

From: Scala, Mary Joy
Sent: Thursday, October 27, 2016 1:35 PM
To: Adams, William
Cc: 'Terry Vassalos'
Subject: 1509 University Ave - BAR Action - October 18, 2016

October 27, 2016

William Adams, Train Architects
612 East Jefferson Street
Charlottesville, VA 22902

RE: Certificate of Appropriateness Application

BAR 16-07-04
1509 University Avenue
Tax Parcel 090078100
Amorgos LLC, Owner/William Adams, Train Architects, Applicant
Façade Renovation

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on October 18, 2016. The following action was taken:

Graves moved approval with the following modifications: 1) Clear glass with VLT of minimum 70; and 2) The awning must come back to the BAR for approval (to be circulated by email). Earnst seconded. Motion passes 8-0.

This certificate of appropriateness shall expire in 18 months (April 18, 2018), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. The expiration date may differ if the COA is associated with a valid site plan. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall – 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
October 18, 2016**



Certificate of Appropriateness Application

BAR 16-07-04

1509-11 University Avenue

Tax Parcel 090078100

Amorgos LLC, Owner/William Adams, Train Architects, Applicant

Façade Renovation

Background

1509 University Avenue is a non-contributing property in The Corner ADC District. Survey information is attached. By 1980 the current 3-bay storefront was in place. According to Eugenia Bibb's survey, a 1946 photograph appears to show a storefront with a recessed entrance at the western end and a large panel of white bordered with black carerra glass above.

According to the City Directories, the present building was probably erected in the mid-1930s. Eljo's, a men's clothing store, occupied the building from the early 1950s until 1986. The store front was rebuilt at some time during that period.

October 20, 2015 - (1511 University Ave- College Inn) the BAR *does not* approve the deck but the BAR approves (7-0) the building [storefront demolition and reconstruction] as designed.

July 19, 2016 - The storefront renovation was approved in concept (7-0) and the following items were approved: the 13'-8" opening height, the painting of the brick, and the general configuration of Scheme B, with the parapet height staying as it exists.

Application

The applicant wishes to renovate the 1960's clothing storefront façade to create more interaction with the street. The proposed façade renovations involve opening the current masonry façade to include: an oversized 3'x 10' door with glass transom above and glass sidelight to the left, painted folding aluminum wall, painted wood planks beneath the folding wall and in between the door and folding wall, and painted steel beam above the masonry opening. The existing masonry facade around this opening will be repaired and painted. Above the opening will be a signage area and new lighting for the signage.

Benj. Moore Fairview Jays HC 85

Two paint colors are proposed: Urbane Bronze for the wood and aluminum; and --- for the brick and steel beam.

The parapet height is to remain the same height as currently, as approved in July.
The 10' door opening height is lower than the previously approved 13'-8" opening height.
The area below and to the left of the folding wall is now proposed to be wood; it was previously approved as brick.

Criteria, Standards and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Guidelines for Rehabilitation include:

B. FACADES AND STOREFRONTS

Over time, commercial buildings are altered or remodeled to reflect current fashions or to eliminate maintenance problems. Often these improvements are misguided and result in a disjointed and unappealing appearance. Other improvements that use good materials and sensitive design may be as attractive as the original building and these changes should be saved. The following guidelines will help to determine what is worth saving and what should be rebuilt.

- 1. Conduct pictorial research to determine the design of the original building or early changes.*
- 2. Conduct exploratory demolition to determine what original fabric remains and its condition.*
- 3. Remove any inappropriate materials, signs, or canopies covering the façade.*
- 4. Retain all elements, materials, and features that are original to the building or are contextual remodelings, and repair as necessary.*
- 5. Restore as many original elements as possible, particularly the materials, windows, decorative details, and cornice.*
- 6. When designing new building elements, base the design on the 'typical elements of a Commercial façade and storefront' (see drawing next page).*
- 7. Reconstruct missing or original elements, such as cornices, windows, and storefronts, if documentation is available.*
- 8. Design new elements that respect the character, materials, and design of the building, yet are distinguished from the original building.*
- 9. Depending on the existing building's age, originality of the design and architectural significance, in some cases there may be an opportunity to create a more contemporary façade design when undertaking a renovation project.*
- 10. Avoid using materials that are incompatible with the building or within the specific districts, including textured wood siding, unpainted or pressure-treated wood, and vinyl or aluminum siding.*

11. Avoid introducing inappropriate architectural elements where they never previously existed.

Pertinent Design Review Guidelines for Additions and New Construction

K. STREET-LEVEL DESIGN

1. Street level facades of all building types, whether commercial, office, or institutional, should not have blank walls; they should provide visual interest to the passing pedestrian.
2. When designing new storefronts or elements for storefronts, conform to the general configuration of traditional storefronts depending on the context of the subarea. New structures do offer the opportunity for more contemporary storefront designs.
3. Keep the ground level facades(s) of new retail commercial buildings at least eighty percent transparent up to a level of ten feet.
4. Include doors in all storefronts to reinforce street level vitality.

M. MATERIALS AND TEXTURES

1. The selection of materials and textures for a new building should be compatible with and complementary to neighboring buildings.
2. In order to strengthen the traditional image of the residential areas of the historic districts, brick, stucco, and wood siding are the most appropriate materials for new buildings.
3. In commercial/office areas, brick is generally the most appropriate material for new structures. "Thin set" brick is not permitted. Stone is more commonly used for site walls than buildings.
4. Large-scale, multi-lot buildings, whose primary facades have been divided into different bays and planes to relate to existing neighboring buildings, can have varied materials, shades, and textures.
5. Synthetic siding and trim, including, vinyl and aluminum, are not historic cladding materials in the historic districts, and their use should be avoided.
6. Cementitious siding, such as HardiPlank boards and panels, are appropriate.
7. Concrete or metal panels may be appropriate.
8. Metal storefronts in clear or bronze are appropriate.

N. PAINT

The appropriateness of a color depends on the size and material of the painted area and the context of surrounding buildings.

1. The selection and use of colors for a new building should be coordinated and compatible with adjacent buildings, not intrusive.
2. In Charlottesville's historic districts, various traditional shades of brick red, white, yellow, tan, green, or gray are appropriate. For more information on colors traditionally used on historic structures and the placement of color on a building, see Chapter IV: Rehabilitation.
3. Do not paint unpainted masonry surfaces.
4. It is proper to paint individual details different colors.
5. More lively color schemes may be appropriate in certain subareas dependent on the context of the sub-areas and the design of the building.

Discussion and Recommendations

The BAR has already approved several details of this proposal in July (Drawing dated 7/19/2016 attached)—including the general configuration, the 13'-8" opening height, the painting of the brick, and maintaining the height of the parapet.

Guidelines for renovations and additions suggest that while wood siding, masonry, and stucco are most appropriate for historic districts, metal storefronts in clear or bronze are also appropriate. The folding painted aluminum wall does resemble a traditional storefront that is largely glass, and

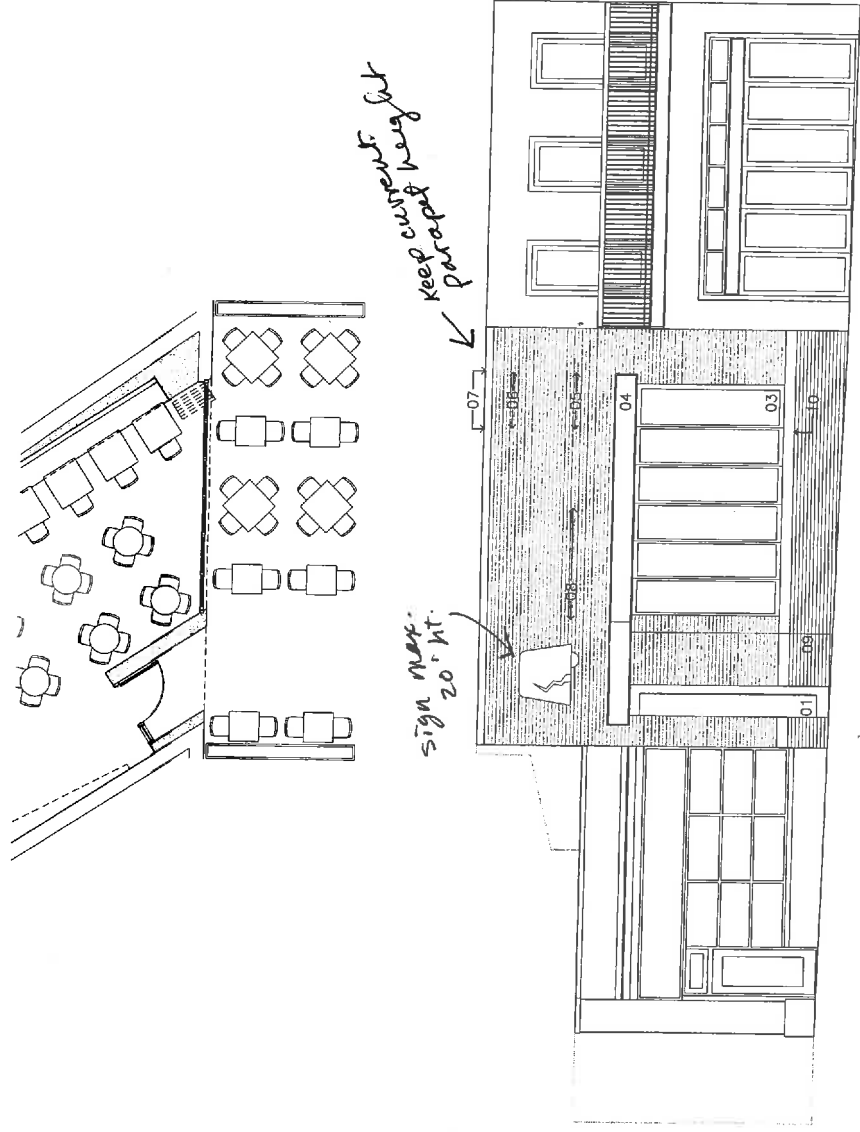
the Guidelines contemplate that it may be appropriate to create a more contemporary façade design when undertaking a renovation project.

Clear glass (with a VLT of at least 70, and low reflectance) must be specified.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitation, and for Additions and New Construction, I move to find that the proposed storefront reconstruction satisfies the BAR's criteria and is compatible with this property and other properties in The Corner ADC District, and the BAR approves this application with the following modifications:

The glass will be clear, with a VLT of at least 70, and low reflectance.



- NOTES:
- 01) NEW STOREFRONT DOOR
 - 02) NOT USED
 - 03) ALUMINUM NANA WALL (PAINTED)
 - 04) STEEL BEAM (PAINTED)
 - 05) BRICK (PAINTED)
 - 06) PARAPET INCREASED IN HEIGHT TO MATCH ADJACENT BUILDING
 - 07) METAL COPING (PAINTED)
 - 08) SIGNAGE AREA (SIGNAGE TO BE HANDLED BY SEPARATE SUBMISSION)
 - 09) NEW BRICK PAINTED TO MATCH EXISTING
 - 10) NEW STONE SILL

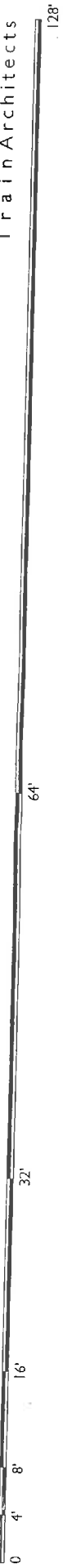
APPROVED IN CONCEPT


7/19/2016

University Avenue 1509 Renovation
 Charlottesville, Virginia

Train Architects

19 July 2016
 Exterior Street Elevation Scheme B
 Scale: 1/4" = 1'-0"



Architectural  And Historic
Survey

Identification

STREET ADDRESS: 1509 University Avenue
 MAP & PARCEL: 9-78
 CENSUS TRACT AND BLOCK:
 PRESENT ZONING: B-3
 ORIGINAL OWNER: J. H. Irving & Harry H. Robinson
 ORIGINAL USE: Restaurant?
 PRESENT USE:
 PRESENT OWNER: College Land Trust
 ADDRESS: c/o David H. Pettit
 409 Park Street
 Charlottesville, Virginia 22901

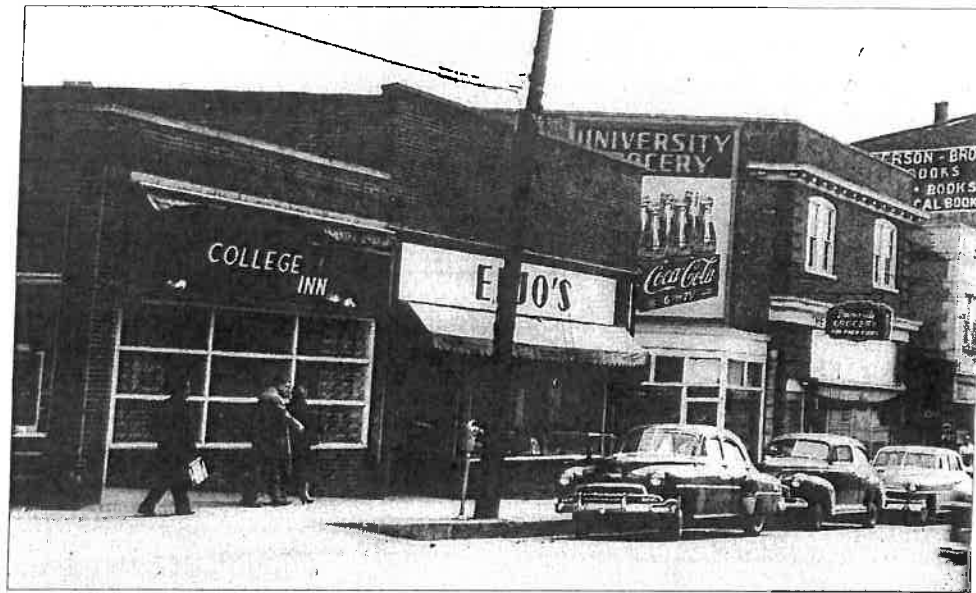
HISTORIC NAME:
 DATE / PERIOD:
 STYLE: Colonial Revival
 HEIGHT (to cornice) OR STORIES: 1 storey
 DIMENSIONS AND LAND AREA: 33,995 sq. ft.
 CONDITION: Good
 SURVEYOR: Bibb
 DATE OF SURVEY: Summer 1986
 SOURCES: City Records Holsinger Photographs
 Sanborn Map Co. - 1920, 1929-57
 Eddins, Around the Corner After World War 1

ARCHITECTURAL DESCRIPTION

The facade of this one-storey building is constructed of brick laid in stretcher bond. The 3-bay storefront has a central entrance with pilasters carrying a broken pediment. In the side bays, projecting display windows with bellcast roofs covered with standing-seam copper are supported on struts. There is a simple wooden entablature below the plain parapet. A 1946 photograph appears to show a storefront with a recessed entrance at the western end and a large panel of white bordered with black carerra glass above. The rear elevation is constructed of brick laid in 6-course American-with-Flemish bond. It has a small segmental-arched window.

HISTORICAL DESCRIPTION

J. H. Irving and Harvey H. Robinson purchased this entire small block, known as "the Carter Lot", in 1922 (City DB 4-0241) and built the building at the eastern end for their grocery business. This portion of the block was an open, tree-shaded field. Later in the 1920's Charlie Zehab conducted a restaurant in a one-storey wooden building set back from the street. According to City Directories and Sanborn Maps, the present building was probably erected in the mid-1930's. Eljo's, a men's clothing store, occupied the building from the early 1950's until 1986. The storefront was rebuilt at the same time during that period.



COURTESY SPECIAL COLLECTIONS, ADEMAN LIBRARY

1946

Clothes and the Man

After WWII, as older veterans filled the classrooms, the tradition that first-year men wear hats came to an end. "Tradition should be flexible," a student reasoned in 1946. "It should adjust to changing conditions. The hat convention should be abandoned graciously, without hysteria." And so it was. But the coats and ties remained.

In the fall of 1953 *Cavalier Daily* described the unofficial school uniform to new students:

This year as in years past the flannel suit is the most popular. The trend is definitely towards the more conservative colors. Most popular of course for all around use is the sports coat and slacks combination. Sport coats are generally on the conservative side. Oxford or charcoal flannel slacks with a sport coat is almost as much tradition as Seal or the term Grounds.

In the shirt department oxford cloth is definitely the fashion. The trend is generally to white, with an occasional light brown, blue or gray. Repp ties are as in years past the most popular. In footwear the preference is to cordovan and Scotch grain. The white

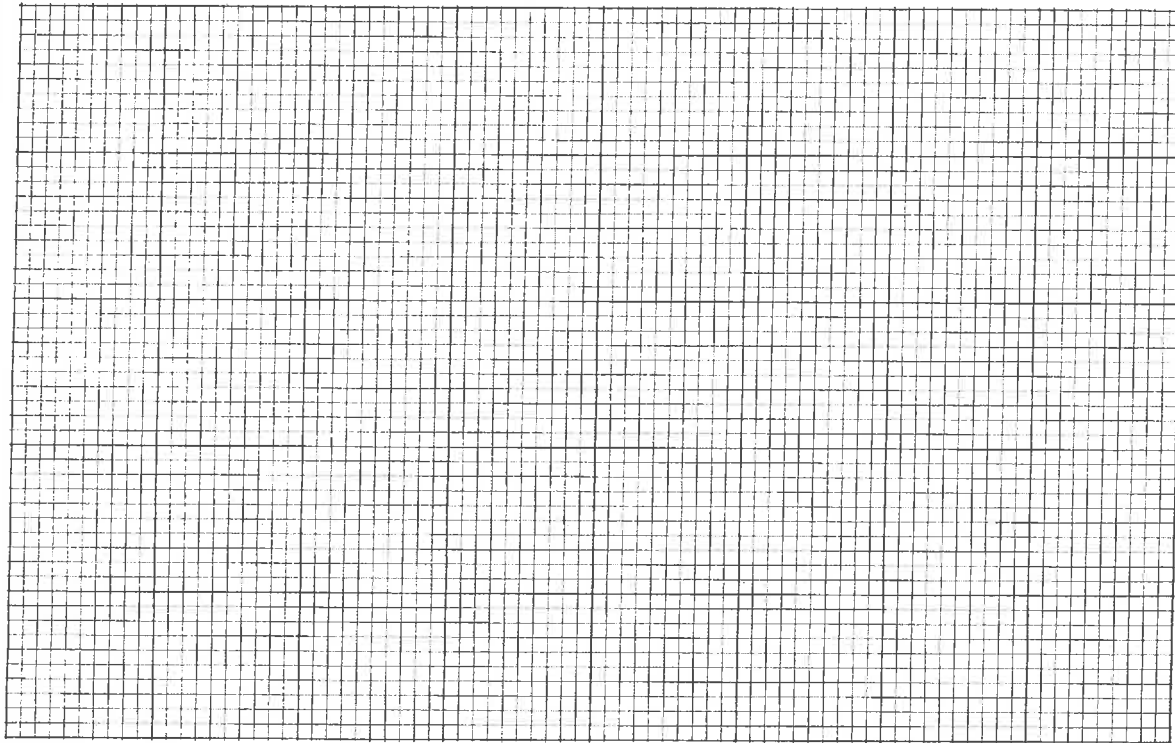
buck, traditional Cavaliers, and early are first in are narrow Sweater v-neck popular in Cashmere campus favorite with neat tie, button shirt, small rib sox, or

Sources and bibliography
Published sources (Books, articles, etc., with bibliographic data.)

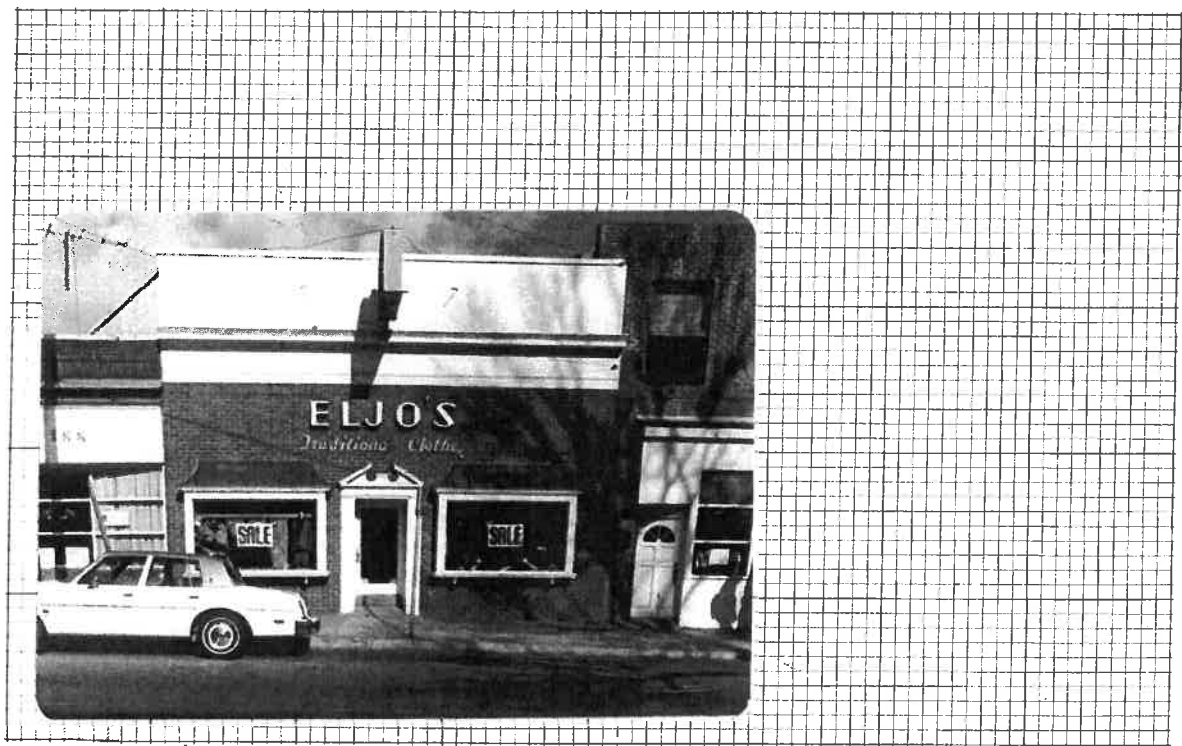
Primary sources (Manuscript documentary or graphic materials; give location.)

Names and addresses of persons interviewed

Plan (Indicate locations of rooms, doorways, windows, alterations, etc.)



Site plan (Locate and identify outbuildings, dependencies and significant topographical features.)



Name, address and title of recorder

Paula Annenberg UVA Architectural History

Date

Mar 1980



Date 3/10/96 File No. 104-133-57

Name The Courtyard District

Town Charlotteville

County _____

Photographer S.E. Smeal

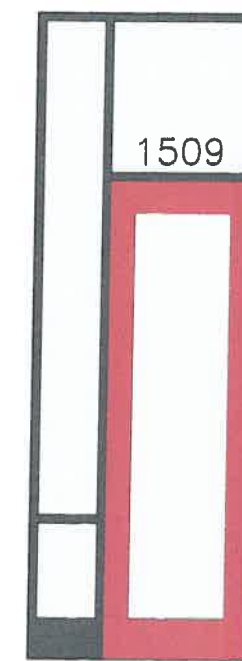
Contents 1 exterior view



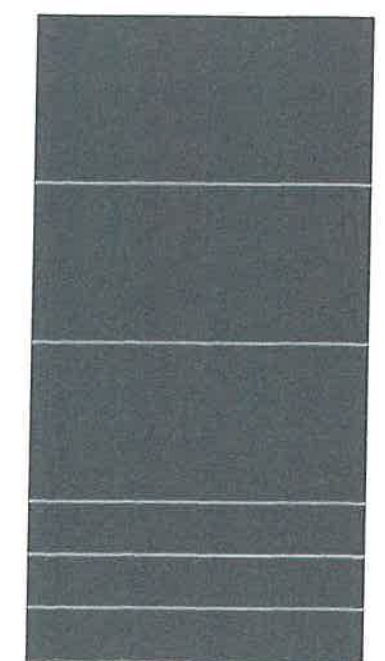
Street Elevation



WEST



NORTH



EAST

Entry Vestibule

18 October 2016
 Exterior Street Elevation
 Scale: 1/4" = 1'-0"

Phil's Steaks Restaurant
 University Avenue 1509
 Charlottesville, Virginia

Submitted 10/18/2016

Train Architect

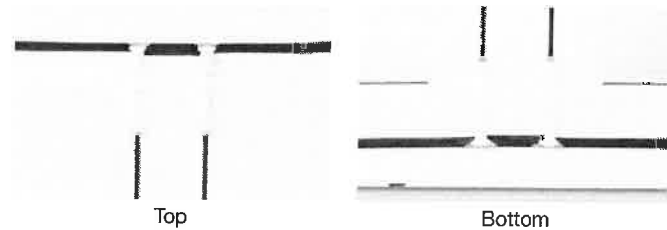


MONTEREY S80R SERIES



Monterey S80R Reinforced Series

Allows for taller monumental doors. Similar to the S80 Series, the S80R utilizes an additional vertical mullion between panels at every roller joint to allow for extra rollers to carry the increased weight of the door.

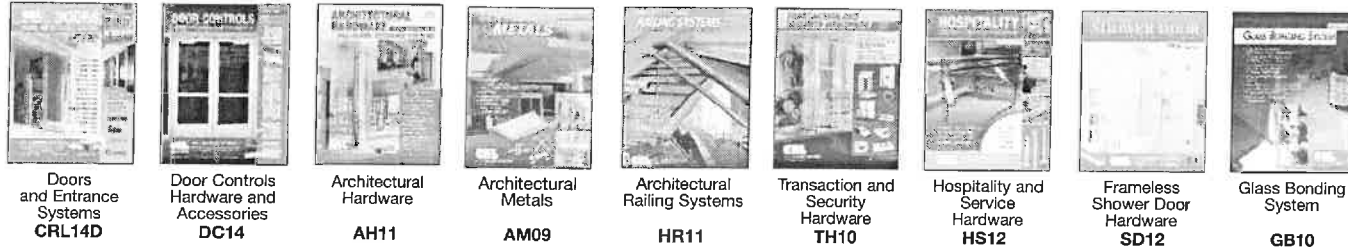


Top

Bottom

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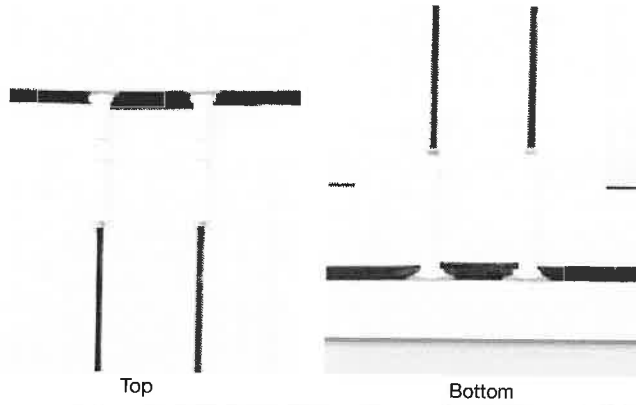
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10/18/2016

MONTEREY S55R SERIES



The Monterey S55R Series allows for taller monumental doors. Similar to the S55 Series, the S55R utilizes an additional vertical mullion between panels at every roller joint to allow for extra rollers to carry the increased weight of the door.



MONTEREY S80 SERIES

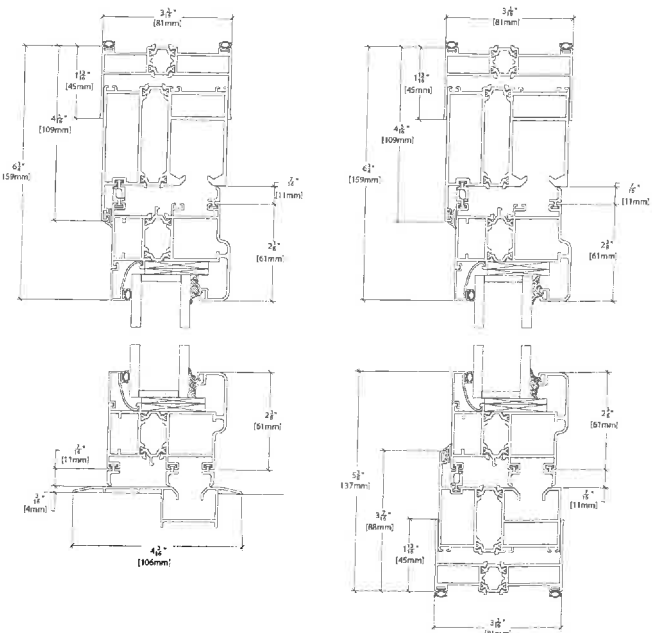
- Thermally Broken
- Flexibility to Fully or Partially Open
- Fully Assembled With or Without Glazing
- Almost Seamless Transition

Monterey S80 Series accommodates 1" or 1-1/4" (25 or 32 mm) insulating glazing. All extrusions are thermally broken for superior thermal performance. Each unit includes all the necessary hardware for a complete installation; you just supply the glass, or if you prefer, ask CRL to supply as fully glazed. Panels come standard with interior two point lever latches and have an option for three point keyed locks for added security and access from the exterior.

The S80 system comes standard with compensating channels to ensure a plumb and level installation. Complete installation instructions come with every unit as well as end user care and maintenance instructions to ensure years of reliable service.

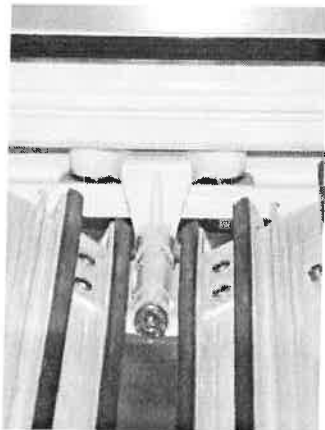
Standard finishes available are white, black, or wood grain powder coat, and satin or black bronze anodized. Standard RAL color powder coat finishes, as well as custom Kynar® finishes, are available on special order.

Monterey S80 Series Typical Vertical Section



S80 System with Flush Sill

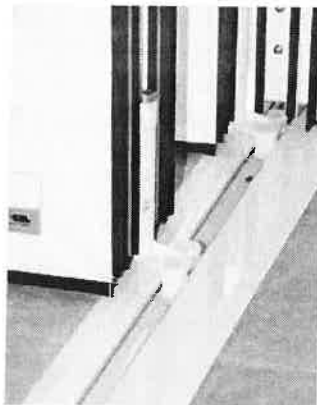
S80 System with Raised Sill



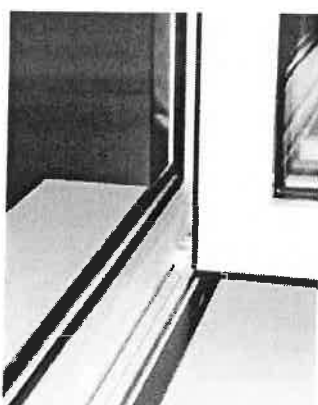
Top Roller



Hinge

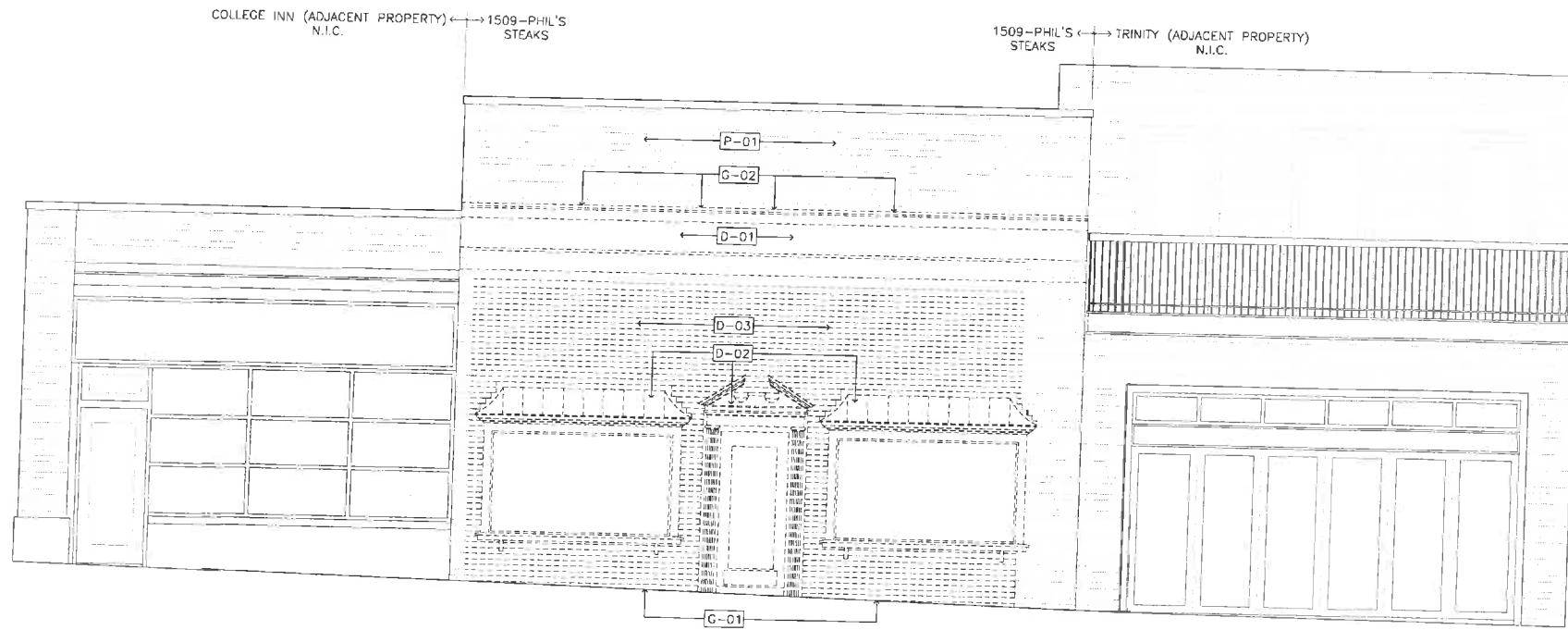


Flush Sill



Raised Sill

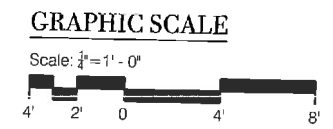
10/18/2016



06 Demolition Exterior Elevation
 D2.01/D2.01 Scale: 1/4" = 1'-0"

- DEMOLITION NOTES**
- 1) EXPLANATION OF SPECIFIC NOTES:
 - 2) SEE ARCH, STRUCT AND MEP (DESIGN-BUILD) DOCUMENTS FOR WORK TO BE COMPLETED AFTER DEMOLITION. COORDINATE DEMOLITION WITH NEW WORK. NOTIFY A/E OF DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING. VERIFY EXTENTS OF DEMO WITH LAYOUT OF NEW WORK.
 - 3) SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - 4) SEE DEMO RCP, ELEVATIONS AND SECTIONS FOR ADDITIONAL DEMOLITION INFORMATION.
 - 5) SEE FP AND MEP DESIGN-BUILD INFORMATION FOR ADDITIONAL INFORMATION.
 - 6) SEQUENCE & STAGE WORK FOR MINIMUM INTERFERENCE WITH ADJACENT BUSINESSES.
 - 7) SCHEDULE AND COORDINATE WORK WITH REGULATORY REQUIREMENTS.
 - 8) ALL EXISTING FIRE PROTECTION EQUIPMENT, BLDG. EMERGENCY PA SYSTEMS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
 - 9) PROVIDE NEGATIVE PRESSURIZATION OF WORK AREA TO PREVENT DUST MIGRATION TO EXISTING ADJACENT OCCUPIED AREAS.
 - 10) LIMITS OF SPECIFIC DEMOLITION SHOWN IN LEGEND TO BE COORDINATED WITH NEW WORK AND SEQUENCING.
 - 11) AS REQUIRED PROVIDE TEMPORARY CONSTRUCTION BARRIERS FOR PEDESTRIAN SAFETY ALONG UNIVERSITY AVENUE AND TO PROTECT NON-AFFECTED AREAS OF THE PROJECT.
 - 12) PRESERVE AND PROTECT ALL EXISTING STRUCTURE & BUILDING ELEMENTS U.O.N.
 - 13) SALVAGE ALL EXISTING DOORS, FRAMES, CASINGS & HARDWARE FOR REUSE AND/OR REVIEW WITH OWNER. BOX AND LABEL ALL HARDWARE SETS.
 - 14) SALVAGE ALL EXISTING BATHROOM FIXTURES, EQUIPMENT & ACCESSORIES.
 - 15) PROTECT AND MAINTAIN MINIMUM REQUIRED FIRE RESISTIVE RATED CONSTRUCTION AT PARTY WALLS IN ACCORDANCE WITH ORDINARY CONSTRUCTION PER VFSR. MATCH EXISTING CONSTRUCTION.
 - 16) PROVIDE SHORING AS REQ'D FOR DEMOLITION OF STRUCTURAL & OTHER ELEMENTS.
 - 17) SOME, BUT NOT ALL DEMOLITION REQUIRED FOR INSTALLATION OF MEP/FP SYSTEMS IS SHOWN. VERIFY MEP/FP DEMOLITION w/ MEP/FP CONTRACTORS. REMOVE ABANDONED MATERIAL & SYSTEMS.

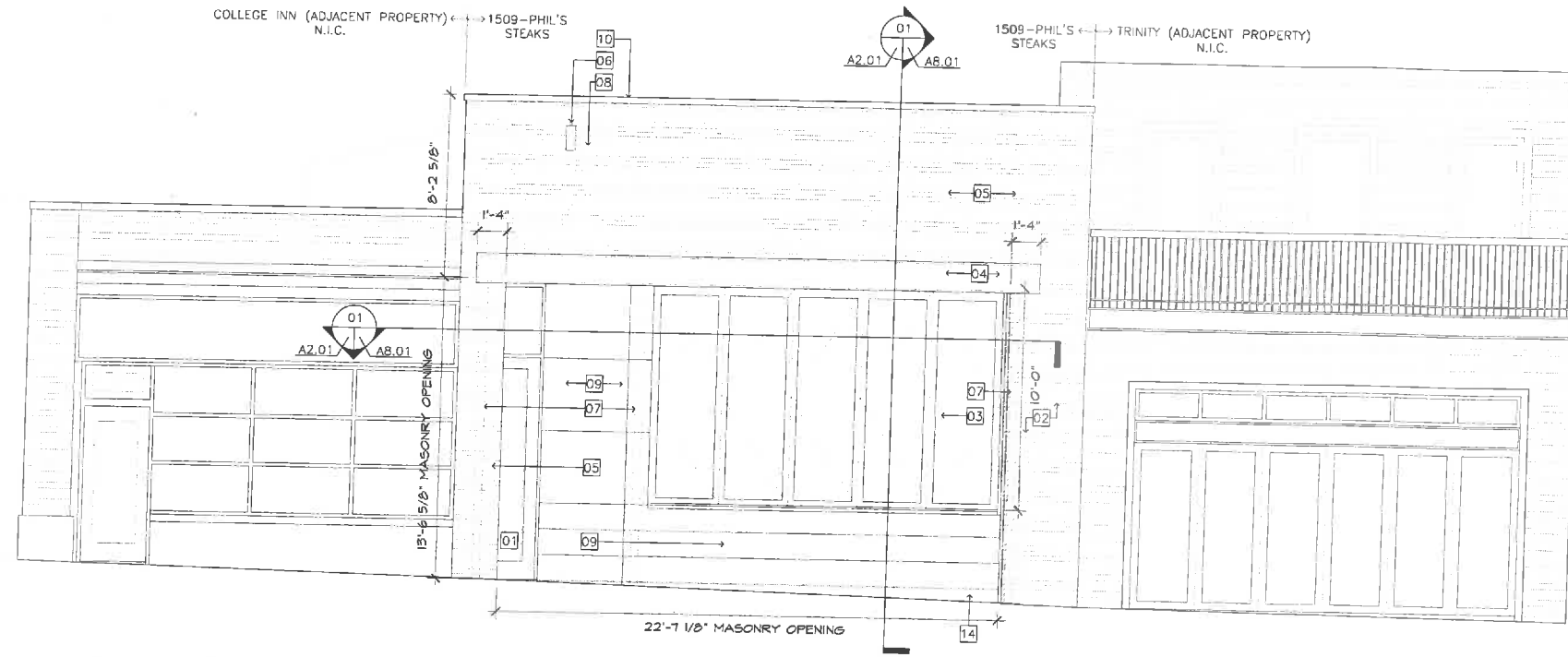
- SPECIFIC DEMOLITION NOTES**
- G-01) VERIFY EXTENT OF TEMPORARY REMOVAL & SUBSEQUENT REPLACEMENT OF PAVERS TO ACCESS TOP OF BASEMENT WALL.
 - G-02) PROVIDE SHORING FOR EXISTING MASONRY TO REMAIN FOR INSTALLATION OF NEW STEEL LINTEL.
 - P-01) PRESERVE & PROTECT EXISTING MASONRY PARAPET & COPING TO REMAIN
 - D-01) REMOVE EXISTING CORNICE & MOULDINGS
 - D-02) REMOVE BAY WINDOWS & ENTRY DOOR
 - D-03) REMOVE MASONRY AS INDICATED-COORDINATE WITH NEW WORK FOR EXTEND OF DIMENSIONS TOOTHING IN WITH EXISTING AND PLACEMENT OF NEW STRUCTURAL ELEMENTS.



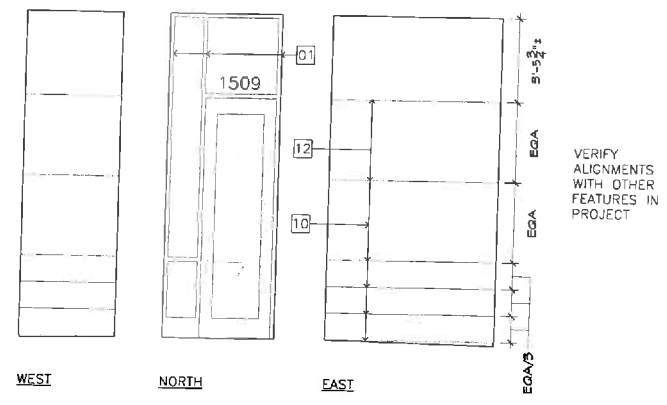
Submitted 10/18/2016

16 Demolition Plan Notes
 D2.01/D2.01 Scale: No Scale

Progress Documents	
<p>Phil's Steaks Restaurant</p> <p>1509 University Avenue Charlottesville, Virginia</p> <p>Progress Documents 14 October 2016 <small>Architect: Phil's Steaks Restaurant</small></p> <p>Train Architects <small>1111 N. 4th Street • Charlottesville, VA 22902 • 803.949.2866 • www.trainarchitects.com</small></p>	<p>Drawing: AG Checking: BA</p> <p>Rev 01: Not Used Rev 02: Not Used Rev 03: Not Used Rev 04: Not Used Rev 05: Not Used</p>
<p>Demolition Exterior Elevation</p>	
<p>D2.01</p>	



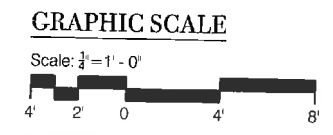
06 Orthogonal Exterior Elevation
 A2.01 | A2.01 Scale: 1/4" = 1'-0"



11 Vestibule Elevations
 A1.01 | A2.01 Scale: 1/4" = 1'-0"

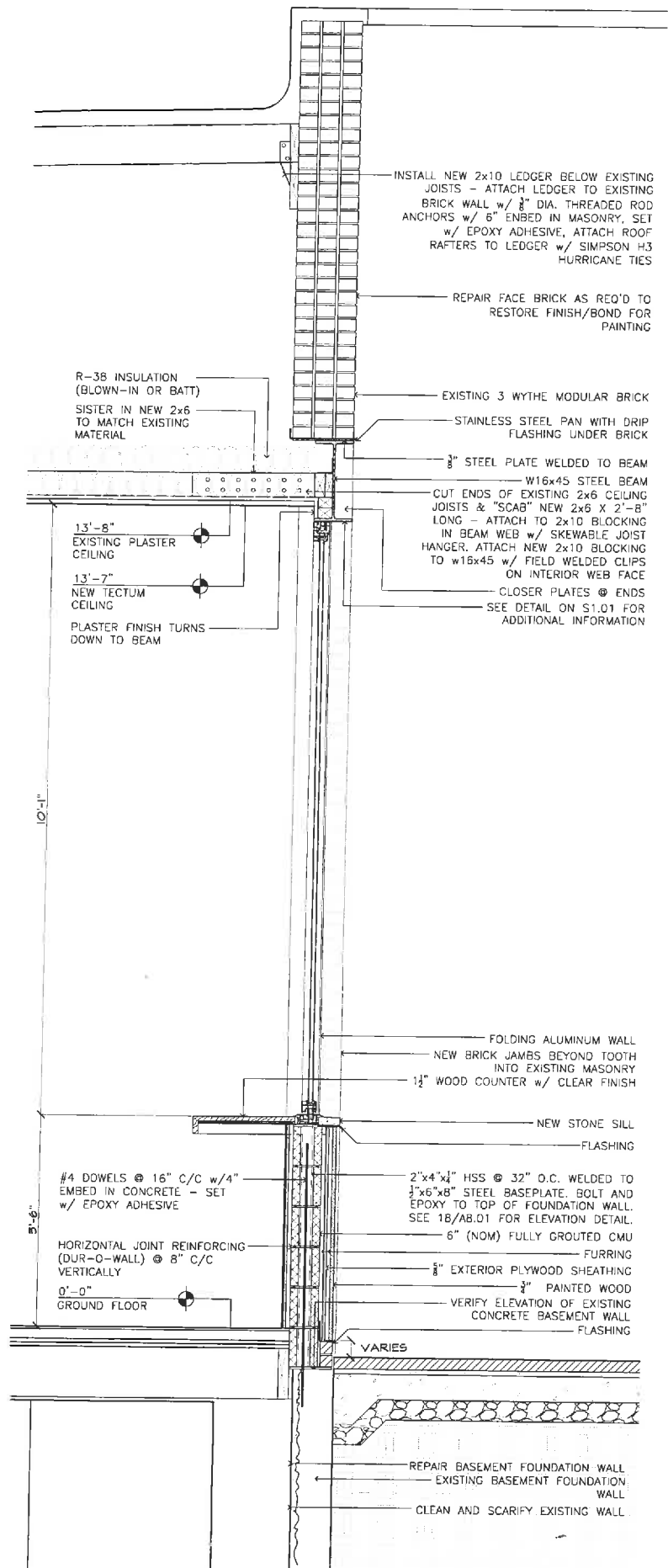
- NOTES:
- 01) CUSTOM STOREFRONT 3'-0" x 10'-0" DOOR w/ 2"x4 1/2" FRAME (CUSTOM COLOR 'B')
 - 02) EXISTING ENGINEER BRICK w/ TOOTHE IN NEW BRICK (PAINTED CUSTOM COLOR 'A')
 - 03) ALUMINUM FOLDING WINDOW WALL (PAINTED CUSTOM COLOR 'B')
 - 04) W18 STEEL BEAM LINTEL (PAINTED CUSTOM COLOR 'A')
 - 05) EXISTING MODULAR BRICK (PAINTED CUSTOM COLOR 'A')
 - 06) LIGHTING FOR SIGNAGE. PROVIDE CIRCUIT & POLE. COORDINATE FINAL LOCATION w/ SIGNAGE CONTRACTOR
 - 07) STEEL COLUMN FROM UNDER BEAM TO TOP OF BASEMENT WALL
 - 08) SIGNAGE (BY OTHERS)
 - 09) PAINTED CEDAR PLANKS ON PLYWOOD ON REINFORCED CMU (PAINTED CUSTOM COLOR 'B')
 - 10) PAINTED CEDAR PLAN ON PLYWOOD ON STEEL STUDS (PAINTED CUSTOM COLOR 'B')
 - 11) EXISTING COPING (PAINT CUSTOM COLOR 'A')
 - 12) 1/4" REVEAL
 - 13) LETTERS ON GLASS 6"H. FONT
 - 14) BRICK (PAINTED CUSTOM COLOR 'B')

16 Exterior Elevation Notes
 A1.01 | A1.01 Scale: No Scale

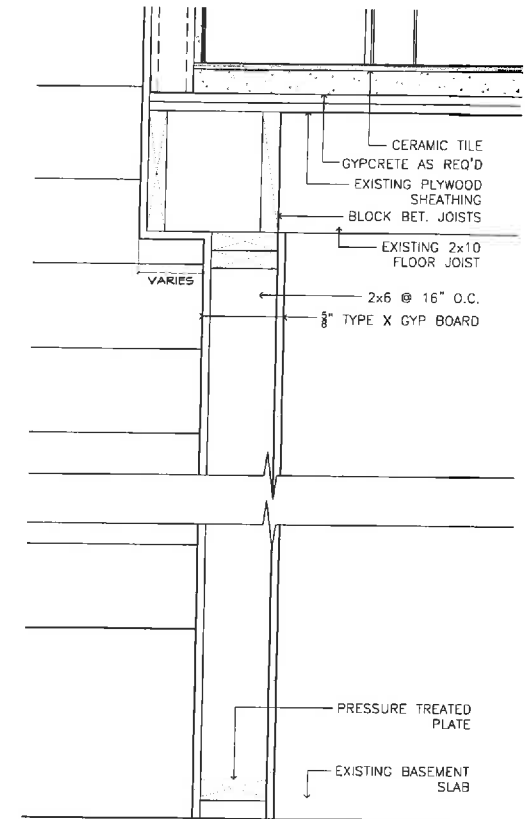


Submitted 10/18/2016

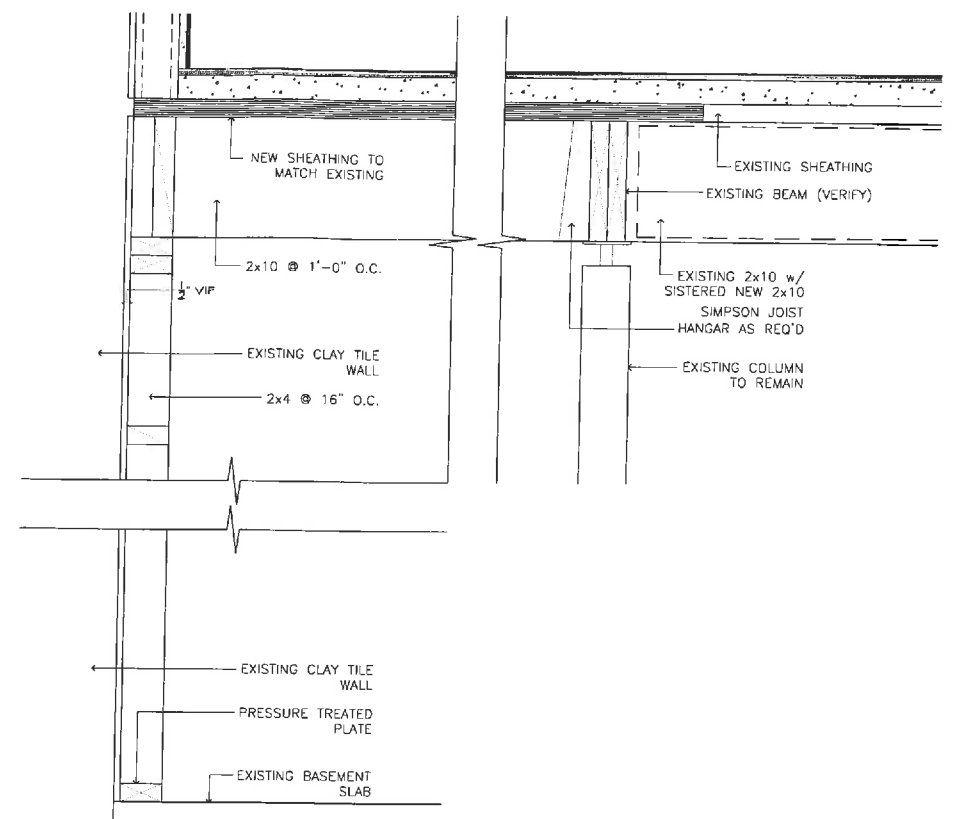
Progress Documents	
Phil's Steaks Restaurant 1509 University Avenue Charlottesville, Virginia Progress Documents 14 October 2016 <small>Architects Project Number: 2011</small>	Drawing: AG Checking: BA Rev 01: Not Used Rev 02: Not Used Rev 03: Not Used Rev 04: Not Used Rev 05: Not Used
Train Architects <small>1021 University Avenue, Charlottesville, VA 22902-4400 www.trainarchitects.com</small>	
Exterior Elevation	A2.01



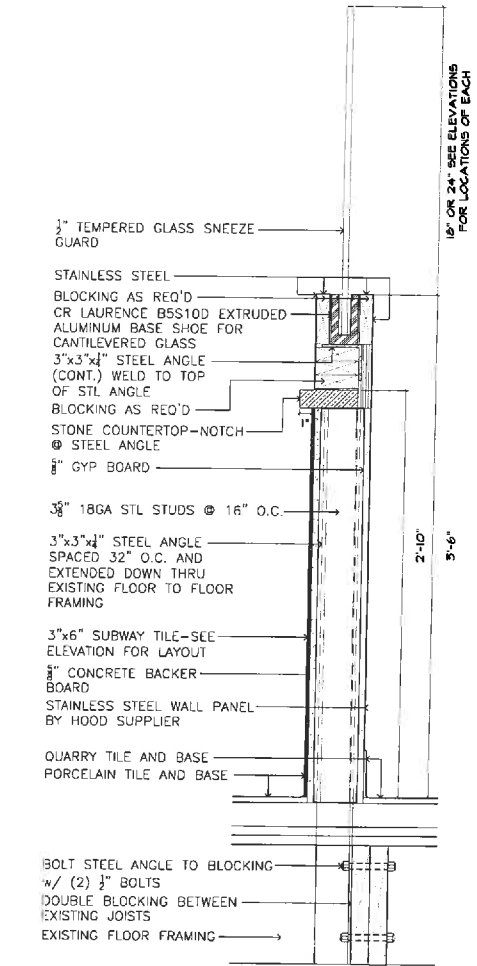
16 Front Wall Section
 Scale: 1/4" = 1'-0"



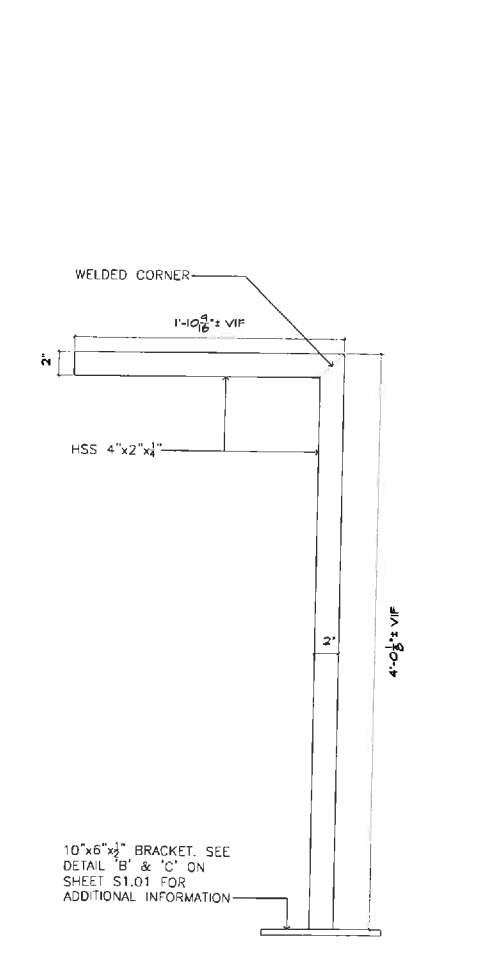
07 Section at Rated Stair Wall
 Scale: 1/2" = 1'-0"



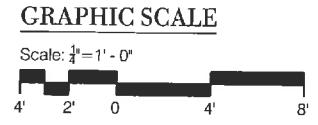
08 Section at New Floor Infill
 Scale: 1/2" = 1'-0"



17 Cook Line Knee Wall Section
 Scale: 1/2" = 1'-0"

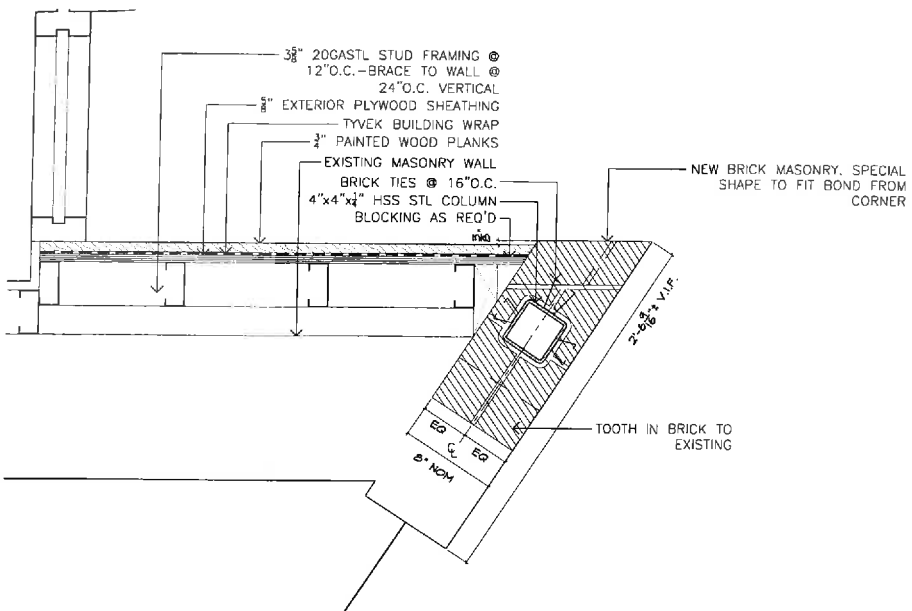


18 Window Counter Bracket Elevation
 Scale: 3/8" = 1'-0"

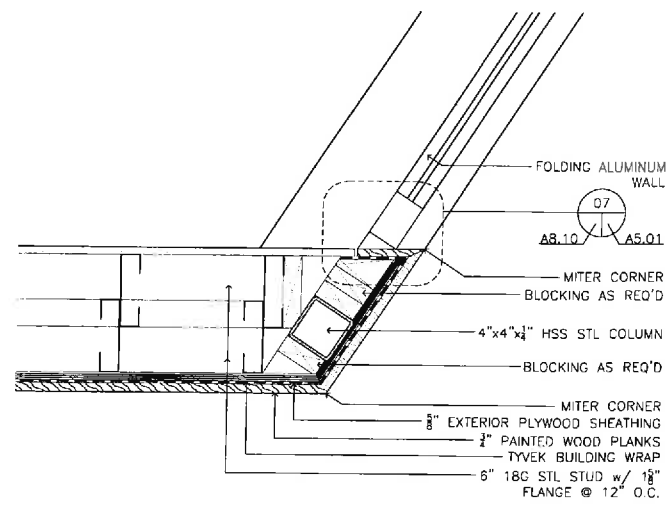


Submitted 10/18/2016

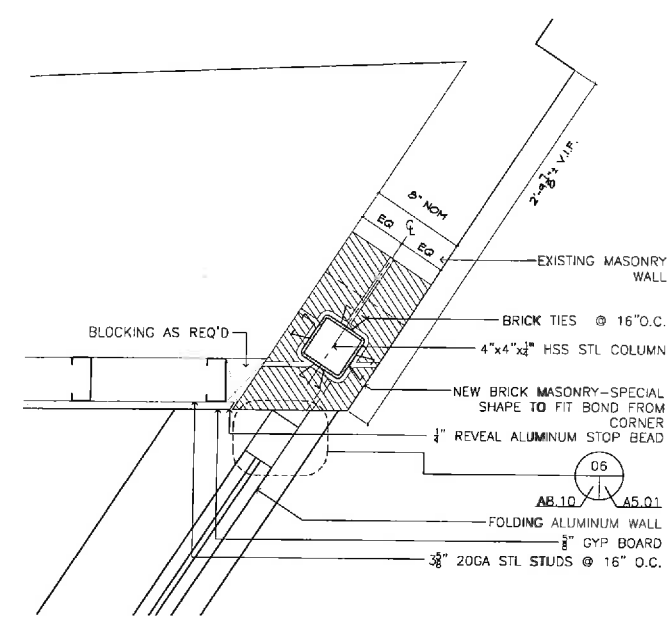
Progress Documents	
Phil's Steaks Restaurant 1509 University Avenue Charlottesville, Virginia Progress Documents 14 October 2016 Train Architects	Drawing: AG Checking: BA Rev 01: Not Used Rev 02: Not Used Rev 03: Not Used Rev 04: Not Used Rev 05: Not Used
Wall Sections	A8.01



01 Front Wall Plan Section Detail
 Scale: 1 1/2" = 1'-0"

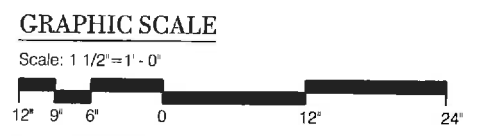


02 Front Wall Plan Section Detail
 Scale: 1 1/2" = 1'-0"

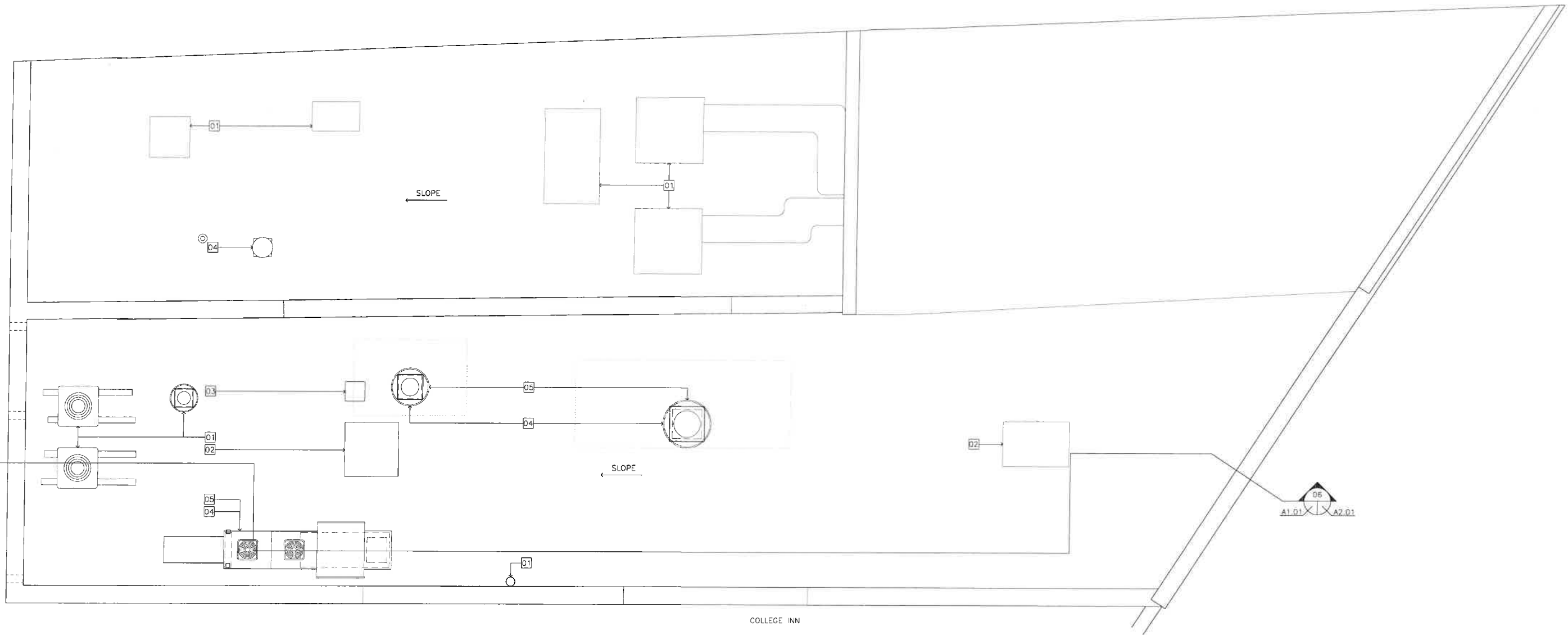


03 Front Wall Plan Section Detail
 Scale: 1 1/2" = 1'-0"

Submitted 10/18/2016



Progress Documents	
<p>Phil's Steaks Restaurant</p> <p>1509 University Avenue Charlottesville, Virginia</p> <p>Progress Documents 14 October 2016</p> <p>Train Architects <small>101 EAST LANTANA STREET CHARLOTTE, NC 28202 TEL: 704.333.9911</small></p>	<p>Drawing: AG Checking: BA</p> <p>Rev 01: Not Used Rev 02: Not Used Rev 03: Not Used Rev 04: Not Used Rev 05: Not Used</p>
<p>Plan Sections Details</p>	<p>A8.10</p>



COLLEGE INN



GRAPHIC SCALE

Scale: 1/4" = 1' - 0"



Progress Documents

Phil's Steaks Restaurant

1509 University Avenue
Charlottesville, Virginia

Progress Documents
14 October 2016

Train Architects
112 East Jefferson Street, Charlottesville, VA 22902-5202 (813) 255-2999 fax 255-5157
www.trainarchitects.com

Drawing: AG
Checking: BA
Rev 01: Not Used
Rev 02: Not Used
Rev 03: Not Used
Rev 04: Not Used
Rev 05: Not Used

Roof Plan

A1.02

Submitted 10/18/2016

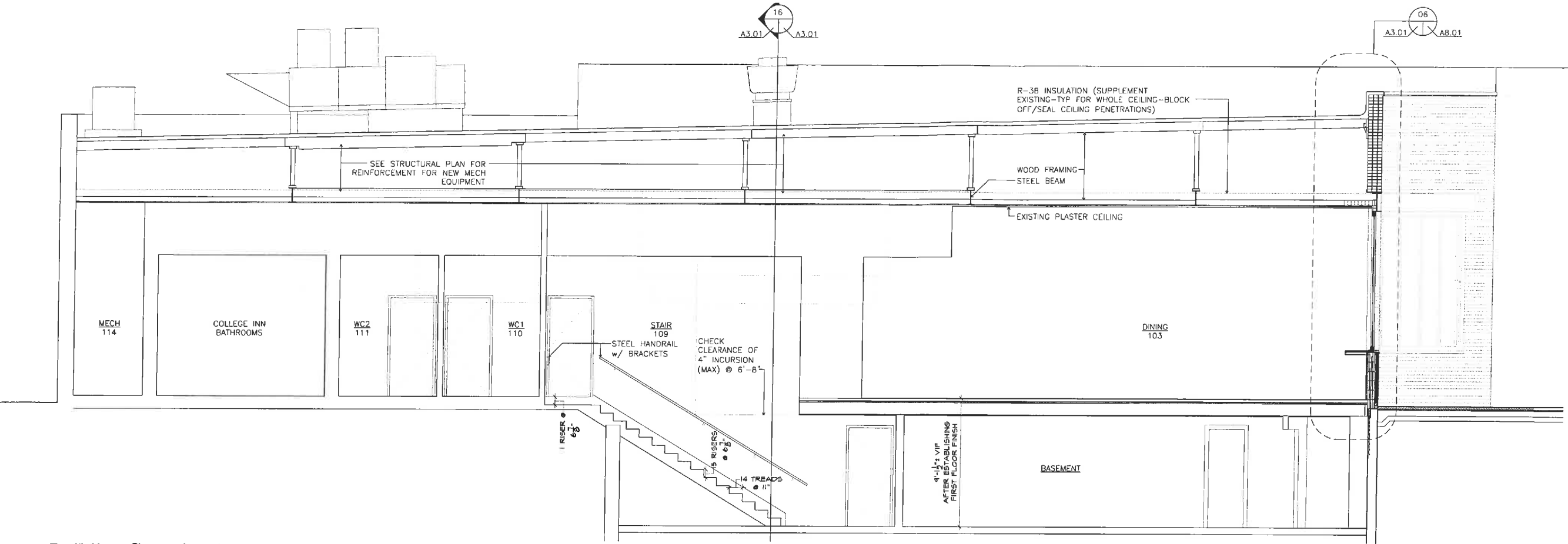
06 Roof Plan

Scale: 1/4" = 1'-0"

- 01) EXISTING MECHANICAL EQUIPMENT/FEATURE TO REMAIN (SEE DEMO PLAN)
- 02) EXISTING ABANDONED ROOF CURB/STRUCTURE TO REMAIN
- 03) FRAME, SHEATH & ROOF OVER ABANDONED MECHANICAL CURB
- 04) NEW MECHANICAL UNIT - SEE STRUCTURAL & MECHANICAL SUBMITTAL FOR MORE INFO. CURB PROVIDED BY EQUIPMENT VENDOR. COORDINATE w/ ROOFING REPAIR/INSTALLATION
- 05) NOTE RE: PROXIMITY OF NEW MECHANICAL TO PARAPET WALL & ADJACENT TENANT SPACE - ADJACENT PROPERTIES ARE SEPARATE TENANT SPACES w/ THE SAME OWNER

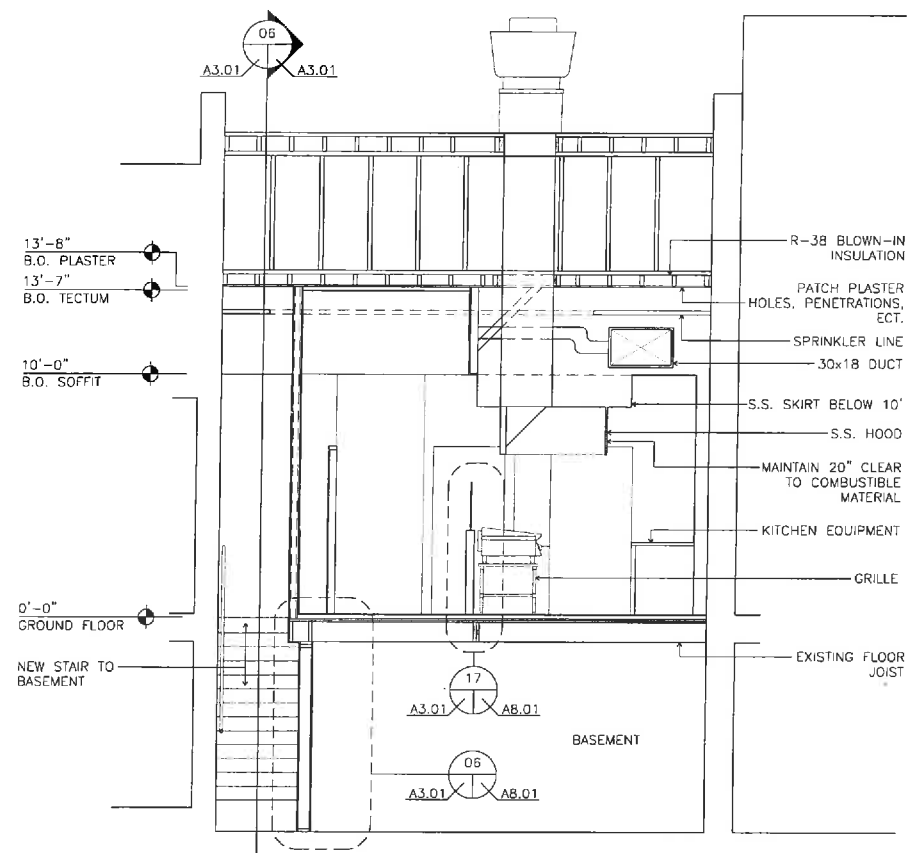
16 Roof Plan Notes

Scale: No Scale



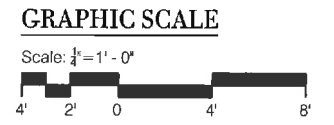
06 Building Cross Section
 Scale: 1/4" = 1'-0"

NOTE: SEE INTERIOR ELEVATIONS FOR MORE INFORMATION



16 Building Cross Section
 Scale: 1/4" = 1'-0"

Submitted 10/18/2016



Progress Documents	
Phil's Steaks Restaurant 1509 University Avenue Charlottesville, Virginia Progress Documents 14 October 2016 <small>Autodesk ProjectWarden .DWG</small> Train Architects <small>112 East Jefferson Street, Charlottesville, VA 22902-4347 703.999.1175 www.trainarchitects.com</small>	Drawing: AG Checking: BA Rev 01: Not Used Rev 02: Not Used Rev 03: Not Used Rev 04: Not Used Rev 05: Not Used
Building Sections	A3.01

Phil's Steaks Restaurant

1509 University Avenue
Charlottesville, Virginia

18 October 2016
Submitted 27 September 2016
Board of Architectural Review
Details for Approval

612 East Jefferson Street
Charlottesville, Virginia 22902
ph 434.293.2965 fax 295.5122

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SEP 27 2016

NEIGHBORHOOD DEVELOPMENT SERVICES



Historic Corner Photograph

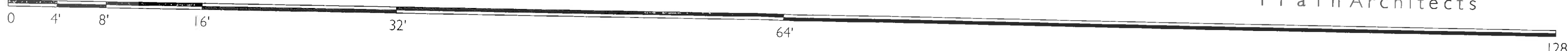


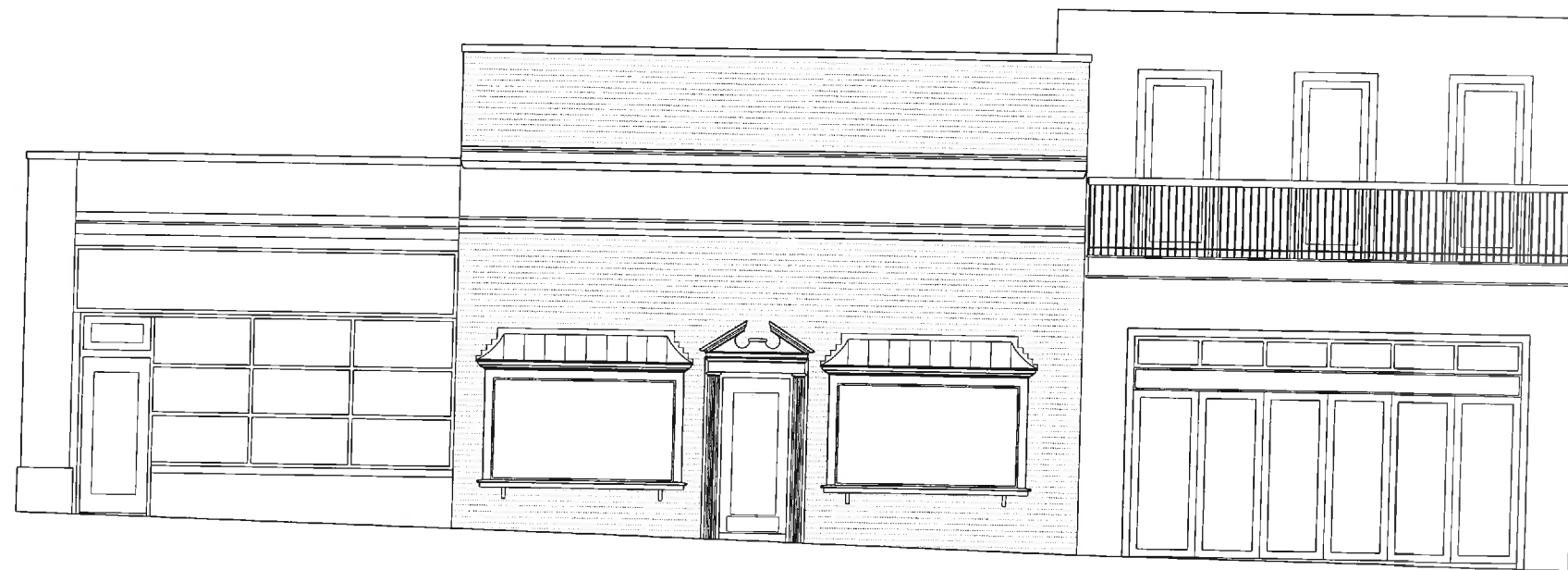
Historic Corner Photograph

Phil's Steaks Restaurant
University Avenue 1509
Charlottesville, Virginia

Train Architects

18 October 2016
Historical Context





18 October 2016
Existing Exterior Street Elevation
Scale: $\frac{1}{8}'' = 1'-0''$

Phil's Steaks Restaurant
University Avenue 1509
Charlottesville, Virginia

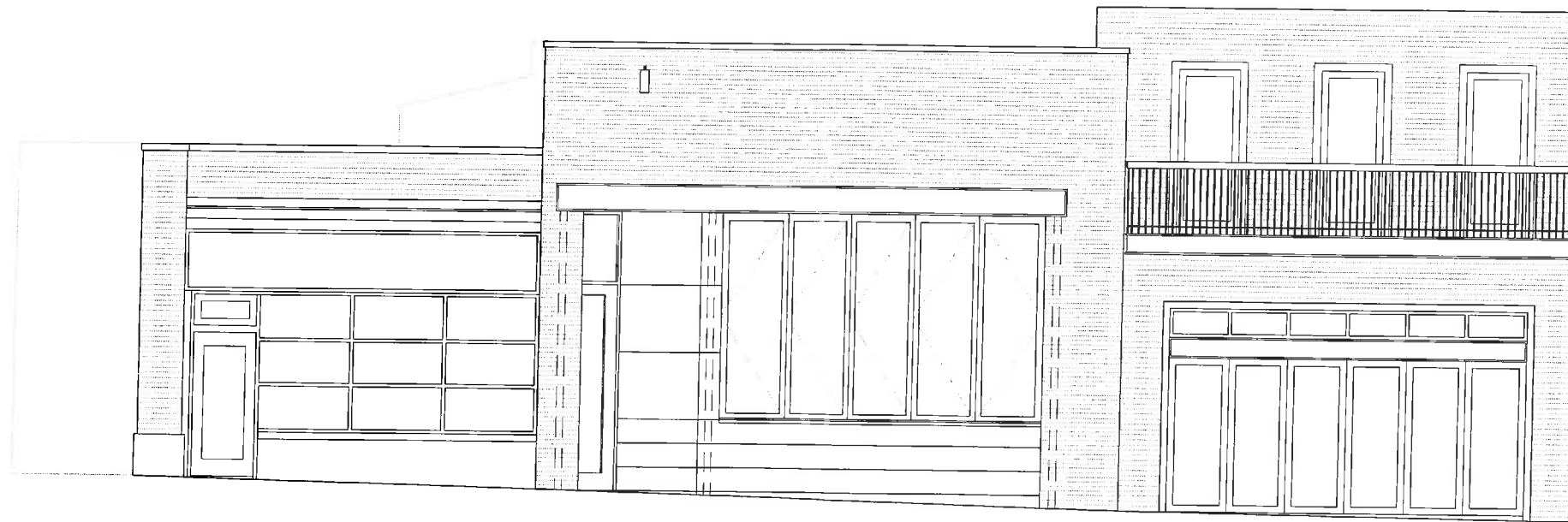
Train Architects

0 4' 8' 16'

32'

64'

128'



18 October 2016
Exterior Street Elevation
Scale: $\frac{1}{8}'' = 1'-0''$

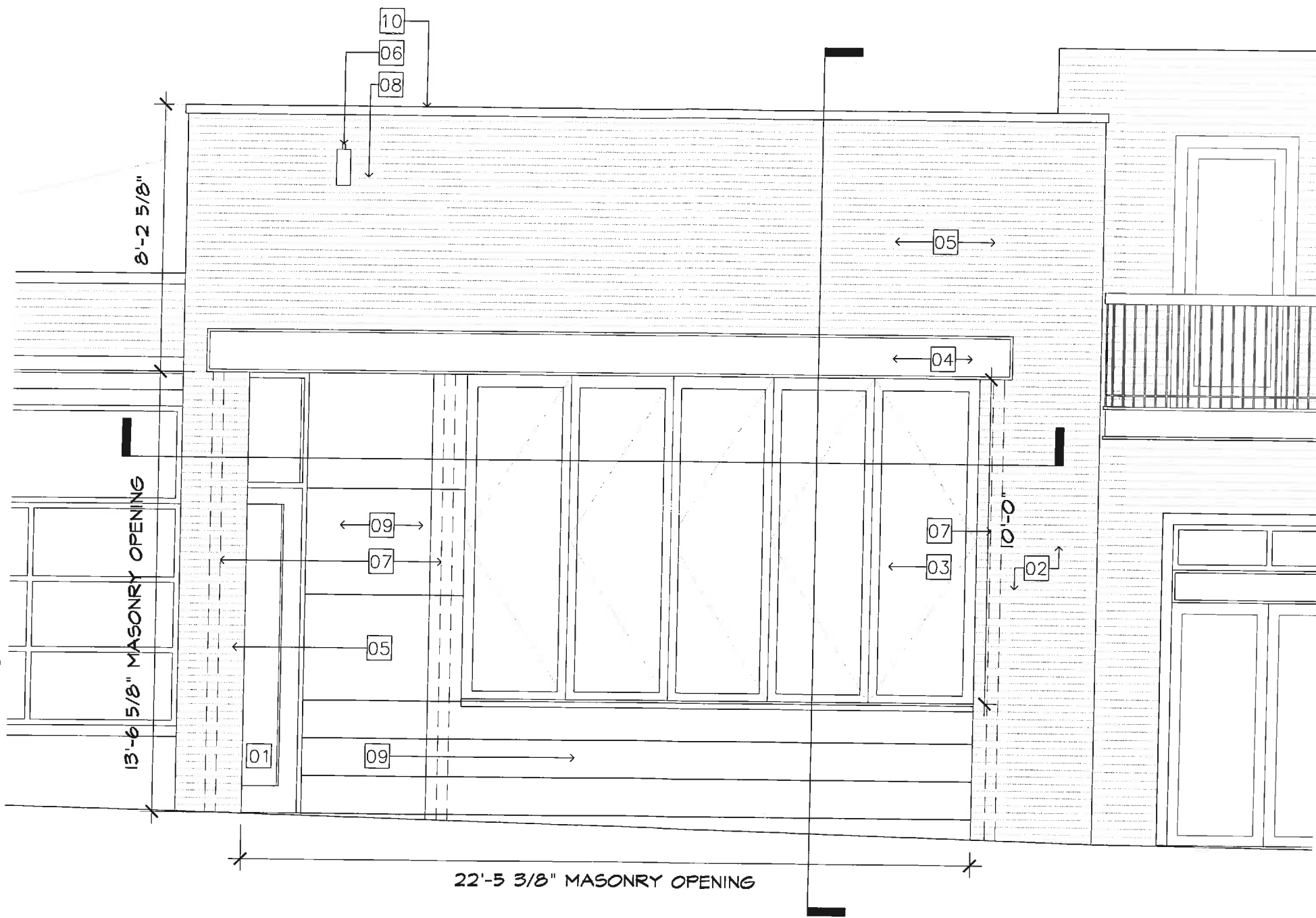
Phil's Steaks Restaurant
University Avenue 1509
Charlottesville, Virginia

Train Architects



NOTES:

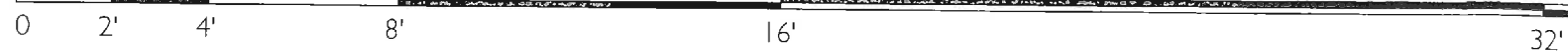
- 01) NEW OVERSIZED 3'-0"x10'-0" DOOR
- 02) EXISTING ENGINEER BRICK (PAINTED)
- 03) FOLDING ALUMINUM WALL (PAINTED)
- 04) STEEL BEAM (PAINTED)
- 05) EXISTING MODULAR BRICK REPAIRED (PAINTED)
- 06) NEW LIGHTING (POLE w/ SPOT BACK FOR SIGNAGE BY OTHERS)
- 07) NEW 4" STEEL COLUMN EMBEDDED IN WALL
- 08) SIGNAGE AREA (SIGNAGE TO BE HANDLED BY SEPARATE SUBMISSION - BY OTHERS)
- 09) NEW PAINTED WOOD PLANKS - COMBINATION FLUSH BOARDS & $\frac{1}{4}$ " REVEAL
- 10) EXISTING PARAPET HEIGHT

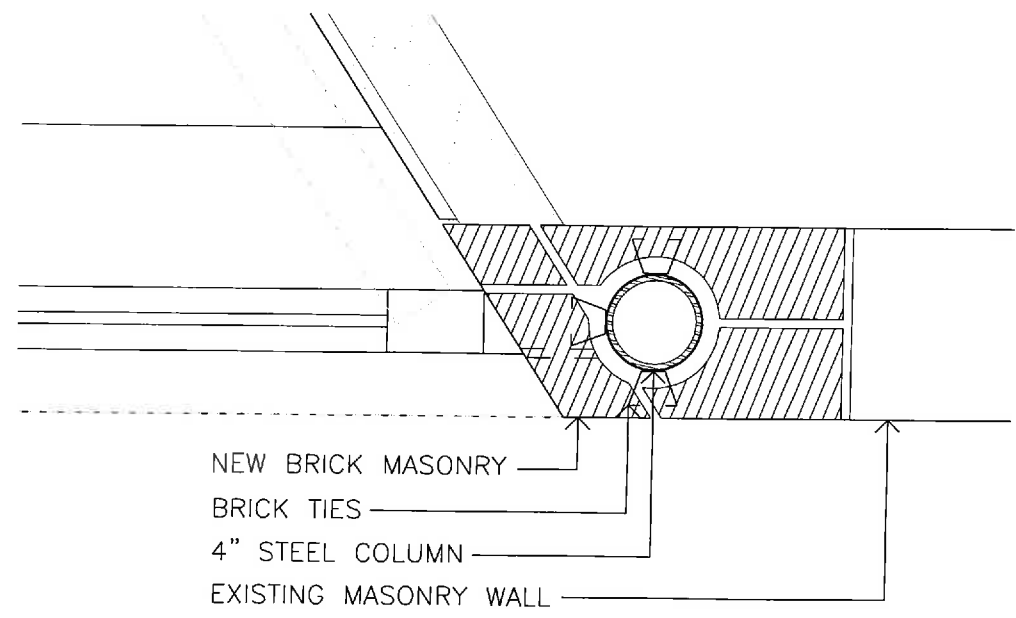
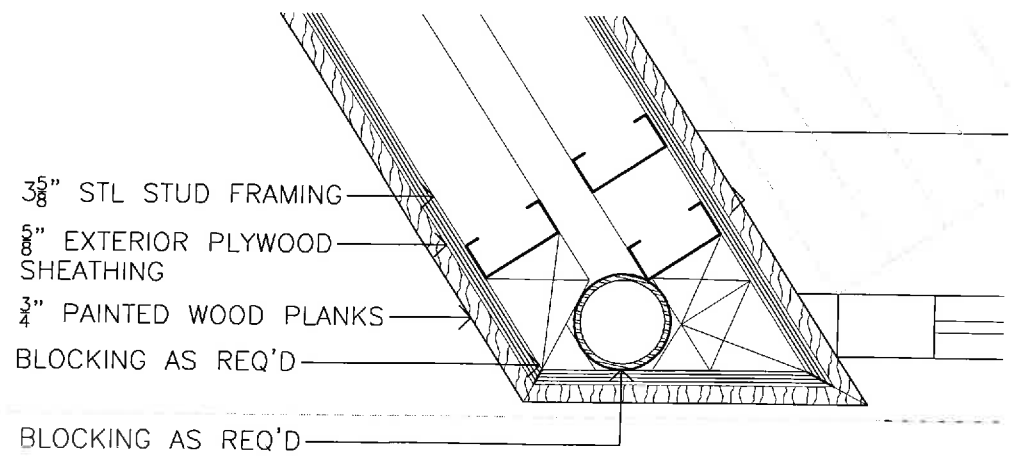
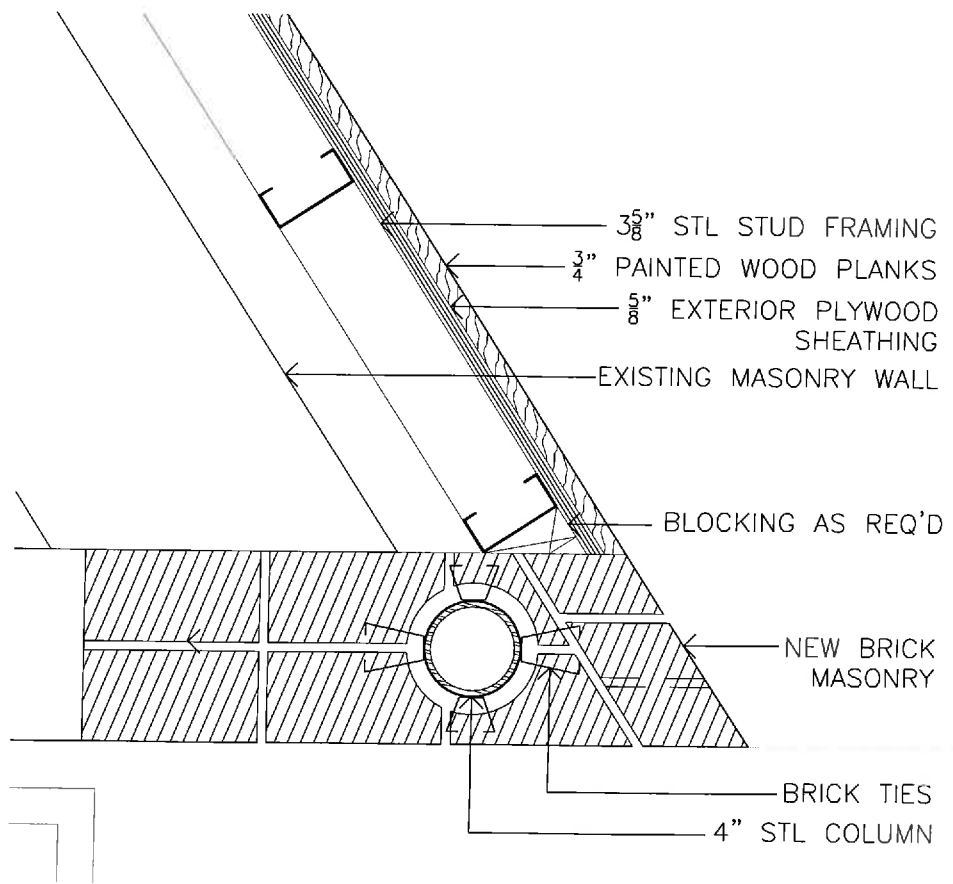
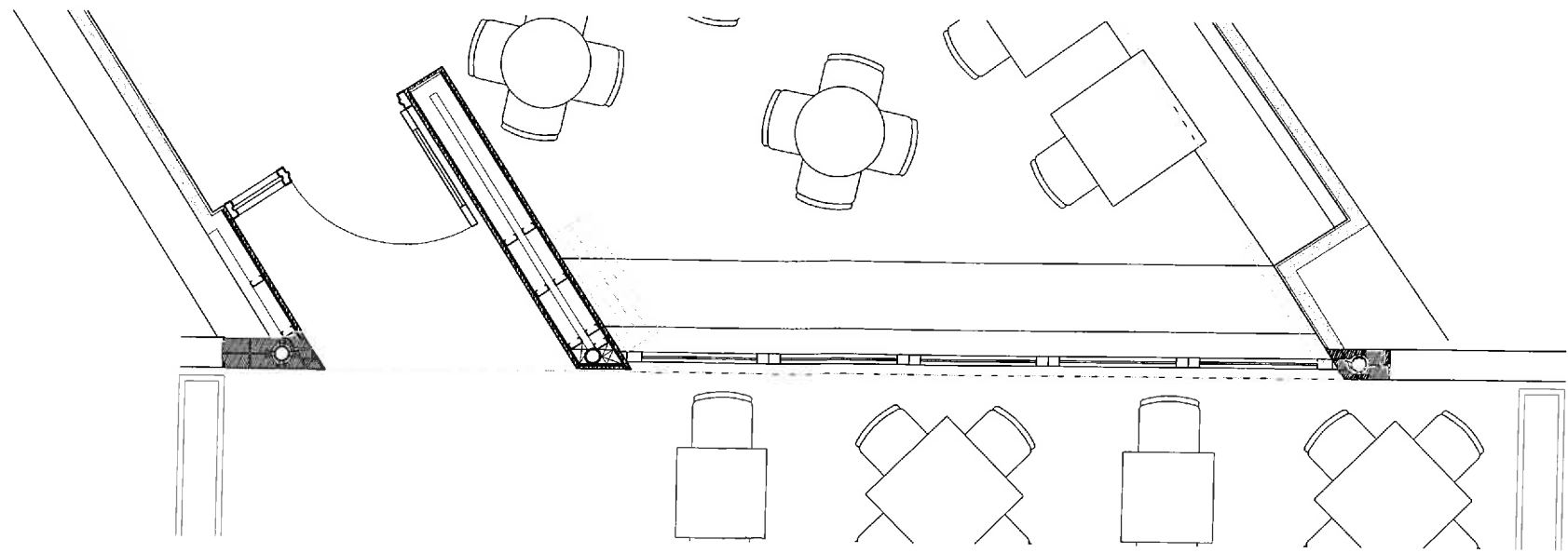


18 October 2016
 Exterior Street Elevation
 Scale: $\frac{1}{8}$ " = 1'-0"

Phil's Steaks Restaurant
 University Avenue 1509
 Charlottesville, Virginia

Train Architects



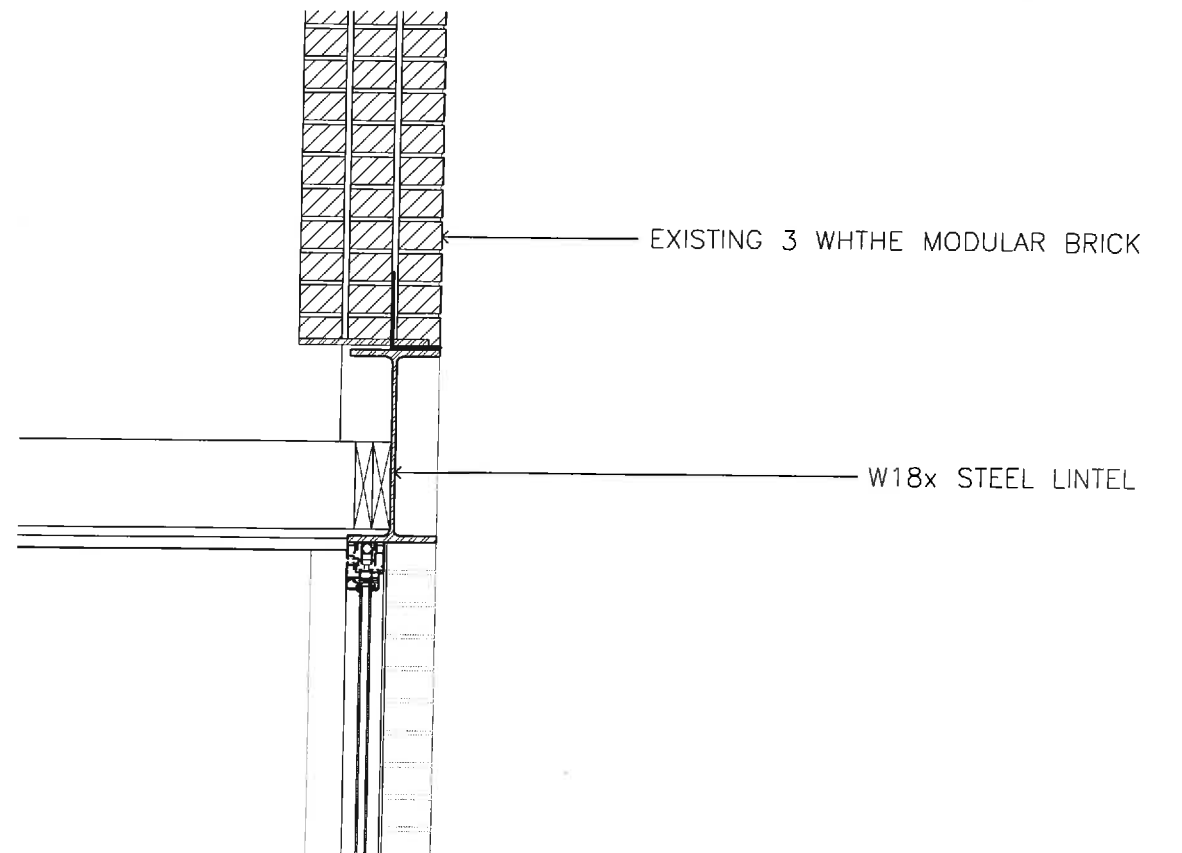
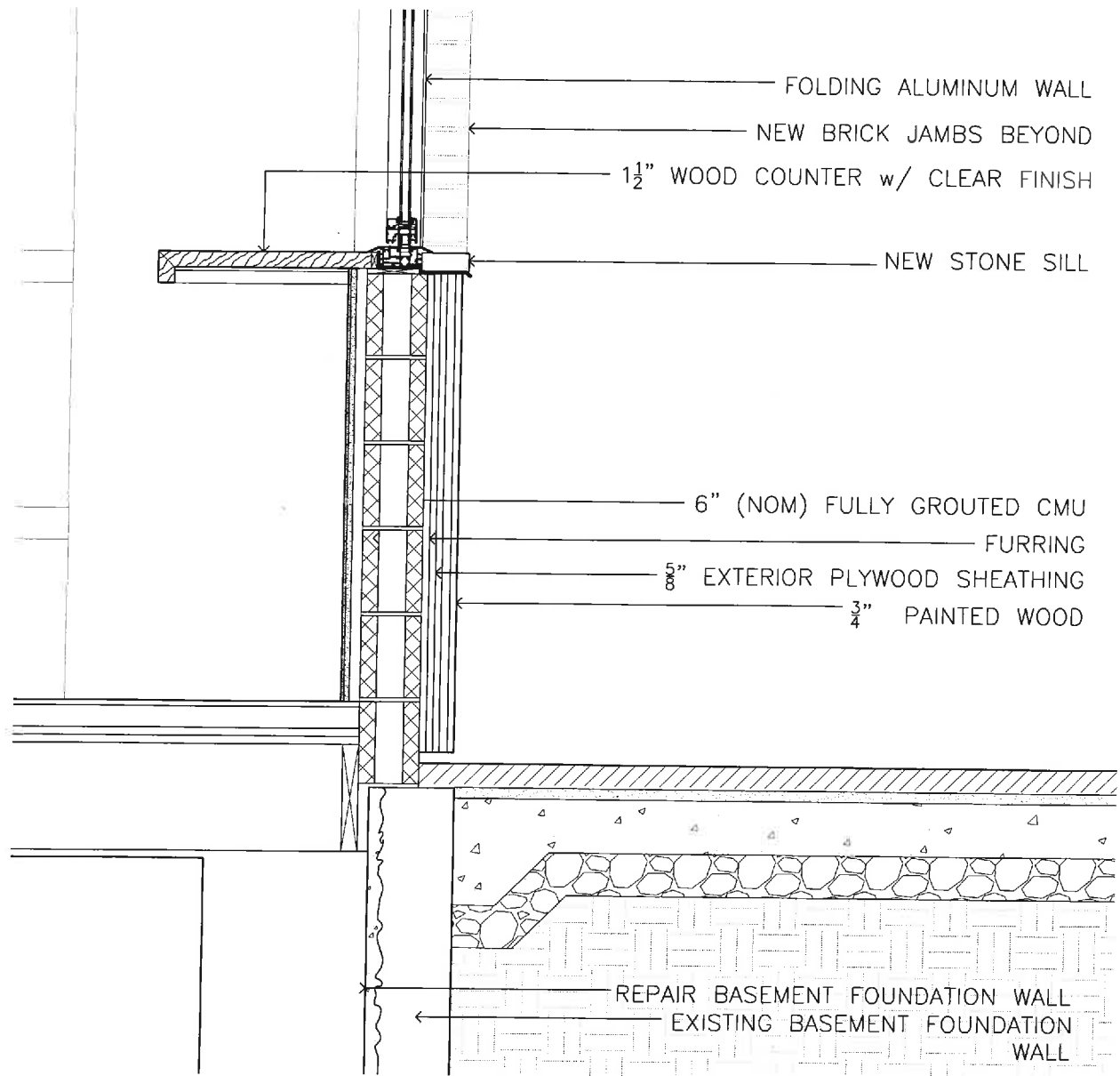


18 October 2016
 Exterior Street Elevation
 Scale: 1/8" = 1'-0"

Phil's Steaks Restaurant
 University Avenue 1509
 Charlottesville, Virginia

Train Architects

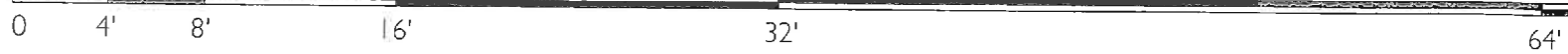


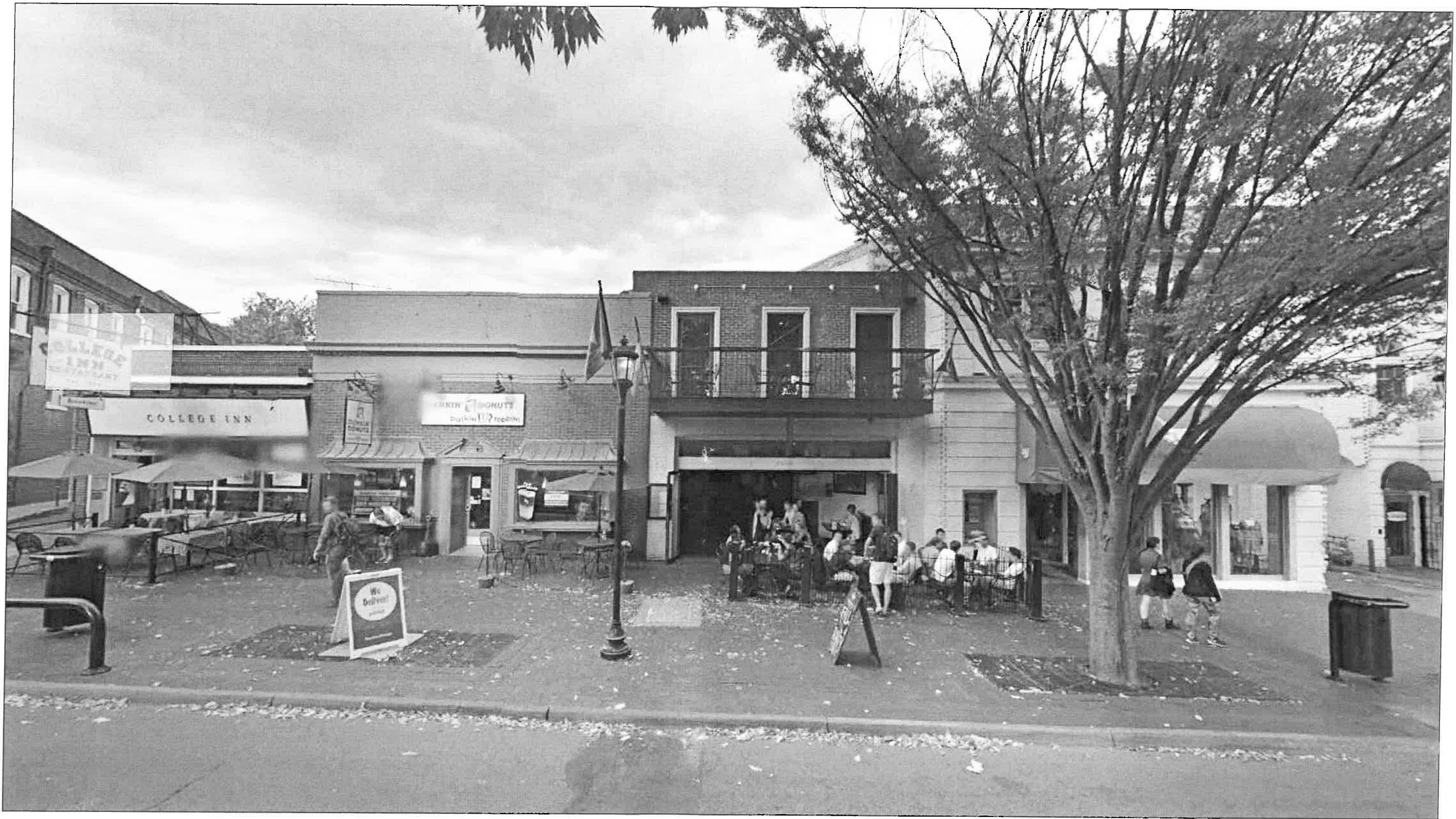


18 October 2016
 Exterior Street Elevation Section
 Scale: 1/8" = 1'-0"

Phil's Steaks Restaurant
 University Avenue 1509
 Charlottesville, Virginia

Train Architects



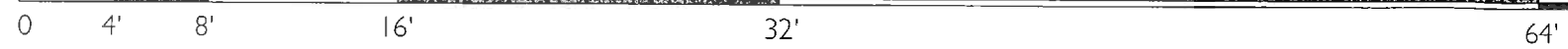


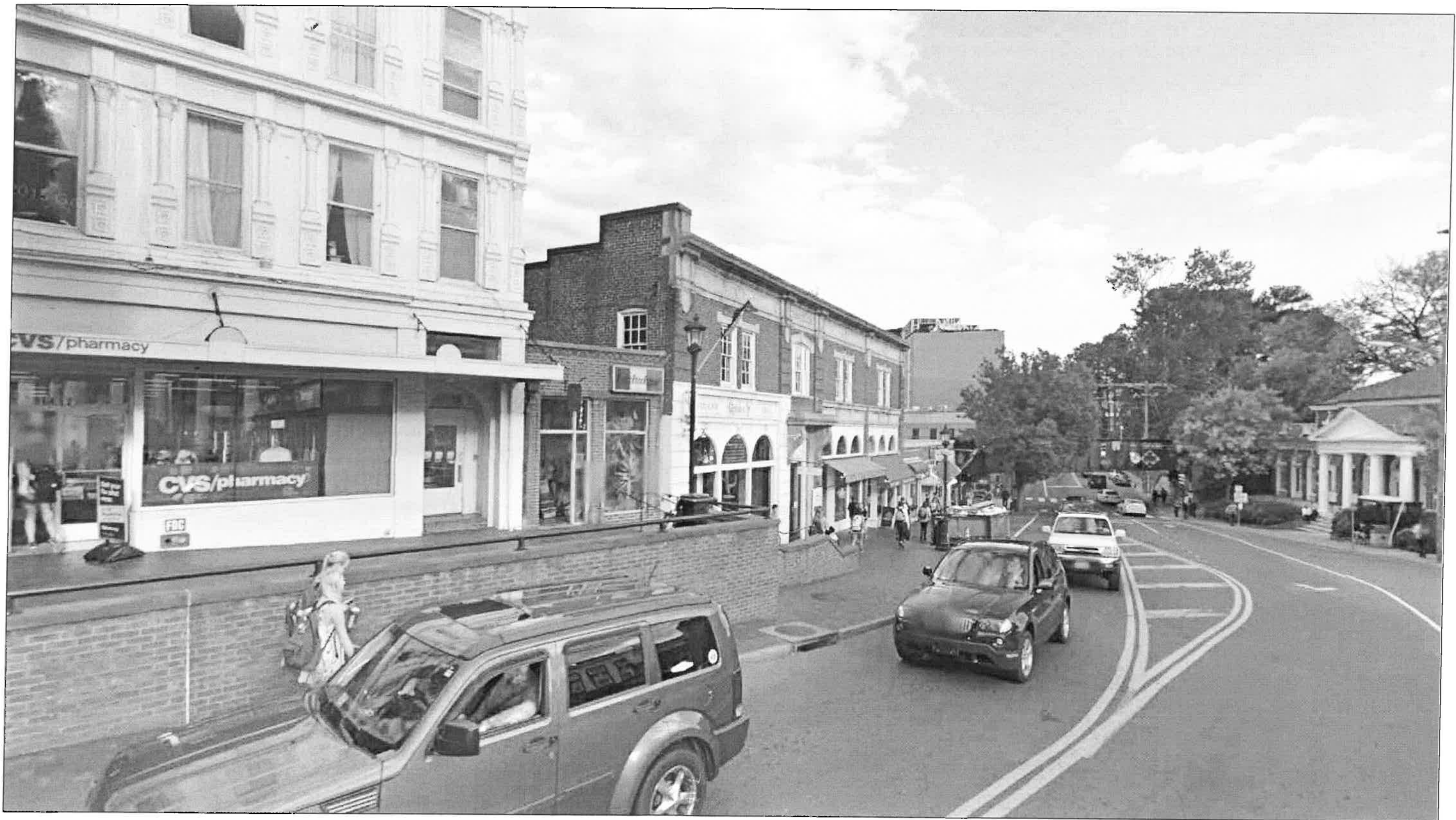
Existing Corner Photograph

18 October 2016
Existing Street Elevation

Phil's Steaks Restaurant
University Avenue 1509
Charlottesville, Virginia

Train Architects



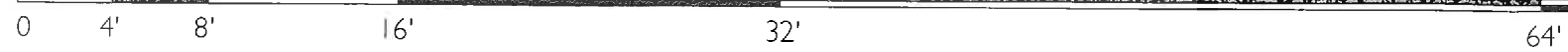


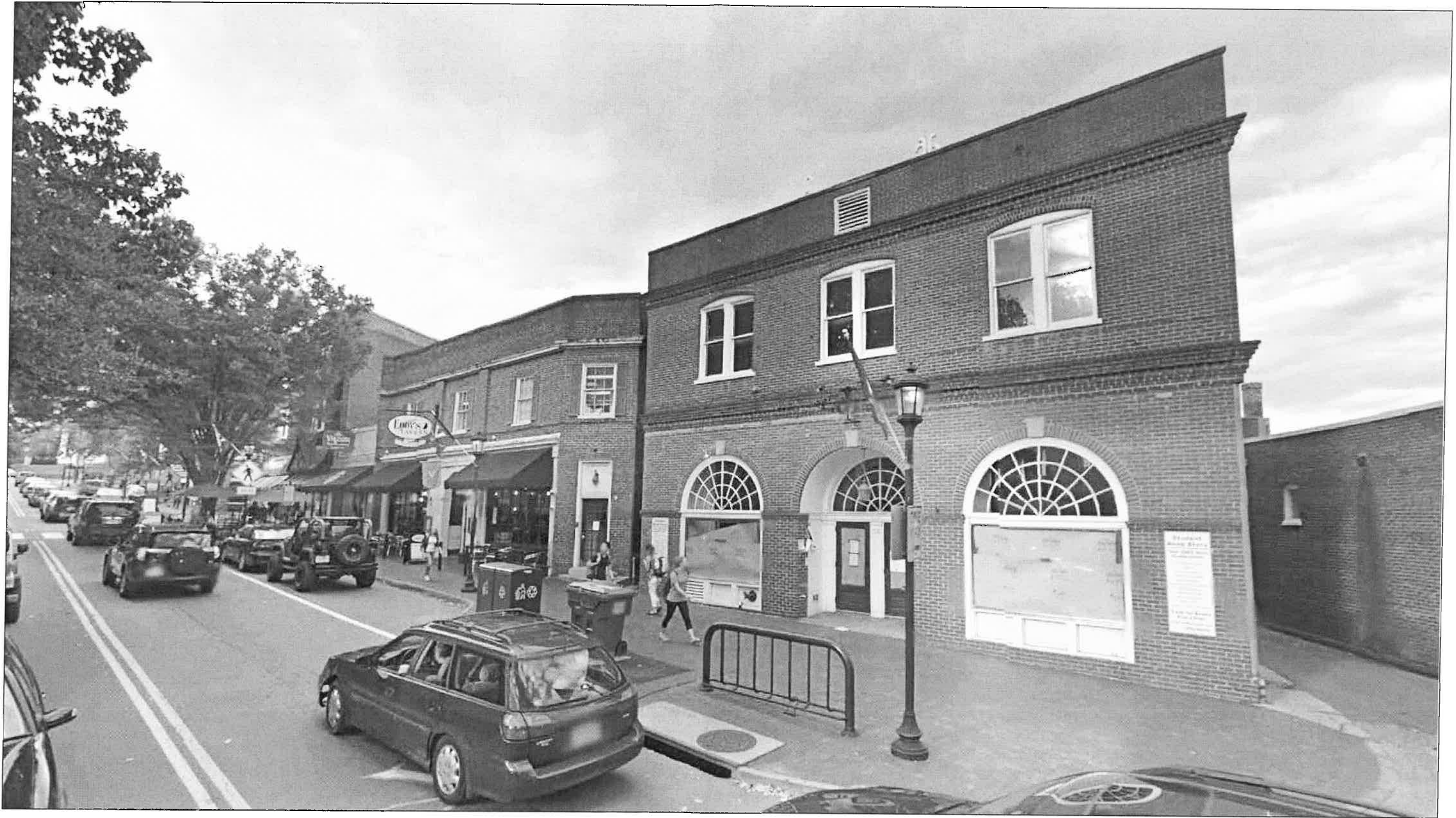
Existing Corner Photograph

18 October 2016
Existing Street Elevation

Phil's Steaks Restaurant
University Avenue 1509
Charlottesville, Virginia

Train Architects





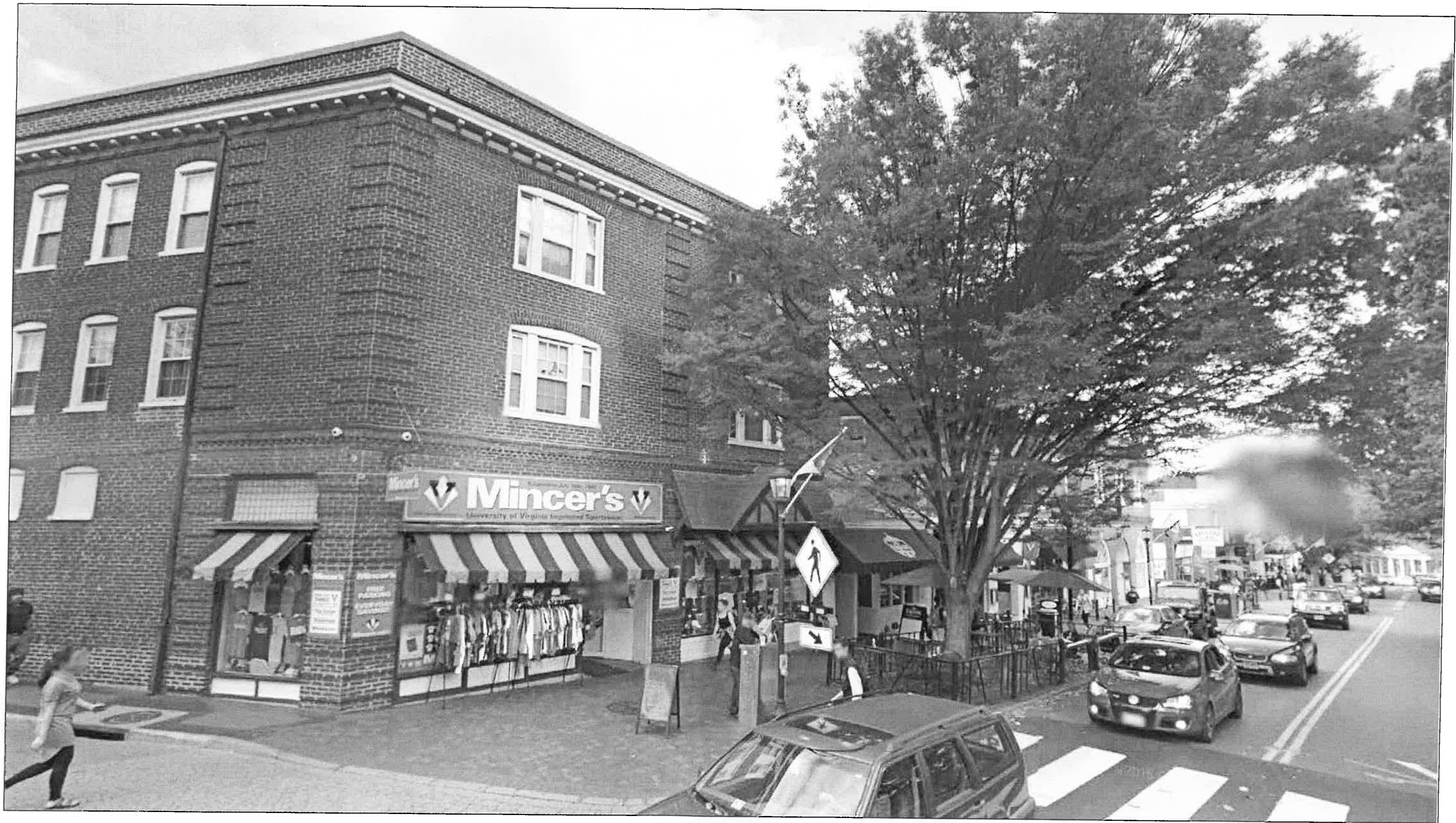
Existing Corner Photograph

18 October 2016
Existing Street Elevation

Phil's Steaks Restaurant
University Avenue 1509
Charlottesville, Virginia

Train Architects

0 4' 8' 16' 32' 64'

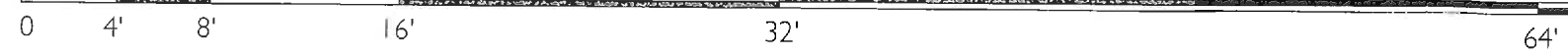


Existing Corner Photograph

18 October 2016
Existing Street Elevation

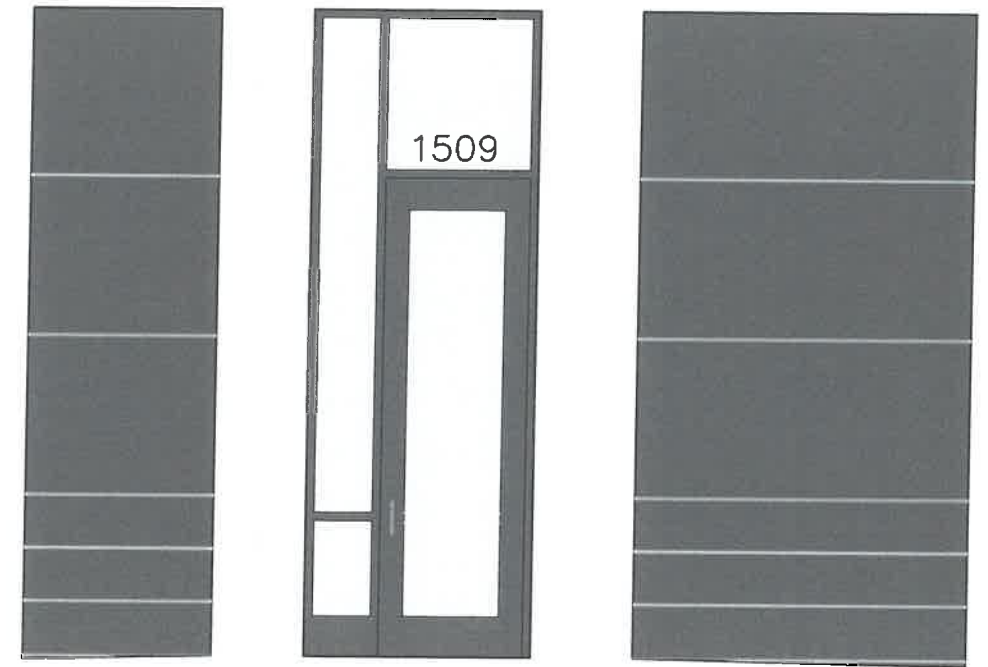
Phil's Steaks Restaurant
University Avenue 1509
Charlottesville, Virginia

Train Architects





Street Elevation



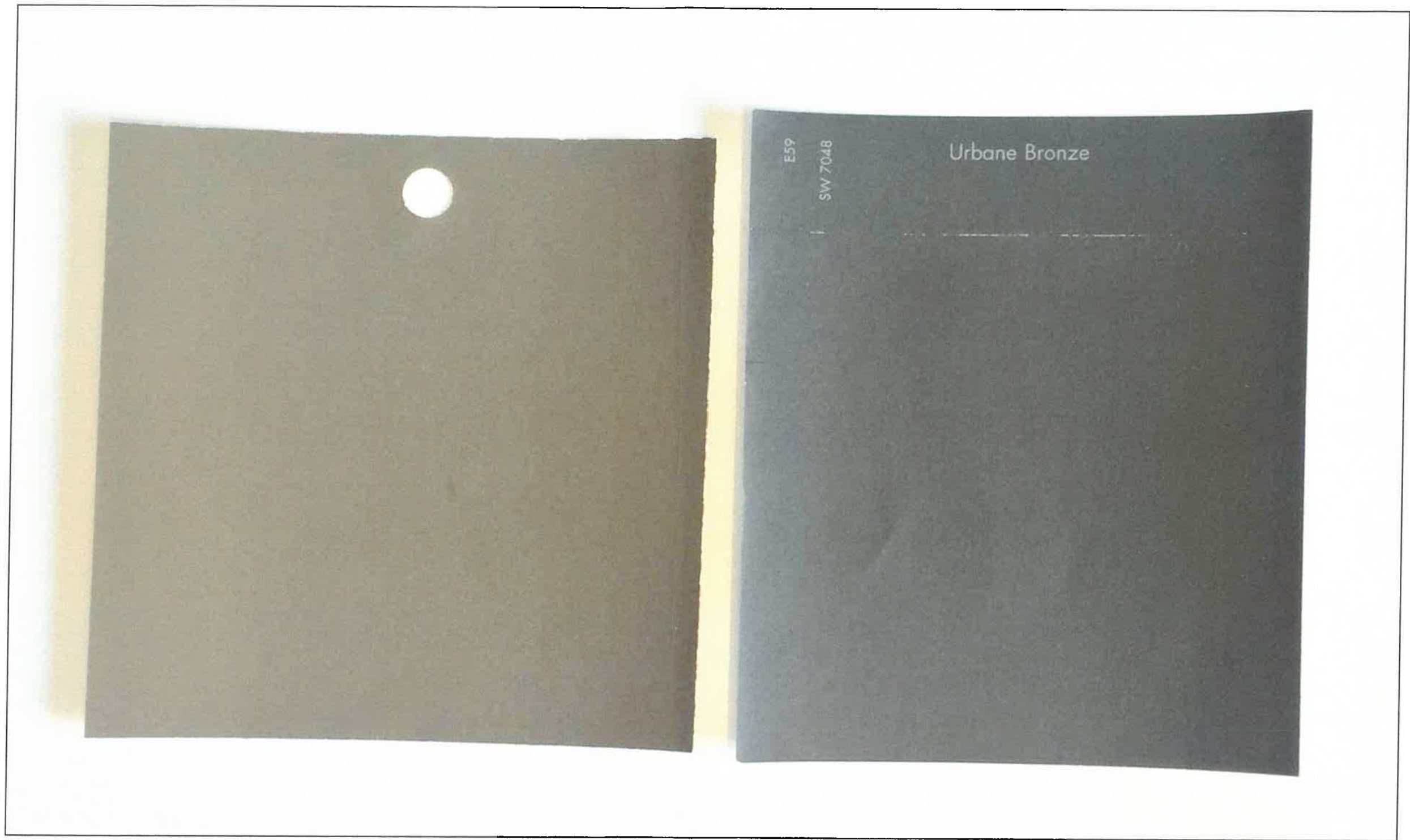
WEST NORTH EAST
Entry Vestibule

18 October 2016
Exterior Street Elevation
Scale: $\frac{1}{4}'' = 1'-0''$

Phil's Steaks Restaurant
University Avenue 1509
Charlottesville, Virginia

Train Architect





18 October 2016
Paint Samples
Scale: $\frac{1}{8}'' = 1'-0''$

Phil's Steaks Restaurant
University Avenue 1509
Charlottesville, Virginia

Train Architect



ATTACHED ARE MATERIALS PERTAINING TO (10 COPIES)
 THE APPLICATION REFERENCED BELOW

THANKS, BILL ADAMS



**Board of Architectural Review (BAR)
 Certificate of Appropriateness**

Please Return To: City of Charlottesville
 Department of Neighborhood Development Services
 P.O. Box 911, City Hall
 Charlottesville, Virginia 22902
 Telephone (434) 970-3130 Email scala@charlottesville.org

27 SEPT 2016

RECEIVED

Please submit ten (10) hard copies and one (1) digital copy of application form and all attachments.
 Please include application fee as follows: New construction project \$375; Demolition of a contributing structure \$375;
 Appeal of BAR decision \$125; Additions and other projects requiring BAR approval \$125; Administrative approval \$100.
 Make checks payable to the City of Charlottesville.
 The BAR meets the third Tuesday of the month.
 Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

SEP 27 2016
 NEIGHBORHOOD DEVELOPMENT SERVICES

Owner Name	<u>Amorgos LLC</u>	Applicant Name	<u>William Adams, Train Architects</u>
Project Name/Description	<u>Restaurant - renovation of facade and interior</u>		
Project Number	<u>090078100</u>		
Project Property Address	<u>1509 University Avenue, Charlottesville</u>		

Applicant Information

Address: William Adams, Train Architects
612 East Jefferson Street, Charlottesville, VA
 Email: wadams@trainarchitects.com
 Phone: (W) 434.293.2965 (C) _____

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

William Adams 26 JUNE 2016
 Signature Date

Property Owner Information (if not applicant)

Address: Amorgos, LLC c/o Terry Vassalos
PO Box 1849 Charlottesville, VA 22903
 Email: _____
 Phone: (W) _____ (C) _____

William Adams 26 June 2016
 Print Name Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

[Signature] 26 June 2016
 Signature Date

Holder of Lease with renovation permissions: Joseph Linzon
 Do you intend to apply for Federal or State Tax Credits for this project? No

Joseph Linzon 26 June 2016
 Print Name Date

Description of Proposed Work (attach separate narrative if necessary)
Renovation of 1960's clothing store facade
New more open facade allowing restaurant program more interaction with the street.

Interior renovation to suit new restaurant program.
 List All Attachments (see reverse side for submittal requirements):
Existing conditions drawings; new elevation and plan study; photographs of existing facade; historic photos - street views of the corner district.

For Office Use Only	Approved/Disapproved by: _____
Received by: _____	Date: _____
Fee paid: _____ Cash/Ck. # _____	Conditions of approval: _____
Date Received: _____	_____
Revised 2016	