

From: Scala, Mary Joy
Sent: Thursday, February 19, 2015 3:27 PM
To: andres@arke-designbuild.com
Cc: joanna.a.jennings@gmail.com
Subject: BAR Action – Feb 17, 2015 – 214 Lankford Avenue

February 19, 2015

Joanna Jennings and ASA Eslocker
PO Box 1215
Charlottesville, VA 22902

Certificate of Appropriateness Application

BAR 15-02-03
214 Lankford Avenue
Tax Parcel 260001000
Asa R Eslocker and Joanna A Jennings, Owners
Rear addition

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on February 17, 2015. The following action was taken:

The BAR approved (6-0) the application as submitted.

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in 18 months (August 17, 2016), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. The expiration date may differ if the COA is associated with a valid site plan. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of the project, please contact me for an inspection of the improvements included in this application. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall – 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
February 17, 2015**



Certificate of Appropriateness Application

BAR 15-02-03
214 Lankford Avenue
Tax Parcel 260001000
Asa R Eslocker and Joanna A Jennings, Owners
Rear addition

Background

214 Lankford Avenue is an Individually Protected Property. The vernacular-style Howard-Jackson House was built c. 1871-75; the front section of the house was enlarged in 1906; rear additions were added in 1965.

June 20, 2000 – The BAR approved a renovation subject to: 1. Retain existing front columns; 2. Staff approval of siding color; 3. Staff approval of roof material. The Board preference is standing seam metal roof; 4. Elimination of new ½ round window proposed on front façade.

Application

The applicant proposes to:

Enlarge a bathroom on the second floor rear, east side;

Replace a side entry door threshold and sidelights with an added bracketed gable porch roof on the east side;

Replace a door with a window on the rear, south side.

The proposed work will match existing cedar lap siding and metal roofing.

Criteria and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an*

adverse impact on the structure or site, or adjacent buildings or structures;
(8) Any applicable provisions of the City's Design Guidelines.

Pertinent Guidelines for New Construction and Additions

P. ADDITIONS

Many of the smaller commercial and other business buildings may be enlarged as development pressure increases in downtown Charlottesville and along West Main Street. These existing structures may be increased in size by constructing new additions on the rear or side or in some cases by carefully adding on extra levels above the current roof. The design of new additions on all elevations that are prominently visible should follow the guidelines for new construction as described earlier in this section. Several other considerations that are specific to new additions in the historic districts are listed below:

1. *Function and Size*
 - a. *Attempt to accommodate needed functions within the existing structure without building an addition.*
 - b. *Limit the size of the addition so that it does not visually overpower the existing building.*
2. *Location*
 - a. *Attempt to locate the addition on rear or side elevations that are not visible from the street.*
 - b. *If additional floors are constructed on top of a building, set the addition back from the main façade so that its visual impact is minimized.*
 - c. *If the addition is located on a primary elevation facing the street or if a rear addition faces a street, parking area, or an important pedestrian route, the façade of the addition should be treated under the new construction guidelines.*
3. *Design*
 - a. *New additions should not destroy historic materials that characterize the property.*
 - b. *The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
4. *Replication of Style*
 - a. *A new addition should not be an exact copy of the design of the existing historic building. The design of new additions can be compatible with and respectful of existing buildings without being a mimicry of their original design.*
 - b. *If the new addition appears to be part of the existing building, the integrity of the original historic design is compromised and the viewer is confused over what is historic and what is new.*
5. *Materials and Features*
 - a. *Use materials, windows, doors, architectural detailing, roofs, and colors that are compatible with historic buildings in the district.*
6. *Attachment to Existing Building*
 - a. *Wherever possible, new additions or alterations to existing buildings should be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the buildings would be unimpaired.*
 - b. *The new design should not use the same wall plane, roof line, or cornice line of the existing structure.*

Discussion and Recommendations

The proposed addition meets the guidelines.

Suggested Motions

Having considered the standards set forth within the City Code, including City Design Guidelines for New Construction and Additions, I move to find that the proposed new rear addition satisfies the BAR's criteria and guidelines and is compatible with this Individually Protected Property, and that the BAR approves the application as submitted.

Architectural And Historic Survey



Identification

STREET ADDRESS: 214 Lankford Avenue

MAP & PARCEL: 26-1

CENSUS TRACT AND BLOCK:

PRESENT ZONING: R-3

ORIGINAL OWNER: Warner Howard

ORIGINAL USE: Residence

PRESENT USE: Residence

PRESENT OWNER: Lewis W. and Bessie B. Jackson

ADDRESS: 214 Lankford Avenue

Charlottesville, Virginia. 22902

HISTORIC NAME: Howard-Jackson House

DATE / PERIOD: c. 1871-75, 1906, 1965

STYLE: Vernacular

HEIGHT (to cornice) OR STORIES: 2 storeys

DIMENSIONS AND LAND AREA: 41' x 302' (12,382 sq. ft.)

CONDITION: Good

SURVEYOR: Bibb

DATE OF SURVEY: Spring 1981

SOURCES: City/County Records

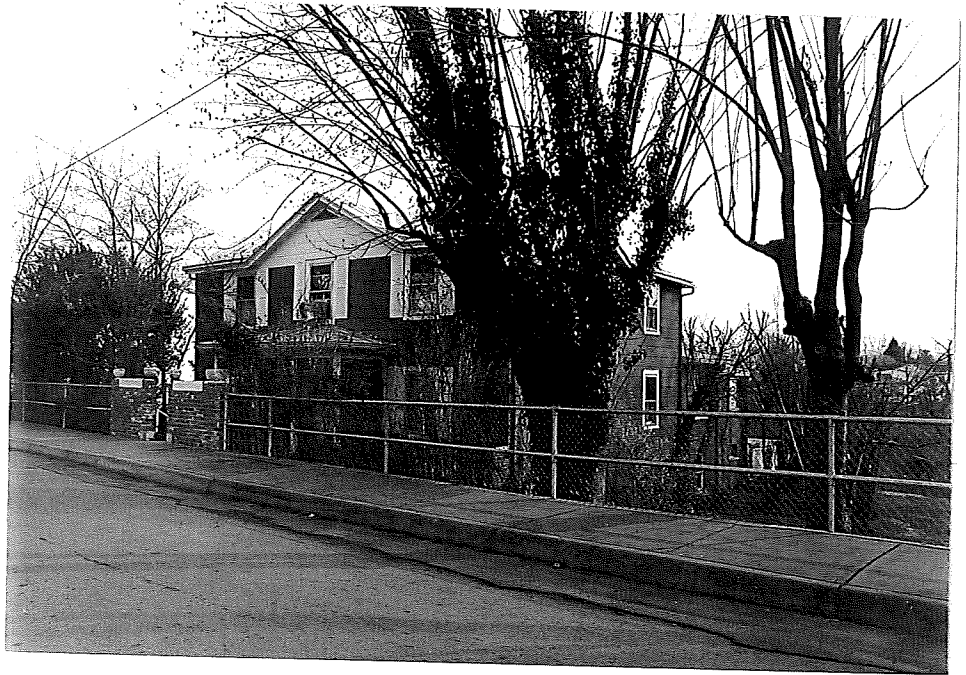
Mr. and Mrs. Lewis W. Jackson

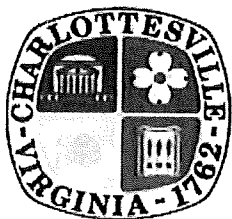
ARCHITECTURAL DESCRIPTION

This house is thought to have grown from a very humble 1-over-1 room structure with a one-storey shed addition at the rear. The two-storey section was more than doubled in 1906 and a later addition filled in the ell. In its present form, this is a 2-storey, 3-bay, single-pile house with a series of rear additions that make it double-pile. It originally rested on brick piers, but a basement has been dug out by Mr. Jackson. The widening and raising of Lankford Avenue has put the front porch at ground level. Olive green asbestos shingles cover the original weatherboarding. The front section of the house has a low-pitched gable roof covered with standing-seam metal with a boxed cornice. A nearly flat shed roof shelters the western rear addition, while the older eastern rear section, now two storeys, has a low-pitched gable roof. One chimney is located exterior to the 2-storey front section, between it and the original wing, and another is located at the rear of the western extension of the 2-storey section. Windows are double-sash, 2-over-2 light on the facade and west side, and 6-over-6 light on the east side (the older section). One window in the original section has architrave trim, but all the others have plain trim. A wide 1-storey, 1-bay porch is centered on the facade. It has a hip roof covered with standing-seam metal with boxed cornice, plain frieze, turned posts, and a concrete floor. It has no balustrade. There is a rectangular transom above the entrance door in the center bay. The original 1-storey shed addition at the rear has been enlarged by the addition of a low-ceilinged second storey. A series of 1-storey cinderblock additions cover the entire rear elevation.

HISTORICAL DESCRIPTION

There was a community of free blacks on Lankford Avenue as early as the 1840's. Warner Howard purchased this lot and the one adjoining it on the east between 1871 and 1875, but did not receive a deed until some years later (ACDB 71-95, 95-237). Tradition says that he built a house there in 1871 and that it consisted of a one-over-one room cottage (the eastern half of the present front section) with a shed room behind it. Tax records do not reflect either the sale or the construction until the 1875 re-appraisal, however. Howard had the second lot deeded to his son George B. Howard (ACDB 95-237). Warner Howard died in 1906 and left his home to his two daughters Louisa H. Howard and Rosa Howard Riddick (ACWB 31-307). Tax records show that the front section of the house was enlarged to its present size that same year. In 1951 Gertrude Louise Riddick Cooper, who had inherited it from her mother and aunt (City WB 3-396, 4-127), moved across the street and sold this house to Lewis W. and Bessie B. Jackson (City DB 157-476). They have covered the walls with asbestos shingles and built a series of rear additions.





**Board of Architectural Review (BAR)
Certificate of Appropriateness**

RECEIVED

FEB 02 2015

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

NEIGHBORHOOD DEVELOPMENT SERVICES

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name JOANNA JENNINGS & ASA ESLOCKER Applicant Name ANDRES MARTINEZ / ARKE design-build
Project Name/Description BATHROOMS & LAUNDRY RENOVATIONS Parcel Number 26 000 1 000
Property Address 214 LANKFORD AVENUE, CHARLOTTESVILLE, VA 22902

Applicant Information

Address: P.O. BOX 1215
CHARLOTTESVILLE, VA 22902
Email: andres@arke-designbuild.com
Phone: (W) 202.321.1871 (H) _____
FAX: _____

Property Owner Information (if not applicant)

Address: 214 LANKFORD AVENUE
CHARLOTTESVILLE, VA 22902
Email: joanna.a.jennings@gmail.com
Phone: (W) _____ (H) _____
FAX: _____

Do you intend to apply for Federal or State Tax Credits for this project? _____

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Andres Martinez 2-2-2015
Signature Date

ANDRES F. MARTINEZ 2-2-2015
Print Name Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Joanna Jennio 2-2-15
Signature Date

Joanna Jennings 2-2-15
Print Name Date

Description of Proposed Work (attach separate narrative if necessary): SEE ATTACHED NARRATIVE

List All Attachments (see reverse side for submittal requirements):

10 copies of full-size drawings, 10 copies of project narrative, 10 copies of existing condition photos

For Office Use Only

Received by: D. Barmore
Fee paid: \$125.00 Cash/Ck. # 2517
Date Received: 2/2/2015

P15-0020

Approved/Disapproved by: _____

Date: _____

Conditions of approval: _____

February 2, 2015

Proposed Scope of Work Narrative

Project Name: 214 Lankford Avenue Project

Description: Bathrooms and Laundry Renovations

Parcel Number: 260001000

Individually Protected Property Name: "Howard-Jackson House"

Address: 214 Lankford Avenue
Charlottesville, VA 22902

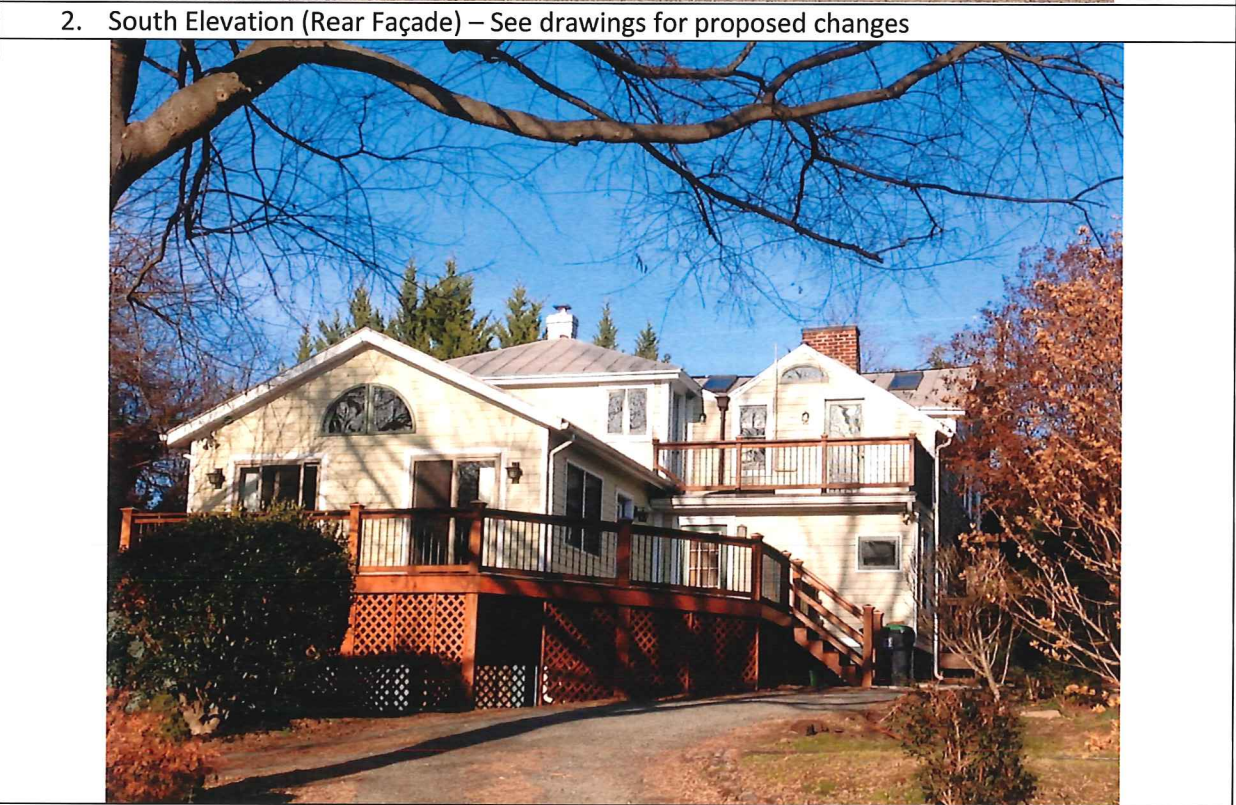
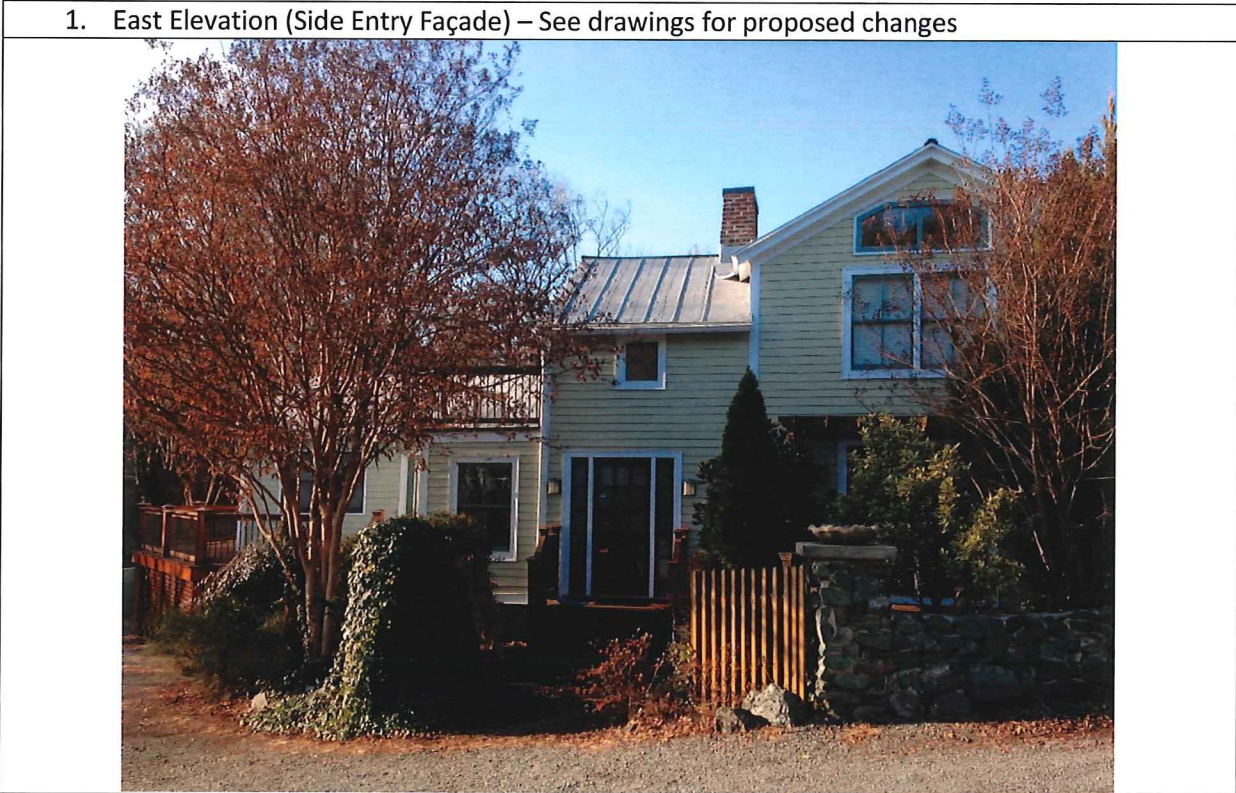
Summary:

Originally built in 1871, the "Howard-Jackson" house has evolved over time with subsequent additions, modifications and decks that increased the usable living space for the families that resided here. In keeping with that tradition, we intend to renovate the first floor bathroom, enclose the front study for more privacy, move the laundry room to the first floor, add a second floor hall bathroom for the kids, enclose the balcony area to be used for a dressing room and circulation corridor, and add a master bath suite. The existing second floor bathroom walls and roof will need to be removed in order to allow for head height clearances and to improve the current roofing conditions of this volume.

It is important to note that the work is confined to the existing footprint and only two elevations (side and rear) will need to be modified to allow for the aforementioned master bathroom addition. We intend to match the exterior siding of the proposed work with the existing cedar lap siding of the first story and other existing volumes. The current home delineates the original front volume from the existing additions with a simple 4" wide trim board on the side elevation. This will be left in place and used in the same fashion to delineate our work from the original. As far as the roof line, the eaves of the new work will match the front volume and tie the design together visually. Metal roofing will be installed to match what is currently in place as well. New fenestration will take advantage of modern window technology, while matching the aesthetics of the existing windows with simple 2 over 2 divided lites. The existing side entry door, threshold and sidelights show signs of rot, so we intend to replace those with a new wood door and sidelights. That new entry will be covered with a bracketed gable porch roof to help keep moisture away and provide protection for the owners as they enter and exit. Modifications to existing MEP systems including necessary new lighting, power, and HVAC work will be made to provide proper comfort levels in the new spaces.

We believe the interior work will increase the efficiency, functionality and enjoyment of the spaces for all who enter and the exterior work is in keeping with the spirit of previous modifications and traditions of the house. Please refer to the existing photos and the drawings of the proposed work for a more complete understanding of the scope.

Existing Condition Photographs



<p>3. East Elevation Pergola Detail</p> 	<p>4. East Elevation Window Detail</p> 
<p>5. South Elevation Balcony Detail</p> 	<p>6. Existing Bath Detail</p> 

7. Existing Roof Conditions

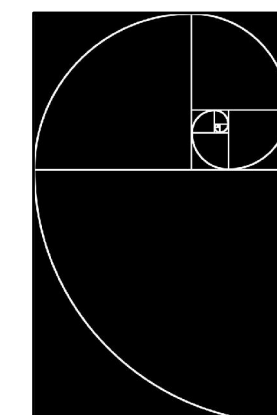
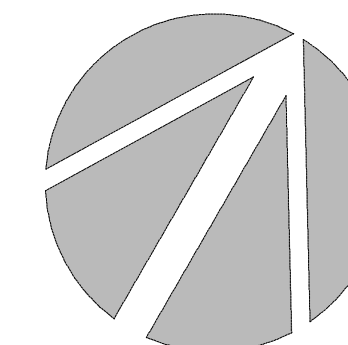


8. North Elevation (Front Façade) – No proposed modifications

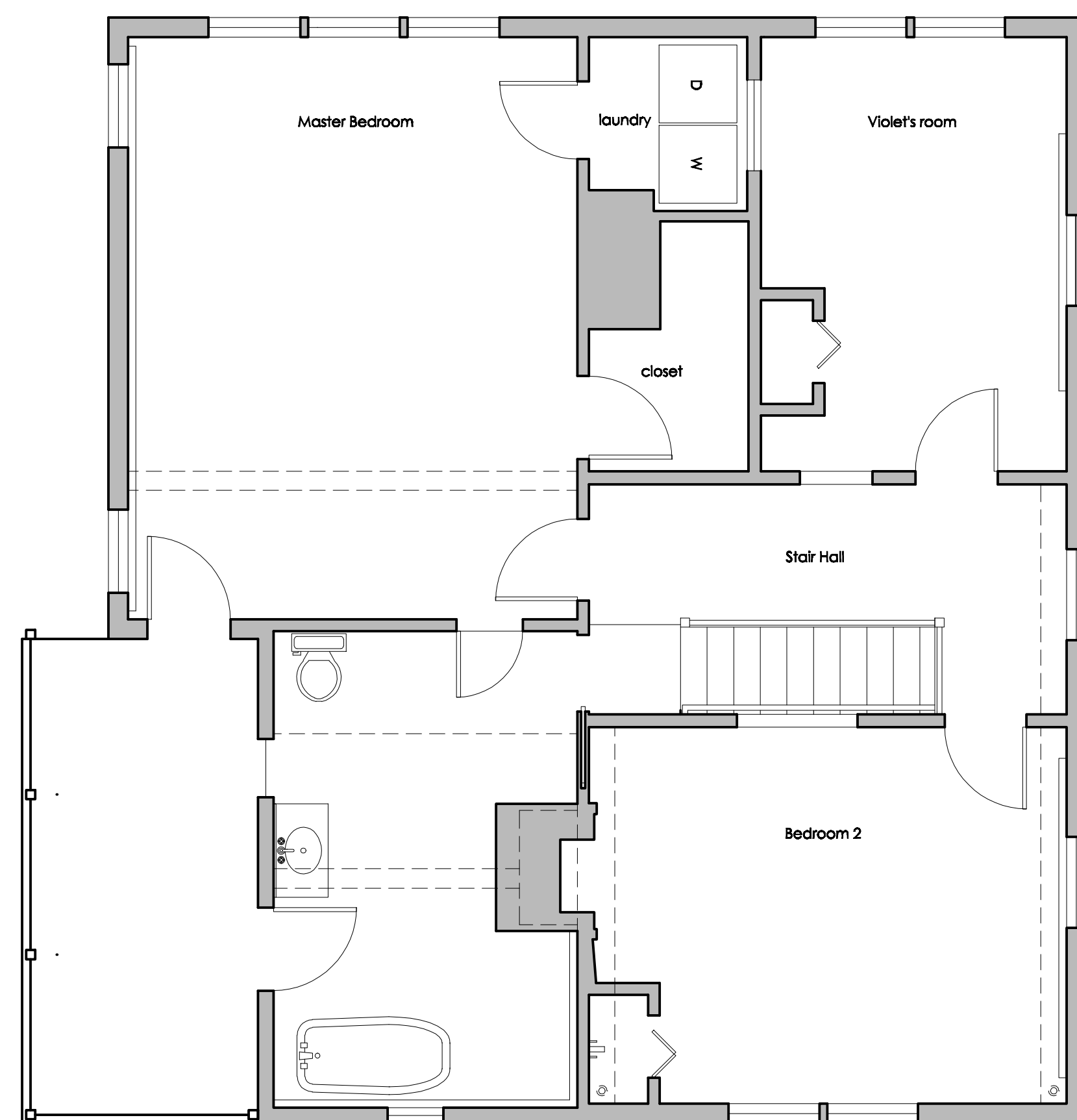


9. West Elevation (Side Facade) – No proposed modifications

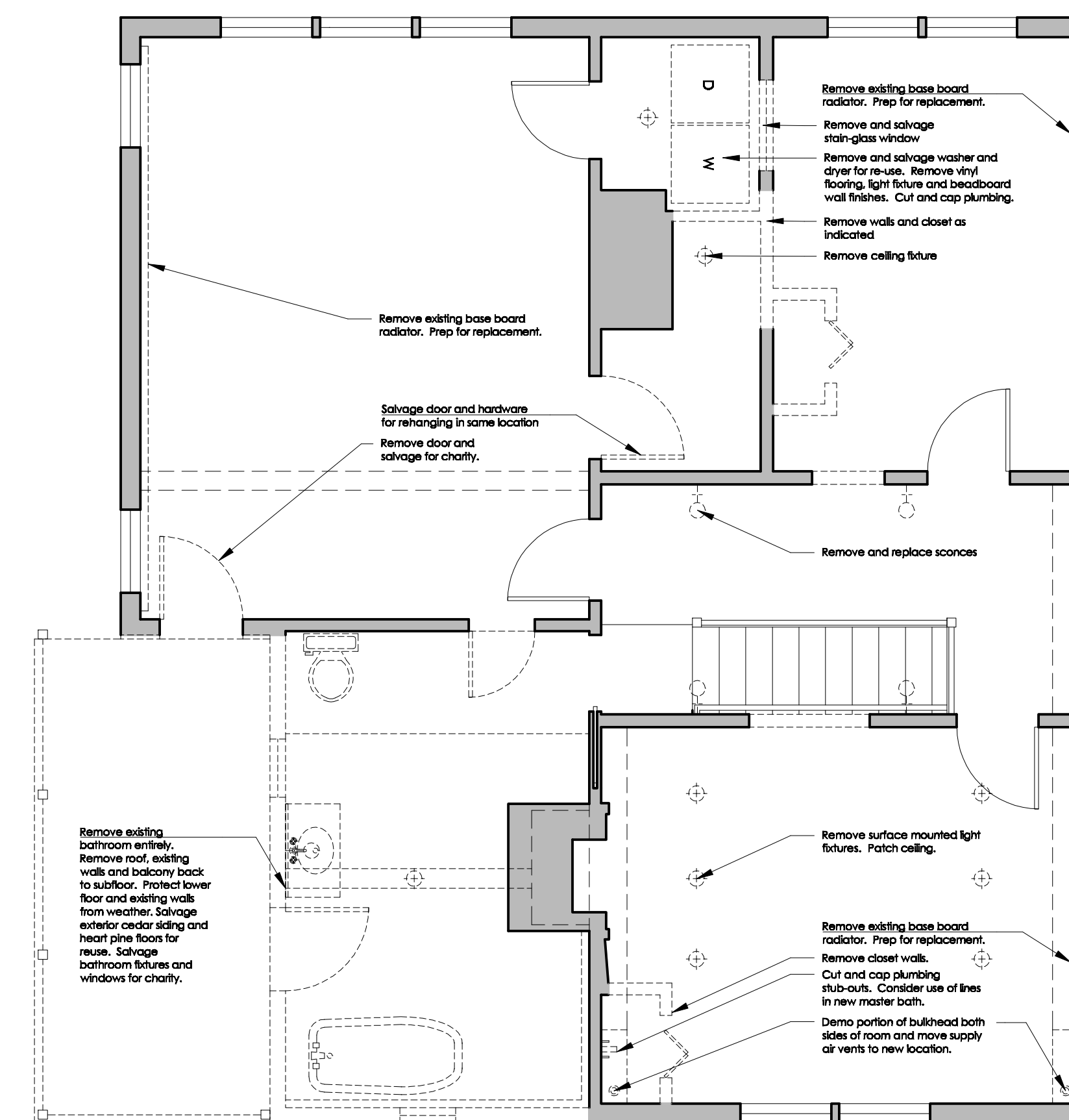




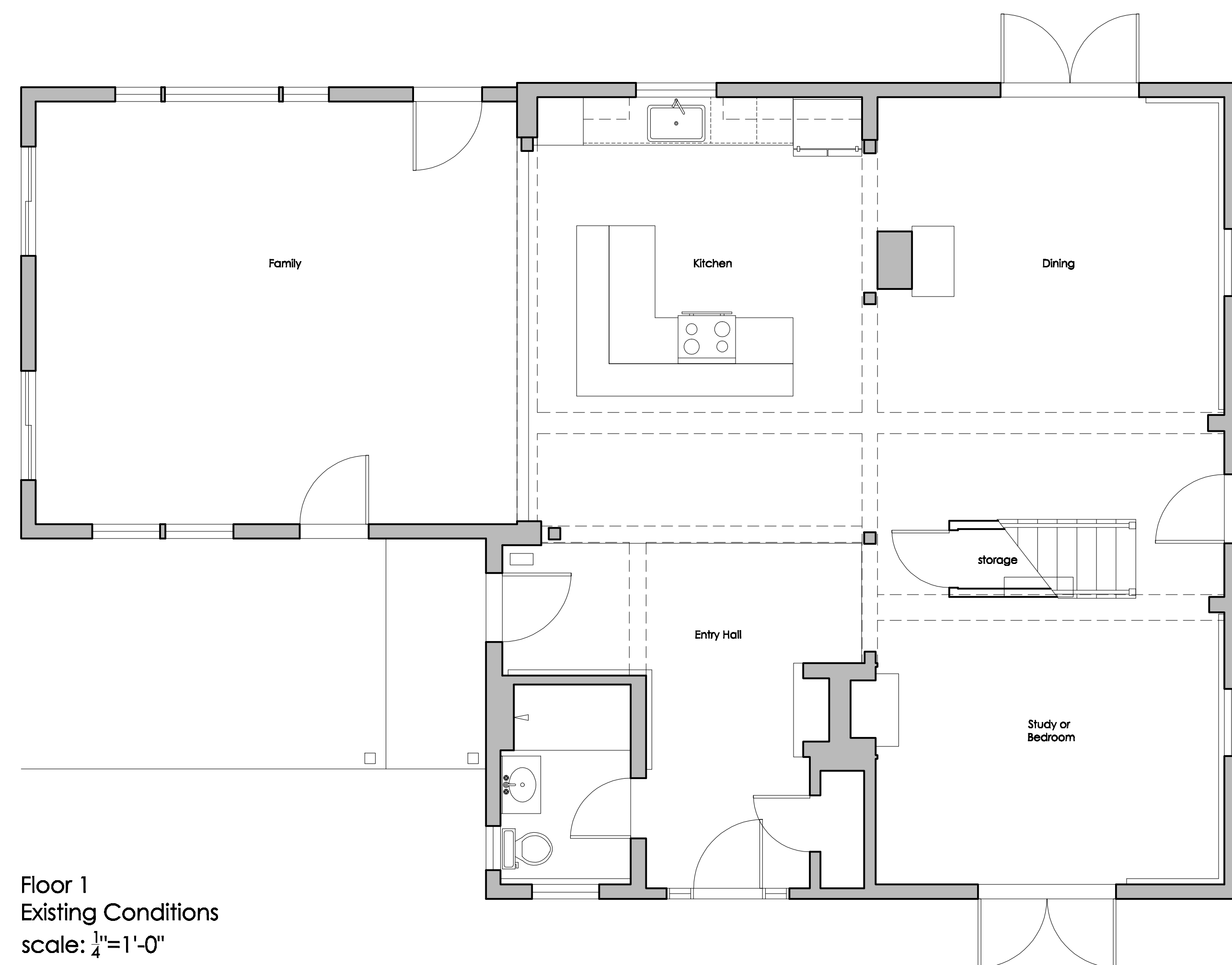
Floor 2
Existing Conditions
scale: 1/4"=1'-0"



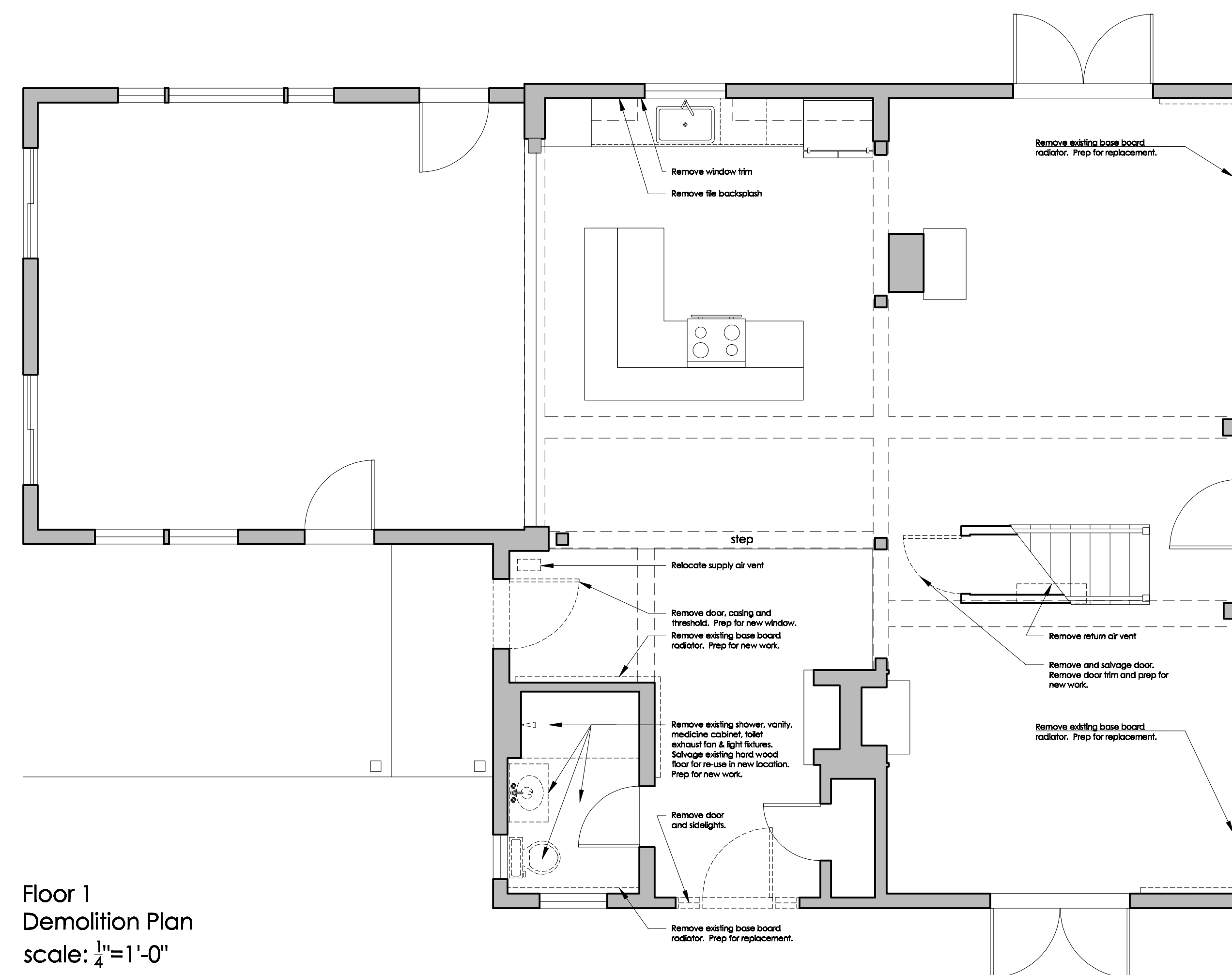
Floor 2
Demolition Plan
scale: 1/4"=1'-0"

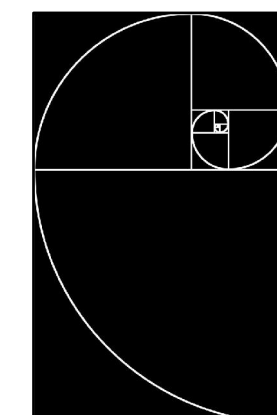
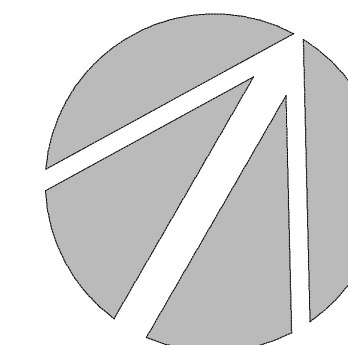


Floor 1
Existing Conditions
scale: 1/4"=1'-0"

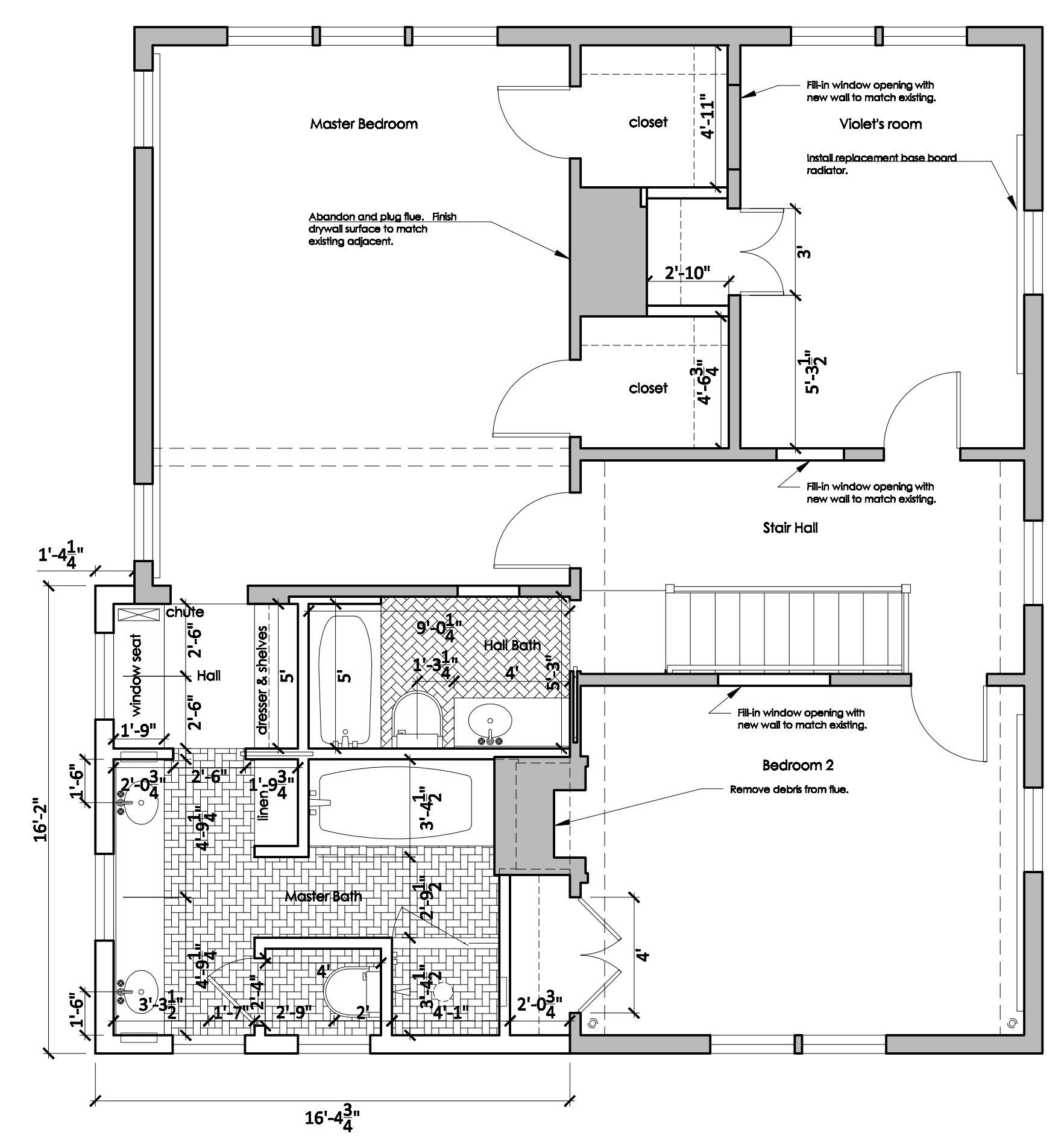


Floor 1
Demolition Plan
scale: 1/4"=1'-0"



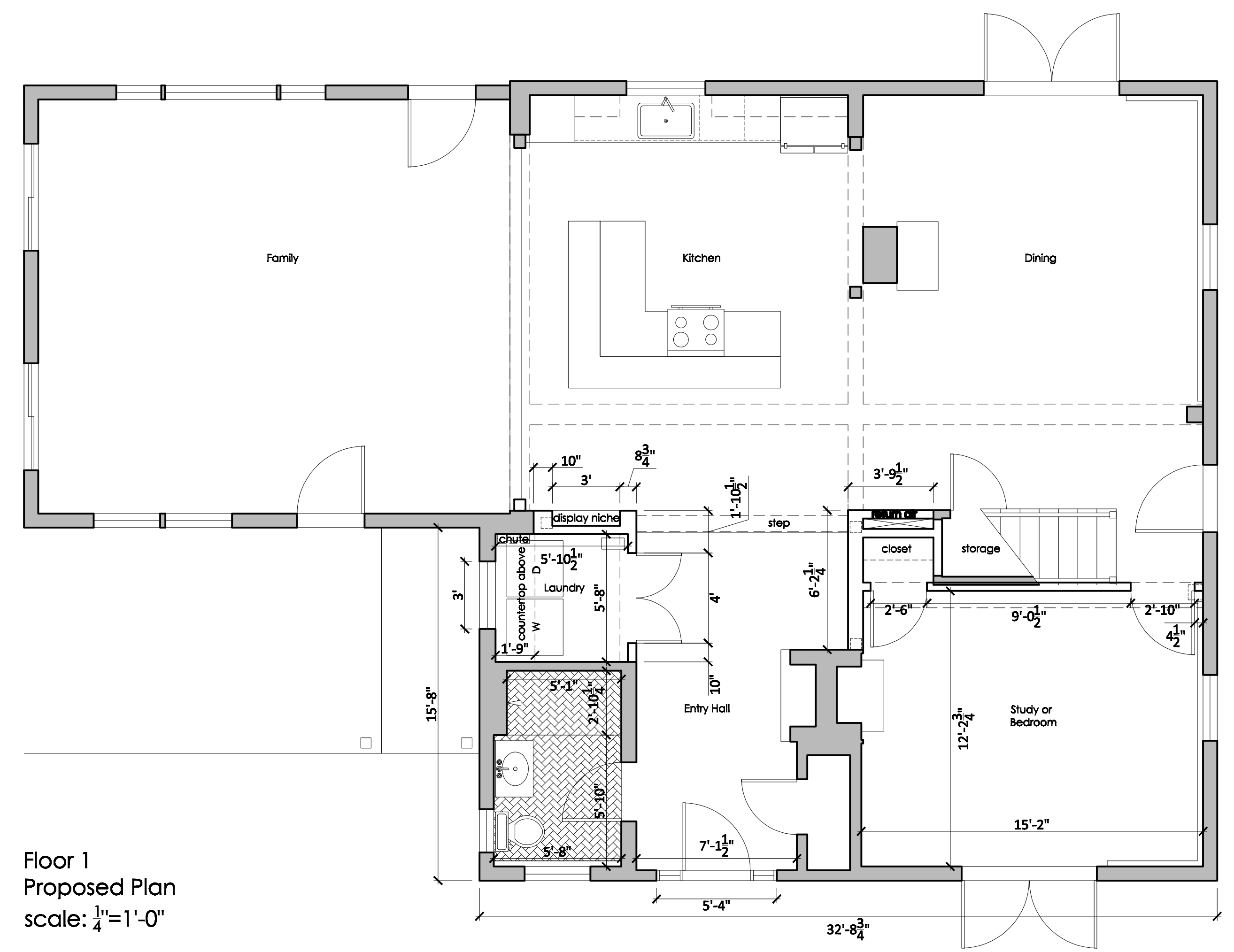


Floor 2
Proposed Plan
scale: 1/4"=1'-0"



South (back) Elev
Proposed
scale: 1/4"=1'-0"

Floor 1
Proposed Plan
scale: 1/4"=1'-0"



East Elevation
Proposed
scale: 1/4"=1'-0"

February 12, 2015

2114 Lankford Avenue Residence
Owner: Joanna Jennings & Asa Eslocker
Design by: ARKE design-build, LLC.