From: Scala, Mary Joy
Sent: Wednesday, March 20, 2013 12:01 PM
To: Chris Weatherford (chris.weatherford@bartonmalow.com)
Subject: 500 Court Square - BAR Action

March 20, 2013

James C. Weatherford
100 Tenth Street NE Suite 100
Charlottesville, VA 22902

Certificate of Appropriateness Application
BAR 13-03-03
500 Court Square
Tax Map 53 Parcel 96
James C. Weatherford, Applicant
500 Court Square Association, Owner
Reroof and replace balustrade

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on March 19, 2013. The following action was taken:

Approved (9-0) as submitted.

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in 18 months (September 19, 2014), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced construction. The expiration date may differ if the COA is associated with a valid site plan. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of construction, please contact me for an inspection of the improvements included in this application.
If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
March 19, 2013

Certificate of Appropriateness Application
BAR 13-03-03
500 Court Square
Tax Map 53 Parcel 96
James C. Weatherford, Applicant
500 Court Square Association, Owner
Reroof and replace balustrade

Background

This property is a contributing structure in the North Downtown ADC district and the Charlottesville Albemarle County Courthouse National Register District. The 1980 National Register nomination describes the building as a 9 story brick (Flemish bond) building with a flat roof designed in the Colonial Revival by architect Stanhope Johnson of Lynchburg. The building was constructed between1924-26 and originally called the Monticello Hotel.

July 19, 2011 – The BAR approved the replacement of nine existing wood windows in a 6th floor unit facing Market Street with aluminum clad wood window sash kits with exterior applied 7/8" putty profile muntins. This is the only approved window replacement at this time for the entire structure.
June 21, 2011 – The BAR approved on the consent agenda to replace the balustrade with a painted terne-coated stainless steel replica.
September 21, 2004 – Install revolving door
June 17, 2003 - Add two new rectangular windows in south elevation.
July 2001- Locate up to 6 to 9 antennas with accessory telecommunication cabinets
March 2001 -Upgrade rooftop cabinets and co-locate antenna on roof
BAR 94-06-448 -Replace new sliding doors
BAR 90-01-335A -Screening for rear heat pumps
BAR 90-01 -Install six new rear windows; close two fire door entrances; install vent; add two heat pump units on fire stairs
BAR 89-6-327 -Install new railings on towers and two sets of stairs on roof
BAR 88-2-323 -New windows in south wall façade and 2-3 outdoor mechanical units on fire stair

Application

The applicant proposes to replace the EPDM rubber roof and to replace the existing painted galvanized steel balustrade with a lead coated copper balustrade to match. A similar application was approved in June 2011 but has expired. The proposed replacement balustrade in June 2011 was to be painted terne-coated stainless steel.

Criteria, Standards and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,
In considering a particular application the BAR shall approve the application unless it finds:
(1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and

(2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.

Pertinent Standards for Review of Construction and Alterations include:
(1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;
(2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;
(3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

(4) The effect of the proposed change on the historic district neighborhood;
(5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;
(6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
(7) When reviewing any proposed sign as part of an application under consideration, the standards set forth within Article IX, Sections 34-1020, et seq. shall be applied; and
(8) Any applicable provisions of the city's Design Guidelines (see Sec. 34-288(6)).

Pertinent Design Review Guidelines – Rehabilitation

NOTE: There are no guidelines specific to a balustrade. Many of the cornice guidelines apply.

E. Cornice

1) *Keep the cornice well sealed and anchored, and maintain the gutter system and flashing.*
2) *Repair rather than replace the cornice.*
3) *Do not remove elements of the original composition, such as brackets or blocks, without replacing them with new ones of a like design.*
4) *Match materials, decorative details, and profiles of the existing original cornice design when making repairs.*
5) *Do not replace an original cornice with a new one that conveys a different period, style, or theme from that of the building.*
6) *If the cornice is missing, the replacement should be based on physical or documented evidence, or barring that, be compatible with the original building.*
7) *Do not wrap or cover a cornice with vinyl or aluminum; these substitute materials may cover up original details and also may hide underlying moisture problems.*

Discussion and Recommendations

Staff recommends approval as submitted.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitation, I move to find that the proposed balustrade and roof replacement project satisfies the BAR's criteria and is compatible with this property and other properties in this district, and that the BAR approves the application as submitted.

Board of Architectural Review (BAR)
Certificate of Appropriateness

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.
For a new construction project, please include $375 application fee. For all other projects requiring BAR approval, please include $125 application fee. For projects that require only administrative approval, please include $100 administrative fee. Make checks payable to the City of Charlottesville.
The BAR meets the third Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name 500 CT. SQUARE ASSOCIATES Applicant Name JAMES C WEATHERFORD

Project Name/Description REROOFING 500 CT. SQ Parcel Number

Property Address 500 CT. SQ CHARLOTTESVILLE VA

Applicant Information
Address: 100 TENTH ST. SUITE 100
CHARLOTTESVILLE VA
Email: chris.weatherford@bartenwerfer.com
Phone: (W) 434.984.8800 (H)
FAX: 434 984 8815

Property Owner Information (if not applicant)
Address: 500 CT SQ

Email: KADB@adelphia.net
Phone: (W) 434.979.8900 (H) 966.2438
FAX:

Do you intend to apply for Federal or State Tax Credits for this project? N

Signature of Applicant
I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Signature 2.23.13 Date

JAMES C WEATHERFORD 2.23.13
Print Name Date
WORKING AS OWNERS REP

Property Owner Permission (if not applicant)
I have read this application and hereby give my consent to its submission.

Signature Date

Print Name Date

Description of Proposed Work (attach separate narrative if necessary):
REPLACE EXISTING EPDM ROOF AND EXISTING BALUSTRADE TO MATCH

List All Attachments (see reverse side for submittal requirements):
DRAWING A-1 through A-6

For Office Use Only
Received by: D. Evans
Fee paid: 125.00 Cash/Ck. #
Date Received: 2/25/11

Approved/Disapproved by:
Date:
Conditions of approval:

500 COURT SQUARE
ROOF REPLACEMENT

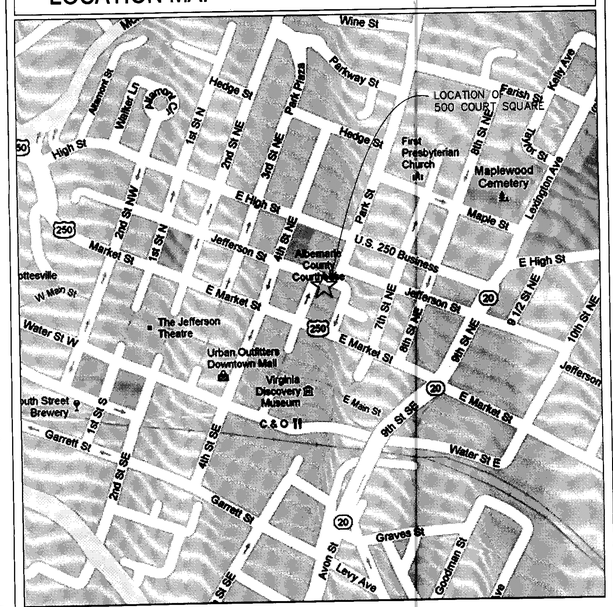
500 COURT SQUARE
CHARLOTTESVILLE, VIRGINIA
1217

ABBREVIATIONS

ABV.	ABOVE
ACT	ACOUSTIC CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
ADJ.	ADJUST(ABLE)
AFF	ABOVE FINISH FLOOR
AHU	AIR HANDLING UNIT
ALT.	ALTERNATE
ALUM.	ALUMINUM
ANOD.	ANODIZED
APPROX.	APPROXIMATELY
ARCH.	ARCHITECTURAL
AV	AUDIO VISUAL
BD.	BOARD
BEL.	BELOW
BLDG	BUILDING
BLK.	BLOCK
BLKG	BLOCKING
BM.	BEAM
B.O.C.	BOTTOM OF CURB
B.O.W.	BOTTOM OF WALL
BRDG.	BRIDGING
BRK.	BRICK
BRNG.	BEARING
BTU	BRITISH THERMAL UNIT
BTUH	BTU PER HOUR
BTW.	BETWEEN
CAPY.	CAPACITY
CF	CUBIC FOOT
CFM	CUBIC FOOT PER MINUTE
C.I.	CAST IRON
C.J.	CONTROL JOINT
CL.	CLOSET
CLG.	CEILING
CLR.	CLEAR
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
C.O.	CLEAN OUT
COL.	COLUMN
CONC.	CONCRETE
COND.	CONDENSER/CONDUIT
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CPT	CARPET
C. TILE	CERAMIC TILE
CTR	CENTER
CW	COLD WATER
DBL.	DOUBLE
DES.	DESIGN
DET.	DETAIL(S)
DIA.	DIAMETER
DIAG.	DIAGONAL
DIFF.	DIFFUSER(S)
DIM	DIMENSION
DIV.	DIVISION
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING
EA.	EACH
EJ	EXPANSION JOINT
ELEC.	ELECTRIC(AL)
ELEV.	ELEVATION
ENCL.	ENCLOSE/ENCLOSURE
EQ.	EQUAL
EQUIP.	EQUIPMENT
ESMT	EASEMENT
EVAP.	EVAPORATIVE(OR)
EXG.	EXISTING
EXH.	EXHAUST
EXP.	EXPANSION
EXP. ST.	EXPOSED STRUCTURE
EXT.	EXTERIOR
F.A.I.	FRESH AIR INTAKE
F.B.	FACE BRICK
F.C.O.	FLOOR CLEAN-OUT
F.D.	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FDN.	FOUNDATION
FIN.	FINISH(ED)
F.F.	FINISHED FLOOR
FL.	FLOOR
F.O.B.	FACE OF BRICK
F.O.S.	FACE OF STUD
FT.	FOOT/FEET
F.TRD	FIRE TREATED
FTG	FOOTING
G	GAS
GA.	GAGE
GALV.	GALVANIZED
GFI	GROUND FAULT INTERRUPTER
GL.	GLASS
GND	GROUND
G.P.H.	GALLONS PER HOUR
GWB	GYPSUM WALL BOARD
H.C.	HANDICAPPED ACCESSIBLE
HDWD	HARDWOOD
HDWR	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
HVAC	HEATING VENTILATING & AIR CONDITIONING
INSUL.	INSULATION
J	JUNCTION
JT.	JOINT
KVA	KILOVOLT AMPS
KW	KILOWATT
LAM.	LAMINATE
LIN.	LINEAR
LT.	LIGHT
LVL	LAMINATED VENEER LUMBER
MAS.	MASONRY
MATL.	MATERIAL
MAX.	MAXIMUM
M.C.J.	MASONRY CONTROL JOINT
MECH.	MECHANICAL
MFR	MANUFACTURER
MIN.	MINIMUM
MISC	MISCELLANEOUS
M.O.	MASONRY OPENING
MTD	MOUNTED
MTL.	METAL
NEUT	NEUTRAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
NTS	NOT TO SCALE
O.C.	ON CENTER
OD	OUTSIDE DIAMETER
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
OPP.	OPPOSITE
OPP. HD	OPPOSITE HAND
OVHD	OVERHEAD
PAV.	PAVING
P.LAM	PLASTIC LAMINATE
PLYWD.	PLYWOOD
PR.	PAIR
PROJ.	PROJECTION
P.S.F.	POUNDS PER SQUARE FOOT
P.T.	PRESSURE TREATED
PTD.	PAINTED
P. TILE	PORCELAIN TILE
PVC	POLY-VINYL CHLORIDE
Q.T.	QUARRY TILE
RAD.	RADIUS
R.B.	RESILIENT BASE
R.C.P.	REINFORCED CONCRETE PIPE
R.D.	ROOF DRAIN
REBAR	REINFORCING BAR
REC.	RECORD
REFRIG.	REFRIGERATION
REINF.	REINFORCE(D)
REQ'D	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
R&R	REMOVE & REPLACE
RS	RISER
RT.	RIGHT
R. TILE	RUBBER TILE
S.C.	SOLID CORE
SCHED.	SCHEDULE
SHT.	SHEET
SIM.	SIMILAR
S.O.	SASH OPENING
SP.	SPACE
SPEC.	SPECIFICATIONS
SQ.	SQUARE
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURE(AL)
SUSP.	SUSPENDED
SW	SWITCH
SYM.	SYMMETRIC(AL)
SYS.	SYSTEM
TBR	TO BE REMOVED
TERR.	TERRAZZO
THK.	THICKNESS
THRU.	THROUGH
T.O.C.	TOP OF CURB
T.O.P.	TOP OF PAVEMENT
T.O.S.	TOP OF STEP
T.O.W.	TOP OF WALL
TR	TREAD
TS	TUBULAR STEEL
TSTAT.	THERMOSTAT
TYP.	TYPICAL
UG	UNDERGROUND
UL	UNDERWRITERS LABORATORY
VCT	VINYL COMPOSITION TILE
VERT.	VERTICAL
VTR	VENT THROUGH ROOF
VWC	VINYL WALL COVERING
W/	WITH
W/O	WITHOUT
WB	WET BULB
WC	WATER CLOSET
WD.	WOOD
WDW	WINDOW
WP	WEATHERPROOF
W.R.	WATER RESISTANT
WT.	WEIGHT

VICINITY MAP

LOCATION MAP



PROJECT/CODE DATA

EXISTING DEVELOPMENT

DESCRIPTION:	
PHYSICAL ADDRESS:	500 COURT SQUARE, CHARLOTTESVILLE VIRGINIA
NUMBER OF STORIES:	11
BUILDING HEIGHT:	121'-0" ±

CODE DATA

APPLICABLE CODES:	2009 IBC WITH VIRGINIA AMENDMENTS
USE GROUP CLASSIFICATION:	RESIDENTIAL
CONSTRUCTION TYPE:	R-4

PROJECT DIRECTORY

ARCHITECT

HEYWARD, BOYD ARCHITECTS, PC
JAMES R. BOYD, AIA
111 WEST HIGH STREET
CHARLOTTESVILLE, VA 22902
PHONE: 434-296-5353
FAX: 434-971-6634

SHEET INDEX

SITE STAGING NOTES

CONTRACTOR SHALL COORDINATE ALL STAGING AND ACCESS TO SITE/BUILDING WITH OWNER.

ALL INTERUPTIONS IN TRAFFIC FLOW ON PROPERTY AS WELL AS OCCUPANCY OF PARKING SPACES MUST BE COORDINATED WITH OWNER.

FREE AND CLEAR ACCESS AND EGRESS MUST BE MAINTAINED AROUND BUILDING AT ALL TIMES, EXCEPT AS REQUIRED BY THE WORK. COORDINATE WITH OWNER.

HEYWARD BOYD ARCHITECTS

REVISIONS

NO.	DATE
-	-

COMMONWEALTH OF VIRGINIA
JAMES R BOYD
Lic. No. 4107
08-27-12
ARCHITECT

ISSUE: PRELIM. DOCUMENTS

HEYWARD BOYD ARCHITECTS, P.C.
111 West High Street
Charlottesville, Virginia 22902
434-296-5353 434-971-6634 F

DRAWN BY:
CHECKED BY: JRB
FILE NAME:

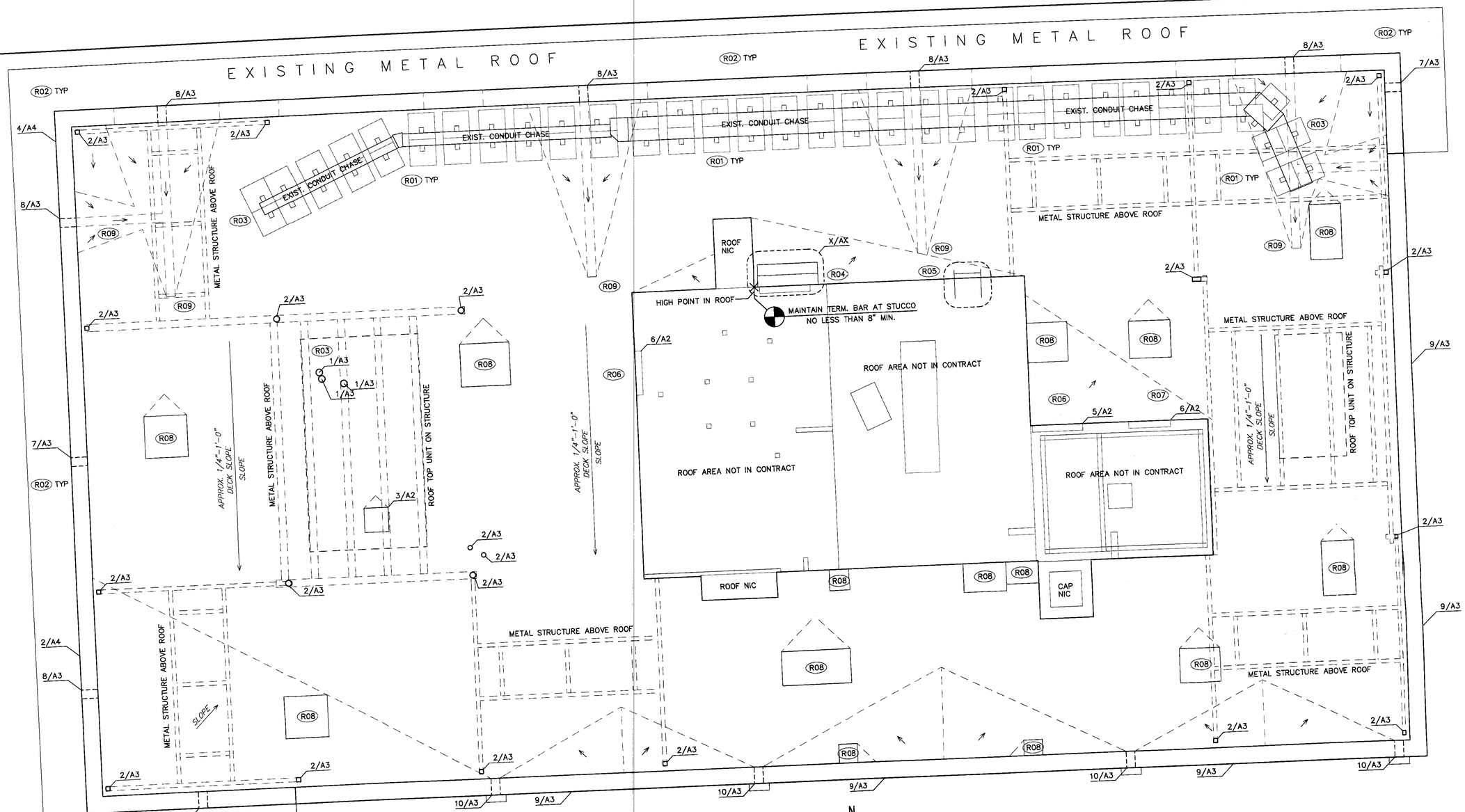
DRAWING TITLE: COVER SHEET

PROJECT NAME: 500 COURT SQUARE
ROOF REPLACEMENT
500 COURT SQUARE
CHARLOTTESVILLE, VIRGINIA

PROJECT NUMBER: 1206.06

SHEET NUMBER: COV

DATE: 8.27.12



1 / A1 NEW ROOF PLAN

SCALE: 1/4" = 1'-0"

N

KEYED ROOF REPLACEMENT NOTES:

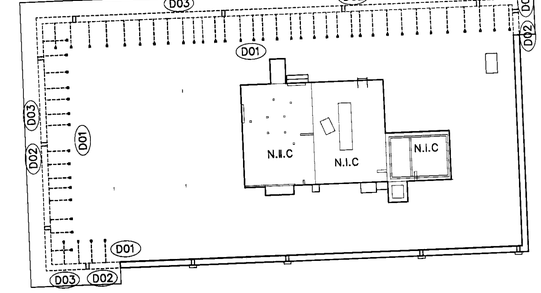
- R01 INSTALL A LAYER OF WALK PAD UNDER SLEEPERS CONTINUOUS.(TYP)
- R02 REPLACE ALL METAL CORNICE AND BALUSTRADE AS DETAILED AND SPECIFIED
- R03 EXISTING ANTENAE AND CONDUIT ON ROOF TO REMAIN.
- R04 EXISTING METAL STAIR SHALL BE RE-INSTALLED.
- R05 EXISTING LADDER SHALL HAVE RAILS CUT JUST BELOW BOTTOM RUNG.
- R06 RAISE EXISTING DOOR SILL AND INSTALL NEW DOOR TO DIMENSIONS AS FIELD VERIFIED.
- R07 RAISE EXISTING WINDOW AND INSTALL NEW WINDOW TO DIMENSIONS AS FIELD VERIFIED
- R08 FULLY COVER EXIST. CURBS AS SPECIFIED TO MEET OR EXCEED NEW ROOD WARRANTY
- R09 NEW TROUGH FROM SCUPPER AT 1/8" : 1' TO MEET NEW FINISHED ROOF AT 1/4":1'

KEYED ROOF REPLACEMENT NOTES:

- D01 REMOVE PARAPET SUPPORTS DOWN TO STRUCTURAL DECKING
- D02 REMOVE METAL BALUSTRADE
- D03 EXISTING METAL ROOF TO REMAIN

GENERAL ROOF REPLACEMENT NOTES:

1. COORDINATE ALL NEW WORK WITH ANY MECHANICAL AND ELECTRICAL EQUIP. AND DEMOLITION WORK.
2. REMOVE ALL EXISTING BALLAST, EPDM MEMBRANE, FLASHINGS, (UNLESS OTHERWISE NOTED), AND INSULATION DOWN TO STRUCTURAL DECK (CONCRETE)
3. PROTECT ALL FINISHED SURFACES DURING CONSTRUCTION. PATCH FINISHES AFFECTED/ DAMAGED BY NEW WORK.
4. DO NOT PILE BALLAST ON ROOF. PROPERLY DISPOSE OF OFF-SITE.
5. OWNER TO EVALUATE DECK PRIOR TO RECOVERING – IF DAMAGE OR UNEVEN DECKING IS ENCOUNTERED, IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER.
6. USE TAPERED INSULATION TO SLOPE EPDM AWAY FROM ROOF EDGE TOWARD ROOF DRAINS/ SCUPPERS AS REQUIRED(TYP.) SLOPE, DENOTES TAPERED INSULATION SLOPE DIRECTION. PROVIDE TAPER DIAGRAM OF NEW INSULATION BEFORE INSTALLATION. MAIN FIELD PORTION OF ROOF SHALL BE INSTALLED OVER SLOPED DECK AND REQUIRES NO TAPERED INSULATION. SEE PLAN FOR LOCATIONS OF TAPERED/CRICKET MATERIAL.
7. REPLACE ANY EXISTING VENT EXTENSIONS THAT ARE DAMAGED. (VERIFY IN FIELD) EXTEND PLUMBING VENTS TO BE 12" MINIMUM ABOVE NEW FINISHED ROOF IF REQUIRED.
8. ALL ROOF AREAS TO BE REPLACED SHALL RECEIVE A BASE LAYER OF (2) SHEETS 1 1/2" POLYISOCYANURATE INSULATION FULLY ADHERED TO DECK. SEE PLANS FOR CRICKET LOCATIONS AND SLOPE.
9. ALL MEASUREMENTS ON DRAWINGS ARE APPROXIMATE. ALL MEASUREMENTS SHALL BE VERIFIED IBY THE ROOFING CONTRACTOR.
10. CONTRACTOR IS RESPONSIBLE FOR COORDINATING OF DISCONNECTION AND RECONNECTION OF ALL ELECTRICAL EQUIPMENT W/ OWNER.
11. SEE SPECIFICATIONS FOR BASE LAYER POLYISOCYANURATE INSULATION FASTENING TO DECK.
12. ALL EXPOSED EDGES OF NEW SEAM TAPE INSTALLATIONS SHALL RECEIVE A CONTINUOUS BEAD OF APPROVED SEALANT – SEE ROOFING DETAILS FOR MORE INFORMATION.
13. INSTALL NEW CRICKET ON HIGHER SLOPE SIDE OF ALL SIGNIFICANT CURBS. SEE PLAN FOR LOCATIONS.
14. VERIFY HEIGHT ABOVE DECK OF ALL METAL CORNICE/BALUSTRADE AND SCUPPER COMPONIENTS. CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL ROOF TOP EQUIPMENT. COORDINIATE ANY VARIATIONS IN PLAN WITH OWNER REPRESENTATIVE.
15. REPLACE ANY DAMAGED CONDENSATE LINES TO MATCH EXISTING. VERIFY PROPER DRAINAGE AT EACH LOCATION PRIOR TO AND AFTER INSTALLATION OF NEW PIPING.
16. ALL EXISTING ROOF DECK SLOPES DOWN FROM NORTH TO SOUTH.
17. ALL NEW SCUPPER SLEEVES SHALL BE FULLY SOLDERED LEAD COATED COPPER.



2 / A1 DEMOLITION PLAN

NOT TO SCALE

HEYWARD BOYD ARCHITECTS, P.C.
111 West High Street
Charlottesville, Virginia 22902
434-296-5353 434-971-6634 F

REVISIONS

NO.	DATE
–	–

COMMONWEALTH OF VIRGINIA
JAMES R. BOYD
Lic. No. 4107
08-21-12
ARCHITECT

ISSUE: PRELIM. DOCUMENTS

DRAWN BY:
CHECKED BY: JRB
FILE NAME:

DRAWING TITLE: NEW ROOF PLAN

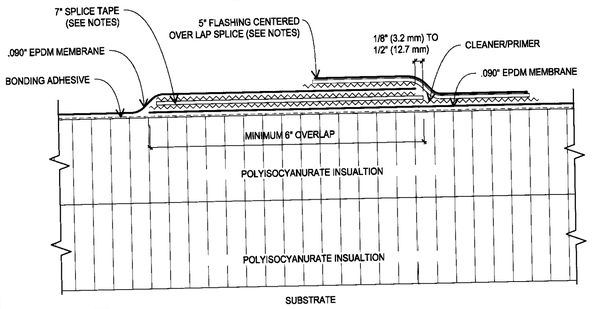
PROJECT NAME: 500 COURT SQUARE ROOF REPLACEMENT
500 COURT SQUARE

PROJECT NUMBER: 1206.06

SHEET NUMBER: A1

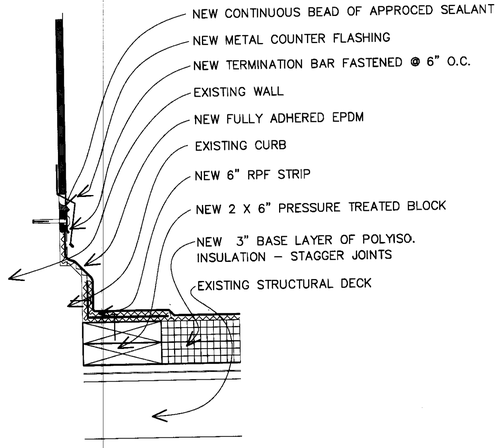
DATE: 8.27.12

NOTES:
1. END LAPS OF EPDM MUST OVERLAP SPLICE TAPE A MINIMUM OF 6" (25.4 mm).
2. END LAPS OF 5" FLASHING MUST OVERLAP A MINIMUM OF 2" (76.2 mm).

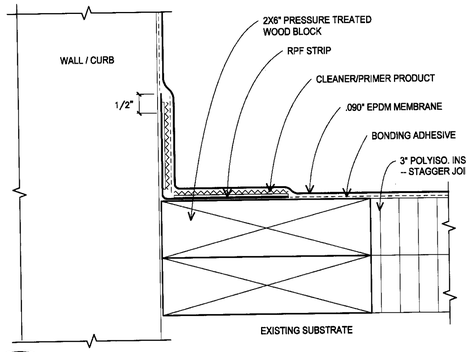


1 / A2 TYP SEAM DETAIL
NOT TO SCALE

NOTE:
REMOVE EXISTING STUCCO TO 12" FROM DECK

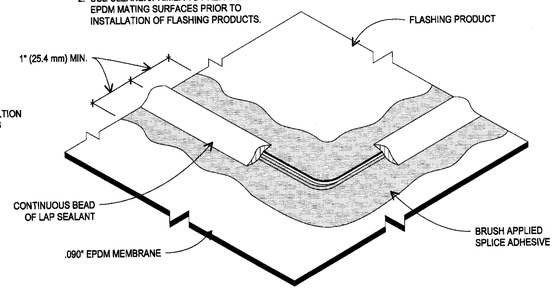


2 / A2 TYP STUCCO DETAIL
SCALE: 2" = 1'–0"

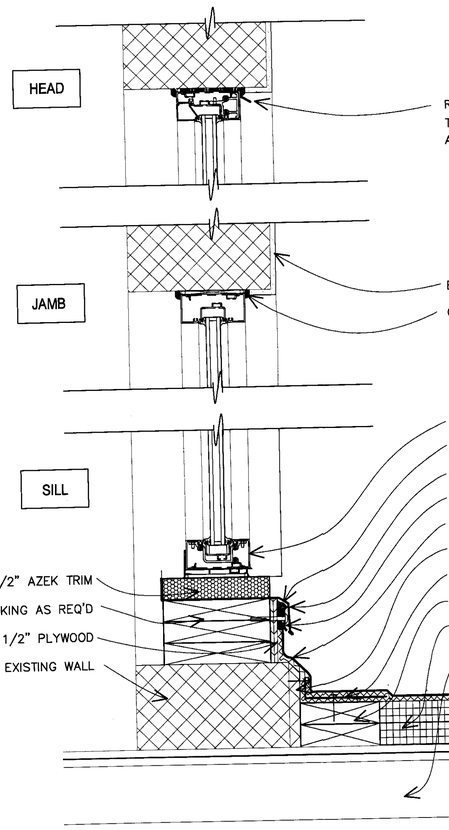


3 / A2 TYP RISING WALL DETAIL
SCALE: 6" = 1'–0"

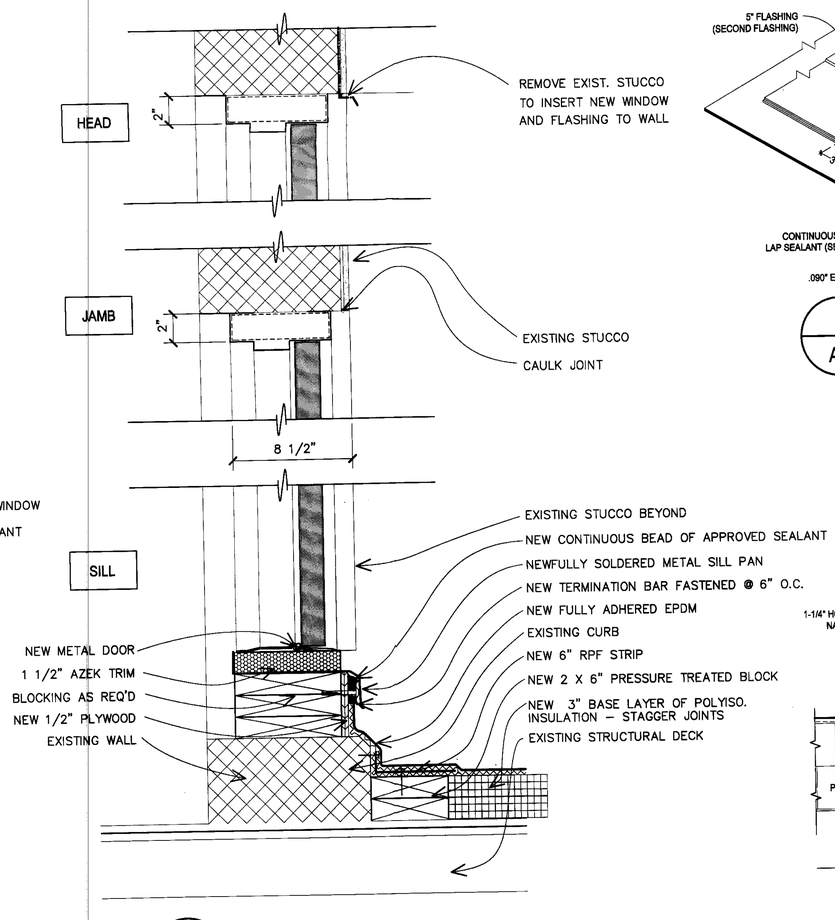
NOTES:
1. ALLOW SPLICE ADHESIVE TO FLASH OFF BEFORE APPLYING LAP SEALANT.
2. USE CLEANER/PRIMER TO PREPARE EPDM MATING SURFACES PRIOR TO INSTALLATION OF FLASHING PRODUCTS.



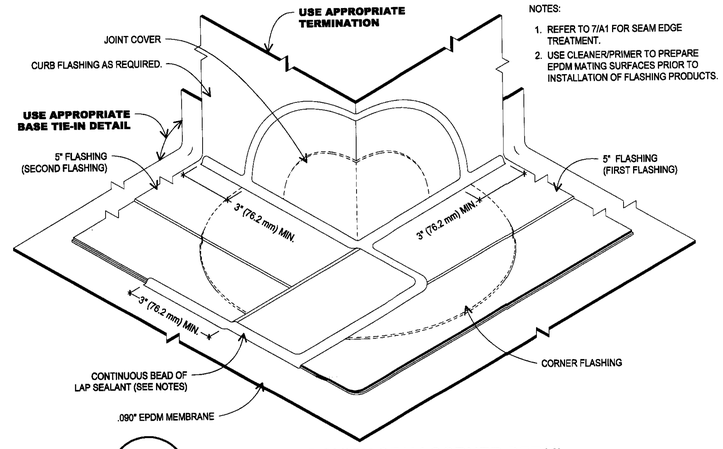
4 / A2 TYP LAP SEALANT
SCALE: 6" = 1'–0"



5 / A2 TYP WINDOW DETAIL
SCALE: 2" = 1'–0"



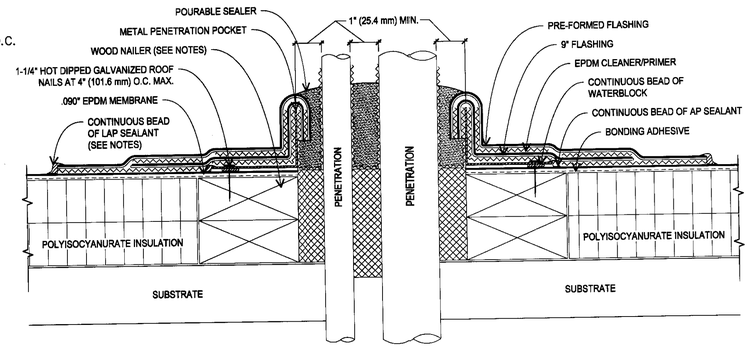
6 / A2 TYP DOOR DETAIL
SCALE: 2" = 1'–0"



NOTES:
1. REFER TO 7/A1 FOR SEAM EDGE TREATMENT.
2. USE CLEANER/PRIMER TO PREPARE EPDM MATING SURFACES PRIOR TO INSTALLATION OF FLASHING PRODUCTS.

7 / A2 TYP OUTSIDE QUICK SEAM CORNER DETAIL
SCALE: 6" = 1'–0"

NOTES:
1. REMOVE ALL EXISTING FLASHINGS, LEADS, ETC. PIPE SURFACE MUST BE FREE OF ALL RUST, GREASE INSULATION, ETC.
2. POURABLE SEALER MOUNDED TO SHED WATER (MINIMUM DEPTH OF 2" (50.8 mm))
3. DO NOT USE OVER EXISTING PENETRATION POCKETS.
4. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAR FOOT MINIMUM IN ANY GIVEN DIRECTION.
5. DO NOT USE WHEN SERVICE LINE TEMP. EXCEEDS 180DF. REFER TO 6/A2.
6. APPLY LAP SEALANT AROUND ENTIRE PERIMETER OF FLASHING. REFER TO 7/A1 FOR SEAM EDGE TREATMENT.
7. EPDM CLEANER/PRIMER REQUIRED ON PENETRATIONS AND MEMBRANE INSIDE OF PENETRATION POCKET.



8 / A2 TYP PITCH POCKET DETAIL
SCALE: 6" = 1'–0"

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COMMONWEALTH OF VIRGINIA
JAMES R BOYD
Lic. No. 4107
08-27-12
ARCHITECT

ISSUE: PRELIM. DOCUMENTS

CHECKED BY: JRB
DRAWN BY:
FILE NAME:

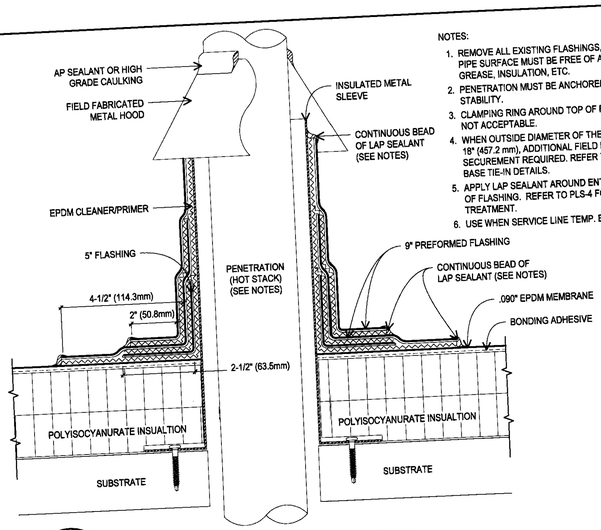
DRAWING TITLE: NEW ROOF DETAILS

PROJECT NAME: 500 COURT SQUARE ROOF REPLACEMENT
500 COURT SQUARE
CHARLOTTESVILLE, VIRGINIA

PROJECT NUMBER: 1206.06

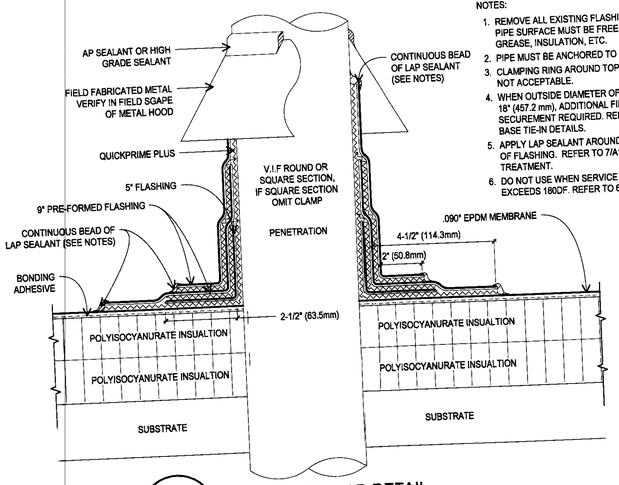
SHEET NUMBER: A2

DATE: 8.27.12



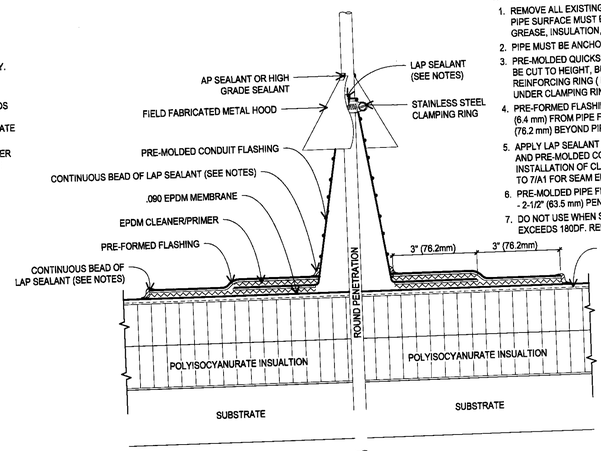
NOTES:
1. REMOVE ALL EXISTING FLASHINGS, LEAD, ETC. PIPE SURFACE MUST BE FREE OF ALL RUST, GREASE, INSULATION, ETC.
2. PENETRATION MUST BE ANCHORED TO ENSURE STABILITY.
3. CLAMPING RING AROUND TOP OF FLASHING NOT ACCEPTABLE.
4. WHEN OUTSIDE DIAMETER OF THE PIPE EXCEEDS 18" (457.2 mm), ADDITIONAL FIELD MEMBRANE SECUREMENT REQUIRED. REFER TO APPROPRIATE BASE TIE-IN DETAILS.
5. APPLY LAP SEALANT AROUND ENTIRE PERIMETER OF FLASHING. REFER TO PLS-4 FOR SEAM EDGE TREATMENT.
6. USE WHEN SERVICE LINE TEMP. EXCEEDS 180DF.

1 / A3 TYP FIELD WRAP HOT STACK DETAIL
SCALE: 6" = 1'-0"



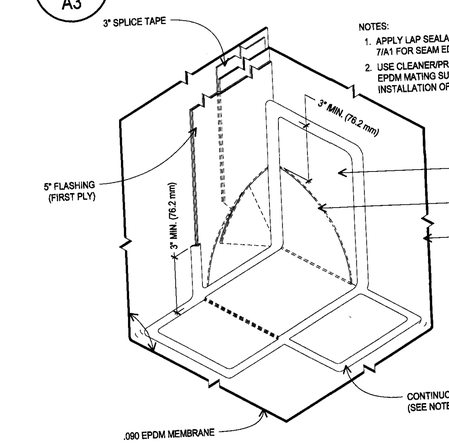
NOTES:
1. REMOVE ALL EXISTING FLASHINGS, LEAD, ETC. PIPE SURFACE MUST BE FREE OF ALL RUST, GREASE, INSULATION, ETC.
2. PIPE MUST BE ANCHORED TO ENSURE STABILITY.
3. CLAMPING RING AROUND TOP OF FLASHING NOT ACCEPTABLE.
4. WHEN OUTSIDE DIAMETER OF THE PIPE EXCEEDS 18" (457.2 mm), ADDITIONAL FIELD MEMBRANE SECUREMENT REQUIRED. REFER TO APPROPRIATE BASE TIE-IN DETAILS.
5. APPLY LAP SEALANT AROUND ENTIRE PERIMETER OF FLASHING. REFER TO 7/A1 FOR SEAM EDGE TREATMENT.
6. DO NOT USE WHEN SERVICE LINE TEMP. EXCEEDS 180DF. REFER TO 6/A2.

2 / A3 TYP FIELD WRAP DETAIL
SCALE: 6" = 1'-0"



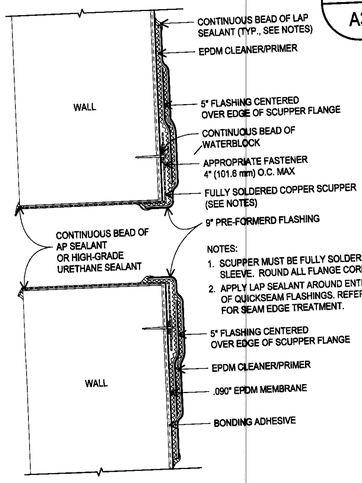
NOTES:
1. REMOVE ALL EXISTING FLASHINGS, LEADS, ETC. PIPE SURFACE MUST BE FREE OF ALL RUST, GREASE, INSULATION, ETC.
2. PIPE MUST BE ANCHORED TO ENSURE STABILITY.
3. PRE-MOLDED QUICKSEAM PIPE FLASHING MAY BE CUT TO HEIGHT, BUT NO LOWER THAN REINFORCING RING (NO WRINKLES OR FOLDS UNDER CLAMPING RING).
4. PRE-FORMED FLASHING EXTENDING 1/4" (6.4 mm) FROM PIPE FLASHING WALL TO 3" (76.2 mm) BEYOND PIPE FLASHING.
5. APPLY LAP SEALANT BETWEEN PENETRATION AND PRE-MOLDED CONDUIT FLASHING PRIOR TO INSTALLATION OF CLAMPING RING. REFER TO 7/A1 FOR SEAM EDGE TREATMENT.
6. PRE-MOLDED PIPE FLASHING FITS 1/2" (12.7 mm) - 2-1/2" (63.5 mm) PENETRATION SIZES.
7. DO NOT USE WHEN SERVICE LINE TEMP. EXCEEDS 180DF. REFER TO 6/A2.

3 / A3 TYP MOLDED FLASHING PENETRATION DETAIL
SCALE: 6" = 1'-0"



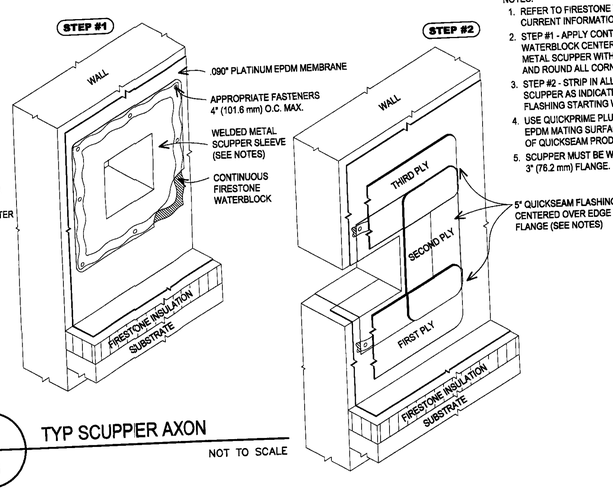
NOTES:
1. APPLY LAP SEALANT AS SHOWN. REFER TO 7/A1 FOR SEAM EDGE TREATMENT.
2. USE CLEANER/PRIMER TO PREPARE EPDM MATING SURFACES PRIOR TO INSTALLATION OF FLASHING PRODUCTS.

4 / A3 TYP INSIDE CORNER DETAIL
SCALE: 6" = 1'-0"



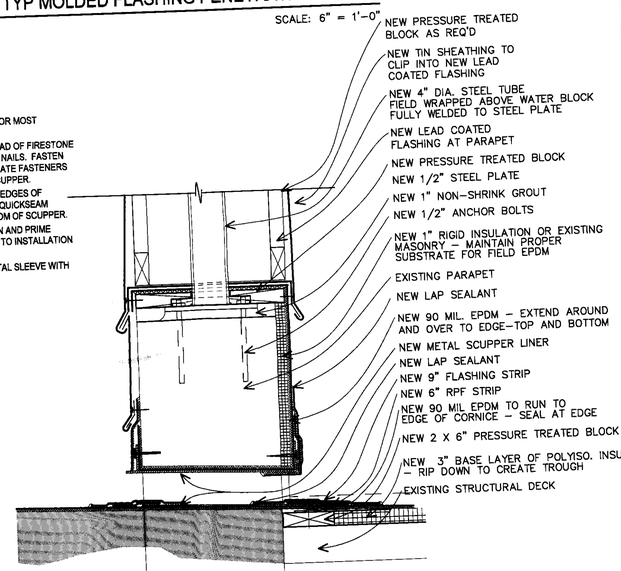
NOTES:
1. SCUPPER MUST BE FULLY SOLDERED COPPER SLEEVE. ROUND ALL FLANGE CORNERS.
2. APPLY LAP SEALANT AROUND ENTIRE PERIMETER OF QUICKSEAM FLASHINGS. REFER TO 7/A1 FOR SEAM EDGE TREATMENT.

5 / A3 TYP SCUPPER DETAIL
SCALE: 6" = 1'-0"

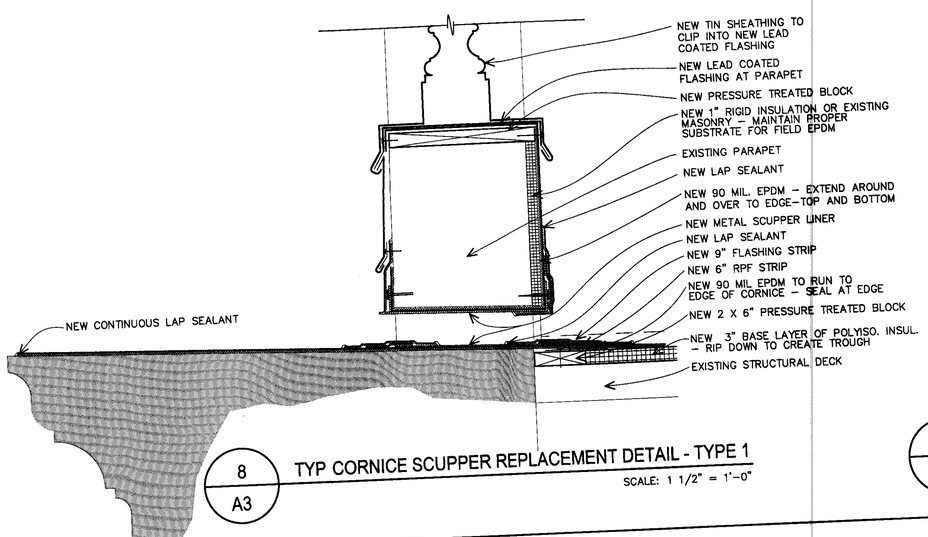


NOTES:
1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
2. STEP #1 - APPLY CONTINUOUS BEAD OF FIRESTONE WATERBLOCK CENTERED UNDER NAILS. FASTEN METAL SCUPPER WITH APPROPRIATE FASTENERS AND ROUND ALL CORNERS OF SCUPPER.
3. STEP #2 - STRIP IN ALL EXPOSED EDGES OF SCUPPER AS INDICATED WITH 5" QUICKSEAM FLASHING STARTING WITH BOTTOM OF SCUPPER.
4. USE QUICKPRIME PLUS TO CLEAN AND PRIME EPDM MATING SURFACES PRIOR TO INSTALLATION OF QUICKSEAM PRODUCTS.
5. SCUPPER MUST BE WELDED METAL SLEEVE WITH 3" (76.2 mm) FLANGE.

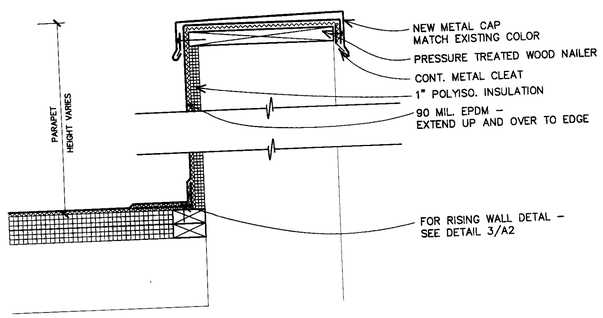
6 / A3 TYP SCUPPER AXON
NOT TO SCALE



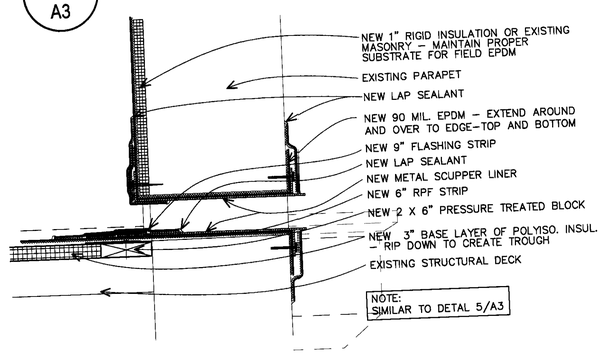
7 / A3 TYP CORNICE SCUPPER REPLACEMENT DETAIL - TYPE 2
SCALE: 1 1/2" = 1'-0"



8 / A3 TYP CORNICE SCUPPER REPLACEMENT DETAIL - TYPE 1
SCALE: 1 1/2" = 1'-0"



9 / A3 TYP HIGH WALL SCUPPER REPLACEMENT DETAIL
SCALE: 1 1/2" = 1'-0"



10 / A3 TYP HIGH WALL SCUPPER REPLACEMENT DETAIL
SCALE: 1 1/2" = 1'-0"

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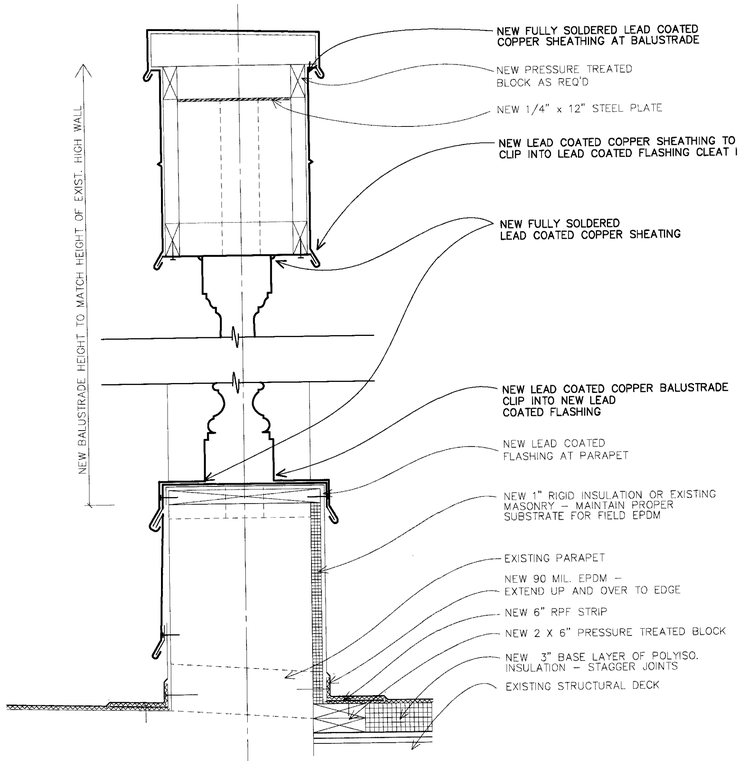
COMMONWEALTH OF VIRGINIA
JAMES R. BOYD
Lic. No. 4107
08-27-12
ARCHITECT

ISSUE: PRELIM. DOCUMENTS

DRAWN BY:
CHECKED BY: JRB
FILE NAME:

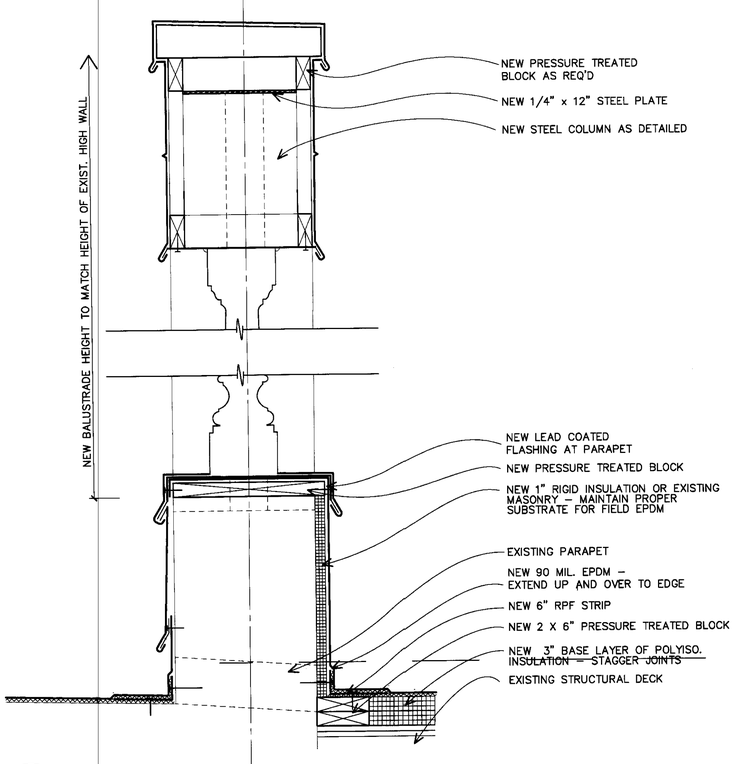
DRAWING TITLE: NEW ROOF DETAILS
PROJECT NAME: 500 COURT SQUARE ROOF REPLACEMENT
500 COURT SQUARE

PROJECT NUMBER: 1206.06
SHEET NUMBER: A3
DATE: 8.27.12



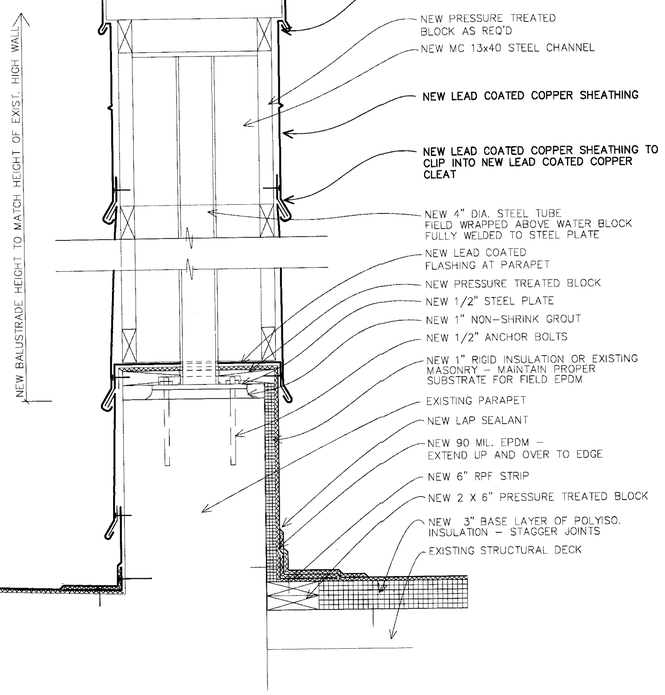
1 / A4 TYP BALUSTRADE REPLACEMENT DETAIL - TYPE 1

SCALE: 1 1/2" = 1'-0"



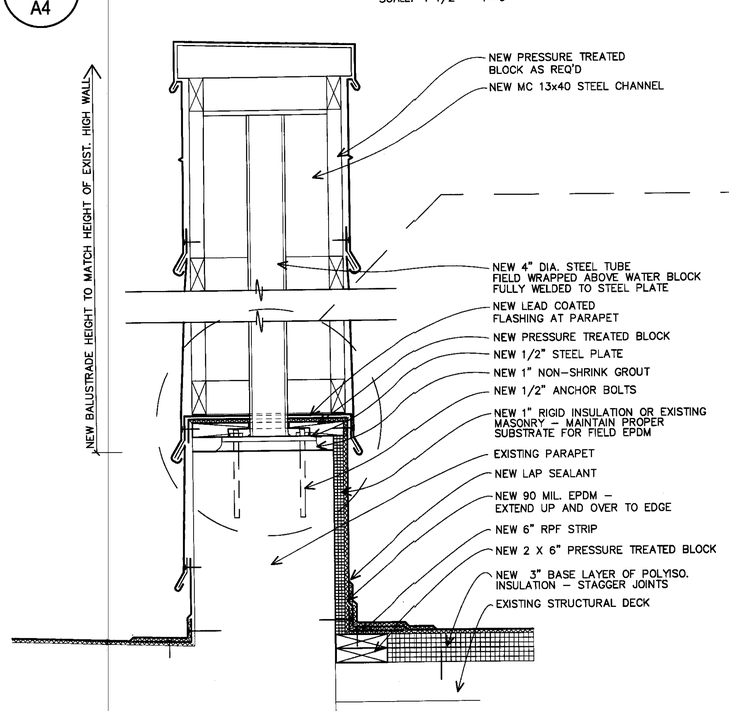
2 / A4 TYP THROUGH WALL FLASHING DETAIL - TYPE 1

SCALE: 1 1/2" = 1'-0"



3 / A4 TYP BALUSTRADE REPLACEMENT DETAIL - TYPE 2

SCALE: 1 1/2" = 1'-0"



4 / A4 TYP THROUGH WALL FLASHING DETAIL - TYPE 2

SCALE: 1 1/2" = 1'-0"

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COMMONWEALTH OF VIRGINIA
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08-27-12
ARCHITECT

ISSUE: CONSTR. DOC.S

DRAWN BY: CAC, SH
CHECKED BY: JRB
FILE NAME:

DRAWING TITLE: NEW ROOF DETAILS

PROJECT NAME: 500 COURT SQUARE ROOF REPLACEMENT
500 COURT SQUARE
CHARLOTTESVILLE, VIRGINIA

PROJECT NUMBER: 1217

SHEET NUMBER: A4

DATE: 08.27.12

TECHNICAL SEPCIFICATIONS

STEEL
STRUCTURAL-STEEL MATERIALS
SHAPES: ASTM A 992/A 992M.
CHANNELS, ANGLES AND S-SHAPES: ASTM A 36/A 36M.
PLATE AND BAR: ASTM A 36/A 36M.
COLD-FORMED HOLLOW STRUCTURAL SECTIONS: ASTM A 500, GRADE B, STRUCTURAL TUBING.
STEEL PIPE: ASTM A 53/A 53M, TYPE E OR S, GRADE B.
WELDING ELECTRODES: COMPLY WITH AWS REQUIREMENTS.
BOLTS, CONNECTORS, AND ANCHORS
HIGH-STRENGTH BOLTS, NUTS, AND WASHERS: ASTM A 325, TYPE 1, HEAVY HEX STEEL STRUCTURAL BOLTS; ASTM A 563 HEAVY HEX CARBON-STEEL NUTS; AND ASTM F 436 HARDENED CARBON-STEEL WASHERS.
FINISH: PLAIN.
HEADED ANCHOR RODS: ASTM F 1554, GRADE 36.
NUTS: ASTM A 563 HEAVY HEX CARBON STEEL.
PLATE WASHERS: ASTM A 36/A 36M CARBON STEEL.
WASHERS: ASTM F 436 HARDENED CARBON STEEL.
FINISH: PLAIN.
SURFACE PREPARATION: CLEAN SURFACES TO BE PAINTED. REMOVE LOOSE RUST AND MILL SCALE AND SPATTER, SLAG, OR FLUX DEPOSITS. PREPARE SURFACES ACCORDING TO THE FOLLOWING SPECIFICATIONS AND STANDARDS:
1.SSPC-SP 2, "HAND TOOL CLEANING," STRUCTURAL STEEL.
PRIMING: IMMEDIATELY AFTER SURFACE PREPARATION, APPLY PRIMER ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND AT RATE RECOMMENDED BY SSPC TO PROVIDE A DRY FILM THICKNESS OF NOT LESS THAN 1.5 MILS (3.0 MILS AT ARCHITECTURALLY EXPOSED STRUCTURAL STEEL). USE PRIMING METHODS THAT RESULT IN FULL COVERAGE OF JOINTS, CORNERS, EDGES, AND EXPOSED SURFACES.

APPLY TWO COATS OF SHOP PAINT TO INACCESSIBLE SURFACES AFTER ASSEMBLY OR ERECTION. CHANGE COLOR OF SECOND COAT TO DISTINGUISH IT FROM FIRST.

EPDM MEMBRANE ROOFING

ALL NEW ROOFING SHALL BE 90 MIL SCRIM REINFORCED BLACK EPDM FROM ONE OF THE FOLLOWING MANUFACTURES (NO EXCEPTIONS):

CARLISLE
FIRESTONE
VERSICO

THE ROOFING CONTRACTOR SHALL PROVIDE ALL WOOD NAILERS, BLOCKING, AND OTHER ROOFING RELATED ITEMS AND REMOVE EXISTING BALLAST, MEMBRANE AND INSULATION.

ADJOINING ROOF SECTIONS NOT INCLUDED IN THIS PROJECT ARE CURRENTLY, AND WILL REMAIN, UNDER PREEXISTING WARRANTY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THESE SECTIONS OCCURRING AS DIRECT RESULT OF CONSTRUCTION OPERATIONS ASSOCIATED WITH THIS PROJECT.

ROOFING SUBMITTALS SUBMIT THE FOLLOWING:

1.PRODUCT DATA, INSTALLATION INSTRUCTIONS, AND SPECIFIC RECOMMENDATIONS FROM MANUFACTURER OF EPDM SYSTEM COMPANY THAT IS WARRANTING THE INSTALLATION. INCLUDE DATA SUBSTANTIATING THAT MATERIALS, WARRANTY, AND INSTALLATION METHODS COMPLY WITH PROJECT REQUIREMENTS.
2.SHOP DRAWINGS SHOWING ROOF CONFIGURATION, SHEET LAYOUT, SEAM LOCATIONS, COLORS (AS APPLICABLE), DETAILS AT PERIMETER, DETAILS OF PITCH POCKETS, DETAILS OF WALL CONNECTIONS, AND DETAILS OF ALL SPECIAL CONDITIONS.
3.CERTIFICATION THAT MATERIALS COMPLY WITH LOCAL VOC LIMITATIONS.
4. CERTIFICATION THAT ROOFING CONTRACTOR=S MECHANIC=S HAVE BEEN TRAINED AND/OR CERTIFIED IN PROPER INSTALLATION BY THE ROOFING MATERIALS MANUFACTURER THAT IS WARRANTING THE SYSTEM. THE LETTER SHALL DESIGNATE THE NAME OF THE FOREMAN FOR THE PROJECT AND INDICATE WHEN AND WHERE THE EPDM FOREMAN WAS TRAINED BY THE COMPANY WARRANTING THE EPDM INSTALLATION.
5.CERTIFICATION FROM THE COMPANY ISSUING THE EPDM WARRANTY THAT THE EPDM CONTRACTOR IS AN ACCEPTABLE AND APPROVED MEMBRANE INSTALLER AND THAT THE CONTRACTOR HAS SATISFACTORILY INSTALLED AT LEAST 2,500 SQUARES OF WARRANTED EPDM WITHIN THREE YEARS OF THE BID DATE WITH THE SAME COMPANY THAT WILL BE WARRANTING THE EPDM INSTALLATION.
6.FURNISH A LETTER FROM THE COMPANY ISSUING THE WARRANTY THAT THE CONTRACTOR HAS MET THE INSPECTION PERFORMANCE CRITERIA TO QUALIFY AS ONE OF THE FOLLOWING:

CARLISLE – ESP CONTRACTOR (EXCELLENCE IN SINGLE PLY), CENTURION OR HALL OF FAME
VERSICO – EXCALIBUR CONTRACTOR
FIRESTONE – MASTER CONTRACTOR OR PARTNERS IN QUALITY
7.CERTIFICATION THAT THE EPDM SYSTEM ACHIEVES THE SPECIFIED WIND RATING.

ALL MATERIAL, INCLUDING ADHESIVES, INSULATION, TERMINATION BARS, COVER STRIPS AND MEMBRANE FROM THE COMPANY ISSUING THE WARRANTY.

UL LISTING: PROVIDE LABELED MATERIALS THAT HAVE BEEN TESTED AND LISTED BY UL IN "BUILDING MATERIALS DIRECTORY" OR BY OTHER NATIONALLY RECOGNIZED TESTING LABORATORY FOR CLASS A RATED MATERIALS/SYSTEM.

AT ALL TIMES A FOREMAN, CERTIFIED BY THE COMPANY WARRANTING THE EPDM SYSTEM SHALL BE PRESENT ON THE SITE. FOREMAN SHALL BE PROFICIENT IN BOTH SPOKEN AND WRITTEN ENGLISH.

THE EPDM SYSTEM SHALL ACHIEVE A WIND RATING OF I-120 OR GREATER, AS DEFINED BY FACTORY MUTUAL.

UPON COMPLETION OF THE INSTALLATION, THE APPLICATOR SHALL ARRANGE FOR AN INSPECTION TO BE MADE BY A NON-SALES TECHNICAL REPRESENTATIVE OF THE COMPANY ISSUING THE WARRANTY IN ORDER TO DETERMINE WHETHER OR NOT CORRECTIVE WORK WILL BE REQUIRED BEFORE THE WARRANTY WILL BE ISSUED. NOTIFY THE OWNER AT LEAST (72) HOURS PRIOR TO THE EPDM COMPANY=S INSPECTION AND ARRANGE FOR THE OWNER=S REPRESENTATIVE TO BE PRESENT DURING THIS INSPECTION.

ROOFING WARRANTIES: ALL WARRANTIES SHALL DESIGNATE THE BUILDING CONDOMINIUM ASSOCIATION AS OWNER.

PROVIDE THE FOLLOWING ROOFING WARRANTIES:

ROOFING CONTRACTORS SYSTEM GUARANTEE:

1.PROVIDE THE FOLLOWING ROOFING CONTRACTORS GUARANTEE ON THE GENERAL CONTRACTORS GUARANTY FORM:

THE ROOFING CONTRACTOR SHALL GUARANTY ITS MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE ROOFING, FLASHING, AND SHEET METAL WORK INCIDENTAL TO THE REROOFING PROJECT AGAINST DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF COMPLETION.
2.SPECIAL PROJECT WARRANTY: SUBMIT TWO EXECUTED COPIES OF 2 YEAR FLASHING WARRANTY IN ACCORDANCE WITH THE VIRGINIA ROOFING CONTRACTORS ASSOCIATION.
3.MANUFACTURERS EPDM TOTAL SYSTEM WARRANTY PERIOD: THIRTY (30) YEARS FROM DATE OF SUBSTANTIAL COMPLETION. THIS TOTAL SYSTEM WARRANTY SHALL COVER ALL NEW INSULATION AND ACCESSORIES:

IF FOR ANY REASON THIS WARRANTY CANNOT BE ISSUED BECAUSE OF THE DETAILS OR SPECIFICATIONS FOR THIS PROJECT, THE CONTRACTOR WILL NOTIFY THE ARCHITECT, IN WRITING, IN ADVANCE OF BIDDING. IF THIS NOTIFICATION IS NOT RECEIVED, IT WILL BE ASSUMED THAT THE WARRANTY CAN BE ISSUED AND NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR TO MAKE CHANGES IN THE SPECIFICATIONS OR DETAILS. THE CONTRACTOR SHALL HAVE THE FULL AND COMPLETE ASSURANCE FROM THE COMPANY WARRANTING THE SYSTEM THAT THE ROOFING WILL BE WARRANTED UPON COMPLETION. DEFICIENCIES FOUND BY THE COMPANY WARRANTING THE SYSTEM WILL BE BROUGHT TO REQUIRED LEVELS OF ACCEPTABILITY BY THE CONTRACTOR AT ITS EXPENSE SO AS TO COMPLETE REQUIREMENTS FOR ISSUANCE OF THE WARRANTY. THE CONTRACTOR, IN HIS MOST PROFESSIONAL CAPACITY, IS TO UNDERSTAND THE REQUIREMENTS OF THE MANUFACTURER AND THE OWNER IN PREPARATION OF THE BID. IN THE EVENT A CONFLICT BETWEEN THE ARCHITECTS SPECIFICATION AND DETAIL REQUIREMENTS AND THE REQUIREMENTS AND DETAILS OF A PARTICULAR MANUFACTURER SHOULD OCCUR, THE MORE STRINGENT OF THE TWO SHALL APPLY. SOME SECTIONS OF THE SPECIFICATIONS EXCEED THE MANUFACTURERS REQUIREMENTS. THEY ARE INTENDED TO INTERFACE WITH THE MANUFACTURES NORMAL DETAILS AND MUST BE ACCOMPLISHED IN ADDITION TO THE REQUIREMENTS OF THE MANUFACTURER AND IN COMPLIANCE WITH THE WARRANTY.

THE WARRANTY SHALL NOT DEPRIVE THE OWNER OF OTHER RIGHTS THE OWNER MAY HAVE UNDER OTHER PROVISIONS OF THE CONTRACT DOCUMENTS AND WILL BE IN ADDITION TO AND RUN CONCURRENT WITH OTHER WARRANTIES MADE BY THE CONTRACTOR UNDER REQUIREMENTS OF THE CONTRACT DOCUMENTS.

UPON COMPLETION, ALL TRASH AND EXCESS MATERIAL ARE TO BE REMOVED FROM THE SITE. STAGING AREA AND AREA USED FOR ACCESS TO THE BUILDING SHALL BE THOROUGHLY CLEANED OF MATERIALS, DIRT, SPILLS, ETC. RESEED AREA WHERE DISTURBED BY THE WORK. CLEAN ALL GLASS AND REPLACE ANY GLASS THAT MAY BE SCRATCHED BY THE WORK.

ROOFING REPAIRS: A FUNCTION OF THIS CONTRACT WILL BE FOR THE CONTRACTOR, DURING THE FIRST (2) TWO YEARS TO RESPOND WITHIN 48 HOURS TO ALLEGED LEAKS NOTICED BY THE OWNER. IF THE LEAK SOURCE IS GENERATED FROM SOMEWHERE OTHER THAN THE NEW ROOF SYSTEM, THE CONTRACTOR WILL BE APPROPRIATELY COMPENSATED. IF THE LEAK IS DETERMINED TO BE FROM THE NEW ROOF SYSTEM THE CONTRACTOR SHALL MAKE IMMEDIATE TEMPORARY REPAIRS AND SHALL MAKE PERMANENT REPAIRS WITHIN 14 CALENDAR DAYS. TO BE COMPENSATED FOR TIME SPENT INVESTIGATING LEAKS FROM OTHER SOURCES THE CONTRACTOR MUST DOCUMENT TIME SPENT ON-SITE AND HAVE HIS TIME CARD SINGED BY THE OWNER=S REPRESENTATIVE AT THE TIME OF THE EVENT AND THE CONTRACTOR MUST IDENTIFY THE SOURCE OF WATER INFUSION. FAILURE TO DO SO WILL NEGATE HIS OPPORTUNITY TO RECEIVE COMPENSATION.

ROOFING PRODUCTS: MEMBRANE ROOF ASSEMBLY SHALL ACHIEVE A MINIMUM ROOFING FIRE CLASSIFICATION CODE OF CLASS A, AS DEFINED IN THE VUSBC, 2009.

GENERAL: ETHYLENE PROPYLENE DIENE MONOMERS FORMED INTO UNIFORM, FLEXIBLE SHEETS, COMPLYING WITH THE MINIMUM PHYSICAL PROPERTIES OF ASTM D 4637, TYPE 1, BLACK. THE MEMBRANE SHALL BE MANUFACTURED IN A SINGLE PANELS SIZED TO REDUCE FIELD SPLICES AND INTERSECTIONS. THE EPDM FOR THE BASE BID SHALL ALSO COMPLY WITH THE FOLLOWING:

1.CLASS: REINFORCED WITH POLYESTER FABRIC, FULLY ADHERED, WITH REDUNDANT SEAMS.
2.THICKNESS: 90 MILS, NOMINAL (MIN).
3.EXPOSED FACE COLOR: BLACK.

ROOFING AUXILIARY MATERIALS

SHEET SEAMING SYSTEM: SEVEN INCH WIDE SPLICE TAPE SHALL BE USED FOR ALL FIELD SEAMS. LAP ALL SPLICES A MINIMUM OF SIX INCHES. ALL FIELD SEAMS SHALL ALSO BE STRIPPED WITH AN ADDITIONAL SIX INCH WIDE CURED EPDM. THE FIELD SEAM EDGE SHALL BE LOCATED IN THE CENTER OF THE FIELD APPLIED PIECE OF COVER EPDM.

FLASHING MATERIAL: SEMI-CURED EPDM WITH FACTORY APPLIED ADHESIVE. UNCURED MEMBRANE MAY BE USED ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT.

PITCH POCKETS: PLASTIC SECTIONS FOR FIELD ASSEMBLY WITH FACTORY APPLIED ADHESIVE STRIPS. UNITS SHALL BE PRESSURE SENSITIVE. METAL OR CERAMIC PITCH POCKETS SHALL NOT BE USED. SEALER SHALL BE SUPPLIED BY THE EPDM COMPANY ISSUING THE WARRANTY.

RUBBER ROOF TREAD: MOLDED BLACK RUBBER PADS, EACH 30" X 30" WITH FACTORY ROUNDED CORNERS. ADHERE TO EPDM WITH SPLICE TAPE, IF TREADS ARE NOT MANUFACTURED WITH TAPE PRE-LAMINATED. POSITION APPROXIMATELY TWO INCHES APART.

PIPE CLAMP RINGS: STAINLESS STEEL WITH STAINLESS STEEL SCREWS.

MECHANICAL FASTENERS:

TYPE AFOR ATTACHMENT TO WOOD DECKING: MANUFACTURERS STEEL SCREWS.

TYPE BFOR TERMINATION BAR ATTACHMENT: HP (HIGH PERFORMANCE) HAMMER SCREW EXPANSION ANCHOR WITH STAINLESS STEEL DRIVE PIN. MINIMUM PULLOUT RESISTANCE OF 250 POUNDS OR GREATER.

MEMBRANE ADHESIVE: AS RECOMMENDED BY COMPANY WARRANTING THE EPDM INSTALLATION FOR PARTICULAR SUBSTRATE AND PROJECT CONDITIONS, FORMULATED TO WITHSTAND MINIMUM 80 PSF UPLIFT FORCE.

1.PROVIDE ADHESIVES THAT COMPLY WITH LOCAL REQUIREMENTS LIMITING AMOUNTS OF VOLATILE ORGANIC COMPOUNDS.

2.PROVIDE ADHESIVES FOR BLACK MEMBRANE.

WHEREVER POSSIBLE USE SEAM TAPE WITH FACTORY APPLIED ADHESIVE. FIELD APPLIED ADHESIVES SHALL BE USED ONLY WHERE SEAM TAPE IS NOT POSSIBLE.

WOOD NAILERS: NO. 2 OR BETTER SYP TREATED WITH WOLMAN WOOD PRESERVATIVE IN ACCORDANCE WITH SPECIFICATION FOR TREATMENT OF KOPPERS CO., INC. RETENTION SHALL BE .036 POUNDS PER CUBIC FOOT OF WOOD. LUMBER SHALL BE AIR SEASONED AFTER TREATMENT TO A 15% MOISTURE CONTENT. CREOSOTE AND ASPHALTIC PRESERVATIVES SHALL NOT BE USED.

PLYWOOD PANELS

1.DOC PS 2 IS A PERFORMANCE-BASED STANDARD THAT DOES NOT INCLUDE REQUIREMENTS FOR GRADES OF VENEERS.
2.PLYWOOD: DOC PS 1.

REINFORCED TERMINATION STRIP: (RTS): SIX INCHES WIDE, 100 FOOT LONG STRIPS OF NYLON REINFORCED EPDM, PRESSURE SENSITIVE.

NAILS FOR EPDM ATTACHMENT: HOT DIPPED GALVANIZED ROOFING NAILS, TWO INCHES LONG WITH ONE INCH DIAMETER CAPS.

PLUMBING VENT FLASHING: FACTORY PREFORMED UNITS. USE FIELD FORMED UNITS ONLY WHERE APPROVED BY THE ARCHITECT.

EPDM SPLICE CLEANERS, SEALERS, PRIMERS, AND ADHESIVES SHALL ALL BE THE PRODUCTS OF THE COMPANY WARRANTING THE EPDM SYSTEM. USE PRODUCTS MANUFACTURED FOR BLACK ROOFING.

UNCURED EPDM FOR OUTSIDE CORNER FLASHING.

EXTENSIONS FOR PLUMBING VENTS SHALL BE SCHEDULE 40 PVC WITH NO HUB CONNECTION UTILIZING STAINLESS STEEL TENSION BANDS.

WOOD PRODUCTS, GENERAL

LUMBER: DOC PS 20 AND APPLICABLE RULES OF LUMBER GRADING AGENCIES CERTIFIED BY THE AMERICAN LUMBER STANDARDS COMMITTEE BOARD OF REVIEW.

3.FACTORY MARK EACH PIECE OF LUMBER WITH GRADE STAMP OF GRADING AGENCY.
4.DRESSED SIZES OF GREEN LUMBER ARE LARGER THAN DRY LUMBER IN DOC PS 20.
5.PROVIDE DRESSED LUMBER, S4S, UNLESS OTHERWISE INDICATED.
6.VERIFY AVAILABILITY OF BELOW. LUMBER MORE THAN 2 INCHES NOMINAL (38 MM ACTUAL) IN THICKNESS IS TYPICALLY SHIPPED GREEN.
7.PROVIDE DRY LUMBER WITH 15 PERCENT MAXIMUM MOISTURE CONTENT AT TIME OF DRESSING FOR 2-INCH NOMINAL (38-MM ACTUAL) THICKNESS OR LESS, UNLESS OTHERWISE INDICATED.

FASTENERS

A.GENERAL: PROVIDE FASTENERS OF SIZE AND TYPE INDICATED THAT COMPLY WITH REQUIREMENTS SPECIFIED IN THIS ARTICLE FOR MATERIAL AND MANUFACTURE.

1.PROVIDE FASTENERS OF AISI TYPE 304 STAINLESS STEEL.
2.USE POWER-DRIVEN SCREW-TYPE FASTENERS TO FASTEN WOOD TO WOOD, WOOD TO CONCRETE, AND WOOD TO MASONRY.
a.3/16-INCH DIAMETER, HEX-HEAD STAINLESS STEEL SCREWS: 410 STAINLESS STEEL TAPCON BY ITW BUILDEX OR APPROVED EQUIVALENT. LENGTH OF FASTENER AS REQUIRED TO PROVIDE 1-INCH MINIMUM FASTENER EMBEDMENT IN SUBSTRATE.

INSULATING MATERIALS

GENERAL: ALL NEW INSULATION BOARD SHALL BE POLYISOCYANURATE, AS FOLLOWS:

1.COMPATIBILITY: PROVIDE PRODUCTS THAT ARE RECOMMENDED BY MANUFACTURERS TO BE FULLY COMPATIBLE WITH INDICATED SUBSTRATES, OR PROVIDE SEPARATION MATERIALS AS REQUIRED TO ELIMINATE CONTACT BETWEEN INCOMPATIBLE MATERIALS.
2.POLYISOCYANURATE BOARD ROOF INSULATION: RIGID, CELLULAR THERMAL INSULATION WITH POLYISOCYANURATE CLOSED-CELL FOAM CORE AND MANUFACTURER'S STANDARD FACING LAMINATED TO BOTH SIDES; COMPLYING WITH ASTM C1289; MINIMUM COMPRESSIVE STRENGTH 25 PSI.
3.SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE FOLLOWING:
a.POLYISOCYANURATE HP; CARLISLE SYNTEC SYSTEMS
b.ISO 95+; FIRESTONE BUILDING PRODUCTS CO.
c.VERSICO ISO; VERSICO ROOFING SYSTEMS

4.ALL AREAS SHOWN ON THE DRAWINGS SHALL HAVE ALL EXISTING INSULATION AND ROOFING REMOVED AND NEW INSULATION AND FULLY ADHERED EPDM INSTALLED.

5.CONSULT DRAWINGS FOR THICKNESSES REQUIRED AND LOCATION OF TAPERED INSULATION BOARD.

GENERAL: PROVIDE INSULATING MATERIALS TO COMPLY WITH REQUIREMENTS INDICATED FOR MATERIALS AND WITH REFERENCED STANDARDS IN SIZES TO FIT APPLICATIONS INDICATED, SELECTED FROM MANUFACTURER'S STANDARD THICKNESSES, WIDTHS, AND LENGTHS.

6.PROVIDE BASE LAYERS OF FLAT INSULATION IN (2) TWO LAYERS OF 1 " THICK EACH, STAGGER JOINTS BOTH WAYS. TOTAL BASE LAYERS OF INSULATION SHALL EQUAL 3 IN THICKNESS EXCLUDING TAPERED INSULATION.
7.INSULATION SHALL BE CONTINUOUS. GAPS BETWEEN UNITS SHALL BE LESS THAN 1/4 INCH IN WIDTH.
8.PROVIDE TAPERED INSULATION FOR CRICKETS AT DRAIN VALLEYS, AS INDICATED ON DRAWINGS. ALL AREAS INDICATED AS SLOPED ON PLANS SHALL RECEIVE TAPERED INSULATION.
9.POLYISOCYANURATE BOARD ROOF INSULATION: RIGID, CELLULAR, THERMAL INSULATION WITH POLYISOCYANURATE CLOSED-CELL FOAM CORE AND MANUFACTURER'S STANDARD FACING LAMINATED TO BOTH SIDES; COMPLYING WITH FS HH-I-1972/2, CLASS 1, GRADE 3 DENSITY OF 25 PSI.
10.AT STEEL ROOF DECKS, INSULATION SHALL BE SECURED BY MECHANICAL FASTENERS AND PRESSURE PLATES, AS SPECIFIED. MAXIMUM BOARD SIZE SHALL BE 4-0 X 8-0.

TAPERED INSULATION SHALL BE OF POLYISOCYANURATE WITH A TAPER OF 1/8" IN 12".

AUXILIARY INSULATION MATERIALS

ADHESIVE FOR BONDING INSULATION: TYPE RECOMMENDED BY INSULATION MANUFACTURER AND COMPLYING WITH FIRE-RESISTANCE REQUIREMENTS. HEATED, LOW RISE SPRAY ADHESIVES WILL NOT BE CONSIDERED FOR THIS PROJECT.

MASTIC SEALER: TYPE RECOMMENDED BY INSULATION MANUFACTURER FOR BONDING EDGE JOINTS AND FILLING VOIDS. USE WHITE SEALANT.

MECHANICAL ANCHORS: CORROSION-RESISTANT TYPE AS RECOMMENDED BY INSULATION MANUFACTURER FOR DECK TYPE AND COMPLYING WITH FIRE AND INSURANCE WIND-UPLIFT RATING REQUIREMENTS.

PROVIDE SYSTEM TESTED AND APPROVED FOR I-120 WIND-UPLIFT RATING, AS DEFINED BY FACTORY MUTUAL.

REMOVAL OF EXISTING ROOFING

THE EXISTING LOW SLOPE ROOFS CONSISTS OF STONE BALLASTED EPDM OVER INSULATION BOARD OVER CONCRETE DECK.

GENERAL: THE ENTIRE AREA TO BE REROOFED WILL HAVE ALL INSULATION AND MEMBRANE REMOVED AND RECEIVE NEW WARRANTED FULLY ADHERED EPDM MEMBRANE. .

THE OWNER HAS NOT TESTED FOR ASBESTOS CONTAINING MATERIALS.

CARE SHALL BE TAKEN NOT TO DAMAGE THE STRUCTURAL DECK BELOW EXISTING ROOFING

DO NOT PILE TRASH ON ROOF.

TAKE MEASURES NECESSARY TO ENSURE THAT LOOSE MATERIALS AND DEBRIS DOES NOT FALL ONTO THE GROUND OR DAMAGE TO PROPERTY OR PERSONS USING THE STRUCTURE.

DISPOSE OF ALL MATERIAL IN A LEGAL MANNER. ALL TIPPING FEES AND HAULING EXPENSES SHALL BE INCLUDED WITH THE WORK OF THIS SECTION.

PEPARING SUBSTRATE

GENERAL: COMPLY WITH MANUFACTURERS' INSTRUCTIONS TO PREPARE SUBSTRATE TO RECEIVE SINGLE PLY MEMBRANE SYSTEM.

VERIFY THAT PENETRATIONS, EXPANSION JOINTS, AND BLOCKING ARE IN PLACE AND SECURED AND THAT ROOF DRAINS ARE PROPERLY CLAMPED INTO POSITION.

CLEAN SUBSTRATE OF DUST, DEBRIS, AND OTHER SUBSTANCES DETRIMENTAL TO SINGLE PLY SYSTEM INSTALLATION. REMOVE SHARP PROJECTIONS.

SHOULD DAMAGED DECKING BE ENCOUNTERED, NOTIFY THE OWNER=S REPRESENTATIVE AT ONCE. DO NOT PROCEED UNTIL THE DAMAGED CONDITIONS ARE REVIEWED WITH THE OWNER=S REPRESENTATIVE.

PREVENT COMPOUNDS FROM ENTERING AND CLOGGING DRAINS AND CONDUCTORS AND FROM SPILLING OR MIGRATING ONTO SURFACES OF OTHER WORK.

ROOF DRAINAGE

PRIOR TO INSTALLING NEW ROOFING, CONFIRM THAT ALL EXISTING SCUPPERS/CONDUCTOR HEADS/DOWNSPOUTS/DRAIN BOOTS ARE NOT LEAKING AND PROPERLY FUNCTIONING.

CLEAR ALL SCUPPERS OF GRAVEL, TRASH AND DEBRIS.

TEST EACH DRAINAGE LOCATION BY RUNNING WATER THROUGH A 3/4" GARDEN HOSE FOR THIRTY MINUTES. NOTIFY THE OWNER=S REPRESENTATIVE IF THIS TEST UNCOVERS A CLOGGED PIPING OR A LEAK THAT IS NOT ASSOCIATED WITH THE ROOFING WORK. THE ROOFING CONTRACTOR SHALL PROVIDE ALL HOSES NECESSARY FOR DRAIN TESTING. COORDINATE USE OF OWNER=S HOSE BIB WITH OWNER=S REPRESENTATIVE.

INSTALLING INSULATION

GENERAL: CONSULT DRAWINGS FOR THICKNESS OF INSULATION. WHERE INSULATION IS TWO INCHES OR THICKER, INSTALL IN TWO LAYERS, OR IN MULTIPLE LAYERS OVER ENTIRE SURFACE TO BE INSULATED, CUTTING AND FITTING TIGHTLY AROUND OBSTRUCTIONS. FORM CANT STRIPS, CRICKETS, SADDLES, AND TAPERED AREAS WITH ADDITIONAL MATERIAL AS SHOWN AND AS REQUIRED FOR PROPER DRAINAGE OF MEMBRANE.

STAGGER JOINTS IN ONE DIRECTION FOR EACH COURSE. FOR MULTIPLE LAYERS, STAGGER JOINTS IN BOTH DIRECTIONS BETWEEN COURSES WITH NO GAPS, TO FORM A COMPLETE THERMAL ENVELOPE.

DO NOT INSTALL MORE INSULATION IN A DAY THAN CAN BE COVERED WITH MEMBRANE BEFORE END OF DAY OR BEFORE START OF INCLEMENT WEATHER. INSTALL ONLY DRY INSULATION. WET INSULATION WILL NOT BE ACCEPTABLE.

SUBSTRATE SHALL BE DRY AND FREE OF TRASH AND DEBRIS. DO NOT INSTALL INSULATION OF WET OR DAMP DECKING.

FOR TAPERED INSULATION: FASTEN BASE LAYERS AS INDICATED IN ITEM AC@ ABOVE. ADHERE TAPERED INSULATION WITH MANUFACTURE APPROVED ADHESIVE. FAN NOZZLE APPLICATION OF LOW RISE FOAM WILL NOT BE ACCEPTED ON THIS PROJECT. ASPHALT IS NOT APPROVED FOR USE ON THIS PROJECT.

INSTALLING MEMBRANE – GENERAL

GENERAL: A FOREMAN TRAINED AND CERTIFIED BY THE COMPANY ISSUING THE EPDM SYSTEM WARRANTY SHALL BE PRESENT AT ALL TIMES THAT EPDM IS BEING INSTALLED.

INSTALL ONLY AS MUCH MATERIAL AS CAN BE MADE WATERTIGHT AT THE END OF EACH DAYS WORK.

AT ALL TIMES HAVE A CONTINGENCY PLAN FOR MAKING THE ROOF WATERTIGHT SHOULD WEATHER CONDITIONS REQUIRE THAT THE WORK BE SUSPENDED ON SHORT NOTICE.

FULLY ADHERED MEMBRANE: INSTALL MEMBRANE BY UNROLLING OVER PREPARED SUBSTRATE, LAPPING ADJOINING SHEETS AS RECOMMENDED BY COMPANY ISSUING THE WARRANTY. APPLY ADHESIVE TO SURFACES TO BE BONDED AND ROLL INTO PLACE WHEN ADHESIVE HAS PROPERLY CURED. LAP ALL SPLICES A MINIMUM OF SIX INCHES. INSTALL AN EPDM PRESSURE SENSITIVE COVER TAPE, SIX INCHES WIDE, WITH ADHESIVES FACTORY APPLIED OVER ALL FIELD SEAMS. TREAT SEAMS WITH SPECIAL ADHESIVE AND APPLY SEALANT TO EXPOSED SHEET EDGES, TAPERING APPLICATION AS RECOMMENDED BY MANUFACTURER. INSTALL FLASHING AS RECOMMENDED BY COMPANY ISSUING THE EPDM WARRANTY.

WALKWAY PROTECTION: INSTALL ROOF WALK TREAD UNITS AT LOCATIONS SHOWN AND WHERE REQUIRED FOR ACCESS TO ROOF MOUNTED EQUIPMENT. PLACE PROTECTION BOARDS CAREFULLY TO AVOID DAMAGE TO MEMBRANE.

AT THE END OF EACH DAY=S WORK, THE CONTRACTOR SHALL MAKE A POSITIVE, WATERTIGHT NIGHT-SEAL TO INSURE THE PROTECTION OF MATERIALS IN PLACE AND THE INTERIOR OF THE BUILDING. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE THE ROOF OPEN, REGARDLESS OF FORECASTED WEATHER CONDITIONS. PROPER NIGHT SEALING IS DEFINED AS COMPLETE SEAL BETWEEN THE NEW MEMBRANE AND THE EXISTING ROOF, REGARDLESS OF EXISTING ROOFING MATERIAL. NIGHT SEALS SHALL BE MADE IN COMPLETE ACCORDANCE WITH MANUFACTURE=S GUIDELINES. UNDER NO CIRCUMSTANCES SHALL EXISTING BUILT-UP ROOFING BE MOVED, ELEVATED, OR JACKED UP TO FACILITATE A DAILY NIGHT SEAL.

PROTECTING ROOFING

AFTER COMPLETING ROOFING (INCLUDING ASSOCIATED WORK), INSTITUTE APPROPRIATE PROCEDURES FOR SURVEILLANCE AND PROTECTION OF ROOFING DURING REMAINDER OF CONSTRUCTION PERIOD. AT THE END OF THE CONSTRUCTION PERIOD, OR AT A TIME WHEN REMAINING CONSTRUCTION WILL IN NO WAY AFFECT OR ENDANGER ROOFING, MAKE A FINAL INSPECTION OF ROOFING AND PREPARE A WRITTEN REPORT TO OWNER, DESCRIBING NATURE AND EXTENT OF DETERIORATION OR DAMAGE FOUND.

REPAIR OR REPLACE (AS REQUIRED) DETERIORATED OR DEFECTIVE WORK FOUND AT THE TIME OF FINAL INSPECTION TO A CONDITION FREE OF DAMAGE AND DETERIORATION AT THE TIME OF SUBSTANTIAL COMPLETION AND ACCORDING TO THE REQUIREMENTS OF THE SPECIFIED WARRANTY.

STANDARDS FOR INSTALLATION OF FULLY ADHERED MEMBRANE

MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS SHALL BE FOLLOWED IN ALL RESPECTS FOR INSTALLATION OF MEMBRANE MATERIALS. IN ADDITION TO MEMBRANE MANUFACTURERS REQUIREMENTS, THE FOLLOWING STANDARDS AND REMEDIAL ACTIONS ARE SPECIFIED FOR INSTALLATION OF MEMBRANE MATERIALS AS PART OF THE WORK:

1.MISCELLANEOUS MECHANICAL FASTENERS: MECHANICAL FASTENERS FOR SECURING INSULATION TO ROOF DECKING SHALL IN ALL CASES BE DRIVEN TIGHT. LOOSE, OVERDRIVEN, OR BACKED OUT FASTENERS WILL NOT BE ACCEPTABLE. IF A STRAIGHTEDGE IS PLACED OVER A FASTENER AND THAT FASTENER IS GREATER THAN 1/8-INCH ABOVE THE SURFACE OF THE SURROUNDING MEMBRANE, THAT FASTENER SHALL BE CONSIDERED TO BE BACKED OUT. LOOSE, OVERDRIVEN, OR BACKED OUT FASTENERS WILL BE REPAIRED IN ACCORDANCE WITH SPECIFICATION TS 18 IN THE ARMA/NRCA/SPRI REPAIR MANUAL FOR LOW-SLOPE ROOF SYSTEMS. EACH SUCH REPAIR SHALL BE CONSIDERED A PATCH.
2.FIELD LAP SEAMS: FIELD LAP SEAMS AND SEAM COVER TAPE SHALL BE INSTALLED ALONG STRAIGHT LINES. A FOUR FOOT STRAIGHTEDGE SHALL BE PLACED ALONG ANY GIVEN SECTION OF LAP SEAM OR SEAM COVER TAPE; A VARIANCE OF MORE THAN -INCH IN EITHER DIRECTION, OR A TOTAL OF -INCH IN BOTH DIRECTIONS, SHALL CONSTITUTE FAILURE TO MEET THE STANDARDS OF GOOD WORKMANSHIP. SECTIONS OF MEMBRANE WITH SEAMS NOT COMPLYING WITH THIS STANDARD SHALL BE REMOVED AND REPLACED.
3.WRINKLES IN MEMBRANE: FIELD MEMBRANE SHALL BE ADHERED WITH A MINIMUM OF WRINKLING. WRINKLES GREATER THAN 24 INCHES IN LENGTH, OR GROUPS OF WRINKLES WHICH CONTAIN A TOTAL OF 30 INCHES, SHALL CONSTITUTE FAILURE TO MEET THE STANDARDS OF GOOD WORKMANSHIP. WRINKLES NOT COMPLYING WITH THIS STANDARD SHALL BE REPAIRED IN ACCORDANCE WITH SPECIFICATION TS 7 IN THE ARMA/NRCA/SPRI REPAIR MANUAL FOR LOW-SLOPE ROOF SYSTEMS. EACH SUCH REPAIR SHALL BE CONSIDERED A PATCH.
4.CUTS AND HOLES: ALL CUTS AND HOLES IN THE MEMBRANE SHALL BE REPAIRED IN ACCORDANCE WITH SPECIFICATION TS 3 OR 5, AS APPLICABLE, IN THE ARMA/NRCA/SPRI REPAIR MANUAL FOR LOW-SLOPE ROOF SYSTEMS. EACH SUCH REPAIR SHALL BE CONSIDERED A PATCH.
5.REPLACEMENT OF DEFICIENT FIELD MEMBRANE: AREAS OF ROOF MEMBRANE CONTAINING MORE THAN 3 PATCHES IN ANY AREA OF 100 SQUARE FEET SHALL BE CONSIDERED DEFECTIVE, AND SHALL BE REMOVED AND REPLACED AT THE DIRECTION OF THE ARCHITECT.

FLASHING AND SHEET METAL

METAL INCLUDE:
1.SURFACE MOUNTED COUNTERFLASHING.
2.PARAPET COPING CAP.
3.GRAVEL STOP/FASCIA METAL.
4.ORNAMENTAL METAL TRIM.

HB ARCHITECTS

REVIEWS
NO. DATE

COMMONWEALTH OF VIRGINIA
JAMES R. BOYD
Lic. No. 4107
08-27-12
ARCHITECT

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FILE NAME:

DRAWING TITLE: SPECIFICATIONS
PROJECT NAME: 500 COURT SQUARE ROOF REPLACEMENT
500 COURT SQUARE
CHARLOTTESVILLE, VIRGINIA

PROJECT NUMBER: 1217
SHEET NUMBER: A5

DATE: 08.27.12

GUTTERS AND DOWNSPOUTS WILL REMAIN AND NOT BE REPLACED WITH THIS PROJECT.

METALS SUBMITTALS: PROVIDE THE FOLLOWING:

1.PRODUCT DATA, FLASHING, SHEET METAL, FASTENERS, AND ACCESSORIES: MANUFACTURER'S TECHNICAL PRODUCT DATA, COLOR SELECTION FOR PRE-FINISHED METALS, AND GENERAL RECOMMENDATIONS FOR EACH SPECIFIED SHEET MATERIAL AND FABRICATED PRODUCT.

2.PROVIDE SHOP DRAWINGS OF ALL DETAILS FOR NEW CORNICE SYSTEM AT MINIMUM SCALE OF 1-1/2 = 1-0, SHOWING ALL TYPICAL DETAILS AND ALL SPECIAL CONDITIONS.

GENERAL: INSTALL SHEET METAL FLASHING AND TRIM TO WITHSTAND WIND LOADS, STRUCTURAL MOVEMENT, THERMALLY INDUCED MOVEMENT, AND EXPOSURE TO WEATHER WITHOUT FAILING.

PROJECT CONDITIONS

COORDINATE WORK OF THIS SECTION WITH INTERFACING AND ADJOINING WORK FOR PROPER SEQUENCING OF EACH INSTALLATION. ENSURE BEST POSSIBLE WEATHER RESISTANCE AND DURABILITY OF WORK AND PROTECTION OF MATERIALS AND FINISHES.

SHEET METAL FLASHING AND TRIM MATERIALS

A.ZINC-TIN ALLOY-COATED STAINLESS-STEEL SHEET: ASTM A 240/A 240M, TYPE 304, DEAD-SOFT, FULLY ANNEALED STAINLESS-STEEL SHEET OF MINIMUM UNCOATED THICKNESS INDICATED; COATED ON BOTH SIDES WITH A ZINC-TIN ALLOY (50 PERCENT ZINC, 50 PERCENT TIN), WITH FACTORY-APPLIED GRAY PREWEATHERING, 28 GAUGE (0.015) EXCEPT AS OTHERWISE INDICATED. NOTE LEAD COATED COPPER MAY BE USED IN LIEU OF TERNE METAL. PROVIDE AT THE FOLLOWING LOCATIONS:

1.ORNAMENTAL TRIM AND EXPOSED CORNICE CAPS.

C. COPPER ASTM B 370, COLD-ROLLED COPPER SHEET, H00 TEMPER, UNLESS OTHERWISE INDICATED. WEIGHT (THICKNESS): 16 OZ./SQ. FT., - PROVIDE AT THE FOLLOWING LOCATIONS:

1.COUNTER FLASHING.

FABRICATED UNITS

A.GENERAL METAL FABRICATION: SHOP-FABRICATE WORK TO GREATEST EXTENT POSSIBLE. COMPLY WITH DETAILS SHOWN AND WITH APPLICABLE REQUIREMENTS OF SMACNA "ARCHITECTURAL SHEET METAL MANUAL" AND OTHER RECOGNIZED INDUSTRY PRACTICES. FABRICATE FOR WATERPROOF AND WEATHER-RESISTANT PERFORMANCE, WITH EXPANSION PROVISIONS FOR RUNNING WORK, SUFFICIENT TO PERMANENTLY PREVENT LEAKAGE, DAMAGE, OR DETERIORATION OF THE WORK. FORM WORK TO FIT SUBSTRATES. COMPLY WITH MATERIAL MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS FOR FORMING MATERIAL. FORM EXPOSED SHEET METAL WORK WITHOUT EXCESSIVE OIL-CANNING, BUCKLING, AND TOOL MARKS, TRUE TO LINE AND LEVELS INDICATED, WITH EXPOSED EDGES FOLDED BACK TO FORM HEMS.

1.DAMAGED, SCRATCHED, OR DIMPLED SECTIONS OF PREFINISHED METAL SHALL BE REPLACED PRIOR TO INSTALLATION OF SLATE SHINGLES. FIELD TOUCH UP PAINTING WILL NOT BE ACCEPTED.
2.RECEIVERS FOR BUILT-IN GUTTER LINERS SHALL BE CONTINUOUS.

SEAMS: FABRICATE NONMOVING SEAMS IN SHEET METAL WITH FLAT-LOCK SEAMS. FOR METAL OTHER THAN ALUMINUM, TIN EDGES TO BE SEAMED, FORM SEAMS, AND SOLDER.

EXPANSION PROVISIONS: WHERE LAPPED OR BAYONET-TYPE EXPANSION PROVISIONS IN WORK CANNOT BE USED OR WOULD NOT BE SUFFICIENTLY WATER/WEATHERPROOF, FORM EXPANSION JOINTS OF INTERMESHING HOOKED FLANGES, NOT LESS THAN 1 INCH DEEP, FILLED WITH MASTIC SEALANT (CONCEALED WITHIN JOINTS).

SEALANT JOINTS: WHERE MOVABLE, NONEXPANSION TYPE JOINTS ARE INDICATED OR REQUIRED FOR PROPER PERFORMANCE OF WORK, FORM METAL TO PROVIDE FOR PROPER INSTALLATION OF ELASTOMERIC SEALANT, IN COMPLIANCE WITH SMACNA STANDARDS.

SEPARATIONS: PROVIDE FOR SEPARATION OF METAL FROM NONCOMPATIBLE METAL OR CORROSIVE SUBSTRATES BY COATING CONCEALED SURFACES AT LOCATIONS OF CONTACT, WITH BITUMINOUS COATING OR OTHER PERMANENT SEPARATION AS RECOMMENDED BY MANUFACTURER/FABRICATOR.

SHOP FINISH FOR FASTENERS: PROVIDE SCREWS, NAILS, AND RIVETS WITH SAME FINISH AS SHEET METAL.

ALL SHEET METAL SHALL BE SHOP FABRICATED WITH ALL BENDS BRAKE FORMED.

CORNERS AND OTHER TRANSITION PIECES SHALL BE SHOP-MANUFACTURED; JOINTS AND SEAMS SHALL BE LAPPED, RIVETED TO FORM COMPLETE, WATERTIGHT UNITS.

INSTALLATION REQUIREMENTS

GENERAL: EXCEPT AS OTHERWISE INDICATED, COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS AND WITH SMACNA "ARCHITECTURAL SHEET METAL MANUAL." ANCHOR UNITS OF WORK SECURELY IN PLACE BY METHODS INDICATED, PROVIDING FOR THERMAL EXPANSION OF METAL UNITS; CONCEAL FASTENERS WHERE POSSIBLE, AND SET UNITS TRUE TO LINE AND LEVEL AS INDICATED. INSTALL WORK WITH LAPS, JOINTS, AND SEAMS THAT WILL BE PERMANENTLY WATERTIGHT AND WEATHERPROOF. WHERE SHEET METAL IS SCREW FASTENED TO WOOD SUBSTRATE, PROVIDE SCREWS AT SPACING SHOWN ON THE DRAWINGS.

CLEANING AND PROTECTION

CLEAN EXPOSED METAL SURFACES, REMOVING SUBSTANCES THAT MIGHT CAUSE CORROSION OF METAL OR DETERIORATION OF FINISHES.

PROTECTION: ADVICE CONTRACTOR OF REQUIRED PROCEDURES FOR SURVEILLANCE AND PROTECTION OF FLASHINGS AND SHEET METAL WORK DURING CONSTRUCTION TO ENSURE THAT WORK WILL BE WITHOUT DAMAGE OR DETERIORATION OTHER THAN NATURAL WEATHERING AT TIME OF SUBSTANTIAL COMPLETION.

HOLLOW METAL DOORS AND FRAMES

PERFORM ALL STANDARD HOLLOW METAL WORK: HOLLOW METAL WORK FABRICATED ACCORDING TO ANSI/SDI A250.8.
SUBMITTALS: SUBMIT THE FOLLOWING:
PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. INCLUDE CONSTRUCTION DETAILS, MATERIAL DESCRIPTIONS, CORE DESCRIPTIONS, FIRE-RESISTANCE RATING, AND FINISHES.
SHOP DRAWINGS: INCLUDE THE FOLLOWING:
2.ELEVATIONS OF EACH DOOR DESIGN.
3.DETAILS OF DOORS, INCLUDING VERTICAL AND HORIZONTAL EDGE DETAILS AND METAL THICKNESSES.
4.FRAME DETAILS FOR EACH FRAME TYPE, INCLUDING DIMENSIONED PROFILES AND METAL THICKNESSES.
5.LOCATIONS OF REINFORCEMENT AND PREPARATIONS FOR HARDWARE.
6.DETAILS OF EACH DIFFERENT WALL OPENING CONDITION.
7.DETAILS OF ANCHORAGES, JOINTS, FIELD SPLICES, AND CONNECTIONS.
PRODUCT TEST REPORTS: BASED ON EVALUATION OF COMPREHENSIVE TESTS PERFORMED BY A QUALIFIED TESTING AGENCY, FOR EACH TYPE OF HOLLOW METAL DOOR AND FRAME ASSEMBLY.
QUALITY ASSURANCE
FIRE-RATED DOOR ASSEMBLIES: ASSEMBLIES COMPLYING WITH NFPA 80 THAT ARE LISTED AND LABELED BY A QUALIFIED TESTING AGENCY. PROVIDE 45 MINUTE RATED DOORS AND FRAMES.

DELIVERY, STORAGE, AND HANDLING

DELIVER HOLLOW METAL WORK PALLETIZED, WRAPPED, OR CRATED TO PROVIDE PROTECTION DURING TRANSIT AND PROJECT-SITE STORAGE. DO NOT USE NONVENTED PLASTIC.
DELIVER WELDED FRAMES WITH TWO REMOVABLE SPREADER BARS ACROSS BOTTOM OF FRAMES, TACK WELDED TO JAMBS AND MULLIONS.
STORE HOLLOW METAL WORK UNDER COVER AT PROJECT SITE. PLACE IN STACKS OF FIVE UNITS MAXIMUM IN A VERTICAL POSITION WITH HEADS UP, SPACED BY BLOCKING, ON MINIMUM 4-INCH- (102-MM-) HIGH WOOD BLOCKING. DO NOT STORE IN A MANNER THAT TRAPS EXCESS HUMIDITY.
PROVIDE MINIMUM 1/4-INCH (6-MM) SPACE BETWEEN EACH STACKED DOOR TO PERMIT AIR CIRCULATION.
COORDINATION
COORDINATE INSTALLATION OF ANCHORAGES FOR HOLLOW METAL FRAMES. FURNISH SETTING DRAWINGS, TEMPLATES, AND DIRECTIONS FOR INSTALLING ANCHORAGES, INCLUDING SLEEVES, CONCRETE INSERTS, ANCHOR BOLTS, AND ITEMS WITH INTEGRAL ANCHORS. DELIVER SUCH ITEMS TO PROJECT SITE IN TIME FOR INSTALLATION.
REUSE EXISTING HARDWARE. COORDINATE INSTALLATION OF HARDWARE.

MATERIALS

COLD-ROLLED STEEL SHEET: ASTM A 1008/A 1008M, COMMERCIAL STEEL (CS), TYPE B; SUITABLE FOR EXPOSED APPLICATIONS.
HOT-ROLLED STEEL SHEET: ASTM A 1011/A 1011M, COMMERCIAL STEEL (CS), TYPE B; FREE OF SCALE, PITTING, OR SURFACE DEFECTS; PICKLED AND OILED. FIRST OPTION IN FIRST PARAGRAPH BELOW IS DEFAULT FOR STANDARD HOLLOW METAL WORK.
METALLIC-COATED STEEL SHEET: ASTM A 653/A 653M, COMMERCIAL STEEL (CS), TYPE B; WITH MINIMUM G60 (Z180) METALLIC COATING.
FRAME ANCHORS: ASTM A 591/A 591M, COMMERCIAL STEEL (CS), 4OZ (12G) COATING DESIGNATION; MILL PHOSPHATIZED.
FOR ANCHORS BUILT INTO EXTERIOR WALLS, STEEL SHEET COMPLYING WITH ASTM A 1008/A 1008M OR ASTM A 1011/A 1011M, HOT-DIP GALVANIZED ACCORDING TO ASTM A 153/A 153M, CLASS B.

INSERTS, BOLTS, AND FASTENERS: HOT-DIP GALVANIZED ACCORDING TO ASTM A 153/A 153M.
POWDER-ACTUATED FASTENERS IN CONCRETE: FASTENER SYSTEM OF TYPE SUITABLE FOR APPLICATION INDICATED, FABRICATED FROM CORROSION-RESISTANT MATERIALS, WITH CLIPS OR OTHER ACCESSORY DEVICES FOR ATTACHING HOLLOW METAL FRAMES OF TYPE INDICATED.
GROUT: ASTM C 476, EXCEPT WITH A MAXIMUM SLUMP OF 4 INCHES (102 MM), AS MEASURED ACCORDING TO ASTM C 143/C 143M.
BITUMINOUS COATING: COLD-APPLIED ASPHALT MASTIC, SSPC-PAINT 12, COMPOUNDED FOR 15-MIL (0.4-MM) DRY FILM THICKNESS PER COAT. PROVIDE INERT-TYPE NONCORROSIVE COMPOUND FREE OF ASBESTOS FIBERS, SULFUR COMPONENTS, AND OTHER DELETERIOUS IMPURITIES.

STANDARD HOLLOW METAL DOORS

GENERAL: PROVIDE DOORS OF DESIGN INDICATED, NOT LESS THAN THICKNESS INDICATED; FABRICATED WITH SMOOTH SURFACES, WITHOUT VISIBLE JOINTS OR SEAMS ON EXPOSED FACES UNLESS OTHERWISE INDICATED. COMPLY WITH ANSI/SDI A250.8.
DESIGN: FLUSH PANEL.
CORE CONSTRUCTION: MANUFACTURER'S STANDARD KRAFT-PAPER HONEYCOMB, POLYSTYRENE, POLYURETHANE, POLYISOCYANURATE, MINERAL-BOARD, OR VERTICAL STEEL-STIFFENER CORE.
a.THERMAL-RATED (INSULATED) DOORS: WHERE INDICATED, PROVIDE DOORS FABRICATED WITH THERMAL-RESISTANCE VALUE (R-VALUE) OF NOT LESS THAN 6.0 DEG F X H X SQ. FT./BTU (1.057 K X SQ. M/W) WHEN TESTED ACCORDING TO ASTM C 1363.
1)LOCATIONS: EXTERIOR DOORS.
VERTICAL EDGES FOR SINGLE-ACTING DOORS: BEVELED EDGE
TOP AND BOTTOM EDGES: CLOSED WITH FLUSH OR INVERTED 0.042-INCH- (1.0-MM-) THICK, END CLOSURES OR CHANNELS OF SAME MATERIAL AS FACE SHEETS.
TOLERANCES: COMPLY WITH SDI 117, "MANUFACTURING TOLERANCES FOR STANDARD STEEL DOORS AND FRAMES."
EXTERIOR DOORS: FACE SHEETS FABRICATED FROM METALLIC-COATED STEEL SHEET. PROVIDE DOORS COMPLYING WITH REQUIREMENTS INDICATED BELOW BY REFERENCING ANSI/SDI A250.8 FOR LEVEL AND MODEL AND ANSI/SDI A250.4 FOR PHYSICAL PERFORMANCE LEVEL: LEVEL 2 AND PHYSICAL PERFORMANCE LEVEL A (HEAVY DUTY), MODEL 1 (FULL FLUSH)
HARDWARE REINFORCEMENT: FABRICATE ACCORDING TO ANSI/SDI A250.6 WITH REINFORCING PLATES FROM SAME MATERIAL AS DOOR FACE SHEETS.
1.2STANDARD HOLLOW METAL DO NOT SPECIFY STANDARD HOLLOW METAL FRAMES FOR CUSTOM HOLLOW METAL DOORS OR HARDWARE COORDINATION PROBLEMS MAY RESULT. SEE EVALUATIONS FOR DISCUSSION. GENERAL: COMPLY WITH ANSI/SDI A250.8 AND WITH DETAILS INDICATED FOR TYPE AND PROFILE.
1.FABRICATE FRAMES AS FULL PROFILE WELDED UNLESS OTHERWISE INDICATED.
FRAMES FOR LEVEL 3 STEEL DOORS: 0.067-INCH- (1.7-MM-) THICK STEEL SHEET.
HARDWARE REINFORCEMENT: FABRICATE ACCORDING TO ANSI/SDI A250.6 WITH REINFORCEMENT PLATES FROM SAME MATERIAL AS FRAMES.

FRAME ANCHORS

JAMB ANCHORS:
RETRO MASONRY TYPE: ADJUSTABLE STRAP-AND-STIRRUP OR T-SHAPED ANCHORS TO SUIT FRAME SIZE, NOT LESS THAN 0.042 INCH (1.0 MM) THICK, WITH CORRUGATED OR PERFORATED STRAPS NOT LESS THAN 2 INCHES (50 MM) WIDE BY 10 INCHES (250 MM) LONG; OR WIRE ANCHORS NOT LESS THAN 0.177 INCH (4.5 MM) THICK.
STOPS AND MOLDINGS
MOLDINGS FOR GLAZED LITES IN DOORS: MINIMUM 0.032 INCH (0.8 MM) THICK, FABRICATED FROM SAME MATERIAL AS DOOR FACE SHEET IN WHICH THEY ARE INSTALLED..
STEEL FINISHES
PRIME FINISH: APPLY MANUFACTURER'S STANDARD PRIMER IMMEDIATELY AFTER CLEANING AND PRETREATING.
SHOP PRIMER: MANUFACTURER'S STANDARD, FAST-CURING, LEAD- AND CHROMATE-FREE PRIMER COMPLYING WITH ANSI/SDI A250.10 ACCEPTANCE CRITERIA; RECOMMENDED BY PRIMER MANUFACTURER FOR SUBSTRATE; COMPATIBLE WITH SUBSTRATE AND FIELD-APPLIED COATINGS DESPITE PROLONGED EXPOSURE.

ALUMINUM STOREFRONTS WIND

SUBMITTALS: PROVIDE THE FOLLOWING:
PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. INCLUDE CONSTRUCTION DETAILS, MATERIAL DESCRIPTIONS, DIMENSIONS OF INDIVIDUAL COMPONENTS AND PROFILES, AND FINISHES FOR ALUMINUM-FRAMED SYSTEMS.
FRAMING SYSTEMS
FRAMING MEMBERS: MANUFACTURER'S STANDARD EXTRUDED-ALUMINUM FRAMING MEMBERS OF THICKNESS REQUIRED AND REINFORCED AS REQUIRED TO SUPPORT IMPOSED LOADS.
CONSTRUCTION: THERMALLY BROKEN
GLAZING SYSTEM: RETAINED MECHANICALLY WITH GASKETS ON FOUR SIDES
GLAZING PLANE: CENTER
CONCEALED FLASHING: MANUFACTURER'S STANDARD CORROSION-RESISTANT, NONSTAINING, NONBLEEDING FLASHING COMPATIBLE WITH ADJACENT MATERIALS.
GLAZING: INSULATING-GLASS UNITS: FACTORY-ASSEMBLED UNITS CONSISTING OF SEALED LITES OF GLASS SEPARATED BY A DEHYDRATED INTERSPACE, QUALIFIED ACCORDING TO ASTM E 2190, AND COMPLYING WITH OTHER REQUIREMENTS SPECIFIED.
SEALING SYSTEM: DUAL SEAL, WITH MANUFACTURER'S STANDARD
SPACER: ALUMINUM WITH BRONZE, COLOR ANODIC FINISH
DESICCANT: MOLECULAR SIEVE OR SILICA GEL, OR BLEND OF BOTH.
PROVIDE KIND FT (FULLY TEMPERED) WHERE SAFETY GLASS IS REQUIRED
GLAZING GASKETS: MANUFACTURER'S STANDARD COMPRESSION TYPES; REPLACEABLE, MOLDED OR EXTRUDED, OF PROFILE AND HARDNESS REQUIRED TO MAINTAIN WATERTIGHT SEAL.
SPACERS AND SETTING BLOCKS: MANUFACTURER'S STANDARD ELASTOMERIC TYPE.
COLOR ANODIC FINISH: AAMA 611, AA-M12C22A42/A44, CLASS I, 0.018 OR THICKER, DARK BRONZE ANODIZED ALUMINUM.

PAINTING PRIMERS:

EXTERIOR FERROUS-METAL PRIMER: FACTORY-FORMULATED RUST INHIBITIVE METAL PRIMER FOR EXTERIOR APPLICATION.
BENJAMIN MOORE; INDUSTRIAL LATEX METAL PRIMER M04: APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 1.1 MILS.
PITTSBURG PAINTS 90-709 SERIES PITT TECH ACRYLIC DTM ONE PACK PRIMER FINISH INDUSTRIAL RUST INHIBITIVE STEEL PRIMER; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 2.0 MILS.
SHERWIN-WILLIAMS; PRO-CRYL UNIVERSAL PRIMER, B66-310 SERIES: APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 2-4 MILS.
EXTERIOR GALVANIZED METAL PRIMER: FACTORY-FORMULATED RUST INHIBITIVE METAL PRIMER FOR EXTERIOR APPLICATION.
BENJAMIN MOORE; FRESH START INTERIOR/.EXTERIOR PRIMER NO. 023: APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 1.1 MILS
PITTSBURG PAINTS 90-709 SERIES PITT TECH ACRYLIC DTM ONE PACK PRIMER FINISH INDUSTRIAL RUST INHIBITIVE STEEL PRIMER; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 2.0 MILS.
SHERWIN-WILLIAMS; PRO-CRYL UNIVERSAL PRIMER, B66-310 SERIES: APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 2-4 MILS.

FINISH COATS (TWO COATS)
EXTERIOR SEMI-GLOSS FOR METAL: FACTORY-FORMULATED SEMI-GLOSS WATERBORNE FOR EXTERIOR APPLICATION.
BENJAMIN MOORE; ACRYLIC DTM SEMI-GLASS NO. M29; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 1.3 MILS.
PITTSBURG PAINTS 90-709 SERIES PITT TECH ACRYLIC DTM ONE PACK ACRYLIC DTM ENAMEL; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 2.0 MILS.
SHERWIN-WILLIAMS; A-100 EXTERIOR LATEX GLOSS, AB SERIES; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN 1.3 MILS.

CONCRETE SHALL MEET THE FOLLOWING STANDARDS:
MINIMUM COMPRESSIVE STRENGTH: 3500 PSI AT 28 DAYS
MINIMUM CEMENTITIOUS MATERIALS CONTENT: 520 LB/CU. YD.
SLUMP LIMIT: 4 INCHES, PLUS OR MINUS 1 INCH
AIR CONTENT: AIR CONTENT 6.0 PERCENT, PLUS OR MINUS 1.5 PERCENT AT POINT OF DELIVERY FOR 1-INCH NOMINAL MAXIMUM AGGREGATE SIZE.
AIR CONTENT: AIR CONTENT OF TROWELED SURFACES SHALL NOT EXCEED 3 PERCENT: FOR 1-INCH NOMINAL MAXIMUM AGGREGATE SIZE.
REINFORCING BARS SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED.
PLAIN-STEEL WELDED WIRE REINFORCEMENT SHALL CONFORM TOP ASTM A 185A, PLAIN, FABRICATED FROM AS-DRAWN STEEL WIRE INTO FLAT SHEETS.

CONCRETE FOR PATCHING WALKS AND STEPS SHALL BE RAPIDSET WONDERFIXX, MANUFACTURED BY CTS CEMENT MANUFACTURING CORPORATION; 1065 KNOTT AVENUE, SUITE A, CYPRESS, CA 90630. PROVIDE MATERIAL WITH 2000 PSI STRENGTH AT 28 DAYS. PATCHING MATERIAL SHALL CONTAIN 4.0% (MINIMUM) CALCIUM SULFOALUMINATE, SHALL NOT RE-EMULSIFY WHEN WET, AND SHALL BE NON-METALLIC WITH NO ADDED CHLORIDES AND SHALL BE PRE-BLENDED REQUIRING ONLY THE ADDITION OF WATER.

PATCHING MATERIAL FOR THE PRECAST CONCRETE COPING SHALL BE JAN 90, MANUFACTURED BY CATHEDRAL STONE. INSTALLER SHALL BE AN APPLICATOR APPROVED AND TRAINED BY THE MANUFACTURER IN THE INSTALLATION OF PATCHING MATERIAL. COLOR SHALL BE FORMULATED TO MATCH EXISTING MATERIAL COLOR AND TEXTURE. PROVIDE MOCK-UP FOR OWNER REVIEW PRIOR TO INSTALLATION.
MORTAR SHALL BE COLORED MASONRY MORTAR TO MATCH EXISTING. MATCH STRIKE OF EXISTING JOINTS. IT IS THE RESPONSIBILITY OF THE MASONRY CONTRACTOR TO PROVIDE PANELS AND MOCK-UP OF MASONRY MATERIAL AND MORTAR FOR THE OWNERS REVIEW. DO NOT USE ADMIXTURES, INCLUDING PIGMENTS, AIR-ENTRAINING AGENTS, ACCELERATORS, RETARDERS, WATER-REPELLENT AGENTS, ANTIFREEZE COMPOUNDS, OR OTHER ADMIXTURES, UNLESS OTHERWISE INDICATED. DO NOT USE CALCIUM CHLORIDE IN MORTAR OR GROUT. MORTAR FOR UNIT MASONRY SHALL COMPLY WITH ASTM C 270, PROPERTY SPECIFICATION. MORTAR SHALL BE TYPE N FOR MASONRY ABOVE GRADE AND TYPE S FOR MORTAR BELOW GRADE.

ALL BRICK SHALL BE CLAY MASONRY UNITS TO MATCH EXISTING. PROVIDE A SAMPLE PANEL WITH THE SELECTED MORTAR FOR THE OWNERS REVIEW. PROVIDE UNITS THAT MATCH EXISTING IN COLOR, SURFACE TEXTURE, AND SIZE. CONSTRUCT A MOCK PANEL APPROXIMATELY 24 INCHES BY 36 INCHES FOR OWNERS REVIEW. CONCRETE MASONRY UNITS SHALL BE LIGHTWEIGHT DENISITY, TWO CELL UNITS CONFIRMING WITH ASTM C 90. CMU SHALL HAVE A MINIMUM AVERAGE NET-AREA COMPRESSIVE STRENGTH OF 2800 PSI (19.3 MPA).
STEEL REINFORCING IN MASONRY SHALL BE UNCOATED STEEL REINFORCING BARS CONFIRMING TO ASTM A 615, GRADE 60. MASONRY JOINT REINFORCEMENT SHALL BE SINGLE 0.187-INCH- (4.76-MM-) DIAMETER, HOT-DIP GALVANIZED, CARBON-STEEL TIES CONFORMING TO ASTM A 82/A 82M; WITH ASTM HOT-DIP GALVANIZED, CARBON-STEEL TIES CONFORMING TO ASTM A 82/A 82M; WITH ASTM A 153/A 153M, CLASS B-2 COATING. TIES SHALL BE STEEL SHEET, GALVANIZED AFTER FABRICATION: ASTM A 1008/A 1008M, COMMERCIAL STEEL, WITH ASTM A 153/A 153M, CLASS B COATING.
SILANE SEALER SHALL BE SURE KLEAN WEATHER SEAL SL100 BY PROSOCO. INSTALL PER MANUFACTURERS RECOMMENDATION.

WATERPROOFING SHALL BE THORSEAL T5010 SUPER THORSEAL. APPLY TWO COATS TO SURFACES REQUIRING WATERPROOFING. DO NOT APPLY WHEN AMBIENT TEMPERATURE IS BELOW 40 DEGREES F.
GRAVEL SHALL BE LOCAL QUARRIED CRUSHED WASHED STONE, VDOT 57.

HB ARCHITECTS

REVISIONS

NO.	DATE

COMMONWEALTH OF VIRGINIA
JAMES R. BOYD
Lic. No. 4107
08-27-12
ARCHITECT

ISSUE:
CONSTR. DOC.S

HEYWARD BOYD ARCHITECTS, P.C.
111 West High Street
Charlottesville, Virginia 22902
434-296-5353 434-971-6634 F

CHECKED BY: JRB
DRAWN BY: CAC, SH
FILE NAME:

DRAWING TITLE: SPECIFICATIONS
PROJECT NAME: 500 COURT SQUARE ROOF REPLACEMENT
500 COURT SQUARE
CHARLOTTESVILLE, VIRGINIA

PROJECT NUMBER: 1217
SHEET NUMBER: A6
DATE: 08.27.12

CITY OF CHARLOTTESVILLE
"A World Class City"

Department of Neighborhood Development Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.org

AFFIDAVIT OF MAILING

To File: 500 Court Square (BAR 13-03-03)

I, Kristin Rourke, being first duly sworn, hereby certify that I mailed the attached letter, by first class United States Mail, to the addresses shown on this affidavit on March 5, 2013.

Signed:

Kristin Rourke

ADDRESSES

See Attachments

STATE OF VIRGINIA
CITY OF CHARLOTTESVILLE, to-wit:

The foregoing instrument was acknowledged before me this 13TH day of MARCH 2013, by Kristin Rourke.

My Commission Expires: AUGUST 31 2015.

PAMELA G. MURRAY NOTARY PUBLIC COMMONWEALTH OF VIRGINIA My Comm. Expires 8-31-2015 No. 187376

pamelagmurray
Notary Public

CITY OF CHARLOTTESVILLE
"A World Class City"

Department of Neighborhood Development Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.org

March 1, 2013

Dear Sir or Madam:

This letter is to notify you that the following application has been submitted for review by the City of Charlottesville Board of Architectural Review on property that is either abutting or immediately across a street from your property, or that has frontage on the same city street block.

Certificate of Appropriateness Application
BAR 13-03-03
500 Court Square
Tax Map 53 Parcel 96
James C. Weatherford, Applicant
500 Court Square Association, Owner
Reroof and replace balustrade

The Board of Architectural Review (BAR) will consider these applications at a meeting to be held on **Tuesday, March 19, 2013, starting at 5:30 pm in City Council Chambers, City Hall**. Enter City Hall from the Main Street pedestrian mall entrance and go up to 2nd floor.

An agenda with approximate times and additional application information will be available on the BAR's home page accessible through http://www.charlottesville.org If you need more information, please do not hesitate to contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

1780 INN AT COURT SQUARE, LLC
410 E JEFFERSON ST
CHARLOTTESVILLE, VA 22902

418 EAST JEFFERSON STREET, LLC
2362 GLEN ECHO FARM
CHARLOTTESVILLE, VA 22911

ABELL, THAD SAMUELS, II & DENISE M
3221 MILLINGTON ROAD
CROZET, VA 22932

ARGAND HOLDINGS III LLC
2001 KIRBY DRIVE STE 1210
HOUSTON, TX 77019

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1930 BARRON CT
CHARLOTTESVILLE, VA 22911

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REAL PROPERTY, INC1500 AMHERST ST
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2391 LAUREL ROAD
SHIPMAN, VA 22971

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