

From: Scala, Mary Joy
Sent: Wednesday, July 17, 2013 9:10 AM
To: Mark Van Sickle (MVanSickle@littleonline.com)
Cc: stephen.hruska@lincolnharris.com; Shane Brandwood (SBrandwood@littleonline.com)
Subject: BAR Action 1619 University Avenue July 16, 2013

July 17, 2013

Stephen Hruska
1111 East Main Street, Suite 601
Richmond, VA 23219

Certificate of Appropriateness Application

BAR 13-05-01
1619 University Avenue
Tax Map 9 Parcel 102
Stephen Hruska, Applicant/ Sovran Bank, Owner
Site demolition and ADA Renovation to front sidewalk area

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on July 16, 2013. The following action was taken:

Approved (4-2 with Adams and Osteen opposed) with conditions that the handrail design will match existing; eliminate two stairs in the center front; carry the bluestone cap detail across so it breaks the upper level from lower level; carry City sidewalk brick color to wall*; clean up geometry east side so there is a memory of an arc. Resubmit digitally to staff to be circulated to BAR for approval; *include two photoshop versions of brick color [dark City sidewalk brick and red brick to match existing] so final decision can be made.

Please submit the digital plans and photoshop images for approval when you are ready.

If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org



Board of Architectural Review (BAR)
Certificate of Appropriateness

RECEIVED

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

APR 25 2013

NEIGHBORHOOD DEVELOPMENT SERVICES

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name Sovran Bank Applicant Name Stephen Hruska
Project Name/Description University Bank of America ADA Renovation Parcel Number 090102000
Property Address 1619 University Avenue, Charlottesville VA (1619 W. Main St.)

Applicant Information

Address: 1111 East Main Street, Suite 601, Richmond, VA 23219

Email: Stephen.Hruska@lincolnharris.com

Phone: (W) 804-788-2120 (H)

FAX:

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Stephen Hruska

Digitally signed by Stephen Hruska
DN: dc=LOCAL, dc=LH, ou=Bank of America, ou=BA Southeast, cn=Stephen Hruska
Date: 2013.04.22 09:41:18 -0400

Signature

Date

Print Name

Date

Property Owner Information (if not applicant)

Address: 101 North Tryon Street, Charlotte, NC 28255

Email:

Phone: (W) (H)

FAX:

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Signature

Date

Print Name

Date

Description of Proposed Work (attach separate narrative if necessary): The proposed scope of work includes replacing asphalt at the accessible parking spaces and the sidewalk connecting the parking spaces to the building. The work also includes installing city standard pavers, concrete ramps and stairs to bring the site into ADA compliance.

List All Attachments (see reverse side for submittal requirements):

For Office Use Only

Received by: G. Barnow

Fee paid: 125.00 Cash/Ck. # 153615

Date Received: 4/25/2013

P13-0074

Approved/Disapproved by: M.J. Seale

Date: August 26, 2013

Conditions of approval:

C.100 and C.101 received 8/15

C. 2.00 received 8/20

Scala, Mary Joy

From: Scala, Mary Joy
Sent: Monday, August 05, 2013 2:44 PM
To: 'Mark Van Sickle'
Subject: RE: BAR Action 1619 University Avenue July 16, 2013

Mark,

Before I circulate these drawings to the BAR, I need to make sure you have addressed the conditions of approval:

Approved (4-2 with Adams and Osteen opposed) with conditions that the handrail design will match existing; eliminate two stairs in the center front; carry the bluestone cap detail across so it breaks the upper level from lower level; carry City sidewalk brick color to wall*; clean up geometry east side so there is a memory of an arc. Resubmit digitally to staff to be circulated to BAR for approval; *include two photoshop versions of brick color [dark City sidewalk brick and red brick to match existing] so final decision can be made.

1. Your handrail notes 5 and 7 on Sheet C2.00 should make it clear that the existing rails to be matched are picket. Right now the details show a different type of handrail.
2. You need to specify a brand and color for your plaza bricks. Will they be Old Virginia bricks as the BAR recommended?
3. You are supposed to keep the memory of an arc on the east side of the plaza. I don't see that at all.

I don't need the images again.

As soon as I get the correct pdf drawings I will email them to the BAR. I need five yes votes from them. If your drawings are in order it should take but a day or two for them to respond.

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services City Hall - 610 East Market Street P.O. Box 911 Charlottesville, VA 22902 Ph 434.970.3130 FAX 434.970.3359 scala@charlottesville.org

-----Original Message-----

From: Mark Van Sickle [mailto:MVanSickle@littleonline.com]
Sent: Monday, August 05, 2013 12:50 PM
To: Scala, Mary Joy
Subject: RE: BAR Action 1619 University Avenue July 16, 2013

Mary-Joy,

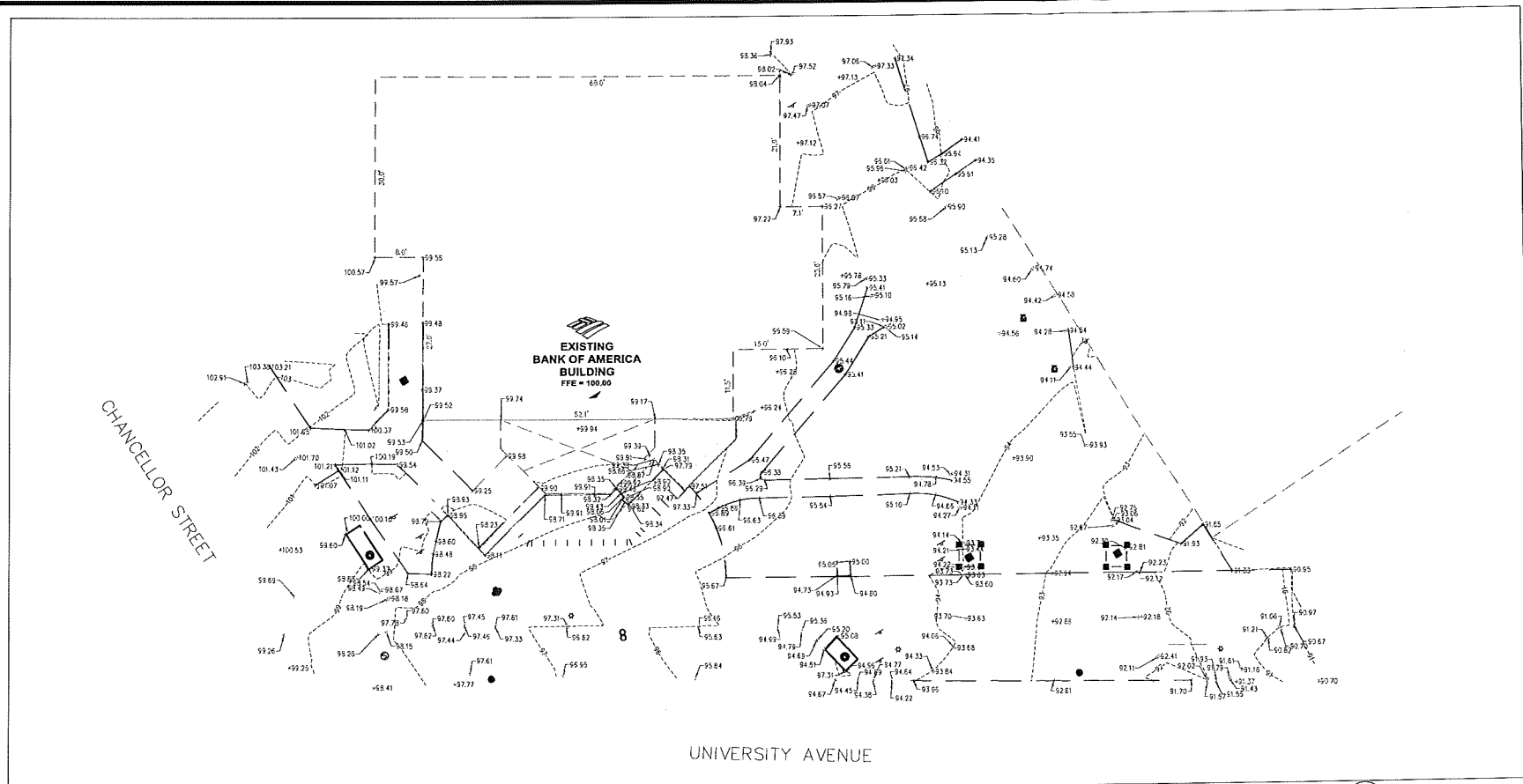
Attached are the PDFs of the CDs. I am not sure if you need the images again or not at this point. I will gladly send them along if you need them - just let me know.

Also - any idea on how long final approval will take? I am asking so I can tell the client - not trying to pressure you on it.

Thanks again for your help on this.

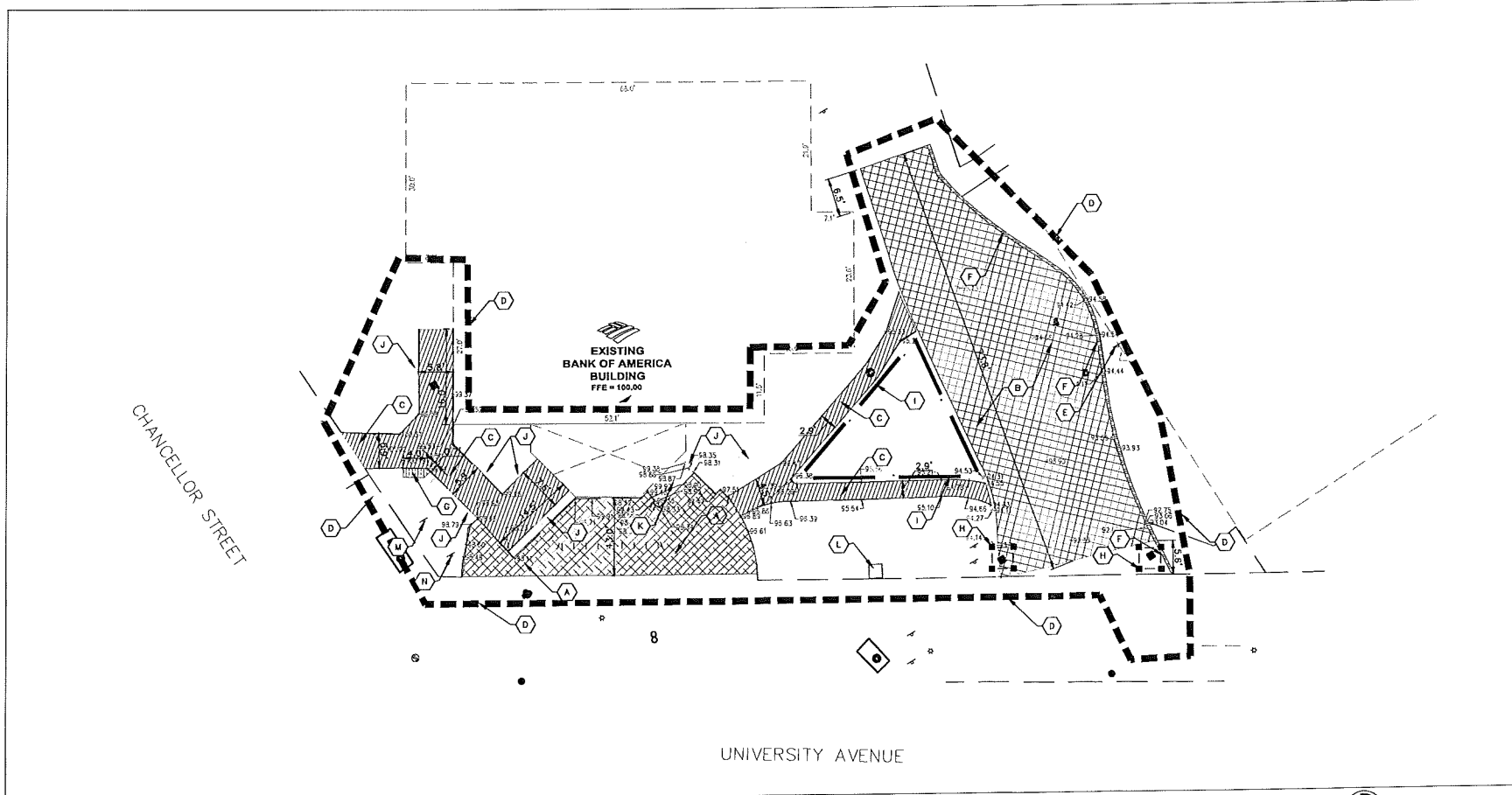
Mark

Mark S. Van Sickle, RLA, LEED AP
Land Development Services
Project Manager
Little
5815 Westpark Drive
Charlotte, North Carolina 28217
704.561.3417 (t) 704.491.0345 (m) 704.561.8700 (f)



1. EXISTING CONDITIONS PLAN

SCALE: 1" = 10'-0"



2. DEMOLITION PLAN

SCALE: 1" = 10'-0"

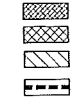
GENERAL NOTES:

1. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
4. CONTRACTOR IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGES TO THE EXISTING LANDSCAPE, IRRIGATION, POWER AND/OR HARDSCAPE.

THIS PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THIS PLAN IS PREPARED BY OTHERS. LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS SURVEY.

DEMOLITION NOTES:

- A. SAWCUT AND REMOVE EXISTING BRICK PAVING.
- B. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT.
- C. SAWCUT AND REMOVE EXISTING SIDEWALK AND RAMPS.
- D. LIMITS OF CONSTRUCTION.
- E. CONTRACTOR TO REMOVE EXISTING ACCESSIBLE SIGNAGE.
- F. SAWCUT AND REMOVE EXISTING CURB.
- G. SAWCUT AND REMOVE EXISTING PORTION OF THE RETAINING WALL AND REPAIR END OF WALL.
- H. INLET PROTECTION. SEE DETAIL 12/C2.00.
- I. TREE PROTECTION. SEE DETAIL 1/C2.00.
- J. EXISTING BRICK WALL TO REMAIN AND BE PROTECTED.
- K. EXISTING STEPS TO REMAIN AND BE PROTECTED.
- L. EXISTING MAILBOX TO REMAIN.
- M. EXISTING BANK OF AMERICA SIGN TO BE RELOCATED.
- N. EXISTING SIGN TO BE RELOCATED.



Know what's below. Call before you dig.

CAUTION!!!
The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction.

Bank of America University ADA Renovation

1619 University Avenue
Charlottesville, VA

SERIAL NUMBER: XXX
NRSP VERSION: 2.0
BULLETIN: 30 / DD 27

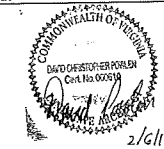


1619 University Avenue, Charlottesville, VA 22907
Tel: 704.426.1850 Fax: 704.426.2700
www.littleonline.com

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Issue	Date & Issue Description	By	Check
01	02/06/12		

Seal/Signature



Project Name
Bank of America - University
223-7668-01

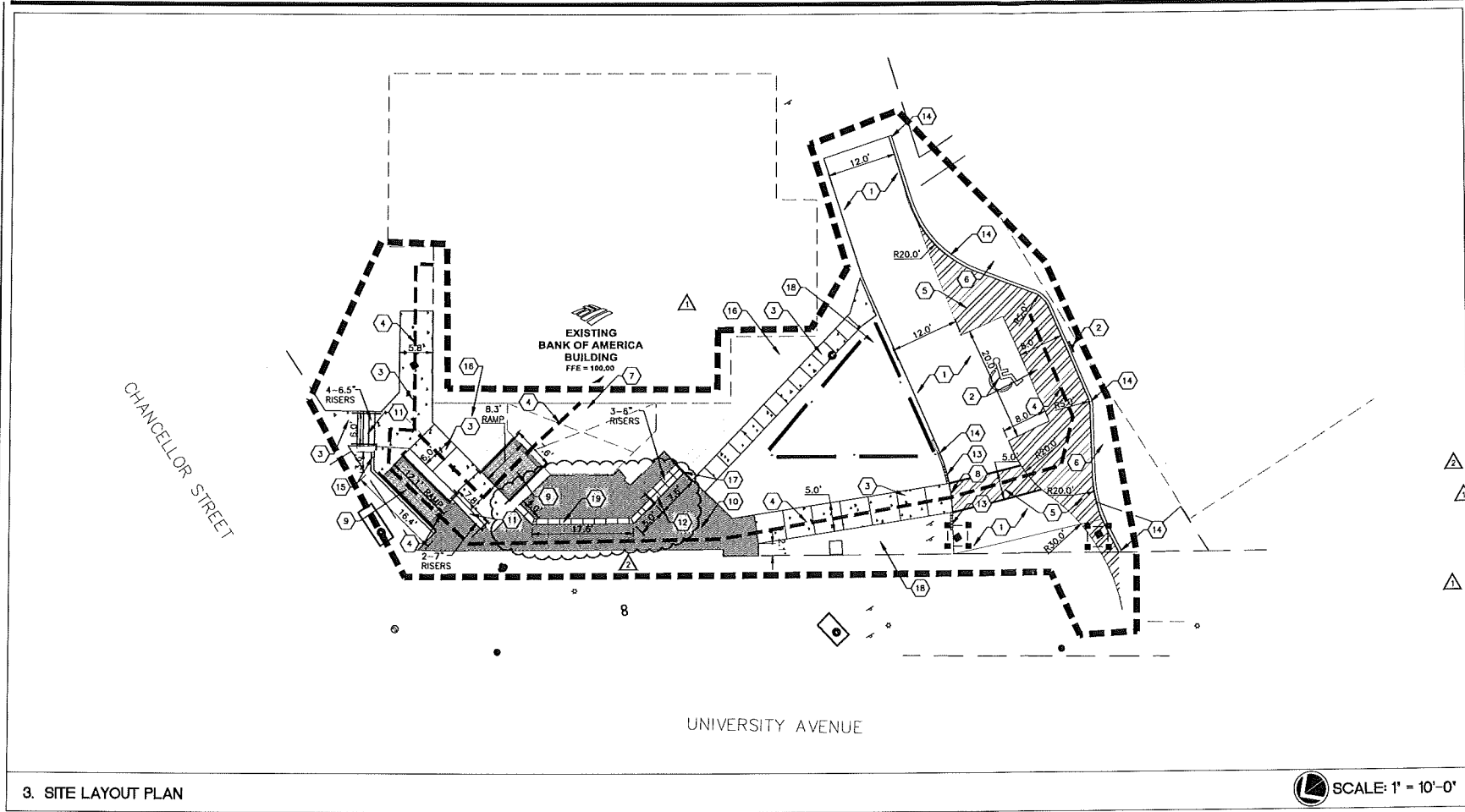
PROTOTYPE LAYOUT

CAD File Name

SITE PLAN Description

Scale

C1.00



3. SITE LAYOUT PLAN

SCALE: 1" = 10'-0"

GENERAL NOTES:

1. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
4. CONTRACTOR IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGES TO THE EXISTING LANDSCAPE, IRRIGATION, POWER AND/OR HARDSCAPE.

SITE LAYOUT NOTES:

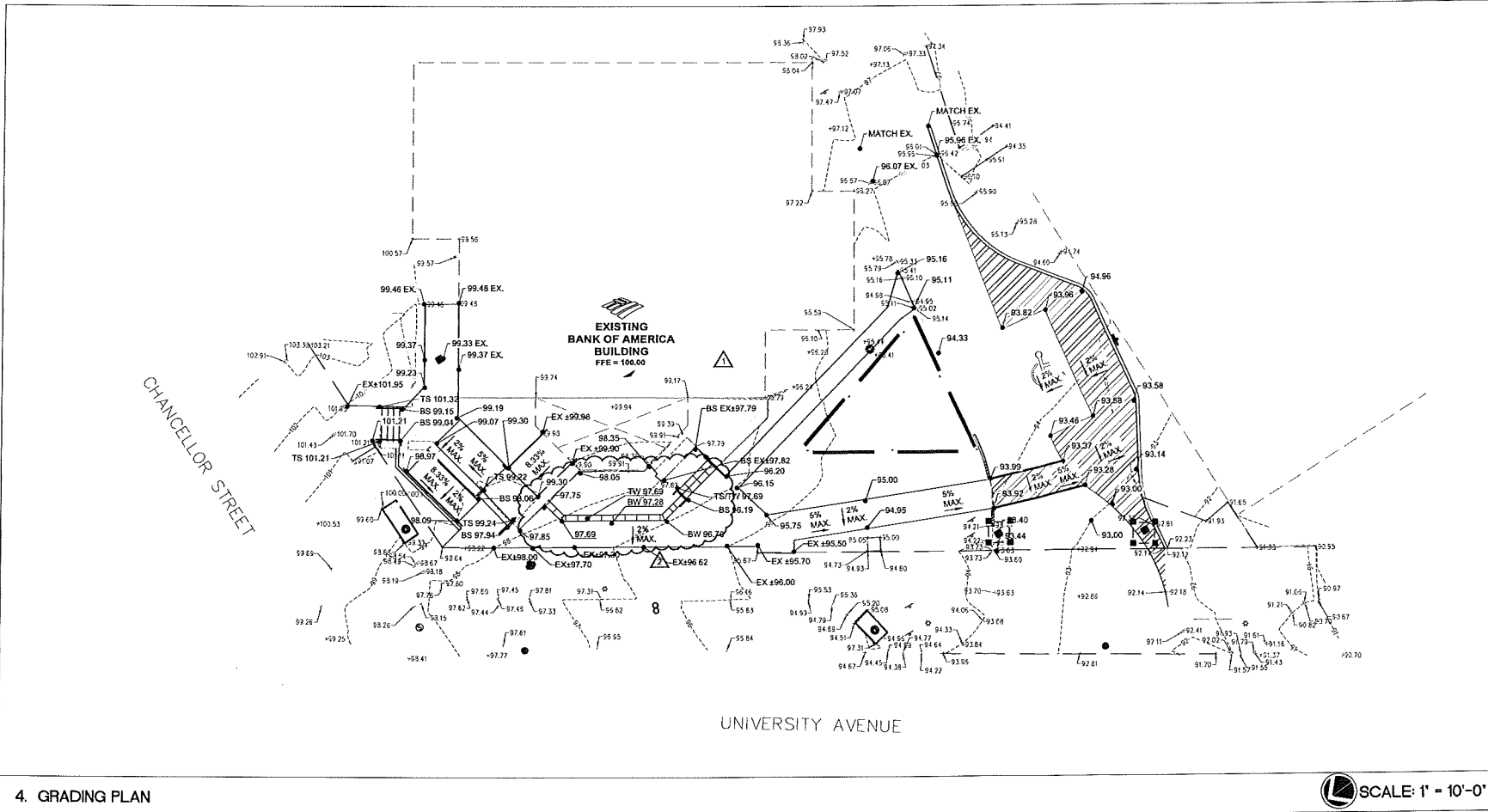
1. NEW ASPHALT - SEE DETAIL 13/C2.00.
2. ACCESSIBLE STRIPING AND SIGNAGE - SEE DETAIL 3/C2.00.
3. NEW CONCRETE SIDEWALK - SEE DETAIL 2/C2.00.
4. ACCESSIBLE ROUTE - CONTRACTOR TO ENSURE THAT RUNNING SLOPE IS NOT GREATER THAN 5% AND THAT THE CROSS SLOPE IS NOT MORE THAN 2% ALONG THIS ROUTE.
5. ACCESSIBLE CROSSWALK STRIPING - SEE DETAIL 11/C2.00.
6. THE CONTRACTOR TO INSTALL TEMPORARY SEEDING IN ALL DISTURBED AREAS NOT COVERED BY PAVEMENT UPON COMPLETION OF CONSTRUCTION. CONTRACTOR TO INSTALL PERMANENT SEEDING DURING APPROPRIATE SEEDING SEASON.
7. ACCESSIBLE EGRESS LANDING. MAXIMUM SLOPE TO BE 2% IN EACH DIRECTION. LANDSCAPE ARCHITECT WILL INSPECT THIS AREA WITH A 2' DIGITAL LEVEL TO ENSURE COMPLIANCE PRIOR TO FINAL APPROVAL - SEE DETAIL 8/C2.00.
8. DASHED LINE INDICATES FLUSH CURB.
9. NEW RAMP WITH BRICK BANDING ALONG EDGES - SEE DETAIL 7/C2.00.
10. NEW POLYMERIC SAND SET BRICK SIDEWALK IN A HERRINGBONE PATTERN - SEE DETAIL 8/C2.00.
11. NEW CONCRETE STEPS WITH BASES - SEE DETAIL 5/C2.00.
12. NEW BRICK STEPS WITH BLUESTONE TREADS AND HANDRAILS - TREAD HEIGHT AS NOTED - SEE DETAIL 9/C2.00.
13. 3' CURB TAPER.
14. NEW CONCRETE CURB TO MATCH EXISTING - SEE DETAIL 10/C2.00.
15. NEW VERTICAL CURB - SEE DETAIL 10/C2.00.
16. WEED AND MULCH ALL PLANTED AREAS IN THE FRONT OF THE BUILDING. USE ONLY SHREDDED HARDWOOD BARK MULCH.
17. ALIGN FACE OF STEP WITH FACE OF EXISTING WALL AND ALIGN BRICK COURSINGS WITH WALL.
18. PLANT 875 LIRIOPE MUSCARI @ 12" O.C. - 4" POTS AND MULCH TO MATCH OTHER BEDS.
19. SEAT/CHEEK WALL - SEE DETAIL 9/C2.00.

ACCESSIBILITY NOTE:

ADA REGULATIONS MANDATE A MAXIMUM OF 2% SLOPE IN ANY DIRECTION IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.
 ADA REGULATIONS MANDATE REQUIRED EGRESS SIDEWALKS FROM PARKING TO THE BUILDING ENTRANCE AND PUBLIC RIGHT-OF-WAY CANNOT EXCEED 2% CROSS SLOPE AND 5% RUNNING SLOPE.
 ALL GRADES IN THESE AREAS WILL BE VERIFIED BY ARCHITECT (USING A 2' DIGITAL LEVEL) PRIOR TO FINAL APPROVAL.

GRADING NOTES:

1. VERIFY ALL EXISTING GRADES. REPORT ANY DISCREPANCIES TO ARCHITECT.
2. ALL NEW CONTOURS AND SPOT ELEVATIONS ARE SHOWN AS FINISHED GRADES. THE GRADING CONTRACTOR MUST MAKE ALLOWANCES FOR THICKNESS OF PAVING SECTIONS, CONCRETE SLABS, ETC. WHERE APPLICABLE.
3. THE ENTIRE SITE WITHIN THE LIMIT OF CONSTRUCTION SHALL BE GRADED TO DRAIN FREELY. ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION, WHETHER INSIDE OR OUTSIDE OF THE LIMIT OF CONSTRUCTION, SHALL BE FINE GRADED AND SEEDED TO ESTABLISH A PERMANENT LAWN.
4. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES (INCLUDING SANITARY, STORM DRAINAGE, AND WATER) FROM DAMAGE DURING CONSTRUCTION. ALL UNDERGROUND UTILITIES EXPOSED DURING CONSTRUCTION OR THOSE LEFT WITH LESS THAN ACCEPTABLE MINIMUM EARTH COVER SHALL BE RELOCATED AS DETERMINED BY THE ARCHITECT.
5. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1, UNLESS INDICATED OTHERWISE.
6. ANY GRADING BEYOND THE PROPERTY LINE INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
7. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
9. THE UTILITIES AND THE LOCATION THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION. UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
10. ANY UNSUITABLE MATERIAL ON SITE IS TO BE QUANTIFIED BY A GEOTECHNICAL ENGINEER, PRIOR TO REMOVING. CONTRACTOR MUST NOTIFY OWNER, OR OWNER'S REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED.



4. GRADING PLAN

SCALE: 1" = 10'-0"



CAUTION!!!
 The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction.

Bank of America University ADA Renovation

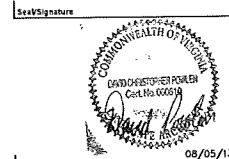
1619 University Avenue
 Charlottesville, VA

SERIAL NUMBER: XXX
 NRSP VERSION: 2.0
 BULLETIN: 30 / DD 27



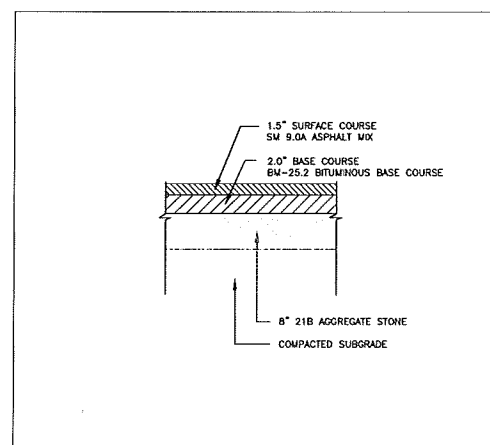
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Issue	Date & Issue Description	By	Check
01	02/06/12		
02	06/24/13		
03	08/05/13 PER BAR REVIEW		



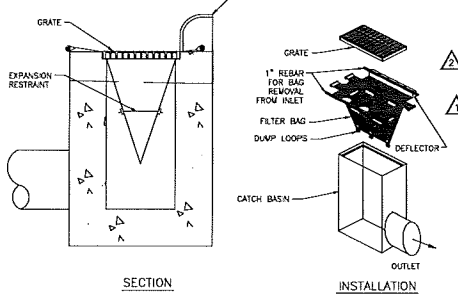
Project Name
 Bank of America - University
 223-7668-01
 PROJECT TYPE LAYOUT
 CAD File Name
 SITE PLAN
 Description

C1.01

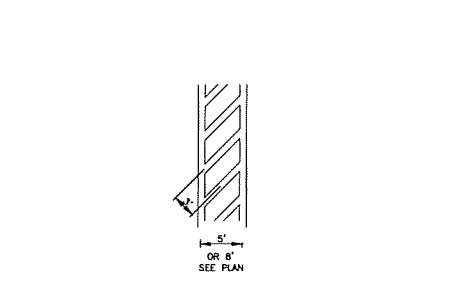


13 LIGHT-DUTY ASPHALT
NOT TO SCALE

- NOTES**
1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
 2. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE CITY INSPECTOR.
 3. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).

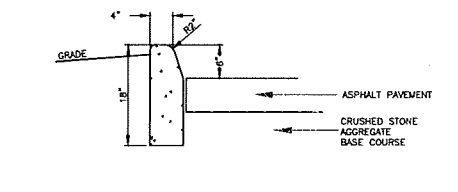


12 CATCH BASIN INSERT INLET PROTECTION
NOT TO SCALE



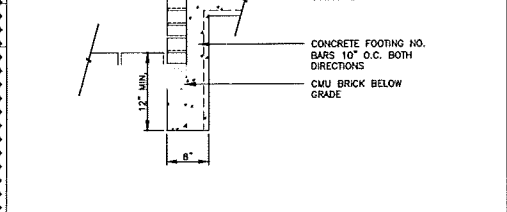
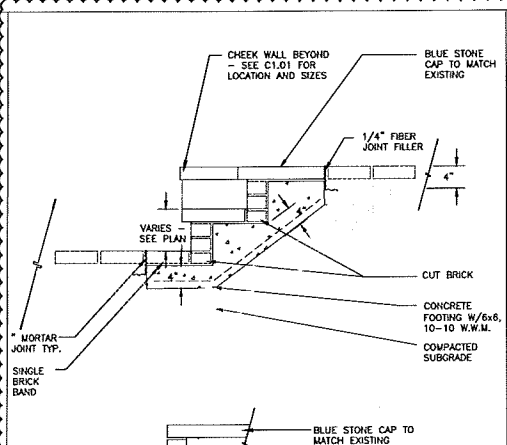
ALL PAINT SHALL BE WHITE ALKYL-RESIN TYPE, READY MIXED, COMPLYING WITH FS TT-P-115, TYPE I, OR AASHTO M-248, TYPE N

11 ACCESSIBLE CROSSWALK
NOT TO SCALE

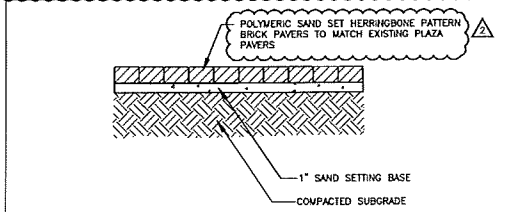


- GENERAL NOTES:**
1. CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS, EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS.
 2. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1\"/>
 - 3. ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT SEALER.
 - 4. EXPANSION JOINTS SHALL BE SPACED AT 80 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.
 - 5. CONCRETE SHALL BE AT LEAST 4000 P. S. I.

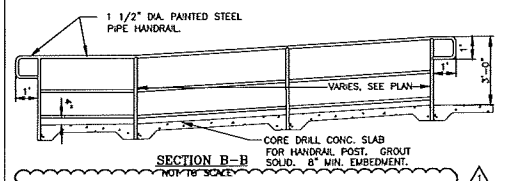
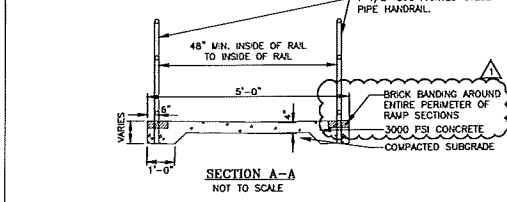
10 VERTICAL CURB
NOT TO SCALE



9 BRICK STEPS AND CHEEK WALL
NOT TO SCALE

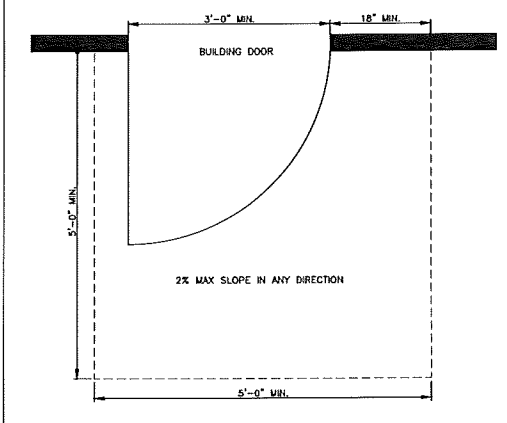


8 BRICK SIDEWALK DETAIL
NOT TO SCALE

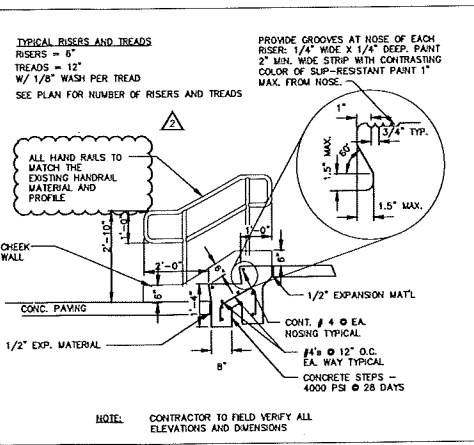


- NOTES:**
1. ALL HANDRAILS SHALL BE 1 1/2\"/>
 - 2. HANDRAILS TO MATCH EXISTING RAIL PROFILE.

7 ACCESSIBLE RAMP WITH RAILS
NOT TO SCALE

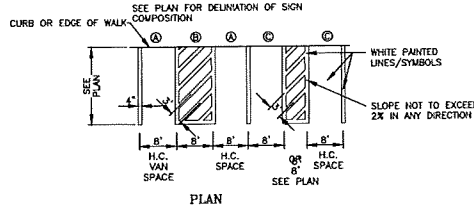


6 ACCESSIBLE EGRESS LANDING
NOT TO SCALE

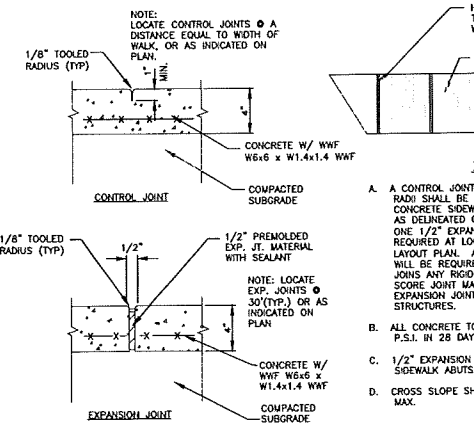


5 CONCRETE STEPS/SLOOP
NOT TO SCALE

- NOTES:**
1. ALL 12"x16" ACCESSIBLE SIGNS (R7-B & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MOUNTED). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND VIRGINIA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
 3. IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.



3 ACCESSIBLE STRIPING & SIGNAGE
NOT TO SCALE

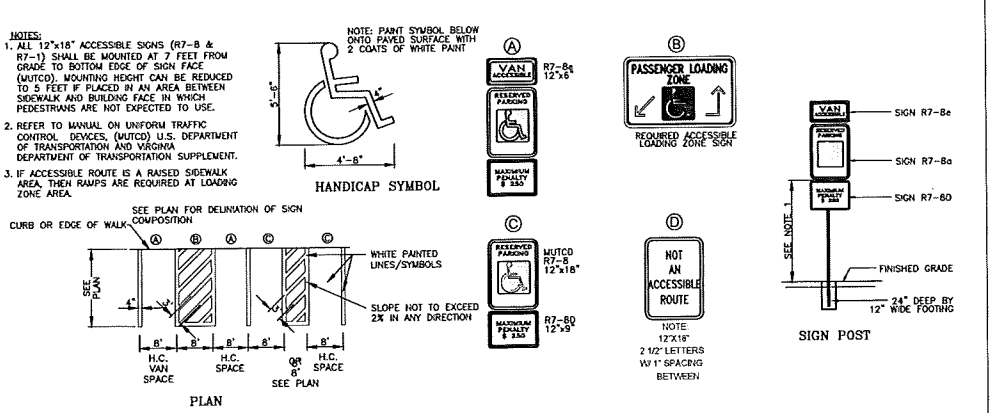


2 CONCRETE SIDEWALK
NOT TO SCALE

- CONCRETE NOTES:**
1. UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 2. AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C33.
 3. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II, LOW ALKALI OR AS REQUIRED TO SATISFY SITE SOIL CONDITIONS AS DETERMINED BY THE PROJECT SOILS ENGINEER.
 4. WATER SHALL BE POTABLE, CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OIL, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS, OR OTHER SUBSTANCES THAT MAY BE DELETERIOUS TO CONCRETE OR REINFORCEMENT.
 5. AD Mixtures TO BE USED IN CONCRETE SHALL BE SUBJECT TO PRIOR APPROVAL BY THE ENGINEER.
 6. MAXIMUM PERMISSIBLE WATER-CEMENT RATIOS FOR CONCRETE WHEN STRENGTH DATA FROM TRIAL BATCHES ARE NOT AVAILABLE SHALL CONFORM TO TABLE 4.5 OF ACI STANDARD 318-77 OR BASED ON SULFATE CONTENT OF THE SITE SOILS, AS DETERMINED BY THE SOILS ENGINEER. THE LOWER WATER-CEMENT RATIO SHALL GOVERN.
 7. CONCRETE SHALL BE CURED WHILE IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT. METHODS FOR ACCELERATED CURING SHALL HAVE PRIOR APPROVAL OF THE ENGINEER.
 8. THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE:

CONCRETE BELOW GRADE, FORMED	2"
CONCRETE BELOW GRADE, UNFORMED (POURED AGAINST EARTH)	3"
CONCRETE EXPOSED TO WEATHER	1-1/2"

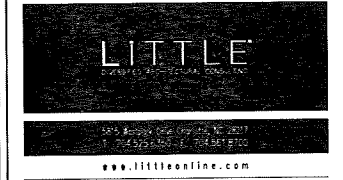
4 CONCRETE NOTES
NOT TO SCALE



1 TREE PROTECTION FENCE
NOT TO SCALE

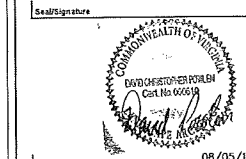
Bank of America University ADA Renovation
1619 University Avenue
Charlotteville, VA

SERIAL NUMBER: XXX
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02	06/24/13			
03	08/05/13	PER BAR COMMENTS		



Project Name: Bank of America - University
223-7668-01
PROTOTYPE LAYOUT

CAD File Name:
SITE DETAILS
Description:

Scale:

C2.00

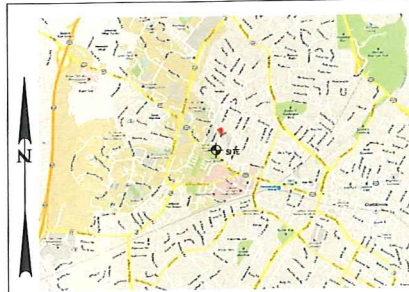
BANK OF AMERICA - UNIVERSITY ADA UPGRADES

Construction Documents 1619 University Avenue, Charlottesville, VA

INDEX OF DRAWINGS

- CS.01 COVER SHEET
- C1.00 EXISTING CONDITIONS AND DEMOLITION PLAN
- C1.01 LAYOUT AND GRADING PLAN
- C1.02 LANDSCAPE PLAN
- C2.00 DETAILS
- C3.00 EXISTING CONDITIONS SITE PHOTOS
- C3.01 EXISTING PERSEPCTIVE
- C3.02 PROPOSED CONCEPTUAL PERSPECTIVE

VICINITY MAP



NOT TO SCALE

SITE INFORMATION

SITE DATA
 PIN 090102000
 ACREAGE 0.5960
 ZONING CD
 SPECIFIC OVERLAY ZONE ARCHITECTURAL DESIGN CONTROL DISTRICT

DEVELOPMENT DATA
 DISTURBED AREA 4,550 SF OR 0.10 ACRES

PROJECT DESCRIPTION
 THE SCOPE OF THE PROJECT IS TO REPLACE ASPHALT AT THE EXISTING ACCESSIBLE PARKING SPACES AND REPLACE THE SIDEWALK CONNECTING THE PARKING SPACES TO THE BUILDING. THE WORK ALSO INCLUDES REPLACING EXISTING BRICK PAVING WITH CITY STANDARD PAVERS AND INSTALLING RAMPS AND STAIRS TO BRING THE SITE INTO ADA COMPLIANCE.

PROJECT TEAM

ARCHITECT / SITE PLANNING
 LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING
 5815 WESTPARK DRIVE
 CHARLOTTE, NC 28217
 (704) 525-6350

OWNER
 LINCOLN HARRIS
 STEPHEN HRUSKA - PROJECT MANAGER
 1111 EAST MAIN STREET, SUITE 601
 RICHMOND, VA 23219
 (804) 788-2120

SURVEYOR
 VANASSE HANGEN BRUSTLIN, INC.
 115 SOUTH 15TH STREET, SUITE 200
 RICHMOND, VA 23219
 (804) 343-7100

Bank of America University ADA Renovation

1619 University Avenue
Charlottesville, VA

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Project Name Bank of America - University
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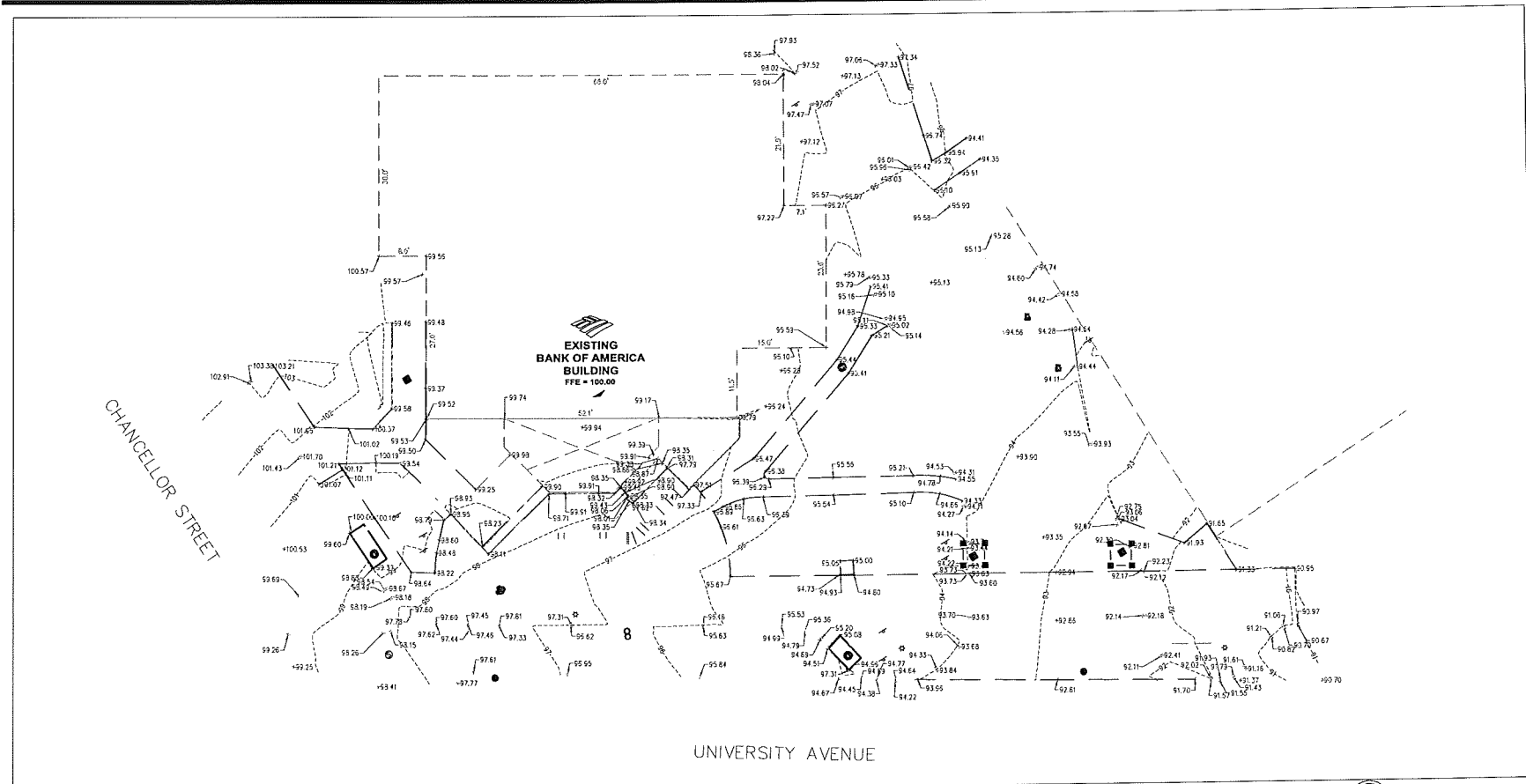
PROTOTYPE LAYOUT

CAD File Name

COVER SHEET Description

Scale

CS 1.00



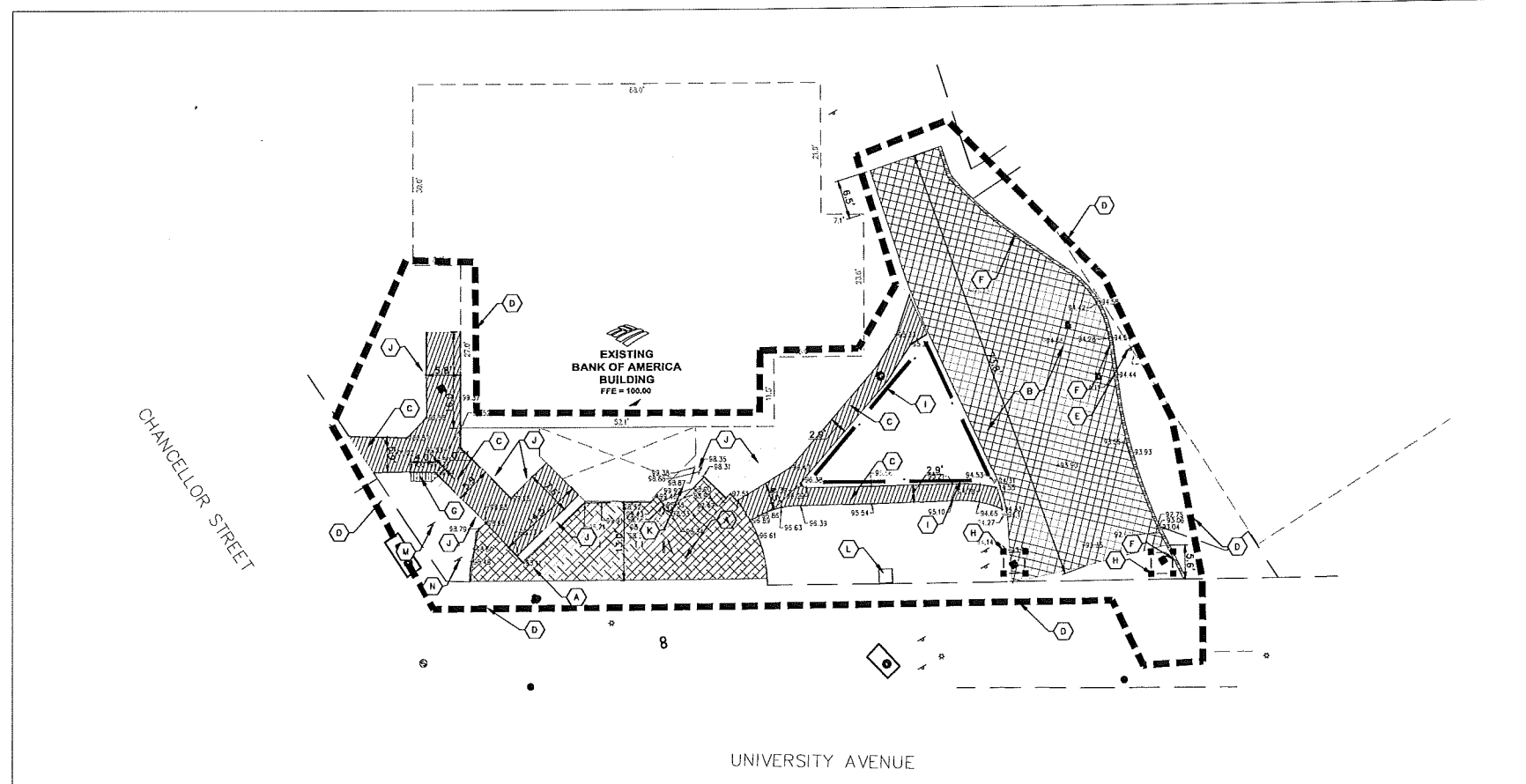
1. EXISTING CONDITIONS PLAN

SCALE: 1" = 10'-0"

GENERAL NOTES:

1. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVERSE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
4. CONTRACTOR IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGES TO THE EXISTING LANDSCAPE, IRRIGATION, POWER AND/OR HARDSCAPE.

THIS PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THIS PLAN IS PREPARED BY OTHERS. LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS SURVEY.

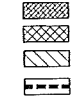


2. DEMOLITION PLAN

SCALE: 1" = 10'-0"

DEMOLITION NOTES:

- A. SAWCUT AND REMOVE EXISTING BRICK PAVING.
- B. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT.
- C. SAWCUT AND REMOVE EXISTING SIDEWALK AND RAMPS.
- D. LIMITS OF CONSTRUCTION.
- E. CONTRACTOR TO REMOVE EXISTING ACCESSIBLE SIGNAGE.
- F. SAWCUT AND REMOVE EXISTING CURB.
- G. SAWCUT AND REMOVE EXISTING PORTION OF THE RETAINING WALL AND REPAIR END OF WALL.
- H. INLET PROTECTION. SEE DETAIL 12/C2.00.
- I. TREE PROTECTION. SEE DETAIL 1/C2.00.
- J. EXISTING BRICK WALL TO REMAIN AND BE PROTECTED.
- K. EXISTING STEPS TO REMAIN AND BE PROTECTED.
- L. EXISTING MAILBOX TO REMAIN.
- M. EXISTING BANK OF AMERICA SIGN TO BE RELOCATED.
- N. EXISTING SIGN TO BE RELOCATED.



CAUTION!!!
The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness or accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction.

Bank of America University ADA Renovation

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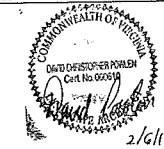


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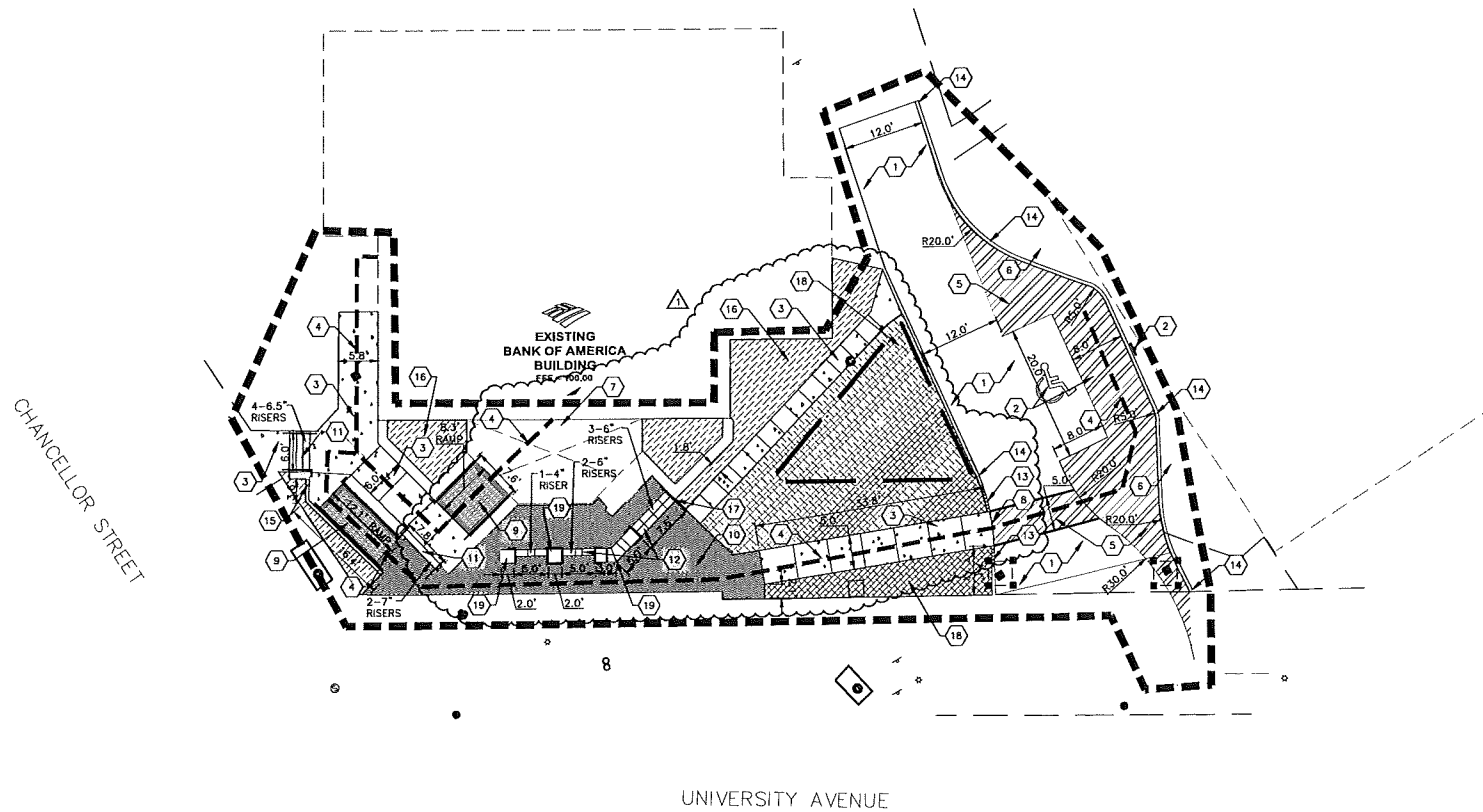
PROTOTYPE LAYOUT

CAD File Name

SITE PLAN Description

Scale

C1.00



3. SITE LAYOUT PLAN

SCALE: 1" = 10'-0"

GENERAL NOTES:

1. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
4. CONTRACTOR IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGES TO THE EXISTING LANDSCAPE, IRRIGATION, POWER AND/OR HARDSCAPE.

SITE LAYOUT NOTES:

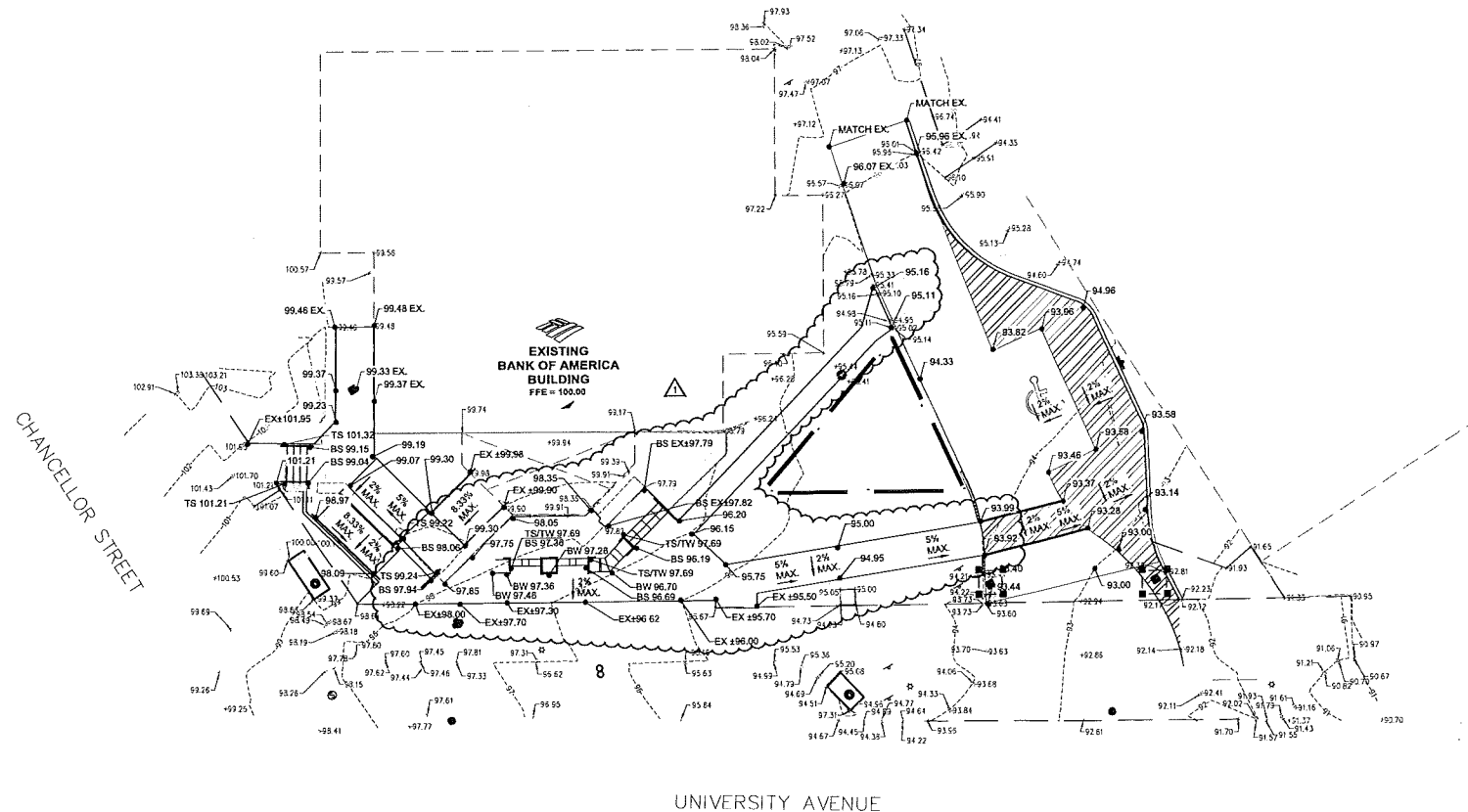
1. NEW ASPHALT - SEE DETAIL 13/C2.00.
2. ACCESSIBLE STRIPING AND SIGNAGE - SEE DETAIL 3/C2.00.
3. NEW CONCRETE SIDEWALK - SEE DETAIL 2/C2.00.
4. ACCESSIBLE ROUTE - CONTRACTOR TO ENSURE THAT RUNNING SLOPE IS NOT GREATER THAN 5% AND THAT THE CROSS SLOPE IS NOT MORE THAN 2% ALONG THIS ROUTE.
5. ACCESSIBLE CROSSWALK STRIPING - SEE DETAIL 11/C2.00.
6. THE CONTRACTOR TO INSTALL TEMPORARY SEEDING IN ALL DISTURBED AREAS NOT COVERED BY PAVEMENT UPON COMPLETION OF CONSTRUCTION. CONTRACTOR TO INSTALL PERMANENT SEEDING DURING APPROPRIATE SEEDING SEASON.
7. ACCESSIBLE EGRESS LANDING. MAXIMUM SLOPE TO BE 2% IN EACH DIRECTION. LANDSCAPE ARCHITECT WILL INSPECT THIS AREA WITH A 2' DIGITAL LEVEL TO ENSURE COMPLIANCE PRIOR TO FINAL APPROVAL - SEE DETAIL 6/C2.00.
8. DASHED LINE INDICATES FLUSH CURB.
9. NEW RAMP WITH BRICK BANDING ALONG EDGES - SEE DETAIL 7/C2.00.
10. NEW SAND SET BRICK SIDEWALK IN A HERRINGBONE PATTERN - SEE DETAIL 8/C2.00.
11. NEW CONCRETE STEPS WITH RAILS - SEE DETAIL 5/C2.00.
12. NEW BRICK STEPS WITH BLUESTONE TREADS AND RAILS - TREADS HEIGHT AS NOTED - SEE DETAIL 9/C2.00.
13. 3" CURB TAPER.
14. NEW CONCRETE CURB TO MATCH EXISTING - SEE DETAIL 10/C2.00.
15. NEW METAL CURB - SEE DETAIL 10/C2.00.
16. WEED AND MULCH ALL PLANTED AREAS IN THE FRONT OF THE BUILDING. USE ONLY SHREDDED HARDWOOD BARK MULCH.
17. ALIGN FACE OF STEP WITH FACE OF EXISTING WALL AND ALIGN BRICK COURSEINGS WITH WALL.
18. PLANT B75 UROFO MUSCARI @ 12" O.C. - 4" POTS AND MULCH TO MATCH OTHER BEDS.
19. SEAT/CHEEK WALL - SEE DETAIL 9/C2.00.

ACCESSIBILITY NOTE:

ADA REGULATIONS MANDATE A MAXIMUM OF 2% SLOPE IN ANY DIRECTION IN ACCESSIBLE PARKING SPACES AND ACCESSIBLE AREAS.
 ADA REGULATIONS MANDATE REQUIRED EGRESS SIDEWALKS FROM PARKING TO THE BUILDING ENTRANCE AND PUBLIC RIGHT-OF-WAY CANNOT EXCEED 2% CROSS SLOPE AND 5% RUNNING SLOPE.
 ALL GRADES IN THESE AREAS WILL BE VERIFIED BY ARCHITECT (USING A 2' DIGITAL LEVEL) PRIOR TO FINAL APPROVAL.

GRADING NOTES:

1. VERIFY ALL EXISTING GRADES. REPORT ANY DISCREPANCIES TO ARCHITECT.
2. ALL NEW CONTOURS AND SPOT ELEVATIONS ARE SHOWN AS FINISHED GRADES. THE GRADING CONTRACTOR MUST MAKE ALLOWANCES FOR THICKNESS OF PAVING SECTIONS, CONCRETE SLABS, ETC. WHERE APPLICABLE.
3. THE ENTIRE SITE WITHIN THE LIMIT OF CONSTRUCTION SHALL BE GRADED TO DRAIN FREELY. ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION, WHETHER INSIDE OR OUTSIDE OF THE LIMIT OF CONSTRUCTION, SHALL BE FINE GRADED AND SEEDED TO ESTABLISH A PERMANENT LAWN.
4. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES (INCLUDING SANITARY, STORM DRAINAGE, AND WATER) FROM DAMAGE DURING CONSTRUCTION. ALL UNDERGROUND UTILITIES EXPOSED DURING CONSTRUCTION OR THOSE LEFT WITH LESS THAN ACCEPTABLE MINIMUM EARTH COVER SHALL BE RELOCATED AS DETERMINED BY THE ARCHITECT.
5. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1, UNLESS INDICATED OTHERWISE.
6. ANY GRADING BEYOND THE PROPERTY LINE INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
7. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
9. THE UTILITIES AND THE LOCATION THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION. UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
10. ANY UNSUITABLE MATERIAL ON SITE IS TO BE QUANTIFIED BY A GEOTECHNICAL ENGINEER, PRIOR TO REMOVING. CONTRACTOR MUST NOTIFY OWNER, OR OWNER'S REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED.



4. GRADING PLAN

SCALE: 1" = 10'-0"



Know what's below. Call before you dig.

CAUTION!!!

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Bank of America University ADA Renovation

1619 University Avenue
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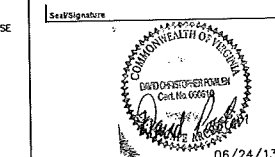


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Project Name
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 223-7668-01

PROTOTYPE LAYOUT

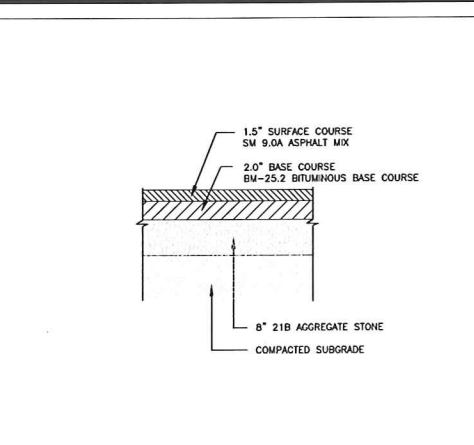
CAD File Name

SITE PLAN

Description

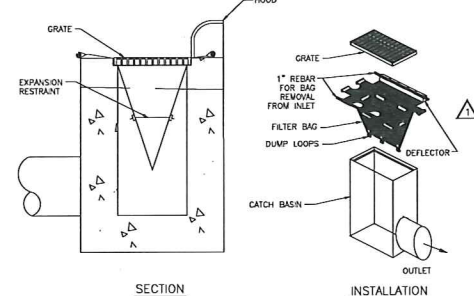
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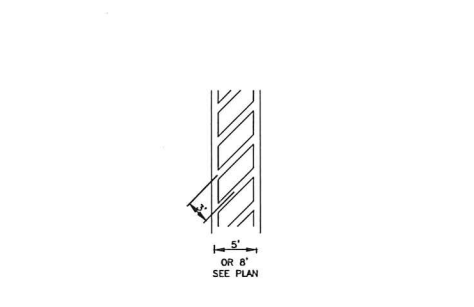


13 LIGHT-DUTY ASPHALT
NOT TO SCALE

- NOTES**
1. INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
 2. FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE CITY INSPECTOR.
 3. FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).

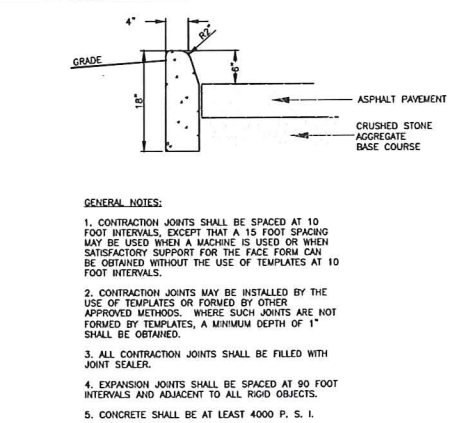


12 CATCH BASIN INSERT INLET PROTECTION
NOT TO SCALE

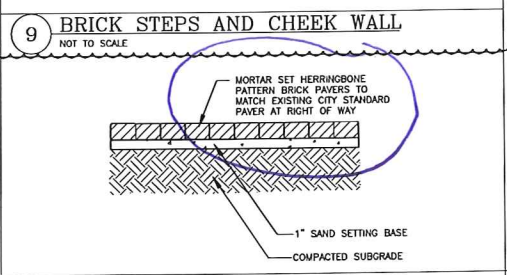
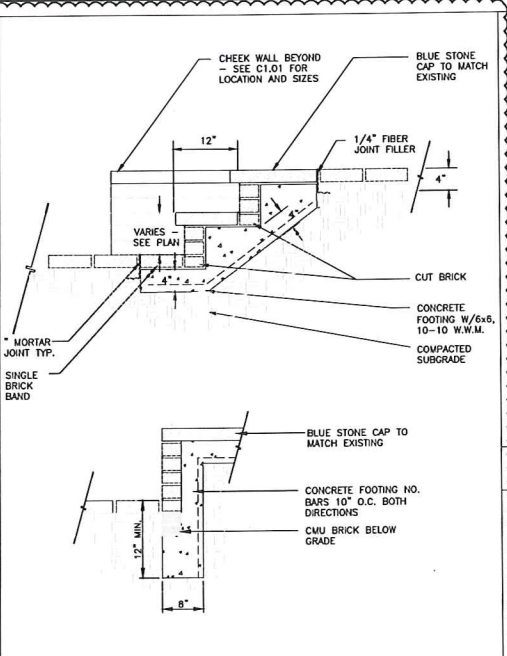


ALL PAINT SHALL BE WHITE ALKYD-RESIN TYPE, READY MIXED, COMPLYING WITH FS TI-P-115, TYPE I, OR ASHTO M-248, TYPE II

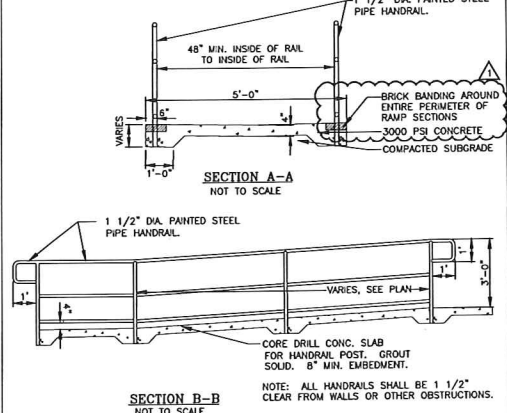
11 ACCESSIBLE CROSSWALK
NOT TO SCALE



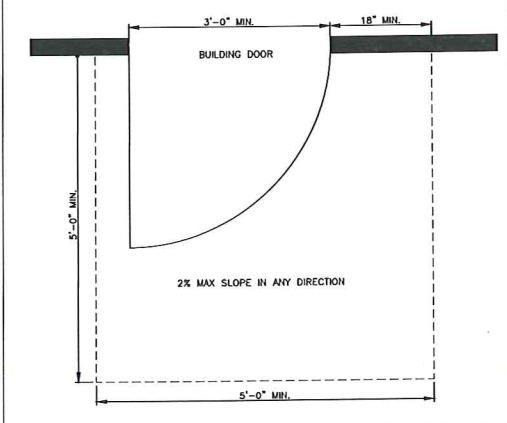
10 VERTICAL CURB
NOT TO SCALE



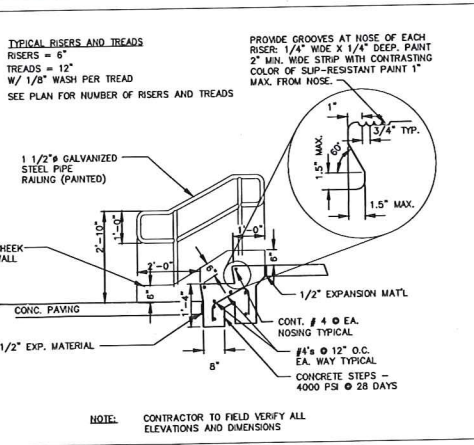
8 BRICK SIDEWALK DETAIL
NOT TO SCALE



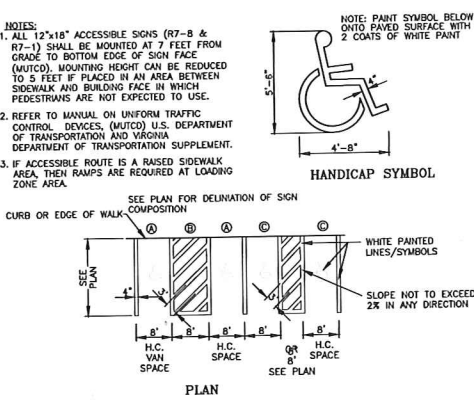
7 ACCESSIBLE RAMP WITH RAILS
NOT TO SCALE



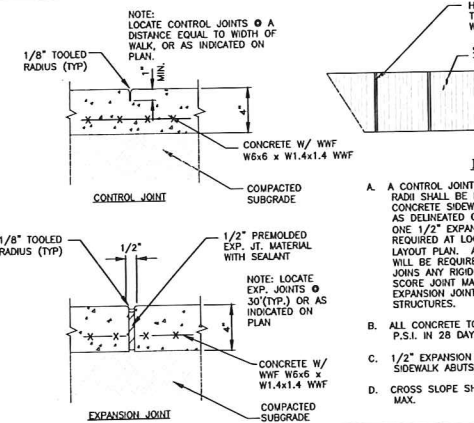
6 ACCESSIBLE EGRESS LANDING
NOT TO SCALE



5 CONCRETE STEPS/STOOP
NOT TO SCALE



3 ACCESSIBLE STRIPING & SIGNAGE
NOT TO SCALE



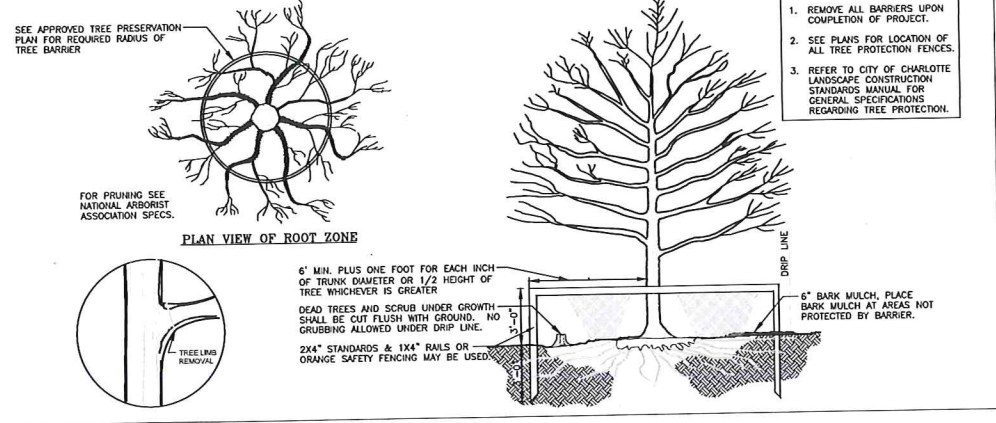
2 CONCRETE SIDEWALK
NOT TO SCALE

CONCRETE NOTES

1. UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
2. AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C33.
3. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II, LOW ALKALI OR AS REQUIRED TO SATISFY SITE SOIL CONDITIONS AS DETERMINED BY THE PROJECT SOILS ENGINEER.
4. WATER SHALL BE POTABLE, CLEAN AND FREE FROM OBTRUSIVE AMOUNTS OF OIL, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS, OR OTHER SUBSTANCES THAT MAY BE DELETERIOUS TO CONCRETE OR REINFORCEMENT.
5. ADMIXTURES TO BE USED IN CONCRETE SHALL BE SUBJECT TO PRIOR APPROVAL BY THE ENGINEER.
6. MAXIMUM PERMISSIBLE WATER-CEMENT RATIOS FOR CONCRETE WHEN STRENGTH DATA FROM TRIAL BATCHES ARE NOT AVAILABLE SHALL CONFORM TO TABLE 4.5 OF ACI STANDARD 318-11 OR BASED ON SULFATE CONTENT OF THE SITE SOILS, AS DETERMINED BY THE SOILS ENGINEER. THE LOWER WATER-CEMENT RATIO SHALL GOVERN.
7. CONCRETE SHALL BE CURED WHILE IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT. METHODS FOR ACCELERATED CURING SHALL HAVE PRIOR APPROVAL OF THE ENGINEER.
8. THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE:

SLABS ON GRADE.....	2"
CONCRETE BELOW GRADE, FORMED.....	2"
CONCRETE BELOW GRADE, UNFORMED.....	3"
(POURED AGAINST EARTH).....	1-1/2"

4 CONCRETE NOTES
NOT TO SCALE



1 TREE PROTECTION FENCE
NOT TO SCALE

Bank of America University ADA Renovation

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223-7668-01

PROTOTYPE LAYOUT

CAD File Name

SITE DETAILS
Description

Scale

C2.00



EXISTING BRICK PAVING AT BUILDING ENTRANCE



EXISTING BRICK PAVING AND CONCRETE RAMP AT BUILDING ENTRANCE



EXISTING CONCRETE SIDEWALK CONNECTION TO THE EXISTING ACCESSIBLE PARKING SPACES



EXISTING ACCESSIBLE PARKING SPACES



EXISTING CONCRETE RAMP AT BUILDING ENTRANCE



EXISTING CONCRETE SIDEWALK CONNECTION



EXISTING BRICK PAVING AND STAIRS

Bank of America University ADA Renovation

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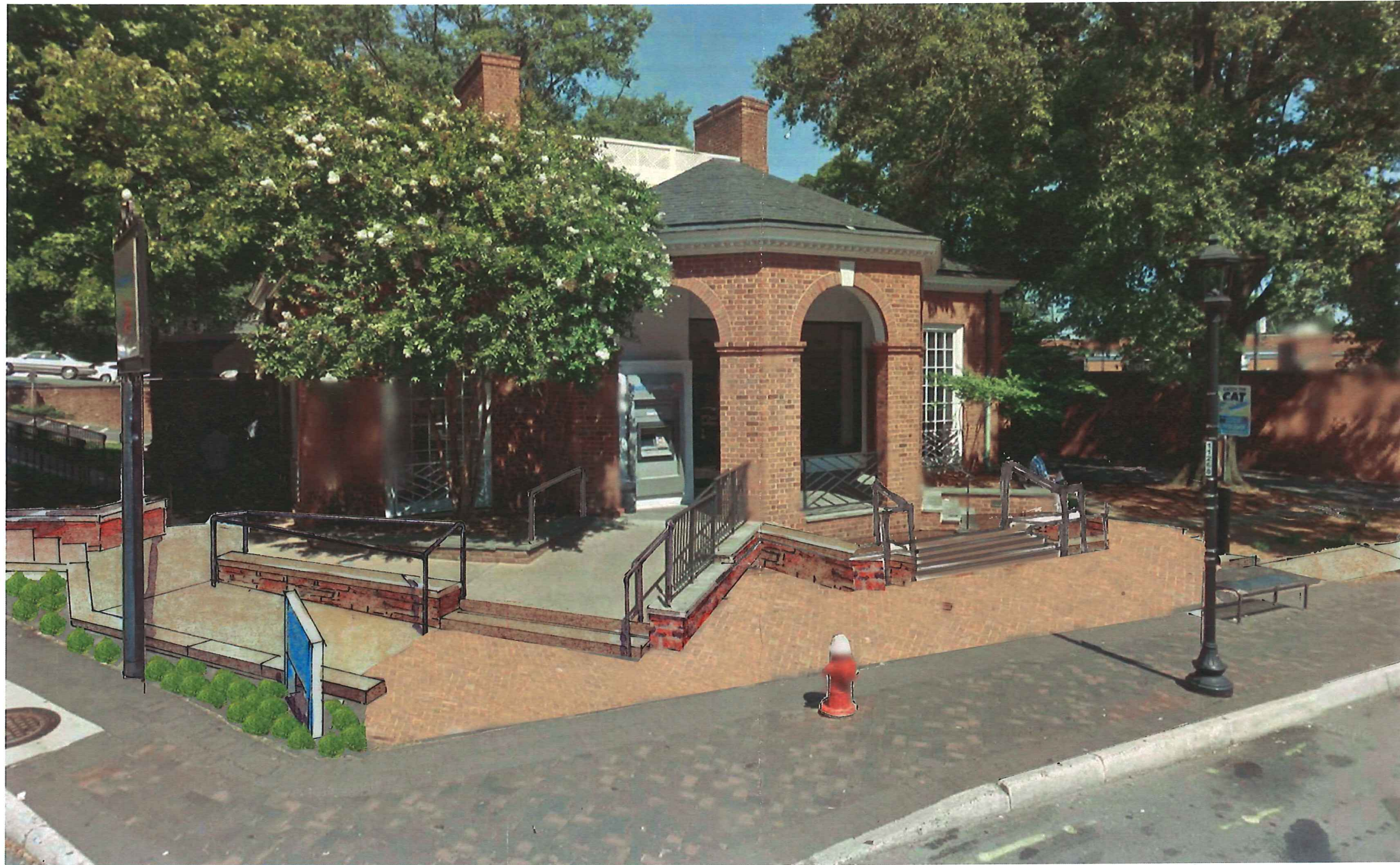
PROTOTYPE LAYOUT

CAD File Name

EXISTING PHOTOS SITE PHOTOS PLAN

Scale

C 3.00



PROPOSED DESIGN

AFTER

Bank of America University ADA Renovation

1619 University Avenue
Charlottesville, VA

SERIAL NUMBER: XXX
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LITTLE
ARCHITECTURAL CONSULTING

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PROTOTYPE LAYOUT

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PROPOSED PERSPECTIVE PLAN
Description

Scale

C 3.02