

## Lasley, Timothy G

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**From:** Lasley, Timothy G  
**Sent:** Thursday, July 18, 2019 12:07 PM  
**To:** joshb@elementbuild.com  
**Cc:** Werner, Jeffrey B  
**Subject:** BAR Action - July 16, 2019 - 872 Locust Avenue

July 18, 2019

### **Certificate of Appropriateness (Historic Conservation)**

BAR 19-07-06  
872 Locust Avenue  
Tax Parcel 510094000  
Michael & Monica Prichard, Owner/Josh Bontrager (Element Construction), Applicant  
Construct New Garage and Site Alterations

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on July 16, 2019. The following action was taken:

**Motion: Lahendro moved having considered the standards set forth within the City Code, including Historic Conservation District Guidelines, I move to find that the proposed garage and site modifications satisfy the BAR's criteria and are compatible with this property and other properties in the Martha Jefferson Historic Conservation District, and that the BAR approves the application as submitted. Sarafin seconded. Approved (6-0-1 with Ball recused).**

If you would like to hear the specifics of the discussion, the meeting video is on-line at:

[http://charlottesville.granicus.com/MediaPlayer.php?view\\_id=2&clip\\_id=1377](http://charlottesville.granicus.com/MediaPlayer.php?view_id=2&clip_id=1377)

This certificate of appropriateness shall expire in 18 months (January 16, 2021), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. You may request an extension of the certificate of appropriateness before this approval expires for one additional year for reasonable cause.

If you have any questions, please contact either myself, or Jeff Werner at 434-970-3130 or [wernerjb@charlottesville.org](mailto:wernerjb@charlottesville.org).

Sincerely yours,  
Tim Lasley

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### **Tim Lasley**

Acting Assistant Historic Preservation and Design Planner  
City of Charlottesville | Neighborhood Development Services  
University of Virginia | Class of 2020  
School of Architecture

Phone: (434)-970-3398

Email: [lasleyt@charlottesville.org](mailto:lasleyt@charlottesville.org)



**CITY OF CHARLOTTESVILLE  
BOARD OF ARCHITECTURAL REVIEW  
STAFF REPORT  
July 16, 2019**



**Certificate of Appropriateness Application (Historic Conservation District)**

BAR 19-07-06

872 Locust Avenue

Tax Parcel 510094000

Michael & Monica Prichard, Owner/Josh Bontrager (Element Construction), Applicant  
Construct New Garage and Site Alterations



**Background**

Constructed in 1906 for Widow Sallie Rives, this two-story Late-19th and Early-20th Century American Movement style house is a contributing structure within the Martha Jefferson Historic Conservation District. The house features a hipped roof and a porch that wraps the north and south facing facades. (Historic Survey attached.)

Note: The 2010 map for the Martha Jefferson Neighborhood HC District indicates two, small contributing structures in the rear yard. (The survey lists two sheds.) However, these no longer exist.

**Application**

Applicant Submitted:

- Element Construction submittal dated June 25, 2019: Project narrative, master site/landscape plan, proposed garage set cover (sheet T1.0; dated 6/18/2019), proposed garage plans (sheets A1.0 – A1.3; dated 6/18/2019), proposed garage elevations (sheets A2.0-A2.1; dated 6/18/2019), proposed garage sections (sheets A3.0-A3.1; dated 6/18/2019), project details (sheets A5.0 and MEP1.0; dated 6/18/2019), and site photos and context.

Construction of a two-car, two-story garage at the right rear (south) of the house and modifications to the existing landscaping.

Garage:

- Footprint of approximately 24-ft x 24-ft.
- Hipped roof with two dormers over the two-story portion; over the single-story segment the hipped roof mimics that of the house's porch.
- Exterior walls will have a 4-ft section of brick (matching the house) with Hardie Artisan siding above.
- Roofing to be standing-seam metal, matching the house.
- Entry Doors: Therma-Tru Steel Doors
- Garage Doors: Madison 5411 Chi Cedar Paneled Garage Door

- Windows: Solid Wood Clad Marvin Integrity Wood Ultrex Casement

Landscaping:

- At the brick wall at the front sidewalk remove a 4-ft section creating an entry with a single riser leading to a new walkway (either brick or bluestone) to the house. Where bricks are removed, the exposed ends will be finished to match the existing ends of the wall.
- At the existing brick parking pad located at the front of the house, replace the bricks with grass.

**Discussion**

Staff finds the proposed garage and site modifications appropriate and recommend approval.

**Suggested Motions**

Approval: Having considered the standards set forth within the City Code, including Historic Conservation District Guidelines, I move to find that the proposed garage and site modifications satisfy the BAR’s criteria and are compatible with this property and other properties in the Martha Jefferson Historic Conservation District, and that the BAR approves the application as submitted.

(or with the following modifications...)

Denial: Having considered the standards set forth within the City Code, including Historic Conservation District Guidelines, I move to find that the proposed garage and site modifications do not satisfy the BAR’s criteria and are not compatible with this property and other properties in the Martha Jefferson Historic Conservation District, and that the BAR denies the application as submitted.

**Criteria, Standards, and Guidelines**

**Review Criteria Generally**

Sec. 34-284(b) of the City Code states that, in considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.

**Pertinent Standards for Review of Construction and Alterations include:**

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
- (4) The effect of the proposed change on the historic district neighborhood;
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
- (7) Any applicable provisions of the City’s Design Guidelines.

**Factors for Considering Demolitions within Historic Conservation Districts**

The following factors shall be considered in determining whether or not to permit the demolition, partial demolition, encapsulation, or moving of a contributing structure:

1. The age of the structure or building;
2. Whether it has been listed on the National Register of Historic Places, or the Virginia Landmarks Register;
3. Whether, and to what extent, the building or structure is associated with an historic person, architect or master craftsman, or with an historic event;
4. Whether the building or structure, or any of its features, represent an infrequent or the first or last remaining example within the city of a particular architectural style or feature;
5. The degree to which distinguishing characteristics, qualities, features or materials remain;
6. Whether, and to what extent, a contributing structure is linked, historically or aesthetically, to other buildings or structures within the conservation district; and whether the proposed demolition would affect adversely or positively the character and continuity of the district;
7. The overall condition and structural integrity of the building or structure, as indicated by a study prepared by a qualified professional engineer and provided by the applicant (may be waived if primary residence of applicant); or other information provided to the board;
8. Whether, and to what extent, the applicant proposes to preserve portions, features or materials that are significant to the property's historic, architectural or cultural value;
9. The public necessity of the proposed demolition and the public purpose or interest in buildings to be protected.

### **Pertinent Guidelines on New Construction and Additions (Historic Conservation)**

#### **Building Location – setback and spacing**

1. Align a new building close to the average building setback line on the same street, if established, or consistent with the surrounding area.
2. Maintain average spacing between buildings on the same street.
3. Building Scale – height and massing
4. Keep the footprint, and massing of new buildings consistent with the neighborhood characteristics and compatible with the character of buildings on the same street.
5. Keep the height and width of new buildings within the prevailing average height and width. Exceptions up to 200% of the prevailing height and width may be approved by the BAR when contextually appropriate.
6. An addition needs to be perceived as an addition and therefore should not visually overpower the existing building in scale and design.
7. An accessory building should appear secondary to the main building in scale and design.
8. Larger buildings (commercial or multi-family) otherwise permitted by zoning should be designed and articulated to be compatible with the scale of the majority of adjacent buildings on the same street or block.

#### **Building Form – roofs and porches**

1. Roof forms should reference contributing buildings on the same street or surrounding area. Other roof forms may be approved by the BAR when contextually appropriate.
2. If many of the contributing buildings on the same street have porches, then it is strongly recommended that the design of a new residence includes a porch or similar form of similar width and depth.

#### **Building Openings – orientation, doors and windows**

1. A single entrance door (or main entrance of a multifamily dwelling) facing the street recommended.
2. Window and door patterns and the ratio of solids (wall area) to voids (window and door area) of new buildings should be compatible with contributing buildings in the surrounding area.
3. Windows should be simple shapes compatible with those on contributing buildings, which are generally vertically oriented in residential areas.

### Building Materials and Textures

1. The selection of materials and textures for a new building should relate architecturally to the district, and should be compatible with and complementary to neighboring buildings.
2. Long-lasting, durable and natural materials are preferred, including brick, wood, stucco, and cementitious siding and standing seam metal roofs. Clear glass windows (VLT of 70% or more) are preferred.

### Building Paint

1. Painting unpainted brick or other masonry is discouraged because it is irreversible and may cause moisture problems.

### **Pertinent Guidelines for the Martha Jefferson Historic Conservation District**

#### Architectural character-defining features:

1. Encourage one-story front porches;
2. Encourage garages to be located in the rear yards;
3. The levels of a building's stories should be consistent with those on surrounding structures with respect to the natural grade [for example, a first floor should not be raised so that it is higher than most surrounding first floors];
4. Do not exclude well-designed, new contemporary architecture [there may be a misconception that only historic-looking new buildings are permitted];
5. Encourage standing seam metal roofs;
6. Maintain and encourage tree canopy [Maintain the existing tree canopy and encourage new large shade trees];
7. The following Historic Conservation Overlay District Design Guidelines are especially pertinent: maintain neighborhood massing and form; encourage the use of sustainable materials; and limit the height of fences in front yards to 3 ½ feet in height.
8. Regarding the future development of the hospital properties, the neighborhood's focus has been: not to tear down the old houses; to encourage low density residential development north of Taylor Walk (with the suggestion that Taylor Street be reinstated); and to expect the High Street area to develop as a sensitively designed, high-quality, mixed use development;
9. Encourage good stewardship of Maplewood Cemetery.



## 872 Locust Avenue



**TM/P: 51/94**

**DHR: 104-5144-0122**

**Primary Resource Information: Single Dwelling, Stories 2.00, Style: Late 19<sup>th</sup> and Early 20<sup>th</sup> Century American Movement, 1906**

August 2007: Reminiscent of Locust Grove and 824 Locust Avenue, this two-story, three-bay, common bond brick house was constructed in 1906 by widow Sallie Rives. The hipped-roof dwelling has a porch that is approached by three low brick steps and stretches across the entire facade, wraps around the north-south elevation, and continues off the south elevation to create a port cochère. The hipped-roof porch is supported by a series of slender Tuscan columns and has a deep overhang with exposed rafter ends. The door is located in the central bay with sidelights and a single-light transom, both retaining original stained glass. A single, oversized, one/one-sash window occupies each of the other two bays of the 1<sup>st</sup> floor. While the north and south bays of the west-facing facade's 2<sup>nd</sup> floor have identical one/one-sash windows, the central bay of the 2<sup>nd</sup> story has a slightly smaller version. All of the windows have louvered shutters. The house has a prominent cornice and the roof overhangs with exposed, oversized rafter ends. The roof is covered in asphalt shingles, features a hipped-roof dormer with two casement windows in the center of the facade, and has a chimney visible on both sides. A small, frame, semi-hexagonal bay window is attached to the 2<sup>nd</sup> story of the north elevation, while a brick, semi-hexagonal bay emerges out of the south elevation, behind the port cochère and features full-size windows. Both the roof of the porch and the house itself are covered in asphalt shingles. A one-story addition is flush with the north elevation.

*Individual Resource Status:* **Single Dwelling**

**Contributing Total: 1**

*Individual Resource Status:* **Shed**

**Contributing Total: 2**





# Board of Architectural Review (BAR) Conservation District - Certificate of Appropriateness

Please Return To: City of Charlottesville  
Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130

Please submit ten (10) hard copies and one (1) digital copy of application form and all attachments.

Please include application fee as follows: New construction project \$375; Demolition of a contributing structure \$375; Appeal of BAR decision \$125; Additions and other projects requiring BAR approval \$125; Administrative approval \$100. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

Project Name/Description	<u>Prichard Garage &amp; Landscaping</u>	Parcel Number	<u>510094000</u>
Project Address/Location	<u>872 Locust Ave. Charlottesville, VA 22902</u>		
Owner Name	<u>Michael &amp; Monica Prichard</u>	Applicant Name	<u>Element Construction, LLC</u>

### Applicant Information

Address: 101 E. High Street  
Charlottesville, VA 22902  
Email: joshb@elementbuild.com  
Phone: (W) 985.960.0372 (H) \_\_\_\_\_

### Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct.

*Josh Bontrager* 6/25/19  
Signature Date

Josh Bontrager 06/25/2019  
Print Name Date

### Property Owner Information (if not applicant)

Address: 872 Locust Ave.  
Charlottesville, VA 22902  
Email: michael\_prichard@me.com  
Phone: (W) \_\_\_\_\_ (H) \_\_\_\_\_

### Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

*Monica Prichard* 6/25/19  
Signature Date

Monica Prichard \_\_\_\_\_  
Print Name Date

**Description of Proposed Work (attach separate narrative if necessary):** Construction of a two-car garage; eliminating a 48" section of masonry wall to create sidewalk access leading to the front door; eliminating brick parking spot in front yard.

### **List All Attachments (see reverse side for submittal requirements):**

Written description, site plan, garage plans and elevations, photographs of locations of proposed work.

<b>For Office Use Only</b>	Approved/Disapproved by: _____
Received by: _____	Date: _____
Fee paid: _____ Cash/Ck. # _____	Conditions of approval: _____
Date Received: _____	_____
<i>Revised April 2017</i>	



## **872 Locust Ave. City of Charlottesville – Written Description for BAR Submission**

Element Construction is planning on building a garage based on plans drafted by Rosney Co. Architects and hardscape work designed by Red Clay Landscape Architects.

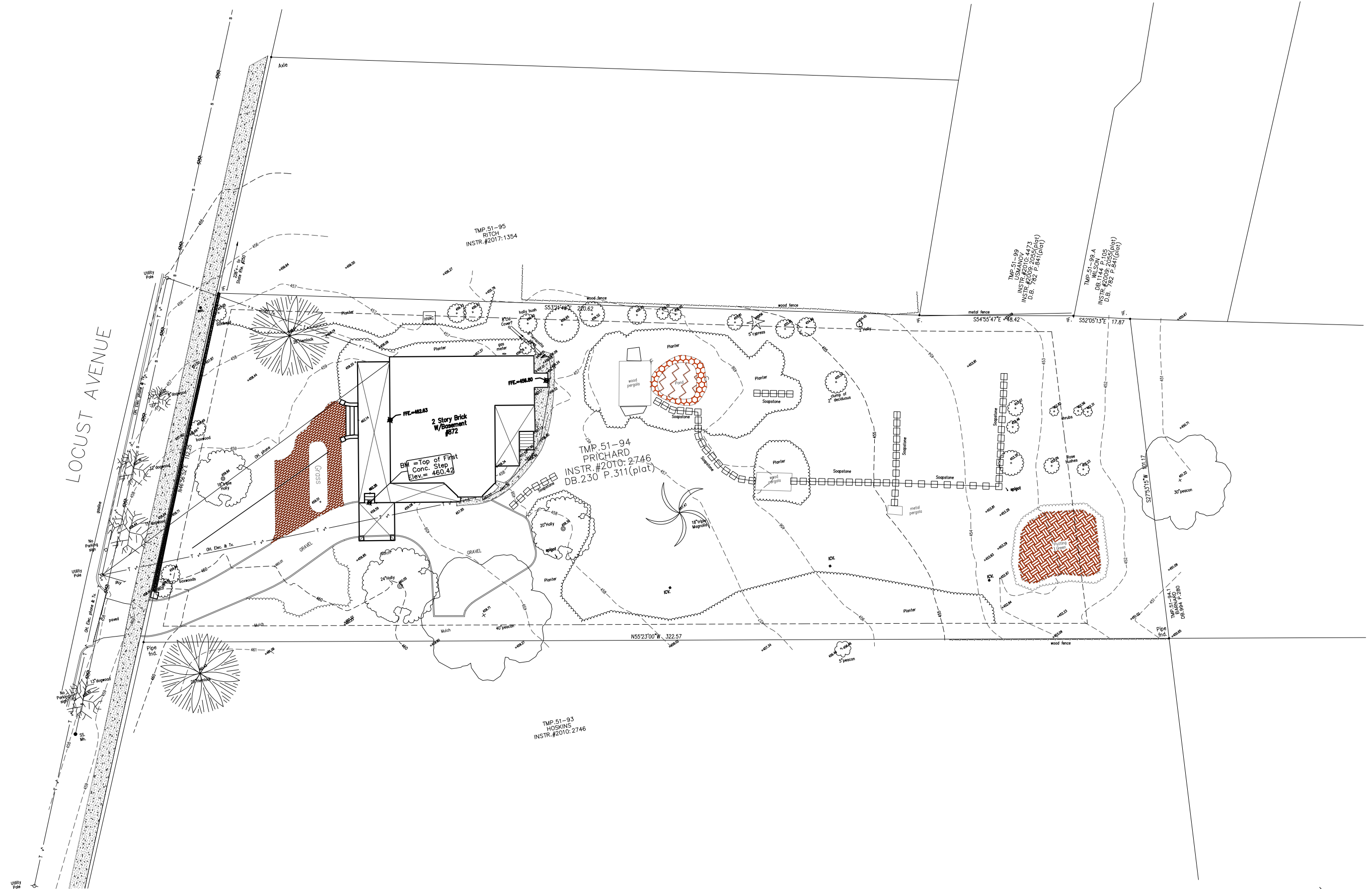
The garage will be a two-car garage with an awning over the garage doors and a front-facing dormer. The garage doors are planned as wood-overlay, double-glass, Madison carriage-house style doors. Exterior finishes are planned as Hardie Artisan siding and a standing seam metal roof to match the existing main house in color and design. Gutters are planned as 5" or 6" 0.032 aluminum, half round gutters and 4" round downspouts hung with Berger Brothers combination hangers mounted to fascia. Windows are planned as Marvin casement, clad windows, with 5/8" bronze, SDL muntin bars, and bronze hardware. Lighting will not be visible from the street. The front-facing brick veneer will be made approximate the main house brick in texture, size, and color. The garage apron will be made of salvaged cobblestone from the salvage stone from the parking court edging.

The hardscape changes will include an elimination of a 48" section of the existing brick wall along the public sidewalk with wall ends to match the existing. There will be a single-step brick riser leading to either a brick or bluestone paver path to the front steps of the main house. The brick parking spot in the front yard is planned on being eliminated and replaced with grass.









TMP. 51-95  
RITCHI  
INSTR. #2017:1354

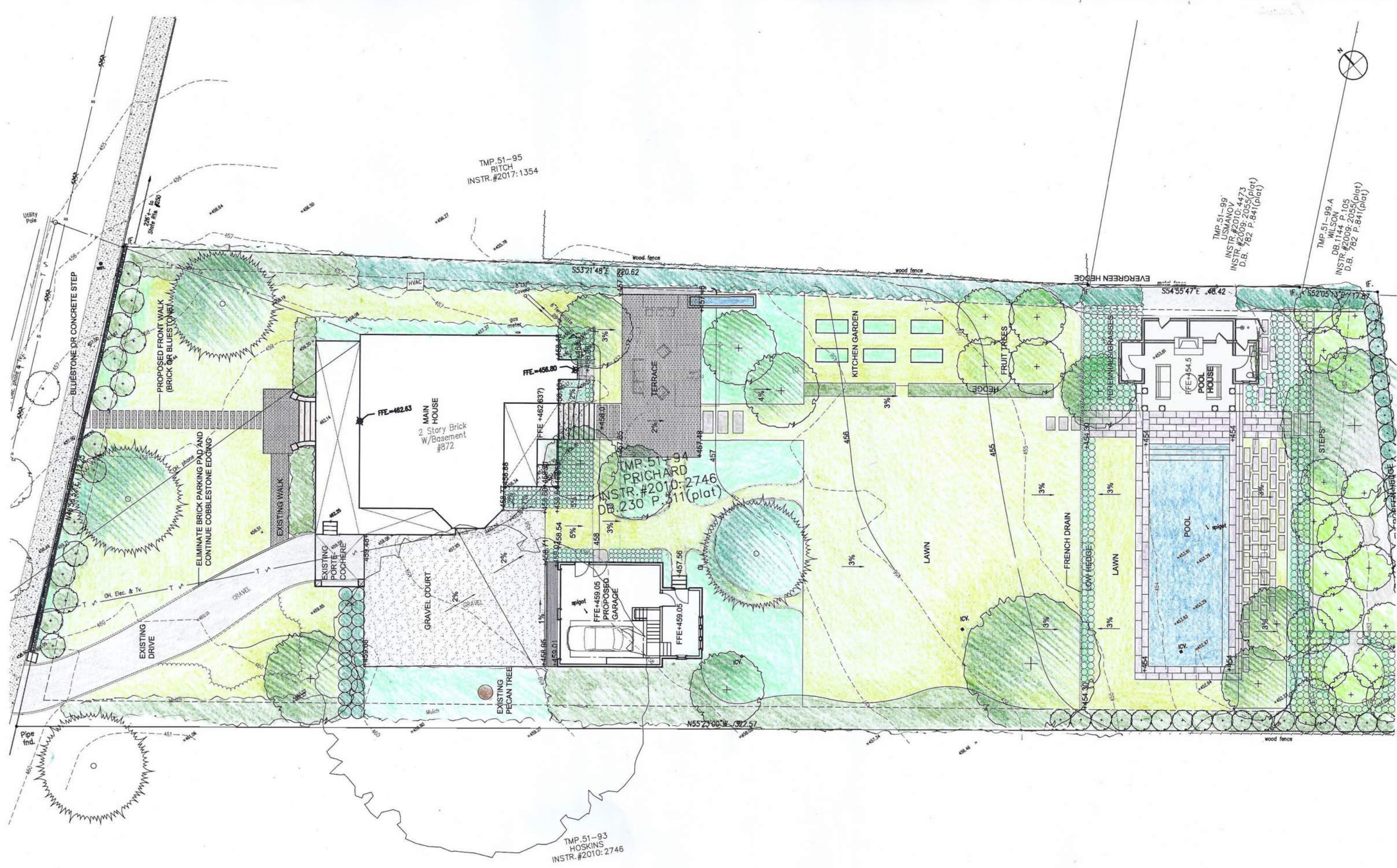
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D.B. 782 P. 841 (plat)

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DE WILSON  
INSTR. #2017:105  
D.B. 782 P. 841 (plat)

TMP. 51-94  
PRICHARD  
INSTR. #2010: 2746  
DB. 230 P. 311 (plat)

TMP. 51-93  
HOSKINS  
INSTR. #2010: 2746





TMP.51-95  
RITCH  
INSTR.#2017:1354

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USMANOV  
INSTR.#2010:4473  
D.B. 782 P.841(plat)

TMP.51-99-A  
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DB.1144 P.105  
INSTR.#2009:2055(plat)  
D.B. 782 P.841(plat)

TMP.51-94  
PRICHARD  
INSTR.#2010:2746  
DB.230 P.511(plat)

TMP.51-93  
HOSKINS  
INSTR.#2010:2746



Prichard Residence

Proposed Master Plan | June 25, 2019



# Prichard Residence

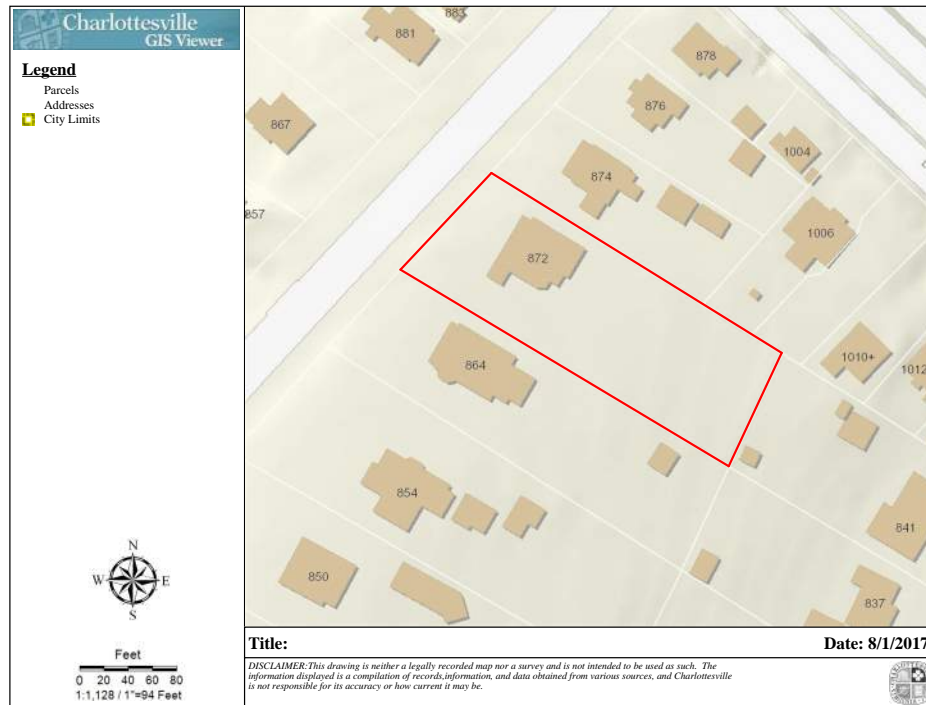
872 Locust Avenue  
Charlottesville, Virginia



{ ROSNEY CO }  
ARCHITECTS  
609 East Market Street, Suite 206  
Charlottesville, Va. 22902  
P: 540.301.0666  
F: 540.301.0466

CONSULTANTS:  
CIVIL ENGINEER:  
STRUCTURAL ENGINEER:  
MEP:  
GEOTECHNICAL ENGINEER:

Location:



### Project Information and Notes

AREA CALCULATION	SQFT
Garage Ground Floor	722
Garage 2nd Floor	295

Parcel # -  
Zoned - Rural Area  
Construction Type: 5B

Code: IRC 2015 and 2015 Virginia amendments

**GENERAL NOTES:**  
Contractor shall obtain and maintain building permit.

Any discrepancy between 2015 IRC and drawings shall be brought to the architect's attention for resolution.

All Electrical, Plumbing, HVAC and smoke detection shall be designed and installed per current applicable codes. All subcontractors responsible for code compliance related to their trade. Repair or replacement of any work installed that does not meet code is the sole responsibility of the subcontractor. Meeting for field coordination of architectural drawings and MEP installation to be scheduled by contractor.

All products, materials and equipment to be installed per the manufacturers installation guidelines and specifications. Strict adherence to the manufacturers installation instructions and specifications is the sole responsibility of the General Contractor and Sub Contractor. If there is a conflict between manufacturer installation instructions / specifications and the architectural drawings it is the responsibility of the General Contractor to bring the conflict to the immediate attention of the architect for resolution. Replacement or repair of any material, product or piece of equipment that fails due to failure to follow manufacturer installation instructions and specifications will be the sole responsibility of the General Contractor.

Use dimensions as shown. Do not scale drawings. Contractor to verify all dimensions in the field prior to and during construction. Discrepancies are to be clarified with architect. Changes resulting from failure to clarify any discrepancies will be the sole responsibility of the contractor.

Concrete to be 3500psi unless noted otherwise.

**STAIRS:**  
Max. riser ht. 7.75"  
Min. tread depth 10"  
See plan for specific rise and run

Guardrails, Handrails and Stair rails per 2015 IRC:

Handrails shall be located on both sides of the new stair and shall be located at a height above the leading edge of the stair tread compliant with applicable codes. All other code requirements apply.

Openings between Guardrail and Handrail balusters shall be less than 4". Height of guardrails to be no less than 36" AFF.

**DOORS AND WINDOWS:**  
Tempered Glass to be provided where required by code.

Window and door supplier responsible for determining locations of tempered glass.

Supplier responsible for coordinating handing of doors per plans.

### Drawing Index

T1.0 - Title Sheet / Project Information / General Notes  
A1.0 - Ground Floor Plan  
A1.1 - Second Floor Plan  
MEP1.0 - Ground Floor Electrical Diagram

A2.0 - Garage Elevations  
A2.1 - Garage Elevation with House  
A3.0 - Garage Section  
A3.1 - Garage Section

- Interior Elevations

A4.0 - Exterior Door and Window Schedule

A5.0 - Exterior Door and Window Schedule

### Project Data

Owner - **Monica and Michael Prichard**  
872 Locust Avenue  
Charlottesville, Virginia 22902

Architect - **Rosney Co. Architects**  
Julie K. Dixon  
434.391.4947  
julie@rosneyarchitects.com

Builder - **Element**  
Josh Bontrager  
985.960.0372  
joshb@elementbuild.com

All casework / cabinetry and counter top dimensions are to be verified in the field prior to fabrication. It is the responsibility of the Contractor to coordinate templating of all cabinetry and countertops with sub contractors.

### ELECTRICAL:

Coordinate light switch location and type in field with owner  
Outlets to be provided where required by code and additionally as requested by client. Provide min. (1) outlet per room.

GFCI outlets to be provided and located per code.

Contractor to coordinate lighting plan with framing plan and make adjustments to accommodate lighting as required. Any conflict between lighting and framing must be brought to the attention of the architect for resolution prior to construction. Repair to framing if not coordinated prior to installation of the framing will be the sole responsibility of the general contractor.

GC to coordinate electrical outlet locations in field with architect and owner prior to installation.

### SITE:

Site contractor to follow and adhere to E&S measures as required by local authorities.

Final grade to be sloped away from foundation per code.

### INSULATION:

Provide flashing at all exterior openings, at all horizontal joints between non overlapping materials, and where specified in drawings.

Open cell spray foam walls, roof and between floor

### EQUIPMENT:

Contractor to verify and provide all rough in dimensions for all equipment, appliances and plumbing fixtures.

Provide drain pans under water heater (if applicable). Drain lines and condensate lines location to be approved by Architect.

Coordinate all supply & return locations with Architect and Owner prior to install.

### HVAC:

Wall mounted space pac unit for second story and office

### Project General Specs / Allowances

Wood Floors:  
3" Red Oak flooring to be painted

Stone Finishes:

Counter Tops:

Cabinetry:  
Custom painted, full inset doors, with beaded frame, typ.

Garage Doors:  
Assume 5411 Double Madison Plain Glass, See Elevations.

Exterior Doors:  
See Schedule A5.0, Assume painted.

Interior Doors:  
See Schedule A5.1,  
Assume TruStile, panel style, as drawn.  
Door Hardware - Assume Emtek \$150/door

Driveway and Parking Areas:  
Per Site Plan

Roofing:  
18" standing seam metal. Match existing

Windows:  
Marvin Next Generation Ultimate Wood Clad or approved equal. See Schedule.

Gutters & Downspouts:  
Assume 5" single bead half round, 4"-5" round downspouts in copper to match roof. Locate w/ supplier in field.

Stone:  
Siding:  
Hardi Artisan siding - 6" lap

Exterior Columns:  
Solid posts, 10 x 10 HB&G Permacast round tapered unless otherwise noted, w/ applied tuscan base and cap

Exterior Trim:  
Boral and Cedar Trim, see Sections and Typical Eave Details A4.1.

Porches and Terraces:  
Lighting:  
Allowance- \$8,000

Exterior Handrails/Guardrails:

Reggio Registers & Returns:  
N/A

Fireplaces:

Plumbing:  
Plumbing allowance

Garage Ceiling:  
Fire Separation per code

Soffits:  
1x T&G Painted  
Attic Access:

Shutters:

Painting:  
Exterior siding to be primed and painted, two coat minimum  
Exterior trim to be primed and painted, two coat minimum  
Interior walls and ceilings to be primed and painted, two coat minimum  
Interior trim to be primed and painted, two coat minimum

Prichard Residence  
872 LOCUST AVENUE  
CHARLOTTESVILLE, VA 22902

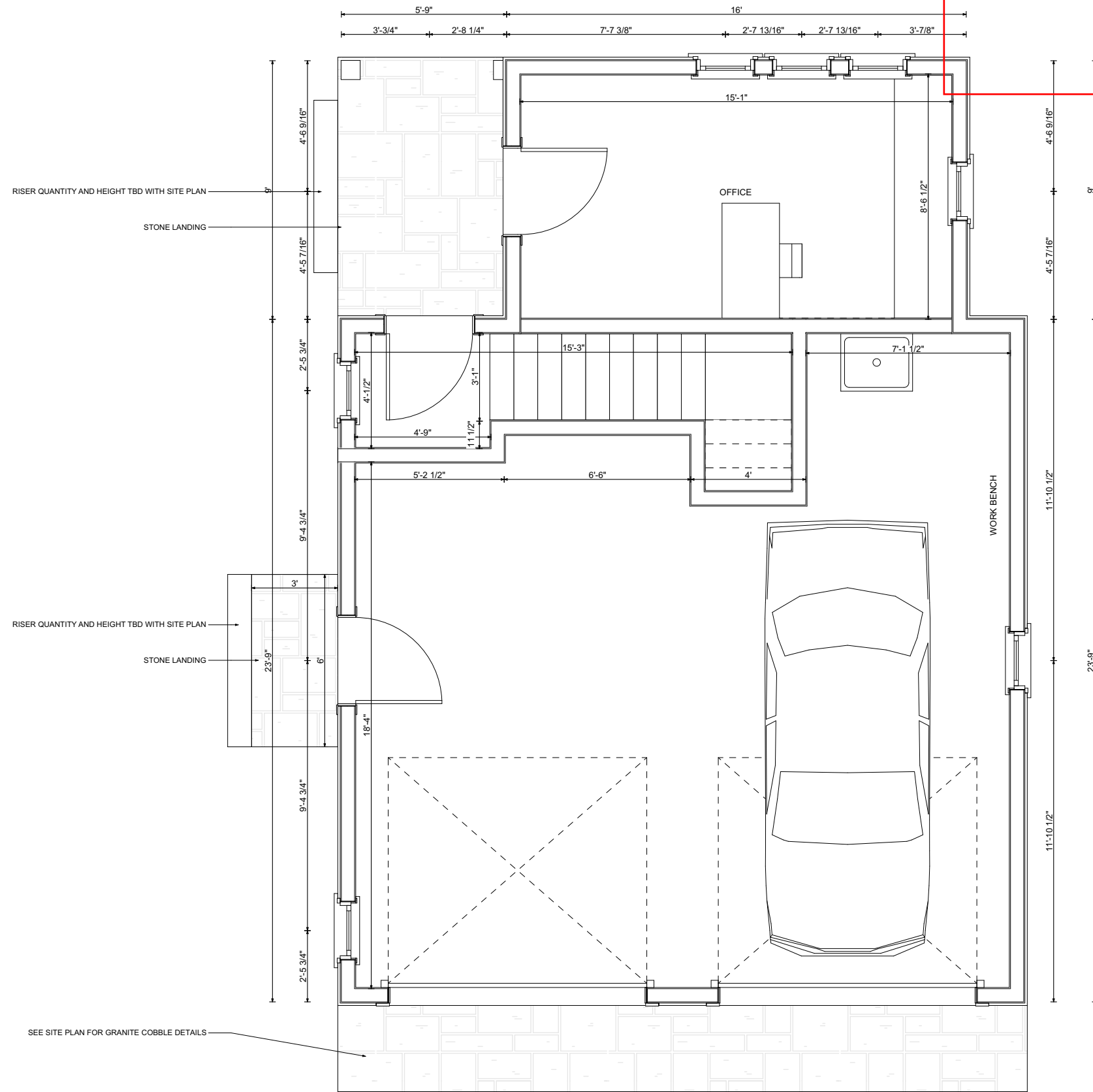


EDITIONS/REVS

TITLE  
6/18/2019

T1.0





RISER QUANTITY AND HEIGHT TBD WITH SITE PLAN

STONE LANDING

RISER QUANTITY AND HEIGHT TBD WITH SITE PLAN

STONE LANDING

SEE SITE PLAN FOR GRANITE COBBLE DETAILS

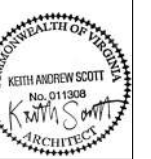
Ground Floor Plan  
SCALE: 1/2" = 1'-0"

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{ ROSNEY CO }  
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P: 540.301.0468  
F: 540.301.0468

CONSULTANTS:  
CIVIL ENGINEER:  
STRUCTURAL ENGINEER:  
MEP:  
GEOTECHNICAL ENGINEER:

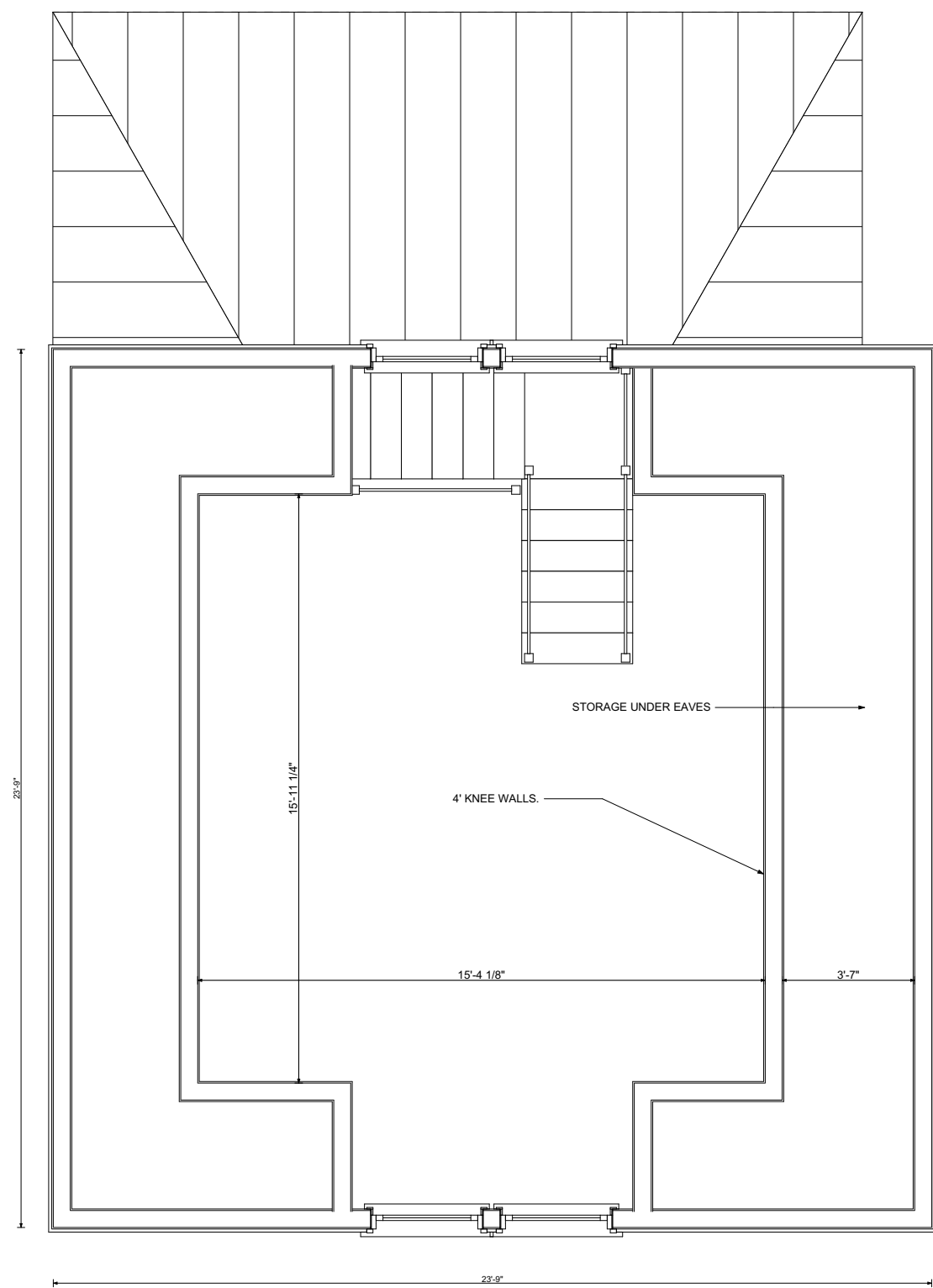
Prichard Residence  
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EDITIONS/REVS

FLOOR PLAN  
6/18/2019

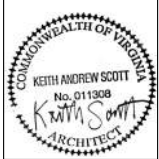
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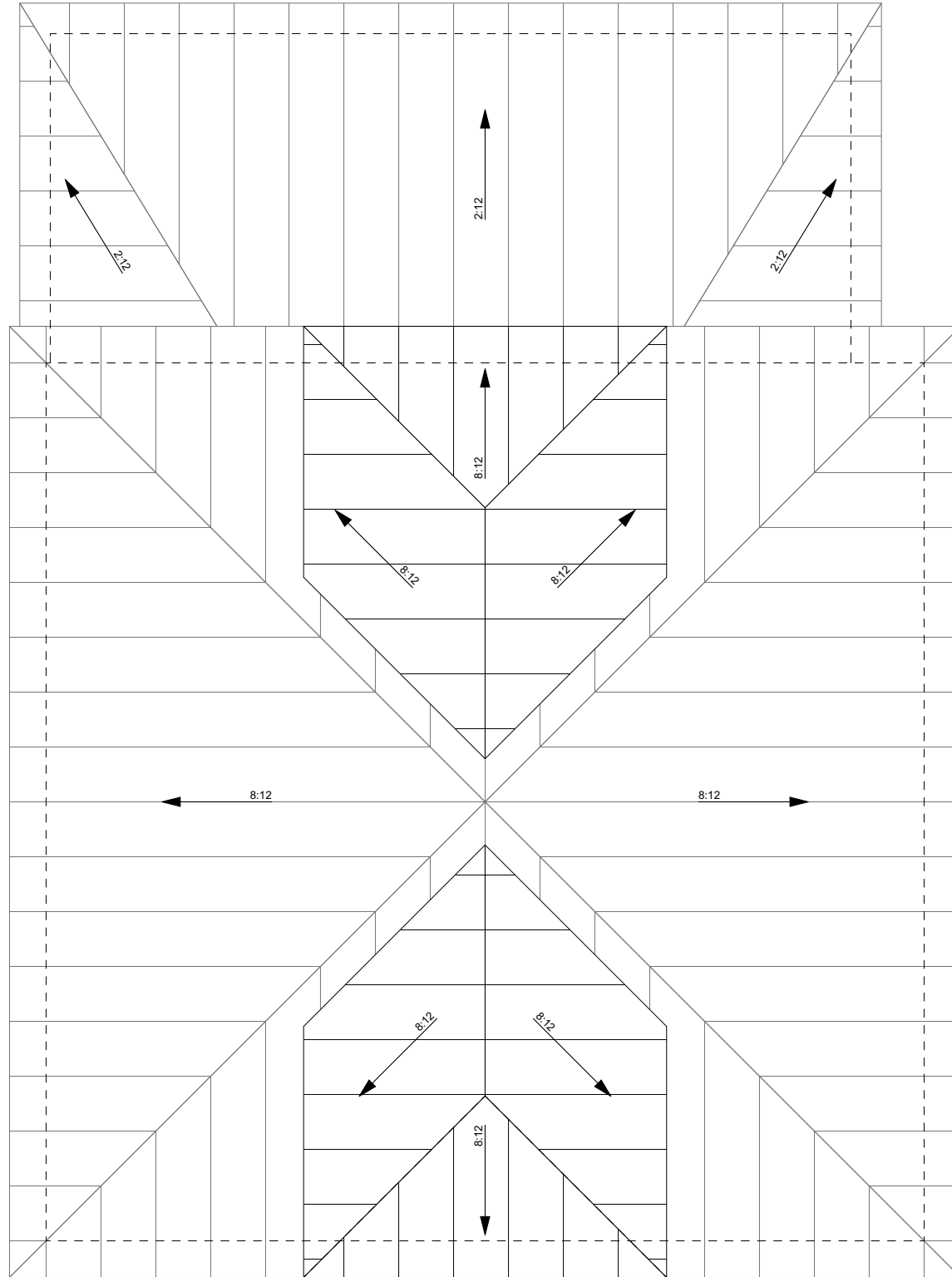
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EDITIONS/REVS  
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FLOOR PLAN  
 6/18/2019

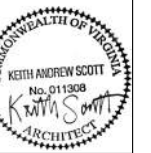
A1.1



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 MEP:  
 GEOTECHNICAL ENGINEER:

Prichard Residence  
 872 LOCUST AVENUE  
 CHARLOTTESVILLE, VA 22902



EDITIONS/REVS  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ROOF PLAN  
 6/18/2019

**A1.2**

MARVIN CLAD WOOD  
 WINDOWS, TYP.  
 STANDING SEAM METAL  
 TO MATCH EXSTG.  
 STANDING SEAM METAL  
 TO MATCH EXSTG.  
 PAINTED CEDAR SIDING  
 CARRIAGE HOUSE  
 PAINTED CEDAR DOOR  
 BRICK TO MATCH EXSTG.



23'-9"

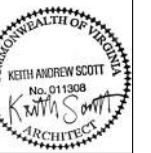




{ ROSNEY CO }  
 ARCHITECTS  
 609 East Market Street, Suite 206  
 Charlottesville, VA 22902  
 P: 540.301.0468  
 F: 540.301.0468

CONSULTANTS:  
 CIVIL ENGINEER:  
 STRUCTURAL ENGINEER:  
 MEP:  
 GEOTECHNICAL ENGINEER:

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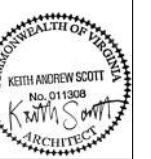
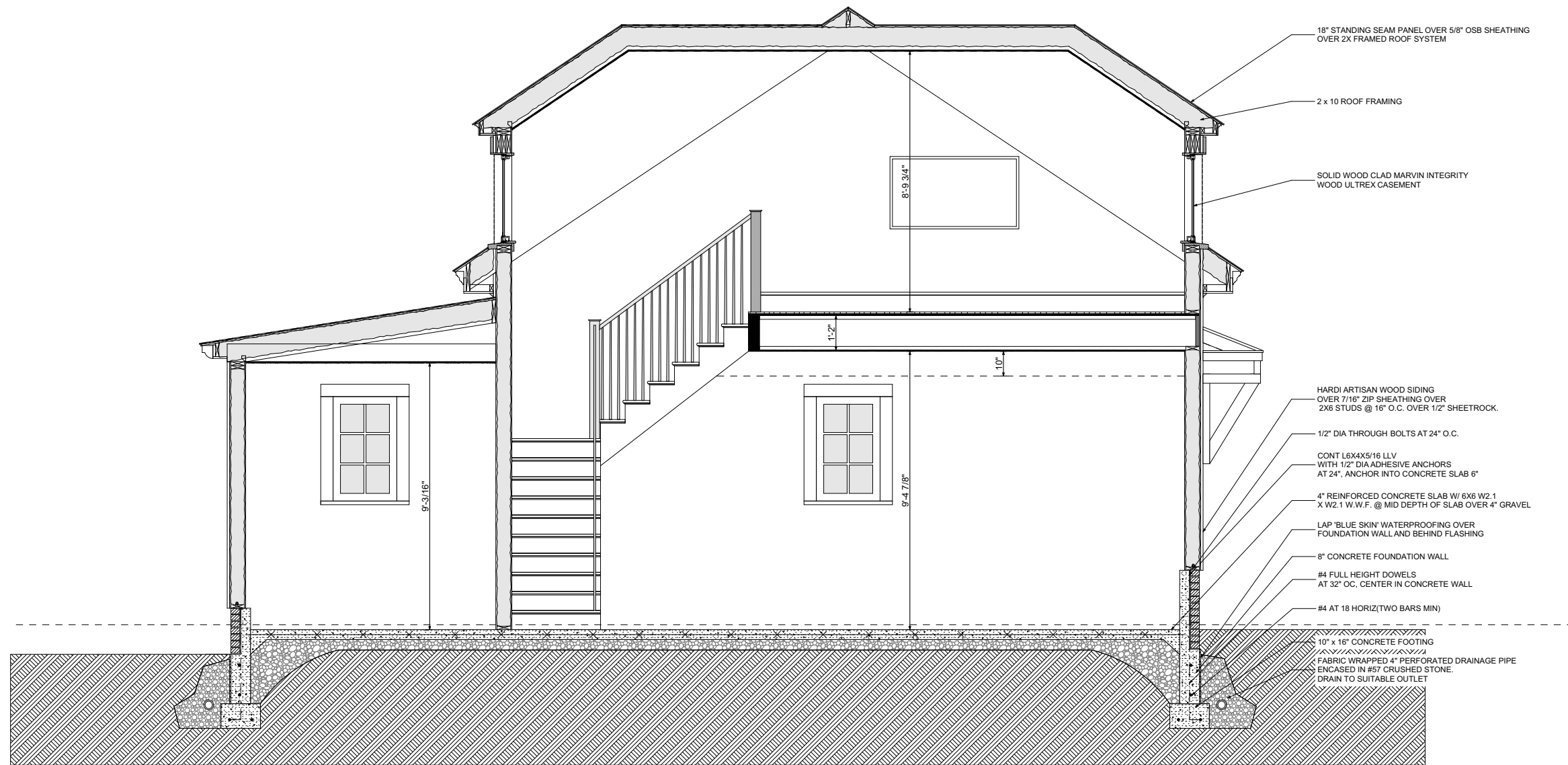


EDITIONS/REVS  
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 \_\_\_\_\_  
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EXTERIOR  
 ELEVATIONS  
 6/18/2019

**A2.1**

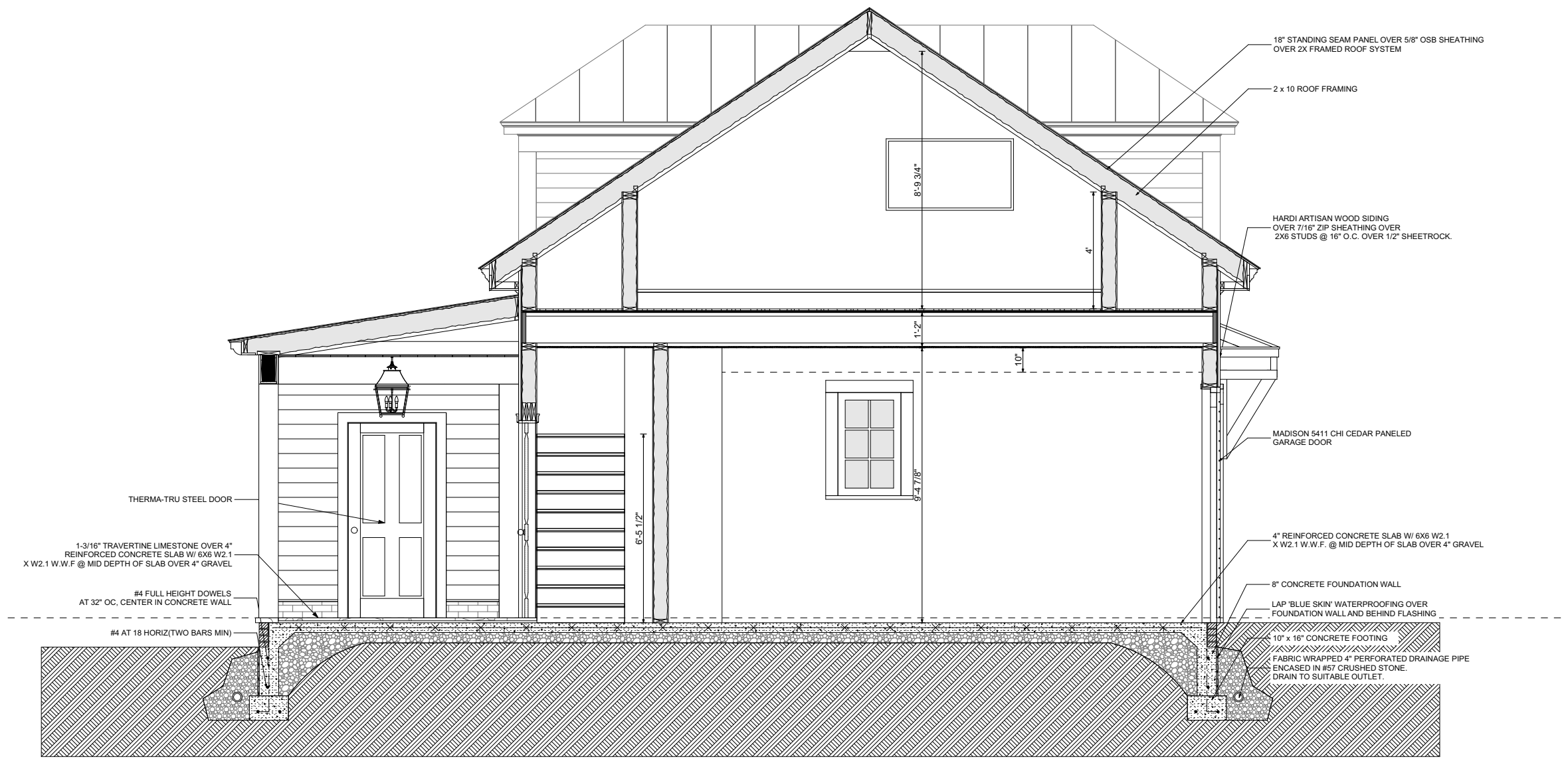




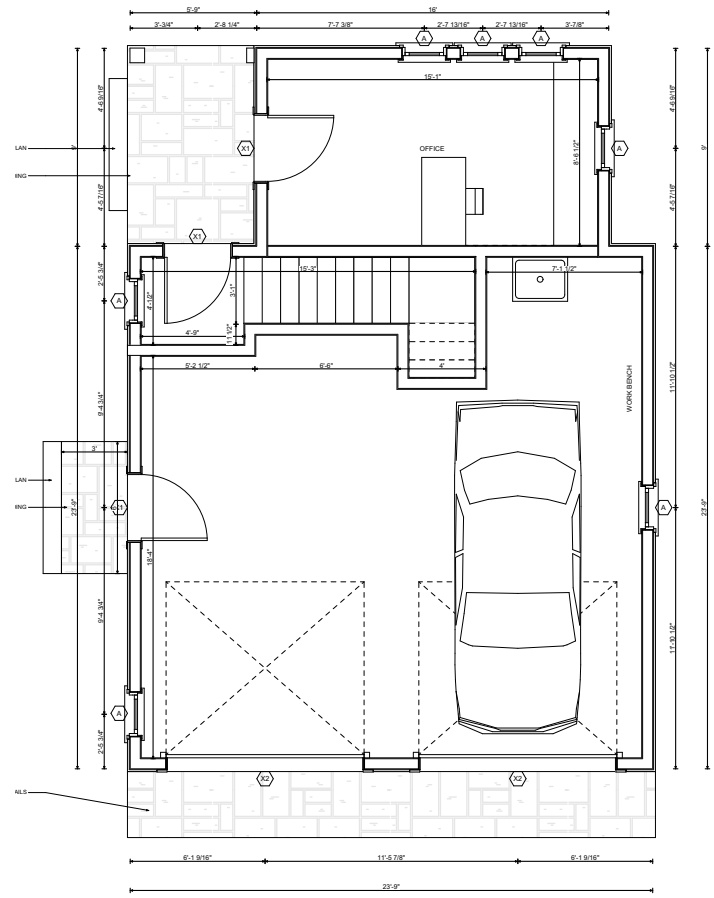
EDITIONS/REVS


BUILDING SECTION  
 6/18/2019

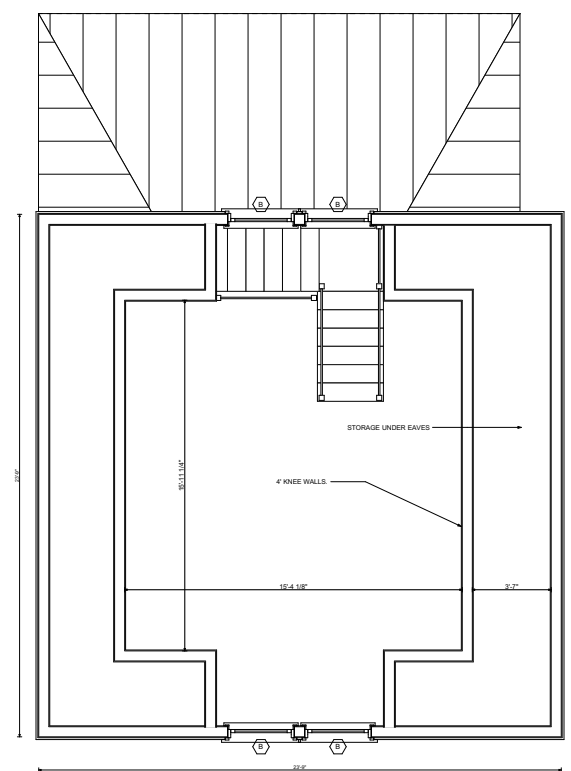
**A3.0**



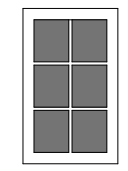
Garage Section  
 SCALE: 1/2" = 1'-0" 1



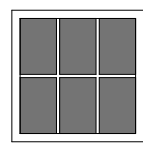
Ground Floor Plan  
SCALE: 1/4" = 1'-0"



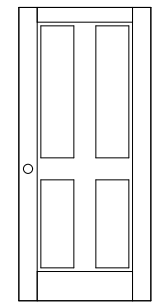
Second Floor Plan  
SCALE: 1/4" = 1'-0"



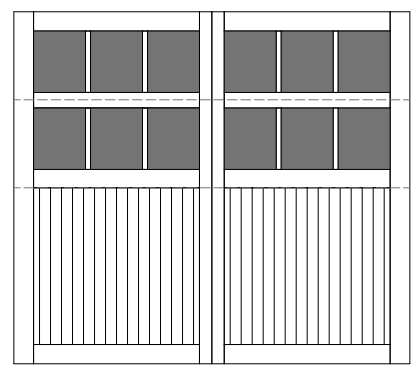
A  
QTY: 7



B  
QTY: 4



X1  
QTY: 3



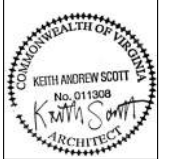
X2  
QTY: 2

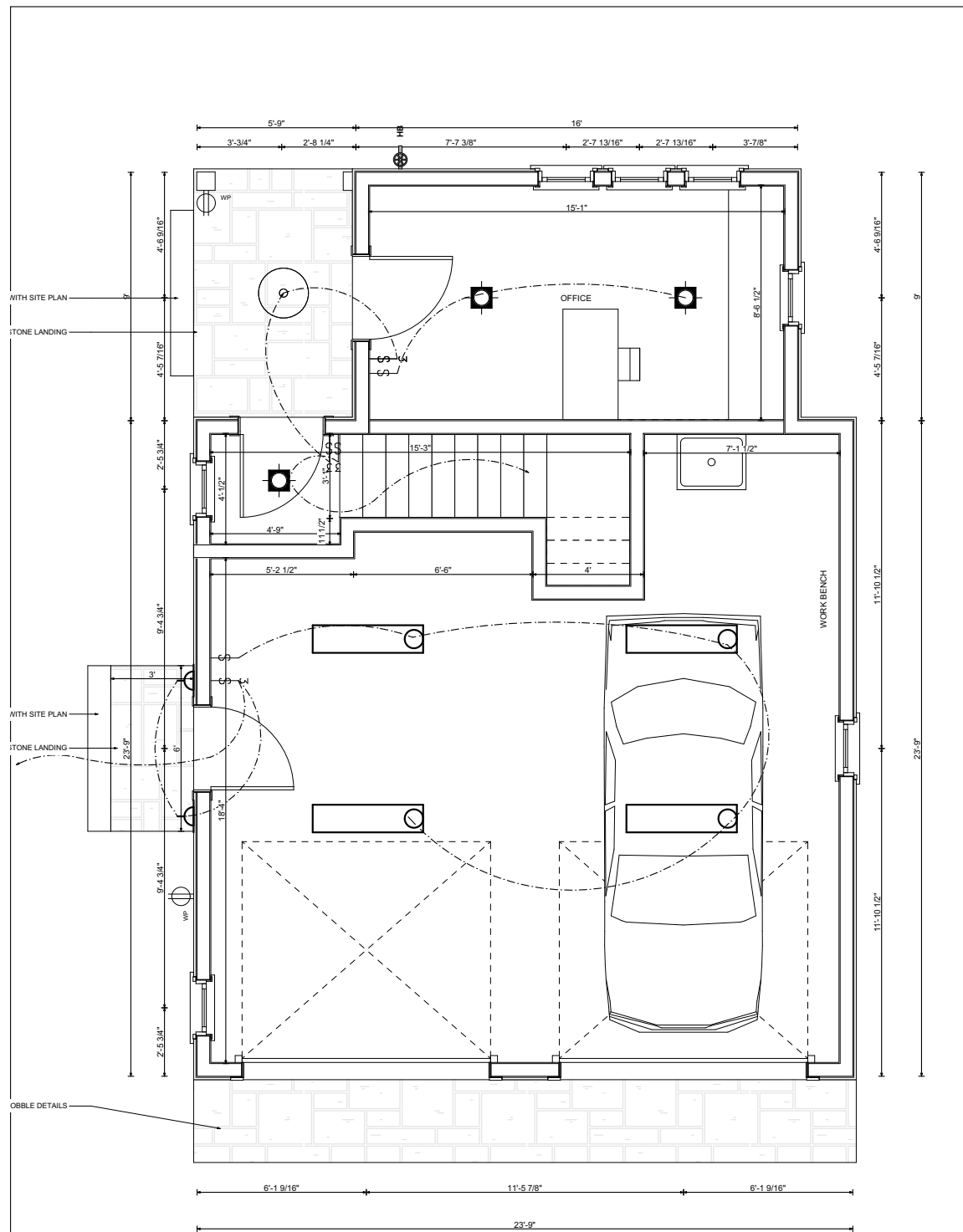
Label	QTY.	Location	Function	Panel Size	Manufacturer / Model	Hardware	Wall Size	Material / Species	Notes
X1	3	OFFICE/GARAGE ENTRY	ENTRY	3'-0" x 6'-8" x 2 1/4" THK	THERMA-TRU (OFFICE), SIMPSON	EMTEK CIMARRON W/ #3 ROSETTE	7 1/2"	WOOD, STEEL (OFFICE)	
X2	2	GARAGE ENTRY	ENTRY	9'-0" x 8'-0" x 2 1/4" THK	MADISON 5411		7 1/2"	CHI CEDAR paneled	

Notes:  
See exterior elevations for door lite patterns and door swings  
Doors to come primed unless otherwise noted  
Muntin bars to be 5/8" unless otherwise noted  
All doors to be multi-point hardware locks

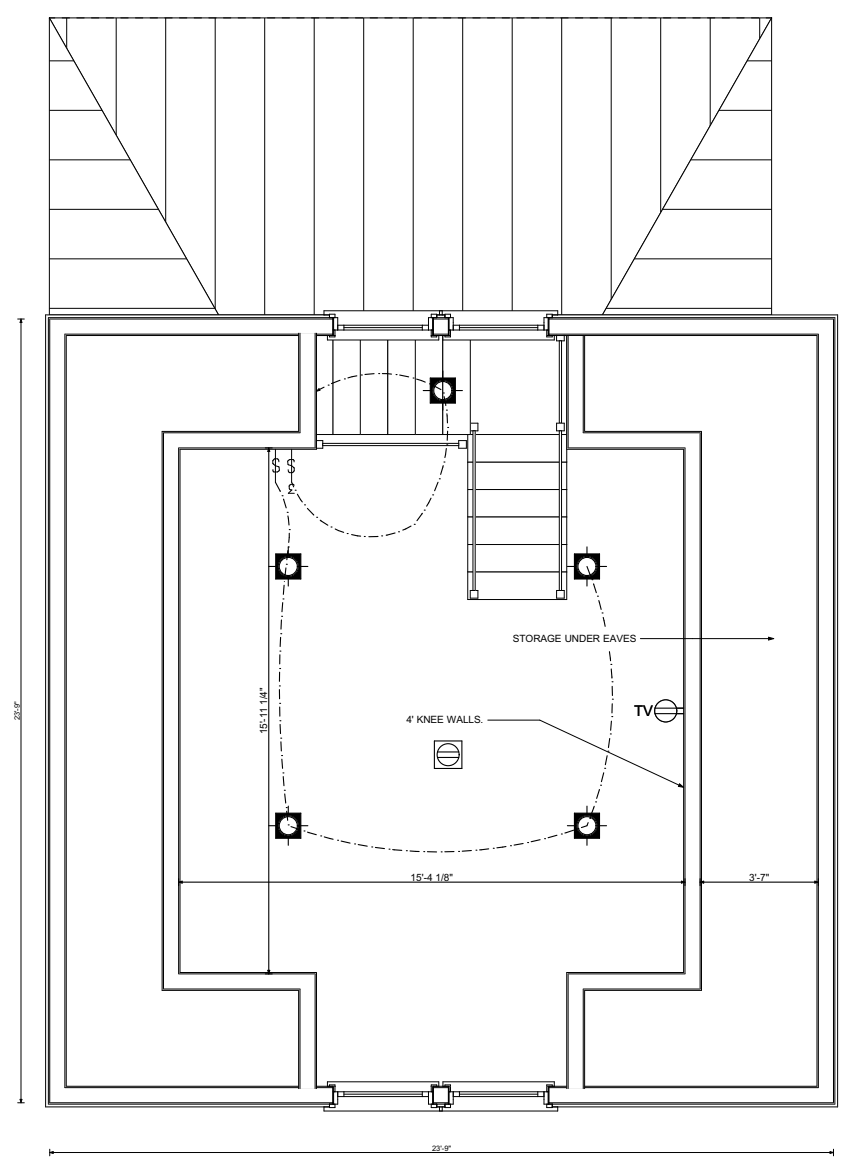
Label	Qty	Function	Manufacturer	Model Number	Finish Exterior	Exterior Color	Finish Interior	Muntin Bars	Muntin Bar Dim	Spacer Bar Color	Subsill	Lock Type/Color	Frame Size (WxH)
A	7	CASEMENT	MARVIN		CLAD		WOOD	SDL	5/8"	BRONZE	2-1/2"	MARVIN	2'-1 7/8" x 3'-6"
B	4	CASEMENT	MARVIN		CLAD		WOOD	SDL	5/8"	BRONZE	3-1/2"	MARVIN	3'-0" x 3'-0"

Notes:  
All windows to be solid wood clad Marvin Integrity Wood Ultrtex casement  
All hardware to be solid brass  
All windows to be SDL





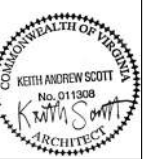
Ground Floor Plan  
SCALE: 3/8" = 1'-0" 1



Second Floor Plan  
SCALE: 3/8" = 1'-0" 2

- NEW ELECTRICAL DIAGRAM:**
- SWITCH
  - SWITCH - 3WAY
  - SWITCH - 4WAY
  - SMOKE DETECTOR
  - WALL RECEPTACLE - 120V
  - SWITCHED WALL RECEPTACLE - 120V
  - OUTLET - TV
  - FLOOR RECEPTACLE
  - OUTLET - TELEPHONE
  - OUTLET - INTERNET
  - OUTLET - INTERNET (FLOOR)
  - POST LIGHT
  - SPOT LIGHT
  - STAIR TREAD LIGHT
  - CHANDELIER FIXTURE
  - FLUSH MOUNT LIGHT
  - RECESSED FIXTURE - 4" CAN LIGHT
  - RECESSED FIXTURE - DIRECTIONAL CEILING LIGHT
  - PENDANT FIXTURE
  - VANITY FIXTURE
  - WALL SCONCE - HEIGHT INDICATED
  - EXHAUST FAN
  - RECESSED EXHAUST FAN WITH LIGHT
  - UNDER-CABINET LIGHT
  - CABLE RAIL LIGHTING
  - CLOSET LIGHT
  - LED STRIP FIXTURE
  - STRIP FIXTURE - LOW VOLTAGE
  - CEILING FAN
  - WATER PROOF RECEPTACLE W/ COVER
  - OUTDOOR CLG. MOUNT LANTERN
  - SWITCHED OUTDOOR SPOTS
- NEW PLUMBING DIAGRAM:**
- HB EXTERIOR HOSE BIB LOCATION
  - FD FLOOR DRAIN

- ELECTRICAL NOTES:**
1. ALL ELECTRICAL WORK TO BE ACCORDING TO CODE. COORDINATE CHANGES WITH ARCHITECT PRIOR TO INSTALLATION
  2. ALL FIXTURES TO BE OWNER APPROVED
  3. SWITCH PLATES AND OUTLET COVERS TO BE PAINTED TO MATCH WALL COLOR UNLESS OTHERWISE NOTED
  4. ALL SWITCHES TO BE PADDLE TYPE UNLESS OTHERWISE NOTED. LOCATE DIMMER LOCATIONS IN FIELD WITH OWNER PRIOR TO INSTALL
  5. PROVIDE UNDERGROUND CONDUIT FOR EXTERIOR LIGHTING AS SPECIFIED BY LANDSCAPE ARCHITECT
  6. PROVIDE SMOKE DETECTORS PER CODE LOCATE W/ ARCH APPROVAL
  7. LOCATE OUTDOOR WATERPROOF ELECTRICAL OUTLETS W/ OWNER
  8. CONFIRM SCONCE MOUNTING HEIGHT ON INTERIOR ELEVATIONS PRIOR TO INSTALL
  9. COORDINATE TV CABLE MOUNTING HEIGHT WITH ARCHITECT AND OWNER IN FIELD
  10. INCLUDE MIN. ONE RECEPTACLE IN EA. ROOM, EVEN WHERE NOT REQUIRED BY CODE



EDITIONS/REVS






Existing Vehicle and Pedestrian Entrance



Existing Wall End Detail



Existing Brick Wall at Front of House



Proposed Pedestrian Walk at Front of House

- Brick or bluestone pavers
- Eliminate 48” section of wall
- Wall ends to match existing wall end
- Single step with brick riser





Location of garage



Brick parking spot to be removed

864 Locust - contiguous property to the south. Property to the north is obscured from street view by evergreens.

