

**From:** Scala, Mary Joy  
**Sent:** Wednesday, September 23, 2015 4:46 PM  
**To:** Andrew Bleckley (ableckley@cite-design.com); Rainey, Carrie  
**Subject:** BAR Action – September 15, 2015 – Garrett Street/Ridge Street Bridge

September 23 , 2015

Carrie Rainey; City of Charlottesville  
610 E Market Street  
Charlottesville, VA 22902

**Certificate of Appropriateness Application**

BAR 15-09-09  
Garrett Street/Ridge Street Bridge  
Carrie Rainey, Applicant/City of Charlottesville, Owner  
Landscape and Hardscape Improvement

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on September 15, 2015. The following action was taken:

**The BAR approved the stair and sidewalk plan (8-0), with the landscaping plan and grading to come back to the BAR for approval. They also requested an investigation into a lower fence (5 feet versus 8 feet) with an accurate depiction of that height on the drawing.**

Please submit the additional information for BAR review.

Sincerely yours,

Mary Joy Scala, AICP  
Preservation and Design Planner

**Mary Joy Scala, AICP**

Preservation and Design Planner  
City of Charlottesville  
Department of Neighborhood Development Services  
City Hall – 610 East Market Street  
P.O. Box 911  
Charlottesville, VA 22902  
Ph 434.970.3130 FAX 434.970.3359  
[scala@charlottesville.org](mailto:scala@charlottesville.org)

**CITY OF CHARLOTTESVILLE  
BOARD OF ARCHITECTURAL REVIEW  
STAFF REPORT  
September 15, 2015**



**Certificate of Appropriateness Application**

BAR 15-09-09

Garrett Street/Ridge Street Bridge

Carrie Rainey, Applicant/City of Charlottesville, Owner

Landscape and Hardscape Improvement

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**Background**

The property owners at 204 Ridge Street previously requested that the public stairs be closed between Ridge Street and Garrett Street due to a trespassing problem they were experiencing. Instead, a staff recommendation was made to PLACE and to City Council to improve the stairs to make the area more open, and less inviting to unwanted activities.

**Application**

The existing pedestrian stairs connecting the western end of Garrett Street with Ridge Street was identified in the Strategic Investment Area (SIA) Plan adopted by the City in 2013 as a connection in need of improvement. The stair's design and orientation, the proximity of the railroad, and the presence of overgrown vegetation creates an uncomfortable condition for both pedestrians using the stairs and adjacent land owners. Council directed staff to pursue re-orienting the stairs and providing a new, low-maintenance design for the open area surrounding the stairs to discourage loitering and maximize visibility while creating a pleasing environment. The design presented has been modified to overcome utility conflicts and limited funding availability for continued maintenance of any proposed vegetation.

**Criteria and Guidelines**

**Review Criteria Generally**

*Sec. 34-284(b) of the City Code states that,*

*In considering a particular application the BAR shall approve the application unless it finds:*

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

**Pertinent Standards for Review of Construction and Alterations include:**

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*

- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

## **Pertinent Design Review Guidelines – Public Design & Improvements**

### **A. Introduction**

*Public spaces define the spatial organization of the City, forming the basis for social, cultural, and economic interaction. The Downtown Pedestrian Mall is the centerpiece of the community. Charlottesville's historic parks, trails, boulevards, cemeteries, playgrounds, and other open spaces help balance the desired urban density and promote healthy living and quality of life. Public spaces accommodate multiple functions and provide social venues. The historic uses and organization of public spaces represent a timeline of cultural practices and values of the community. Significant features should be identified and respected when changes are proposed. New public spaces and improvements should reflect contemporary design principles and values.*

*Charlottesville has a rich history of public improvements, which include public buildings, bridges, streetscape landscaping and lighting, street furniture, monuments, public art, fountains, and signage. Many of these improvements have been made within the historic districts, and there will be the opportunity to create additional such amenities in future years. All changes or improvements require BAR review and approval, and should be compatible with the general architectural features and character of an area or district. Repairs and maintenance should match original materials and design, and should be accomplished in a historically appropriate manner.*

*All public improvements should reflect the quality and attention to detail and craftsmanship of the overall historic districts' character.*

### **B. Plazas, Parks & Open Spaces**

- 1) Maintain existing spaces and important site features for continued public use consistent with the original design intent,*
- 2) Maintain significant elements in a historic landscape: grave markers, structures, landforms, landscaping, circulation patterns, boundaries, and site walls.*
- 3) Design new spaces to reinforce streetscape and pedestrian goals for the district. These areas offer the opportunity to provide visual focal points and public gathering spaces for the districts.*
- 4) New landscaping should be historically and regionally appropriate, indigenous when possible, and scaled for the proposed location and intended use.*
- 5) Exterior furniture and site accessories should be compatible with the overall character of the park or open space.*
- 6) Repairs and maintenance work should match original materials and design, and should be accomplished in a historically appropriate manner.*
- 7) Avoid demolishing historic buildings to create open spaces and parks.*

### **C. Public Buildings and Structures**

- 1) Public buildings should follow design guidelines for new construction.*
- 2) New structures, including bridges, should reflect contemporary design principles.*

### **D. Streets, Walks, & Curbs**

- 1) Retain historic paving or curbing.*
- 2) If any historic paving or curbing is uncovered in future public projects, consider reusing it or parts of it in the new project.*

- 3) *Make street paving consistent throughout districts.*
- 4) *When widening existing streets provide sidewalks, street trees, and other elements that maintain the street wall and emphasize the human scale.*
- 5) *Limit paved areas to streets, driveways and pedestrian areas.*
- 6) *Consider using some type of distinctive crosswalks at key intersections or crossings.*
- 7) *Avoid faux techniques or appearances in materials, such as stamped asphalt or concrete.*
- 8) *When sidewalks must be repaired, match adjacent materials in design, color, texture, and tooling.*
- 9) *Avoid variation in sidewalk and curb materials.*
- 10) *When sidewalks need replacement, use a paving unit, such as brick or concrete with a tooled or saw cut joint that relates to the scale of the districts.*
- 11) *Avoid excessive curb cuts for vehicular access across pedestrian ways.*
- 12) *Where curb cuts are necessary, they should be consistent with other curb cuts in the area.*
- 13) *Do not block sidewalks with street furniture elements.*
- 14) *Remove obsolete signs and poles.*

#### *E. Street Trees & Plantings*

- 1) *Maintain existing plantings in public rights of way.*
- 2) *Replace damaged or missing street trees with appropriate species. New street trees should be planted in appropriate locations. Consult the City-approved plant list.*
- 3) *Install plantings in areas like medians, divider strips, and traffic islands.*
- 4) *Locate planters so that they do not block sidewalks.*

#### *F. Lighting*

- 1) *In pedestrian areas, use smaller-scaled light fixtures that do not create a glare.*
- 2) *Light fixtures can vary according to district or sub-area and can be in traditional or contemporary styles.*
- 3) *Provide adequate lighting at critical areas of pedestrian/vehicular conflict, such as parking lots, alleys, and crosswalks.*
- 4) *Limit the number of styles of light fixtures and light sources used in each district except in cases of varying sub-areas or distinctive areas, such as bridges.*
- 5) *Light color and intensity should be consistent throughout a general area or subarea of a historic district. Use similar lamping (bulb type) and/or wattage to maintain a consistent quality of light.*
- 6) *Provide street lighting fixtures with flat lenses that are shielded and directed down to the site in order to reduce glare and prevent uplighting.*

### **Recommendations and Discussion**

Staff recommends the proposed plan,

### **Suggested Motion**

Having considered the standards set forth within the City Code, including City Design Guidelines for Public Design and Improvements, I move to find that the proposed new stair and landscaping improvements satisfy the BAR's criteria and are compatible with this property and other properties in the Ridge Street ADC district, and that the BAR approves the proposal as submitted (or with the following modifications...).



## Board of Architectural Review (BAR) Certificate of Appropriateness

Please Return To: City of Charlottesville  
Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

Owner Name CITY OF CHARLOTTESVILLE Applicant Name CARRIE RAINEY  
Project Name/Description GARRET STREET STAIRS Parcel Number \_\_\_\_\_  
Property Address GARRET STREET / RIDGE STREET BRIDGE

### Applicant Information

Address: 610 E MARKET STREET  
Email: RAINEY.C@CHARLOTTESVILLE.ORG  
Phone: (W) 970-3453 (H) \_\_\_\_\_  
FAX: \_\_\_\_\_

### Property Owner Information (if not applicant)

Address: \_\_\_\_\_  
Email: \_\_\_\_\_  
Phone: (W) \_\_\_\_\_ (H) \_\_\_\_\_  
FAX: \_\_\_\_\_

Do you intend to apply for Federal or State Tax Credits for this project? \_\_\_\_\_

### Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Signature [Signature] Date 8/24/15  
Print Name CARRIE RAINEY Date 8/24/15

### Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Signature \_\_\_\_\_ Date \_\_\_\_\_  
Print Name \_\_\_\_\_ Date \_\_\_\_\_

Description of Proposed Work (attach separate narrative if necessary): EMAILED ON  
2015.08.24

List All Attachments (see reverse side for submittal requirements):  
\_\_\_\_\_  
\_\_\_\_\_

### For Office Use Only

Received by: \_\_\_\_\_  
Fee paid: \_\_\_\_\_ Cash/Ck. # \_\_\_\_\_  
Date Received: \_\_\_\_\_

Approved/Disapproved by: \_\_\_\_\_  
Date: \_\_\_\_\_  
Conditions of approval: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## Scala, Mary Joy

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**From:** Rainey, Carrie  
**Sent:** Monday, August 24, 2015 3:52 PM  
**To:** Scala, Mary Joy  
**Subject:** Garrett Street stairs description

The existing pedestrian stairs connecting the western end of Garrett Street with Ridge Street was identified in the Strategic Investment Area (SIA) Plan adopted by the City in 2013 as a connection in need of improvement. The stair's design and orientation, the proximity of the railroad, and the presence of overgrown vegetation creates an uncomfortable condition for both pedestrians using the stairs and adjacent land owners. Council directed staff to pursue re-orienting the stairs and providing a new, low-maintenance design for the open area surrounding the stairs to discourage loitering and maximize visibility while creating a pleasing environment. The design presented has been modified to overcome utility conflicts and limited funding availability for continued maintenance of any proposed vegetation.

**Let me know if I need to add more ☺**

Carrie Rainey, RLA

Urban Designer  
Neighborhood Development Services  
610 East Market Street  
Charlottesville, VA 22902  
[raineyc@charlottesville.org](mailto:raineyc@charlottesville.org)  
434-970-3453



# GARRETT STREET STAIRS

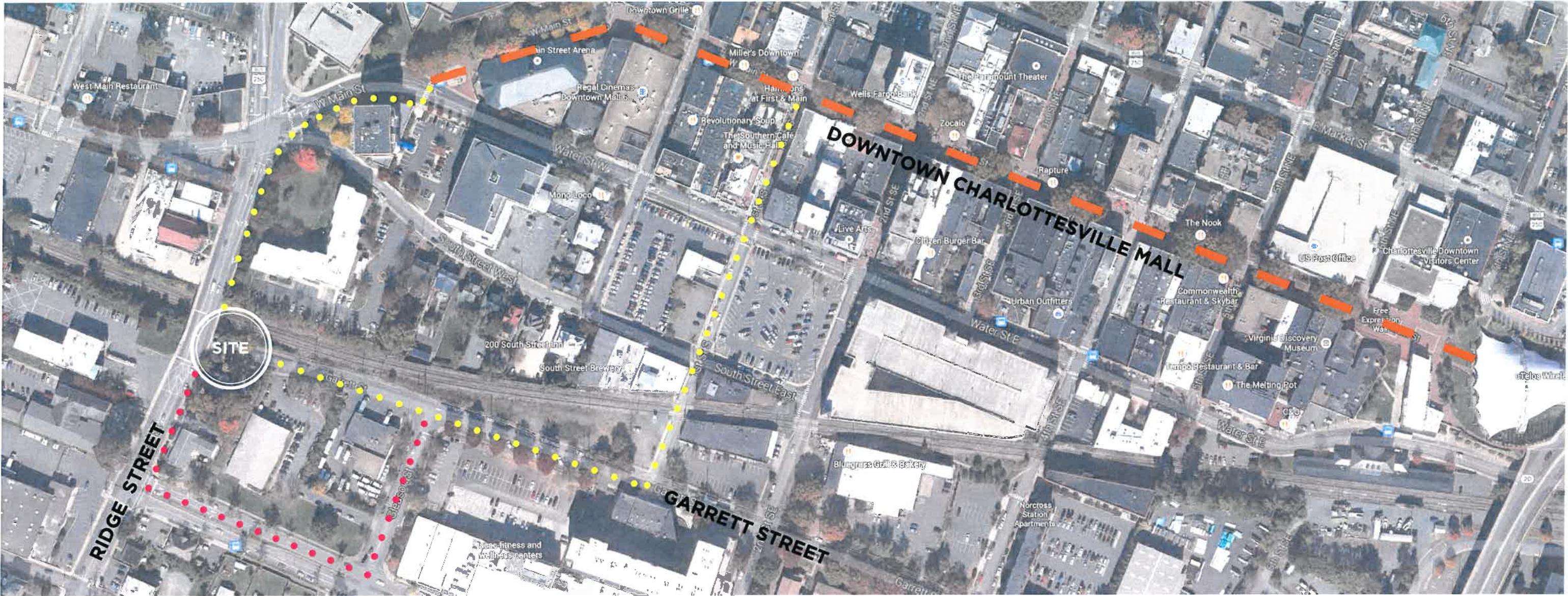
LANDSCAPE/HARDSCAPE IMPROVEMENT STUDY

SEPTEMBER 2015



Area of Study:

The west end of Garrett Street and Ridge Street specifically the pedestrian path that connects to a stairway to the sidewalk of Ridge.



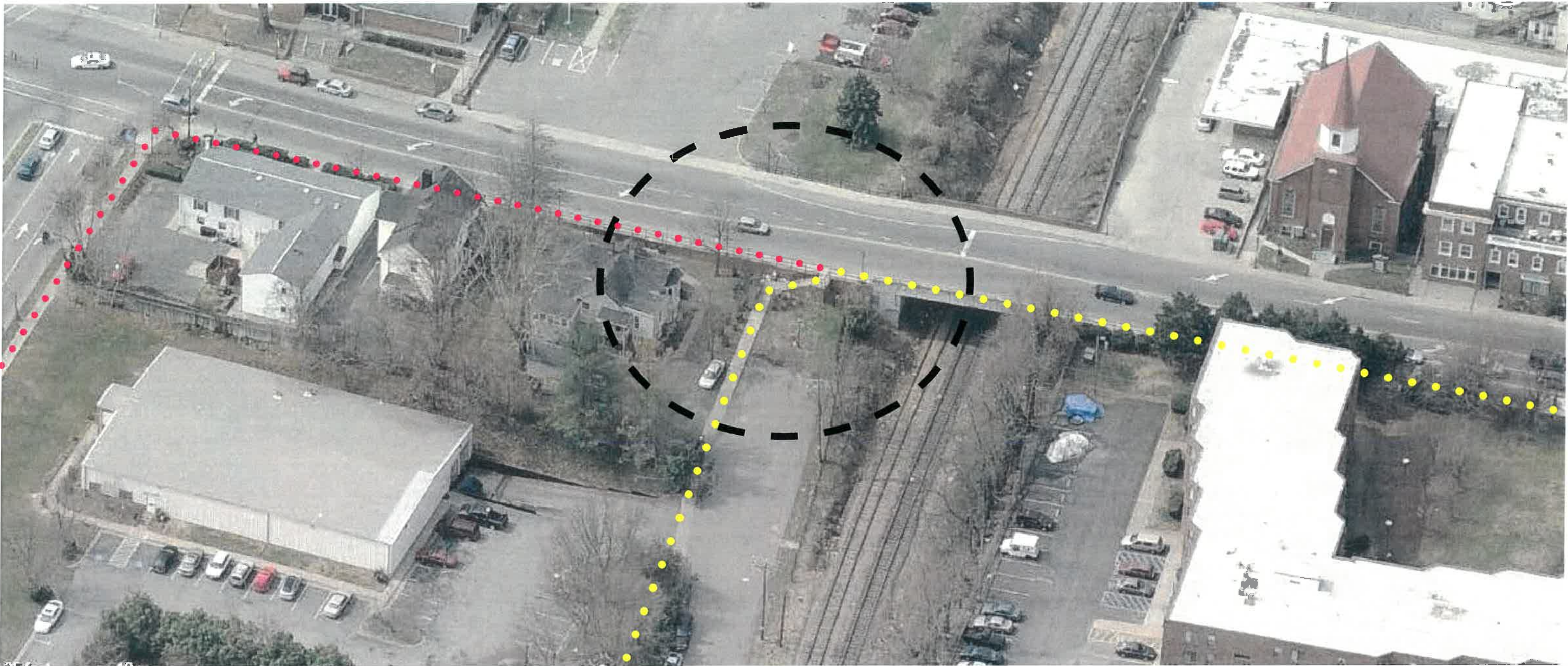
- Primary Pedestrian Route
- Secondary Pedestrian Route
- Alternative ADA Route





**Project Understanding:**

The City of Charlottesville is planning to make improvements to the current configuration of the stair and pedestrian way, which connects Garrett Street to Ridge Street. The stair allows pedestrians to traverse grade change. This configuration needs improvements to allow for greater visibility and safety for the area. Our goal is to provide an improved pedestrian connection that maintains high visibility, safe passage, and becomes an attractive place while providing appropriate separation from public and private property and railroad area.

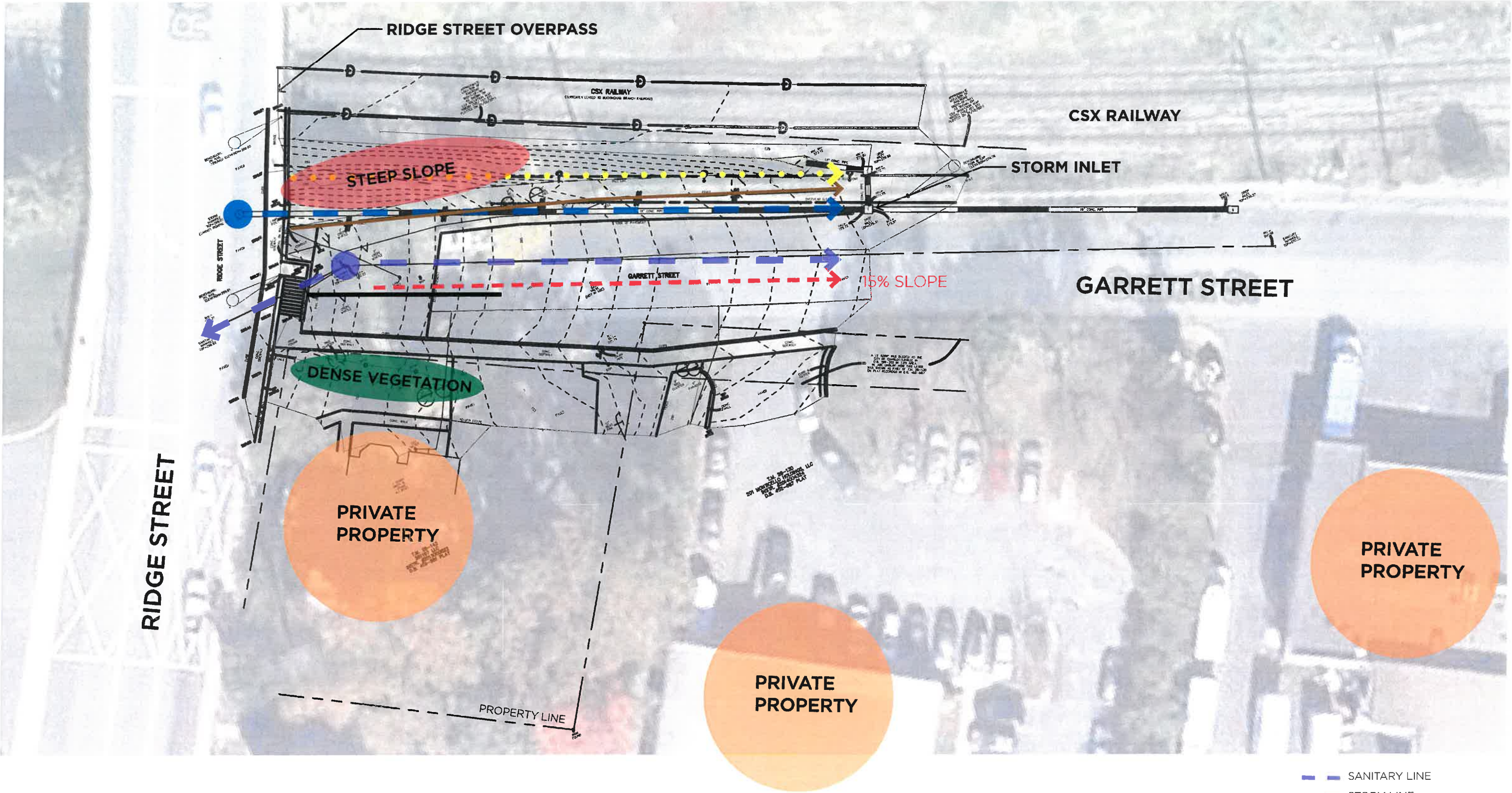


- ● ● Pedestrian Route
- ● ● Alternative ADA Route





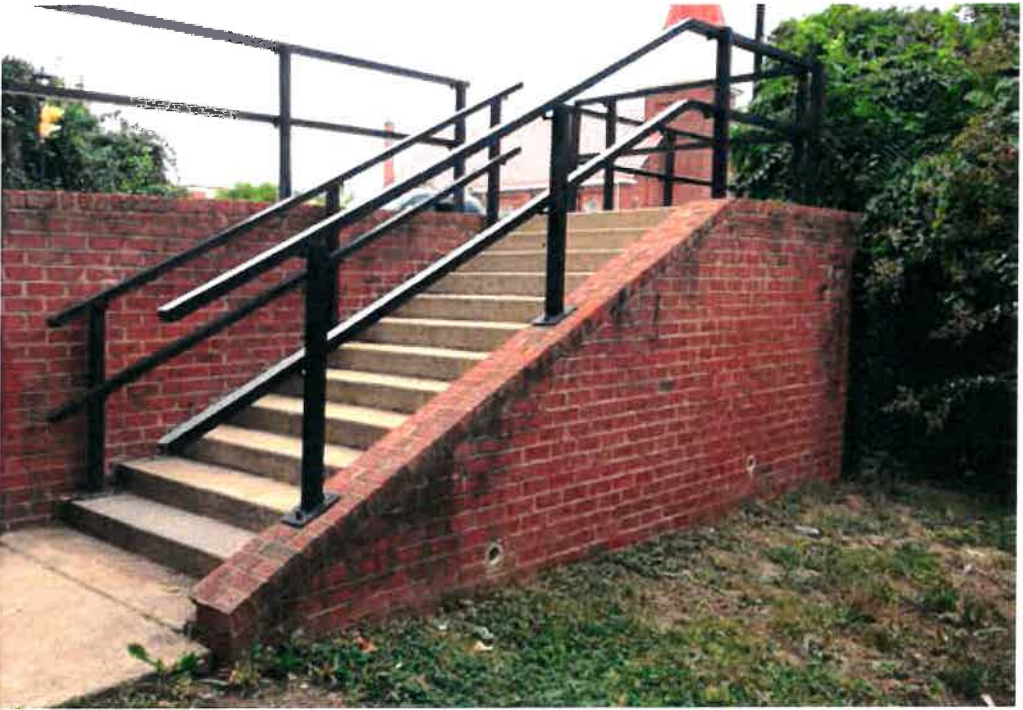
Site Analysis :



**GARRETT STREET STAIR**  
EXISTING CONDITIONS



Existing Conditions Photo inventory :





Existing Conditions Photo inventory :





Existing Conditions Photo inventory :





Existing Conditions Photo Inventory :





Existing Conditions - Digital Model of Study Area:



Inspiration:





City Standards Site Elements:



Existing City of Charlottesville Signage



City of Charlottesville Standard Fence Type



Lighting Options with Existing  
Street Lamp from the Corner





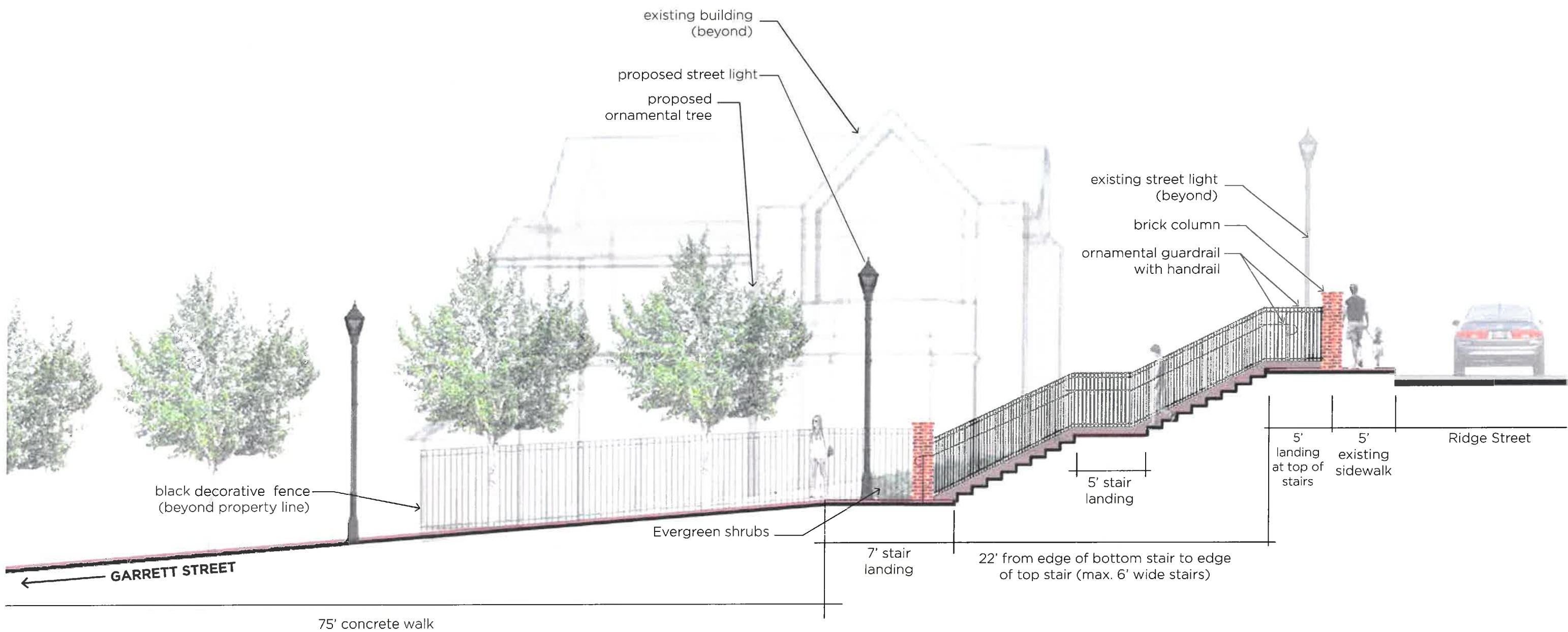
Concept Plan:



**GARRETT STREET STAIR**  
PROPOSED CONCEPT



Section/Elevation :



**GARRETT STREET STAIR**  
PROPOSED CONCEPT

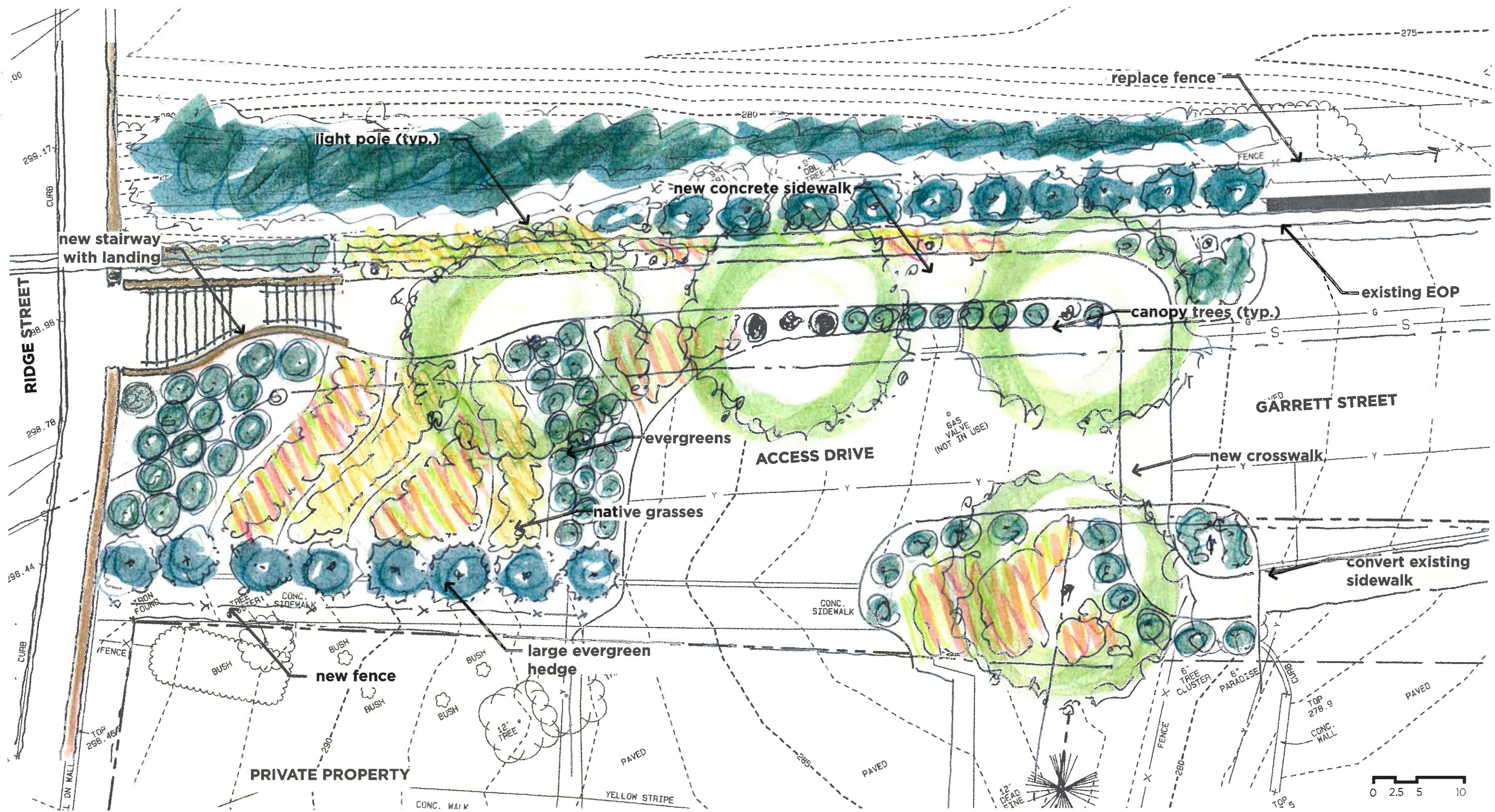
# GARRETT STREET STAIRS

APPENDIX  
SEPTEMBER 2015



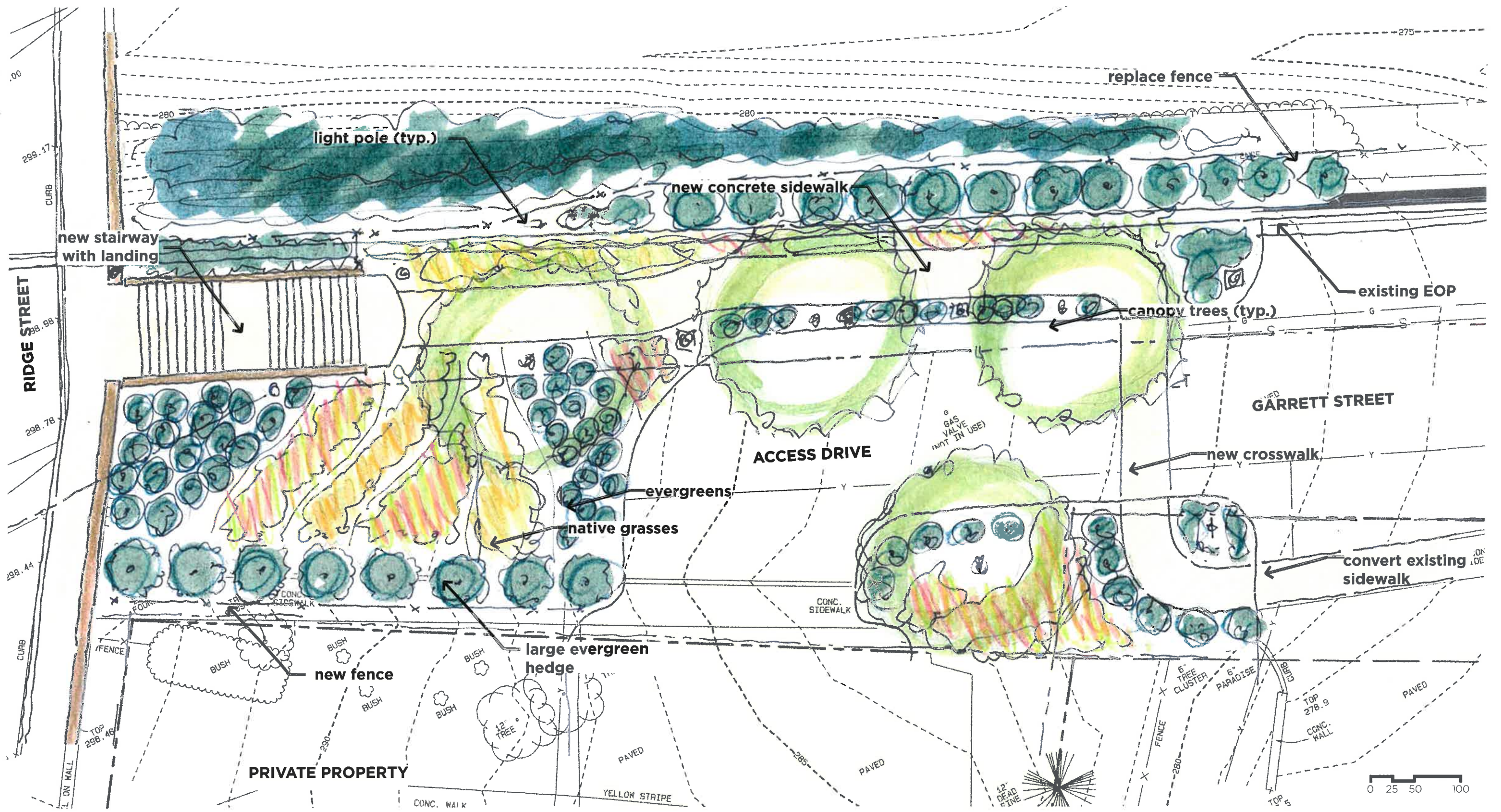


APPENDIX: PREVIOUS SCHEME 1





APPENDIX: PREVIOUS SCHEME 2



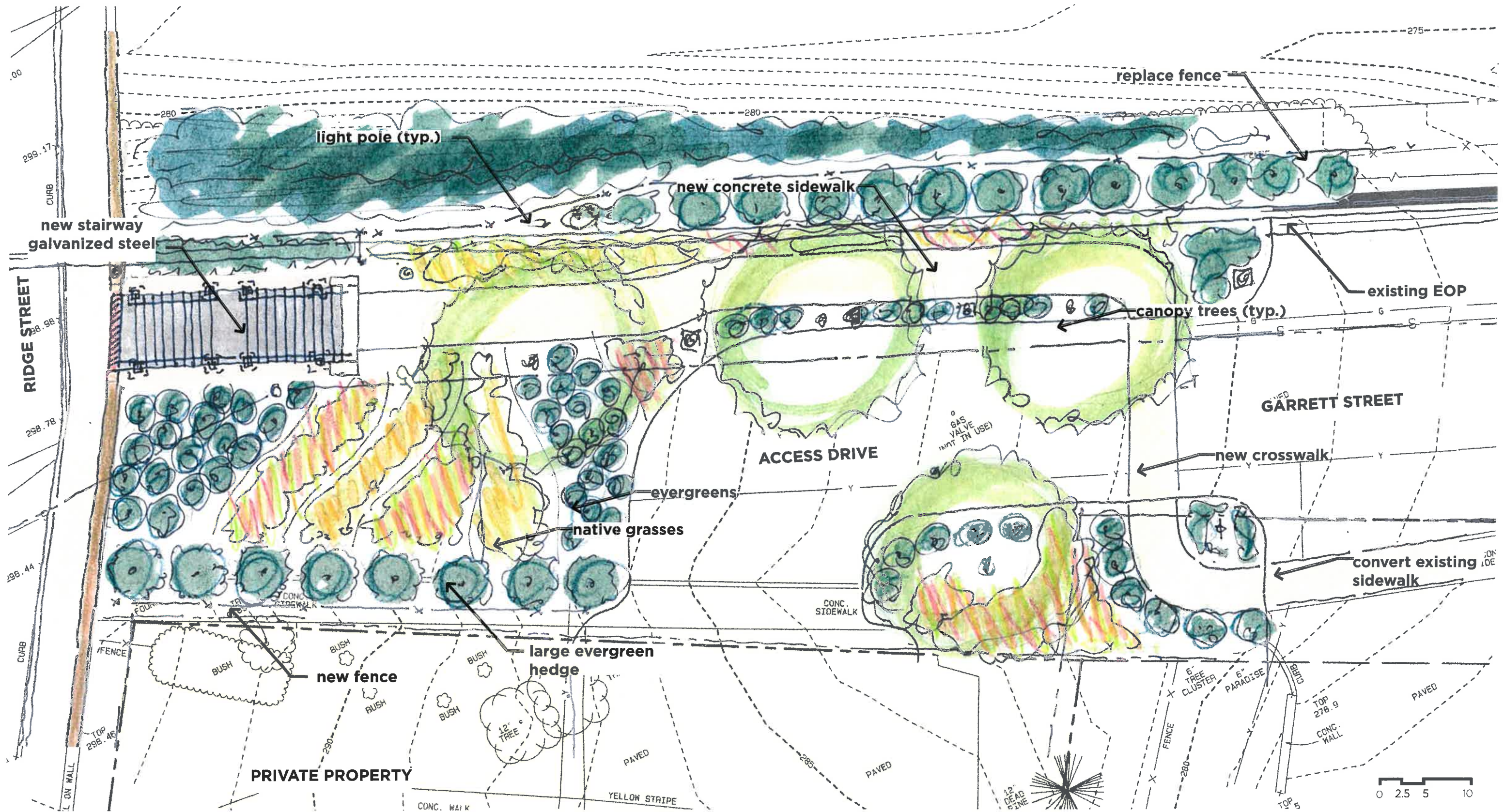


APPENDIX: PREVIOUS SECTION





APPENDIX: PREVIOUS SCHEME 3





# Garrett Street Stairs

## Streetscape Landscape and Hardscape Plans

City of Charlottesville, Virginia  
August 25, 2015

### Project Team:

OWNER	City of Charlottesville 610 East Market Street Charlottesville, Va 22902 434 970 3453
LANDSCAPE ARCHITECT	Cite Design 310 N. Adams Street Richmond, VA 23220 804 340 2848 www.cite-design.com
ENGINEER	RK&K 2100 E. Cary Street, Suite 309 Richmond, VA 23223 804 782 1903 www.rkk.com

### SHEET INDEX

Cover	
L100	Overall Key Page
L101	Landscape Plan
L102	Plant Schedule & Landscape Notes
L200	Hardscape Site Elements
L201	Grading Plan
L202	Layout Plan
L300	Details & Specifications
L301	Details & Specifications
L302	Details & Specifications
Demolition Plan	

### REVISIONS

Revision #	Revision Date	Notes

### General Notes:

- The utilities shown are for the contractor's convenience only. There may be other utilities not shown on these plans. The landscape architect assumes no responsibility for the locations shown and it shall be the contractor's responsibility to verify the locations of all utilities within the limits of work. Contractor shall contact "Miss Utility" and have all underground utilities marked prior to any land disturbance operation.
- Trees and light fixture locations will be field adjusted to avoid conflicts with utility and drainage structures as constructed.

citedesign

Project: GARRETT STREET STAIRS

Location: Charlottesville, Virginia

DATE	08.25.15
DRAWN BY	
DESIGNED BY	
CHECKED BY	
BY	
REVISION DESCRIPTION	

DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE  
310 N. ADAMS STREET, RICHMOND, VA 23220  
P.804.340.2848 F.804.340.2656

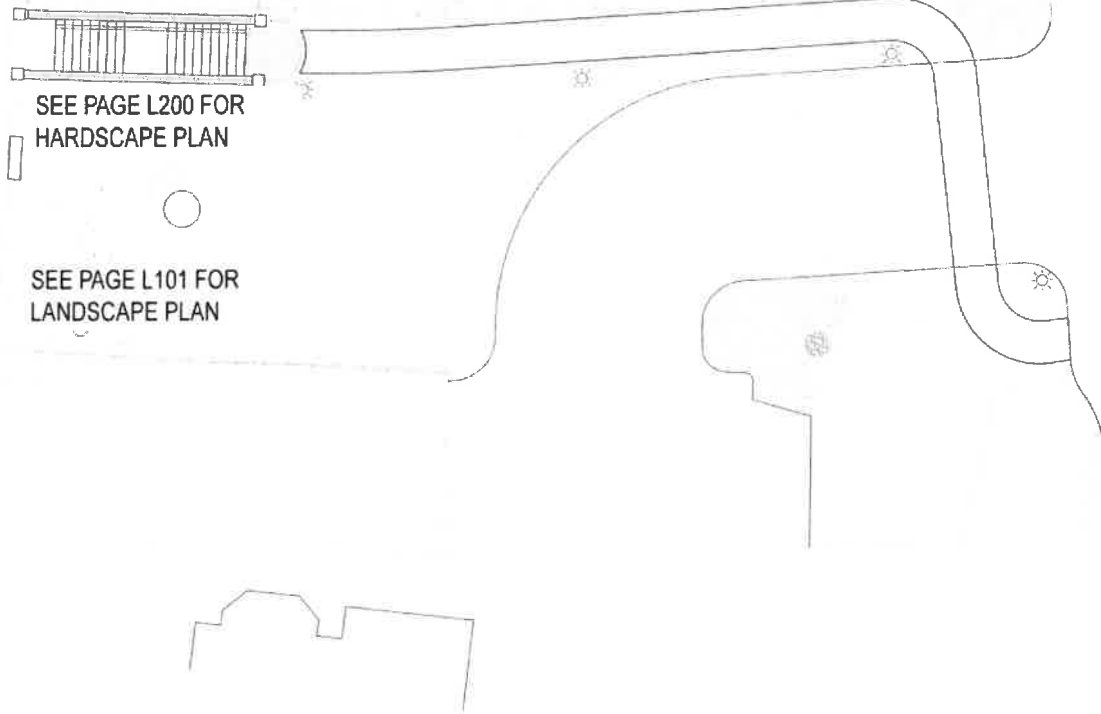
URBAN DESIGN TOWN PLANNING LANDSCAPE ARCHITECTURE

Scale

Sheet #  
cover

SEE PAGE L200 FOR  
HARDSCAPE PLAN

SEE PAGE L101 FOR  
LANDSCAPE PLAN



Project: GARRETT STREET STAIRS

Location: Charlottesville, Virginia

DATE  
BY  
REVISION DESCRIPTION  
DATE  
BY  
REVISION DESCRIPTION  
DATE  
BY  
REVISION DESCRIPTION

URBAN DESIGN TOWN PLANNING LANDSCAPE ARCHITECTURE

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DATE: 08.25.15  
DRAWN BY:  
DESIGNED BY:  
CHECKED BY:

BY

REVISION DESCRIPTION

DATE

BY

REVISION DESCRIPTION

Scale

1" = 10'

Sheet #  
L100

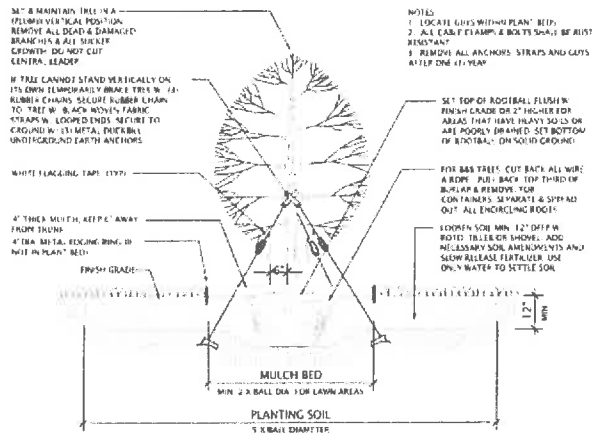
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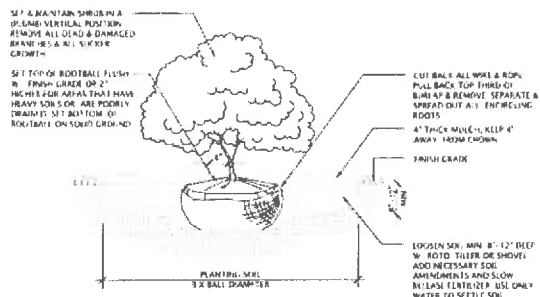


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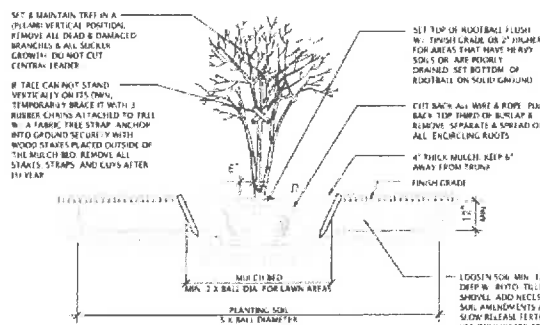




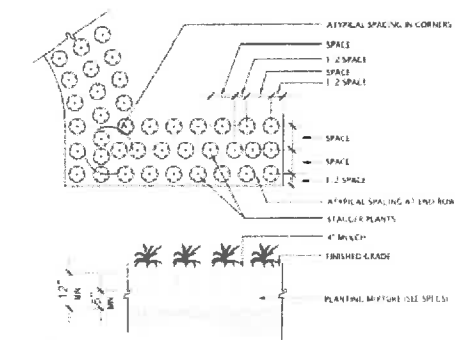
**TREE PLANTING**  
NOT TO SCALE



**SHRUB PLANTING**  
NOT TO SCALE



**MULTI-TRUNK TREE PLANTING**  
NOT TO SCALE



**GROUNDCOVER PLANTING**

# Planting Notes:

- The utilities shown are for the contractor's convenience only. There may be other utilities not shown on these plans. The landscape architect assumes no responsibility for the locations shown and it shall be the contractor's responsibility to verify the locations of all utilities within the limits of work. Contractor shall contact "Miss Utility" and have all underground utilities marked prior to any land disturbance operations.
- Contractor shall verify plant material quantities shown on plan with totals in planting schedule. Notify Landscape Architect of any discrepancies prior to final bidding.
- All plant materials shall be guaranteed for one full year to be in a healthy growing condition. Plant materials which do not fulfill this guarantee shall be replaced at no cost to the owner. Replacement shall be guaranteed throughout the original guarantee period. Plants that die shall be replaced immediately.
- Contractor is responsible for watering all plant material during installation and until final inspection and acceptance by owner. Contractor shall not assume irrigation system is fully operational at completion of planting installation.
- Contractor is responsible for contacting Miss Utility prior to beginning of construction for location of all utility lines. Trees shall be located a minimum of 5 feet from sewer/water connections.
- All plant materials, topsoil, mulch, fertilizers, soil amendments, planting supplies and methods shall be subject to LA approval. Rejected materials shall be removed from the site without delay.
- All plant materials and planting methods shall conform to A.A.N. Standards.
- Contractor shall layout and mark location for all plant material, planting, and improvements shown and request in field approval from LA.
- Beds to contain shrubs or ground cover shall be tilled to a depth of 6" and the soil conditioned by adding clean, well rooted manure. If existing soil is considered to be unusable by owner, beds shall be treated to eliminate weeds and weed seeds.
- All planting bed areas shall be covered with a 3" min. layer of medium texture shredded hardwood mulch. Unless otherwise noted.
- All substitutions of plant material shall be requested in writing to the landscape architect and approved in writing by the owner.
- All planting operations shall be under the supervision of an experienced plantsman.
- For trees balled in wire baskets, cut and remove top and sides of basket after installation.
- Landscape Architect reserves the right to reject any plants and materials that are in an unhealthy or unsightly condition, as well as plants and materials that do not conform to A.A.N. Standards. See American Standard For Nursery Stock (current edition).
- Soil shall be free of all weeds.
- Any area within the limit of work that is disturbed shall be either re-seeded or mulched to match existing conditions.
- Contractor to provide gator bags for all new trees.
- Contractor to conduct soil tests within landscape areas and amend soils with compost and/or fertilizer as recommended by the results of the test. Soil sampling to follow guidelines recommended by Virginia Tech Soil Testing Lab.

**GARRETT STREET LANDSCAPE SCHEDULE**

TREES	QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	NOTES
1	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	2 1/2"	100% single trunk, full symmetrical uniform branching, full specimen
2	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	2 1/2"	100% single trunk, full symmetrical uniform branching, full specimen
3	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	2 1/2"	100% single trunk, full symmetrical uniform branching, full specimen
SHRUBS	QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	NOTES
4	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	10-12'	100% single trunk, full symmetrical uniform branching, full specimen
5	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	10-12'	100% single trunk, full symmetrical uniform branching, full specimen
6	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	10-12'	100% single trunk, full symmetrical uniform branching, full specimen
7	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	10-12'	100% single trunk, full symmetrical uniform branching, full specimen
8	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	10-12'	100% single trunk, full symmetrical uniform branching, full specimen
9	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	10-12'	100% single trunk, full symmetrical uniform branching, full specimen
10	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	10-12'	100% single trunk, full symmetrical uniform branching, full specimen
PERENNIALS, GRASSES & GROUNDCOVERS	QTY	KEY	BOTANICAL NAME	COMMON NAME	COLOR	NOTES	
11	1	APV	ALBIZIA VULGARIS	WHITE ALBIZIA	10-12'	10-12'	100% single trunk, full symmetrical uniform branching, full specimen

## Plant Schedule Explanatory Notes:

- The following plant palette is prepared as a selection of planting materials.
- Where an abbreviation is shown, the following notes apply:  
 Quan. - quantity of plant materials required for the project  
 (Note: contractor responsible to verify quantities indicated. Plan shall take precedence over schedule).  
 Abbrev. - Botanical abbreviation  
 Botanical/common - name of plant material  
 Height - height of plant material  
 Spread - diameter of plant material  
 Cont. - container type in which plant material is encased upon site delivery (size shall take precedence over container).  
 Spacing - distance from center of each plant (plan shall take precedence over schedule)  
 Cal. - caliper/diameter of trunk (refer to specs for more information - caliper shall take precedence over height and spread)  
 Notes - specific notes further specifying or describing plant material
- The contractor shall locate all proposed and existing utilities prior to the beginning of work. The contractor shall repair any damage to utilities that are disturbed as a result of the work.
- The contractor shall maintain all grassed areas, including the repair of erosion areas, until the grass has reached the level of final acceptance and throughout maintenance contract period, if applicable.
- All areas that are disturbed by construction inside or outside the limit of work shall be repaired, graded, and grassed.
- All plant beds shall receive double shredded hardwood mulch at a depth of 3".
- All existing trees to be saved will have tree barricades installed around them prior to beginning of demolition. All work in those areas is to be done by hand. Fences shall be maintained and kept in place at all times.
- Provide erosion control where slopes are greater than 3:1 and where erosion is reoccurring.
- All tree, shrub, and ground cover materials shall be planted within 24 hours after delivery.
- Apply weed germination inhibitor ("Preen" or equal) to all plant bed areas.
- Any plants located in direct sun shall be nursery sun grown.

citedesign

**PLANT SCHEDULE AND DETAILS**

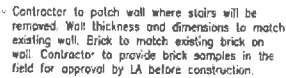
DATE: 08.25.15  
 DRAWN BY: [Signature]  
 DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]

BY: [Signature]  
 REVISION DESCRIPTION: [Blank]  
 DATE: [Blank]

Project: GARRETT STREET STAIRS  
 Location: Charlottesville, Virginia

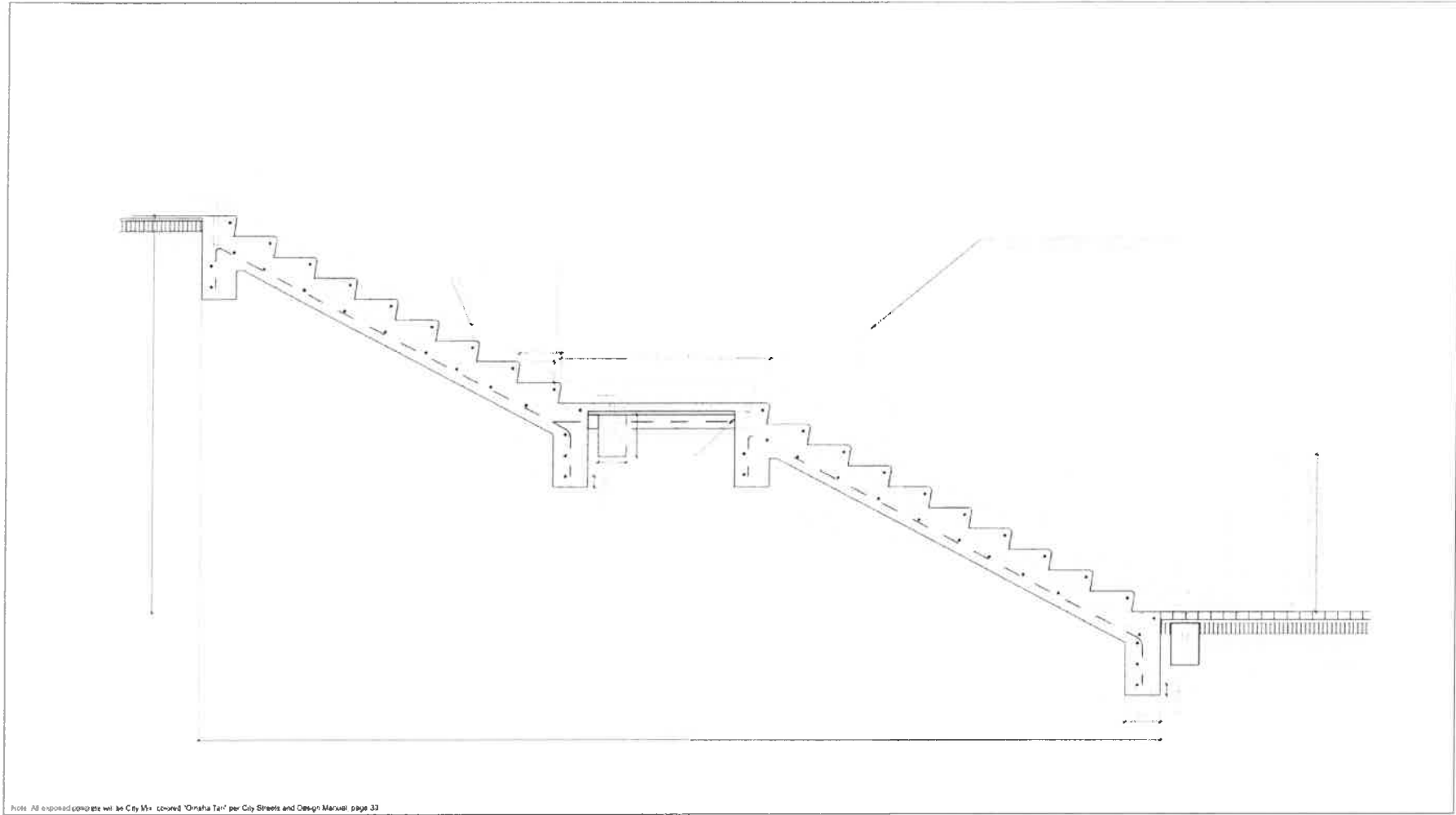
URBAN DESIGN TOWN PLANNING LANDSCAPE ARCHITECTURE

DRAWINGS WERE PREPARED AT THE CITY DESIGN OFFICE  
 200 N. MAIN STREET, RICHMOND, VA 23220  
 P.O. BOX 4340, 284B



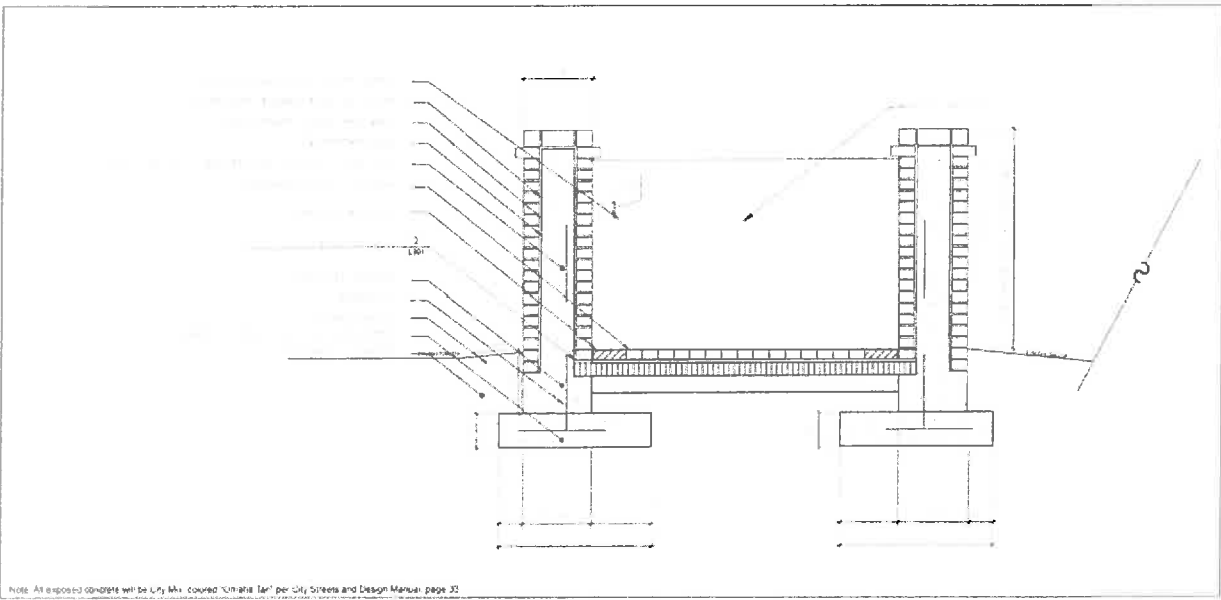
STATUS: DESIGN DEVELOPMENT (NOT FOR CONSTRUCTION)





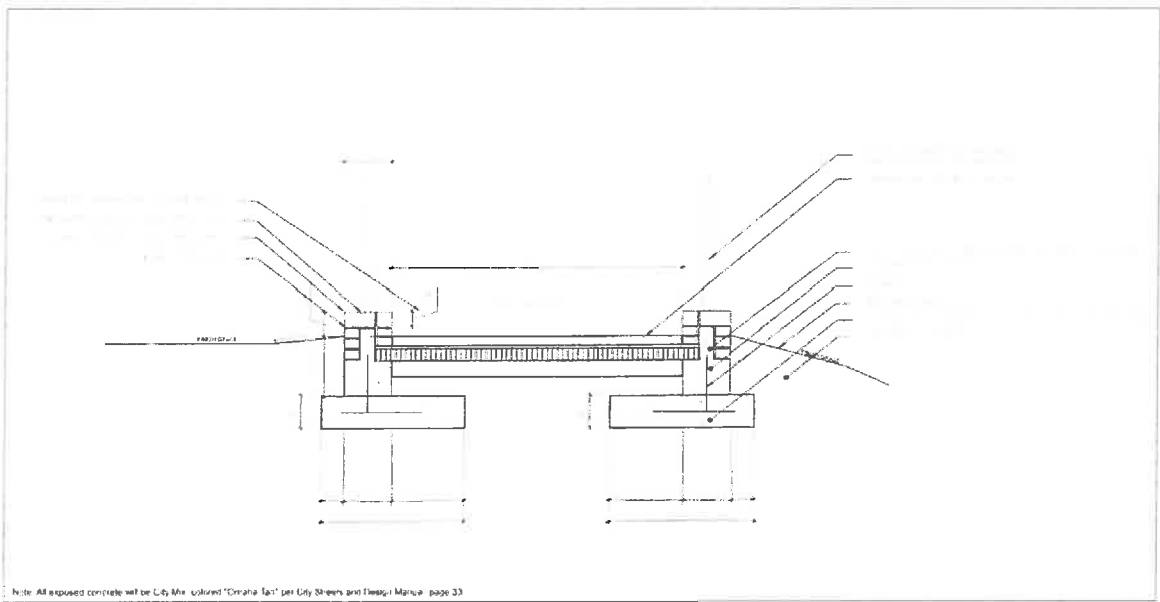
Note: All exposed concrete will be City Mix, colored "Ornata Tan" per City Streets and Design Manual, page 33.

# 1 STAIRS



Note: All exposed concrete will be City Mix, colored "Ornata Tan" per City Streets and Design Manual, page 33.

# 2 COLUMN AND LANDING



Note: All exposed concrete will be City Mix, colored "Ornata Tan" per City Streets and Design Manual, page 33.

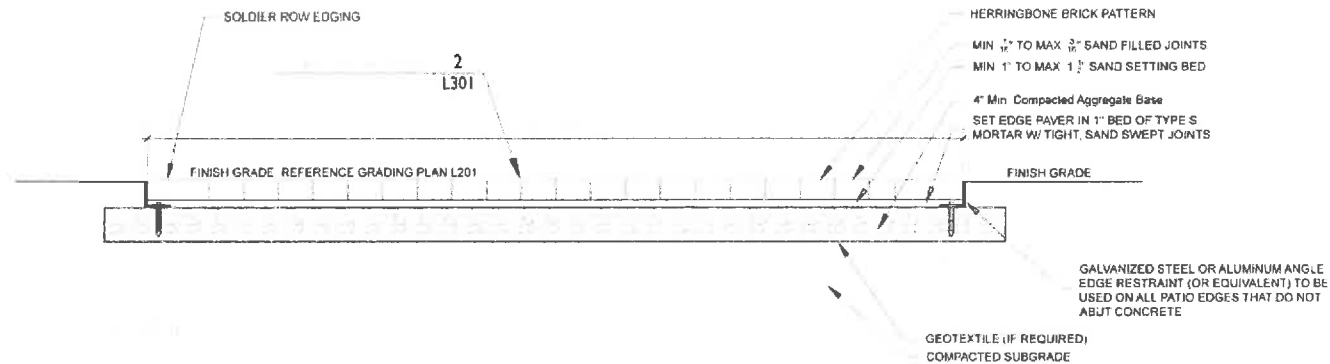
# 3 WING WALL AND LANDING

citedesign

Project: GARRETT STREET STAIRS		Location: Charlottesville, Virginia		URBAN DESIGN TOWN PLANNING LANDSCAPE ARCHITECTURE	
DATE		REVISION DESCRIPTION		BY:	

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#### BRICK PAVER SPECIFICATION

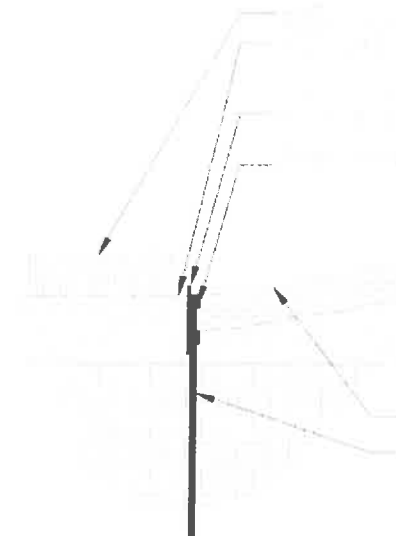
Model Dark Red Wirecut

Size Modular

Manufacturer Palmetto Brick Company or approved equal

Contact Megan McClenney  
Shade & Wise Inc  
804-357-2048

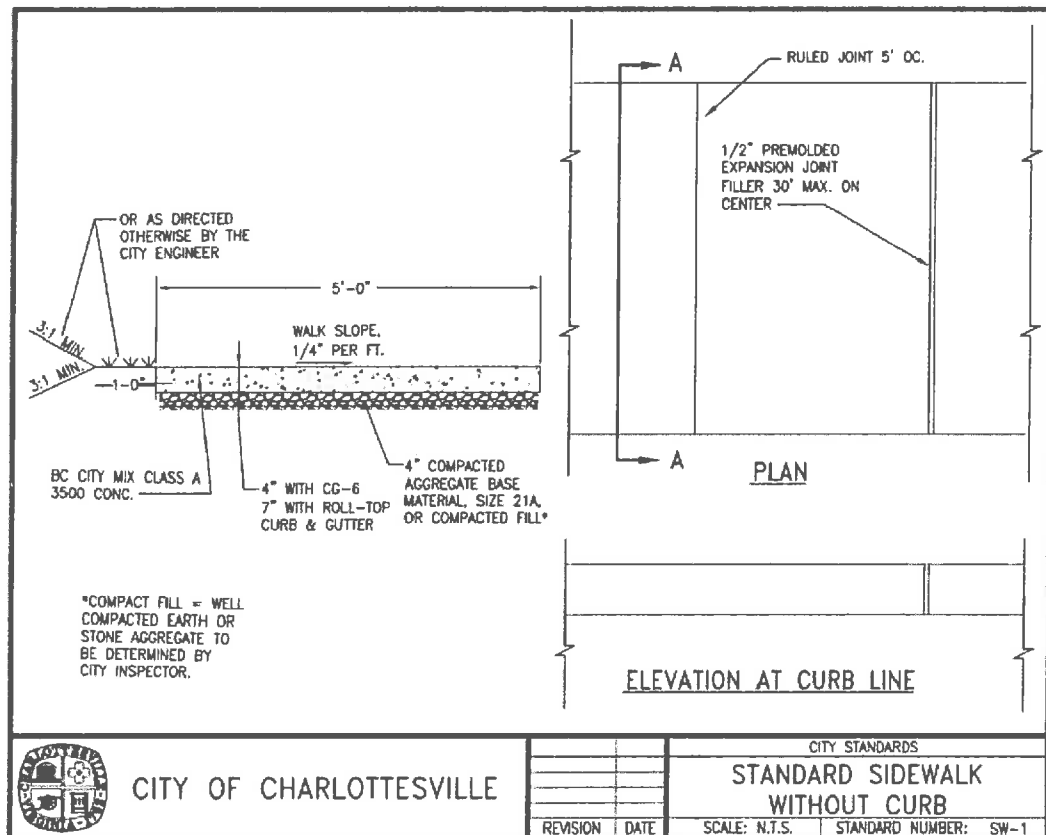
Note Contractor to provide brick samples (min 3 bricks) on site for approval by LA before construction



#### 1 BRICK LANDING

#### 2 BRICK PAVERS

#### 3 STEEL EDGING



CITY OF CHARLOTTESVILLE

CITY STANDARDS	
STANDARD SIDEWALK WITHOUT CURB	
REVISION	DATE
SCALE: N.T.S.	STANDARD NUMBER: SW-1

#### 4 CITY STANDARD CONCRETE SIDEWALK

Project: GARRETT STREET STAIRS

Location: Charlottesville, Virginia

DETAILS AND SPECIFICATIONS	
DATE	REVISION DESCRIPTION
DATE	BY

URBAN DESIGN TOWN PLANNING LANDSCAPE ARCHITECTURE

DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE  
310 N. ADAMS STREET, RICHMOND, VA 23220  
P.804.340.2848 F.804.340.2656

Scale

Sheet #

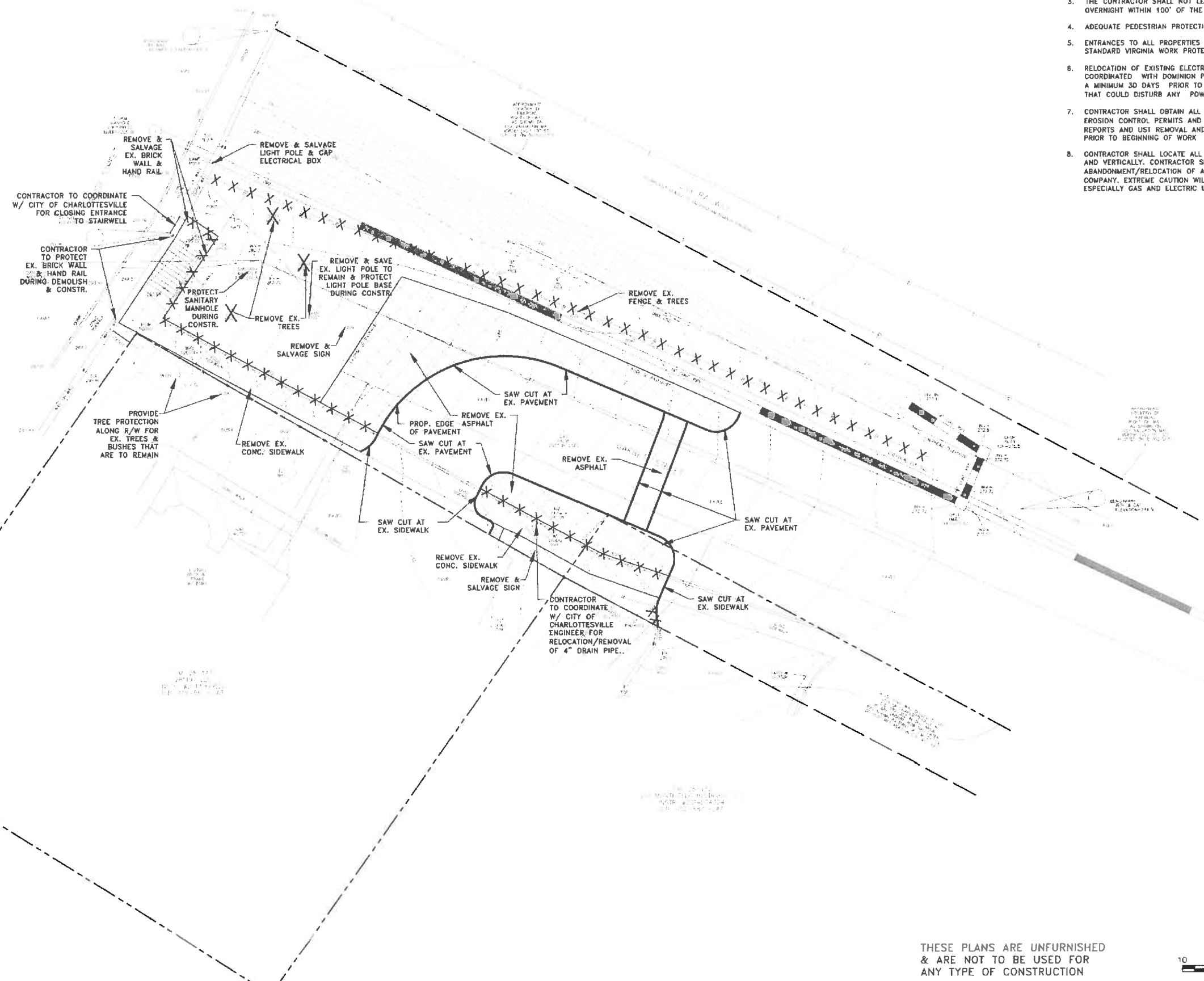
L301

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N



DEMOLITION NOTES:

1. ALL EXISTING UTILITIES (I.E. WATER SEWER SERVICES, METERS, POWER POLES, STORM SEWER LINES & INLETS, TELEPHONE, GAS, ETC.) NOT USED FOR SERVICE SHALL BE ABANDONED AT THE MAIN. ALL COSTS ASSOCIATED WITH THE ALTERATION OF THE UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR IS TO REVIEW LAYOUT AND GRADING PLANS FOR MORE SPECIFIC INSTRUCTIONS REGARDING DEMOLITION OF THE SITE.
3. THE CONTRACTOR SHALL NOT LEAVE ANY OPEN HOLES OR TRENCHES OVERNIGHT WITHIN 100' OF THE EDGE OF THE EXISTING PAVEMENT.
4. ADEQUATE PEDESTRIAN PROTECTION SHALL BE PROVIDED.
5. ENTRANCES TO ALL PROPERTIES SHALL REMAIN OPEN TO TRAFFIC USING STANDARD VIRGINIA WORK PROTECTION DEVICES-SIGNS AND METHODS.
6. RELOCATION OF EXISTING ELECTRIC/TELEPHONE SHALL BE STRICTLY COORDINATED WITH DOMINION POWER AND VERIZON OR SPECIFIC PROVIDER A MINIMUM 30 DAYS PRIOR TO ANY CONSTRUCTION/DEMOLITION ACTIVITIES THAT COULD DISTURB ANY POWER/ COMMUNICATION TRANSMISSION.
7. CONTRACTOR SHALL OBTAIN ALL REQUIRED DEMOLITION PERMITS AND/OR EROSION CONTROL PERMITS AND PROVIDE ANY "MEANS AND METHODS" REPORTS AND US1 REMOVAL AND/OR "HAZMAT" REMOVAL TEST/REPORTS PRIOR TO BEGINNING OF WORK
8. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR SHALL COORDINATE THE ABANDONMENT/RELOCATION OF ANY UTILITY WITH THE APPROPRIATE UTILITY COMPANY. EXTREME CAUTION WILL BE TAKEN NEAR ANY "LIVE" UTILITY ESPECIALLY GAS AND ELECTRIC UTILITIES.

PLAN REVISIONS		SHEET 1 OF 1		SCALE 1"=10'	
GARRETT STREET STAIRS STREETSCAPE LANDSCAPE & HARDSCAPE CHARLOTTESVILLE, VIRGINIA					
DATE: 08/28/2015		ENGINEER: MMM		CHECKED: LHR	
		CAD: AMM		JOB#: 14170	
RUMMEL, KLEPPER & KAHL, LLP					



THESE PLANS ARE UNFURNISHED  
& ARE NOT TO BE USED FOR  
ANY TYPE OF CONSTRUCTION

