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NEIGHBORHOOD DEVELOPMENT SERVICES



Board of Architectural Review (BAR)
Certificate of Appropriateness

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name PRICE-POORE HOUSE, LLC Applicant Name COLLINS ENGINEERING
Project Name/Description 427 PARK STREET Parcel Number 530023000
Property Address 427 PARK STREET, CHARLOTTESVILLE VA 22902

Applicant Information

Address: 200 GARRETT STREET, SUITE K
CHARLOTTESVILLE, VA 22902
Email: scott@collins-engineering.com
Phone: (W) 434-293-3719 (H)
FAX:

Property Owner Information (if not applicant)

Address: 455 2ND STREET SE, SUITE 402
CHARLOTTESVILLE, VA 22902
Email: MRMSTYNSON@GMAIL.COM
Phone: (W) 434 996-5790 (H)
FAX:

Do you intend to apply for Federal or State Tax Credits for this project? YES

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Signature [Handwritten Signature] Date 1/14/15
Print Name JOHN KNIPP Date 1/14/15
(Property Owner) Scott Collins 1/28

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Signature [Handwritten Signature] Date 1/15/15
Print Name James B. Murray, Jr. Date 1/15/15
Manager

Description of Proposed Work (attach separate narrative if necessary): The only changes to the previously approved plan are the addition of a retaining wall, minor shifting of landscaping, and changing 3 parking spaces to be compact.

List All Attachments (see reverse side for submittal requirements):

Retaining wall cutsheet & sample

For Office Use Only

Received by: [Handwritten Signature]
Fee paid: \$100.00 Cash/Ck. # 002283
Date Received: 1/28/2015
P15-0015

Approved/Disapproved by: [Handwritten Signature]
Date: 2/2/2015
Conditions of approval: With landscaping as previously approved.

1/28/2015 Created on 8/8/2008
10:14 am
Graham Murray

427 PARK STREET SITE PLAN AMENDMENT #2 CITY OF CHARLOTTESVILLE, VIRGINIA

PROJECT DATA:

- THE OWNER/CLIENT OF THIS PROPERTY IS:
PRICE-POORE HOUSE, LLC
455 2ND STREET SE, SUITE 402
CHARLOTTESVILLE, VA 22902
PARCEL ID #530023000 (0.1966 AC.)
- THESE PLANS HAVE BEEN PREPARED BY:
COLLINS ENGINEERING, INC.
200 GARRETT STREET SUITE K
CHARLOTTESVILLE, VA 22902
TELEPHONE: (434) 293-3719 FACSIMILE: (434) 293-2813
- SOURCE OF SURVEY, TOPOGRAPHY & BOUNDARY INFORMATION: COMMONWEALTH LAND SURVEYING, MARCH 2013.
- ZONING: B-1 WITH HISTORIC OVERLAY
- USGS DATUM: NAD 83
- LOCATION/ADDRESS OF PROJECT: 427 PARK STREET, CHARLOTTESVILLE VA 22902
- FLOODPLAIN: THIS PROPERTY IS LOCATED IN ZONE 'X' AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 51003C0286D, DATED FEBRUARY 4, 2005. THE PROPOSED DEVELOPMENT AND PARCELS ARE NOT LOCATED WITHIN THE 100-YEAR FLOODPLAIN & THEREFORE DO NOT IMPACT THE FLOODPLAIN.
- STREAM BUFFER: THERE ARE NO STREAM BUFFERS LOCATED ON THE PROPERTIES
- BUILDING HEIGHT:
40' MAXIMUM HEIGHT (HEIGHT OF THE EXISTING BUILDING) - PROPOSED ADDITION IS (1) STORY
- BUILDING SETBACK REQUIREMENTS:
FRONT YARD: 20' MINIMUM REQUIRED
SIDE YARD: NONE REQUIRED
REAR YARD: NONE REQUIRED
- PROPOSED USE: EXISTING BUILDING TO BE RENOVATED FOR OFFICE USE
- TOTAL ACREAGE OF PARCELS: 0.196 AC.
- TOTAL LAND DISTURBED: 5,650 SF (NO FORMAL EROSION CONTROL PLAN IS REQUIRED). CONSTRUCTION ACTIVITIES WILL CONFORM TO THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK GUIDELINES.
- SITE PHASING: PROJECT TO OCCUR IN ONE PHASE.
- CRITICAL SLOPES: NO NATURAL CRITICAL SLOPES ARE PROPOSED TO BE IMPACTED ON-SITE. CARE WILL BE TAKEN TO PREVENT THE EROSION AND SEDIMENTATION OF THE EXISTING GRADE AND TO PROTECT THE NEIGHBORING PROPERTIES, AS WELL AS THE SLOPE AND VEGETATION BETWEEN THE PROPOSED DEVELOPMENT AND ADJACENT PROPERTIES.
- PARKING REQUIREMENTS:
1 SPACE PER 500 SQ. FT. OF GFA OF OFFICE SPACE
5,800 SQ. FT./500 SQ. FT. = 12 SPACES REQUIRED FOR THE EXISTING BUILDING
TOTAL SPACES REQUIRED= 12
TOTAL SPACES PROVIDED= 12
- PUBLIC UTILITIES: THE DEVELOPMENT IS SERVED BY EXISTING PUBLIC WATER AND SEWER.
- STORMWATER MANAGEMENT AND STORM DRAINAGE: NO FORMAL STORMWATER MANAGEMENT SYSTEM IS REQUIRED FOR THE DEVELOPMENT OF THIS SITE. PEROUS GRASS PAVERS WITH AN UNDERDRAIN SYSTEM ARE PROPOSED WITH THE DESIGN OF THE PARKING LOT TO PROVIDE SOME INFILTRATION AND HELP OFFSITE THE STORMWATER RUNOFF FROM THE PROPOSED PARKING LOT, PRIOR TO RELEASING THE RUN-OFF INTO THE CITY'S STORM SEWER SYSTEM. PEROUS PAVERS DESIGN WAS NOT REVIEWED BY THE CITY; THEREFORE THIS SITE IS NOT ELIGIBLE FOR A STORM WATER UTILITY CREDIT.
- AREAS DEDICATED FOR PUBLIC USE: CURRENTLY, THERE IS NO LAND ON THIS PROPERTY THAT IS PROPOSED TO BE RESERVED OR DEDICATED FOR PUBLIC USE.
- TOTAL SUBJECT PARCEL IMPERVIOUS AREAS:
EXISTING BUILDING & PAVED AREAS: 0.046 AC.
PAVED AREAS & EXISTING BUILDING TO REMAIN: 0.055 AC.
PROPOSED PERMEABLE PAVERS: 0.080 AC.
TOTAL = 0.135 AC.
- SIGNAGE- ANY SIGNAGE ADDED TO THE BUILDING WILL BE IN ACCORDANCE WITH CITY GUIDELINES AND REQUIREMENTS
- INGRESS AND EGRESS: THE EXISTING ENTRANCES/EXITS WILL UTILIZE THE EXISTING ALLEY IN THE REAR OF THE PARCEL.
- SITE TRIP GENERATION: TRAFFIC IMPACT NUMBERS ARE BASED ON THE ITE TRIP GENERATION MANUAL, 8TH EDITION.
CODE 710 WAS USED FOR THE EXISTING BUILDING ASSUMING 5,800 SF OF OFFICE SPACE.
ADT RATE = 64 VPD (11.01 VPD/1,000 SF * 5,800 SF)
AM PEAK: RATE = 9 VPH (7 VPH ENTER/2 VPH EXIT)
PM PEAK: RATE = 9 VPH (2 VPH ENTER/7 VPH EXIT)
- EXISTING FIRE HYDRANTS SHALL CONTINUE TO BE UTILIZED FOR THE EXISTING BUILDING.
- TRASH - INDIVIDUAL TRASH CONTAINERS WILL BE UTILIZED FOR TRASH REMOVAL FROM THE PROPOSED OFFICE USE.
- LIGHTING - NO PARKING LOT LIGHTING IS PROPOSED FOR THE SITE.

COLLINS ENGINEERING SHALL NOT HAVE AUTHORITY OVER CONTRACTOR'S WORK, SAFETY PRECAUTIONS, SCHEDULES, OR COMPLIANCE WITH LAWS AND REGULATIONS. WE SHALL NOT ASSUME RESPONSIBILITY FOR ANY CONSTRUCTION BEGUN PRIOR TO PLAN APPROVAL.

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.

CITY OF CHARLOTTESVILLE IS NOT RESPONSIBLE FOR ACCURACY OF THE GIS DATA USED IN THE PLANS AND THE CONTRACTOR MUST LOCATE ALL SURFACE AND SUB-SURFACE UTILITIES PRIOR TO ANY WORK ONSITE.

ANY SIDEWALK AND/OR CURB DAMAGE IDENTIFIED IN THE SITE VICINITY DUE TO PROJECT CONSTRUCTION ACTIVITIES AS DETERMINED BY THE CITY INSPECTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

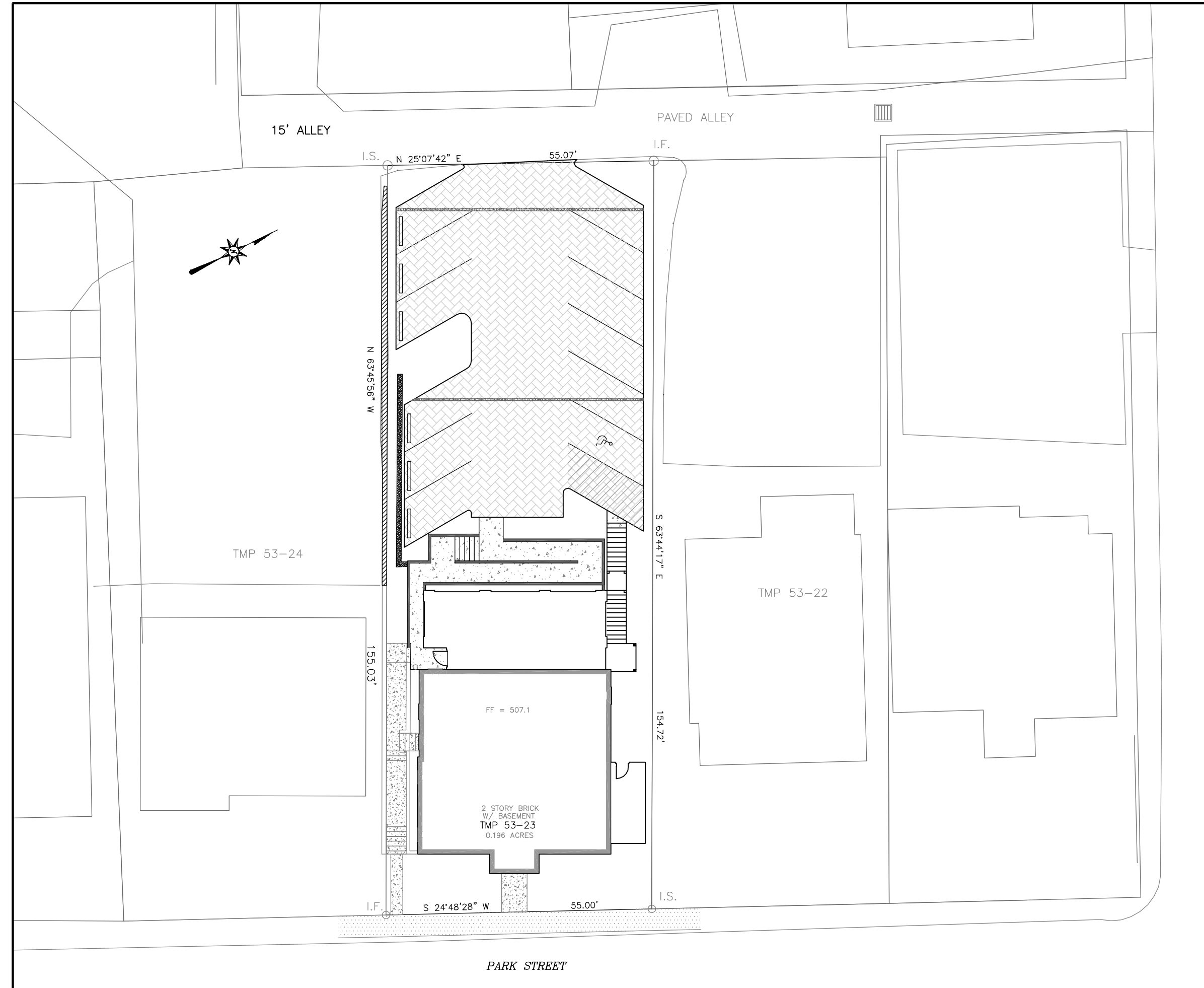
A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.

SITE AND BUILDING CONSTRUCTION SHALL MEET CURRENT IBC ACCESSIBILITY REQUIREMENTS.

NOTES:

- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.
- IFC 505-THE BUILDING STREET NUMBER TO BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS.
- IFC 506.1-AN APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTESVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY. A KNOX BOX KEY BOX CAN BE ORDERED BY GOING ONLINE TO WWW.KNOXBOX.COM. THE KNOX BOX ALLOWS ENTRY TO THE BUILDING WITHOUT DAMAGING THE LOCK AND DOOR SYSTEM.
- FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBSTRUCTED BY LANDSCAPING, PARKING OR OTHER OBJECTS. THE FIRE MARSHAL'S OFFICE NO LONGER ALLOWS ANY TYPE OF LANDSCAPING TO BE PLACED IN FRONT OF AND WITHIN 5 FEET OF FIRE HYDRANTS, FIRE PUMP TEST HEADERS, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHTING 85,000 LBS.
- IFC 1404.1-SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES.
- IFC 1404.2-WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
- IFC 1410.1-ACCESS TO THE BUILDING DURING DEMOLITION AND CONSTRUCTION SHALL BE MAINTAINED.
- IFC 1404.6-CUTTING AND WELDING. OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 26, OF THE INTERNATIONAL FIRE CODE, ADDRESSING WELDING AND HOTWORK OPERATIONS.
- IFC 1414.1-FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
- REQUIRED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.
- OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13 FEET 6 INCHES.
- ALL SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE IX, SECTION 34-1020 CITY CODE.
- A SIDEWALK CLOSURE PERMIT IS NEEDED, THE DEVELOPER WILL BE REQUIRED TO PROVIDE ADEQUATE PEDESTRIAN BARRIERS AND PEDESTRIAN CIRCULATION. SEE PUBLIC WAY DURING CONSTRUCTION POLICY (PEDESTRIAN BARRIER).

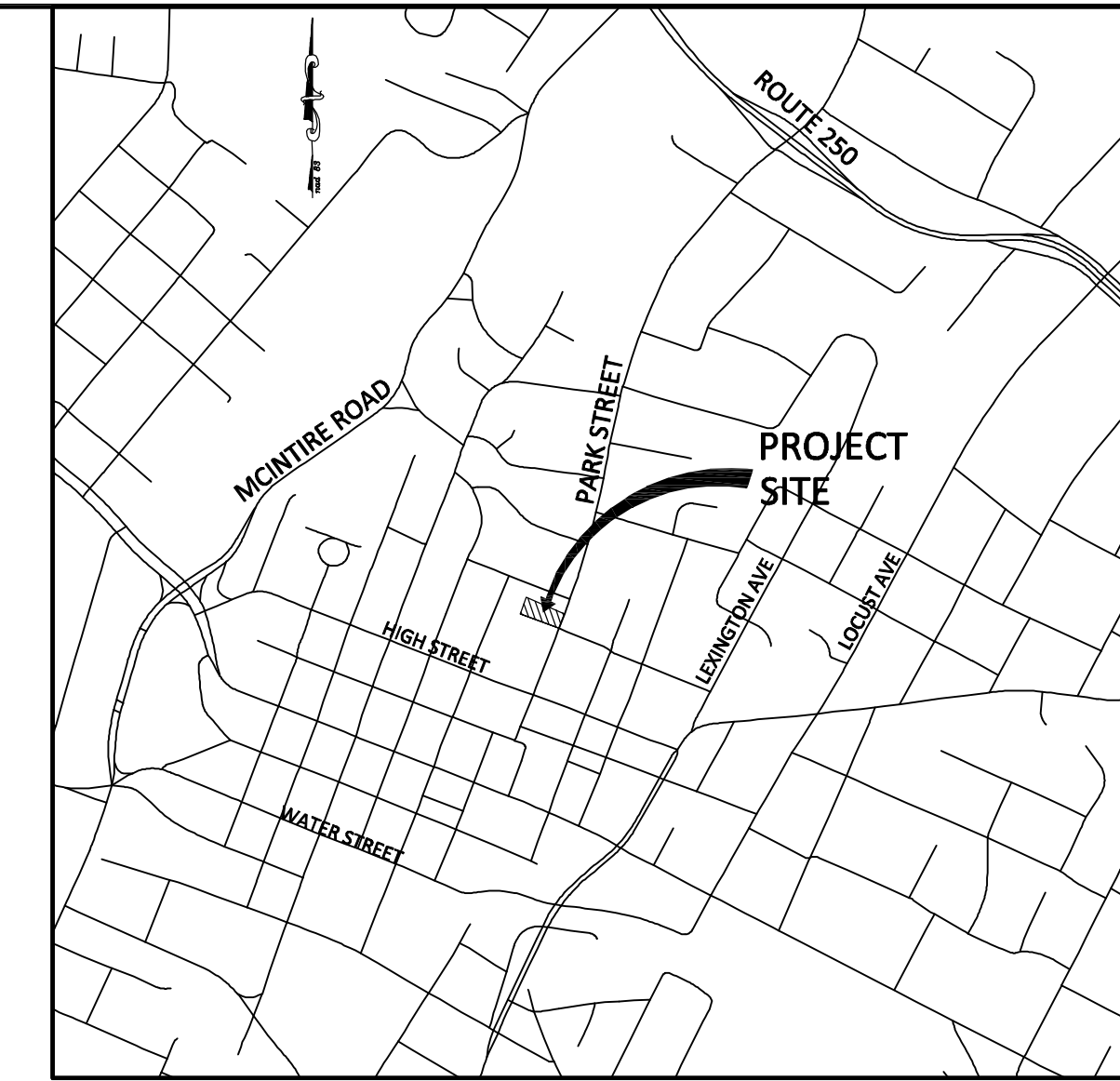
BMP DATA FOR THIS PROJECT:	
BMP OWNERSHIP INFORMATION:	PRICE-POORE HOUSE, LLC 455 2ND STREET SE, SUITE 402 CHARLOTTESVILLE, VA 22902
TYPE OF BMP INSTALLED:	PAVERS
GEOGRAPHIC LOCATION (HYDROLOGIC UNIT CODE):	INTERSECTION OF PARK STREET & MAPLE STREET (SOIL GROUP TYPE 122C)
WATERBODY THE BMP IS ULTIMATELY DISCHARGING INTO:	MADDOX CREEK, WHICH THEN FEEDS THE RIVANNA RIVER
# OF ACRES TREATED BY BMPs:	0.100 AC
DESCRIPTION OF REQUIRED MAINTENANCE:	THE MAINTENANCE PROGRAM FOR THE FACILITY SHALL CONSIST OF AN ANNUAL VISUAL INSPECTION OF THE SYSTEM AFTER THE WINTER SEASON AND AFTER ANY STORM EVENT THAT EXCEEDS THE 10-YEAR STORM EVENT. STREET SWEEPING SHALL BE COMPLETED ANNUALLY TO PROMOTE PROPER INFILTRATION AND REDUCE THE RISK OF CLOGGING. AREAS UNDER, AND ADJACENT TO, TREES SHALL BE GIVEN SPECIAL ATTENTION DUE TO THE ADDITIONAL RISK OF CLOGGING.
OWNER'S SIGNATURE AGREEING TO MAINTAIN FACILITY:	



SHEET LAYOUT SCALE: 1" = 50'

SITE PLAN AMENDMENT #2 PROPOSED CHANGES:

- A RETAINING WALL ALONG THE SOUTH SIDE OF THE PARKING LOT IS NOW PROPOSED.
 - THE ADDITION OF THE WALL REQUIRED THE LANDSCAPING TO BE SHIFTED SLIGHTLY & FOR 3 SPACES TO BE MARKED COMPACT TO ACCOMMODATE THE PLANTING STRIP. THE PRIVATE HANDICAP ACCESS GRADES WERE MODIFIED SLIGHTLY AS WELL.
- NOTE:
1. THE LANDSCAPING TREES & SHRUBS WERE NOT SUBTRACTED, OR ADDED, WITH THIS AMENDMENT AND THE OVERALL LANDSCAPING PLAN IS IN GENERAL CONFORMANCE WITH THE PREVIOUSLY APPROVED PLAN. ADDITIONALLY, A 2' WIDE PLANTING STRIP BETWEEN THE RETAINING WALLS IS MAINTAINED.
2. CHANGES TO THIS SHEET ARE LIMITED TO THIS SUMMARY & THE SHEET INDEX.



VICINITY MAP SCALE: 1" = 1000'

SHEET INDEX

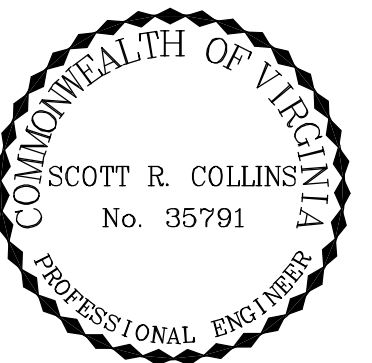
TITLE	SHEET
(SEE ORIGINAL APPROVED PLAN) COVER SHEET	1
(SEE ORIGINAL APPROVED PLAN) EXISTING CONDITIONS & DEMOLITION PLAN	2
(SEE ORIGINAL APPROVED PLAN) SITE PLAN	3
(SEE ORIGINAL APPROVED PLAN) NOTES & DETAILS	4
TOTAL SHEETS:	4

LEGEND

ROADS	
	EXISTING CULVERT
	CULVERT
	DROP INLET & STRUCTURE NO.
	CURB
	CURB & GUTTER
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED VEGETATIVE COVER
	PROPOSED BIOFILTER VEGETATION
	EC-3A DITCH
	EC-2 DITCH
	EARTH DITCH
	DRIVEWAY CULVERT
	BENCH MARK
	CLEARING LIMITS
	VDOT STANDARD STOP SIGN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	IBC DENOTES TOP/BACK OF CURB 1/8 DENOTES TOP OF BOX

SIGNATURE PANEL

DIRECTOR, NEIGHBORHOOD DEVELOPMENT



REVISIONS

REVISION DESCRIPTION
INITIAL SUBMISSION

DATE
1/27/15

COLLINS ENGINEERING
200 GARRETT STREET, SUITE K-CHARLOTTESVILLE, VA 22902-434-293-3719

427 PARK STREET SITE PLAN AMENDMENT #2

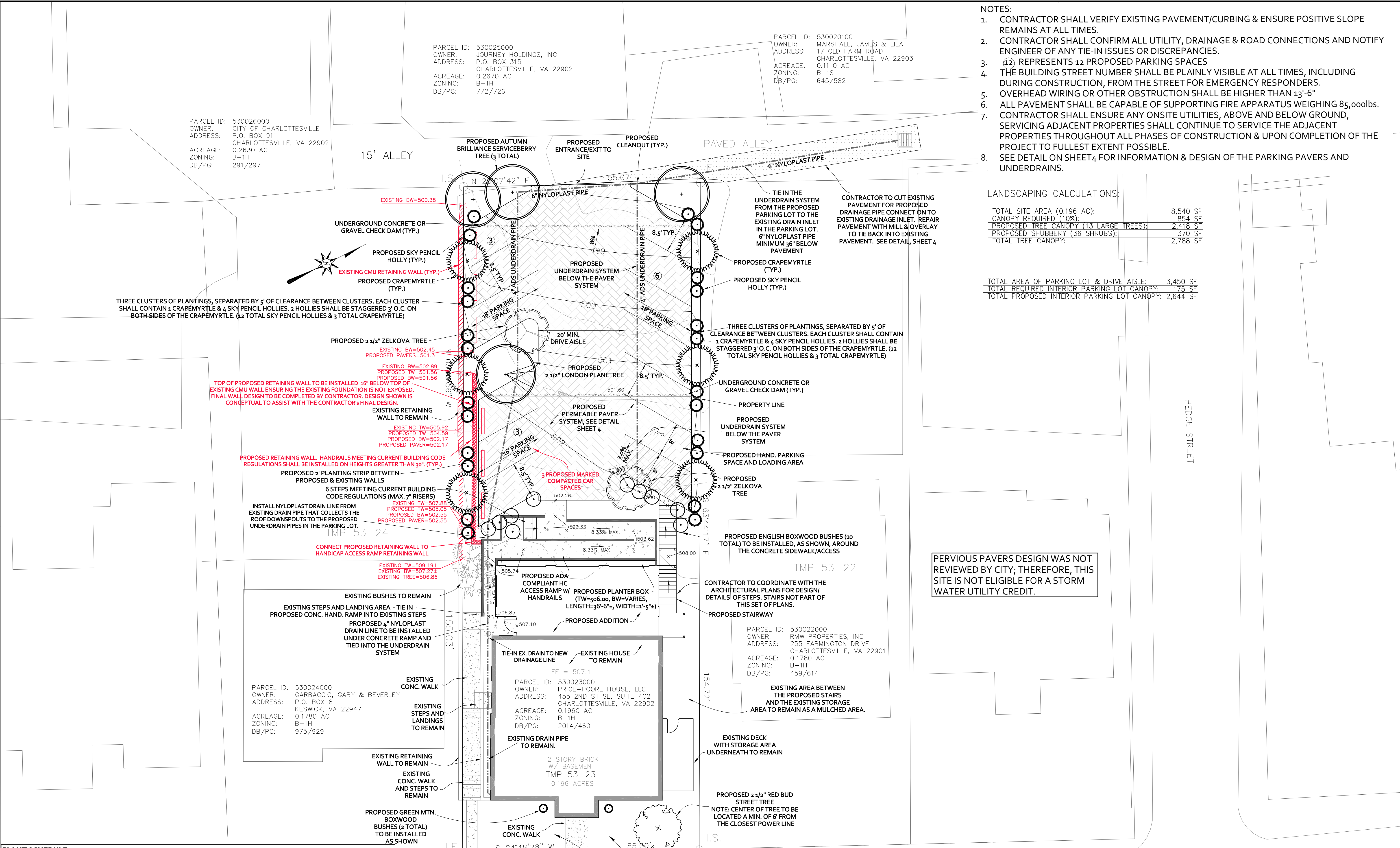
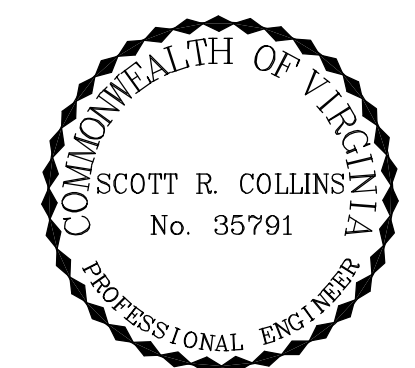
COVER SHEET

PROJECT
JOB NO.
122077

SCALE
N/A

SHEET NO.
1

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- NOTES:
- CONTRACTOR SHALL VERIFY EXISTING PAVEMENT/CURBING & ENSURE POSITIVE SLOPE REMAINS AT ALL TIMES.
 - CONTRACTOR SHALL CONFIRM ALL UTILITY, DRAINAGE & ROAD CONNECTIONS AND NOTIFY ENGINEER OF ANY TIE-IN ISSUES OR DISCREPANCIES.
 - (12) REPRESENTS 12 PROPOSED PARKING SPACES
 - THE BUILDING STREET NUMBER SHALL BE PLAINLY VISIBLE AT ALL TIMES, INCLUDING DURING CONSTRUCTION, FROM THE STREET FOR EMERGENCY RESPONDERS.
 - OVERHEAD WIRING OR OTHER OBSTRUCTION SHALL BE HIGHER THAN 13'-6"
 - ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 85,000lbs. CONTRACTOR SHALL ENSURE ANY ONSITE UTILITIES, ABOVE AND BELOW GROUND, SERVICING ADJACENT PROPERTIES SHALL CONTINUE TO SERVICE THE ADJACENT PROPERTIES THROUGHOUT ALL PHASES OF CONSTRUCTION & UPON COMPLETION OF THE PROJECT TO FULLEST EXTENT POSSIBLE.
 - SEE DETAIL ON SHEET 4 FOR INFORMATION & DESIGN OF THE PARKING PAVERS AND UNDERDRAINS.

LANDSCAPING CALCULATIONS:

TOTAL SITE AREA (0.196 AC):	8,540 SF
CANOPY REQUIRED (10%):	854 SF
PROPOSED TREE CANOPY (13 LARGE TREES):	2,418 SF
PROPOSED SHRUBBERY (36 SHRUBS):	370 SF
TOTAL TREE CANOPY:	2,788 SF

TOTAL AREA OF PARKING LOT & DRIVE AISLE:	3,450 SF
TOTAL REQUIRED INTERIOR PARKING LOT CANOPY:	175 SF
TOTAL PROPOSED INTERIOR PARKING LOT CANOPY:	2,644 SF

REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMISSION	1/27/15

COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K-CHARLOTTESVILLE, VA 22902-434.293.3719

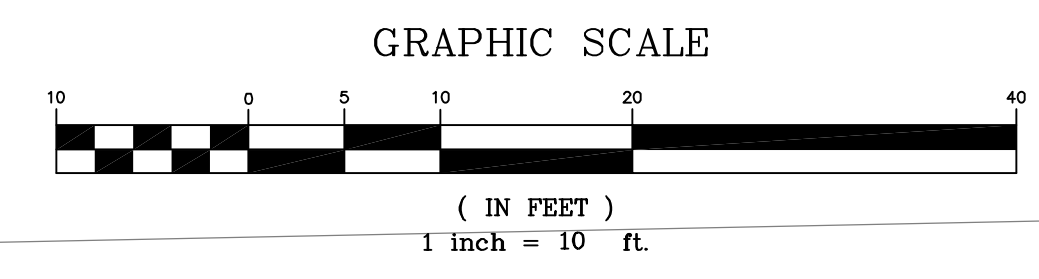
427 PARK STREET SITE PLAN AMENDMENT #2
 SITE PLAN

PROJECT: 122077
 SHEET: 3

SCALE: 1"=10'
 SHEET NO. 3

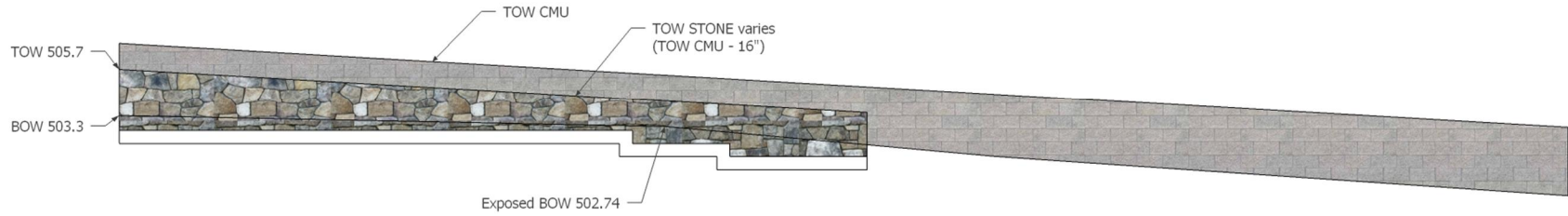
PLANT SCHEDULE

SYM	BOTANICAL	COMMON NAME	SIZE	CANOPY (#)	QUANTITY	TOTAL SITE COVERAGE (#)
TREES						
AG	AMELANCHIER x GRANDIFLORA & CVS	SERVICEBERRY (AUTUMN BRILLIANCE)	6'-7" ht. min.	130	3	390
PA	PLATANUS ACERIFOLIA	LONDON PLANETREE	2 1/2" cal.	422	1	422
CC	CERCIS CANADENSIS & CVS.	EASTERN REDBUD	2 1/2" cal.	124	1	124
LI	LAGERSTROEMIA INDICA x CVS.	CRAPEMYRTLE	6'-7" ht. min.	77	6	462
ZS	ZELKOVA SERRATA	VILLAGE GREEN ZELKOVA	2 1/2" cal.	510	2	1,020
SHRUBS						
BS	BUXUS SEMPERVIRENS 'SUFRUTICOSA'	ENGLISH BOXWOOD	24" min.	11	10	110
IC	ILILEX CRENATA & CVS.	SKY PENCIL HOLLY	2 1/2" cal.	10	24	240
NC	BUXUS & CVS.	GREEN MOUNTAIN BOXWOOD	24" ht. min	10	2	20
TOTAL CANOPY						2,788

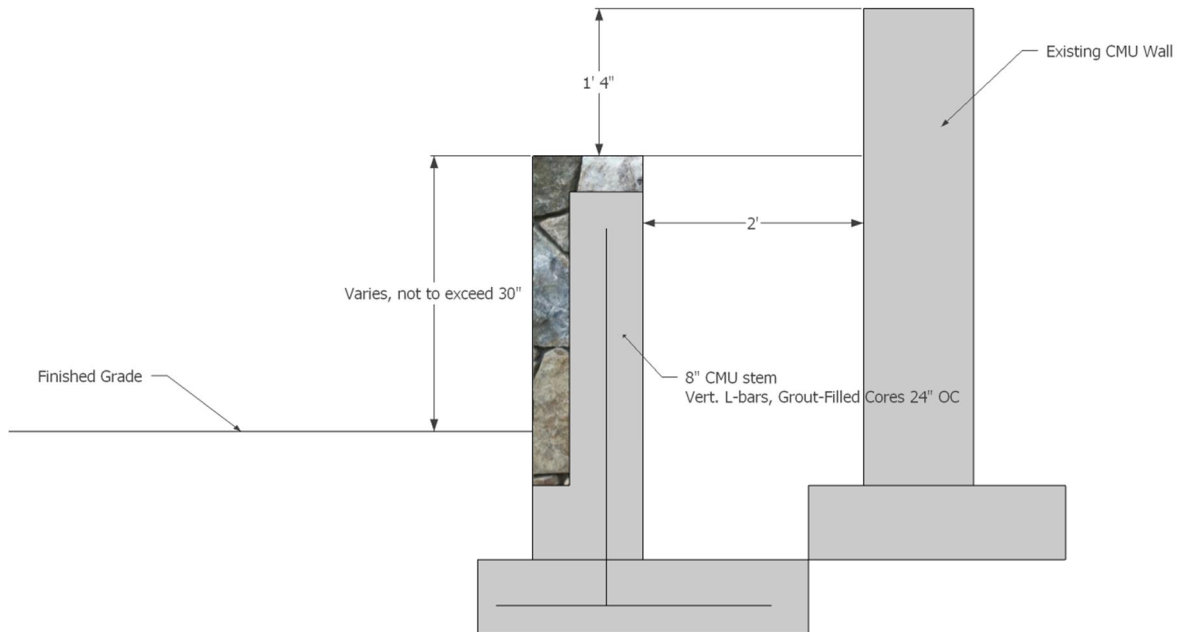


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Elevation of Proposed Retaining Wall at 427 Park Street (Site Plan Amendment #2)



Typical Detail of Proposed Retaining Wall (By Others) at 427 Park Street (Site Plan Amendment #2)



Example/Representation of Proposed Retaining Wall to be installed at 427 Park Street (Site Plan Amendment #2)



Example/Representation of Proposed Retaining Wall to be installed at 427 Park Street (Site Plan Amendment #2)

