

**From:** Scala, Mary Joy  
**Sent:** Friday, May 24, 2013 11:57 AM  
**To:** Mark Van Sickle (MVanSickle@littleonline.com)  
**Cc:** 'stephen.hruska@lincolnharris.com'; Shane Brandwood (SBrandwood@littleonline.com)  
**Subject:** BAR Action 1619 University Avenue

May 24, 2013

Stephen Hruska  
1111 East Main Street, Suite 601  
Richmond, VA 23219

**Certificate of Appropriateness Application**

BAR 13-05-01  
1619 University Avenue  
Tax Map 9 Parcel 102  
Stephen Hruska, Applicant/ Sovran Bank, Owner  
Site demolition and ADA Renovation to front sidewalk area

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on May 21, 2013. The following action was taken:

**Accepted (8-0) applicant's request for deferral. Revised plan should further develop the drawing submitted at meeting; brick walls at consistent horizontal level; lose the picket railing; look at framing concrete travel ways with brick, and coordinate with stone tread steps/brick risers; straighten path; clean up landscaping under tree; keep upper diagonal path on east side; use red brick [Old Virginia] pavers instead of dark brick, and consider polymeric sand.**

The audio/video of the BAR meeting may be viewed at: [http://charlottesville.granicus.com/ViewPublisher.php?view\\_id=2](http://charlottesville.granicus.com/ViewPublisher.php?view_id=2)

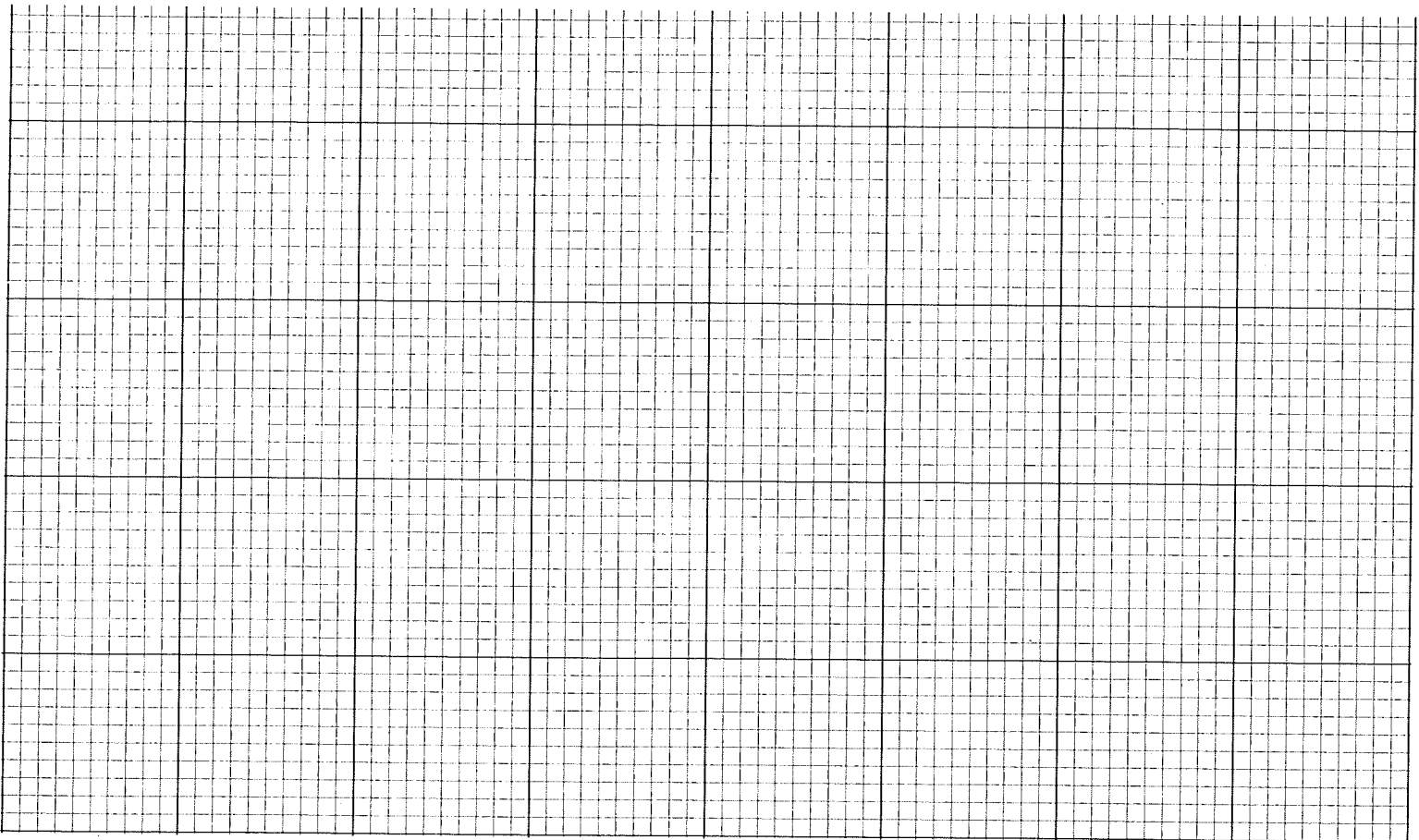
Please submit the details for approval when you are ready.

If you have any questions, please contact me at 434-970-3130 or [scala@charlottesville.org](mailto:scala@charlottesville.org).

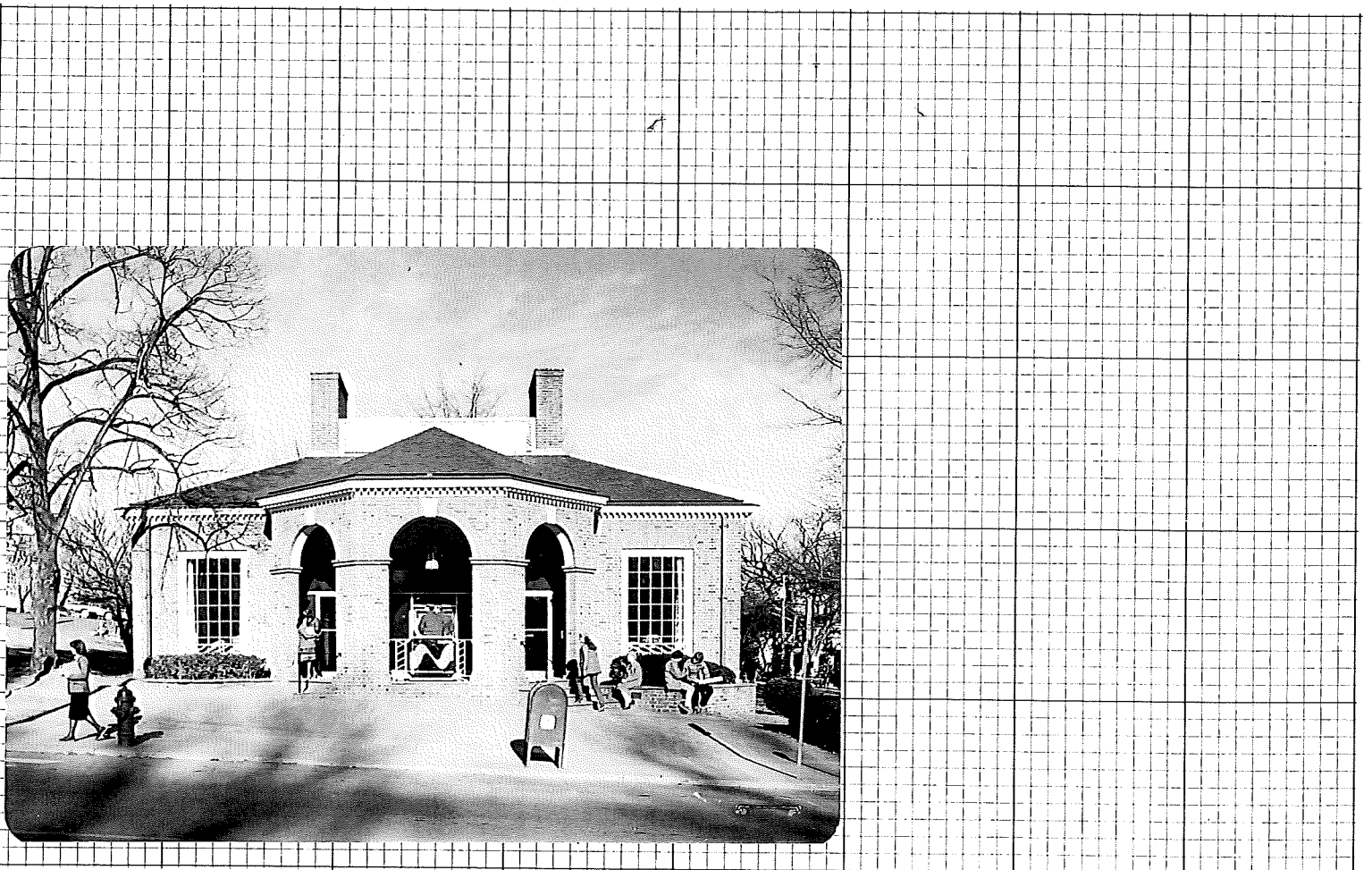
Sincerely yours,

Mary Joy Scala, AICP  
Preservation and Design Planner

**Mary Joy Scala, AICP**  
Preservation and Design Planner  
City of Charlottesville  
Department of Neighborhood Development Services  
City Hall - 610 East Market Street  
P.O. Box 911  
Charlottesville, VA 22902  
Ph 434.970.3130 FAX 434.970.3359  
[scala@charlottesville.org](mailto:scala@charlottesville.org)



Site plan (Locate and identify outbuildings, dependencies and significant topographical features.)



Name, address and title of recorder

B.L. Boshier Univ. of Va Grad. Student

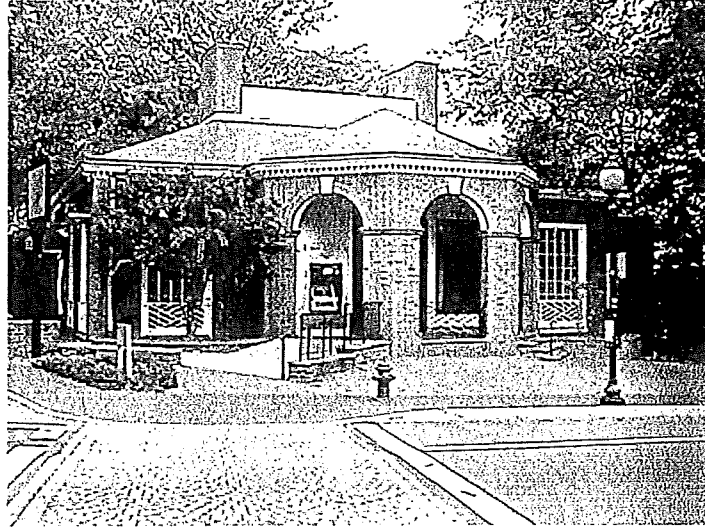
Date

3-7-80

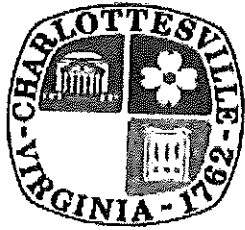
## ARCHITECTURAL DESCRIPTION

Bank. Jeffersonian Revival. Built 1959-1960. Brick (Flemish bond); 1 story; hipped roof; symmetrical 5-bay front; semi-octagonal arcaded front portico. Oversized floor length windows with Chinese-lattice guards; Chinese-lattice roof balustrade between chimneys. Floyd Johnson of Charlottesville, architect. This modern Jeffersonian-style bank building with octagonal portico is an attractive addition to the streetscape.

## 1619 UNIVERSITY AVENUE



STREET ADDRESS:	1619 University Avenue
MAP & PARCEL NUMBER:	9-102
PRESENT ZONING:	B-6
ORIGINAL OWNER:	
ORIGINAL USE:	
PRESENT USE:	Bank of America
PRESENT OWNER:	Sovran Bank
ADDRESS:	D & TPTS P O Box 11338 Mclean VA 22102
HISTORIC NAME:	
DATE/ PERIOD:	1959
STYLE:	Jeffersonian Revival
HEIGHT IN STORIES:	1 Storey
DIMENSIONS AND LAND AREA:	3,748.00 sq. ft.
CONDITION:	
SURVEYOR:	
DATE OF SURVEY:	1983
SOURCES:	Charlottesville City Records
CONTRIBUTING:	No



**Board of Architectural Review (BAR)**  
**Certificate of Appropriateness**

Please Return To: City of Charlottesville  
 Department of Neighborhood Development Services  
 P.O. Box 911, City Hall  
 Charlottesville, Virginia 22902  
 Telephone (434) 970-3130 Fax (434) 970-3359

RECEIVED

APR 25 2013

NEIGHBORHOOD DEVELOPMENT SERVICES

Please submit ten (10) copies of application form and all attachments.  
 For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.  
 The BAR meets the third Tuesday of the month.  
 Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name Sovran Bank Applicant Name Stephen Hruska  
 Project Name/Description University Bank of America ADA Renovation Parcel Number 090102000  
 Property Address 1619 University Avenue, Charlottesville VA (1619 W. Main St.)

**Applicant Information**

Address: 1111 East Main Street, Suite 601, Richmond, VA 23219  
 Email: Stephen.Hruska@lincolnharris.com  
 Phone: (W) 804-788-2120 (H) \_\_\_\_\_  
 FAX: \_\_\_\_\_

**Signature of Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Stephen Hruska  
 Signature \_\_\_\_\_ Date \_\_\_\_\_

Print Name \_\_\_\_\_ Date \_\_\_\_\_

**Property Owner Permission (if not applicant)**

I have read this application and hereby give my consent to its submission.

Signature \_\_\_\_\_ Date \_\_\_\_\_

Print Name \_\_\_\_\_ Date \_\_\_\_\_

**Property Owner Information (if not applicant)**

Address: 101 North Tryon Street, Charlotte, NC 28255  
 Email: \_\_\_\_\_  
 Phone: (W) \_\_\_\_\_ (H) \_\_\_\_\_  
 FAX: \_\_\_\_\_

Do you intend to apply for Federal or State Tax Credits for this project? No

**Description of Proposed Work (attach separate narrative if necessary):** The proposed scope of work includes replacing asphalt at the accessible parking spaces and the sidewalk connecting the parking spaces to the building. The work also includes installing city standard pavers, concrete ramps and stairs to bring the site into ADA compliance.

**List All Attachments (see reverse side for submittal requirements):**

**For Office Use Only**

Received by: J. Barnore Approved/Disapproved by: \_\_\_\_\_  
 Fee paid: 125.00 Cash/Ck. # 153615 Date: \_\_\_\_\_  
 Date Received: 4/25/2013 Conditions of approval: \_\_\_\_\_  
P13-0074











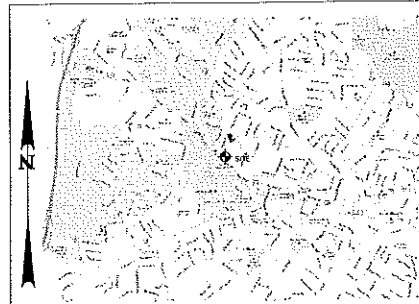
# BANK OF AMERICA - UNIVERSITY ADA UPGRADES

## Construction Documents 1619 University Avenue, Charlottesville, VA

### INDEX OF DRAWINGS

CS.01 COVER SHEET  
 C1.00 EXISTING CONDITIONS AND DEMOLITION PLAN  
 C1.01 LAYOUT AND GRADING PLAN  
 C1.02 LANDSCAPE PLAN  
 C2.00 DETAILS

### VICINITY MAP



NOT TO SCALE

### SITE INFORMATION

**SITE DATA**  
 PIN 090102000  
 ACREAGE 0.5960  
 ZONING CD  
 SPECIFIC OVERLAY ZONE ARCHITECTURAL DESIGN CONTROL DISTRICT

**DEVELOPMENT DATA**  
 DISTURBED AREA 4,550 SF OR 0.10 ACRES

**PROJECT DESCRIPTION**  
 THE SCOPE OF THE PROJECT IS TO REPLACE ASPHALT AT THE EXISTING ACCESSIBLE PARKING SPACES AND REPLACE THE SIDEWALK CONNECTING THE PARKING SPACES TO THE BUILDING. THE WORK ALSO INCLUDES REPLACING EXISTING BRICK PAVING WITH CITY STANDARD PAVERS AND INSTALLING RAMPS AND STAIRS TO BRING THE SITE INTO ADA COMPLIANCE.

### PROJECT TEAM

**ARCHITECT / SITE PLANNING**  
 LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING  
 5815 WESTPARK DRIVE  
 CHARLOTTE, NC 28217  
 (704) 525-6350

**SURVEYOR**  
 VANASSE HANGEN BRUSTLIN, INC.  
 115 SOUTH 16TH STREET, SUITE 200  
 RICHMOND, VA 23219  
 (804) 343-7100

**OWNER**  
 LINCOLN HARRIS  
 STEPHEN HRUSKA - PROJECT MANAGER  
 1111 EAST MAIN STREET, SUITE 601  
 RICHMOND, VA 23219  
 (804) 788-2120

## Bank of America University ADA Renovation

1619 University Avenue  
Charlottesville, VA

SERIAL NUMBER: XXX  
 NRSP VERSION: 2.0  
 BULLETIN: 30 / DD 27



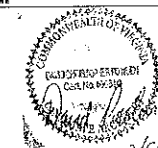
5815 Westpark Drive, Charlotte, NC 28217  
 T: 704-525-6350 F: 704-561-8700  
 www.littleonline.com

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Issue	Date & Issue Description	By	Check
01	02/06/12		

Start Signature



Project Name  
Bank of America - University  
223-7668-01

PROTOTYPE LAYOUT

CAD File Name

COVER SHEET  
Description

Scale

CS 1.00



# Bank of America University ADA Renovation

1619 University Avenue  
Charlottesville, VA

SERIAL NUMBER: XXX  
NRSP VERSION: 2.0  
BULLETIN: 30 / DD 27



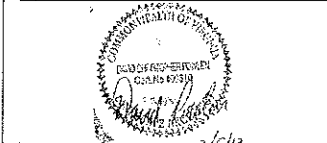
5815 Rockwood Drive, Charlotte, NC 28207  
T: 704.575.6359 F: 704.561.8700  
www.littleonline.com

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Issue	Date & Issue Description	By	Check
01	02/06/12		

Seal/Signature



Project Name  
Bank of America - University  
223-7668-01

PROTOTYPE LAYOUT

CAD File Name

SITE PLAN  
Description

Scale

C1.00

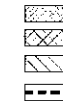
### GENERAL NOTES:

1. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
4. CONTRACTOR IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGES TO THE EXISTING LANDSCAPE, IRRIGATION, POWER AND/OR HARDSCAPE.

THIS PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THIS PLAN IS PREPARED BY OTHERS. LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS SURVEY.

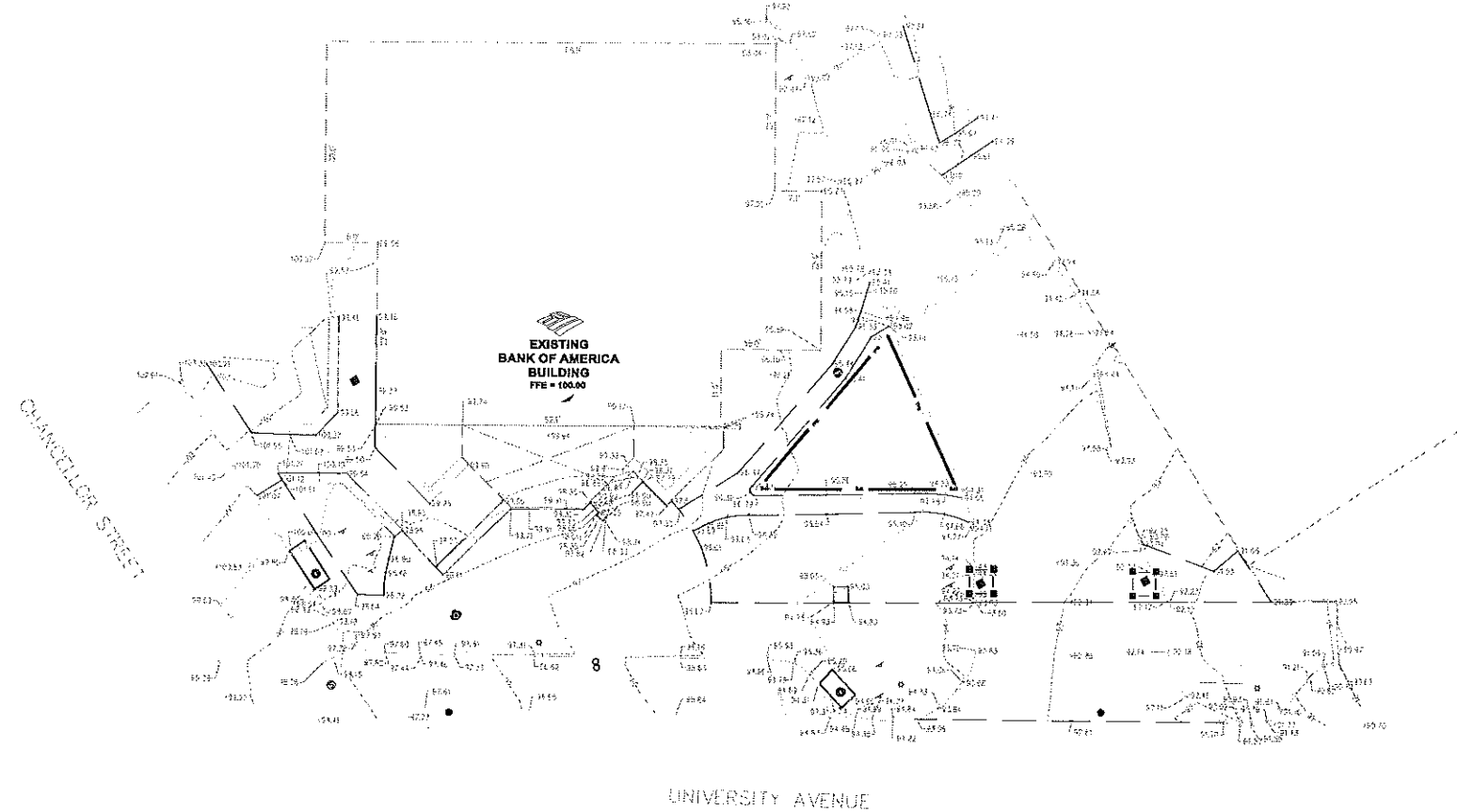
### DEMOLITION NOTES:

- A. SAWCUT AND REMOVE EXISTING BRICK PAVING.
- B. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT.
- C. SAWCUT AND REMOVE EXISTING SIDEWALK AND RAMPS.
- D. LIMITS OF CONSTRUCTION.
- E. CONTRACTOR TO REMOVE EXISTING ACCESSIBLE SIGNAGE.
- F. SAWCUT AND REMOVE EXISTING CURB.
- G. SAWCUT AND REMOVE EXISTING PORTION OF THE RETAINING WALL AND REPAIR END OF WALL.
- H. INLET PROTECTION. SEE DETAIL 12/C2.00.
- I. TREE PROTECTION. SEE DETAIL 1/C2.00.
- J. EXISTING BRICK WALL TO REMAIN AND BE PROTECTED.
- K. EXISTING STEPS TO REMAIN AND BE PROTECTED.
- L. EXISTING MAILBOX TO REMAIN.



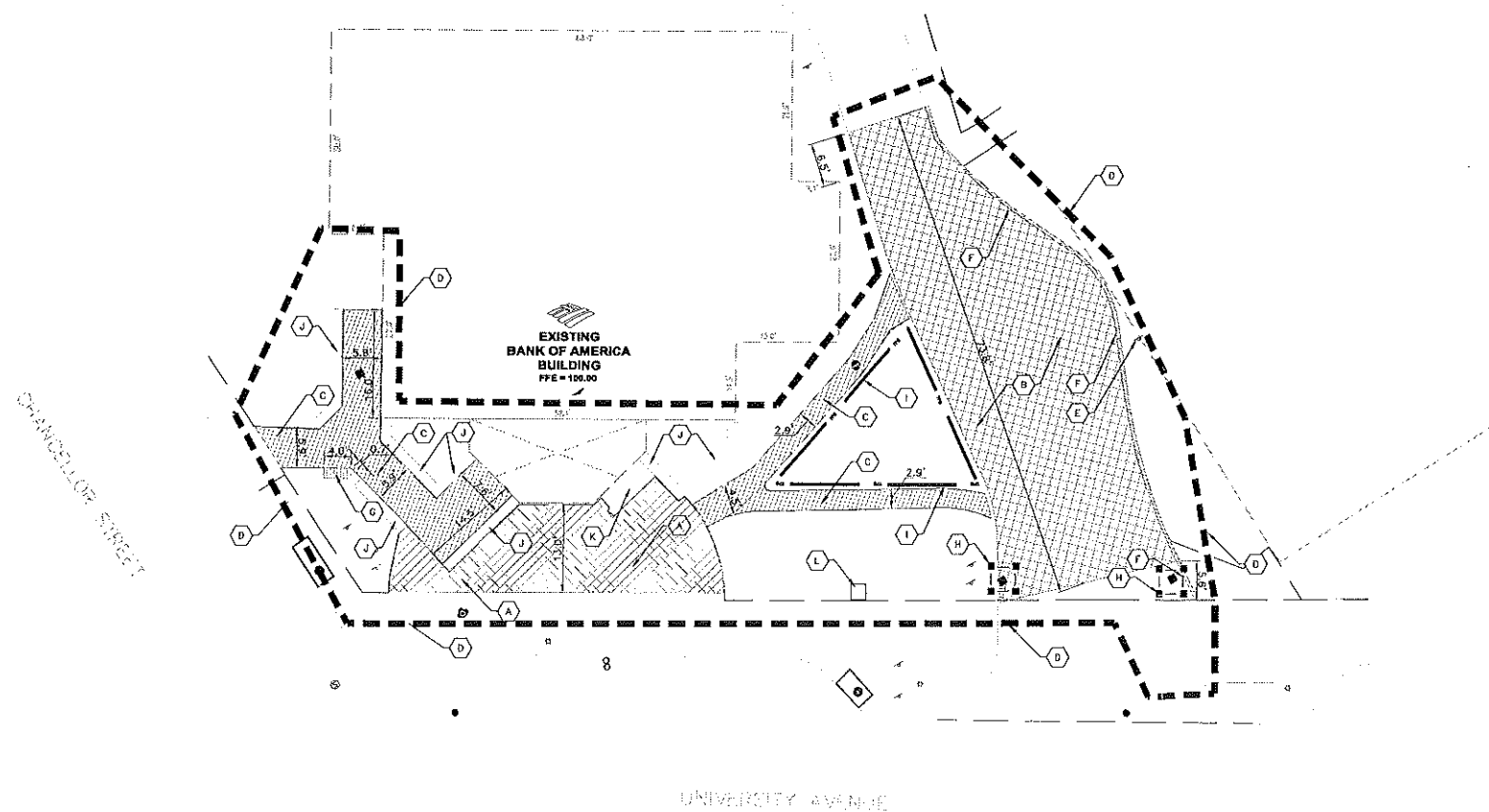
### CAUTION!!!

The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction.



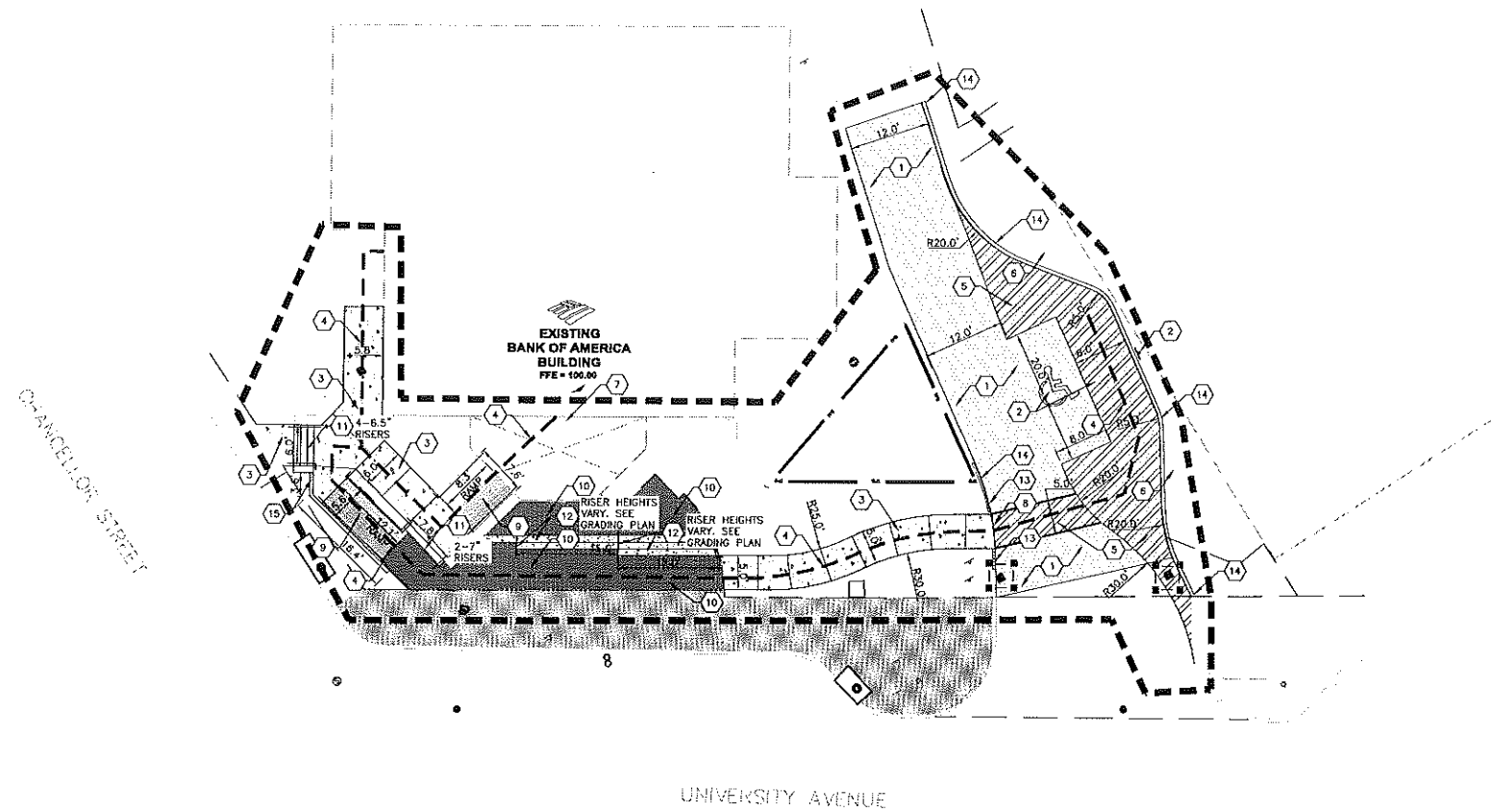
1. EXISTING CONDITIONS PLAN

SCALE: 1" = 10'-0"



2. DEMOLITION PLAN

SCALE: 1" = 10'-0"



3. SITE LAYOUT PLAN

SCALE: 1" = 10'-0"

**GENERAL NOTES:**

1. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
4. CONTRACTOR IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGES TO THE EXISTING LANDSCAPE, IRRIGATION, POWER AND/OR HARDSCAPE.

**SITE LAYOUT NOTES:**

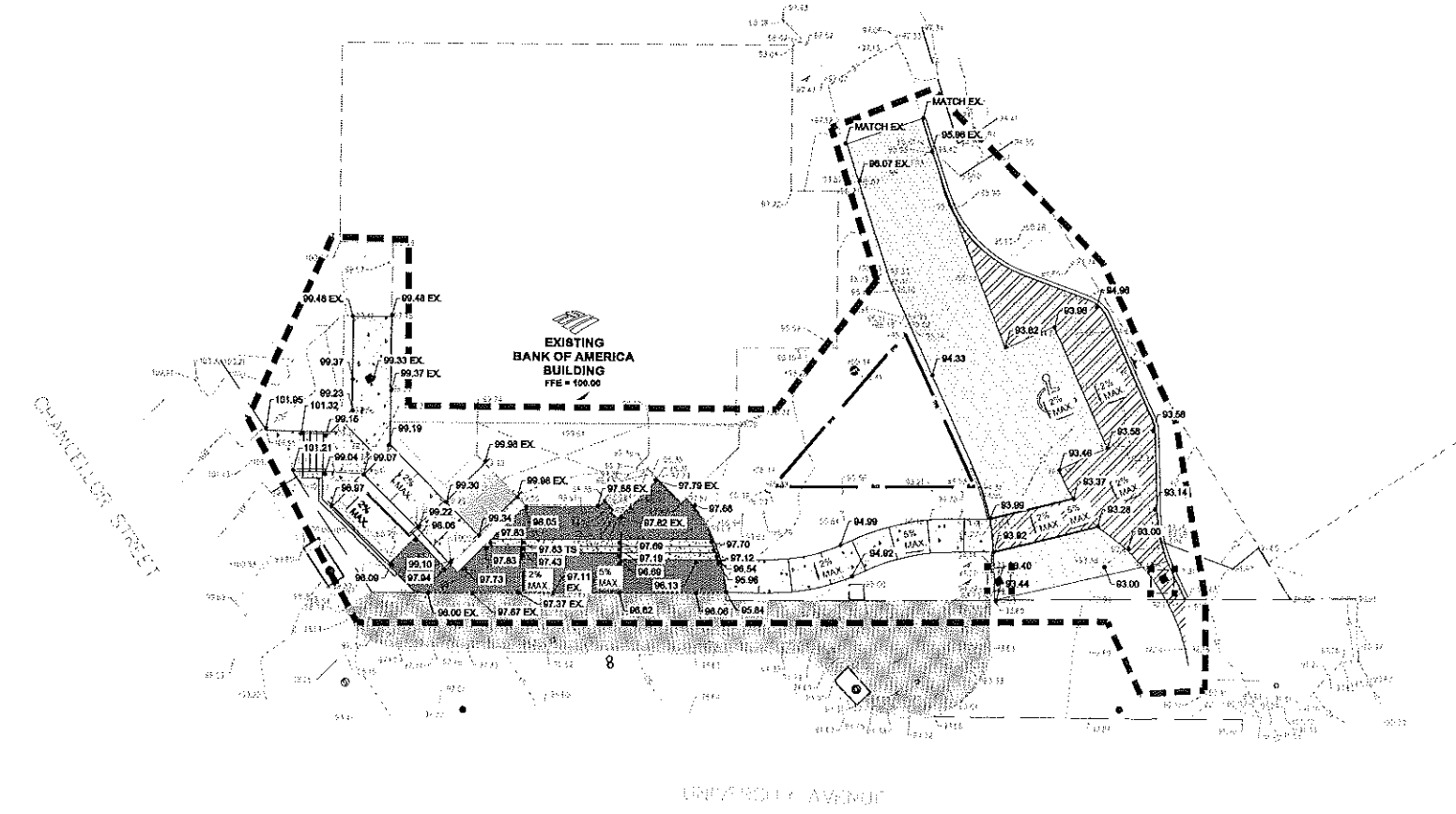
1. NEW ASPHALT - SEE DETAIL 13/C2.00.
2. ACCESSIBLE STRIPING AND SIGNAGE - SEE DETAIL 3/C2.00.
3. NEW CONCRETE SIDEWALK - SEE DETAIL 2/C2.00.
4. ACCESSIBLE ROUTE - CONTRACTOR TO ENSURE THAT RUNNING SLOPE IS NOT GREATER THAN 5% AND THAT THE CROSS SLOPE IS NOT MORE THAN 2% ALONG THIS ROUTE.
5. ACCESSIBLE CROSSWALK STRIPING - SEE DETAIL 11/C2.00.
6. THE CONTRACTOR TO INSTALL TEMPORARY SEEDING IN ALL DISTURBED AREAS NOT COVERED BY PAVEMENT UPON COMPLETION OF CONSTRUCTION. CONTRACTOR TO INSTALL PERMANENT SEEDING DURING APPROPRIATE SEEDING SEASON.
7. ACCESSIBLE EGRESS LANDING. MAXIMUM SLOPE TO BE 2% IN EACH DIRECTION. LANDSCAPE ARCHITECT WILL INSPECT THIS AREA WITH A 2' DIGITAL LEVEL TO ENSURE COMPLIANCE PRIOR TO FINAL APPROVAL - SEE DETAIL 6/C2.00.
8. DASHED LINE INDICATES FLUSH CURB.
9. NEW RAMP WITH RAILS - SEE DETAIL 7/C2.00.
10. NEW SAND SET BRICK SIDEWALK IN A HERRINGBONE PATTERN - SEE DETAIL 8/C2.00.
11. NEW CONCRETE STEPS WITH RAILS - SEE DETAIL 5/C2.00.
12. NEW BRICK STEPS WITH RAILS - SEE DETAIL 9/C2.00.
13. 3' CURB TAPER.
14. NEW CONCRETE CURB TO MATCH EXISTING - SEE DETAIL 10/C2.00.
15. NEW VERTICAL CURB - SEE DETAIL 10/C2.00.

**ACCESSIBILITY NOTE:**

ADA REGULATIONS MANDATE A MAXIMUM OF 2% SLOPE IN ANY DIRECTION IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.  
 ADA REGULATIONS MANDATE REQUIRED EDRESS SIDEWALKS FROM PARKING TO THE BUILDING ENTRANCE AND PUBLIC RIGHT-OF-WAY CANNOT EXCEED 2% CROSS SLOPE AND 5% RUNNING SLOPE.  
 ALL GRADES IN THESE AREAS WILL BE VERIFIED BY ARCHITECT (USING A 2' DIGITAL LEVEL) PRIOR TO FINAL APPROVAL.

**GRADING NOTES:**

1. VERIFY ALL EXISTING GRADES. REPORT ANY DISCREPANCIES TO ARCHITECT.
2. ALL NEW CONTOURS AND SPOT ELEVATIONS ARE SHOWN AS FINISHED GRADES. THE GRADING CONTRACTOR MUST MAKE ALLOWANCES FOR THICKNESS OF PAVING SECTIONS, CONCRETE SLABS, ETC. WHERE APPLICABLE.
3. THE ENTIRE SITE WITHIN THE LIMIT OF CONSTRUCTION SHALL BE GRADED TO DRAIN FREELY. ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION, WHETHER INSIDE OR OUTSIDE OF THE LIMIT OF CONSTRUCTION, SHALL BE FINE GRADED AND SEEDED TO ESTABLISH A PERMANENT LAWN.
4. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES (INCLUDING SANITARY, STORM DRAINAGE, AND WATER) FROM DAMAGE DURING CONSTRUCTION. ALL UNDERGROUND UTILITIES EXPOSED DURING CONSTRUCTION OR THOSE LEFT WITH LESS THAN ACCEPTABLE MINIMUM EARTH COVER SHALL BE RELOCATED AS DETERMINED BY THE ARCHITECT.
5. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1, UNLESS INDICATED OTHERWISE.
6. ANY GRADING BEYOND THE PROPERTY LINE INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
7. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
9. THE UTILITIES AND THE LOCATION THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNERS UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION. UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
10. ANY UNSUITABLE MATERIAL ON SITE IS TO BE QUANTIFIED BY A GEOTECHNICAL ENGINEER, PRIOR TO REMOVING. CONTRACTOR MUST NOTIFY OWNER, OR OWNER'S REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED.



4. GRADING PLAN

SCALE: 1" = 10'-0"



Know what's below. Call before you dig.

**CAUTION!!!**  
 The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction.

**Bank of America University ADA Renovation**

1619 University Avenue  
 Charlottesville, VA

SERIAL NUMBER: XXX  
 NRSP VERSION: 2.0  
 BULLETIN: 30 / DD 27

**LITTLE**  
 ARCHITECTURAL CONSULTANTS

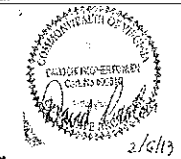
5015 Westpark Drive, Charlotte, NC 28209  
 T: 704.525.6353 F: 704.591.8700  
 www.littleonline.com

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Issue	Date & Issue Description	By	Check
01	02/06/12		

See Signature



Project Name  
 Bank of America - University  
 223-7669-01

PROTOTYPE LAYOUT

CAD File Name

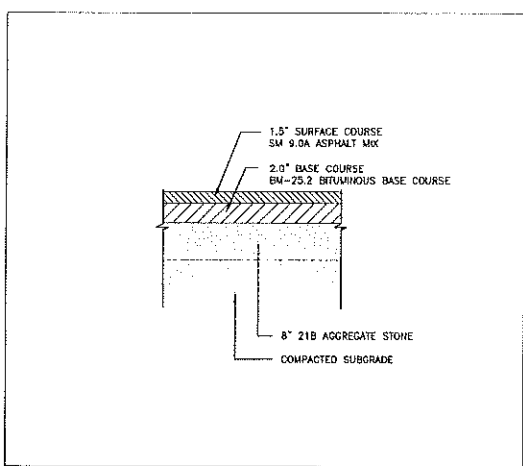
SITE PLAN

Description

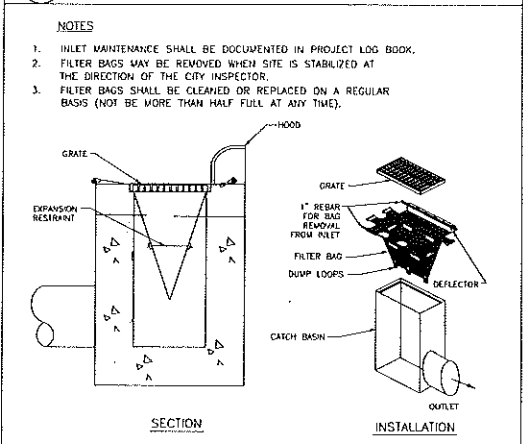
Scale

C1.01

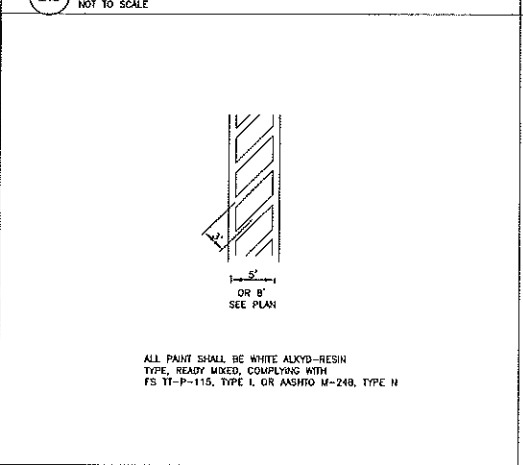




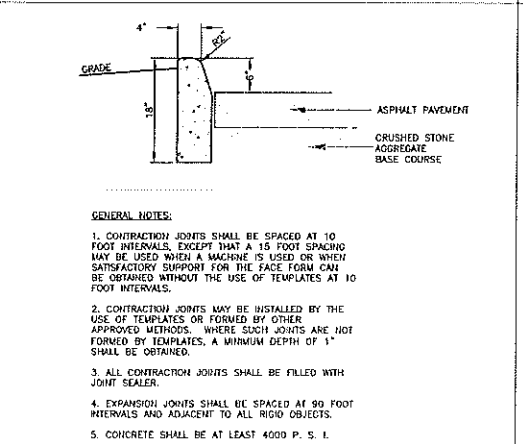
**13 LIGHT-DUTY ASPHALT**  
NOT TO SCALE



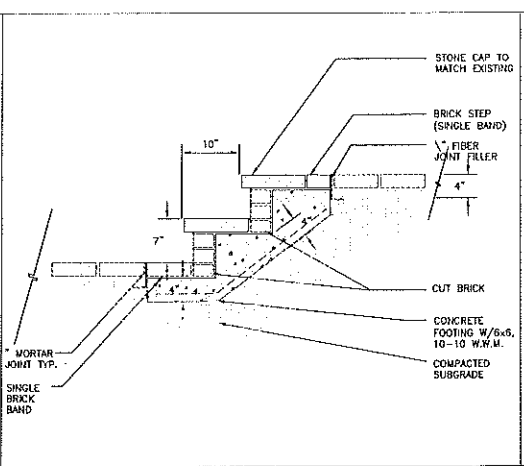
**12 CATCH BASIN INSERT INLET PROTECTION**  
NOT TO SCALE



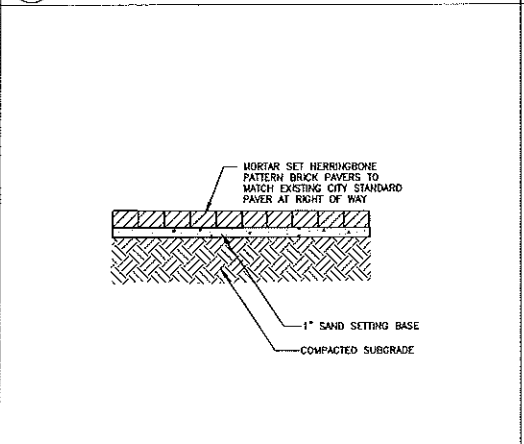
**11 ACCESSIBLE CROSSWALK**  
NOT TO SCALE



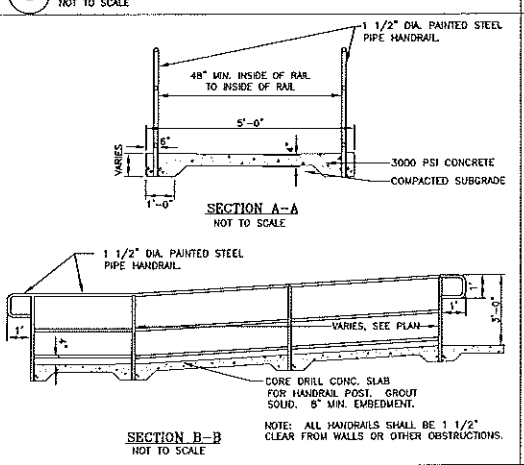
**10 VERTICAL CURB**  
NOT TO SCALE



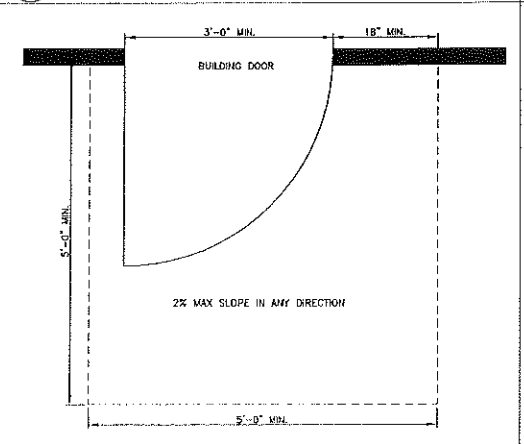
**9 BRICK STEPS DETAIL**  
NOT TO SCALE



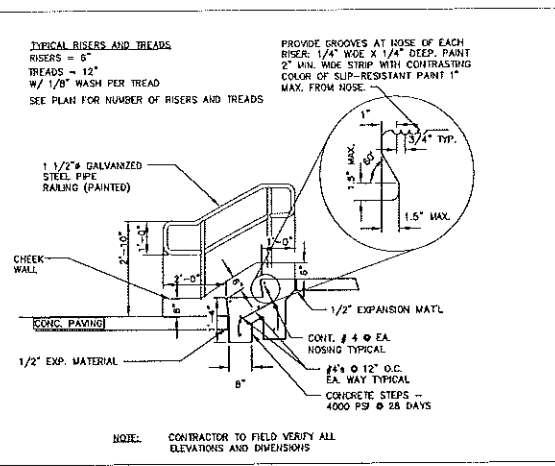
**8 BRICK SIDEWALK DETAIL**  
NOT TO SCALE



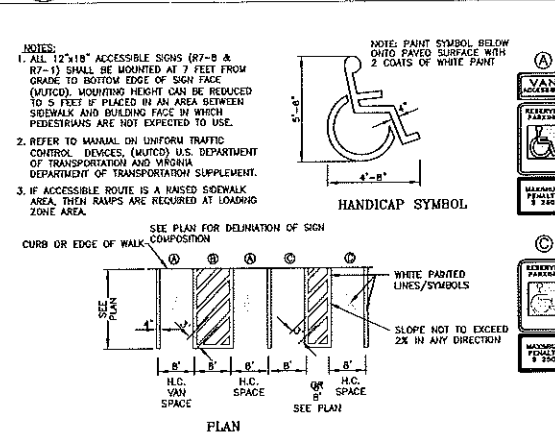
**7 ACCESSIBLE RAMP WITH RAILS**  
NOT TO SCALE



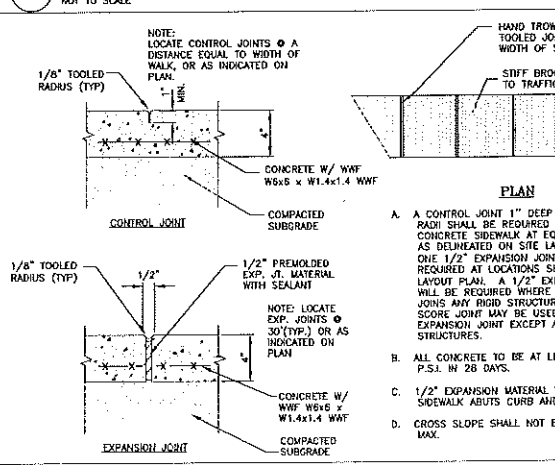
**6 ACCESSIBLE EGRESS LANDING**  
NOT TO SCALE



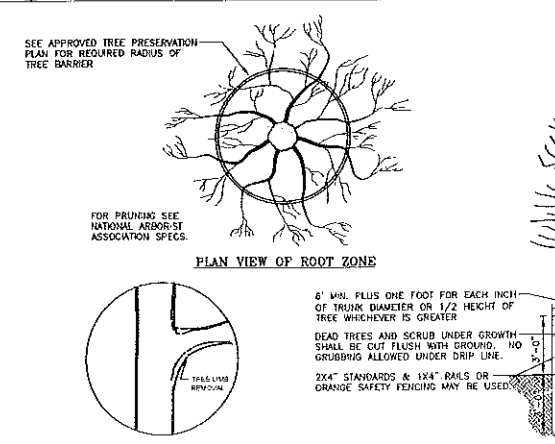
**5 CONCRETE STEPS/STOOP**  
NOT TO SCALE



**3 ACCESSIBLE STRIPING & SIGNAGE**  
NOT TO SCALE



**2 CONCRETE SIDEWALK**  
NOT TO SCALE



**1 TREE PROTECTION FENCE**  
NOT TO SCALE

**CONCRETE NOTES:**

- UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C-33.
- CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II, LOW ALKALI OR AS REQUIRED TO SATISFY SITE SOIL CONDITIONS AS DETERMINED BY THE PROJECT SOILS ENGINEER.
- WATER SHALL BE POTABLE, CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OIL, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS, OR OTHER SUBSTANCES THAT MAY BE DELETERIOUS TO CONCRETE OR REINFORCEMENT.
- ADMIXTURES TO BE USED IN CONCRETE SHALL BE SUBJECT TO PRIOR APPROVAL BY THE ENGINEER.
- MAXIMUM PERMISSIBLE WATER-CEMENT RATIOS FOR CONCRETE WHEN STRENGTH DATA FROM TRIAL BATCHES ARE NOT AVAILABLE SHALL CONFORM TO TABLE 4.5 OF AC STANDARD SPEC-77 OR BASED ON SULFATE CONTENT OF THE SITE SOILS, AS DETERMINED BY THE SOILS ENGINEER. THE LOWER WATER-CEMENT RATIO SHALL GOVERN.
- CONCRETE SHALL BE CURED WHILE IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT. METHODS FOR ACCELERATED CURING SHALL HAVE PRIOR APPROVAL OF THE ENGINEER.
- THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE:
 

SLABS ON GRADE	CENTER OF SLAB
CONCRETE BELOW GRADE, FORMED	2"
CONCRETE BELOW GRADE, UNFORMED (POURED AGAINST EARTH)	3"
CONCRETE EXPOSED TO WEATHER	1-1/2"

**4 CONCRETE NOTES**  
NOT TO SCALE

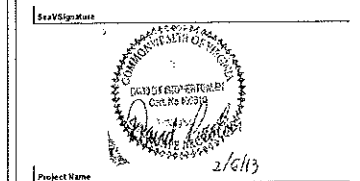
**Bank of America University ADA Renovation**  
1619 University Avenue  
Charlottesville, VA

SERIAL NUMBER: XXX  
NRSP VERSION: 2.0  
BULLETIN: 30 / DD 27



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Issue	Date	Issue Description	By	Check
01	02/06/12			



Project Name: Bank of America - University  
223-7668-01

PROTOTYPE LAYOUT

CAD File Name

SITE DETAILS Description

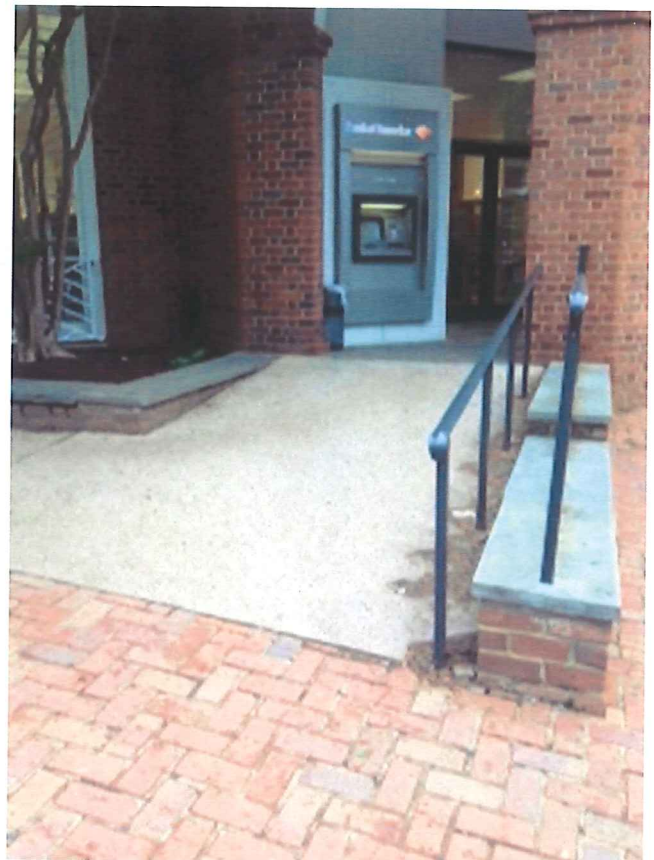
Scale

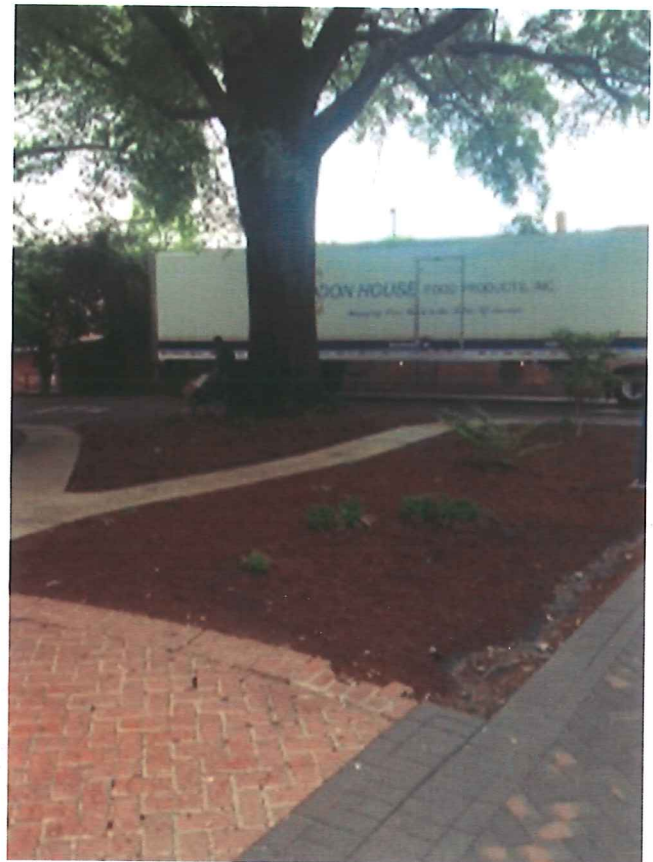
**C2.00**



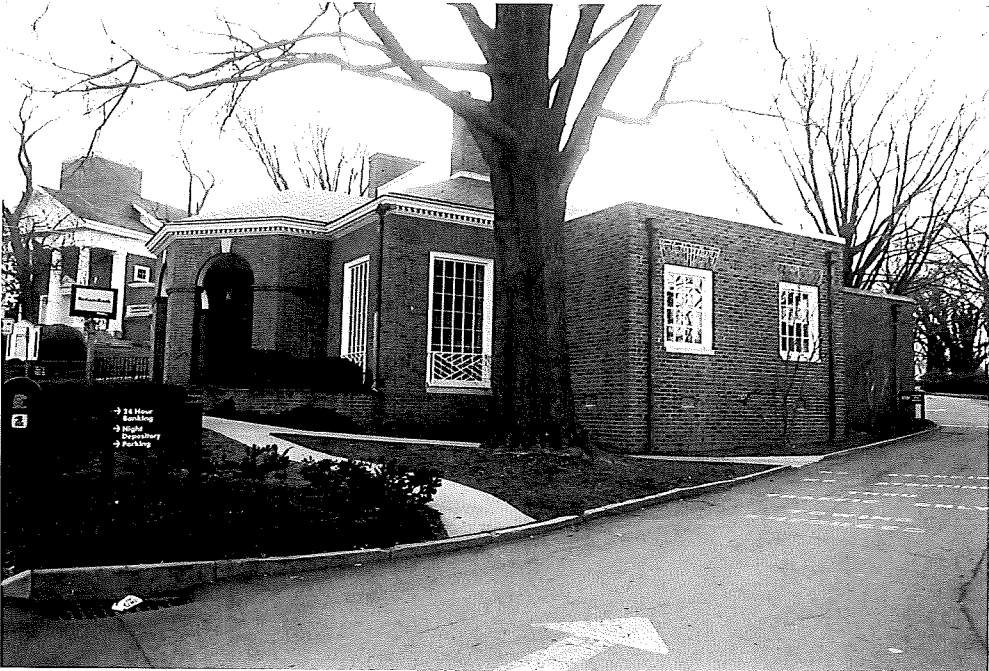












1996  
Photos

Charlotte, North Carolina 28217  
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**From:** Scala, Mary Joy [<mailto:scala@charlottesville.org>]  
**Sent:** Tuesday, May 07, 2013 2:17 PM  
**To:** Shane Brandwood; 'stephen.hruska@linclonharris.com'  
**Subject:** 1619 University Avenue

I am writing the staff report and need a better explanation why the work is necessary. There already is a HC ramp – have rules changes to make it in adequate? .

It seems like the area is becoming overly complicated ...odd new steps are being added directly in front that seem unnecessary and a trip hazard as designed.

I need a landscape plan – what is existing; what is being removed and what is proposed landscape plan? The BAR will want to see brick and stone samples.

The handrails should match or be coordinated with existing rails.

Perhaps this submittal should be treated as a preliminary, and you could explore other design options to meet your requirements. Are there other options for HC parking that would not require the accessible path to traverse the entire front of the building?

Thank you.

**Mary Joy Scala, AICP**  
Preservation and Design Planner  
City of Charlottesville  
Department of Neighborhood Development Services  
City Hall - 610 East Market Street  
P.O. Box 911  
Charlottesville, VA 22902  
Ph 434.970.3130 FAX 434.970.3359  
[scala@charlottesville.org](mailto:scala@charlottesville.org)



## Scala, Mary Joy

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**From:** Mark Van Sickle <MVanSickle@littleonline.com>  
**Sent:** Monday, May 13, 2013 10:21 AM  
**To:** Scala, Mary Joy  
**Subject:** FW: 1619 University Avenue

Good morning Mary.

We were hoping to verify the meeting on the 21<sup>st</sup> and that this project would be considered at that time. I am asking you myself as I am the one who will be attending if the project will be heard. I am in the process of making travel arrangements I need to know as soon as possible so I can book a flight.

Please also let us know if you need any additional information at this time.

Thank you,

Mark

### **Mark S. Van Sickle, RLA, LEED AP**

Land Development Services

Project Manager

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**From:** Shane Brandwood  
**Sent:** Wednesday, May 08, 2013 8:31 AM  
**To:** 'Scala, Mary Joy'  
**Cc:** 'stephen.hruska@linclonharris.com'; David Powlen  
**Subject:** RE: 1619 University Avenue

Mary,

The reason for this project is that the current site does not meet ADA standards. There is currently no accessible route from the Accessible parking to the entrance of the building. Several alternatives have been explored during the design process and this design was the least intrusive to the site and existing building. The only landscaping that will be affected will be the lirioppe as shown in the perspective. Do we still need a separate landscape plan if the landscaping is not being affected? The handrails will match the existing and the brick pavers will match the current city standard as shown in the perspective image. If you have any more questions or need to discuss further please give me a call.

Thanks,

Shane

### **Shane Brandwood, RLA, LEED<sup>®</sup> AP BD+C**

Consulting Specialties | Land Development Services

Associate

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