



**Board of Architectural Review (BAR)
Certificate of Appropriateness**

RECEIVED

APR 16 2015

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

NEIGHBORHOOD DEVELOPMENT SERVICES

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name <u>Omni Charlottesville Virginia Corp.</u>	Applicant Name <u>Verizon Wireless</u>
Project Name/Description <u>Replacement of 9 existing a</u>	Parcel Number <u>330155L00</u>
Property Address <u>212 Ridge McIntire</u>	

Applicant Information

Address: Verizon Wireless - C/O Stephen Waller, AICP
536 Pantops Center, PMB #405, Charlottesville, VA 22911
Email: stephen.waller@gdnsites.com
Phone: (W) 434-825-9617 (H) _____
FAX: 757-282-5811

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

[Signature] 4/16/15
Signature Date

Property Owner Information (if not applicant)

Address: _____
4001 Maple Avenue, Suite 500, Dallas, TX 75219
Email: _____
Phone: (W) _____ (H) _____
FAX: _____

Stephen Waller, AICP April 16, 2015
Print Name Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Do you intend to apply for Federal or State Tax Credits for this project? No

Signature Date

Print Name Date

Description of Proposed Work (attach separate narrative if necessary): Replace (9) existing antennas and install (9) new remote radio heads behind the Stealth brick screening wall on the elevator penthouse of the Omni Hotel. Install (1) new 9712 AWS Radio Cabinet, (1) Battery Back-up Unit, (2) Surge Protection boxes and (2) Fiber Optics Distribution boxes on existing platform.

List All Attachments (see reverse side for submittal requirements):

Construction drawings with building elevations and site layout of new and existing equipment, photos of existing Stealth brick enclosure on the rooftop, from west side of building.

For Office Use Only	Approved/Disapproved by: <u>[Signature]</u>
Received by: <u>[Signature]</u>	Date: <u>4/17/2015</u>
Fee paid: <u>\$100.00</u> Cash/Ck. # <u>1024</u>	Conditions of approval: _____
Date Received: <u>4/16/15</u>	_____
<u>P15-0062</u>	_____

New radio cabinets and other supporting equipment will be smaller than existing cabinets and all will continue to be screened behind rooftop parapet wall.



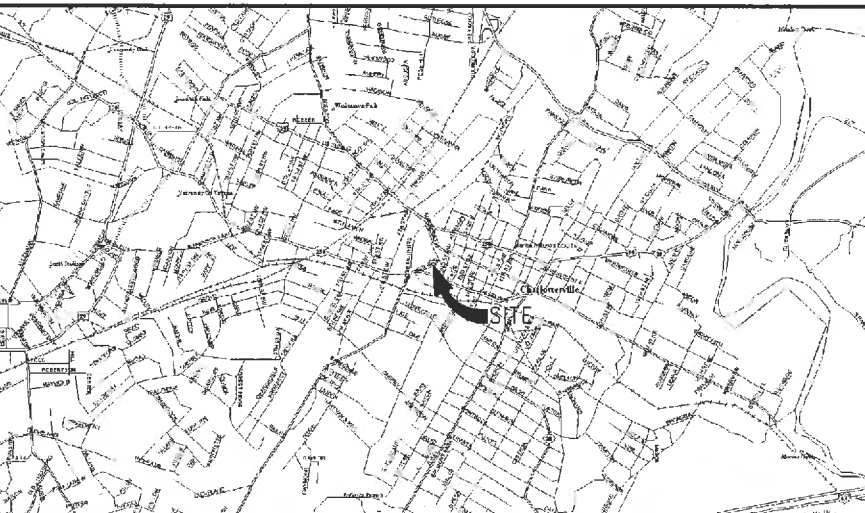


DOWNTOWN MALL

235 WEST MAIN STREET
CHARLOTTESVILLE, VA 22902

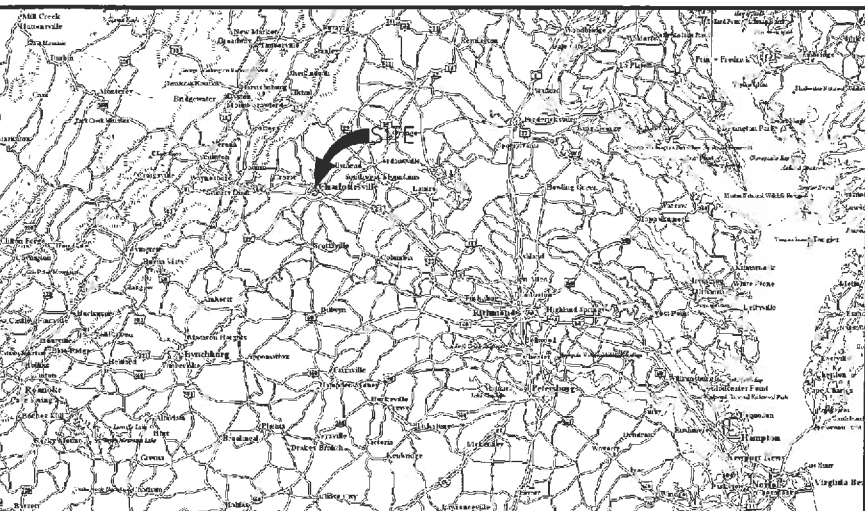
DIRECTIONS TO SITE:

FROM RICHMOND:
TAKE I-64 WEST TO CHARLOTTESVILLE. TAKE EXIT 124. TURN RIGHT ONTO NORTH RICHMOND ROAD. TURN LEFT ONTO US 250 BUSINESS. TURN RIGHT ONTO PRESTON AVENUE. TURN LEFT ONTO RIDGE MCINTIRE ROAD. PULL INTO OMNI ENTRANCE.



LOCAL MAP

SCALE: 1" = 2,000'



VICINITY MAP

NOT TO SCALE

PROJECT DESCRIPTION:
**INSTALLATION AND OPERATION OF
ANTENNAS AND ASSOCIATED
EQUIPMENT**

TELEPHONE COMPANY:
CENTURY LINK
CONTACT: CUSTOMER SERVICE
TELEPHONE: 1-800-788-3600

2 WORKING DAYS
BEFORE YOU DIG
1-800-552-7001
TOLL FREE
MISS UTILITY

POWER COMPANY:
DOMINION VIRGINIA POWER
CONTACT: KELLY A. MAXWELL
TELEPHONE: (434) 972-6812
WORK REQUEST: 7385399
ACCT #: 2254821982

APPROVAL

ACQUISITION MANAGER:	SIGNATURE	PHONE NUMBER	DATE
CONSTRUCTION MANAGER:	SIGNATURE	PHONE NUMBER	DATE
RF ENGINEERING:	SIGNATURE	PHONE NUMBER	DATE
NETWORK OPS MANAGER:	SIGNATURE	PHONE NUMBER	DATE

REV. NO.	DESCRIPTION	BY	DATE	REV. NO.	DESCRIPTION	BY	DATE
1	FINAL CONSTRUCTION DRAWINGS	JYY	04/01/15				

CONSULTING TEAM

ARCHITECTURE AND ENGINEERING:
CLARK NEXSEN
1331 L STREET, NW
WASHINGTON, DC 20005
CONTACT: STUART PATTERSON, P.E.
TELEPHONE: (202) 461-3260
FAX NUMBER: (202) 461-6266

SURVEY:
CAUSEWAY CONSULTANTS, P.C.
1005 S. BATTLEFIELD BLVD. SUITE B
CHESAPEAKE, VA 23322
CONTACT: EDDIE R. WHITE, LS
TELEPHONE: (757) 482-0474
FAX NUMBER: (757) 482-9870

ELECTRICAL ENGINEERING:
CLARK NEXSEN
4525 MAIN STREET SUITE 1400
VIRGINIA BEACH, VA 23462
CONTACT: XXXXXXXX P.E.
TELEPHONE: (757) 455-5800
FAX NUMBER: (757) 455-5638

PROJECT SUMMARY

SITE INFORMATION:
DOWNTOWN MALL
235 W. MAIN ST.
CHARLOTTESVILLE, VA 22902

PROPERTY OWNER:
OMNI CHARLOTTESVILLE
VIRGINIA CORP.
420 DECKER DR. STE. 100
IRVING, TX 75062

APPLICANT INFORMATION:

VERIZON WIRELESS
1831 RADY COURT
RICHMOND, VA 23222
CONTACT: DAVE WADSWORTH
TELEPHONE: (804) 514-0116
FAX NUMBER: (804) 321-0398

PROJECT DATA:

ZONING: MIXED USE "I"
JURISDICTION: CITY OF CHARLOTTESVILLE
TAX MAP #: 330155L00
SITE TYPE: CO-LOCATE
TOWER TYPE: ROOFTOP
LEASE AREA: ROOFTOP
AREA OF LAND: ROOFTOP
DISTURBANCE: 0 SF

(2C) GEOGRAPHIC COORDINATES:

LATITUDE: 38° 01' 52.8" N
LONGITUDE: 78° 29' 00.01" W
GROUND ELEV. (AMSL): 462.50'

ADA COMPLIANCE:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
SITE WILL NOT BE SERVED BY CITY SEWER OR WATER.

SHEET LIST TABLE

Sheet Number	Sheet Title
GENERAL	
T-1	TITLE SHEET
T-2	LEGEND AND ABBREVIATIONS
CML	
C-1	SURVEY AND SITE PLAN
ARCHITECTURAL	
A-1	ROOF PLAN
A-2	WEST ELEVATION
A-3	NORTH ELEVATION
ELECTRICAL	
E-1	ELECTRICAL LEGEND AND NOTES

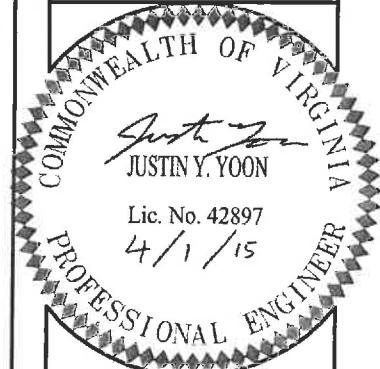
SHEET TOTAL:
7

CLARK NEXSEN

1331 L STREET, NW
SUITE 600
WASHINGTON, DC 20005
202-461-3260 FAX 202-461-3266
WWW.CLARKNEXSEN.COM



1831 RADY COURT
RICHMOND, VA 23222



SITE INFO:
**DOWNTOWN
MALL
ROOFTOP**

235 W MAIN ST
CHARLOTTESVILLE, VA
22902

CITY OF CHARLOTTESVILLE

DESIGN:
DRAWN:
REVIEW:
TTY DATE: XXXXXX
COMM. NO.: 5833-186.PCS

SUBMITTALS		
SYM.	DESCRIPTION	DATE
△	FINAL CONSTRUCTION DRAWINGS	04/01/15
△		
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SHEET NAME:
TITLE SHEET

SHEET NO.:
T-1

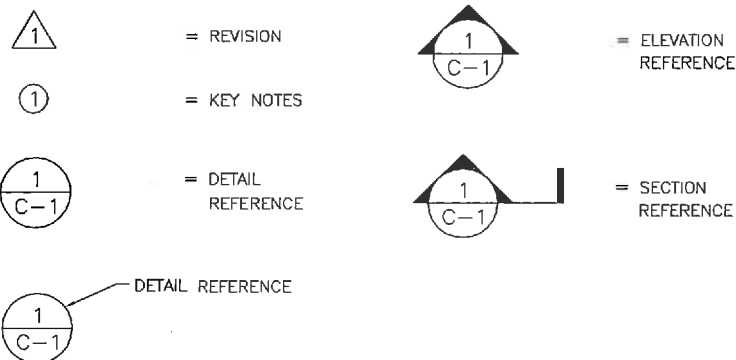
I:\Projects\5833-186-PCS-92W - Downtown Mall - PCS\Cad-Model\Sheets\01-T-2.dwg Mon, 06 Apr 2015 1:08pm wduhley

1P, 2P, & 3P
 A
 A/C
 ACI
 ADJ
 AFF
 AGL
 AMSL
 APPROX
 ASTM
 ATS
 AWG
 A OR AMP
 BLDG
 BLK
 BMR
 B/S
 CU
 CO
 C
 CB
 CKT
 CLG
 CLR
 CONC
 CONST
 CONT
 CFCI
 DBL
 DIA, Ø
 DIAG
 DIM
 DN
 DTL, DETL
 DWG
 DEF
 E
 EA
 EL, ELEV
 ELECT
 EOE
 EQ
 EQUIP
 EW
 EXIST/EX
 EXT
 EMT
 EC
 FFE
 FIN
 FLOUR
 FLR
 FT
 GRC
 G OR GND
 GA
 GALV
 GC
 GPS
 GWB
 GYP BD
 HARD'WD
 HDPC
 HORIZ
 HR
 HT
 HVAC
 ID
 IN
 INFO
 INSUL
 INT
 KW
 KWH
 LB(S)
 MECH

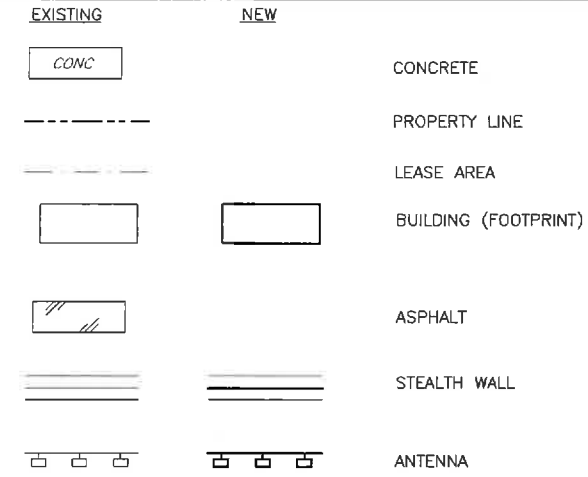
SINGLE POLE, TWO POLE, & THREE POLES
 AMPERE
 AIR CONDITIONING
 AMERICAN CONCRETE INSTITUTE
 ADJUSTABLE
 ABOVE FINISH FLOOR
 ABOVE GROUND LEVEL
 ABOVE MEAN SEA LEVEL
 APPROXIMATELY
 AMERICAN SOCIETY FOR TESTING AND MATERIALS
 AUTOMATIC TRANSFER SWITCH
 AMERICAN WIRE GAUGE
 AMPERE
 BUILDING
 BLOCK
 BASE MOBILE RADIO
 BUILDING STANDARD
 COPPER
 CONDUIT ONLY
 CONDUIT SIZE AS NOTED
 CIRCUIT BREAKER
 CIRCUIT
 CEILING
 CLEAR
 CONCRETE
 CONSTRUCTION
 CONTINUOUS
 CONTRACTOR FURNISHED CONTRACTOR INSTALLED
 DOUBLE
 DIAMETER
 DIAGONAL
 DIMENSION
 DOWN
 DETAIL
 DRAWING
 DUAL ELEMENT FUSES
 EAST
 EACH
 ELEVATION
 ELECTRICAL
 EXISTING OVERHEAD ELECTRIC
 EQUAL
 EQUIPMENT
 EACH WAY
 EXISTING
 EXTERIOR
 ELECTRICAL METALLIC TUBING (THIN WALL)
 ELECTRICAL CONTRACTOR
 FINISHED FLOOR ELEVATION
 FINISH
 FLUORESCENT
 FLOOR
 FOOT
 GALVANIZED RIGID CONDUIT
 GROUND
 GAUGE
 GALVANIZE(D)
 GENERAL CONTRACTOR
 GLOBAL POSITIONING SYSTEM
 GYPSUM WALL BOARD
 GYPSUM BOARD
 HARDWOOD
 HIGH DENSITY POLYMER CONCRETE
 HORIZONTAL
 HOUR
 HEATING, VENTING AND AIR CONDITIONING
 INSIDE DIA
 INCH
 INFORMATION
 INSULATION
 INTERIOR
 KILOWATTS
 KILO WATT HOUR
 POUND(S)
 MAXIMUM
 MECHANICAL

MET, MTL
 MFR
 MGR
 MIN
 MISC
 MPH
 MTD
 NEUT
 N
 NA
 NAVD
 NIC
 NTS
 OFCI
 OC, o/c
 OD
 OPG
 OPP
 OHT/OHP
 OHP
 OHT
 PIN(F)
 PIN(S)
 PVC
 PLYWD
 PR
 PROJ
 PROP
 PSF
 PT
 RECPT
 REQ'D
 RM
 RO
 S
 SCHD
 SW
 SHT
 SIM
 SPEC
 SQ
 SS
 STL
 STRUCT
 SUSP
 SV
 TBCW
 THRU
 TNND
 TOC
 TOM
 TYP
 UON
 UBC
 UGP
 UGT
 VERT
 VIF
 VT
 W
 W/
 WIN
 W/O
 W
 WP
 XFMR

METAL
 MANUFACTURER
 MANAGER
 MINIMUM
 MISCELLANEOUS
 MILES PER HOUR
 MOUNTED
 NEUTRAL
 NORTH
 NOT APPLICABLE
 NORTH AMERICAN VERTICAL DATUM
 NOT IN CONTRACT
 NOT TO SCALE
 OWNER FURNISHED, CONTRACTOR INSTALLED
 ON CENTER
 OUTSIDE DIAMETER
 OPENING
 OPPOSITE
 OVERHEAD TELEPHONE/OVERHEAD POWER
 OVERHEAD POWER
 OVERHEAD TELEPHONE
 PIN FOUND
 PIN SET
 SCHEDULE 40 PLASTIC CONDUIT
 PLYWOOD
 PAIR
 PROJECT
 PROPERTY
 POUNDS PER SQUARE FOOT
 PRESSURE TREATED
 RECEPTACLE
 REQUIRED
 ROOM
 ROUGH OPENING
 SOUTH
 SCHEDULE
 SWITCH
 SHEET
 SIMILAR
 SPECIFICATION
 SQUARE
 STAINLESS STEEL
 STEEL
 STRUCTURAL
 SUSPENDED
 SHEET VINYL
 TINNED BARE COPPER WIRE
 THROUGH
 TINNED
 TOP OF CONCRETE
 TOP OF MASONRY
 TYPICAL
 UNLESS OTHERWISE NOTED
 UNIFORM BUILDING CODE
 UNDERGROUND POWER
 UNDERGROUND TELEPHONE
 VERTICAL
 VERIFY IN FIELD
 VINYL TILE
 WEST
 WITH
 WINDOW
 WITHOUT
 WATTS, WIRE, WEST
 WEATHERPROOF
 TRANSFORMER



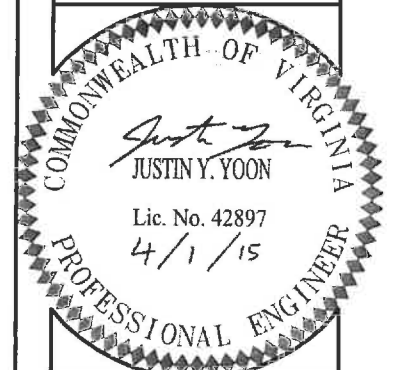
ABBREVIATIONS & SYMBOLS LIST



LEGEND

CLARK•NEXSEN
 1331 L STREET, NW
 SUITE 600
 WASHINGTON, DC 20005
 202-461-3260 FAX 202-461-3266
 WWW.CLARKNEXSEN.COM

verizon wireless
 1831 RADY COURT
 RICHMOND, VA 23222



SITE INFO:
 DOWNTOWN
 MALL
 ROOFTOP

235 W MAIN ST
 CHARLOTTESVILLE, VA
 22902

CITY OF CHARLOTTESVILLE

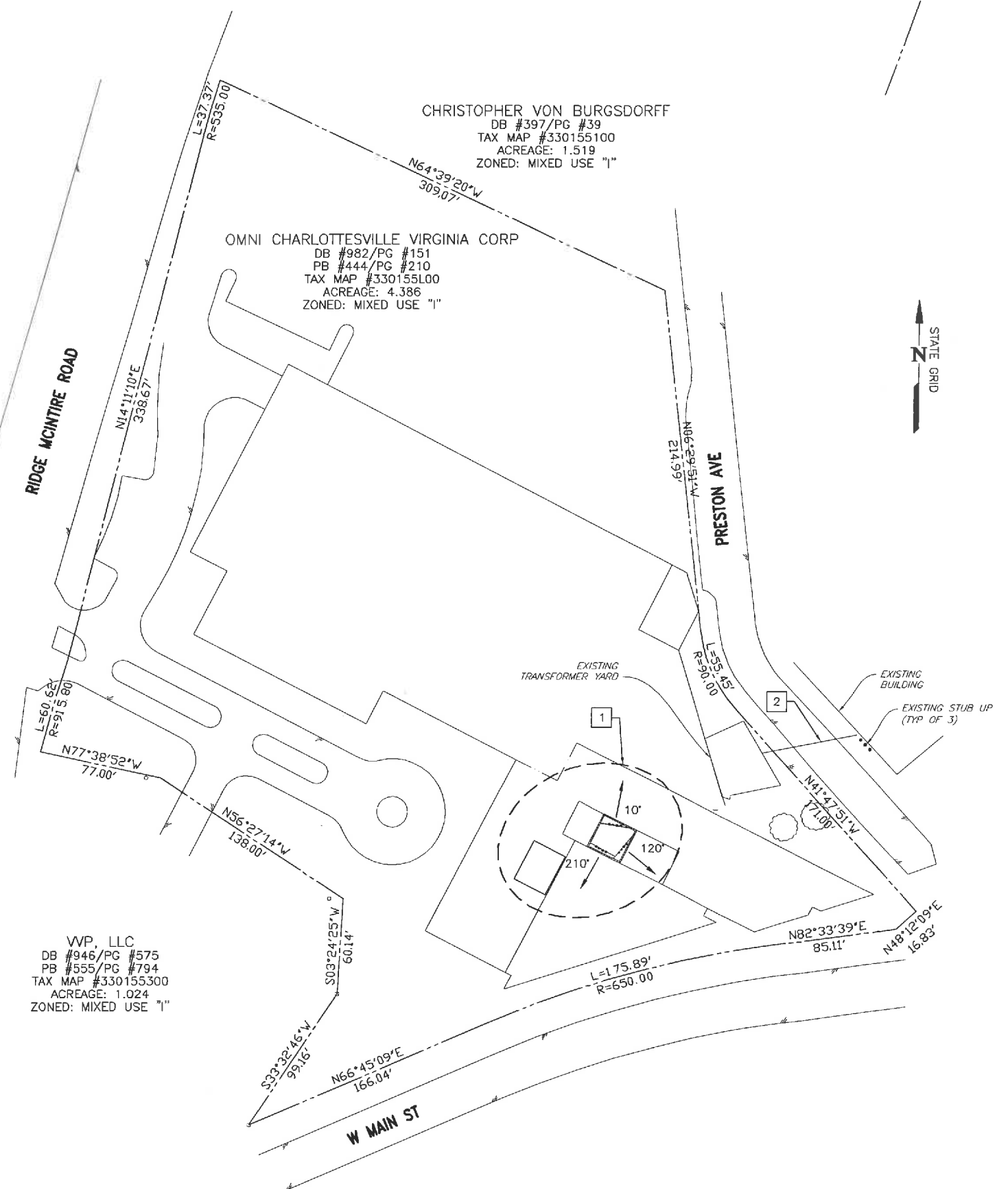
DESIGN: JWB
 DRAWN: MSA
 REVIEW: SPP
 TTV DATE: XX/XX/XX
 COMM. NO. 5833-186.PCS

SUBMITTALS		
SYM.	DESCRIPTION	DATE
△	FINAL CONSTRUCTION DRAWINGS	04/01/15
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SHEET NAME:
 LEGEND
 AND
 ABBREVIATIONS

SHEET NO.:
 T-2

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SURVEY AND SITE PLAN

FOR 24" X 36" PLOT - 1" = 40'
 FOR 11" X 17" PLOT - 1" = 80'

SURVEY NOTES

1. INFORMATION SHOWN HEREON WAS TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY CAUSEWAY CONSULTANTS, P.C., CHESAPEAKE, VIRGINIA. METES AND BOUNDS WERE COMPILED FROM PLATS AND/OR DEEDS AND TAX MAPS OF RECORD. NO BOUNDARY SURVEY HAS BEEN PERFORMED.
2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH/REPORT AND MAY NOT SHOW ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD THAT MAY EFFECT THE SUBJECT PROPERTY.
3. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
4. FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAPS AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING OR DAMAGE.
5. THIS SITE APPEARS TO BE LOCATED IN THE F.I.R.M. ZONE "X" AS SHOWN ON COMMUNITY PANEL NUMBER 51003C 0286D EFFECTIVE DATE 2/04/05.
6. NO SUBSURFACE INVESTIGATION WAS PERFORMED.
7. MERIDIAN SOURCE FOR THIS SURVEY IS BASED UPON STATE GRID (SOUTH ZONE). MAGNETIC DECLINATION IS COMPUTED AND NOT OBSERVED.
8. NO WETLAND AREAS HAVE BEEN DELINEATED.
9. ALL PHYSICAL EVIDENCE OF UTILITIES SHOWN ON THIS SURVEY IS FROM SURFACE EVIDENCE.
10. BASED ON THIS SURVEY, THE PROPOSED TOWER HAS BEEN CERTIFIED BY CAUSEWAY CONSULTANTS P.C. THAT THE COORDINATE LOCATION OF THE REFERENCED TOWER AT THE REFERENCED SITE IS ACCURATE WITHIN 50'± HORIZONTALLY AND THE ELEVATION IS ACCURATE WITHIN 20'± VERTICALLY. THE HORIZONTAL DATUM (COORDINATES) ARE IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND ARE EXPRESSED AS DEGREES, MINUTES, AND SECONDS. THE VERTICAL DATUM (ELEVATIONS) ARE IN TERMS AS DEFINED BELOW AND ARE DETERMINED TO THE NEAREST TENTH OF A FOOT.

PROPOSED ANTENNAS (ROOF-MOUNTED)
 NAD 1983
 LATITUDE: 38° 01' 52.8" N
 LONGITUDE: 78° 29' 00.01" W
 NAVD 29
 GROUND ELEVATION: 462.50' AMSL
 ROOFTOP ELEVATION: 517.50' AMSL

CONSTRUCTION NOTES

1. LOCATION OF ANTENNAS AND EQUIPMENT FOR ROOF LAYOUT, SEE SHEET A-1.

THIS SITE IS NOT LOCATED WITHIN OR ADJACENT TO A COUNTY DESIGNATED CONSERVATION EASEMENT.

THIS SITE IS NOT LOCATED WITHIN ANY AREA DESIGNATED AS AN AGRICULTURAL OR FORESTAL DISTRICT.

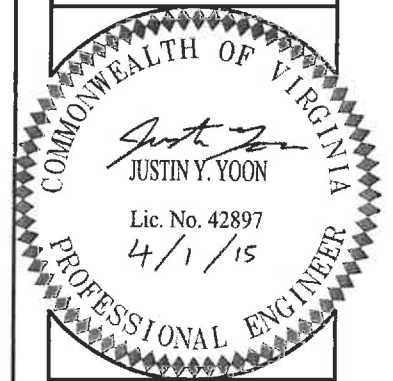
THIS SITE IS NOT LOCATED WITHIN ANY AREA DESIGNATED AS A FLOOD ZONE OR WATERSHED.

CLARK NEXSEN

1331 L STREET, NW
 SUITE 600
 WASHINGTON, DC 20005
 202-461-3260 FAX 202-461-3266
 WWW.CLARKNEXSEN.COM



1831 RADY COURT
 RICHMOND, VA 23222



SITE INFO:

DOWNTOWN MALL ROOFTOP

235 W MAIN ST
 CHARLOTTESVILLE, VA
 22902

CITY OF CHARLOTTESVILLE

DESIGN:	JWB
DRAWN:	MSA
REVIEW:	SFP
TTV DATE:	XX/XX/XX
COMM. NO.	5833-186.PCS

SUBMITTALS		
SYM.	DESCRIPTION	DATE
△	FINAL CONSTRUCTION DRAWINGS	04/01/15
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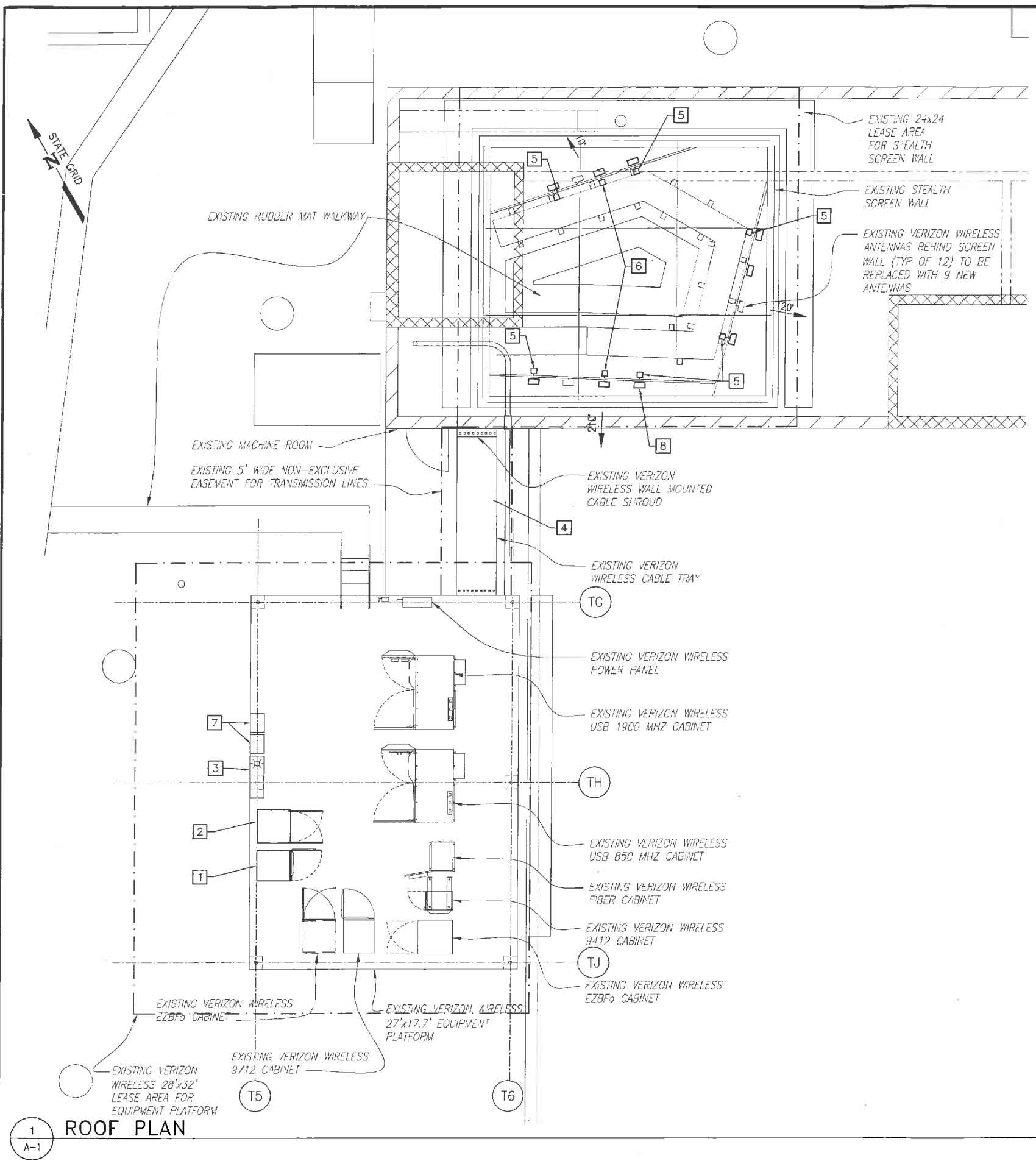
SHEET NAME:

SURVEY AND SITE PLAN

SHEET NO.:

C-1

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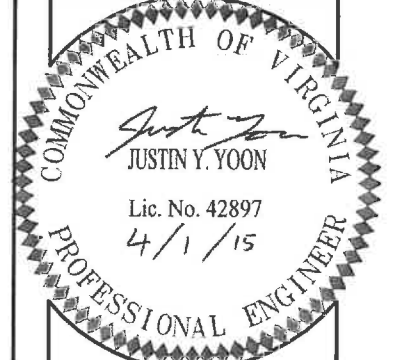


CONSTRUCTION NOTES:

- 1 NEW VERIZON WIRELESS 9712 CABINET.
- 2 NEW VERIZON WIRELESS EZBF0 CABINET.
- 3 NEW VERIZON WIRELESS POWER DISTRIBUTION UNIT/ FIBER MANAGEMENT BOX.
- 4 NEW HYBRIFLEX LINE (TYP OF 2) FROM EQUIPMENT PLATFORM OVP TO ANTENNA OVP AND COAX (TYP OF 12) FROM EQUIPMENT TO ANTENNAS.
- 5 NEW REMOTE RADIO HEAD MOUNTED BEHIND EXISTING ANTENNAS (TYP OF 9).
- 6 NEW OVP (OVER VOLTAGE PROTECTION) MOUNTED BEHIND EXISTING ANTENNA (TYP OF 2).
- 7 NEW OVP (TYP OF 2) MOUNTED ON EXISTING EQUIPMENT PLATFORM.
- 8 REPLACE EXISTING 12 ANTENNAS WITH 9 NEW ANTENNAS.

CLARK NEXSEN
 1331 L STREET, NW
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 WASHINGTON, DC 20005
 202-461-3260 FAX 202-461-3266
 WWW.CLARKNEXSEN.COM

verizon wireless
 1831 RADY COURT
 RICHMOND, VA 23222



SITE INFO:
 DOWNTOWN
 MALL
 ROOFTOP
 235 W MAIN ST
 CHARLOTTESVILLE, VA
 22902

CITY OF CHARLOTTESVILLE
 DESIGN: JWB
 DRAWN: MFK
 REVIEW: SFP
 TTV DATE: XX/XX/XX
 COMM. NO. 5833-186.PCS

SUBMITTALS		
SYM.	DESCRIPTION	DATE
△	FINAL CONSTRUCTION DRAWINGS	04/01/15
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SHEET NAME:
 ROOF PLAN

SHEET NO.:
 A-1

1
A-1
ROOF PLAN

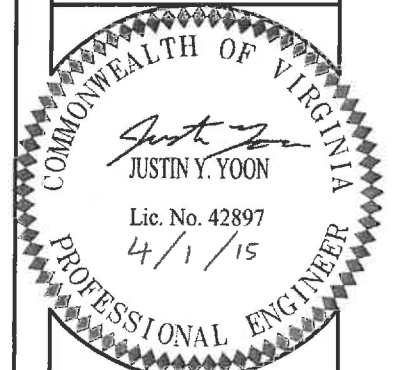
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verizon wireless

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235 W MAIN ST
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22902

CITY OF CHARLOTTESVILLE

DESIGN:	JWB
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SUBMITTALS		
SYM.	DESCRIPTION	DATE
△	FINAL CONSTRUCTION DRAWINGS	04/01/15
△		
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SHEET NAME:

WEST
ELEVATION

SHEET NO.:

A-2

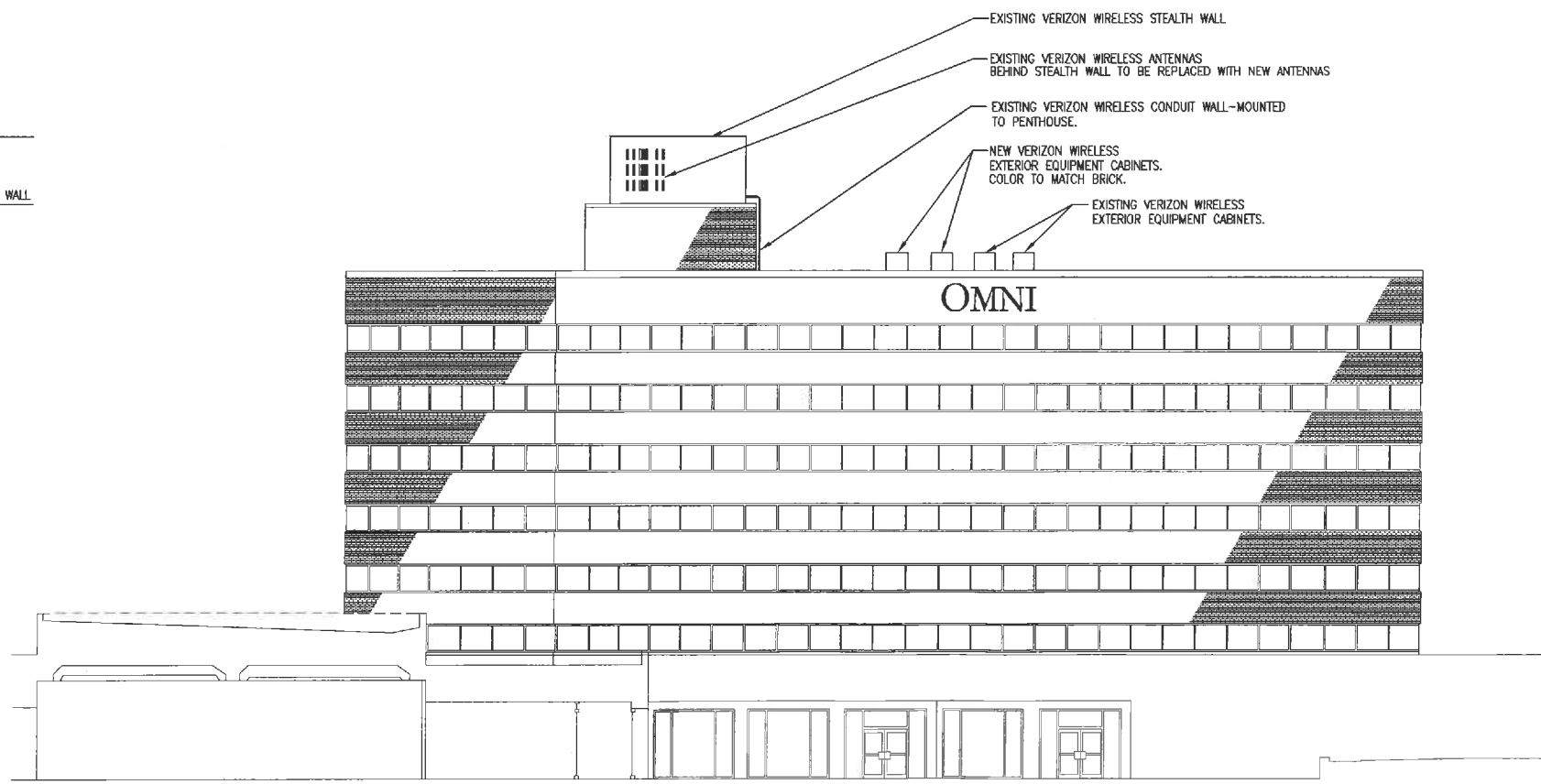
TOP OF EXISTING STEALTH WALL
HEIGHT = 89'± AGL

TOP OF EXISTING PENTHOUSE PARAPET WALL
HEIGHT = 79'± AGL

TOP OF EXISTING PARAPET WALL
HEIGHT = 71'-9"± AGL


TOP OF EXISTING ROOF TOP
HEIGHT = 66'± AGL


EXISTING GRADE
HEIGHT = 0' AGL





1
A-2 WEST ELEVATION


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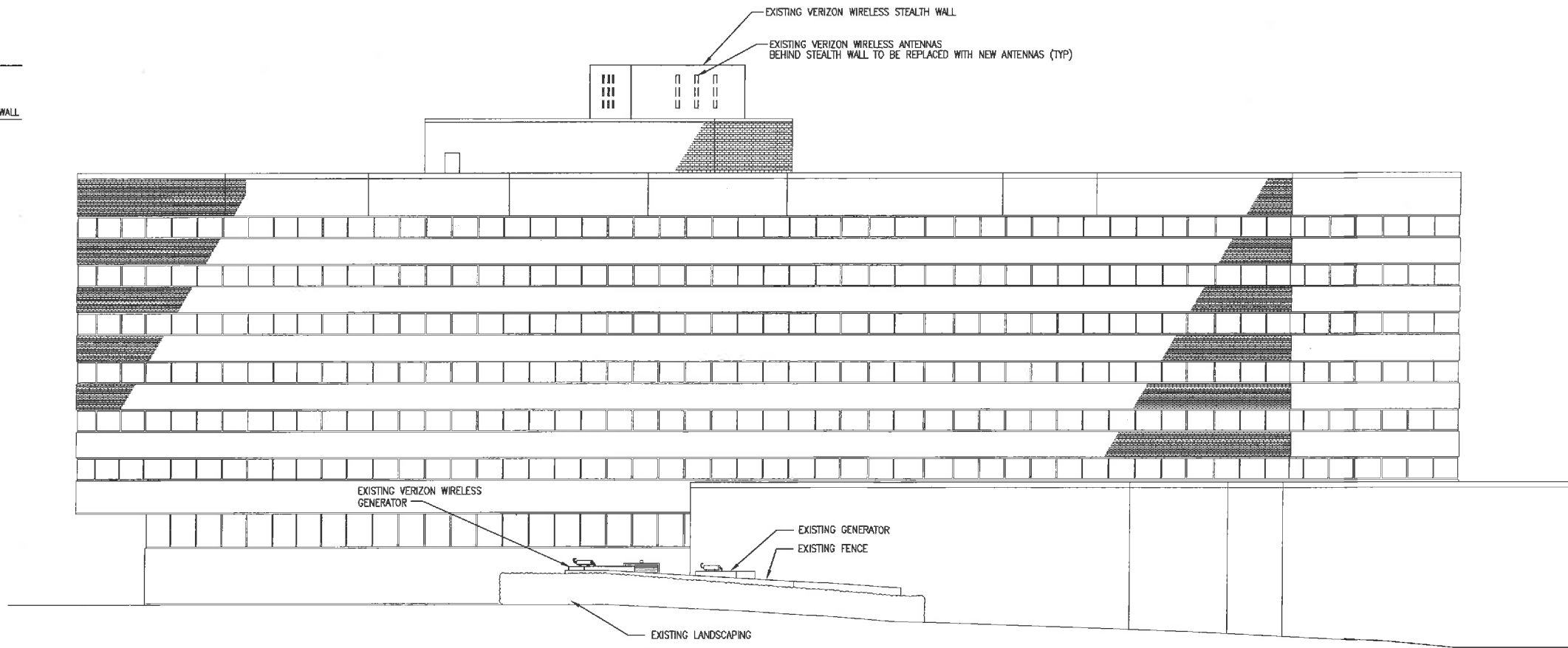
-  TOP OF EXISTING STEALTH WALL
 HEIGHT = 89'± AGL

-  TOP OF EXISTING PENTHOUSE PARAPET WALL
 HEIGHT = 79'± AGL

-  TOP OF EXISTING PARAPET WALL
 HEIGHT = 71'-9"± AGL

-  TOP OF EXISTING ROOF TOP
 HEIGHT = 66'± AGL

-  EXISTING GRADE
 HEIGHT = 0' AGL



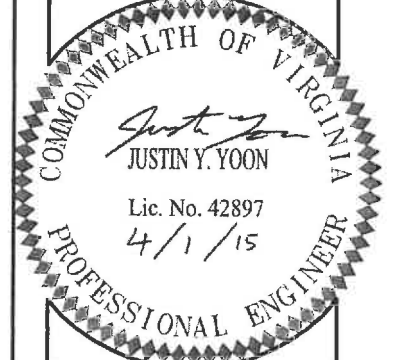
 NORTH ELEVATION

CLARK NEXSEN

 1331 L STREET, NW
 SUITE 600
 WASHINGTON, DC 20005
 202-461-3260 FAX 202-461-3266
 WWW.CLARKNEXSEN.COM



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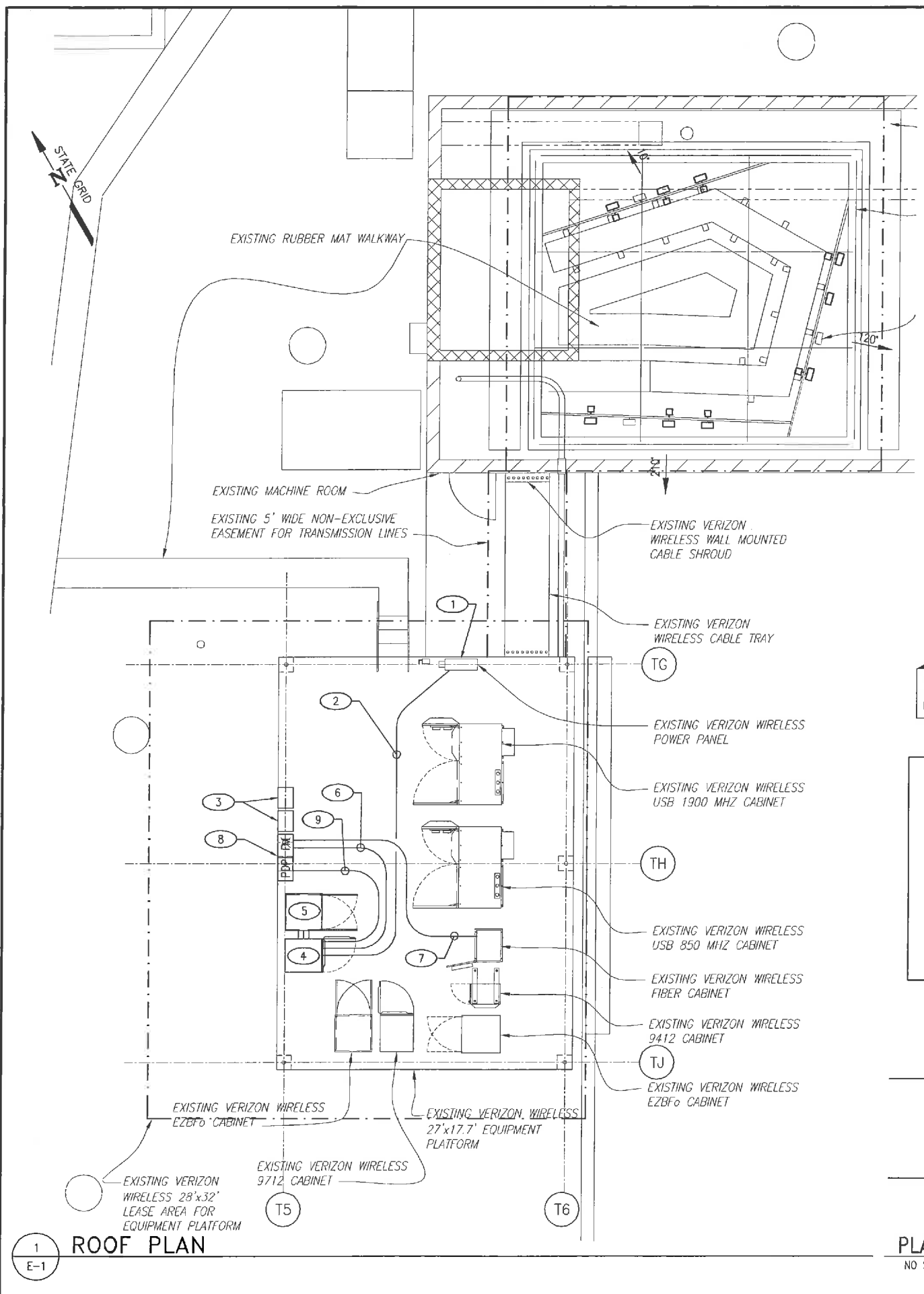
CITY OF CHARLOTTESVILLE
 DESIGN: JWB
 DRAWN: MKF
 REVIEW: SPP
 TTV DATE: XX/XX/XX
 COMM. NO. 5833-186.PCS

SUBMITTALS		
SYM.	DESCRIPTION	DATE
△	FINAL CONSTRUCTION DRAWINGS	04/01/15
△		
△		
△		
△		
△		

SHEET NAME:
 NORTH
 ELEVATION

SHEET NO.:
A-3

I:\Projects\5500\5533-VZ\MSA\Projects\5533-186-PCS-VZW - Downtown Mall - PCS\Cad-Horfolk\Sheets\E-1.dwg Mon, 06 Apr 2015 - 1:05pm wduley



1
E-1 ROOF PLAN

PLATFORM RISER
NO SCALE

- ### ELECTRICAL PLAN NOTES
- EXISTING 400A 120/240V, 1 ϕ -3WIRE, MLO, PANELBOARD PP-1, NEMA 3R 42 POLE. PROVIDE BRANCH BREAKERS AS REQUIRED FOR EQUIPMENT.
 - 3 ϕ B AND #8 GND - 2 ϕ C, FED FROM 60A, 2-POLE BREAKER.
 - OVER VOLTAGE PROTECTIVE DEVICE.
 - 9712 CABINET
 - EBZFo.
 - 1-1/2" CONDUIT WITH PULL WIRE FOR FIBER AND COPPER ALARM CIRCUIT TO PDP/FIBER MANAGEMENT CABINET.
 - (1)1-1/2" CONDUIT WITH PULLWIRE FOR ALARM CIRCUITS.
 - 36"X36"X12" PDP/FIBER MANAGEMENT BOX.
 - 2" CONDUIT WITH PULLWIRE FOR DC POWER TO PDP SIDE OF THE PDP/FIBER MANAGEMENT CABINET.
 - 1" CONDUIT FOR HEATER CIRCUIT.
 - 2" CONDUIT FOR DC POWER CIRCUIT.
 - 3/4" CONDUIT FOR OVP ALARM CIRCUIT.

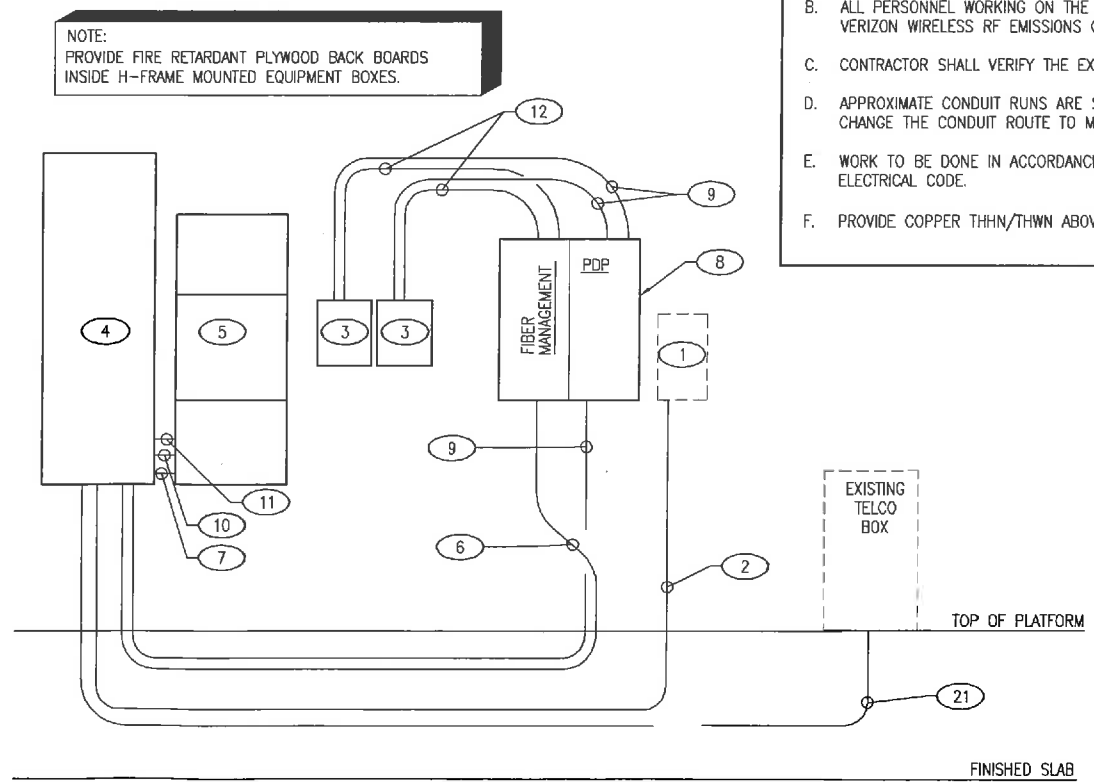
ABBREVIATIONS

A	AMPERE
AIC	AVAILABLE INTERRUPTING CURRENT
ATS	AUTOMATIC TRANSFER SWITCH
C	CONDUIT
FM	FIBER MANAGEMENT CABINET
GRS	GALVANIZED RIGID STEEL
GND	GROUND
KWH	KILO WATT HOUR
ϕ	PHASE
P	POLE
PVC	POLYVINYL CHLORIDE
SCA	AVAILABLE SHORT CIRCUIT CURRENT
TBCW	TINNED BARE COPPER WIRE
THHN	THERMOPLASTIC HIGH HEAT-RESISTANT NYLON-COATED TYPICAL
THWN	THERMOPLASTIC HIGH WATER-RESISTANT NYLON-COATED TYPICAL
UN	UNLESS OTHERWISE NOTED
W	WIRE

LEGEND

⊙	GROUND ROD
⊗	INSPECTION PORT
■	CADWELD CONNECTION
(M) (VZW)	UTILITY METER
(1)	NOTE REFERENCE NUMBER
(G)	GENERATOR
□	DISCONNECT SWITCH

- ### GENERAL NOTES
- ALL EMPTY CONDUIT SHALL HAVE PULL STRING INSTALLED AND SHALL BE CLEANED OF ALL DEBRIS AND CAPPED (WEATHER TIGHT) AT BOTH ENDS.
 - ALL PERSONNEL WORKING ON THE TOWER MUST COMPLY WITH VERIZON WIRELESS RF EMISSIONS GUIDELINE POLICY.
 - CONTRACTOR SHALL VERIFY THE EXISTING FIELD CONDITIONS.
 - APPROXIMATE CONDUIT RUNS ARE SHOWN, CONTRACTOR SHALL CHANGE THE CONDUIT ROUTE TO MEET REQUIREMENTS.
 - WORK TO BE DONE IN ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE.
 - PROVIDE COPPER THHN/THWN ABOVE GROUND CONDUCTORS.



CLARK NEXSEN
1331 L STREET, NW
SUITE 600
WASHINGTON, DC 20005
202-461-3260 FAX 202-461-3266
WWW.CLARKNEXSEN.COM

verizon wireless
1831 RADY COURT
RICHMOND, VA 23222

COMMONWEALTH OF VIRGINIA
SCOTT LYON CHRISTOPHER
Lic. No. 033035
3/31/15
PROFESSIONAL ENGINEER

SITE INFO:
DOWNTOWN MALL ROOFTOP
235 W MAIN ST
CHARLOTTESVILLE, VA 22902

CITY OF CHARLOTTESVILLE
DESIGN: CMC
DRAWN: CMC
REVIEW: SLG
TTV DATE: XXX/XXX/XX
COMM. NO. 5833-186.PCS

SUBMITTALS		
SYM.	DESCRIPTION	DATE
△	FINAL CONSTRUCTION DRAWINGS	04/01/15
△		
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△		
△		
△		
△		

SHEET NAME:
ROOF PLAN

SHEET NO.:
E-1

Stephen Waller

From: Scala, Mary Joy <scala@charlottesville.org>
Sent: Friday, April 10, 2015 8:21 AM
To: 'Stephen Waller'
Subject: RE: Verizon Wireless - Downtown Mall Site / Omni Rooftop Antenna and Equipment Upgrades
Attachments: BAR Certificate of Appropriateness.pdf

You can submit a COA application for BAR approval (one copy) and I'll approve it administratively; \$100 fee.

Mary Joy Scala, AICP

Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

RECEIVED
APR 16 2015
NEIGHBORHOOD DEVELOPMENT SERVICES

From: Stephen Waller [<mailto:stephen.waller@gdnsites.com>]
Sent: Thursday, April 09, 2015 1:37 PM
To: Scala, Mary Joy
Cc: Elliott, Tom
Subject: Re: Verizon Wireless - Downtown Mall Site / Omni Rooftop Antenna and Equipment Upgrades

Yes that is correct, the new antennas and their remote radio heads will be enclosed within the existing faux brick wall, while the supporting cabinets will be screened by the parapet wall, just like II of the existing equipment on the platform.

Stephen

Stephen Waller, AICP
Planner / Site Development Consultant
GDNsites
(434)825-0617 - Phone
(757)282-5811 - Fax
stephen.waller@gdnsites.com

On Apr 9, 2015, at 1:02 PM, Scala, Mary Joy <scala@charlottesville.org> wrote:

Stephen, so everything new you want to install will be located behind the existing screening?

Sent from my iPhone

On Apr 9, 2015, at 11:41, Stephen Waller <stephen.waller@gdnsites.com> wrote:

Thank you Mr. Elliot,

I am also sending the attached photos of the existing facility so you and Ms. Scala can see that the proposed cabinets, which are much smaller than two of the existing ones already in place on the platform, will not be visible from beyond the rooftop.

Stephen

Stephen Waller, AICP
Planner / Site Development Consultant
GDNsites
(434)825-0617 - Phone
(757)282-5811 - Fax
stephen.waller@gdnsites.com

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From: Elliott, Tom [<mailto:Elliottt@charlottesville.org>]
Sent: Wednesday, April 08, 2015 4:15 PM
To: 'Stephen Waller'
Cc: Scala, Mary Joy
Subject: RE: Verizon Wireless - Downtown Mall Site / Omni Rooftop Antenna and Equipment Upgrades

Stephen, I will not require a permit for this work as described here and on your VM to me. I have copied the preservation planner, she might have special req's for this site.
Thanks

Tom Elliott, Building Code Official
610 East Market Street, POB 911
Charlottesville, VA 22902
[NDS CONTACT DIRECTORY](#)
P (434) 970-3318
F (434) 970-3359
[2009 Commonwealth of Virginia Codes](#)
Check on the status of any building permit in Charlottesville:
<http://permits.charlottesville.org/>

From: Stephen Waller [<mailto:stephen.waller@gdnsites.com>]
Sent: Wednesday, April 08, 2015 12:55 PM
To: Elliott, Tom
Subject: Verizon Wireless - Downtown Mall Site / Omni Rooftop Antenna and Equipment Upgrades
Importance: High

Good afternoon Mr. Elliot,

To follow up on a voicemail message that I left for you earlier this afternoon I am sending a copy of the attached construction drawings, that show Verizon Wireless's proposal to replace 9 of the existing antennas that are installed behind the Stealth brick screening wall on the elevator penthouse of the Omni Hotel. The new antennas will be supported by (9) new remote radio heads that will also be screened within the Stealth wall along with (1) new 9712 AWS Radio Cabinet (on existing beam and grade platform),

(1) AWS EZBF0 Battery Back-up Unit, (2) Over Voltage Protection box and (2) Fiber Optics Distribution boxes all to be installed on the existing rooftop equipment platform.

Please contact me at your earliest convenience to speak more in depth about any required applications and the review process for this project.

Thanks,
Stephen

Stephen Waller, AICP
Planner / Site Development Consultant
GDNsites
(434)825-0617 - Phone
(757)282-5811 - Fax
stephen.waller@gdnsites.com

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<Omni 1 (3).jpg>

<Omni 2 (2).jpg>