworn, hereby certify that I mailed the attached letter, by first class United States Mail, to the addresses shown on this affidavit on March 5, 2013.

Signed:

Kristin Rourke

ADDRESSES

See Attachments

STATE OF VIRGINIA

CITY OF CHARLOTTESVILLE, to-wit:

The foregoing instrument was acknowledged before me this 13th day of MARCH 2013, by Kristin Rourke.

My Commission Expires: AUGUST 31 2015



Pamela G. Murray
Notary Public

CITY OF CHARLOTTESVILLE

"A World Class City"

Department of Neighborhood Development Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.org



March 1, 2013

Dear Sir or Madam:

This letter is to notify you that the following application has been submitted for review by the City of Charlottesville Board of Architectural Review on property that is either abutting or immediately across a street from your property, or that has frontage on the same city street block.

Certificate of Appropriateness Application

BAR 13-03-02
1102 Carlton Avenue
Tax Map 56 Parcel 86
My Properties LLC, Julie Coiner, Applicant/Owner
Improvements to parking and access

The Board of Architectural Review (BAR) will consider these applications at a meeting to be held on **Tuesday, March 19, 2013, starting at 5:30 pm in City Council Chambers, City Hall.** Enter City Hall from the Main Street pedestrian mall entrance and go up to 2nd floor.

An agenda with approximate times and additional application information will be available on the BAR's home page accessible through <http://www.charlottesville.org>. If you need more information, please do not hesitate to contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

A handwritten signature in black ink that reads 'Mary Joy Scala'.

Mary Joy Scala, AICP
Preservation and Design Planner

FORLOINES, WALLACE & ANN,
16102 FOUNDERS BRIDGE TERR
MIDLOTHIAN, VA 23113

ONE CARLTON, LLC
1100 HARRIS ST
CHARLOTTESVILLE, VA 22903

STC, LLC
106 GOODMAN ST STE 1A
CHARLOTTESVILLE, VA 22902

SUNRISE PARK, LLC
919 W MAIN ST
CHARLOTTESVILLE, VA 22903