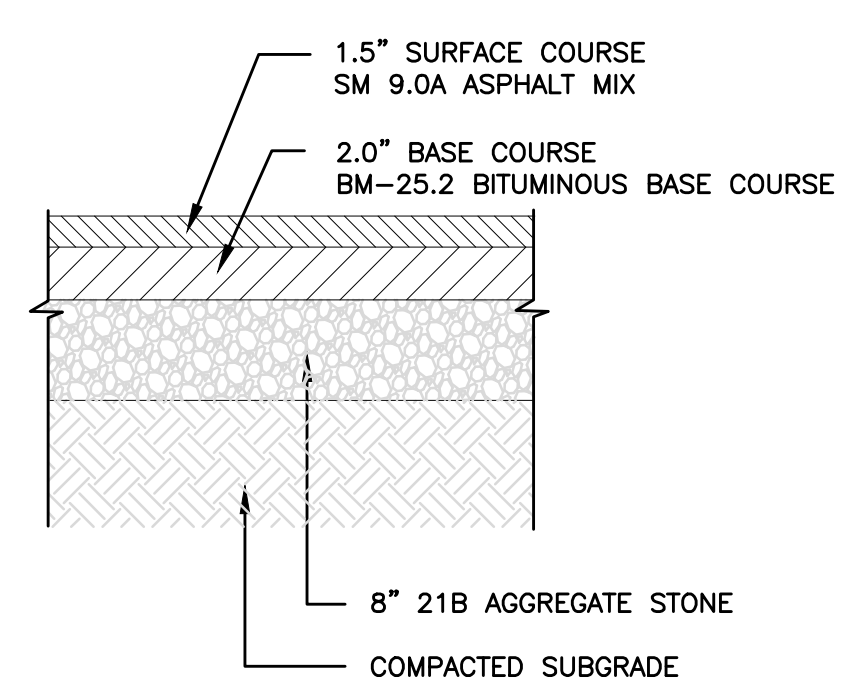
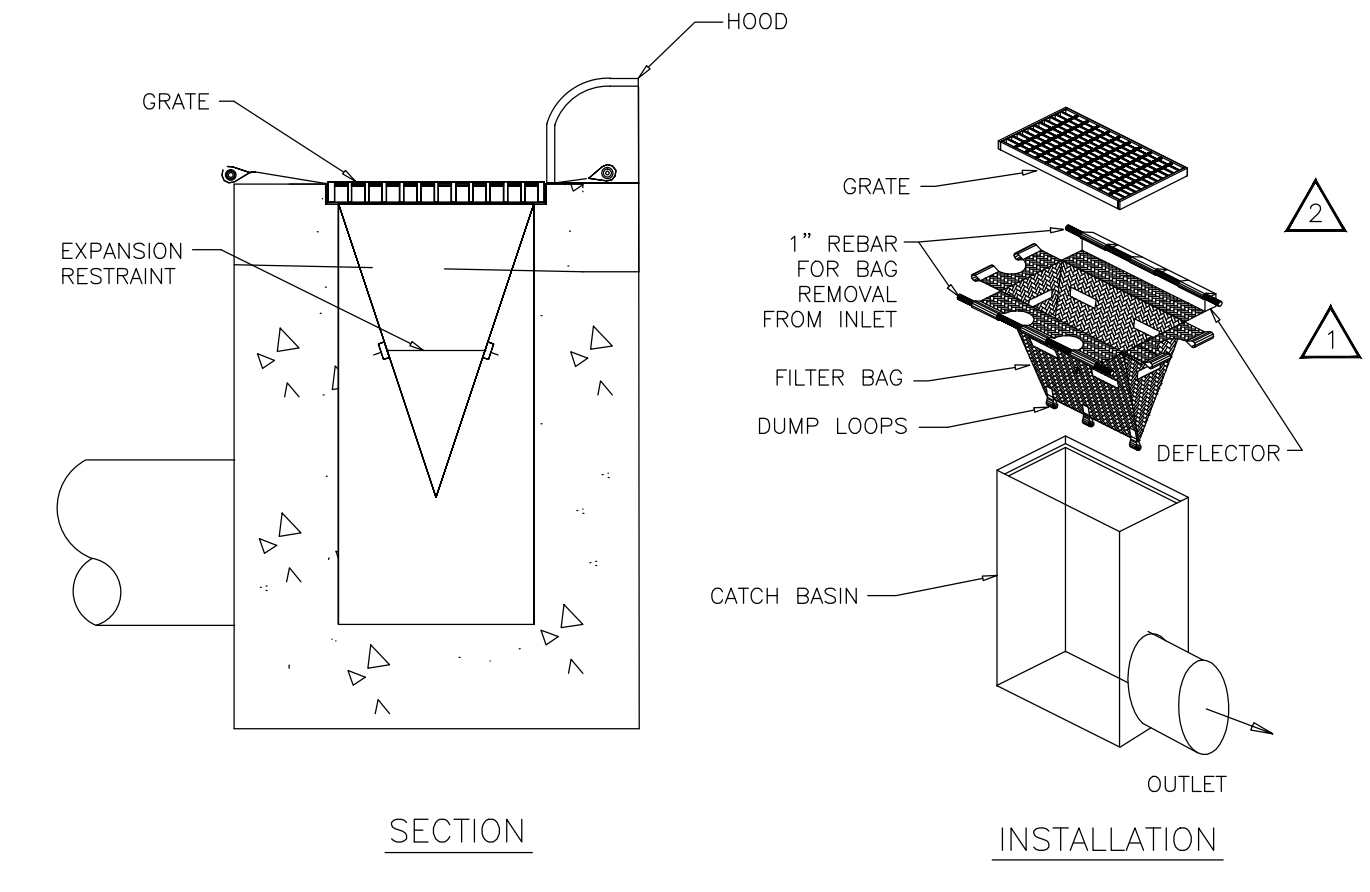


13 LIGHT-DUTY ASPHALT
NOT TO SCALE

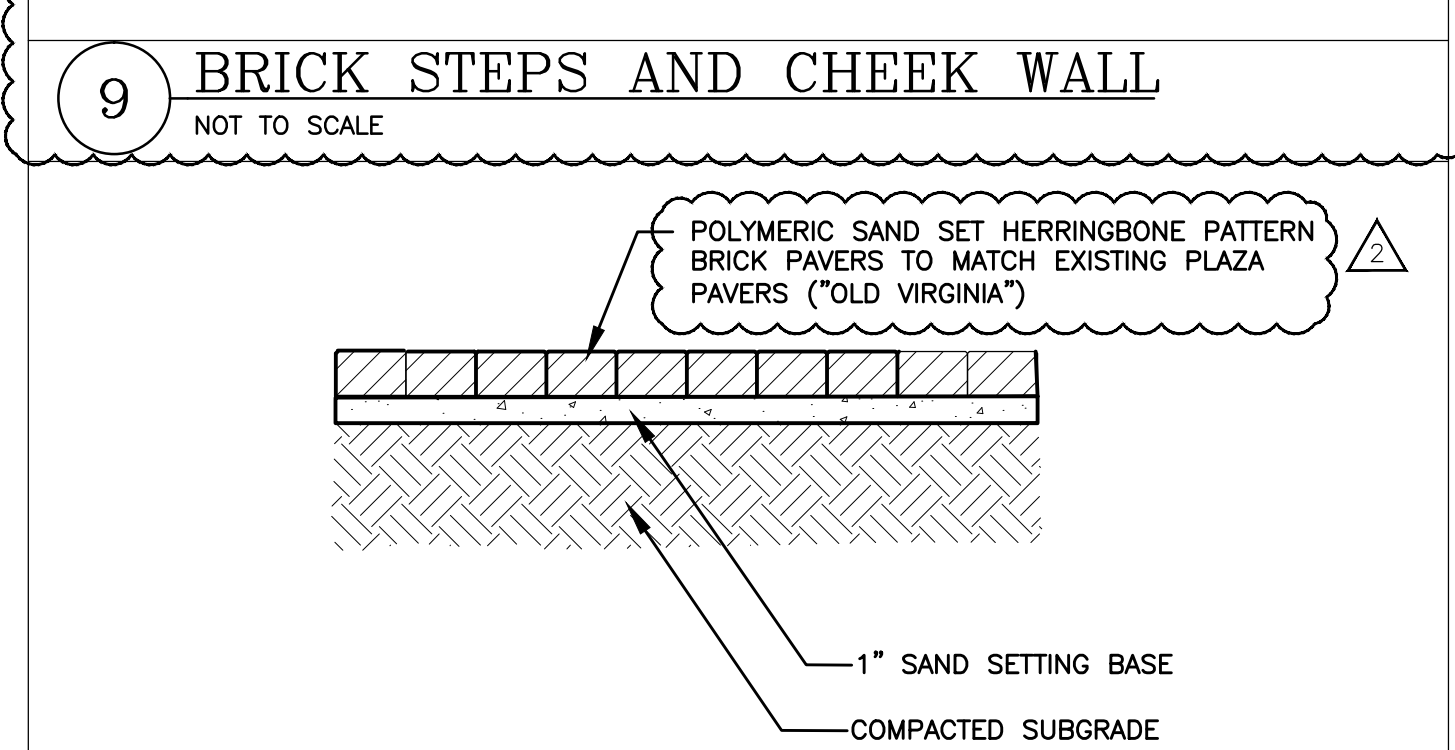
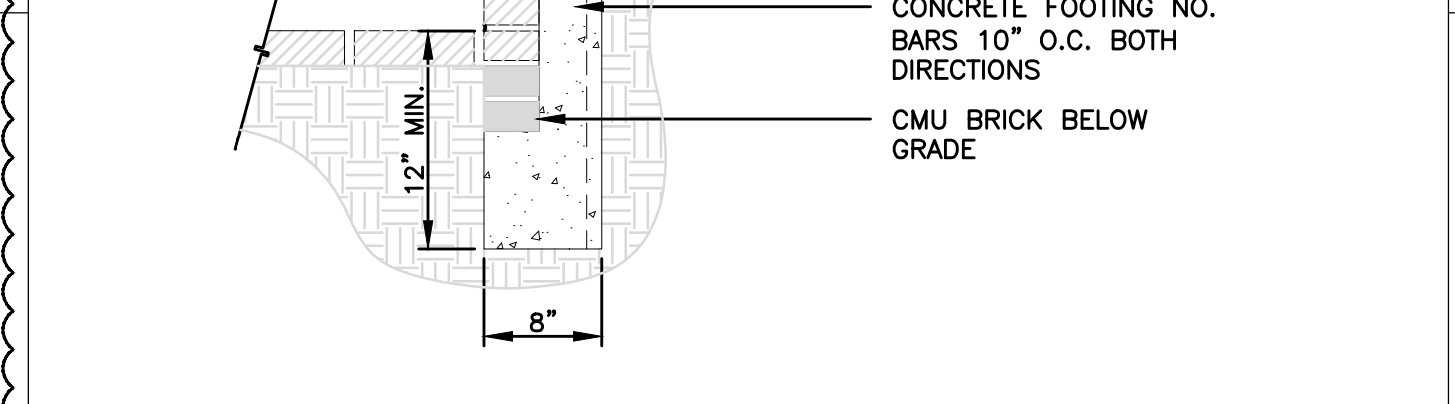


- NOTES**
1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
 2. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE CITY INSPECTOR.
 3. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).

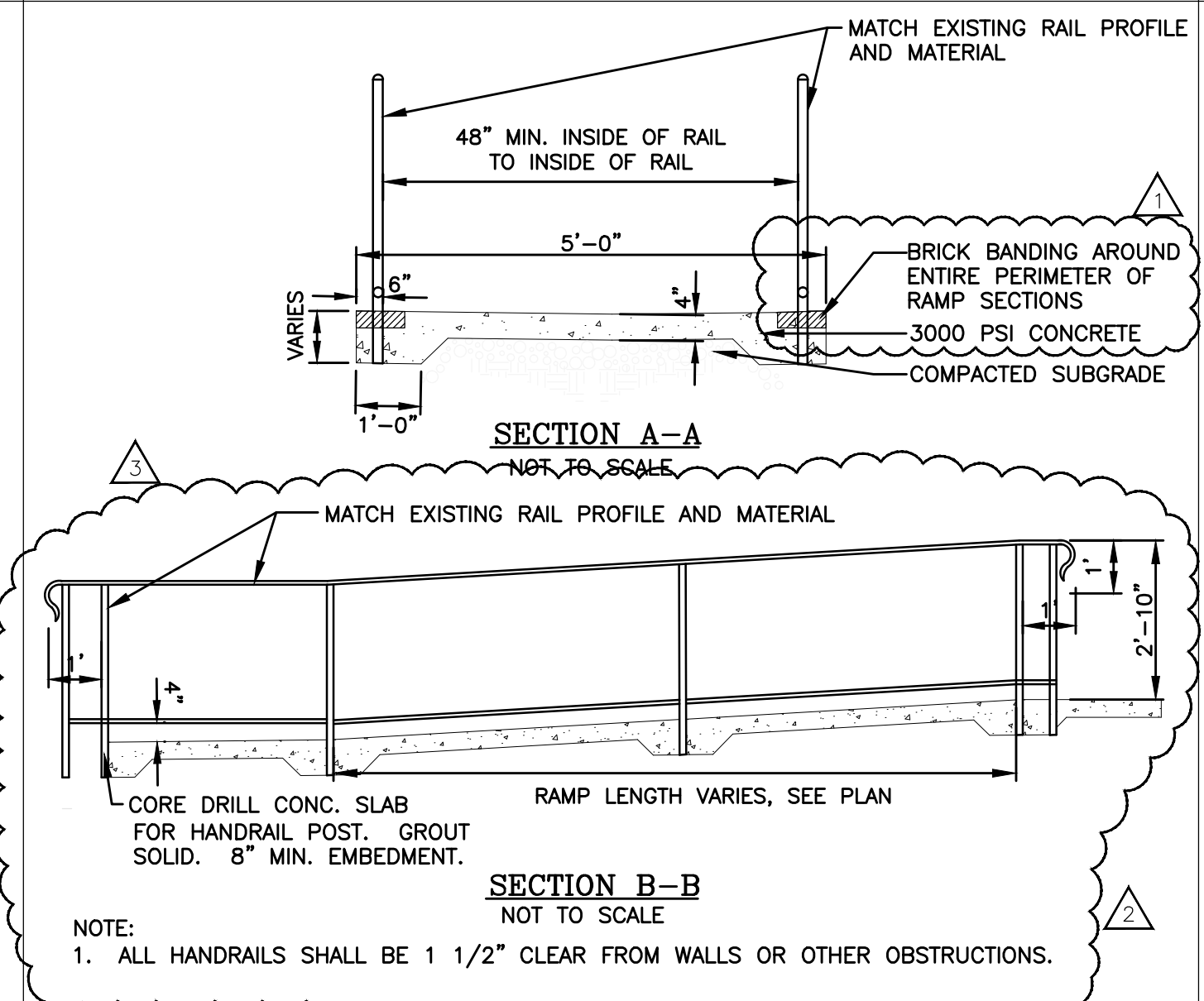


12 CATCH BASIN INSERT INLET PROTECTION
NOT TO SCALE

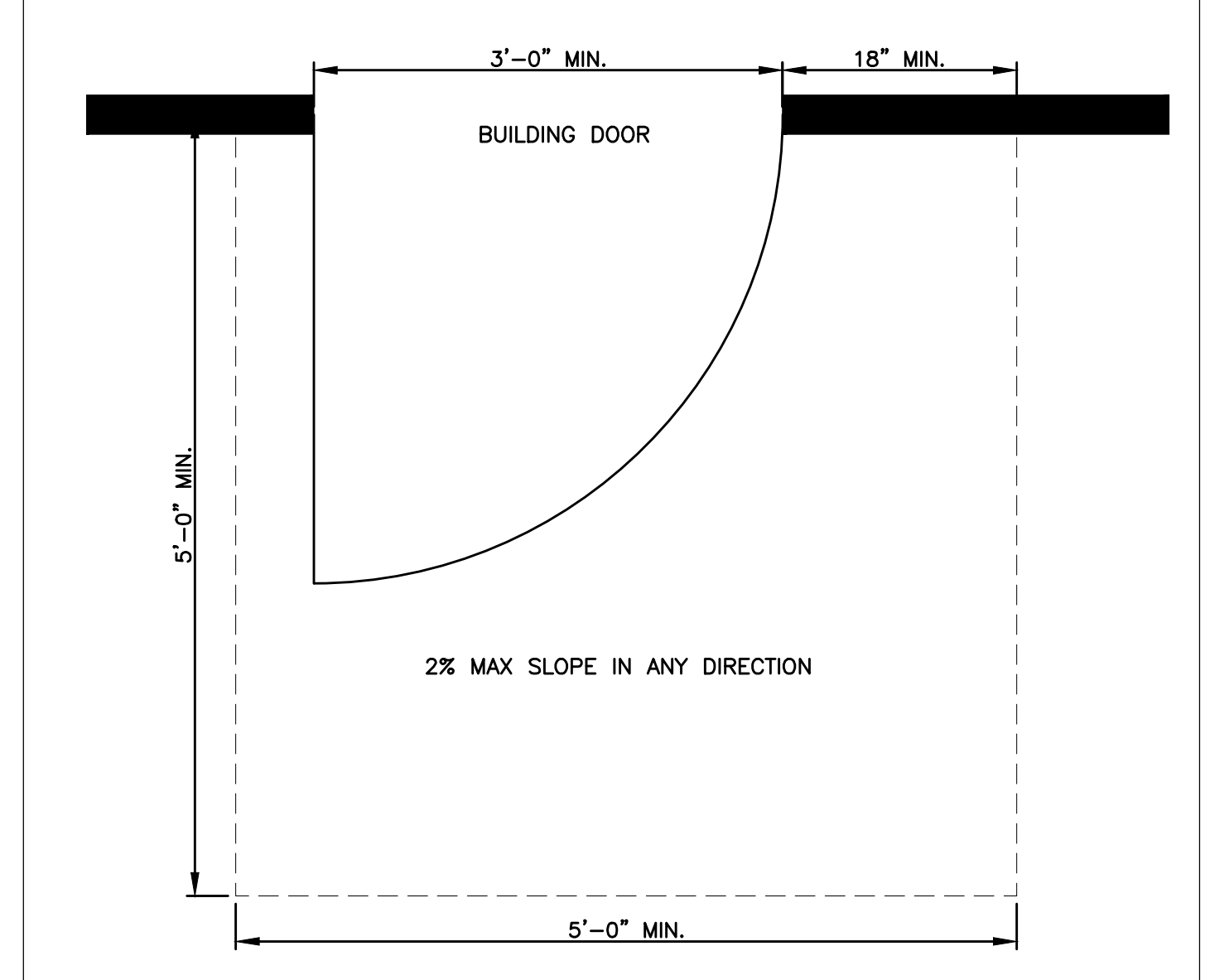
9 BRICK STEPS AND CHEEK WALL
NOT TO SCALE



8 BRICK SIDEWALK DETAIL
NOT TO SCALE

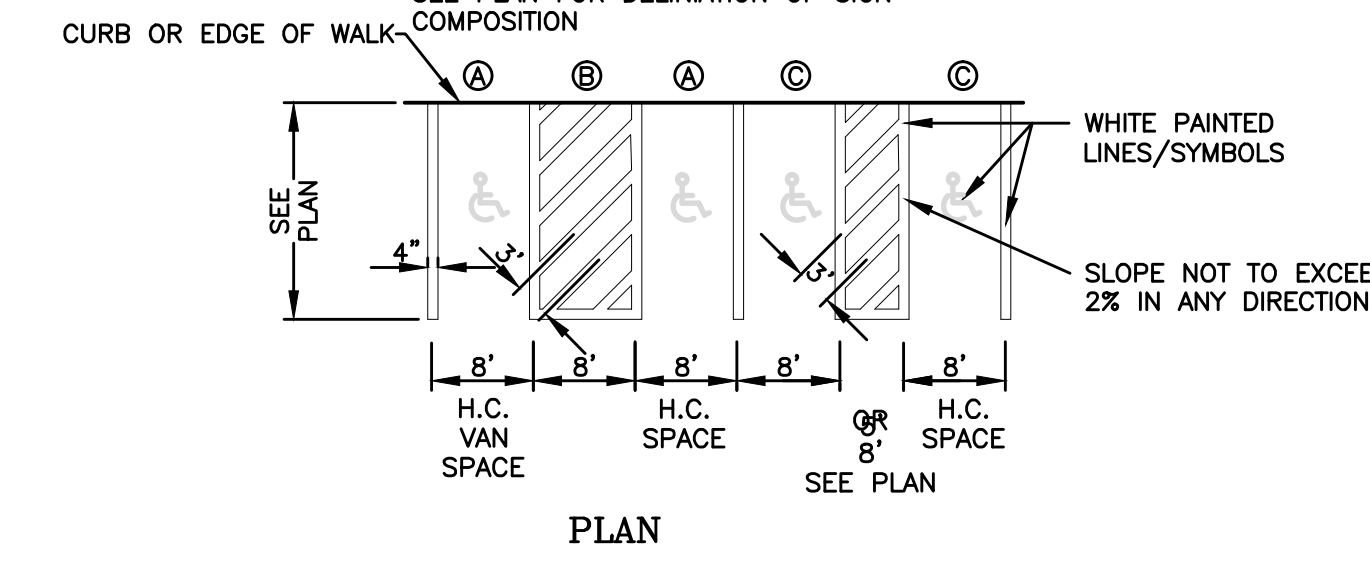
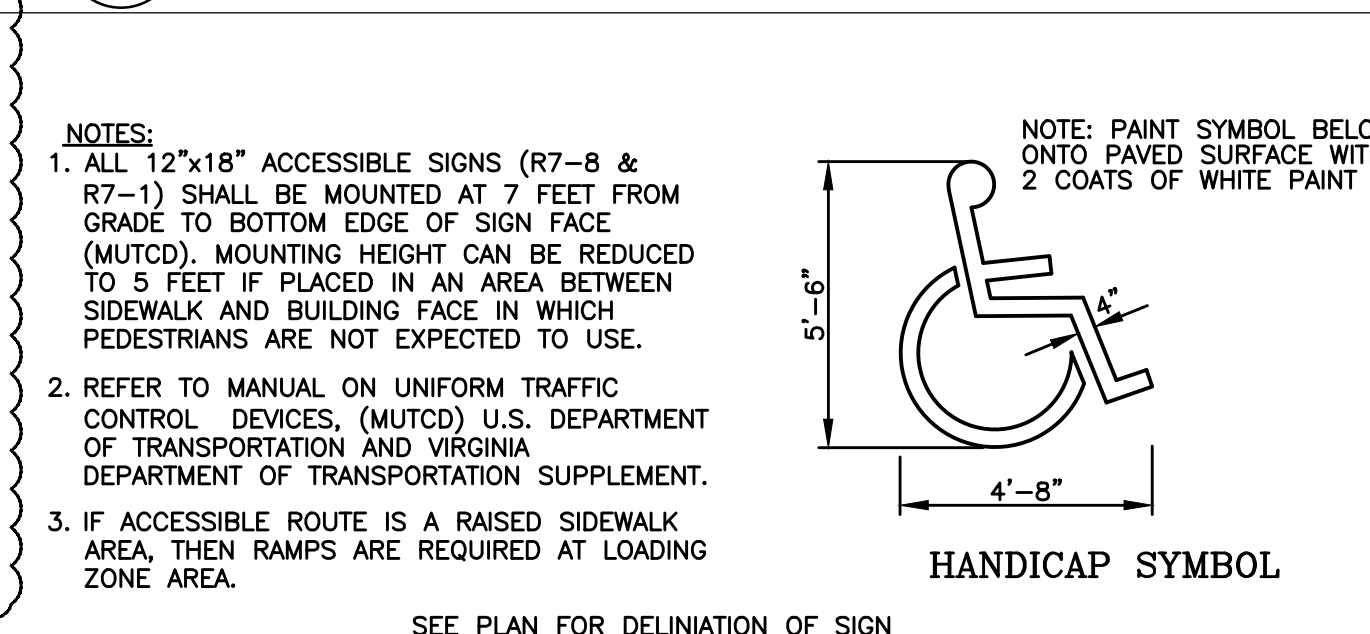


7 ACCESSIBLE RAMP WITH RAILS
NOT TO SCALE

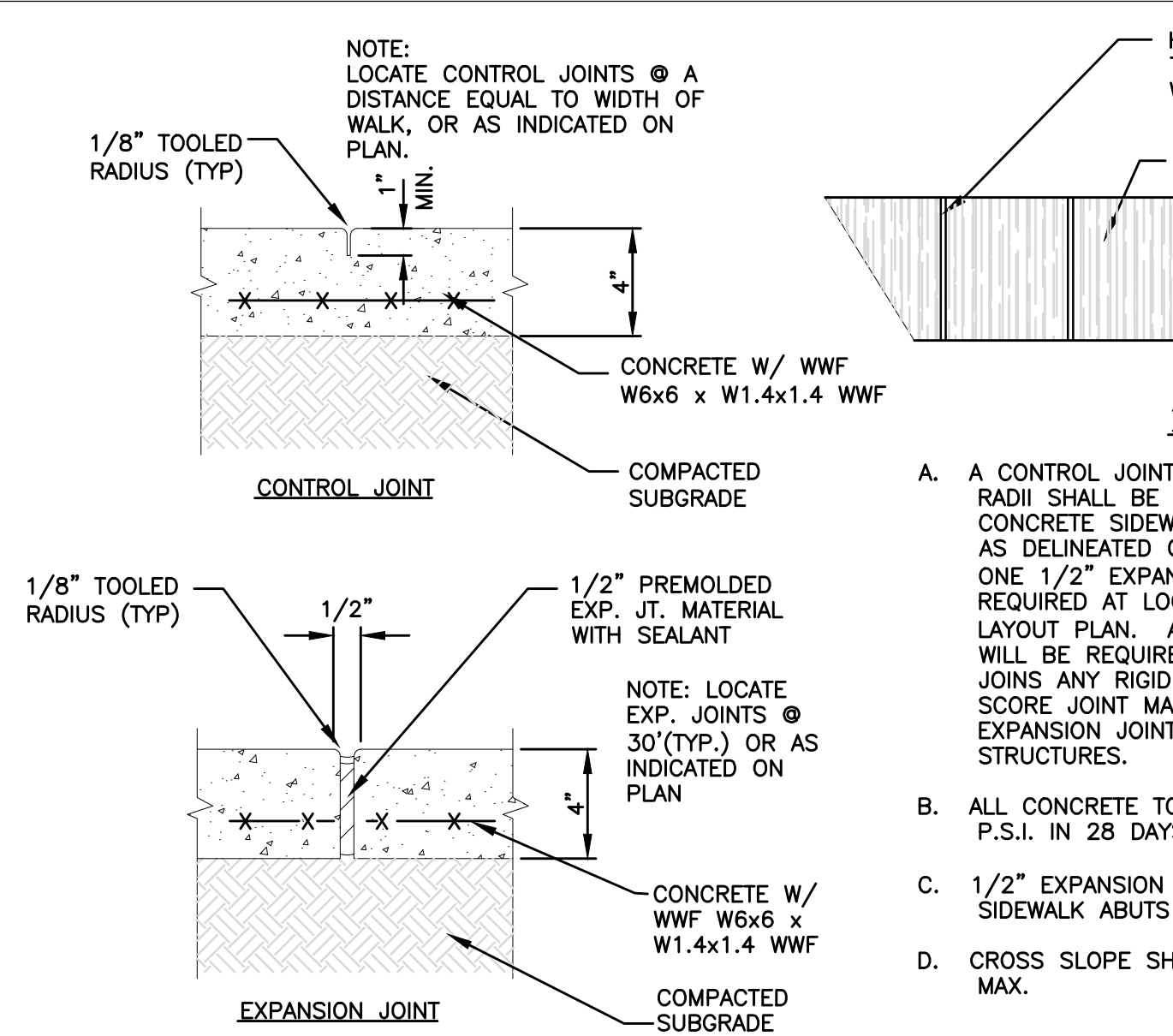


6 ACCESSIBLE EGRESS LANDING
NOT TO SCALE

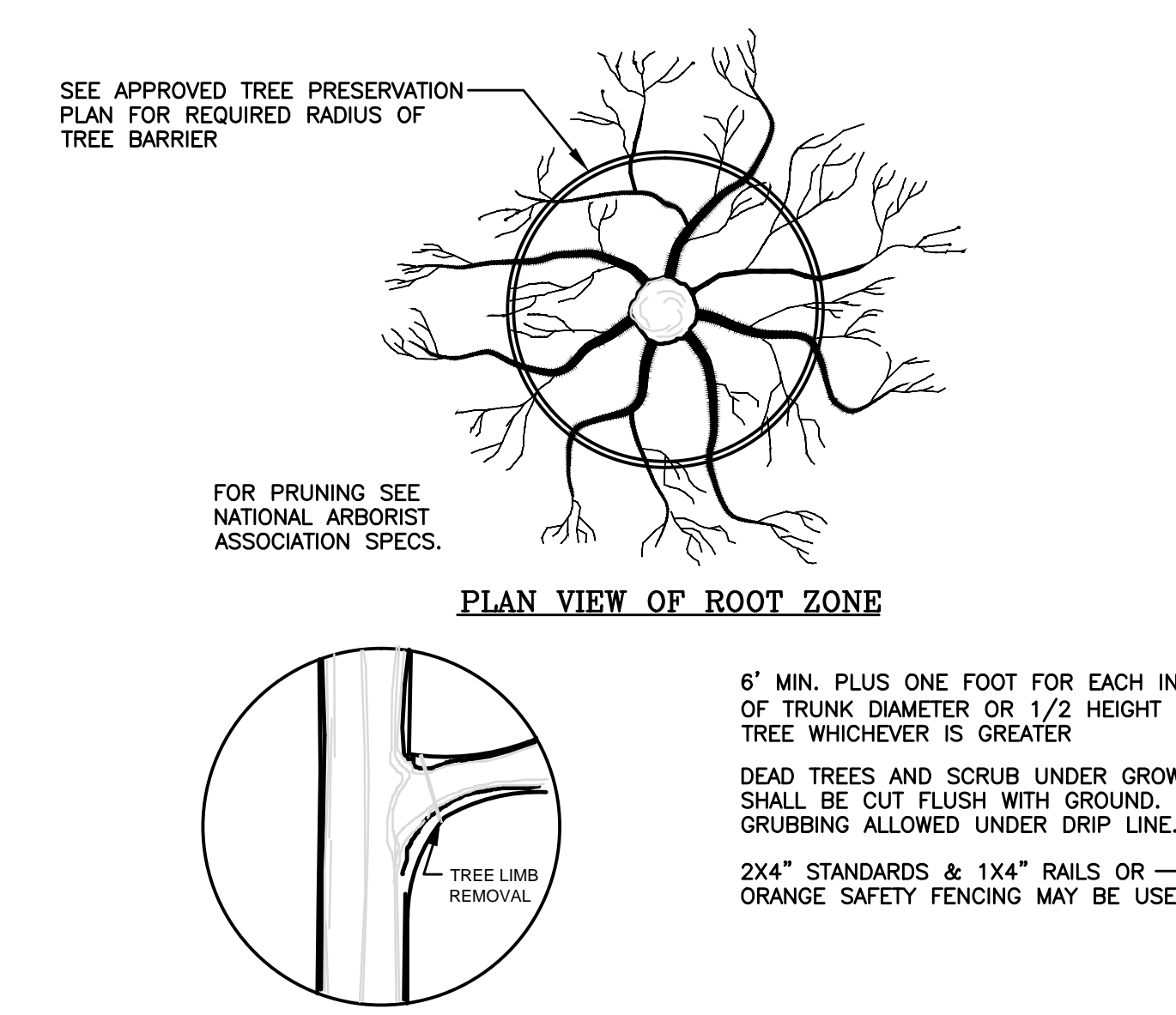
5 CONCRETE STEPS/SLOOP
NOT TO SCALE



3 ACCESSIBLE STRIPING & SIGNAGE
NOT TO SCALE



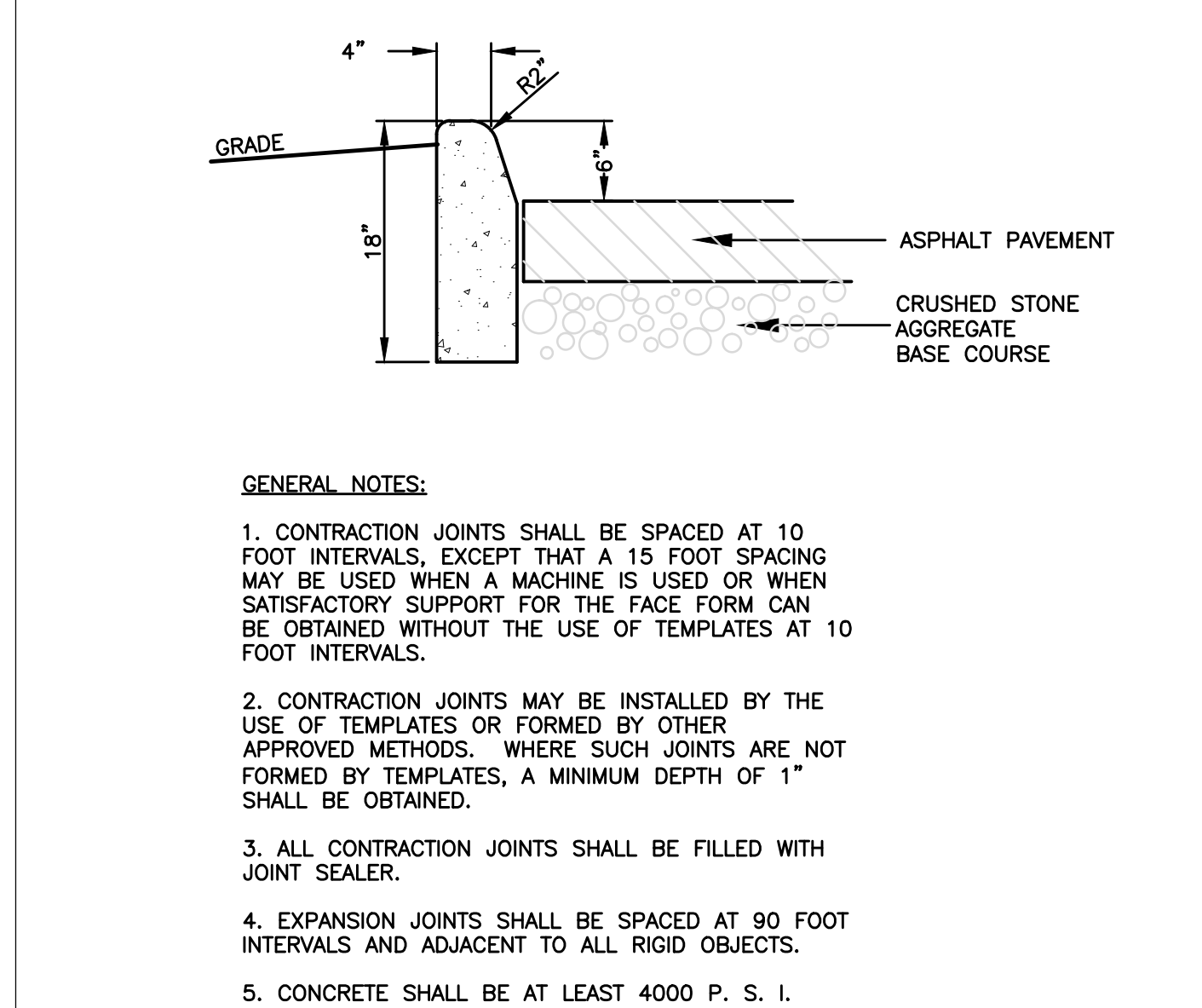
2 CONCRETE SIDEWALK
NOT TO SCALE



4 CONCRETE NOTES
NOT TO SCALE

- CONCRETE NOTES:**
1. UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 2. AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C33.
 3. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II, LOW ALKALI OR AS REQUIRED TO SATISFY SITE SOIL CONDITIONS AS DETERMINED BY THE PROJECT SOILS ENGINEER.
 4. WATER SHALL BE POTABLE, CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OIL, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS, OR OTHER SUBSTANCES THAT MAY BE DELETERIOUS TO CONCRETE OR REINFORCEMENT.
 5. ADMIXTURES TO BE USED IN CONCRETE SHALL BE SUBJECT TO PRIOR APPROVAL BY THE ENGINEER.
 6. MAXIMUM PERMISSIBLE WATER-CEMENT RATIOS FOR CONCRETE WHEN STRENGTH DATA FROM TRIAL BATCHES ARE NOT AVAILABLE SHALL CONFORM TO TABLE 4.5 OF ACI STANDARD 318-77 OR BASED ON SULFATE CONTENT OF THE SITE SOILS, AS DETERMINED BY THE SOILS ENGINEER. THE LOWER WATER-CEMENT RATIO SHALL GOVERN.
 7. CONCRETE SHALL BE CURED WHILE IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT. METHODS FOR ACCELERATED CURING SHALL HAVE PRIOR APPROVAL OF THE ENGINEER.
 8. THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE:
SLABS ON GRADE.....CENTER OF SLAB
CONCRETE BELOW GRADE, FORMED.....2"
CONCRETE BELOW GRADE, UNFORMED (POURED AGAINST EARTH).....3"
CONCRETE EXPOSED TO WEATHER.....1-1/2"

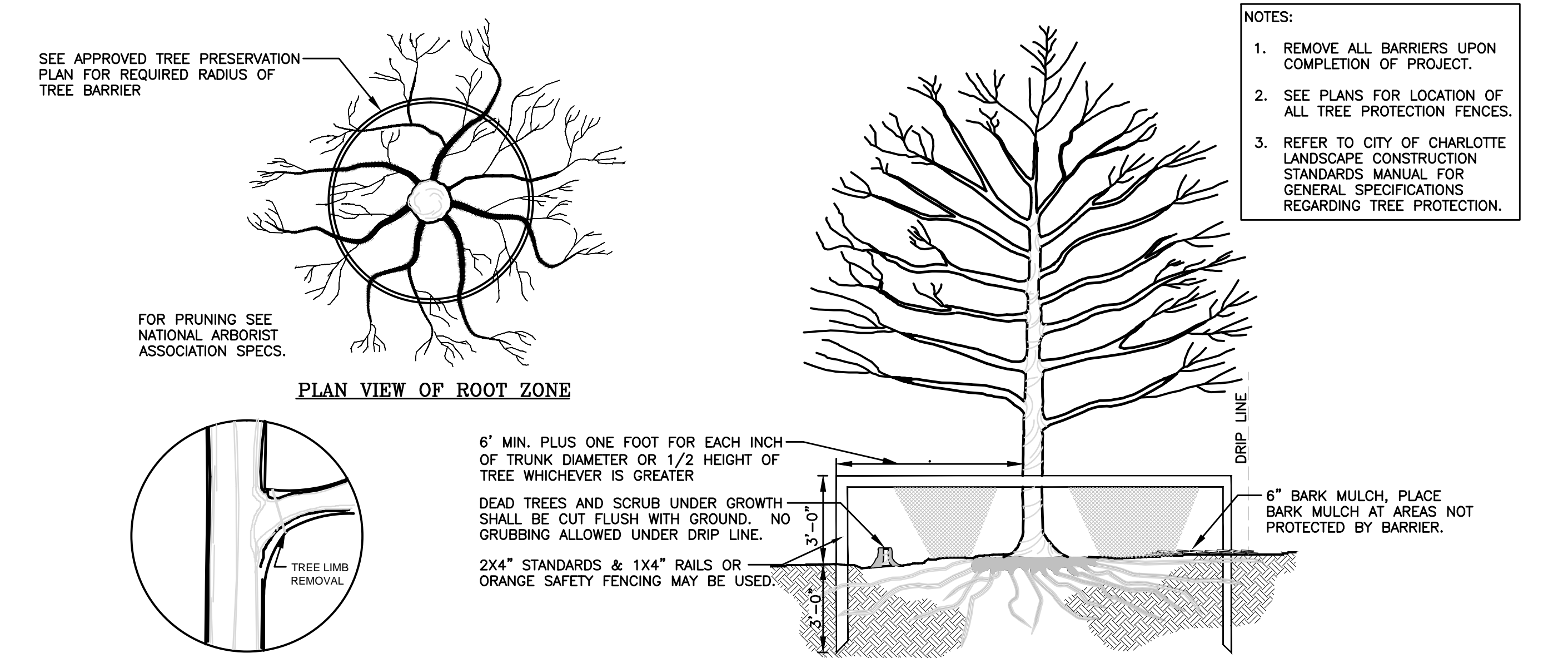
11 ACCESSIBLE CROSSWALK
NOT TO SCALE



10 VERTICAL CURB
NOT TO SCALE

6 ACCESSIBLE EGRESS LANDING
NOT TO SCALE

1 TREE PROTECTION FENCE
NOT TO SCALE



Bank of America University ADA Renovation

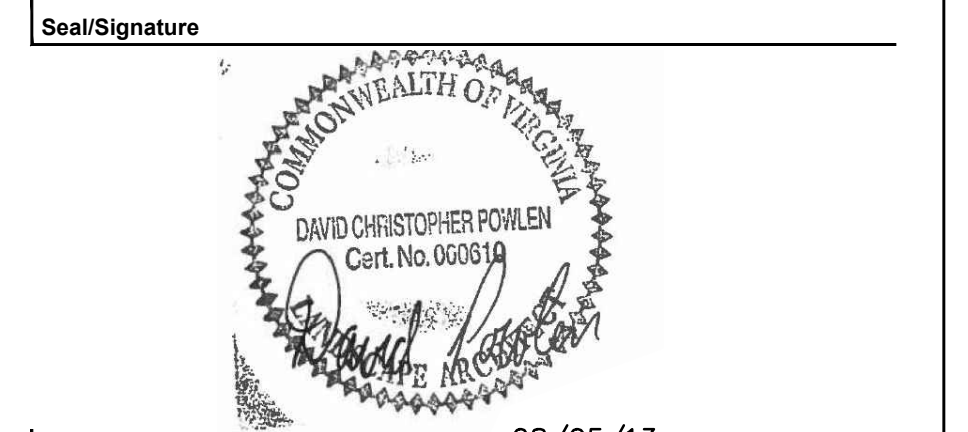
1619 University Avenue
Charlottesville, VA

SERIAL NUMBER: XXX
NRSP VERSION: 2.0
BULLETIN: 30 / DD 27



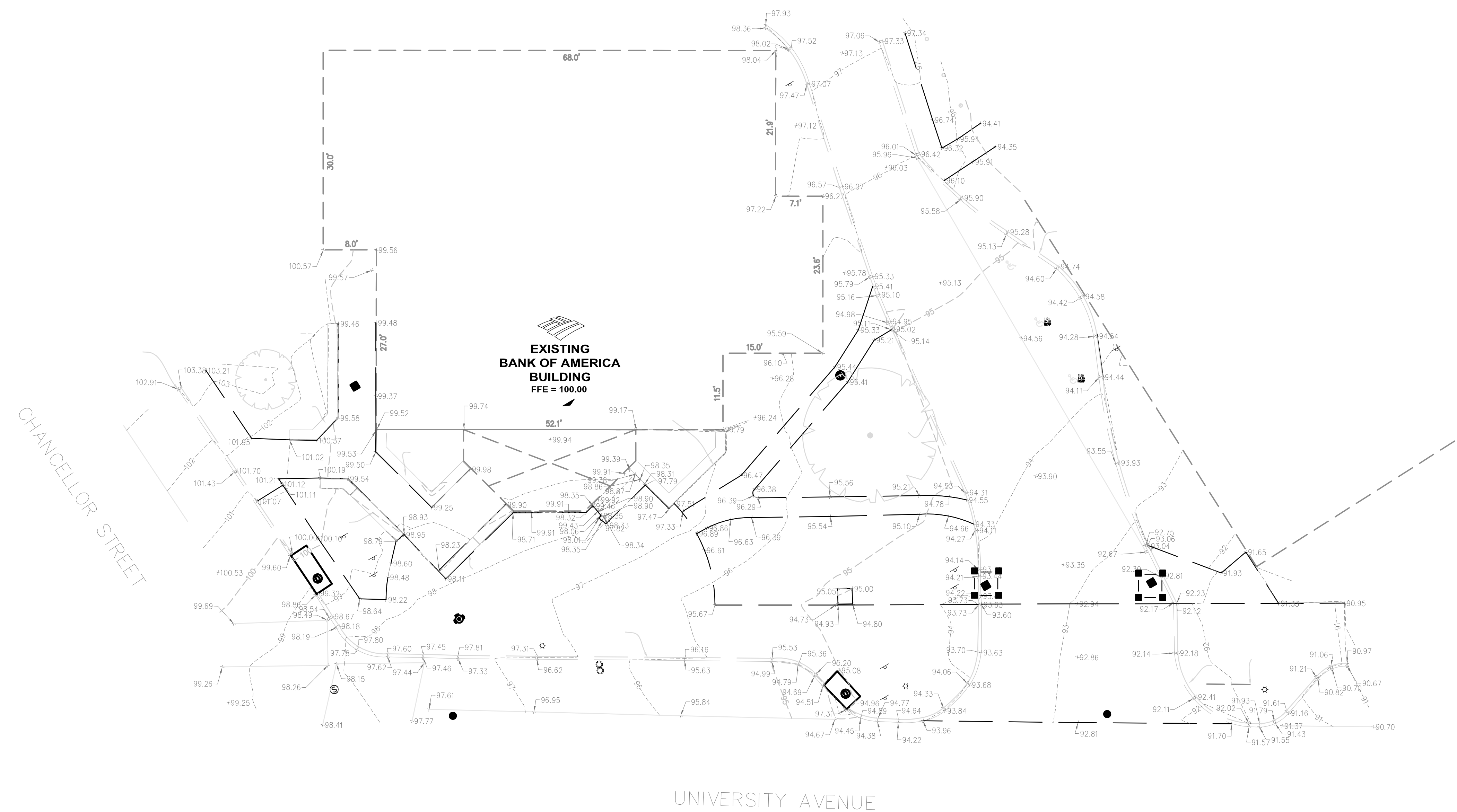
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Issue	Date & Issue Description	By	Check
01	02/06/12		
02	06/24/13		
03	08/05/13 PER BAR COMMENTS		
04	08/15/13 PER BAR COMMENTS		



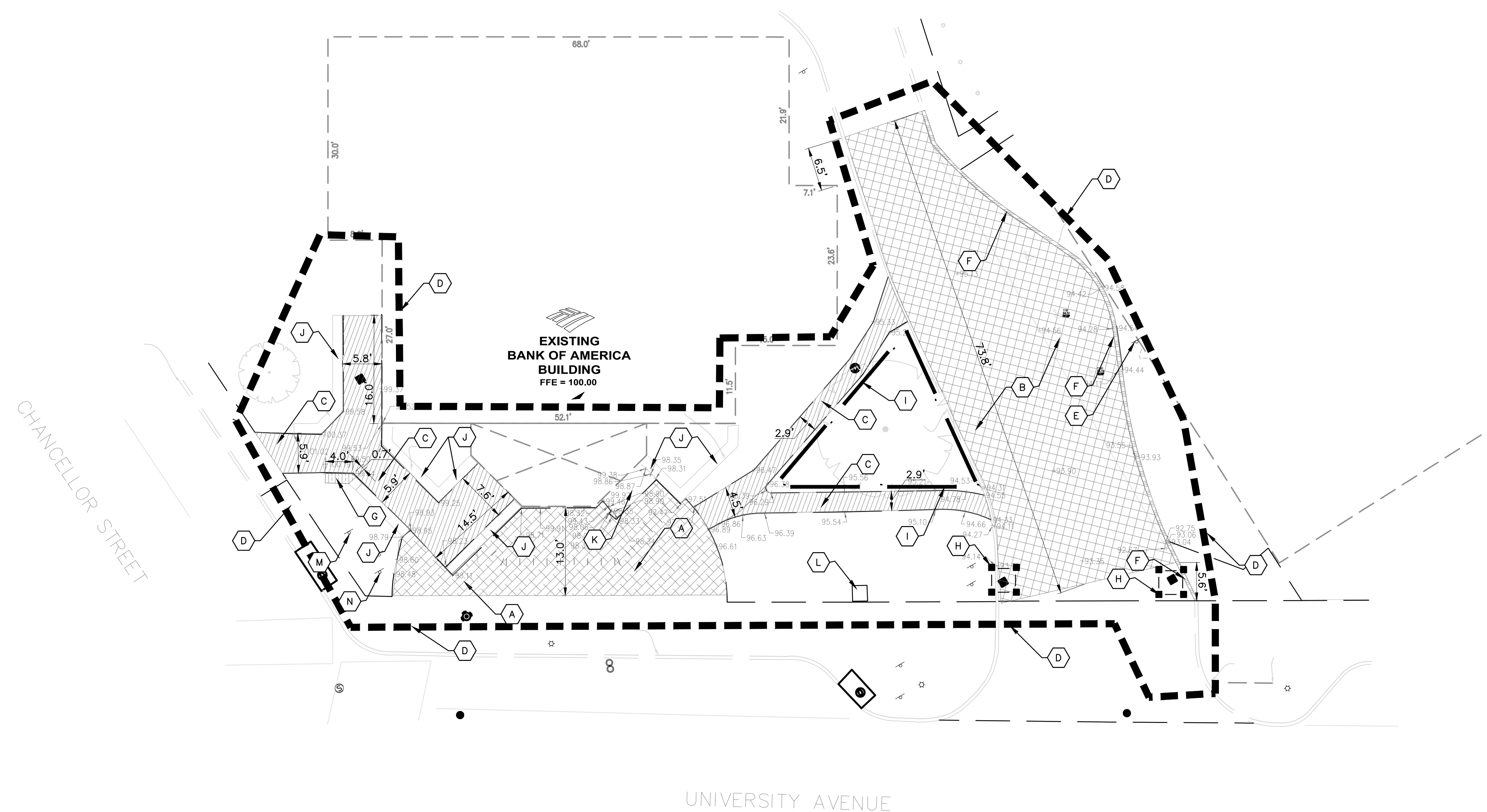
Project Name: Bank of America - University
223-7668-01
PROTOTYPE LAYOUT
CAD File Name
SITE DETAILS Description
Scale

C2.00



1. EXISTING CONDITIONS PLAN

SCALE: 1" = 10'-0"



2. DEMOLITION PLAN

SCALE: 1" = 10'-0"

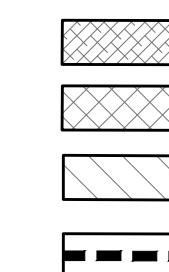
GENERAL NOTES:

1. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
4. CONTRACTOR IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGES TO THE EXISTING LANDSCAPE, IRRIGATION, POWER AND/OR HARDSCAPE.

THIS PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THIS PLAN IS PREPARED BY OTHERS. LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS SURVEY.

DEMOLITION NOTES:

- A. SAWCUT AND REMOVE EXISTING BRICK PAVING.
- B. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT.
- C. SAWCUT AND REMOVE EXISTING SIDEWALK AND RAMPS.
- D. LIMITS OF CONSTRUCTION.
- E. CONTRACTOR TO REMOVE EXISTING ACCESSIBLE SIGNAGE.
- F. SAWCUT AND REMOVE EXISTING CURB.
- G. SAWCUT AND REMOVE EXISTING PORTION OF THE RETAINING WALL AND REPAIR END OF WALL.
- H. INLET PROTECTION. SEE DETAIL 12/C2.00.
- I. TREE PROTECTION. SEE DETAIL 1/C2.00.
- J. EXISTING BRICK WALL TO REMAIN AND BE PROTECTED.
- K. EXISTING STEPS TO REMAIN AND BE PROTECTED. REMOVE EXISTING RAILS TO BE REPLACED.
- L. EXISTING MAILBOX TO REMAIN.
- M. EXISTING BANK OF AMERICA SIGN TO BE RELOCATED.
- N. EXISTING SIGN TO BE RELOCATED.



CAUTION!!!
 The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction.

Bank of America University ADA Renovation

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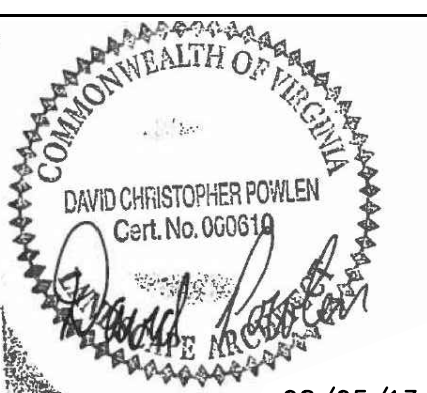
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Seal/Signature



08/05/13

Project Name
 Bank of America - University
 223-7668-01

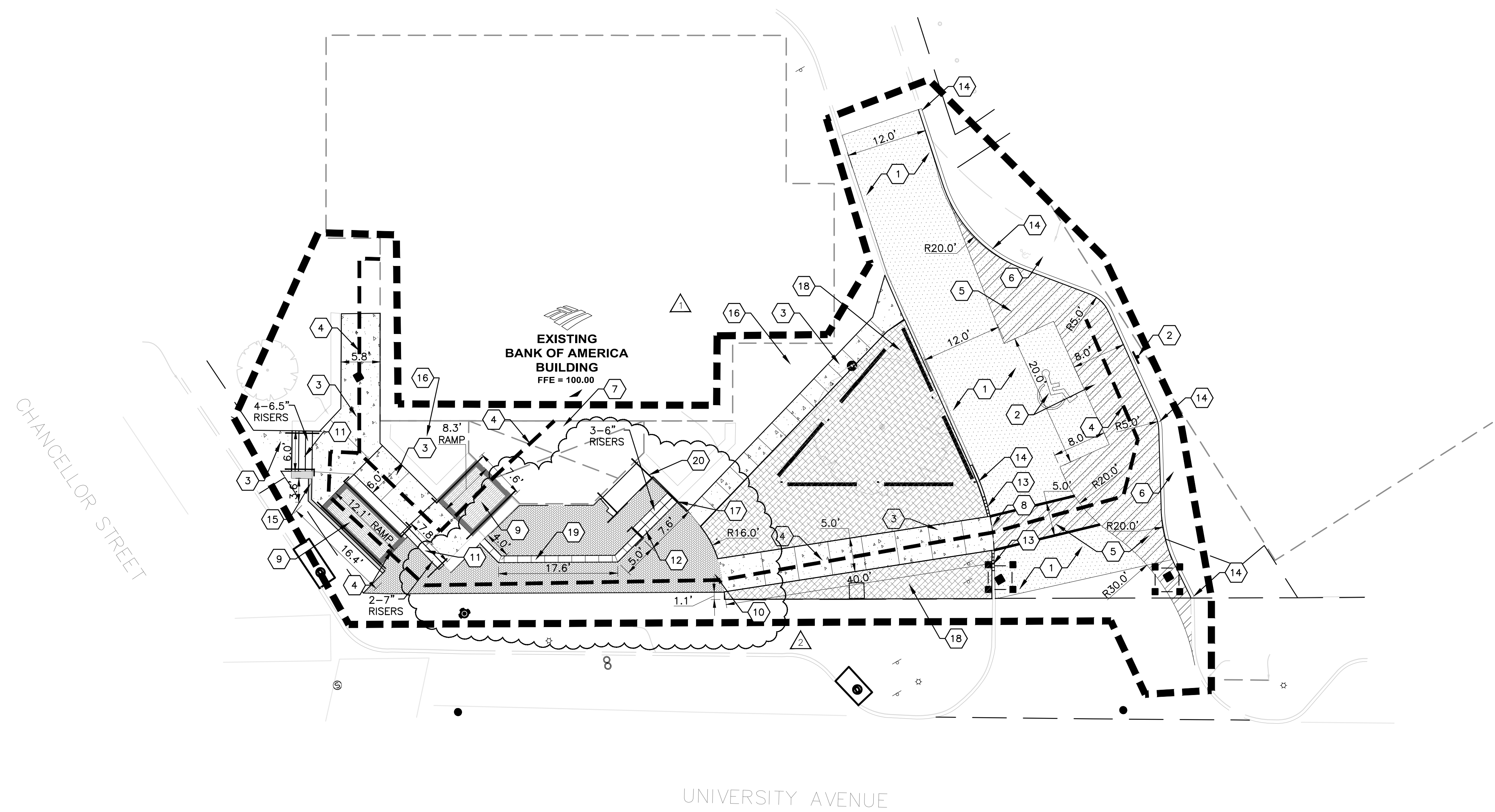
PROTOTYPE LAYOUT

CAD File Name

SITE PLAN
 Description

Scale

C1.00



3. SITE LAYOUT PLAN

SCALE: 1" = 10'-0"

GENERAL NOTES:

1. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
4. CONTRACTOR IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGES TO THE EXISTING LANDSCAPE, IRRIGATION, POWER AND/OR HARDSCAPE.

SITE LAYOUT NOTES:

1. NEW ASPHALT - SEE DETAIL 13/C2.00.
2. ACCESSIBLE STRIPING AND SIGNAGE - SEE DETAIL 3/C2.00.
3. NEW CONCRETE SIDEWALK - SEE DETAIL 2/C2.00.
4. ACCESSIBLE ROUTE - CONTRACTOR TO ENSURE THAT RUNNING SLOPE IS NOT GREATER THAN 5% AND THAT THE CROSS SLOPE IS NOT MORE THAN 2% ALONG THIS ROUTE.
5. ACCESSIBLE CROSSWALK STRIPING - SEE DETAIL 11/C2.00.
6. THE CONTRACTOR TO INSTALL TEMPORARY SEEDING IN ALL DISTURBED AREAS NOT COVERED BY PAVEMENT UPON COMPLETION OF CONSTRUCTION. CONTRACTOR TO INSTALL PERMANENT SEEDING DURING APPROPRIATE SEEDING SEASON.
7. ACCESSIBLE EGRESS LANDING. MAXIMUM SLOPE TO BE 2% IN EACH DIRECTION. LANDSCAPE ARCHITECT WILL INSPECT THIS AREA WITH A 2' DIGITAL LEVEL TO ENSURE COMPLIANCE PRIOR TO FINAL APPROVAL - SEE DETAIL 6/C2.00.
8. DASHED LINE INDICATES FLUSH CURB.
9. NEW RAMP WITH BRICK BANDING ALONG EDGES - SEE DETAIL 7/C2.00.
10. NEW POLYMERIC SAND SET BRICK SIDEWALK IN A HERRINGBONE PATTERN - SEE DETAIL 8/C2.00.
11. NEW CONCRETE STEPS WITH RAILS - SEE DETAIL 5/C2.00.
12. NEW BRICK STEPS WITH BLUESTONE TREADS AND HANDRAILS - TREAD HEIGHT AS NOTED - SEE DETAIL 9/C2.00.
13. 3' CURB TAPER.
14. NEW CONCRETE CURB TO MATCH EXISTING. - SEE DETAIL 10/C2.00.
15. NEW VERTICAL CURB - SEE DETAIL 10/C2.00.
16. WEED AND MULCH ALL PLANTED AREAS IN THE FRONT OF THE BUILDING. USE ONLY SHREDDED HARDWOOD BARK MULCH.
17. ALIGN FACE OF STEP WITH FACE OF EXISTING WALL AND ALIGN BRICK COURSEINGS WITH WALL.
18. PLANT 875 LIROPE MUSCARI @ 12" O.C. - 4" POTS AND MULCH TO MATCH OTHER BEDS.
19. SEAT/CHEEK WALL - SEE DETAIL 9/C2.00.
20. REPLACE ALL RAILS WITHOUT VERTICAL PICKETS - SEE DETAIL SHEET C2.00 FOR ADDITIONAL INFORMATION.

ACCESSIBILITY NOTE:

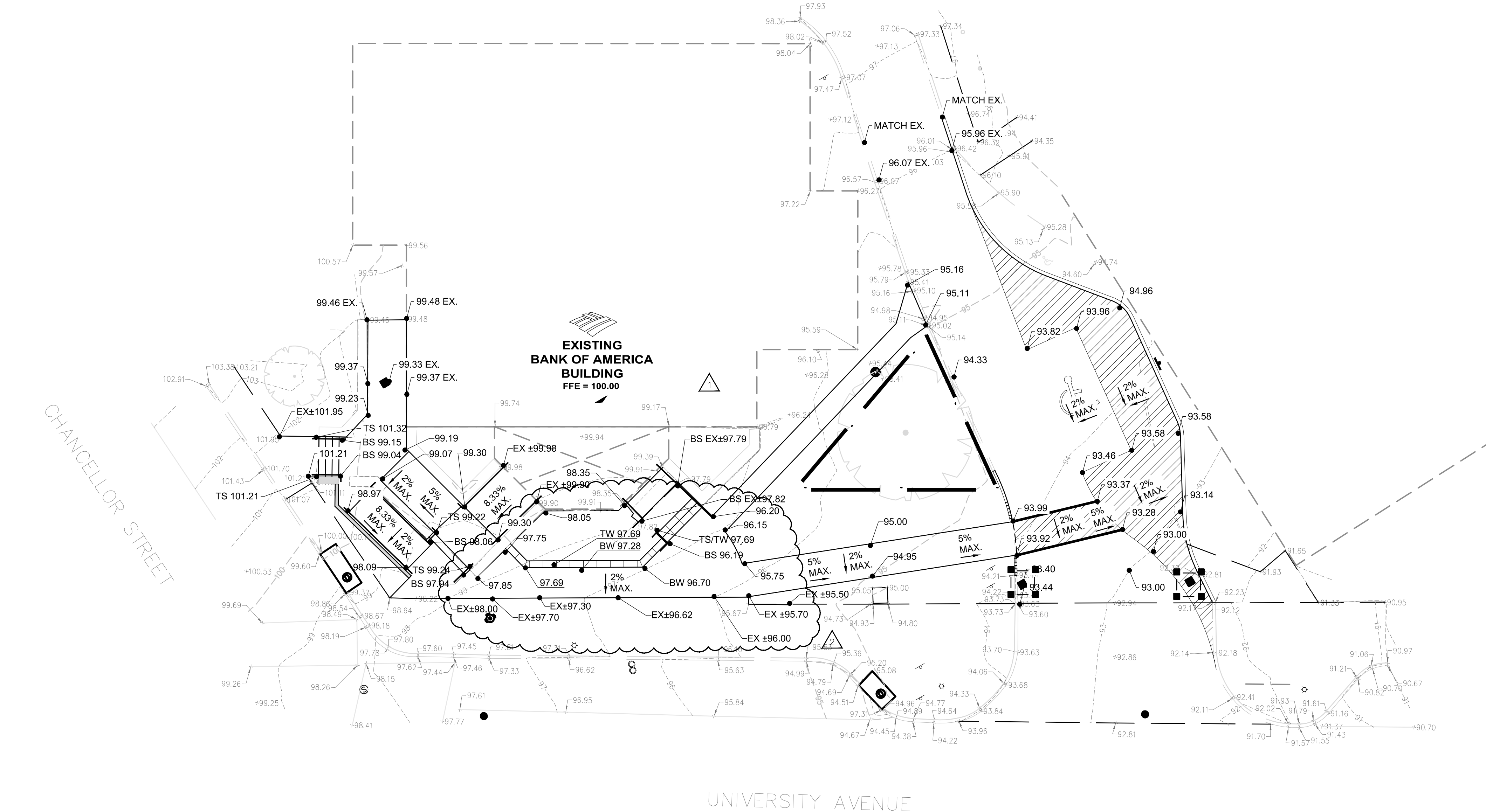
ADA REGULATIONS MANDATE A MAXIMUM OF 2% SLOPE IN ANY DIRECTION IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.

ADA REGULATIONS MANDATE REQUIRED EGRESS SIDEWALKS FROM PARKING TO THE BUILDING ENTRANCE AND PUBLIC RIGHT-OF-WAY CANNOT EXCEED 2% CROSS SLOPE AND 5% RUNNING SLOPE.

ALL GRADES IN THESE AREAS WILL BE VERIFIED BY ARCHITECT (USING A 2' DIGITAL LEVEL) PRIOR TO FINAL APPROVAL.

GRADING NOTES:

1. VERIFY ALL EXISTING GRADES. REPORT ANY DISCREPANCIES TO ARCHITECT.
2. ALL NEW CONTOURS AND SPOT ELEVATIONS ARE SHOWN AS FINISHED GRADES. THE GRADING CONTRACTOR MUST MAKE ALLOWANCES FOR THICKNESS OF PAVING SECTIONS, CONCRETE SLABS, ETC. WHERE APPLICABLE.
3. THE ENTIRE SITE WITHIN THE LIMIT OF CONSTRUCTION SHALL BE GRADED TO DRAIN FREELY. ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION, WHETHER INSIDE OR OUTSIDE OF THE LIMIT OF CONSTRUCTION, SHALL BE FINE GRADED AND SEEDED TO ESTABLISH A PERMANENT LAWN.
4. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES (INCLUDING SANITARY, STORM DRAINAGE, AND WATER) FROM DAMAGE DURING CONSTRUCTION. ALL UNDERGROUND UTILITIES EXPOSED DURING CONSTRUCTION OR THOSE LEFT WITH LESS THAN ACCEPTABLE MINIMUM EARTH COVER SHALL BE RELOCATED AS DETERMINED BY THE ARCHITECT.
5. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1, UNLESS INDICATED OTHERWISE.
6. ANY GRADING BEYOND THE PROPERTY LINE INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
7. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
9. THE UTILITIES AND THE LOCATION THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION. UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
10. ANY UNSUITABLE MATERIAL ON SITE IS TO BE QUANTIFIED BY A GEOTECHNICAL ENGINEER, PRIOR TO REMOVING. CONTRACTOR MUST NOTIFY OWNER, OR OWNER'S REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED.



4. GRADING PLAN

SCALE: 1" = 10'-0"



Know what's below. Call before you dig.

CAUTION!!!

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NRSP VERSION: 2.0
BULLETIN: 30 / DD 27

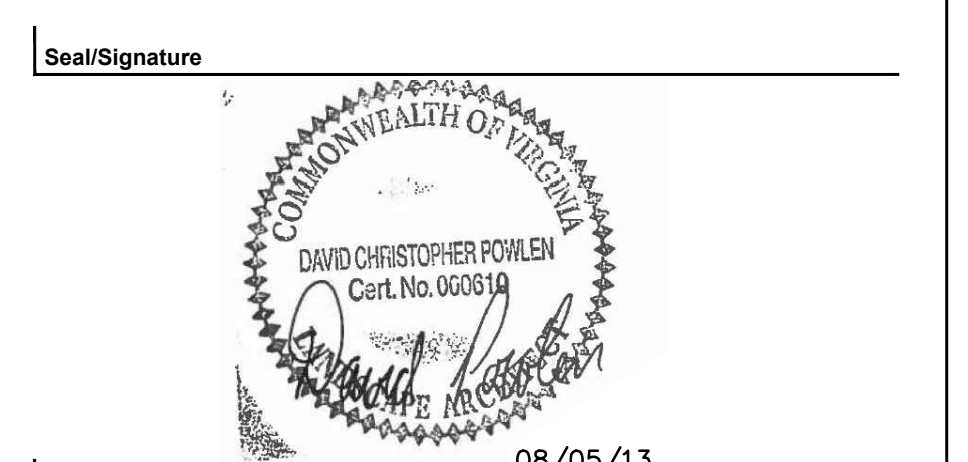


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Project Name
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223-7668-01

PROTOTYPE LAYOUT

CAD File Name
SITE PLAN

Description

Scale

C1.01