

From: Scala, Mary Joy
Sent: Wednesday, October 25, 2017 4:41 PM
To: Paul Kent Dougherty (pkdougherty@gmail.com)
Subject: BAR Action - 128 Franklin Street- October 17, 2017

October 25, 2017

Franklin Street, LLC
1845 James Monroe Parkway
Charlottesville, VA 22902
ATTN: Paul Kent Dougherty

RE: Certificate of Appropriateness Application (Historic Conservation District)

BAR 17-10-02
128 Franklin Street
Tax Parcel 560114400
Franklin St, LLC, Owner/Kent Dougherty, Applicant
New Construction: new single family detached home

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on October 17, 2017. The following action was taken:

Schwarz moved: Having considered the standards set forth within the City Code, including Historic Conservation District Guidelines for New Construction and Additions, I move to find that the proposed new construction satisfies the BAR's criteria and is compatible with this property and other properties in the Woolen Mills Village Historic Conservation District, and that the BAR approves the application as submitted. Earnst seconded. Motion was approved (7-0).

This certificate of appropriateness shall expire in 18 months (April 17, 2019), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. You may request an extension of the certificate of appropriateness before this approval expires for one additional year for reasonable cause.

If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
October 17, 2017**



Certificate of Appropriateness Application (Historic Conservation District)

BAR 17-10-02

128 Franklin Street

Tax Parcel 560114400

Franklin St, LLC, Owner/Kent Dougherty, Applicant

New Construction: new single family detached home

Background

These vacant parcels are not contributing to the newly designated Woolen Mills Village Historic Conservation District. An attached photo shows the parcel's current state.

Application

The applicant is requesting to build a new single family detached home, approximately 28' x 46'. It is a two story house with a basement. The structure will have Hardiplank smooth lap siding in 6" exposure, primed and painted (color to be selected by the contractor), with new Timberline architectural shingles in slate color; the eaves and trim will be primed and painted white. The porch will have a metal standing seam roof (the color to be selected by the contractor.)

Criteria, Standards and Guidelines

Review Criteria Generally (Historic Conservation District)

Sec. 34-341 of the City Code states that

(a) In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the conservation district design guidelines; and
- (2) The proposal is incompatible with the historic, cultural or architectural character of the conservation district in which the property is located.

Pertinent Standards for Review of New Construction and Additions (Historic Conservation District) include:

- (1) Whether the form, height, scale, mass and placement of the proposed construction are visually and architecturally compatible with the site and the applicable conservation district;
- (2) The harmony of the proposed changes in terms of overall proportion and the size and placement of entrances and windows;
- (3) The impact of the proposed change on the essential architectural form and integrity of the existing building;
- (4) The effect, with respect to architectural considerations, of the proposed change on the conservation district neighborhood;
- (5) Any applicable provisions of the city's conservation district design guidelines.

Pertinent Design Review Guidelines for New Construction and Additions (Historic Conservation District)

Building Location – setback and spacing

1. Align a new building close to the average building setback line on the same street, if established, or consistent with the surrounding area.
2. Maintain average spacing between buildings on the same street.

Building Scale – height and massing

1. Keep the footprint, and massing of new buildings consistent with the neighborhood characteristics and compatible with the character of buildings on the same street.
2. Keep the height and width of new buildings within the prevailing average height and width. Exceptions up to 200% of the prevailing height and width may be approved by the BAR when contextually appropriate.
3. An addition needs to be perceived as an addition and therefore should not visually overpower the existing building in scale and design.
4. An accessory building should appear secondary to the main building in scale and design.
5. Larger buildings (commercial or multi-family) otherwise permitted by zoning should be designed and articulated to be compatible with the scale of the majority of adjacent buildings on the same street or block.

Building Form – roofs and porches

1. Roof forms should reference contributing buildings on the same street or surrounding area. Other roof forms may be approved by the BAR when contextually appropriate.
2. If many of the contributing buildings on the same street have porches, then it is strongly recommended that the design of a new residence includes a porch or similar form of similar width and depth.

Building Openings – orientation, doors and windows

1. A single entrance door (or main entrance of a multifamily dwelling) facing the street is recommended.
2. Window and door patterns and the ratio of solids (wall area) to voids (window and door area) of new buildings should be compatible with contributing buildings in the surrounding area.
3. Windows should be simple shapes compatible with those on contributing buildings, which are generally vertically oriented in residential areas.

Building Materials and Textures

1. The selection of materials and textures for a new building should relate architecturally to the district, and should be compatible with and complementary to neighboring buildings.
2. Long-lasting, durable and natural materials are preferred, including brick, wood, stucco, and cementitious siding and standing seam metal roofs. Clear glass windows (VLT of 70% or more) are preferred.

Building Paint

1. Painting unpainted brick or other masonry is discouraged because it is irreversible and may cause moisture problems.

Site

1. Fences or walls that abut a City street (or fences located in a side yard between a street and the front of the principal structure on a lot) should not exceed three and one-half feet in height.

Discussion and Recommendations

Staff suggests that, along with looking at the Standards and Guidelines for Review of New Construction and Alterations in a Conservation District, the BAR look at the architectural character-defining features that the neighborhood recommended for the Woolen Mills Village Historic Conservation District. The features that are pertinent are bolded in the list below.

- 1. Encourage one-story front porches;**
2. Encourage garages to be located in the rear yards;
- 3. The levels of a building's stories should be consistent with those on surrounding structures with respect to the natural grade [for example, a first floor should not be raised so that it is higher than most surrounding first floors];**
- 4. Do not exclude well-designed, new contemporary architecture [there may be misconception that only historic-looking new buildings are permitted];**
- 5. Encourage standing seam metal roofs;**
- 6. Maintain and encourage tree canopy [Maintain the existing tree canopy and encourage new large shade trees];**
7. Maintain neighborhood massing and form; encourage the use of sustainable materials
8. Encourage existing site features (wrought iron fencing, stone walls, shared streets)
9. Encourage good stewardship of Riverview Cemetery.

It should also be noted that only two structures can be seen from the empty parcels, the Woolen Mills Storage Facility (which is a single story), and 123 Franklin street (which is a two story, gable roof duplex structure.)

Suggested Motion

Having considered the standards set forth within the City Code, including Historic Conservation District Guidelines for New Construction and Additions, I move to find that the proposed new construction satisfies the BAR's criteria and is compatible with this property and other properties in the Woolen Mills Village Historic Conservation District, and that the BAR approves the application as submitted.



128
132

City BaseMap

Leake Ln

Leake St

Cambridge Ave

Franklin St

E Market St

Cambridge Ln



**Board of Architectural Review (BAR)
Conservation District - Certificate of Appropriateness**

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Email scala@charlottesville.org

RECEIVED

SEP 26 2017

Please submit ten (10) hard copies and one (1) digital copy of application form and all attachments. **NEIGHBORHOOD DEVELOPMENT SERVICES**

Please include application fee as follows: New construction project \$375; Demolition of a contributing structure \$375; Appeal of BAR decision regarding new construction or demolition \$125. Make checks payable to the City of Charlottesville.

No fee required for: Additions and other projects requiring BAR approval and not listed above; Administrative approvals; Appeals of BAR decisions if the original application was not subject to an application fee.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

Project Name/Description	Franklin Street Residence	Parcel Number	560114400
Project Address/Location	128 FRANKLIN STREET		
Owner Name	Franklin St, LLC	Applicant Name	Kent Dougherty

Applicant Information

Address: 1845 James Monroe Pkwy
Charlottesville, VA 22902
Email: pkdougherty@gmail.com
Phone: (W) 434-466-9435 (H)

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

[Signature] 9/26/17
Signature Date

Paul Kent Dougherty 9/26/17
Print Name Date

Property Owner Information (if not applicant)

Address: _____
Email: _____
Phone: (W) _____ (H) _____

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Signature _____ Date _____

Print Name _____ Date _____

Description of Proposed Work (attach separate narrative if necessary): New single family detached home

List All Attachments (see reverse side for submittal requirements):

Construction plans, 10 sets, 11 x 17

For Office Use Only

Received by: *[Signature]*
Fee paid: 375⁰⁰ Cash/Ck. # 1008
Date Received: 9/26/17

Approved/Disapproved by: _____

Date: _____

Conditions of approval: _____

Revised April 2017

FRANKLIN STREET RESIDENCE

CHARLOTTESVILLE, VA



CONTACT: BOB PINEO
TEL: 434-806-8365
E: bob@designdevelopllc.com

CONTRACTOR REVIEW SET
September 25, 2017

FRANKLIN STREET LLC.
FRANKLIN STREET RESIDENCE
CHARLOTTESVILLE, VA



1 FRONT PERSPECTIVE
CS.1



2 INTERIOR PERSPECTIVE
CS.1

PROJECT TEAM	
OWNER	FRANKLIN STREET CORP. CONTACT: KENT DOUGHERTY PHONE: (434)466-9435 EMAIL: PKDOUGHERTY@GMAIL.COM
ARCHITECT	DESIGN DEVELOP LLC CONTACT: ROBERT (BOB) PINEO, R.A. PHONE: 434.806.8365 EMAIL: BOB@DESIGNDEVELOP.LLC.COM
GENERAL CONTRACTOR	STRATA PROJECTS LLC. CONTACT: KENT DOUGHERTY PHONE: 434-466-9435 EMAIL: PKDOUGHERTY@GMAIL.COM

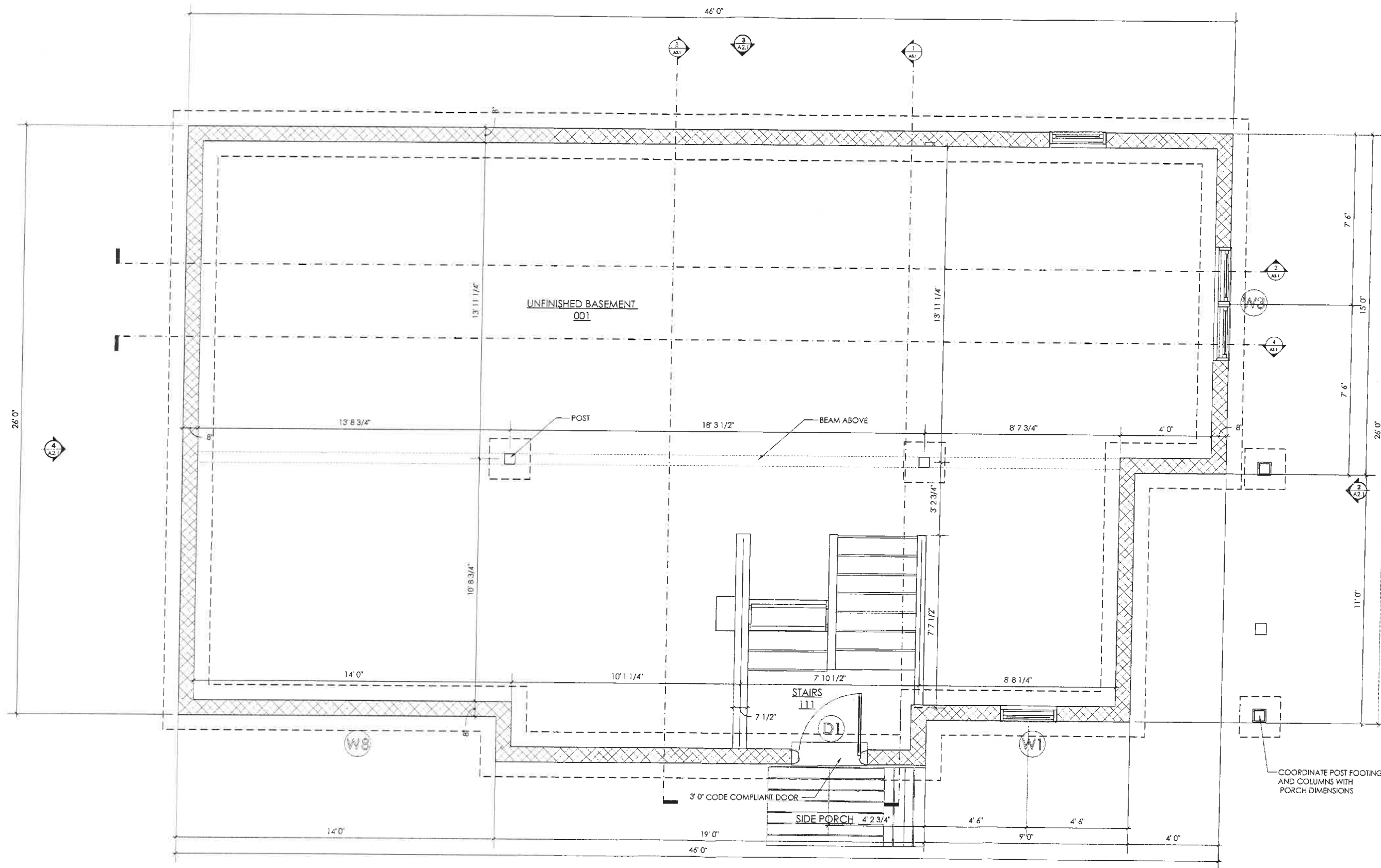
DRAWING LIST		REVISION DATE:			
CS.1	COVER SHEET				
CS.2	NOTES				
SP1	SITE PLAN				
A1.1	FOUNDATION PLAN - OPTION A				
A1.2	FOUNDATION PLAN - OPTION B				
A1.3	MAIN LEVEL PLAN				
A1.4	SECOND FLOOR PLAN - OPTION A				
A1.5	SECOND FLOOR PLAN - OPTION B				
A2.1	EXTERIOR ELEVATIONS				
A3.1	BUILDING SECTIONS				
A4.1	INTERIOR DETAILS				
A5.1	SCHEDULES				
A6.1	ROOM FINISH SCHEDULE				
E1.1	ELECTRICAL PLANS				

CS.1 - COVER SHEET

ISSUE DATE:
September 25, 2017

CS.1

SHEET # 1 OF 13



1
A1.1 FOUNDATION PLAN - OPTION A
1/2" = 1'-0"

NOTES:
1. ALL WINDOW AND DOOR DIMENSIONS TO CENTERLINE OF WINDOW OR CENTERLINE OF MULLION WHEN DOUBLE-MULLED
2. ALL INTERIOR DIMENSIONS TO CENTERLINE OF FRAMING UNLESS OTHERWISE NOTED

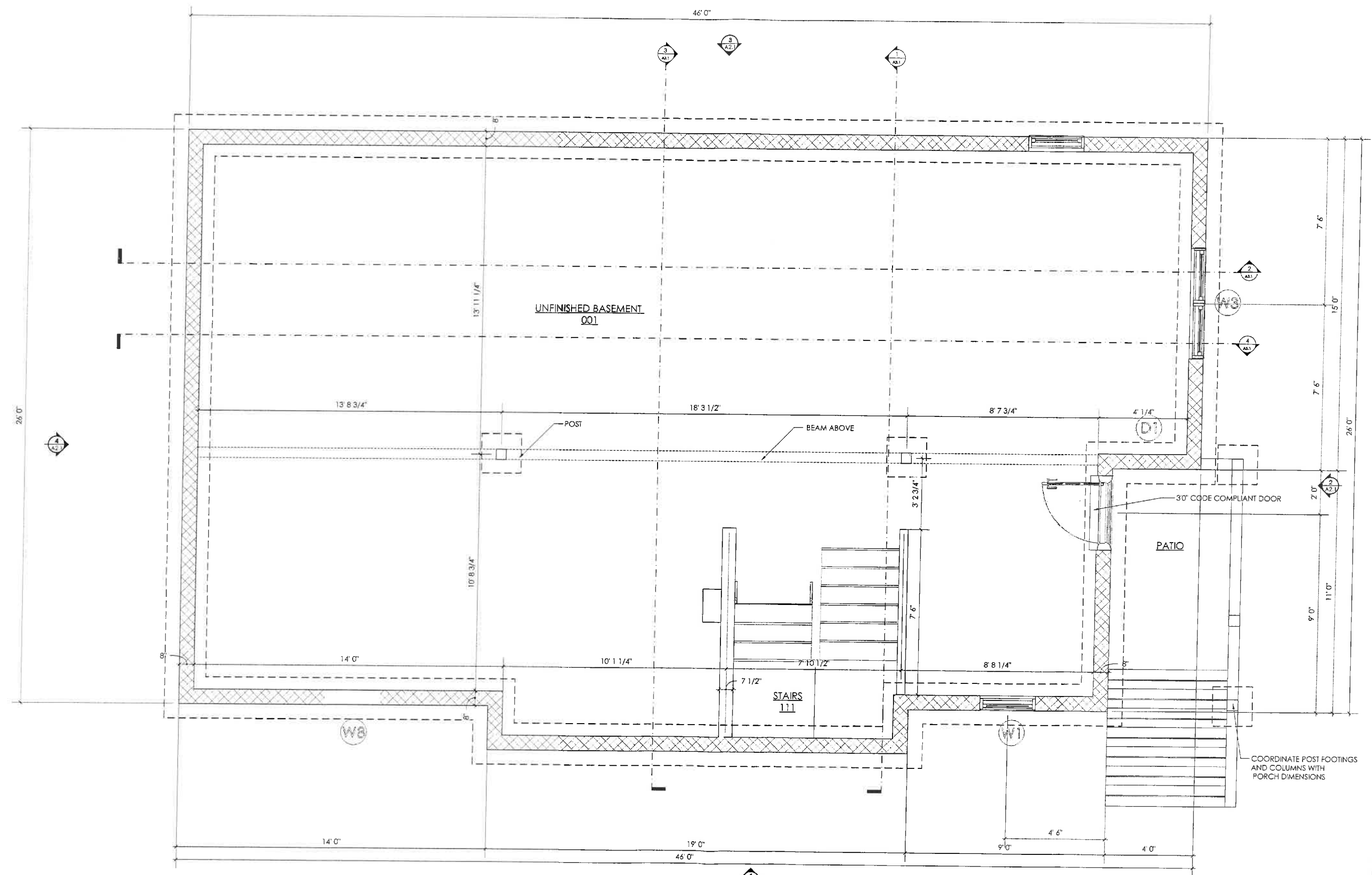
NOTES:
CONTRACTOR TO CHOOSE FOUNDATION PLAN. SEE PAGES A1.1 AND A1.2.

A1.1 - FOUNDATION PLAN - OPTION A

ISSUE DATE:
September 25, 2017

A1.1

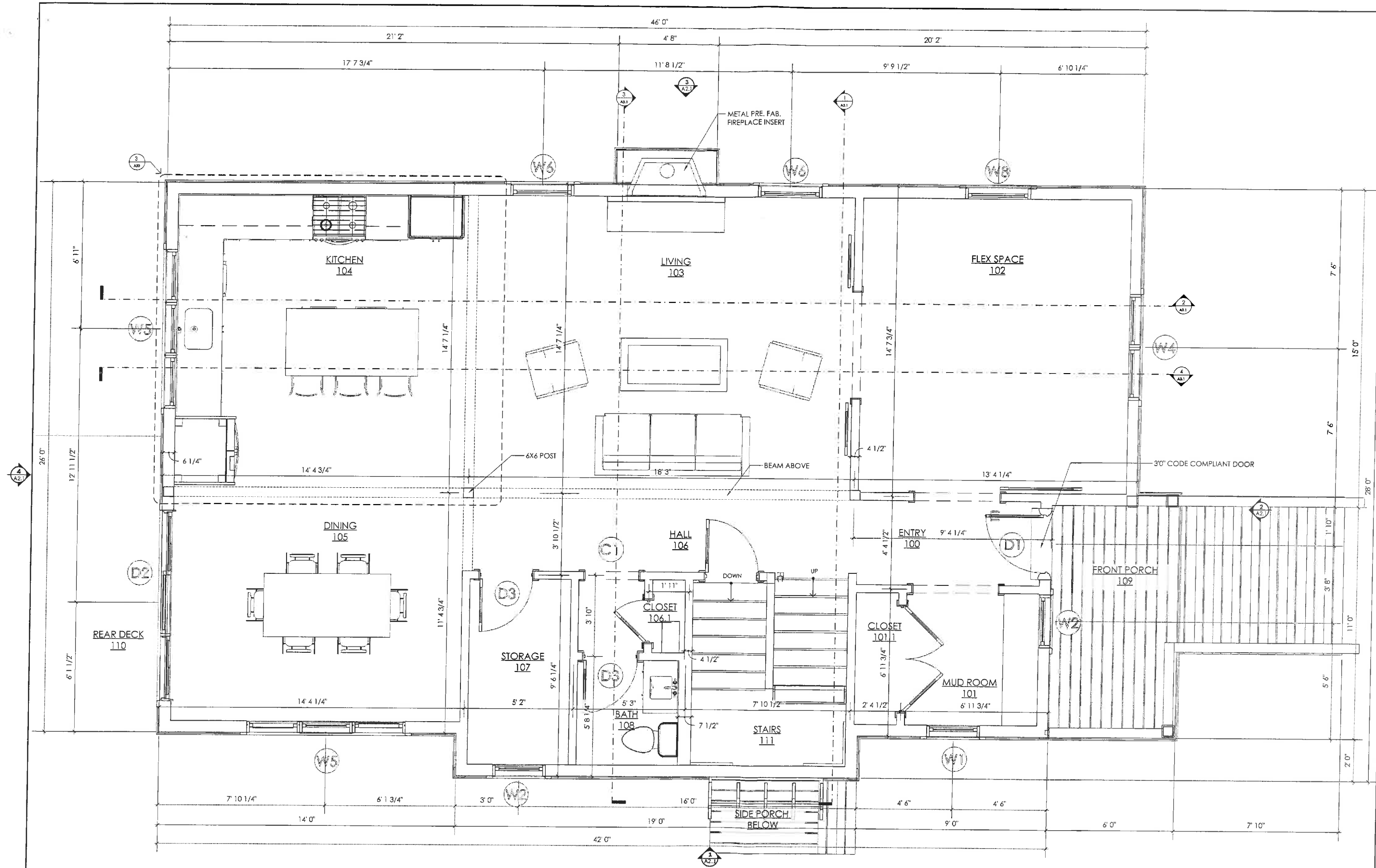
SHEET # 5 OF 13



1
A1.2 FOUNDATION PLAN - OPTION B
 1/2" = 1'-0"

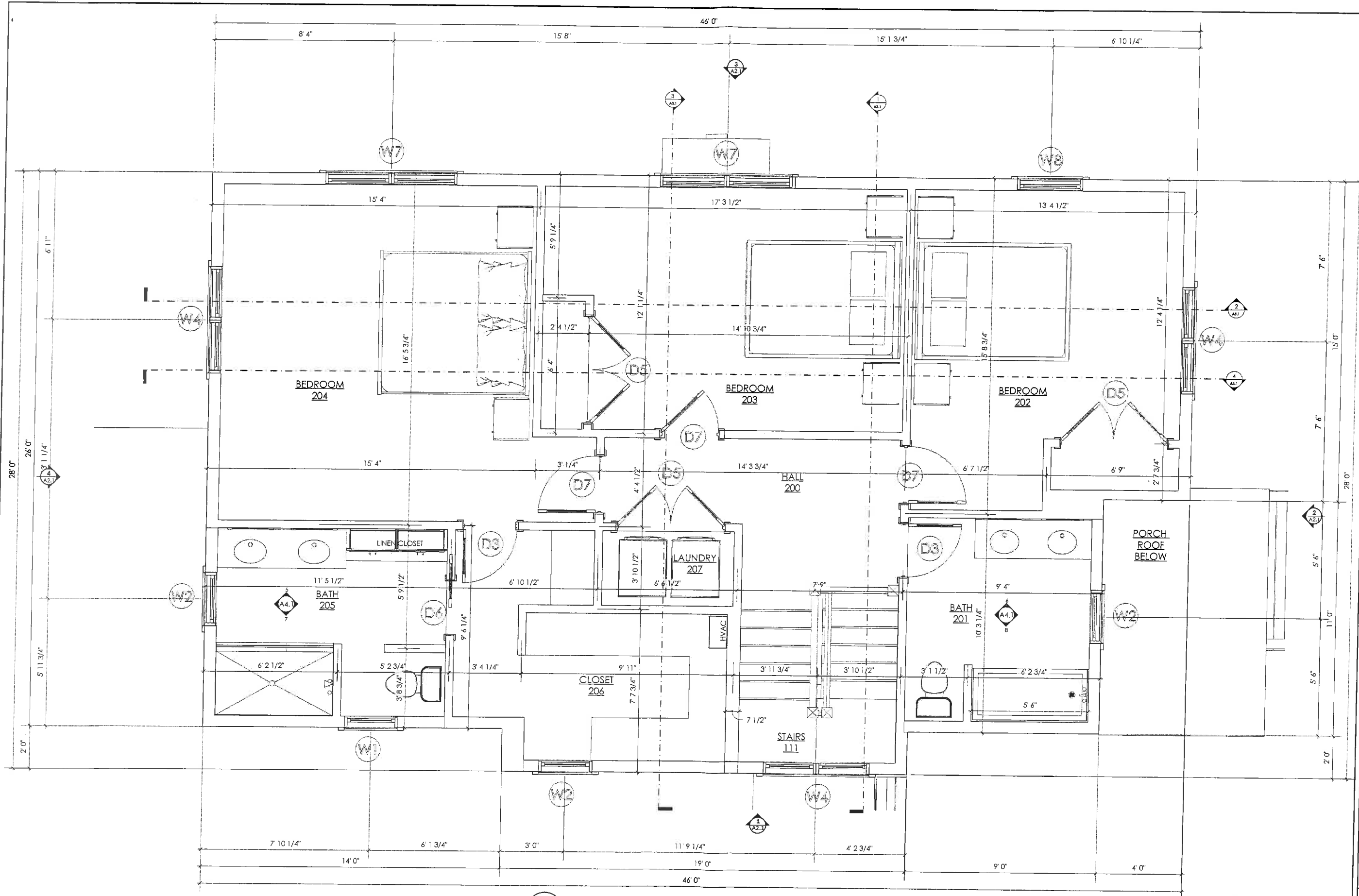
- NOTES:**
 1. ALL WINDOW AND DOOR DIMENSIONS TO CENTERLINE OF WINDOW OR CENTERLINE OF MULLION WHEN DOUBLE-MULLED
 2. ALL INTERIOR DIMENSIONS TO CENTERLINE OF FRAMING UNLESS OTHERWISE NOTED

NOTES:
 CONTRACTOR TO CHOOSE FOUNDATION PLAN, SEE PAGES A1.1 AND A1.2.



1 MAIN LEVEL PLAN
A1.3 1/2" = 1'-0"

- NOTES:**
1. ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING
 2. ALL WINDOW AND DOOR DIMENSIONS TO CENTERLINE OF WINDOW OR CENTERLINE OF MULLION WHEN DOUBLE-MULLED
 3. ALL INTERIOR DIMENSIONS TO CENTERLINE OF FRAMING
 4. ALL EXTERIOR WALLS 2X6
 5. ALL INTERIOR WALLS 2X4 UNLESS OTHERWISE NOTED



1 SECOND FLOOR PLAN - OPTION A
 A1.4 1/2" = 1'-0"

- NOTES:**
1. ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING
 2. ALL WINDOW AND DOOR DIMENSIONS TO CENTERLINE OF WINDOW OR CENTERLINE OF MULLION WHEN DOUBLE-MULLED
 3. ALL INTERIOR DIMENSIONS TO CENTERLINE OF FRAMING
 4. ALL EXTERIOR WALLS 2X6
 5. ALL INTERIOR WALLS 2X4 UNLESS OTHERWISE NOTED

NOTES:
 CONTRACTOR TO CHOOSE SECOND FLOOR PLAN. SEE PAGES A1.4 AND A1.5.

A1.4 - SECOND FLOOR PLAN - OPTION A

ISSUE DATE:
 September 25, 2017

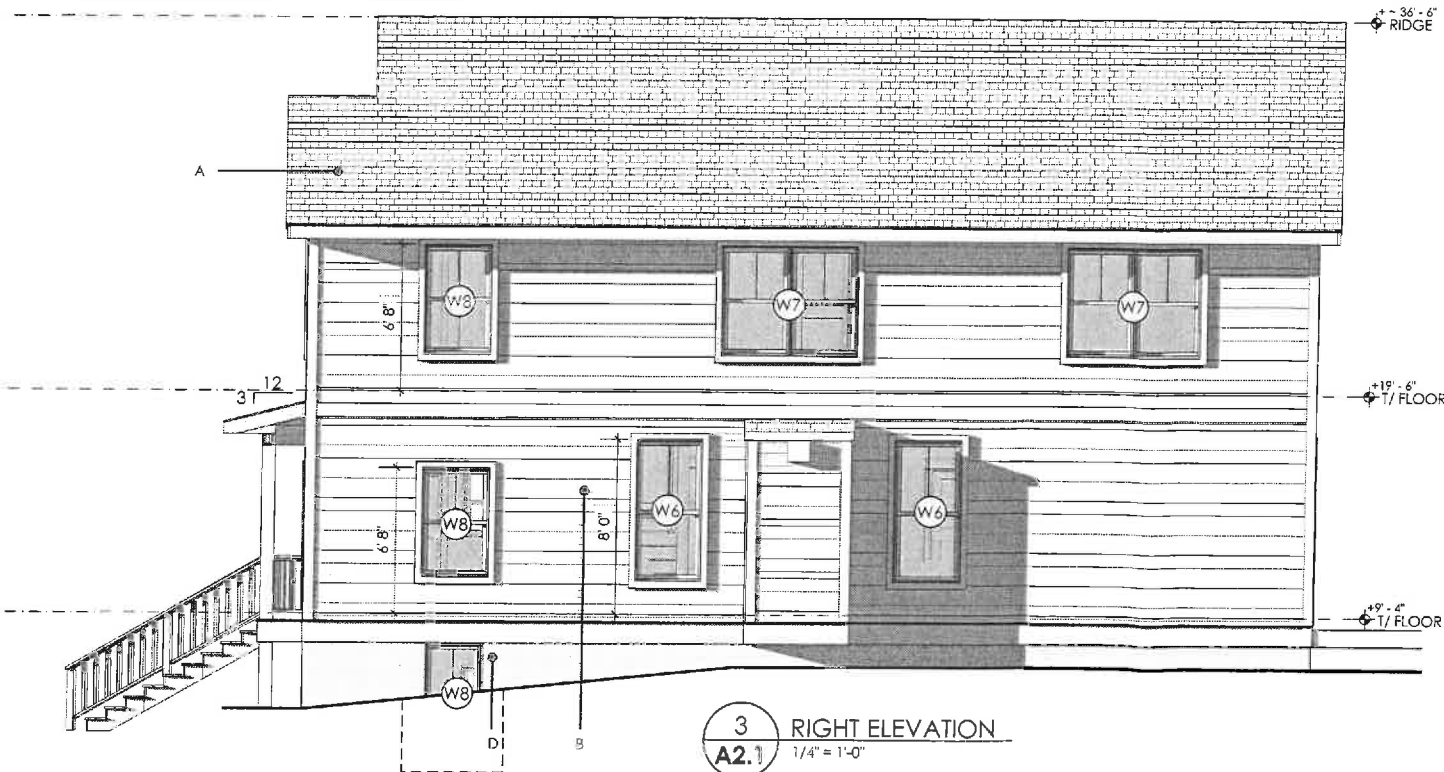
A1.4
 SHEET # 8 OF 13



EXTERIOR MATERIAL KEY:		
LETTER	SYMBOL	DESCRIPTION
A		NEW TIMBERLINE ARCHITECTURAL SHINGLES IN SLATE; EAVES AND TRIM PRIMED AND PAINTED WHITE
B		HARDIEPLANK SMOOTH LAP SIDING IN 6" EXPOSURE, PRIMED AND PAINTED (COLOR TO BE SELECTED BY CONTRACTOR) - PROVIDE NEW VAPOR BARRIER AS REQ'D
C		METAL STANDING SEAM ROOF - COLOR TO BE SELECTED BY CONTRACTOR
D		PARGED AND PAINTED FOUNDATION - REPAIR AS NEEDED

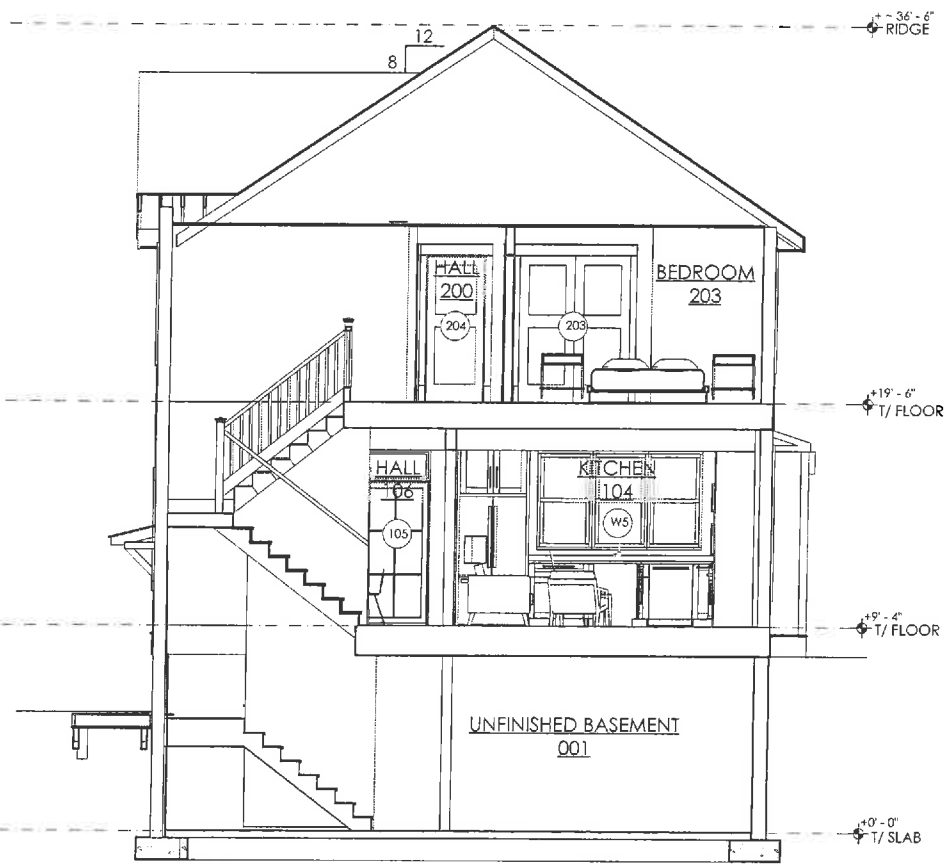
1 LEFT ELEVATION
A2.1
1/4" = 1'-0"

2 FRONT ELEVATION
A2.1
1/4" = 1'-0"

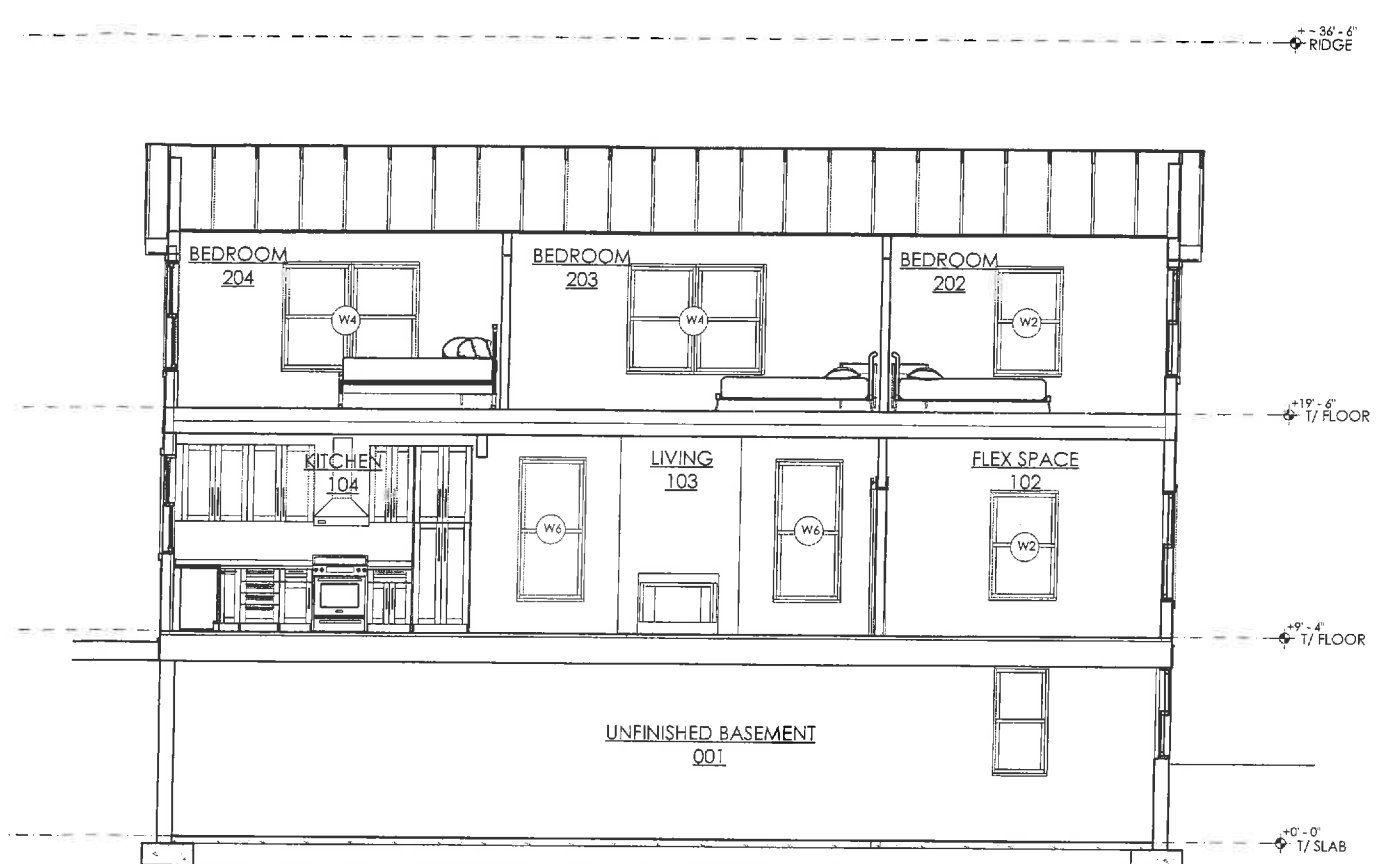


3 RIGHT ELEVATION
A2.1
1/4" = 1'-0"

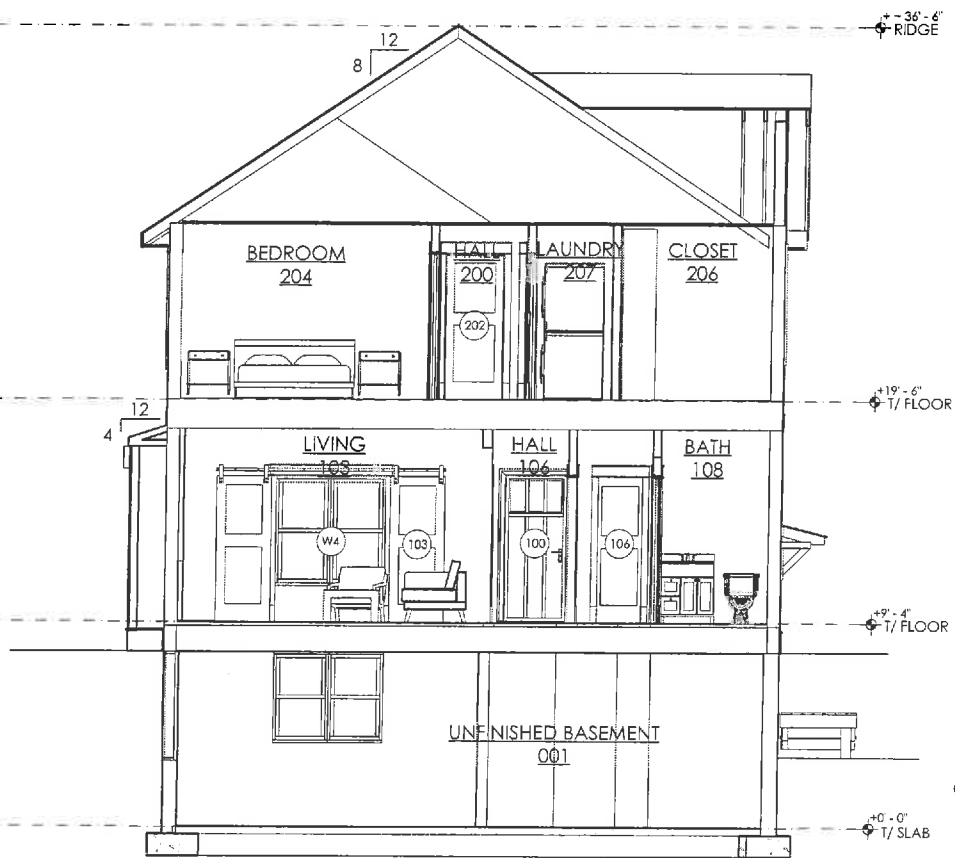
4 REAR ELEVATION
A2.1
1/4" = 1'-0"



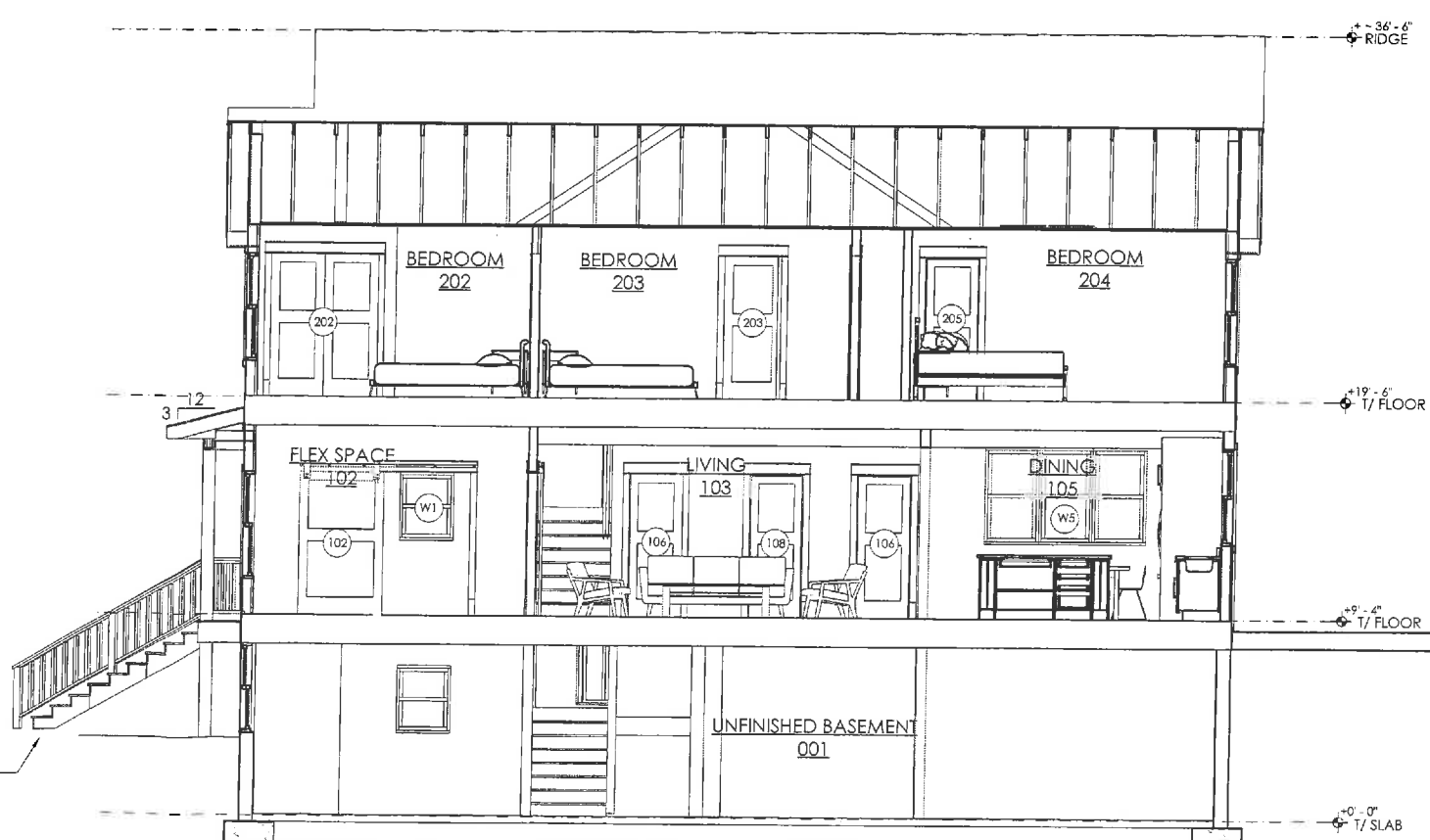
1 FRONT SECTION
A3.1 1/4" = 1'-0"



2 LEFT SECTION
A3.1 1/4" = 1'-0"



3 REAR SECTION
A3.1 1/4" = 1'-0"



4 RIGHT SECTION
A3.1 1/4" = 1'-0"



134 Franklin Street



Neighboring properties:
West side of Franklin Street



Location map



View east towards lot



Franklin Street



View west towards self storage

Setbacks:
Front: 25'
Side: 5'
Rear: 25'



128 & 132 Franklin Street