

From: [Murphy, Mollie](#)
To: candys@cmpsarchitect.com; mbellamy@fastmail.fm; [Scott Loughrey](#)
Cc: [Werner, Jeffrey B](#)
Subject: BAR # 22-09-04
Date: Wednesday, December 21, 2022 3:27:00 PM
Attachments: [image001.png](#)

Certificate of Appropriateness Application

BAR # 22-09-04

0 3rd Street NE, TMP 330020001

North Downtown ADC District

Owner: Scott Loughery

Applicant: Candace Smith, Architect

Project: New residence on vacant lot

Ms. Smith:

The CoA request for the above referenced project was reviewed by the City of Charlottesville Board of Architectural Review on December 20, 2022. The following action was taken:

Mr. Zehmer moved: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find that the new residence at 0 3rd Street, NE satisfies the BAR's criteria and is compatible with this property and other properties in the North Downtown ADC District, and that the BAR approves the application as submitted with the alternate lirioppe noted in the staff report.

Mr. Bailey second. Motion approved 6-0. CoA was approved.

For specifics of the discussion, the meeting video is on-line at:

<https://boxcast.tv/channel/vabajtzezuYv3iclkx1a?b=lmmnlcnalfcybl7u4xsr>

Per the provisions of City Code Sec. 34-280: This CoA is valid for 18 months [from the date of BAR approval]; upon written request and for reasonable cause, the director of NDS or the BAR may extend that period by one year; and this CoA does not, in and of itself, authorize any work or activity that requires a building permit. (Link to Sec. 34-280: [CoA period of validity](#))

If you have any questions, please contact me at murphymo@charlottesville.gov.

Please remove the notice sign posted at the site.

Sincerely,
Mollie



Mollie Murphy

Assistant Historic Preservation and Design Planner

Neighborhood Development Services

City of Charlottesville

(434) 970-3515 | murphymo@charlottesville.gov

**City of Charlottesville
Board of Architectural Review
Staff Report
December 20, 2022**



Certificate of Appropriateness

BAR 22-09-01
0 3rd Street NE, TMP 330020001
North Downtown ADC District
Owner: Scott Loughery
Applicant: Candace Smith/Architect
Project: New residence



Background

Year Built: n/a. (According to available information, parcel has never been developed.)
District: North Downtown ADC District
Status: n/a

Prior BAR Review

September 20, 2022 – BAR held preliminary discussion re: new residence.

Link to meeting video. Discussion begins at 02:30:00.

<https://boxcast.tv/channel/vabajtzezyv3iclkl1a?b=nvdouryu5aooH1orqwxd>

Link to Sept 20, 2022 submittal, see page 100: [Sept 20 2022 BAR Packet](#)

October 18, 2022 - BAR reviewed new residence; accepted applicant's request for a deferral.

Link to the BAR meeting video. Discussion begins at 0:03:30.

<https://boxcast.tv/channel/vabajtzezyv3iclkl1a?b=uzjazbhfohchjty5hs6f>

Link to October 18, 2022 submittal, see page 27: [October 2022 BAR packet](#)

November 15, 2022 - BAR reviewed new residence; accepted applicant's request for a deferral.

Link to the BAR meeting video. Discussion begins at 0:45:00.

<https://boxcast.tv/channel/vabajtzezyv3iclkl1a?b=zws6izrpegx6m7ox2o8i>

Link to November submittal, see page 51: [BAR meeting packet - Nov 15 2022](#)

Application

- Candace M.P. Smith, Architects PC submittal for Loughery Residence:
 - Narrative and List of Attachments. (2 pages)
 - Drawings SP-1, A-1 through A-8, dated 12/5/2022. (9 pages)
 - Conceptual Landscaping Plan and Planting List. (2 pages)
 - 3D renderings. (5 pages)

- Material List and Color Palette. (16 pages)
- Existing Site Plan and Photos. (7 pages)

CoA request for a three-story, single-family residence and detached garage on vacant parcel.

Discussion

For the summary of the staff’s comments re: the design guidelines for *New Construction and Additions*, see the October 18, 2022 staff report, under *Discussion and Recommendations at: [0 3rd St NE - October 18 2022 BAR packet](#)*

This will be the BAR’s fourth discussion of this request. At each of the prior meetings (September 20, October 18, and November 15) and in correspondence to the BAR, several neighboring property owners expressed their questions and comments regarding the project. The applicant has been responsive to the BAR’s questions and recommendations.

Staff recommends approval of the CoA, acknowledging the alternate liriopse selection, see below.

Landscaping Plan

* = On the City’s Tree/Shrub List and/or not considered invasive in Virginia.

Note the revision below to the liriopse selection.

- Trees:
 - *Amelanchier* – Serviceberry *
 - *Acer palmatum 'Osakazuki'* - 'Osakazuki' Japanese Maple (matched pair) *
- Shrubs, Evergreen:
 - *Ilex crenata 'Green Lustre'* - 'Green Lustre' Japanese Holly *
 - *Azalea 'Pink Pearl'* - Azalea 'Pink Pearl' *
 - *Abelia 'Rose Creek'* - 'Rose Creek' Abelia *
- Shrubs, Deciduous:
 - *Itea virginica* - Virginia Sweetpsire “Henry's Garnet” *
 - *Pyracantha coccinea* – Firethorn *
 - *Hydrangea paniculata 'Limelight'* - 'Limelight' Hydrangea *
 - *Hydrangea paniculata 'Little Quick Fire'* - 'Little Quick Fire' Hydra *
 - *Liriopse Muscari* will be substitute for the *Liriopse spicata 'Big Blue'* indicated on the Landscape Plan. [Staff: *Liriopse spicata* is noted as invasive by the City of Alexandria and Arlington County. (www.invasiveplantatlas.org/subject.html?sub=11562) From the applicant’s note to staff: *Liriopse spicata* is a running type of liriopse and could spread, although the brick walls will contain it. However, *Liriopse Muscari* is a non-running, "clumping" variety that will not travel outside the brick walls. There are a couple varieties of *muscari*; the client will select one of those variants.]
 - *Stephanandra incisa* - Cutleaf Stephanandra *

Suggested Motions

Approval: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find that the new residence at 0 3rd Street, NE satisfies the BAR’s criteria and is compatible with this property and other properties in the North Downtown ADC District, and that the BAR approves the application [as submitted with the alternate liriopse noted in the staff report].

or [as submitted with the alternate liriopie noted in the staff report and with the following modifications/conditions: ...]

Denial: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find that the new residence at 0 3rd Street, NE does not satisfy the BAR's criteria and is not compatible with this property and other properties in the North Downtown, and that for the following reasons the BAR denies the application as submitted: ...

Criteria, Standards and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that, in considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
- (4) The effect of the proposed change on the historic district neighborhood;
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
- (7) Any applicable provisions of the City's Design Guidelines.

Links to the Design Guidelines:

[Chapter 1 Introduction \(Part 1\)](#)

[Chapter 1 Introduction \(Part 2\)](#)

[Chapter 2 Site Design and Elements](#)

[Chapter 3 New Construction and Additions](#)

Pertinent Guidelines for New Construction and Additions include:

D. Massing and Footprint

[...]

- 2) New infill construction in residential sub-areas should relate in footprint and massing to the majority of surrounding historic dwellings.
- 3) Neighborhood transitional buildings should have small building footprints similar to nearby dwellings.
 - a. If the footprint is larger, their massing should be reduced to relate to the smaller-scaled forms of residential structures.

- b. Techniques to reduce massing could include stepping back upper levels, adding residential roof and porch forms, and using sympathetic materials.

[...]

E. Height and Width

- 1) Respect the directional expression of the majority of surrounding buildings. In commercial areas, respect the expression of any adjacent historic buildings, which generally will have a more vertical expression.
- 2) Attempt to keep the height and width of new buildings within a maximum of 200 percent of the prevailing height and width in the surrounding sub-area.

[...]

- 5) Reinforce the human scale of the historic districts by including elements such as porches, entrances, storefronts, and decorative features depending on the character of the particular sub-area.

F. Scale

- 1) Provide features on new construction that reinforce the scale and character of the surrounding area, whether human or monumental. Include elements such as storefronts, vertical and horizontal divisions, upper story windows, and decorative features.

G. Roof

1) Roof Forms and Pitches

- a. [...]
- b. Neighborhood transitional buildings should use roof forms that relate to the neighboring residential forms instead of the flat or sloping commercial form.
- c. [...]
- d. [...]
- e. Shallow pitched roofs and flat roofs may be appropriate in historic residential areas on a contemporary designed building.
- f. Do not use mansard-type roofs on commercial buildings; they were not used historically in Charlottesville's downtown area, nor are they appropriate on West Main Street.

2) Roof Materials: Common roof materials in the historic districts include metal, slate, and composition shingles.

- a. For new construction in the historic districts, use traditional roofing materials such as standing-seam metal or slate.
- b. In some cases, shingles that mimic the appearance of slate may be acceptable.
- c. [...]
- d. [...]
- e. If using composition asphalt shingles, do not use light colors. Consider using neutral-colored or darker, plain or textured-type shingles.
- f. [...]

J. Porches

- 1) Porches and other semi-public spaces are important in establishing layers or zones of intermediate spaces within the streetscape.

L. Foundation and Cornice

- 1) Distinguish the foundation from the rest of the structure through the use of different materials, patterns, or textures.
- 2) Respect the height, contrast of materials, and textures of foundations on surrounding historic buildings.
- 3) If used, cornices should be in proportion to the rest of the building.
- 4) Wood or metal cornices are preferred. The use of fypon may be appropriate where the location is not immediately adjacent to pedestrians.

M. Materials and Textures

- 1) The selection of materials and textures for a new building should be compatible with and complementary to neighboring buildings.
- 2) In order to strengthen the traditional image of the residential areas of the historic districts, brick, stucco, and wood siding are the most appropriate materials for new buildings.
- 3) [...]
- 4) [...]
- 5) Synthetic siding and trim, including, vinyl and aluminum, are not historic cladding materials in the historic districts, and their use should be avoided.
- 6) Cementitious siding, such as HardiPlank boards and panels, are appropriate.
- 7) Concrete or metal panels may be appropriate.
- 8) Metal storefronts in clear or bronze are appropriate.
- 9) The use of Exterior Insulation and Finish Systems (EIFS) is discouraged but may be approved on items such as gables where it cannot be seen or damaged. It requires careful design of the location of control joints.
- 10) The use of fiberglass-reinforced plastic is discouraged. If used, it must be painted.
- 11) All exterior trim woodwork, decking and flooring must be painted, or may be stained solid if not visible from public right-of-way.

N. Paint

- 1) The selection and use of colors for a new building should be coordinated and compatible with adjacent buildings, not intrusive.
- 2) In Charlottesville's historic districts, various traditional shades of brick red, white, yellow, tan, green, or gray are appropriate. For more information on colors traditionally used on historic structures and the placement of color on a building, see Chapter 4: Rehabilitation.
- 3) Do not paint unpainted masonry surfaces.
- 4) It is proper to paint individual details different colors.
- 5) More lively color schemes may be appropriate in certain sub-areas dependent on the context of the sub-areas and the design of the building.

O. Details and Decoration

- 1) Building detail and ornamentation should be consistent with and related to the architecture of the surrounding context and district.
- 2) The mass of larger buildings may be reduced using articulated design details.
- 3) Pedestrian scale may be reinforced with details.

CANDACE M. P. SMITH ARCHITECT, P.C.

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WWW.CMPSARCHITECT.COM

NARRATIVE AND LIST OF ATTACHMENTS
for
Board of Architectural Review
Meeting December 20, 2022
Application for Certificate of Appropriateness

Re: New Residence near Hedge Street and Park Plaza (3rd St. NE, Parcel #330020001) in Charlottesville, VA—“0 Third Street NE”

Narrative

The parcel for this proposed new residence is a vacant lot with complex grading and site restrictions. Existing grades slope 7' north down the street in front of the property, and slope up as much as 12' along each corresponding side. The site restrictions include a required access easement to the apartment building behind the lot, and there is a utility easement along that same southern edge. A power pole near the southern corner of the lot connects lines that traverse in front of the property near the sidewalk and across to both the downhill and uphill neighbors. These lines prohibit the opportunity for large street trees, but a serviceberry tree is planned at the corner of 3rd Street and the easement, and Japanese maples flank the front porch entry.

A three-story home is proposed, with a ground floor largely embedded into the back slope and only accessible from the northern side of the property. The first floor above is provided with a walkout to a rear terrace. The finish first floor is below the adjacent rear grades so a brick retaining wall is planned along the property line, with either a metal guardrail (for the high grades above) or a 6' fence may be added at that rear property line to provide privacy for the rear terrace. A detached accessory structure is also proposed at the rear of the property, similar to many neighboring properties.

Regarding **exterior materials**, the exterior walls are proposed with a red brick foundation, and Hardie Plank horizontal, smooth siding above at the first and second floors. Red brick is also proposed at all the retaining walls and the front walkway and stairs from the street. Red brick piers and solid wood gates provide an enclosure to the rear terrace as well as the lower, side courtyard that will be used to access the garage area. Asphalt is planned for that lower courtyard and for the required easement on the southern edge. Roofing will be architectural/dimensional shingles on sloped hips roofs, including the front porch. There are also double story porches on the north and south sides. Like the front porch, they will have solid panel railings for privacy and consistency. Windows will be SDL double-hung windows, in black fiberglass with 1x4 casing at the Hardie Plank walls. French doors with SDL divided lites will be used at porches, and solid wood doors with a porthole will be used for the front door and the upper front porch door. The garage doors will be solid paneled of similar pattern as the gates. The rear terrace will likely be stamped/stained concrete or bluestone if the budget allows.

A **conceptual landscape plan and planting list** has been provided that now includes some native plants such as the Virginia Sweet Spire flanking the driveway on the northern edge next to the downhill neighbors. A brick retaining wall and metal pickets above (to create the 3'-0" guardrail from the courtyard side) is planned with consideration of the downhill neighbors for screening but also retention of some daylight. Pyracantha is planned at the inside corners of that retaining wall and is planned to be trained across the railing for perennial screening. Hollies are planned below the two Japanese maple that flank the front porch entry, and hydrangeas are envisioned for the edge against the required southern easement. Ground cover in the courtyard will complete the front walkways, and likewise is planned to hold the steep bank that exists at the northwest corner of the property.

The **3d virtual model** has been updated with the brick & siding exteriors, conceptual plantings, and various views are attached. A list of materials and paint colors are also included. Paint chips for preferred selection and the alternates listed will be available for viewing at the meeting.

List of Attachments

1. Drawing of existing site conditions showing grades, site limitations, property lines
2. 3D view of topography of undeveloped site and photographs to and from property
3. Site plan with ground floor plan (at front of property) and first floor footprint at the rear terrace. Ground, first, second and roof plans are also provided.
4. Exterior elevations show all building faces and include the view from the front street and side easement with the panelled gates/fence, as well as without the gates for full view of the house faces. An additional view from the property line at the downhill neighbor is included to show the retaining wall along that edge.
5. Wall sections for porch details, main house cornice, and railing details are included
5. Conceptual landscape plan and planting list
6. Material selections for roofing, brick, etc.

New Residence for
BAR Submittal 12-2-22 for

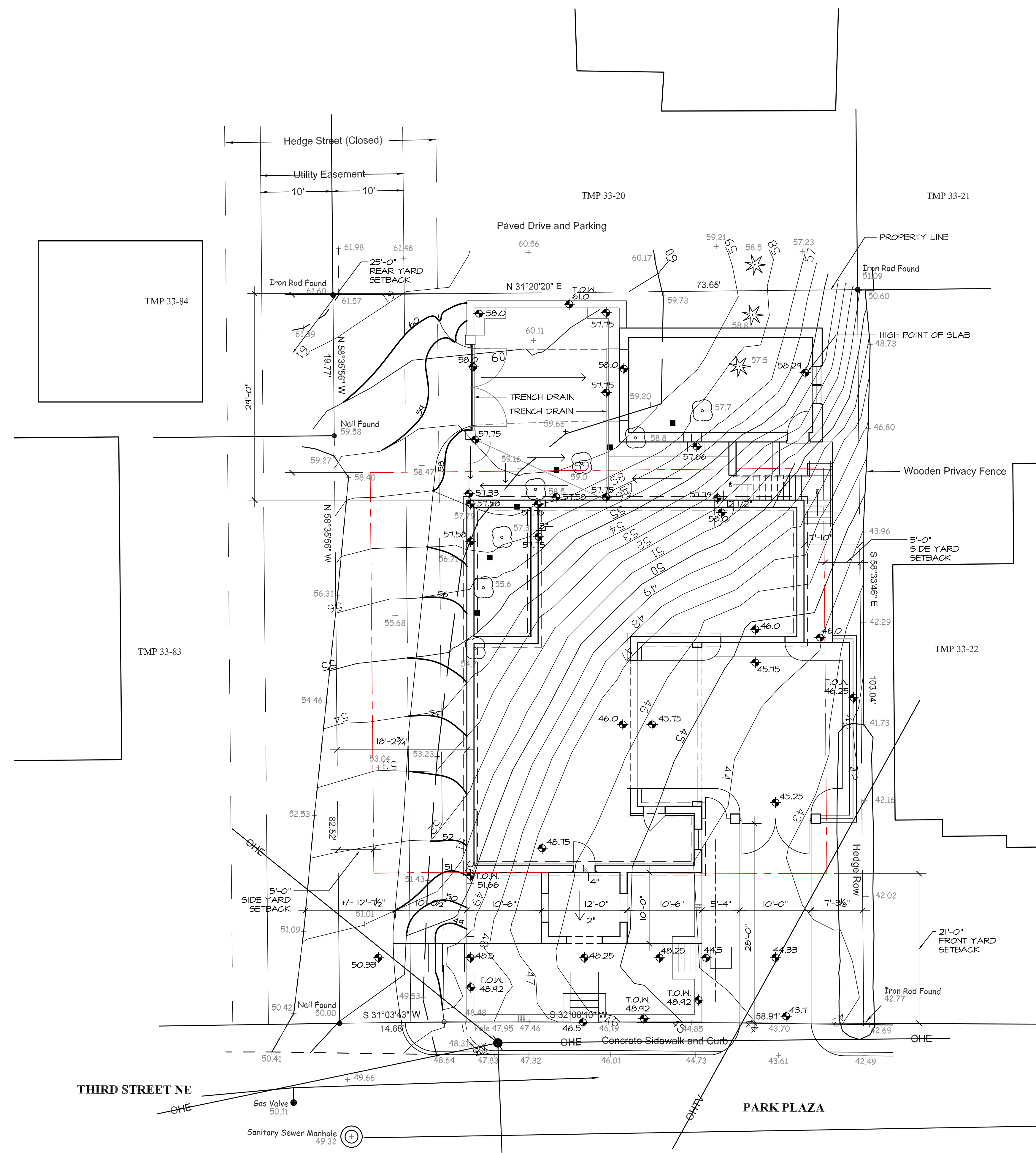
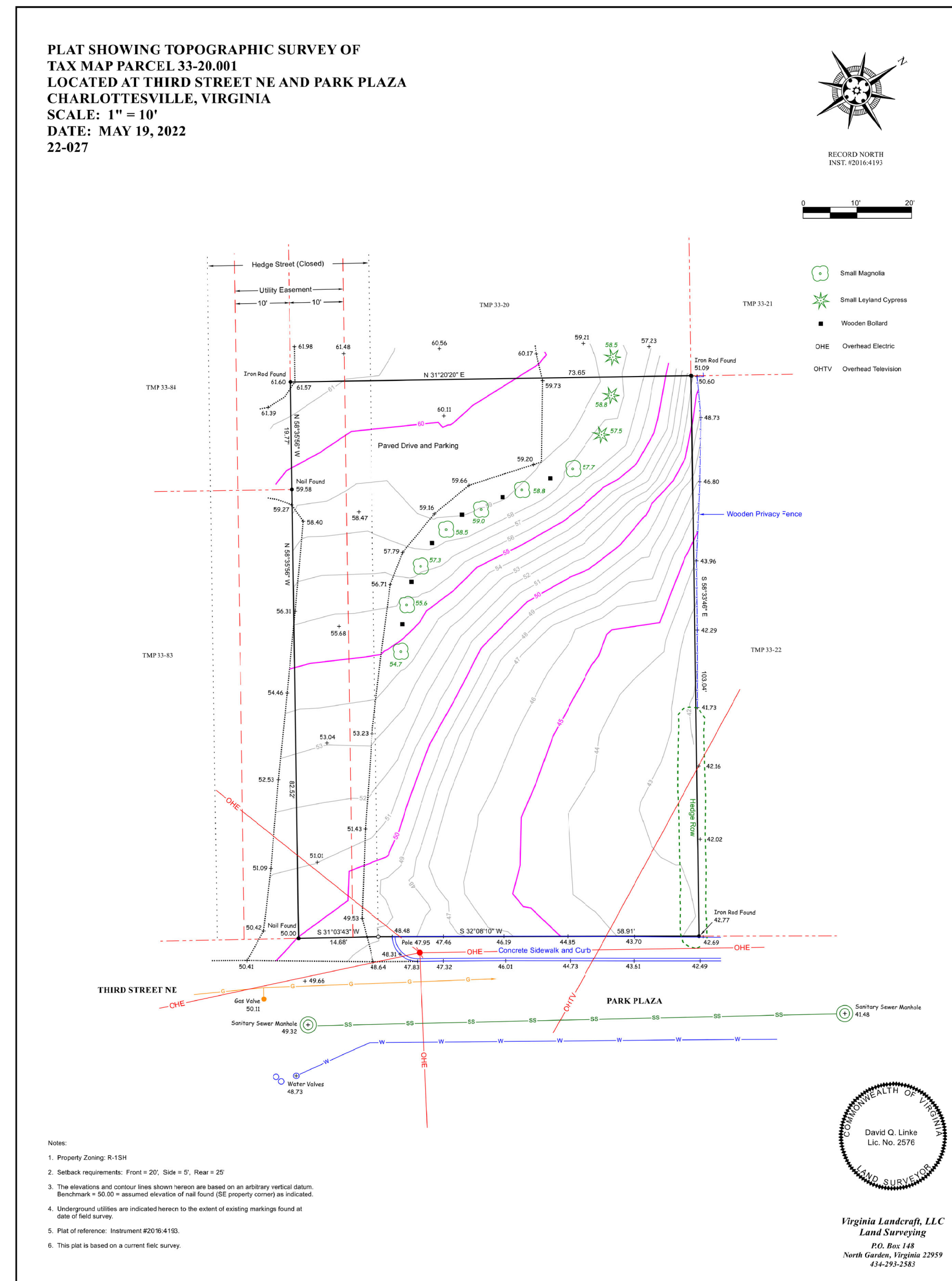
**SCOTT
LOUGHREY**

NEAR HEDGE ST.
& PARK PLAZA

**SITE PLAN
& PLAT**

DATE: 12/5/22
DRAWING SCALE: AS NOTED
PROJECT NO: 2204
REVISION DATE:

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2 PLAT
SP1 N.T.S.

1 SITE PLAN
SP1 1/8" = 1'-0"

PLAN PLAT
NORTH NORTH

TOPOGRAPHIC INFORMATION FROM
PLAT SURVEY BY VIRGINIA LANDCRAFT
DRAWING 22-027, DATED MARCH 19, 2022

SP1
1 OF 9

New Residence for
BAR Submittal 12-2-22 for

**SCOTT
LOUGHREY**

NEAR HEDGE ST.
& PARK PLAZA

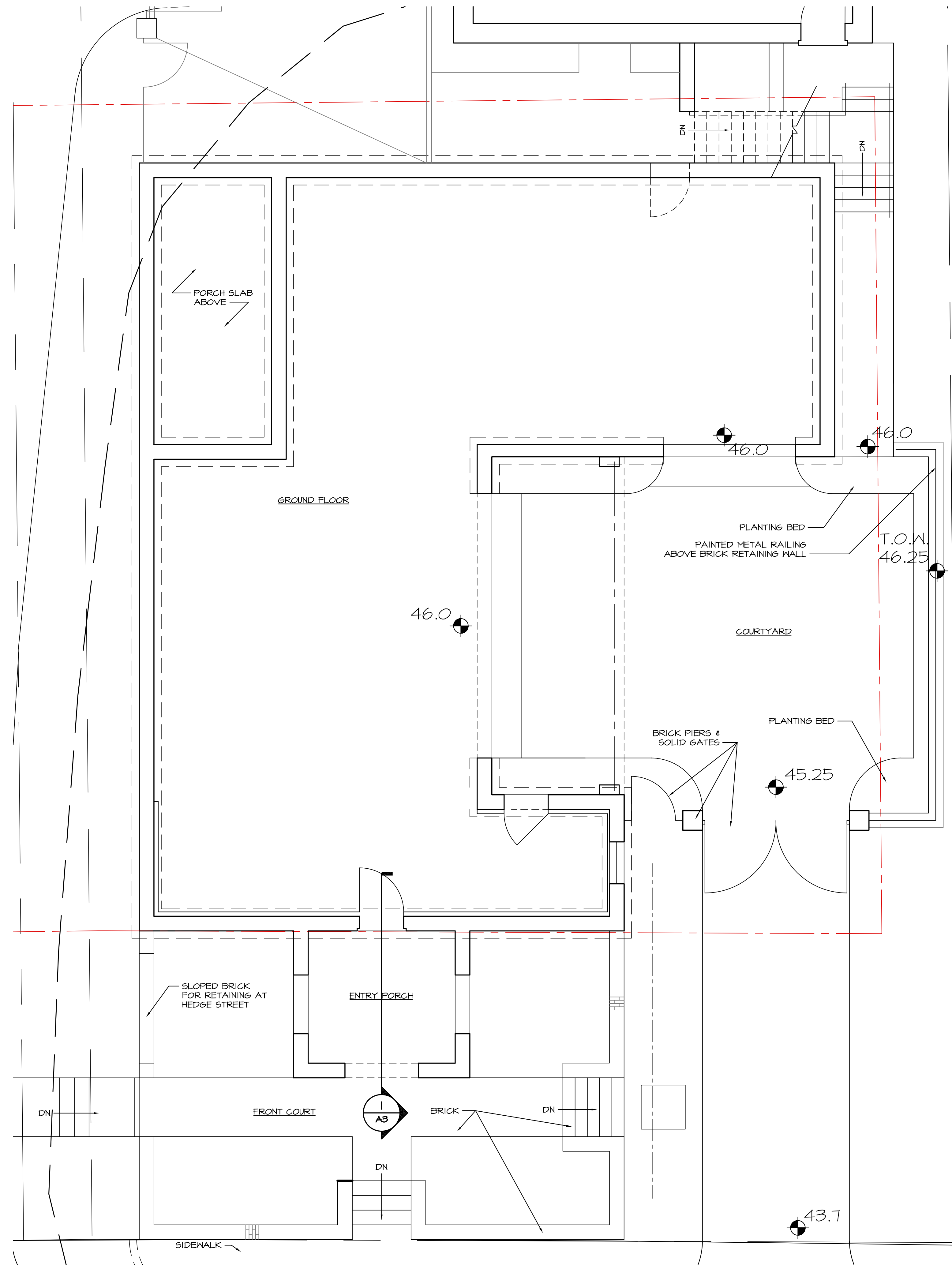
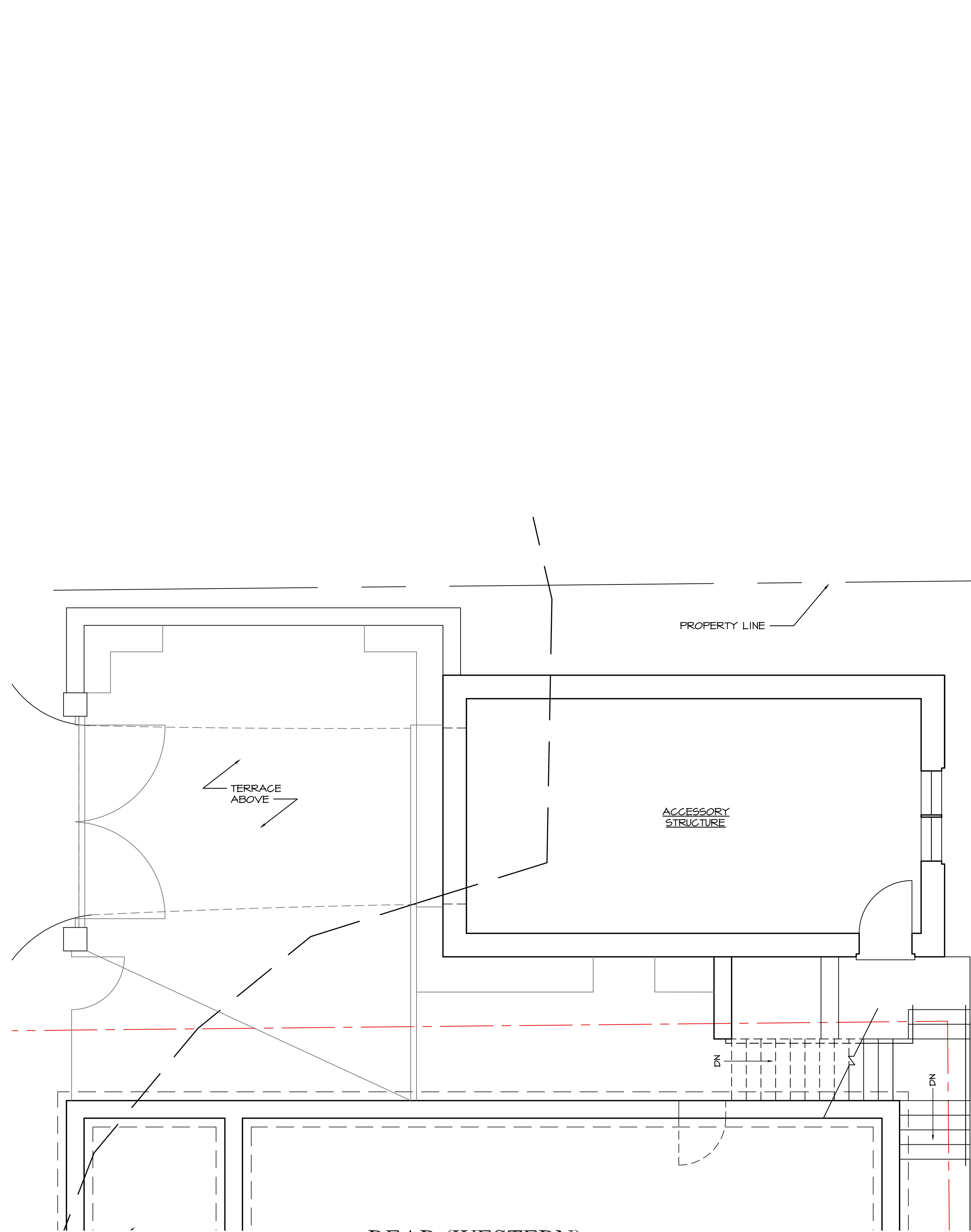
**FOUNDATION
PLAN**

DATE: 12/5/22
DRAWING SCALE: 1/4" = 1'-0"
PROJECT NO: 2204
REVISION DATE:

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A1

2 OF 9



New Residence for
BAR Submittal 12-2-22 for

**SCOTT
LOUGHREY**

NEAR HEDGE ST.
& PARK PLAZA

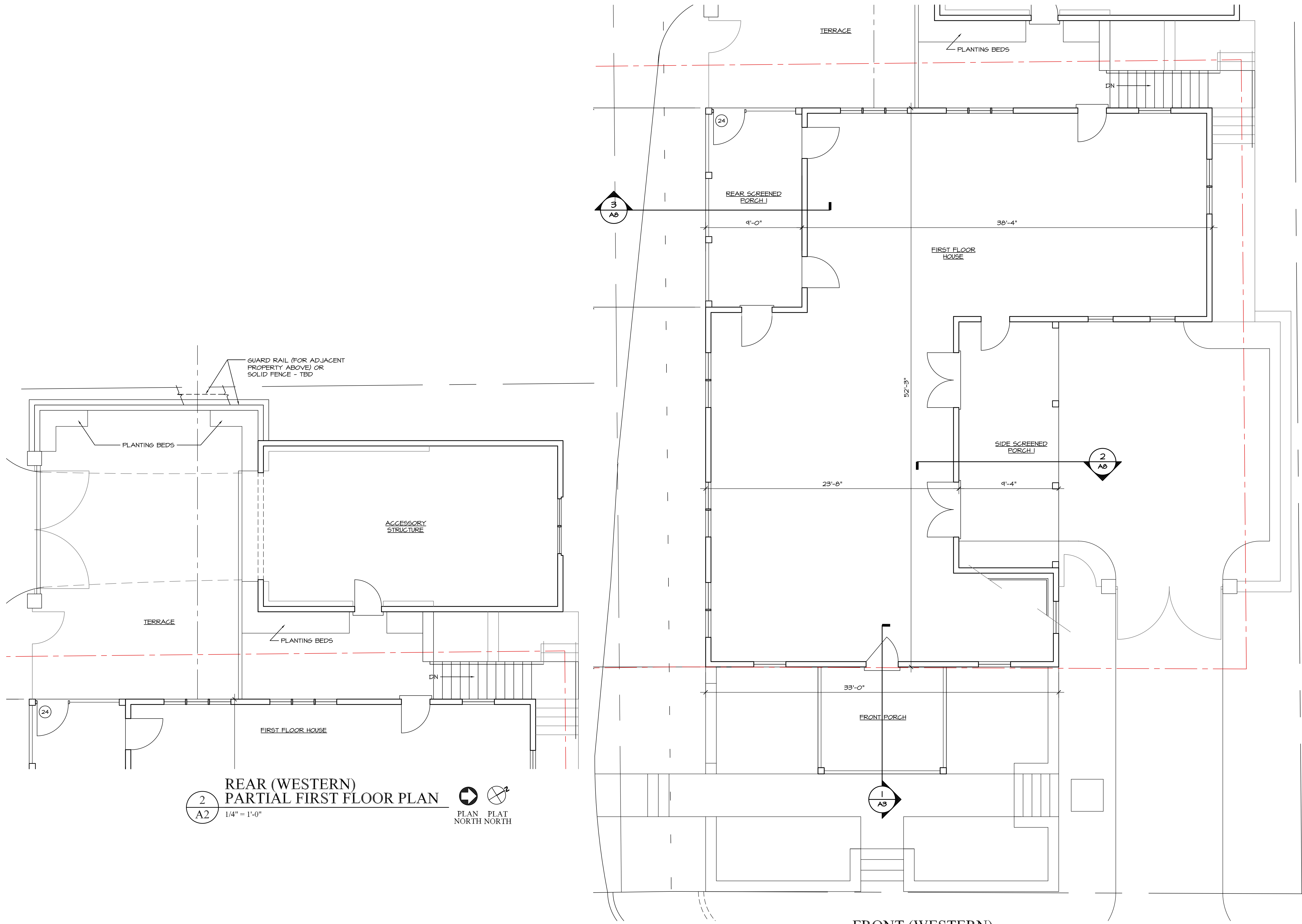
**FIRST FLOOR
PLAN**

DATE: 12/5/22
DRAWING SCALE: 1/4" = 1'-0"
PROJECT NO: 2204
REVISION DATE:

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A2

3 OF 9



2
A2
REAR (WESTERN)
PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"
PLAN PLAT
NORTH NORTH

1
A2
FRONT (WESTERN)
PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"
PLAN PLAT
NORTH NORTH

New Residence for
BAR Submittal 12-2-22 for

**SCOTT
LOUGHREY**

NEAR HEDGE ST.
& PARK PLAZA

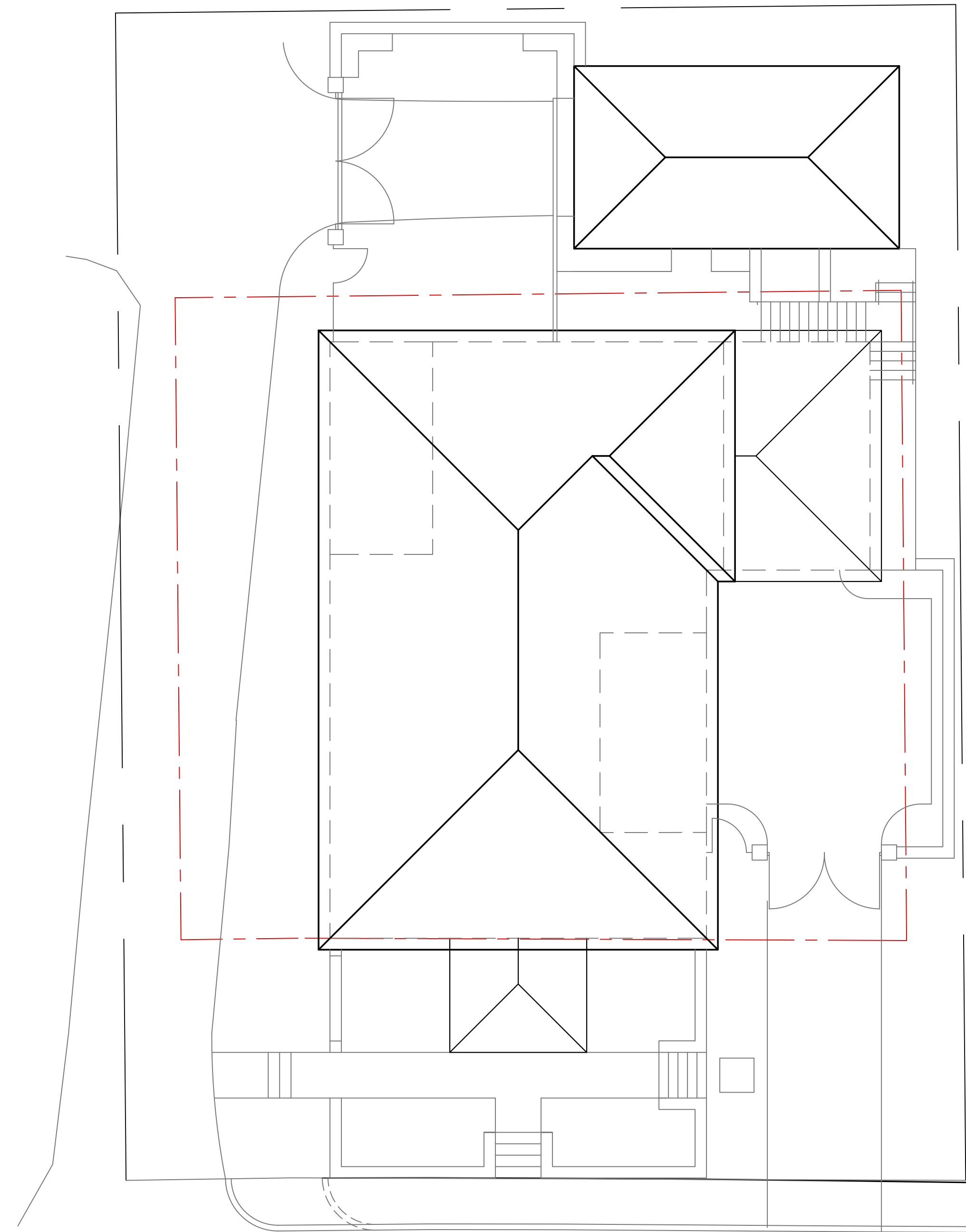
**SECOND
FLOOR
& ROOF
PLAN**

DATE: 12/5/22
DRAWING SCALE: AS NOTED
PROJECT NO: 2204
REVISION DATE:

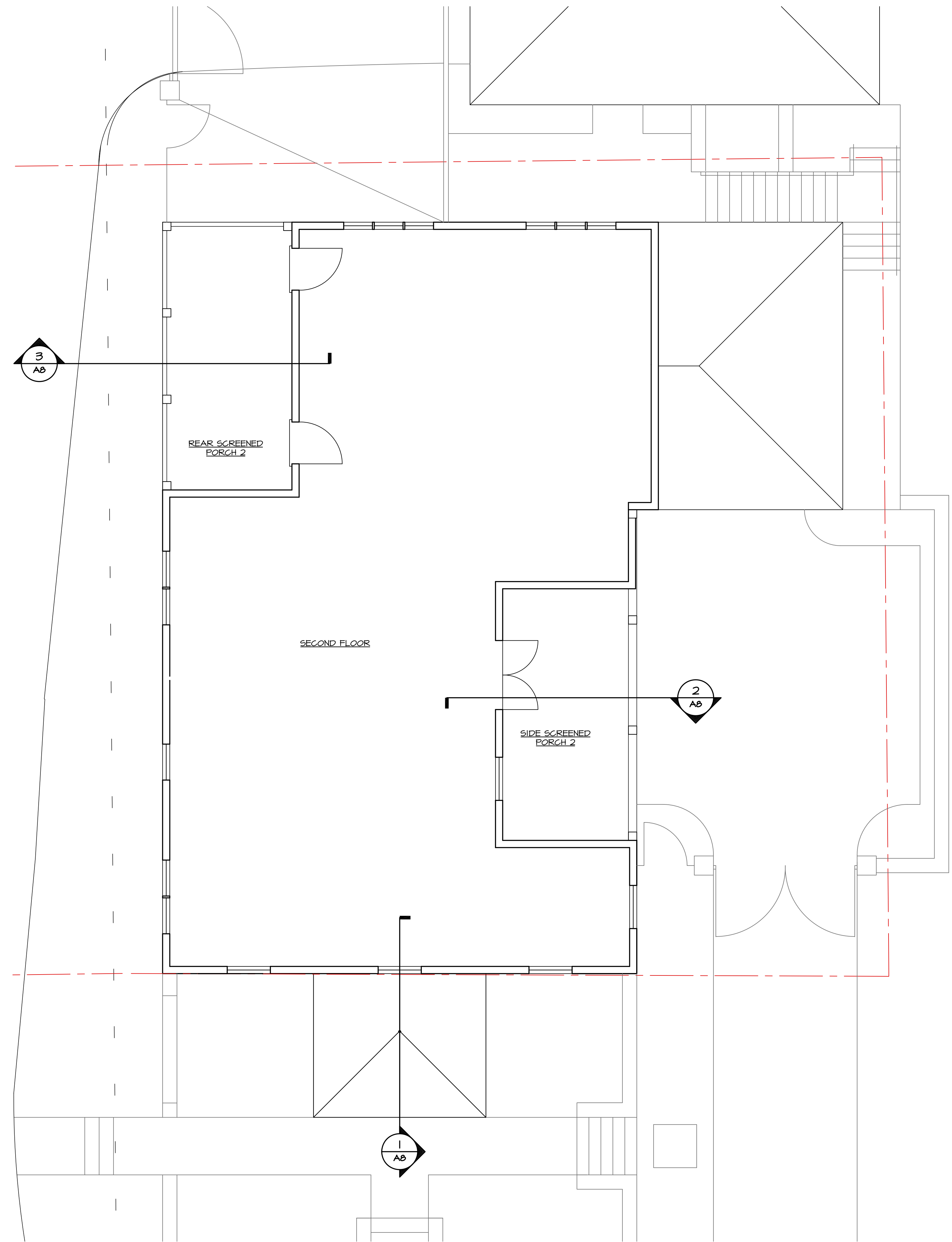
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A3

4 OF 9



2
A3 **ROOF PLAN**
1/8" = 1'-0"
PLAN PLAT
NORTH NORTH



1
A3 **SECOND FLOOR PLAN**
1/4" = 1'-0"
PLAN PLAT
NORTH NORTH

New Residence for
BAR Submittal 12-2-22 for

**SCOTT
LOUGHREY**

NEAR HEDGE ST.
& PARK PLAZA

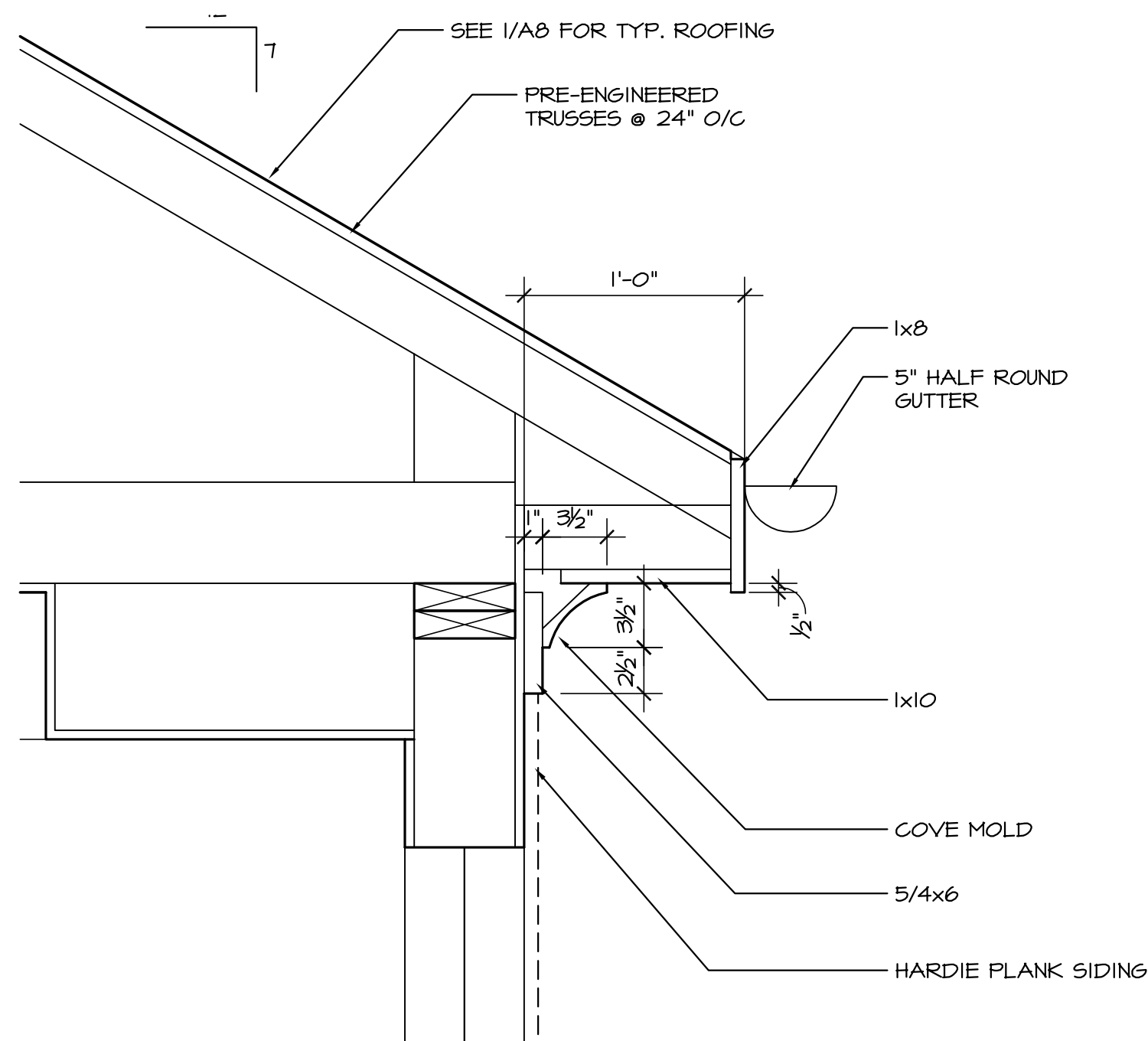
**FRONT
(EAST)
ELEVATION**

DATE: 12/5/22
DRAWING SCALE: AS NOTED
PROJECT NO: 2204
REVISION DATE:

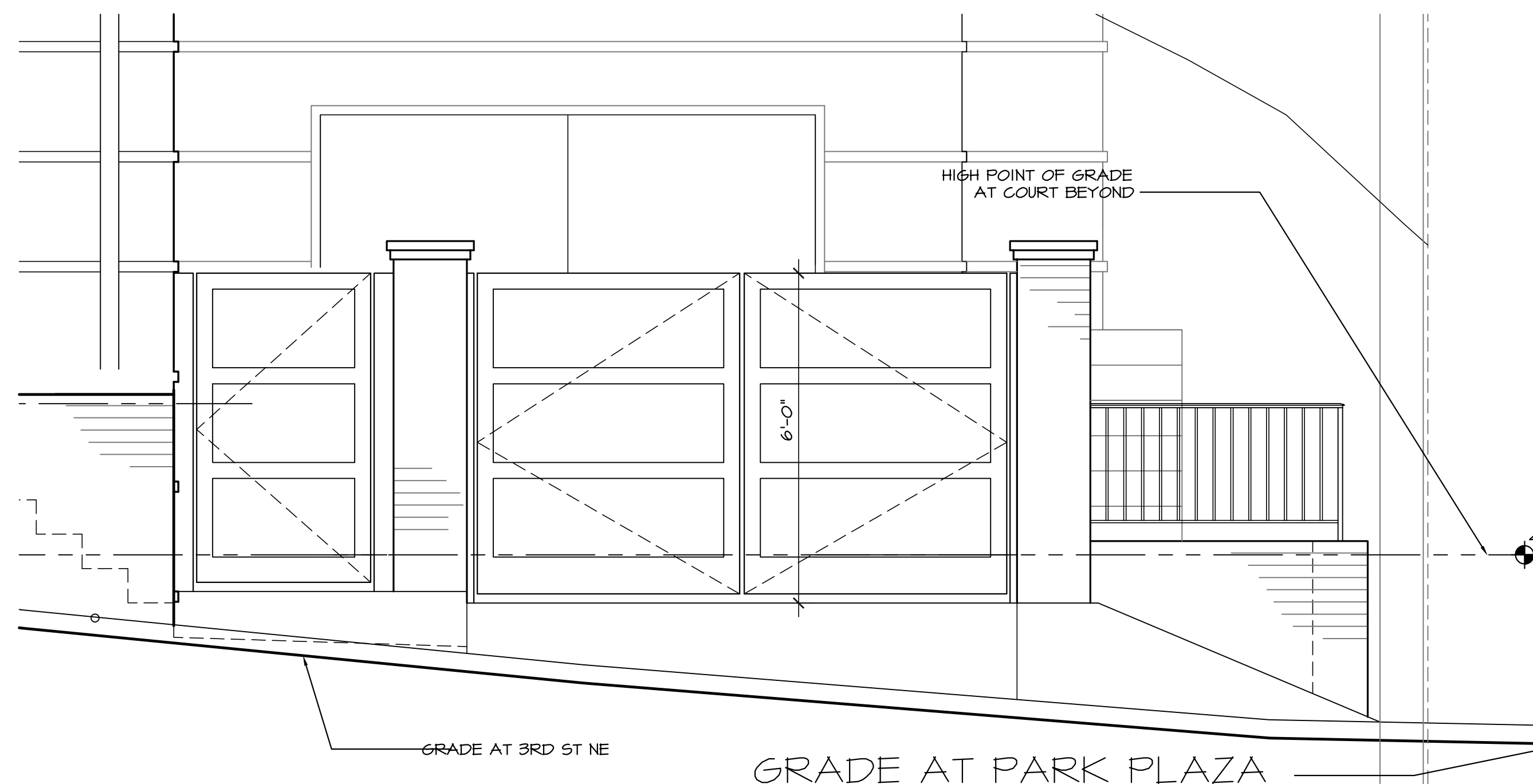
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A4

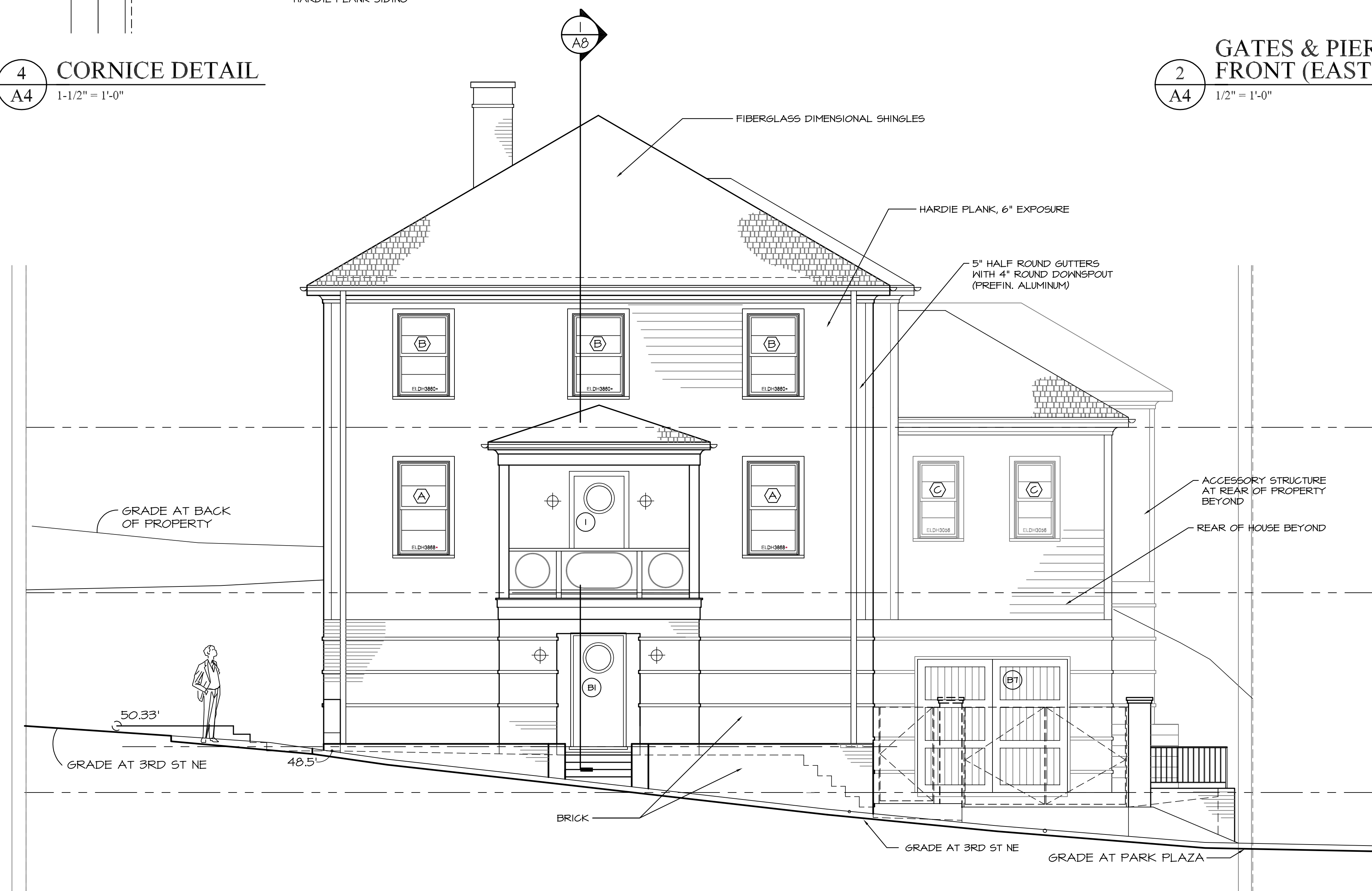
5 OF 9



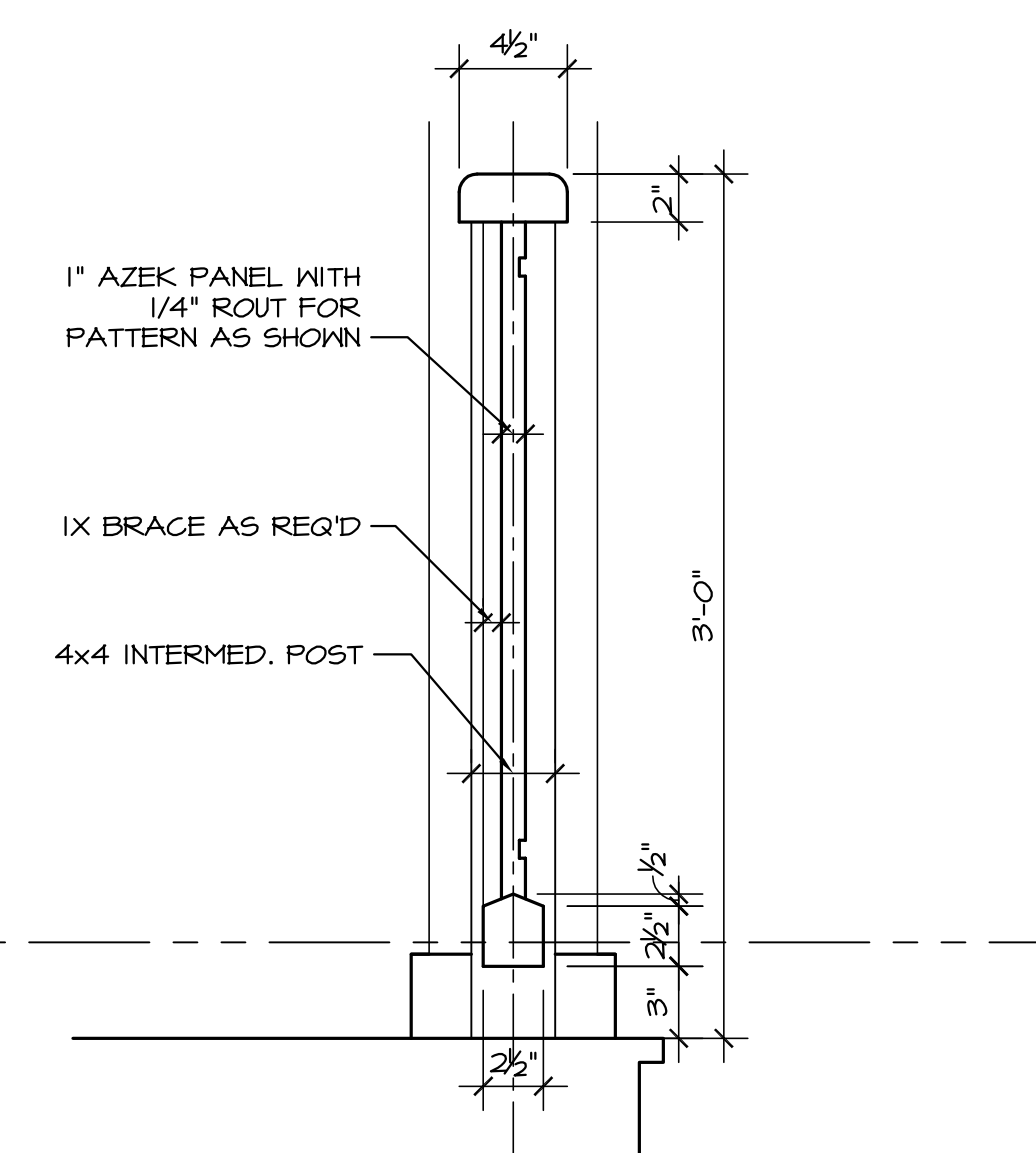
4 CORNICE DETAIL
A4 1-1/2" = 1'-0"



**2 GATES & PIERS AT
FRONT (EAST) ELEVATION**
A4 1/2" = 1'-0"



1 FRONT (EAST) ELEVATION
A4 1/4" = 1'-0"



3 RAILING DETAIL
A4 1-1/2" = 1'-0"

New Residence for
BAR Submittal 12-2-22 for

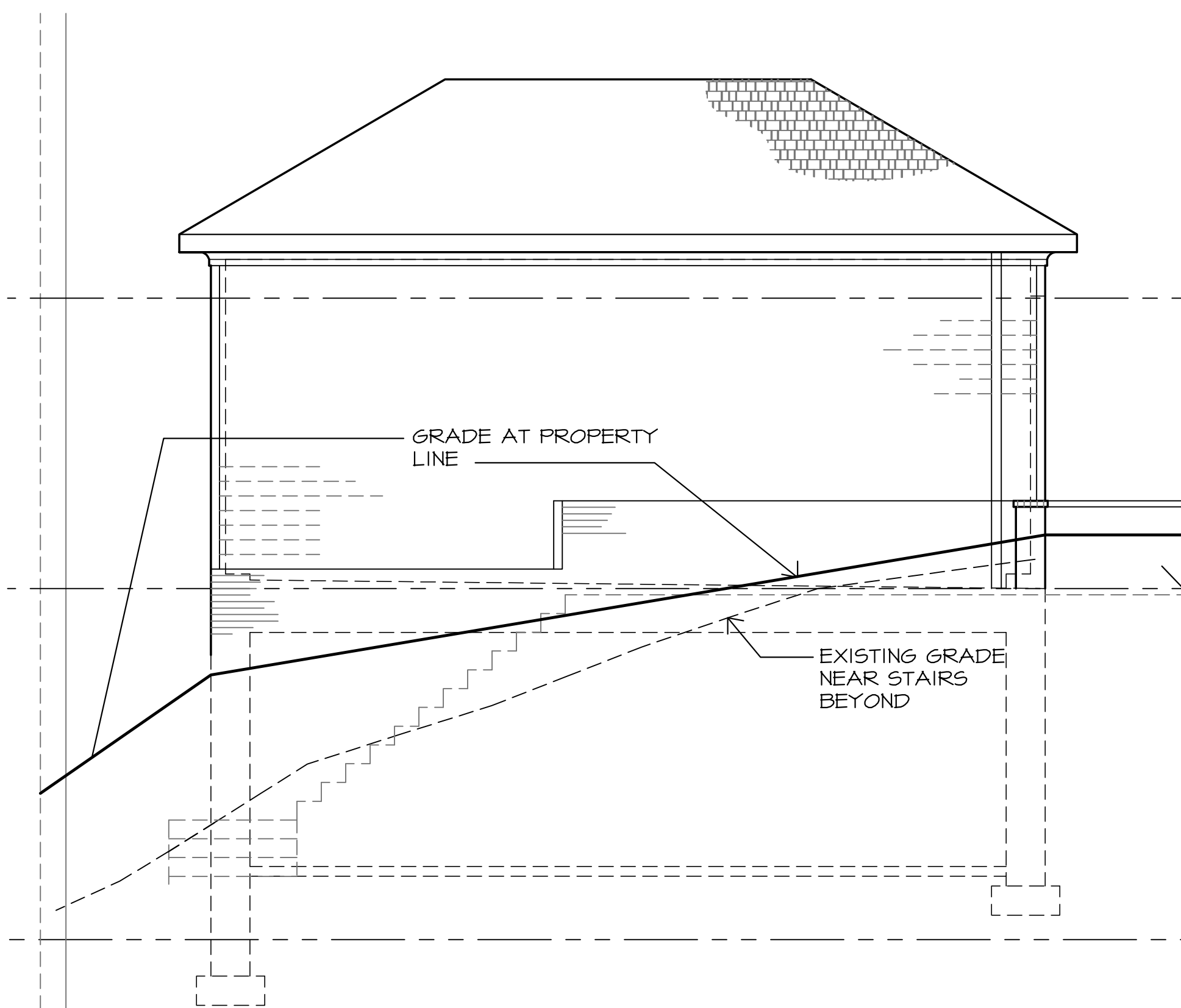
**SCOTT
LOUGHREY**

NEAR HEDGE ST.
& PARK PLAZA

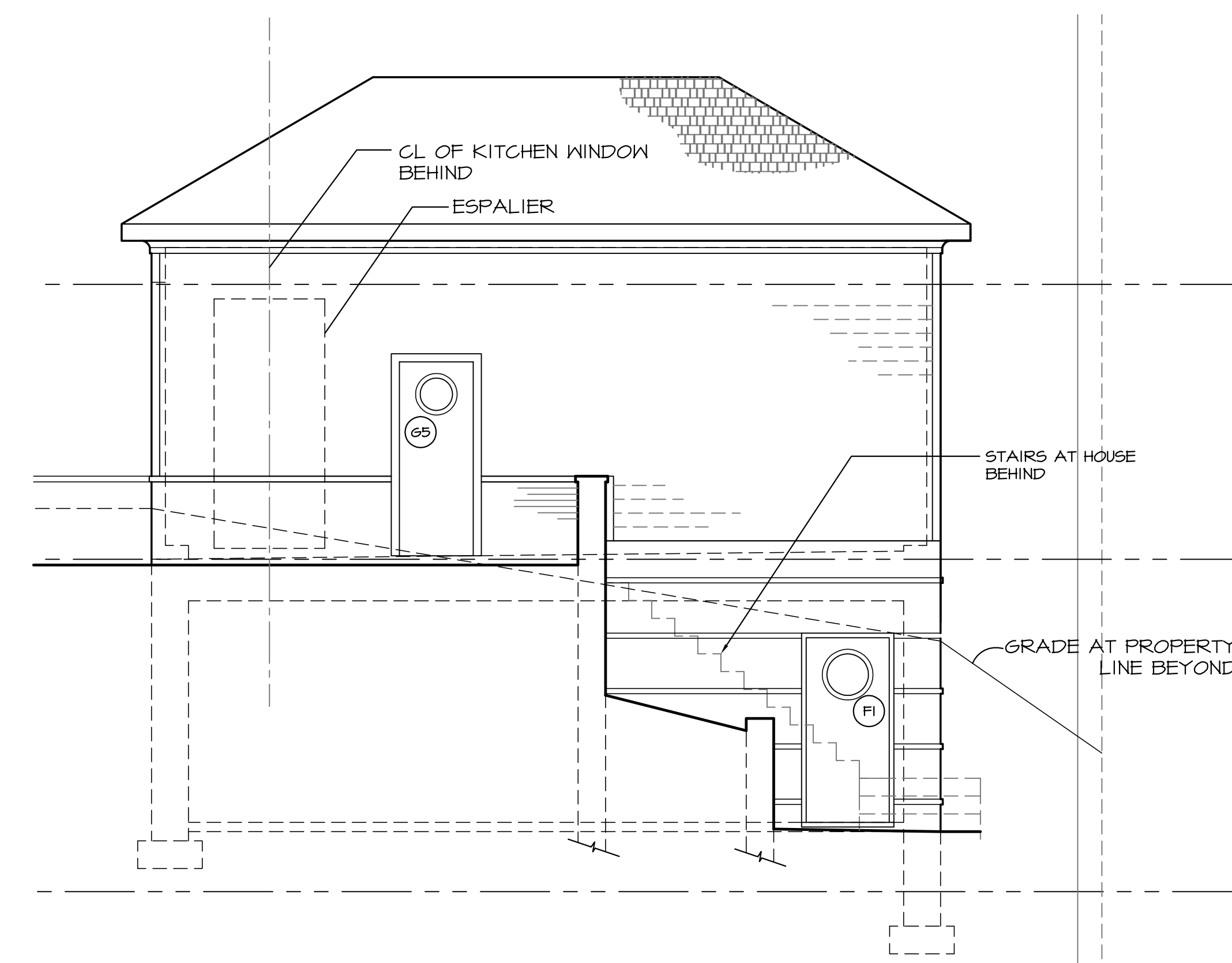
**REAR (WEST)
ELEVATION**

DATE: 12/5/22
DRAWING SCALE: 1/4" = 1'-0"
PROJECT NO: 2204
REVISION DATE:

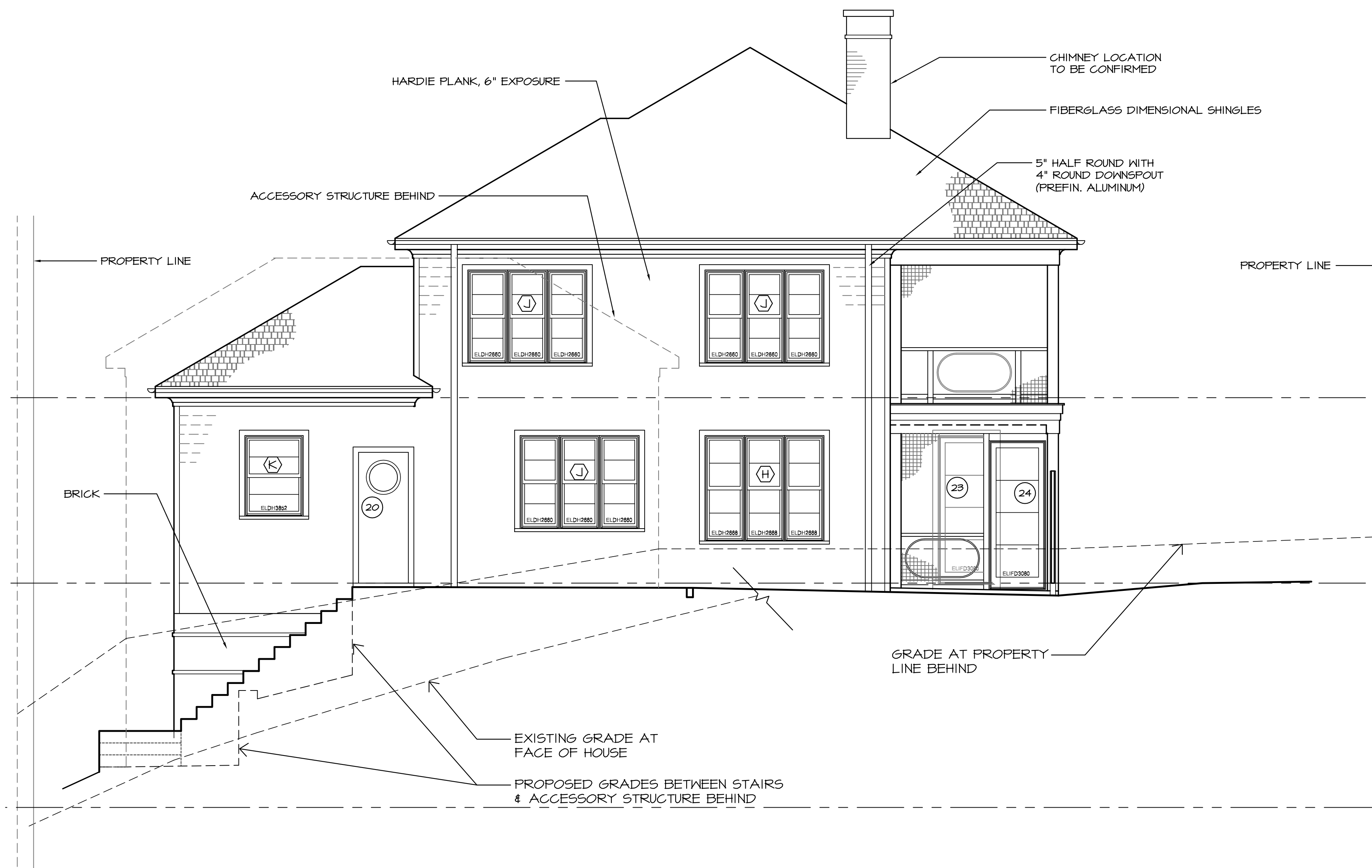
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2 ACCESSORY STRUCTURE - WEST ELEVATION
A5 1/4" = 1'-0"



3 ACCESSORY STRUCTURE - EAST ELEVATION
A5 1/4" = 1'-0"



1 REAR (WEST) ELEVATION
A5 1/4" = 1'-0"

New Residence for
BAR Submittal 12-2-22 for

**SCOTT
LOUGHREY**

NEAR HEDGE ST.
& PARK PLAZA

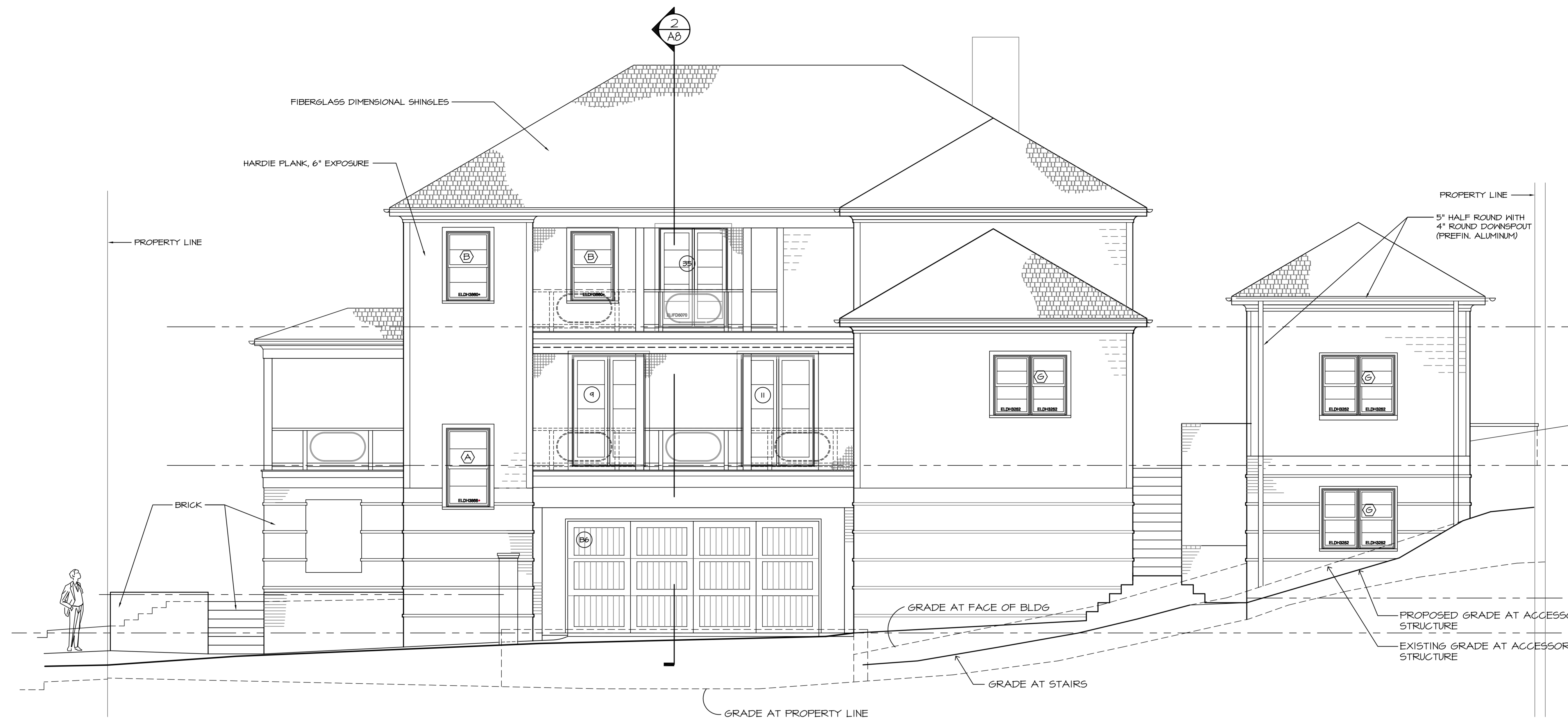
**SIDE (NORTH)
ELEVATION**

DATE: 12/5/22
DRAWING SCALE: 1/4" = 1'-0"
PROJECT NO: 2204
REVISION DATE:

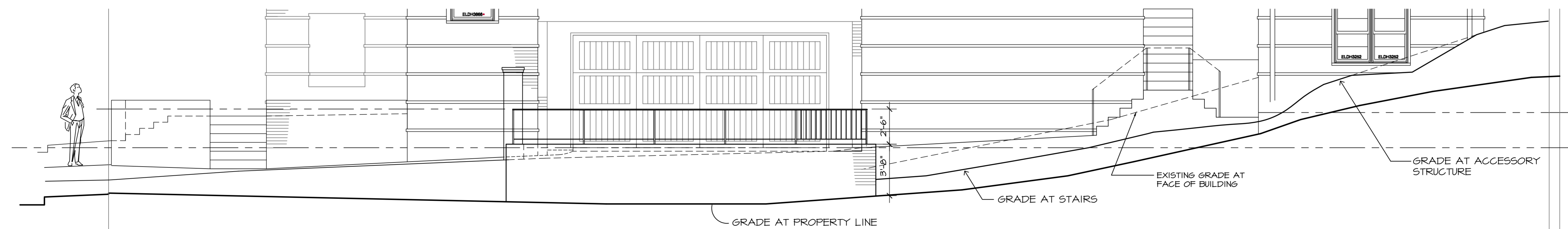
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A6

7 OF 9



1 SIDE (NORTH) ELEVATION
A6 1/4" = 1'-0"



2 SIDE (NORTH) ELEVATION @ PROPERTY LINE
A6 1/4" = 1'-0"

New Residence for
BAR Submittal 12-2-22 for

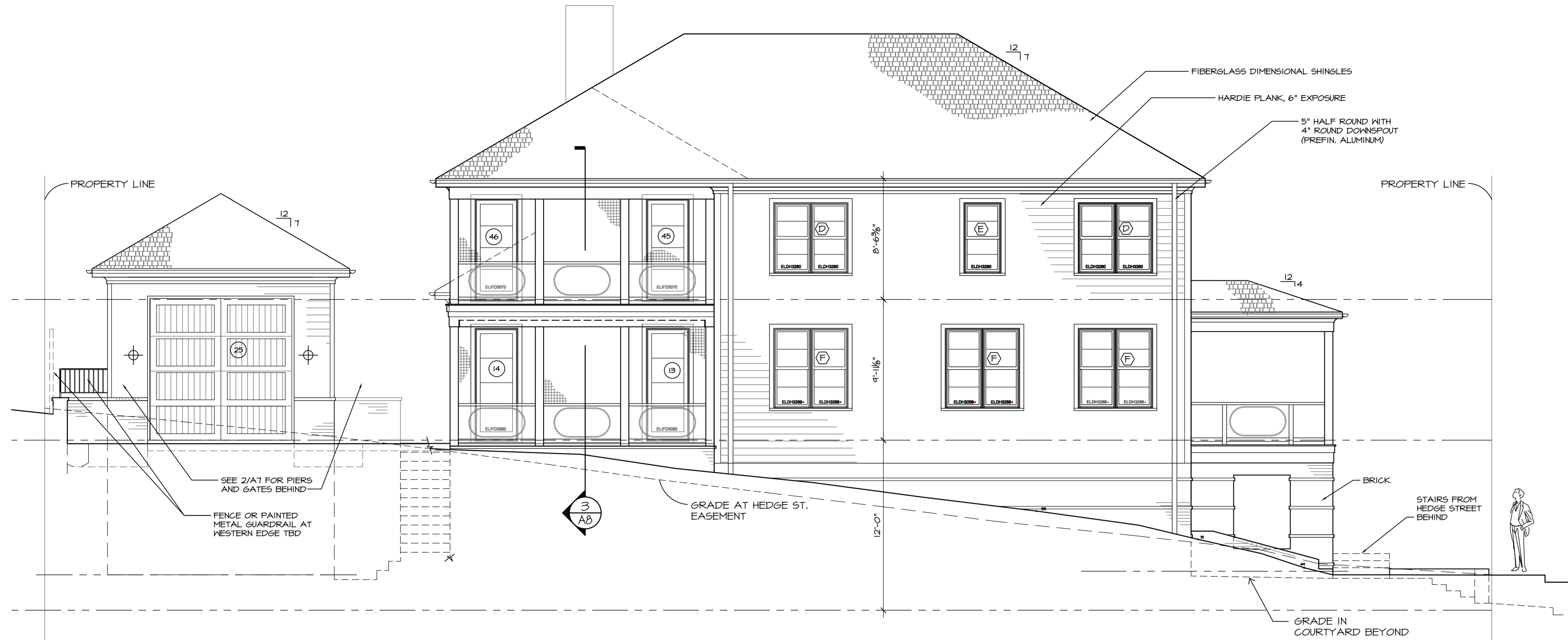
**SCOTT
LOUGHREY**

NEAR HEDGE ST.
& PARK PLAZA

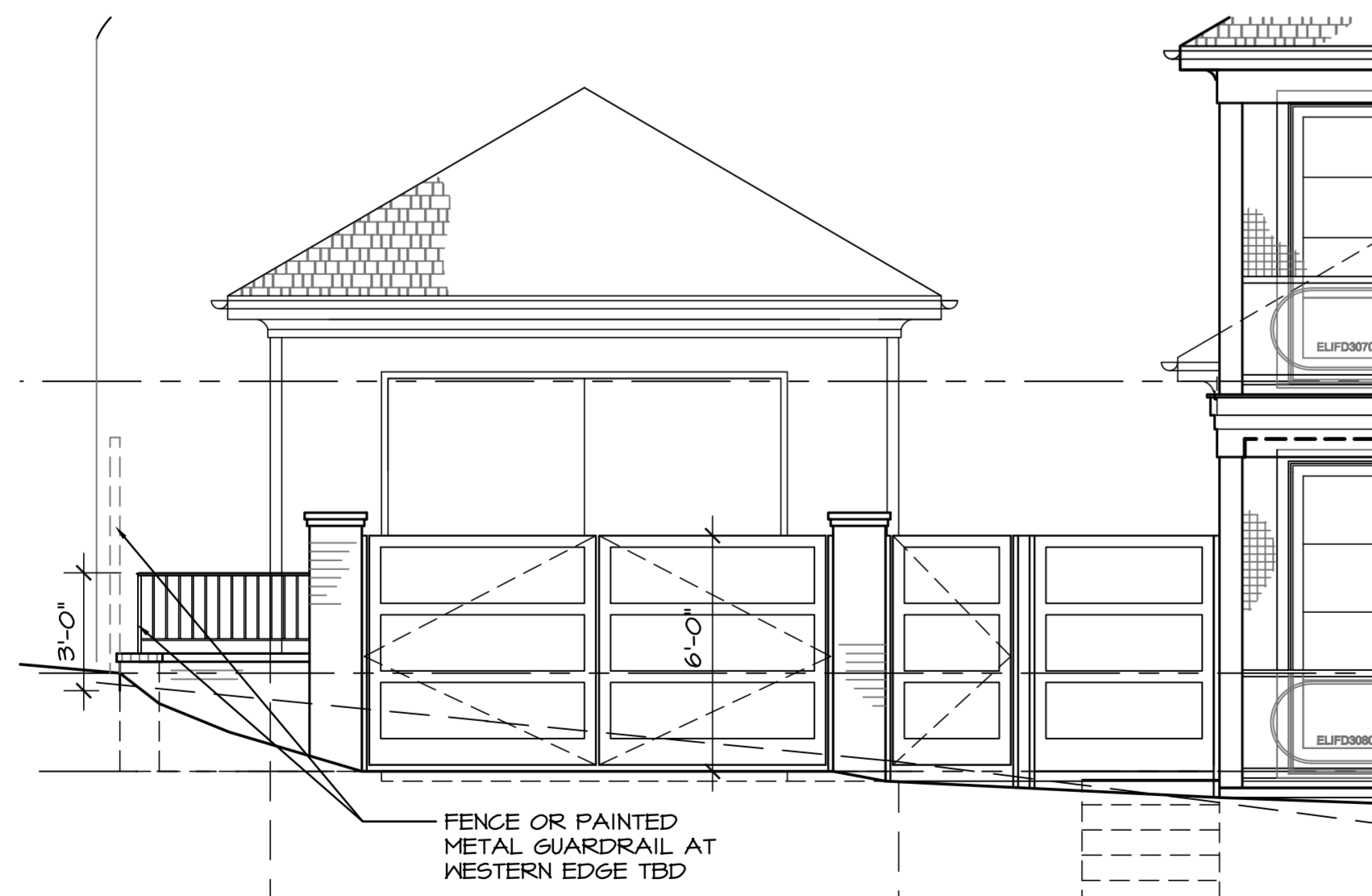
**SIDE (SOUTH)
ELEVATION**

DATE: 12/5/22
DRAWING SCALE: 1/4" = 1'-0"
PROJECT NO: 2204
REVISION DATE:

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1 SIDE (SOUTH) ELEVATION
A7 1/4" = 1'-0"



2 PIERS AT REAR TERRACE -
SIDE (SOUTH) ELEVATION
A7 1/4" = 1'-0"

New Residence for
BAR Submittal 12-2-22 for

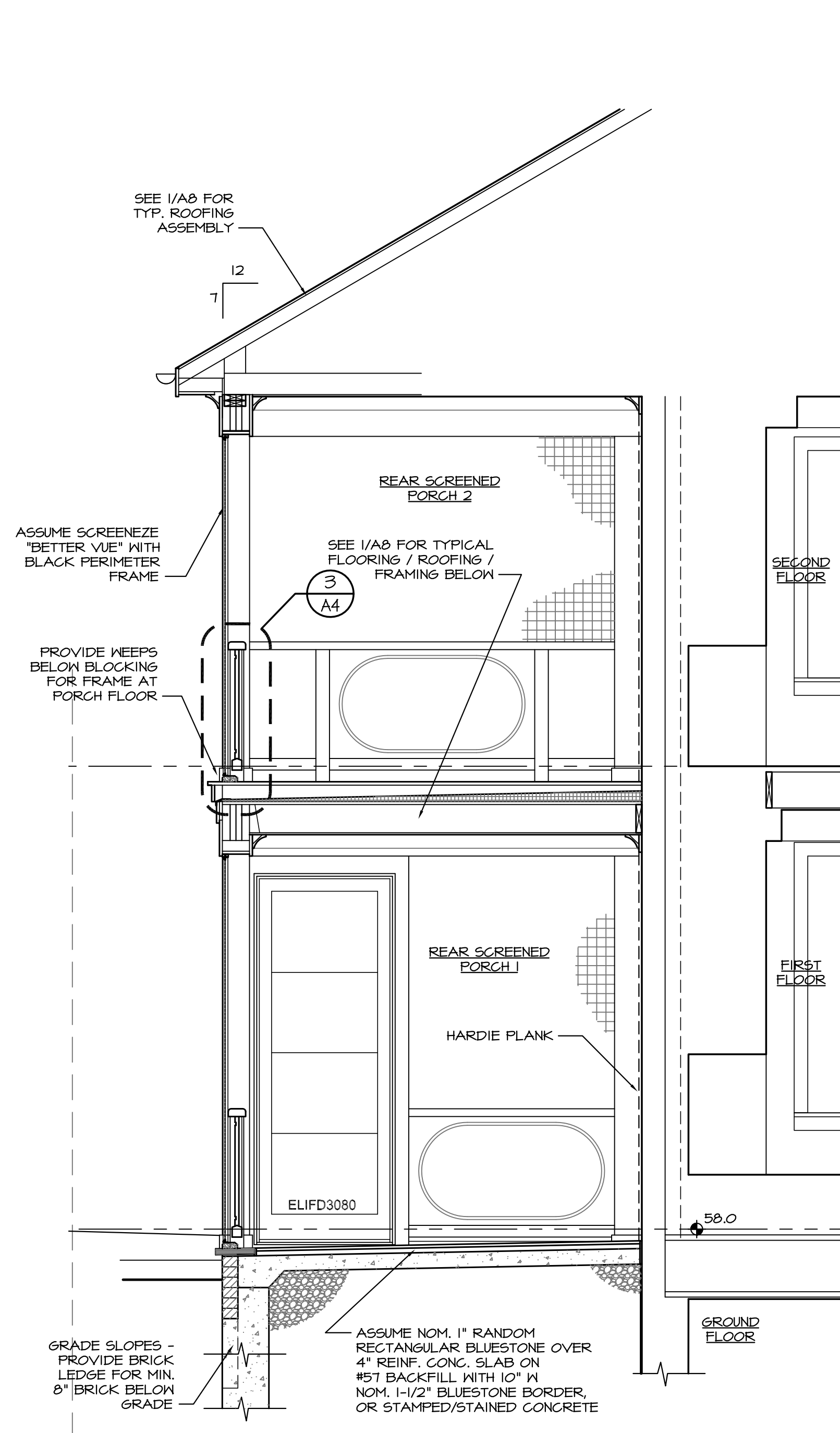
**SCOTT
LOUGHREY**

NEAR HEDGE ST.
& PARK PLAZA

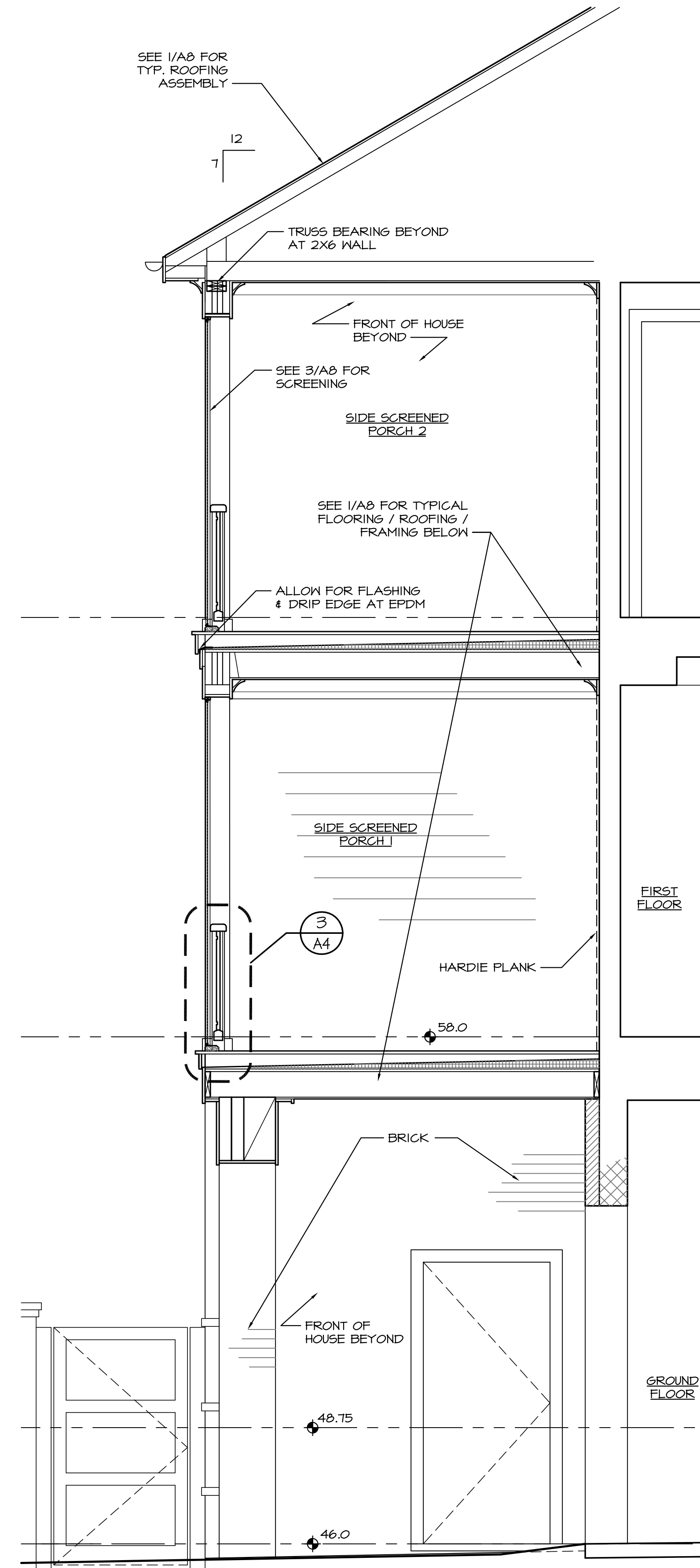
**WALL
SECTIONS**

DATE: 12/5/22
DRAWING SCALE: 1/2" = 1'-0"
PROJECT NO: 2204
REVISION DATE:

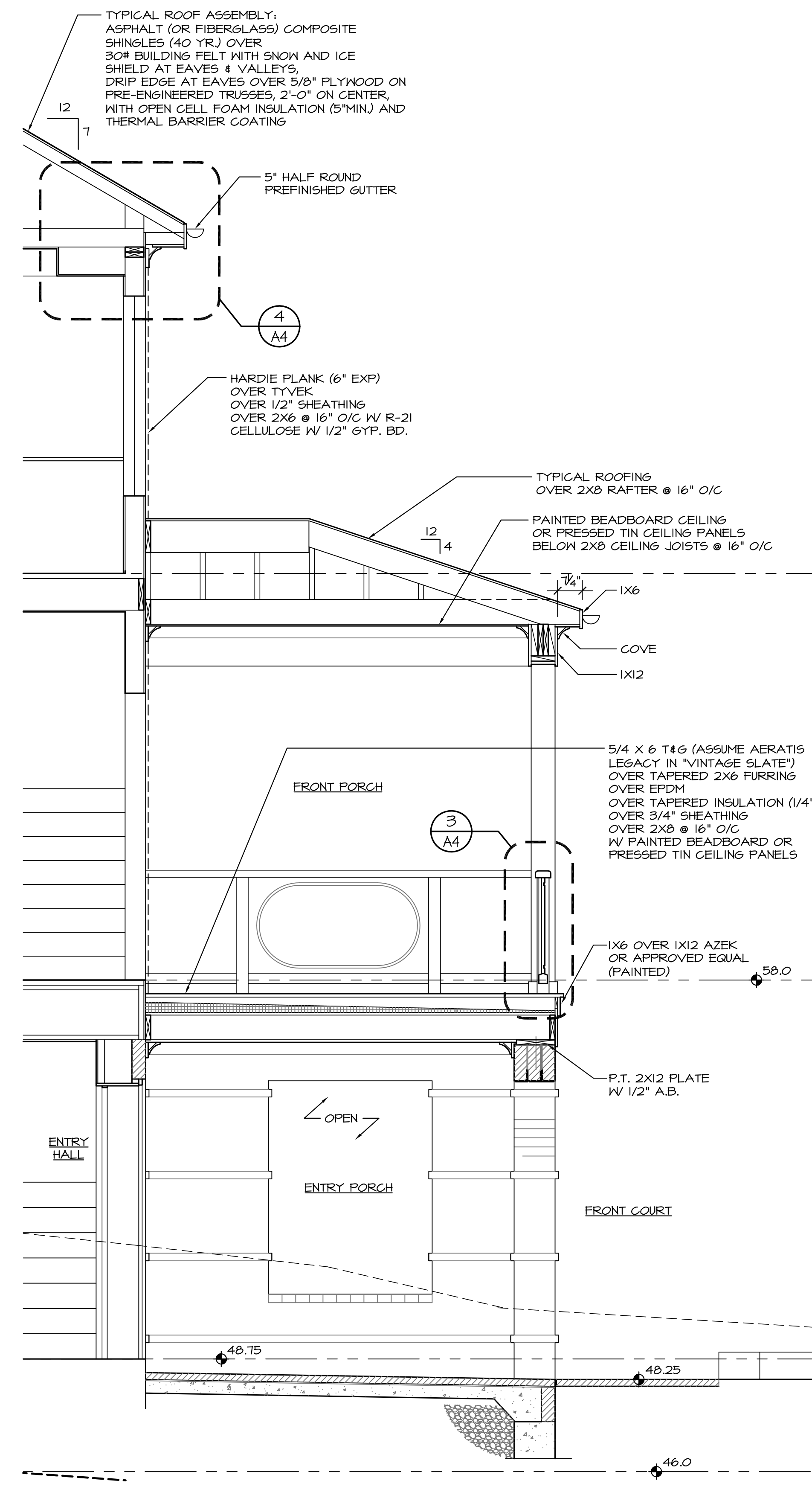
© CANDACE M.P. SMITH ARCHITECT, PC 2022



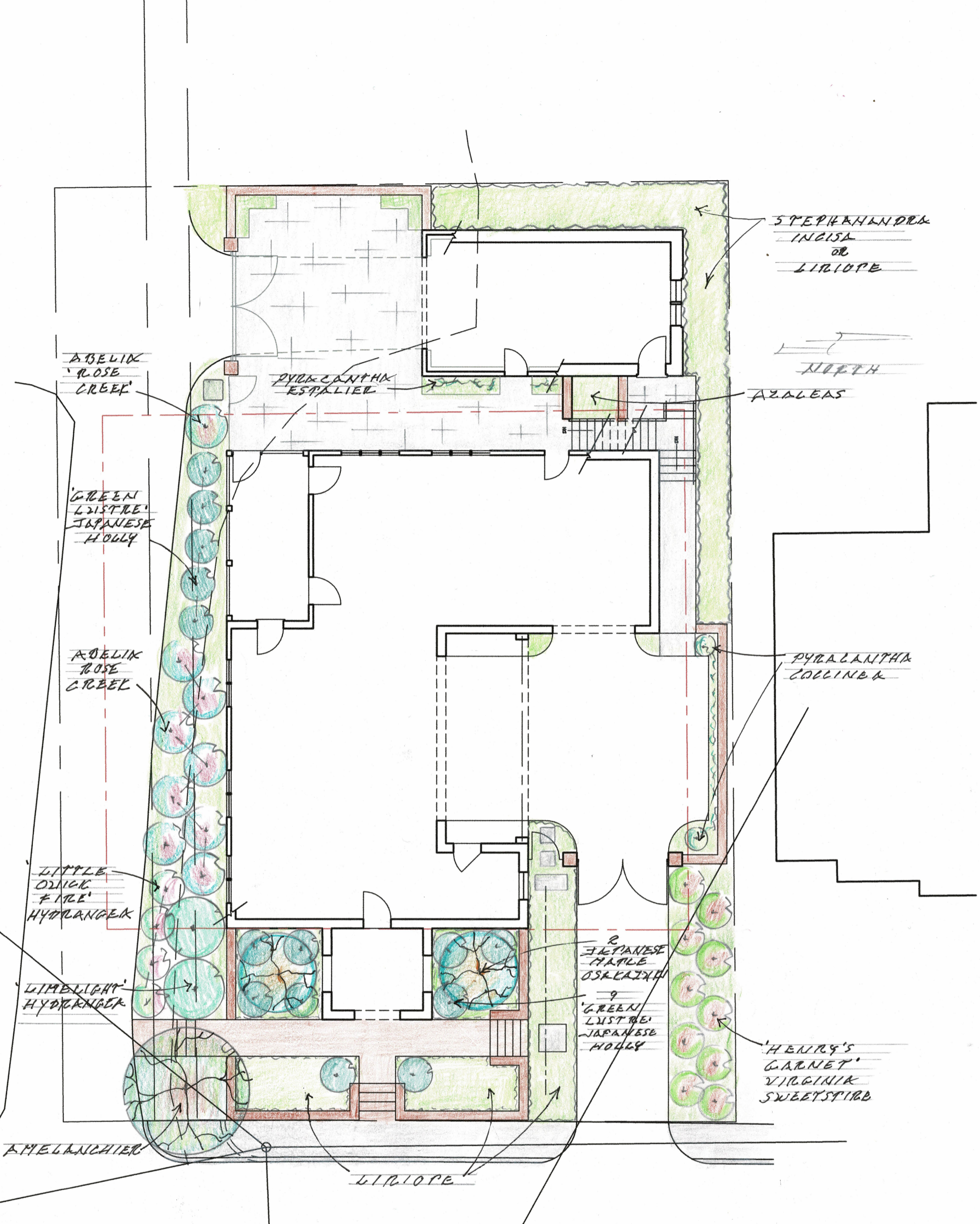
3 SECTION AT REAR PORCHES
A8 1/2" = 1'-0"



2 SECTION AT SIDE PORCHES
A8 1/2" = 1'-0"



1 SECTION AT FRONT PORCH
A8 1/2" = 1'-0"



CONCEPTUAL PLANTING PLAN
 1" = 10'-0"
 NEW RESIDENCE FOR
 SCOTT LOUGHREY
 0 THIRD ST. NE
 FOR BAR MEETING 12/20/2022

**LOUGHREY RESIDENCE
PLANT LIST**

November 25, 2022

Trees:

- 1 Amelanchier – Serviceberry
Single stem, 10 ft. height
- 2 Acer palmatum ‘Osakazuki’ – ‘Osakazuki’ Japanese Maple
(matched pair)
7 ht. height

Shrubs: Evergreen

- 14 Ilex cremate ‘Green Lustre’ – ‘Green Lustre’ Japanese Holly
24”-30”
- 4 Azalea ‘Pink Pearl’ – Azalea ‘Pink Pearl’
15”-18”
- 9 Abelia ‘Rose Creek’ – ‘Rose Creek’ Abelia
24”-30”

Shrubs – Deciduous:

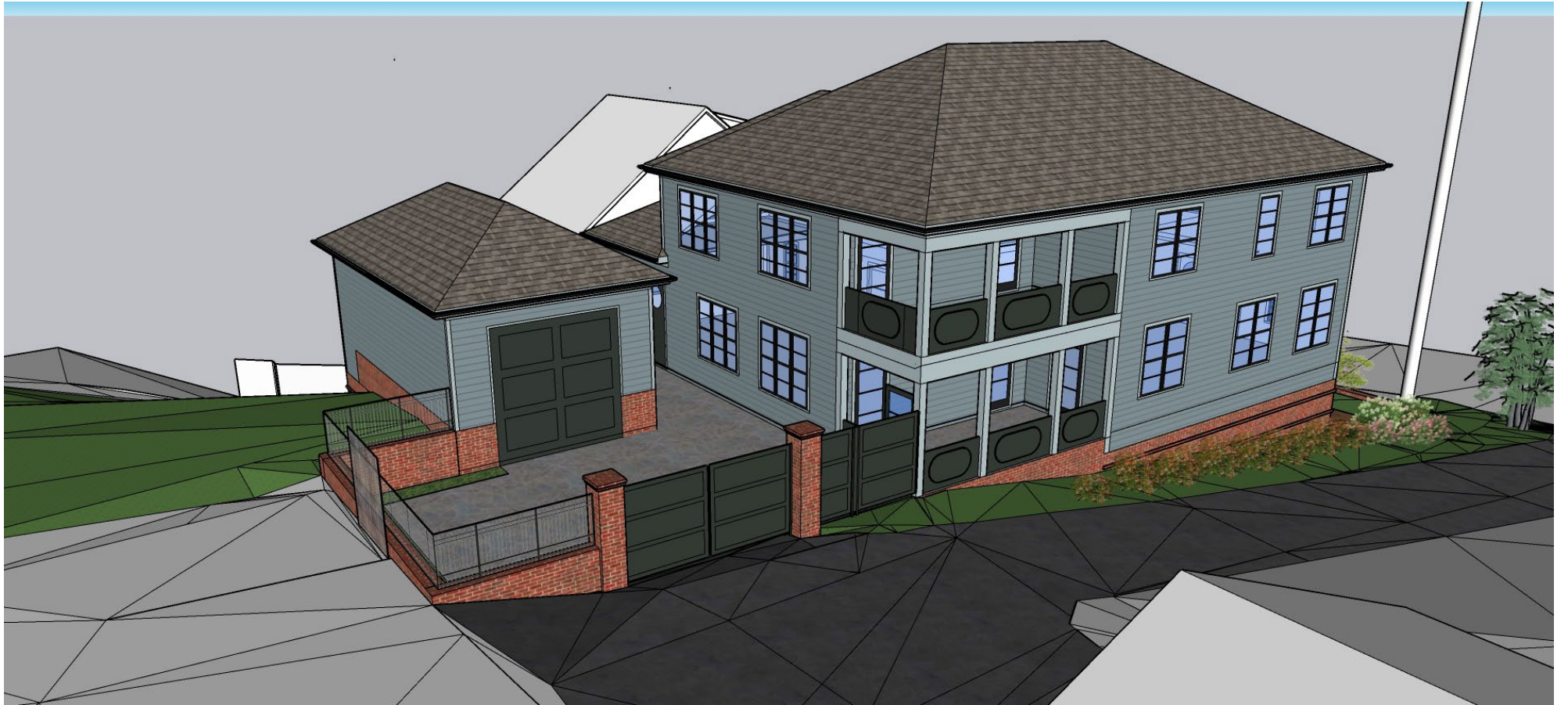
- 10 Itea virginica – Virginia Sweetpsire
‘Henry’s Garnet’
24”
- 4 Pyracantha coccinea – Firethorn
5 gallon
- 2 Hydrangea paniculata ‘Limelight’ – ‘Limelight’ Hydrangea
30”
- 4 Hydrangea paniculata ‘Little Quick Fire’ – ‘Little Quick Fire’ Hydrangea
24”
- Liriope spicata ‘Big Blue’
1 gallon
- Stephanandra incisa – Cutleaf Stephanandra
3 gallon











CANDACE M.P. SMITH ARCHITECT, PC
 202 SIXTH STREET NE
 CHARLOTTESVILLE, VA 22902
 TEL: 434-963-4500
 WWW.CMPSARCHITECT.COM

New Residence for Scott Loughrey
 0 3rd Street NE

For BAR Meeting 12/20/2022

Exterior Paint & Other Colors

		Preferred Scheme	Alternate Scheme
Roofing *	Fiberglass shingles	Black/gray	Black/gray
Gutters & Downspouts	Prefinished half round gutters & round downspouts	Prefinished Black	Prefinished Black
Window Frame & Sash*	Double hung	Ebony (Black) (Marvin Elevate)	Ebony (Black) (Marvin Elevate)
Doors (Porthole & Garage) *		Behr "Alpine Trail"	Benjamin Moore Color Preview "Black Knight" 2136-10
Trim & Posts*		Behr "Norwegian Blue"	Benjamin Moore Color Preview "Nimbus Gray" 2131-50
Siding	Hardie Plank	Behr "Half Sea Fog"	Benjamin Moore Color Preview "Smokestack Gray" 2131-40
Front Porch Railings	Solid panels (or metal pickets)	Behr "Alpine Trail"	Benjamin Moore Color Preview "Black Knight" 2136-10 (if solid panels) or Black Metal (if metal pickets)
Other Railings	Solid panels	Behr "Alpine Trail"	Benjamin Moore Color Preview "Black Knight" 2136-10
Gates	Solid panels	Behr "Alpine Trail"	Benjamin Moore Color Preview "Black Knight" 2136-10
Brick *		Red/maroon	Red/maroon

*See Material Selections.

Material Selections

Roofing: Atlas Roofing *Pinnacle Pristine Colors* "Pewter"

Gutters & Downspouts: Prefinished black half round gutters & round downspouts

Windows: Marvin Elevate "Ebony" with simulated divided lites, stainless spacer bars

French Doors: Marvin Elevate "Ebony" with simulated divided lites, stainless spacer bars

Custom Porthole Doors: Custom, painted, fir doors

Garage Doors: Overhead Door "Signature Carriage" custom wood door

Posts/Columns: Culpeper Columns dressed and painted with 1x4 bases

Siding: Painted fiber cement board lap siding, Hardie Plank, 6" exposure

Brick: General Shale "Buckingham Tudor"

Light Fixtures: Nancy B's House of Lights Item Id: 612971

Pinnacle® Pristine

High Performance Meets Designer Colors



Smart, Beautiful, Durable...
Why Choose Just One?

Atlas Pinnacle® Pristine architectural shingles offer a wide variety of beautiful color options to complement your home's exterior.

Together, with the power of Scotchgard™ Protector and a warranty that covers damage from winds up to 130 mph, your Pinnacle® Pristine roof will stay beautiful and provide superior performance for many years to come.



Black



Pinnacle® Pristine Colors



Black



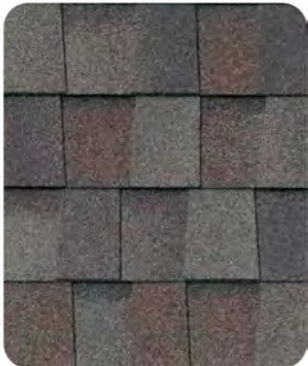
Coastal Granite



Hearthstone



Pewter



Summer Storm



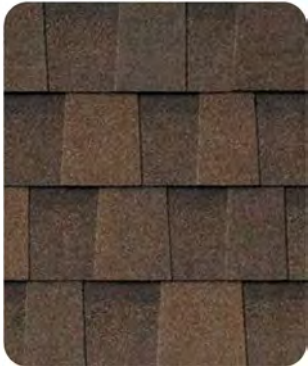
Oyster



Pearl*



Copper Canyon



Heather



Majestic Shake



Weathered Wood -Shown on cover



Weathered Shadow



Morning Harvest



Tan



Green



Sunset

• Limited regional availability. Please contact your local supplier.



Marvin Elevate™ collection

WINDOWS + DOORS





Double Hung windows with Window Opening Control Devices

DOUBLE HUNG

- Equipped with a standard full screen; optional half screen is available.
- Tilt latches are ergonomically designed and easy to operate making tilting and cleaning effortless.
- Sash lock provides a positive detent, reassuring user that the window is either locked or unlocked.
- Up to PG50 performance rating.
- Equal, Cottage, and Reverse Cottage sash provide a variety of looks and checkrail heights.
- Available in standard and special sizes up to 4 feet 6 inches wide by 7 feet high.
- Coordinating Picture and Transom windows also available.
- Double Hung Insert option features ¾ inch insert replacement frame with through jamb installation and up to PG40 performance rating.



DOUBLE HUNG



DOUBLE HUNG INSERT



Available with IZ3
(Excludes Insert option)



Inswing French door in Bronze with Northfield hardware in Oil Rubbed Bronze

INSWING FRENCH DOOR

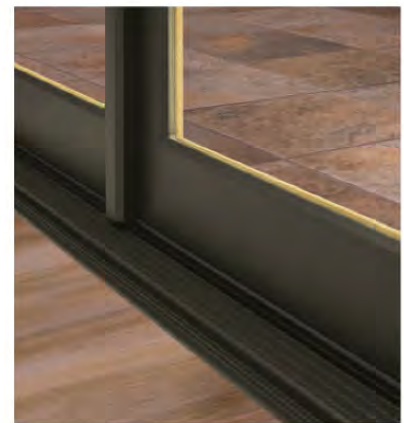
- Secure and stable stainless steel multi-point locking system.
- Precision built in 1/64 inch increments.
- Available in 1, 2, or 3-panel configurations.*
- Multiple configurations up to 6 feet wide by 8 feet high.
- Bronze or Beige sill available.
- PG30 performance rating standard.
- PG50 performance rating optional on 1 and 2-panel configurations.



INTERIOR



EXTERIOR



SILL DETAIL SHOWN IN BRONZE



Available with IZ3

* 3 panel configuration is achieved by mulling multiple frames together to create an assembly.

THERMAL PERFORMANCE

DOUBLE HUNG

GLASS DESCRIPTION	DIVIDER	U FACTOR	SHGC	VT	CR	ENERGY STAR	CANADA ENERGY STAR
11/16" IG Low E3/ERS Arg		0.24	0.21	0.48	46	N, NC, SC, S	1, 2
	SDLS < 1"	0.24	0.19	0.42	46	N, NC, SC, S	1, 2
	SDLN < 1"	0.24	0.19	0.42	46	N, NC, SC, S	1, 2
	GBG	0.24	0.19	0.42	46	N, NC, SC, S	1, 2
11/16" IG Low E3/ERS Air		0.27	0.21	0.46	42	N, NC, SC, S	1
	SDLS < 1"	0.27	0.19	0.42	42	N, NC, SC, S	1
	SDLN < 1"	0.27	0.19	0.42	42	N, NC, SC, S	1
	GBG	0.27	0.19	0.42	42	N, NC, SC, S	1
11/16" IG Low E3 Arg		0.27	0.21	0.49	57	N, NC, SC, S	1
	SDLS < 1"	0.27	0.19	0.43	57	N, NC, SC, S	1
	SDLN < 1"	0.27	0.19	0.43	57	N, NC, SC, S	1
	GBG	0.27	0.19	0.43	57	N, NC, SC, S	1
11/16" IG Low E3 Air		0.31	0.21	0.49	53	S	
	SDLS < 1"	0.31	0.19	0.43	53	S	
	SDLN < 1"	0.31	0.19	0.43	53	S	
	GBG	0.31	0.19	0.43	53	S	
11/16" IG Low E2 Arg		0.28	0.32	0.54	56	N, NC	1
	SDLS < 1"	0.28	0.28	0.48	56	NC	1
	SDLN < 1"	0.28	0.28	0.48	56	NC	1
	GBG	0.28	0.28	0.48	56	NC	1
11/16" IG Low E2 Air		0.32	0.32	0.54	53		
	SDLS < 1"	0.32	0.29	0.48	53		
	SDLN < 1"	0.32	0.29	0.48	53		
	GBG	0.32	0.29	0.48	53		
11/16" IG Low E1 Arg		0.29	0.52	0.60	56	N	1, 2
	SDLS < 1"	0.29	0.47	0.53	56	N	1, 2
	SDLN < 1"	0.29	0.47	0.53	56	N	1, 2
	GBG	0.29	0.47	0.53	56	N	1, 2
11/16" IG Low E1 Air		0.32	0.52	0.60	52		1, 2
	SDLS < 1"	0.32	0.46	0.53	52		1
	SDLN < 1"	0.32	0.46	0.53	52		1
	GBG	0.32	0.46	0.53	52		1
11/16" IG Arg		0.43	0.59	0.62	45		
	SDLS < 1"	0.43	0.53	0.55	45		
	SDLN < 1"	0.43	0.53	0.55	45		
	GBG	0.43	0.53	0.55	45		
11/16" IG Air		0.45	0.59	0.62	43		
	SDLS < 1"	0.45	0.53	0.55	43		
	SDLN < 1"	0.45	0.53	0.55	43		
	GBG	0.45	0.53	0.55	43		

----- Product Select -----

Collections and Product Lines: ▾

Door or Window: ▾

Product: ▾

----- Available Options -----

Surface:

Wood Species:

Impact Zone: ▾

Panels:

Divider: ▾

Spacer:

Glass: ▾

Coating: ▾

Gas Fill: ▾

Energy Factor	Value (range)
U Factor:	0.29
Solar Heat Gain (SHGC):	0.24
Visual Transmittance (VT):	0.40
Condensation Resistance (CR):	62
Energy Star:	N, NC, SC, S
Energy Star Canada:	
U Factor Canada:	1.65

CPD Number(s):

Signature[®] Carriage Wood

COLLECTION



Custom crafted wood doors provide distinctive charm and unmatched luxury

The Genuine. The Original.



Villa Madre Series

Note:
Previous model numbers and panel styles are noted in parentheses in gray.

Capturing the romantic lines and distinguished flare of old world estates, Villa Madre Series doors exemplify elegance and style. Doors provided unfinished, in paint-grade or stain-grade wood.

Model 9960 Premium Construction (Insulation* standard)

	Horizontal Overlay (H) (580 Ortega)	Vertical Overlay (C2) (580 Medina)	Vertical Overlay (C3) (580 Pizarro)	Vertical Overlay (C4) (580 Cruz)
Square top				
Arched top				

Model 9940 Standard Construction (Insulation optional)

Villa Madre Series, Model 9960, Vertical Overlay (580 Pizarro), 3PS- Three Pane Square Top windows with speciality glass, decorative hardware

	Horizontal/Grooved Overlay (HG) (570 Castille Grooved)
Square top	
Arched top	



See additional window options on page 14.

*Insulated R-value 4.75. Overhead Door Corporation uses a calculated door section R-value for our insulated doors.





DISCLAIMER: It is impossible with only a few units to illustrate all colors, color percentages and harmless imperfections that may occur in a full truck shipment. Therefore this sample is intended to represent general color range and texture only.

www.GeneralShale.com

Buckingham Tudor
Lightweight Engineer 603500-4852
Richards VA
Richards VA
SEE INFO/NOTICE ON BACK





Q 1807 Seminole Trail Ste 102
Charlottesville, VA 22901
C [434-975-4448](tel:434-975-4448)
Fax: 434-974-5644



www.nancybshouseoflights.com



office@nancybshouseoflights.com



LED Outdoor Wall Sconce



Item ID: **612971**
Finish: **Bronze**
Width: 6.00"
Height: **18.00"**



Bulbs

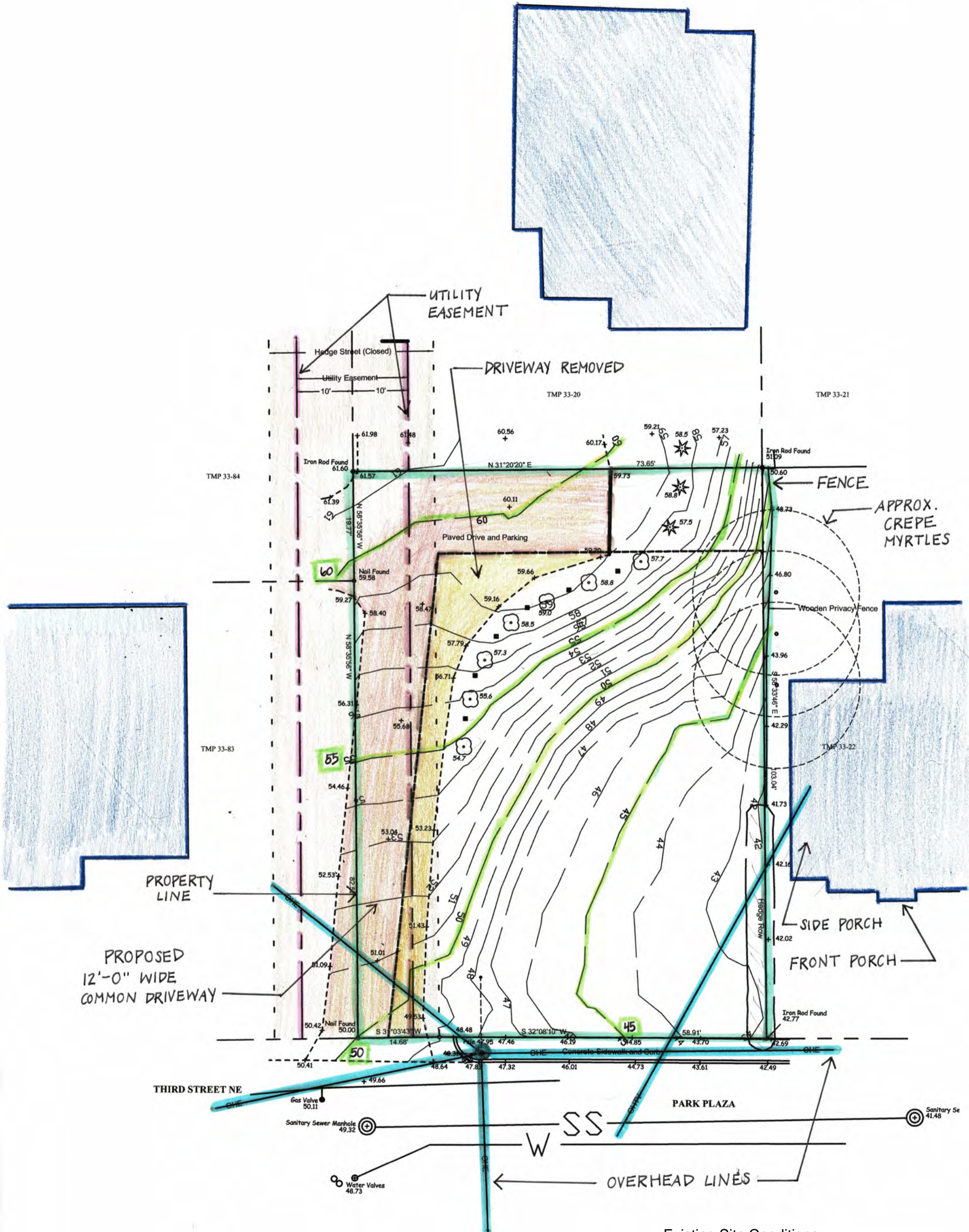
Voltage: 120 V

Qty.	Type	Base	Watt	Incl.	Source	LM.	CCT	CRI	Avg.Life	Dim	Beam
1	PCB	PCB Integrated	20.00 W	Yes	LED	1700.00 lm	3000 K	80 CRI	-	-	-

Details

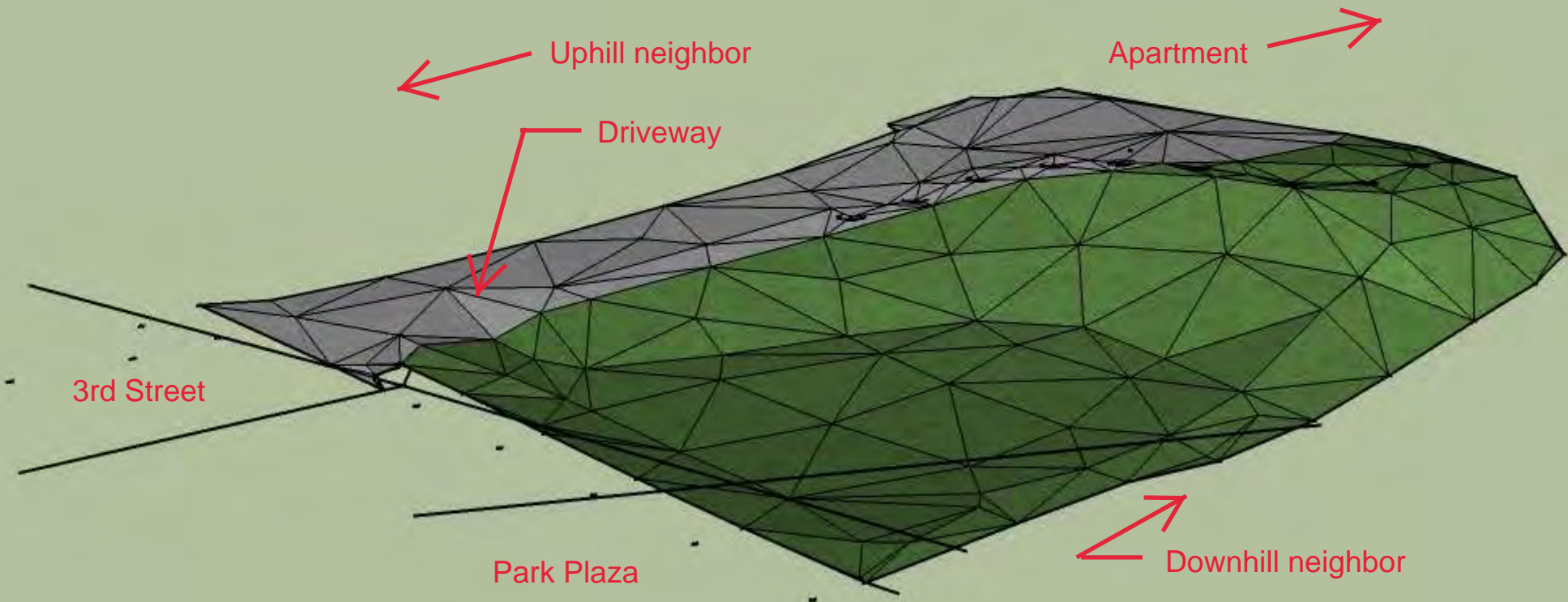
Safety Listing: **cETLus**
Safety Rating: **Wet**
Glass: **White**
Canopy: 1T"x5.25"
Extension: **4.00"**
Weight: **3.42 lb**

Please be advised that all prices and information shown here are subject to verification by our showroom personnel. In the event of a discrepancy, we reserve the right to make any corrections necessary.

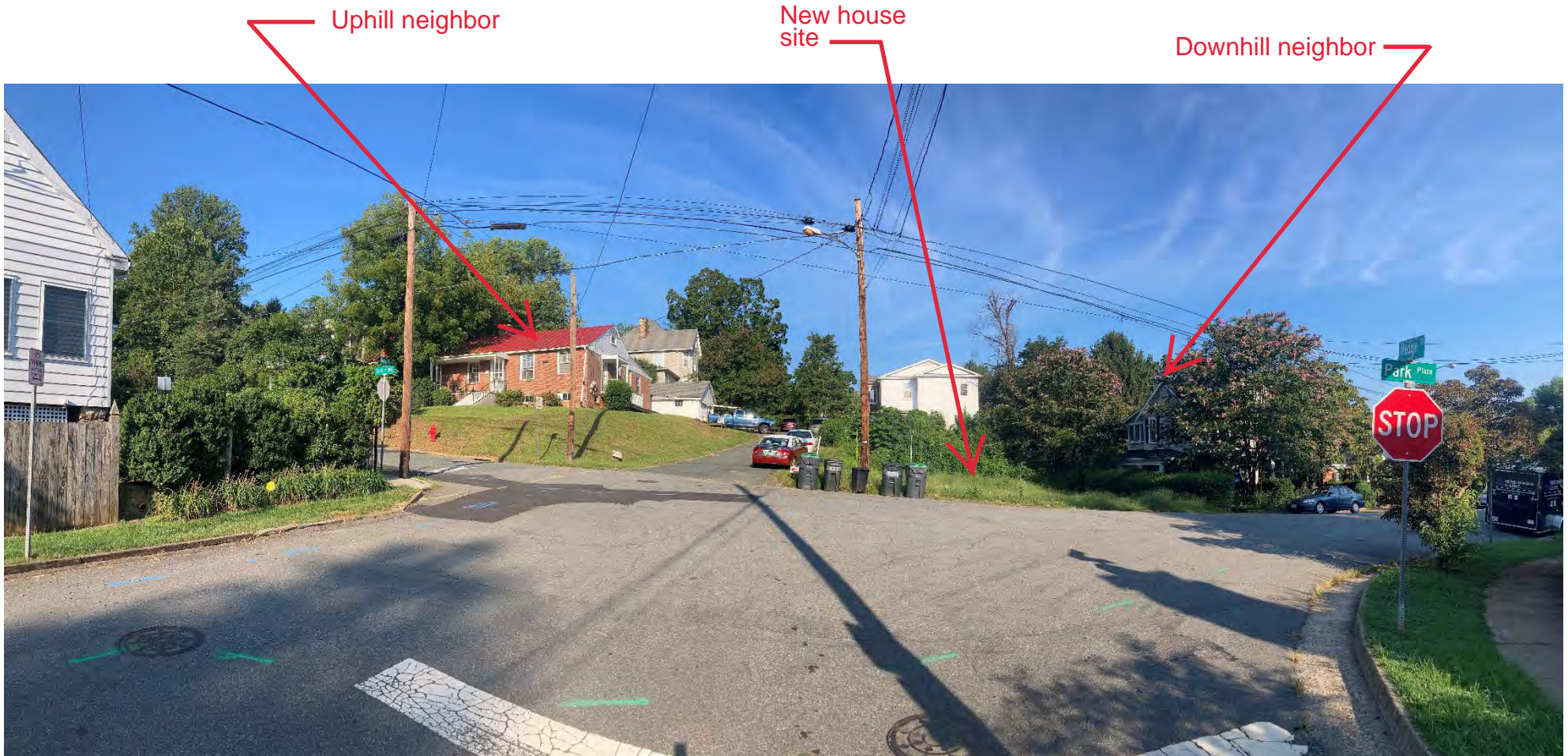


Existing Site Conditions
 Proposed New Residence
 Scott Loughrey
 0 Third St. NE

BAR Submittal 12/20/22



3D Topo
Proposed New Residence
Scott Loughrey
0 Third St. NE
BAR Submittal 12/20/22



Uphill neighbor

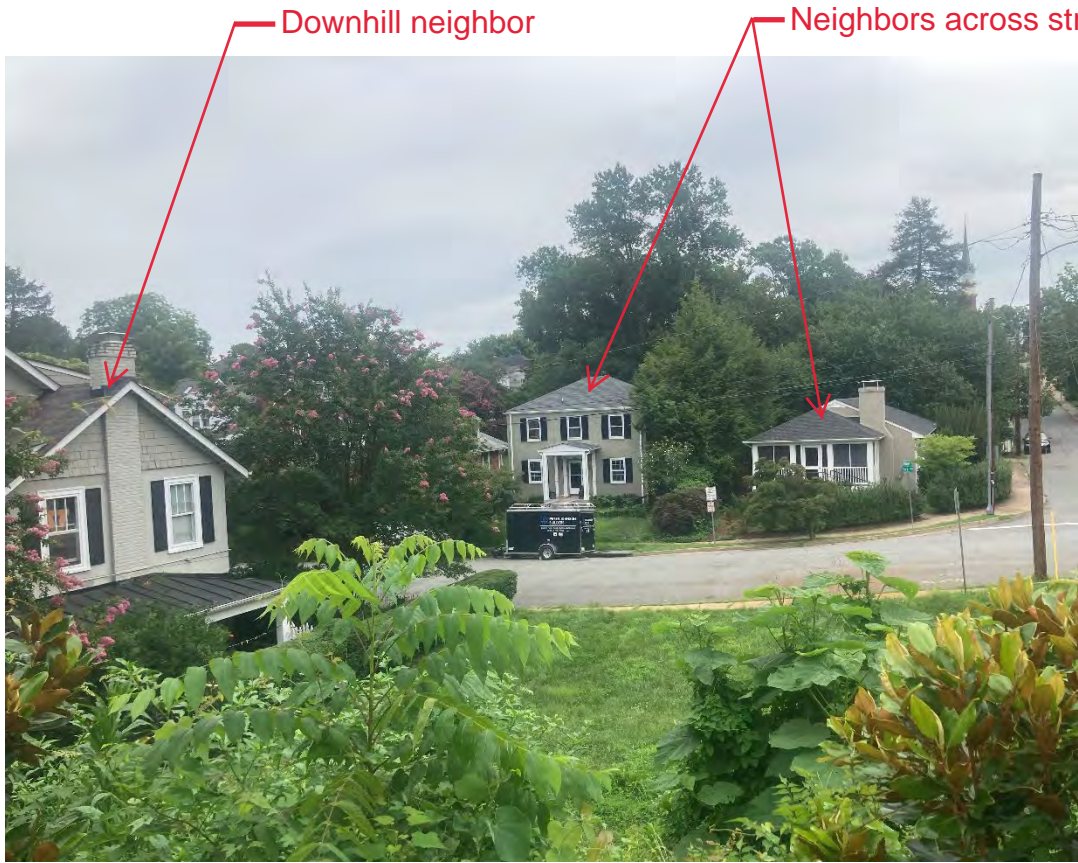
New house site

Downhill neighbor

Existing Site Photos
Proposed New Residence
Scott Loughrey
0 Third St. NE

BAR Submittal 12/20/22

Standing near
or just above
new Finish
1st floor



Uphill neighbor

Apartment behind property



Old Hedge
Street
Easement

Downhill neighbor porch

Front porch



Hedge spanning PL

Uphill neighbor



Apartment behind property



Downhill Neighbor

Steep slope

Apartment behind property



Old Hedge Street Easement

