

From: [Murphy, Mollie](#)
To: marial.childress@gmail.com; connor.childress@gmail.com
Cc: [Werner, Jeffrey B](#)
Subject: BAR # 23-02-01
Date: Friday, February 24, 2023 8:31:00 AM
Attachments: [image001.png](#)

Certificate of Appropriateness Application

BAR # 23-02-01

1516 East Market Street, TMP 560107000

Woolen Mills Village Historic Conservation District

Owner: Marial & Connor Childress

Applicant: Marial & Connor Childress

Project: Rear Addition and Porch

Mr. & Ms. Childress:

The CoA for the above referenced project was approved by the City of Charlottesville Board of Architectural Review on February 22, 2023. The following action was taken:

Action: *Motion approved (6-0):* Having considered the standards set forth within the City Code, including City Design Guidelines for Historic Conservation Districts, I move to find that the proposed addition, porch, and window replacements at 1516 East Market Street satisfy the BAR's criteria and are compatible with this property and other properties in the Woolen Mills Village Historic Conservation District, and that the BAR approves the application [as submitted].

Note: Ms. Lewis moved to approve CoA. Schwarz second. Motion passed 6-0.

For specifics of the discussion, the meeting video is on-line at:

<https://boxcast.tv/channel/vabajtzezuuv3iclkx1a?b=gv0e4cwtctydvwjjke2c>

Per the provisions of City Code Sec. 34-280: This CoA is valid for 18 months [from the date of BAR approval]; upon written request and for reasonable cause, the director of NDS or the BAR may extend that period by one year; and this CoA does not, in and of itself, authorize any work or activity that requires a building permit. (Link to Sec. 34-280: [CoA period of validity](#))

If you have any questions, please contact me or Jeff Werner at wernerjb@charlottesville.gov. (Please remove the BAR notice sign.)

Sincerely,
Mollie Murphy



Mollie Murphy
Assistant Historic Preservation and Design Planner
Neighborhood Development Services
City of Charlottesville
(434) 970-3515 | murphymo@charlottesville.gov

<https://www.charlottesville.gov/264/Historic-Preservation-Design-Review>
<https://gisweb.charlottesville.org/GisViewer/>

**City of Charlottesville
Board of Architectural Review
Staff Report
February 22, 2023**



Certificate of Appropriateness (HC District)
BAR # 23-02-01
1516 East Market Street, TMP 560107000
Woolen Mills Village Historic Conservation District
Owner/Applicant: Marial & Connor Childress
Project: Rear Addition and Porch



Background

Year Built: 1916
District: Woolen Mills Historic Conservation District
Status: Contributing
(Historical survey in Appendix)

Prior BAR Review

n/a

Application

- Submittal: Outlaw Design Company drawings *Childress Additions and Renovations*, dated 12/01/2022, 10 sheets. (BAR is reviewing exterior alterations only.)

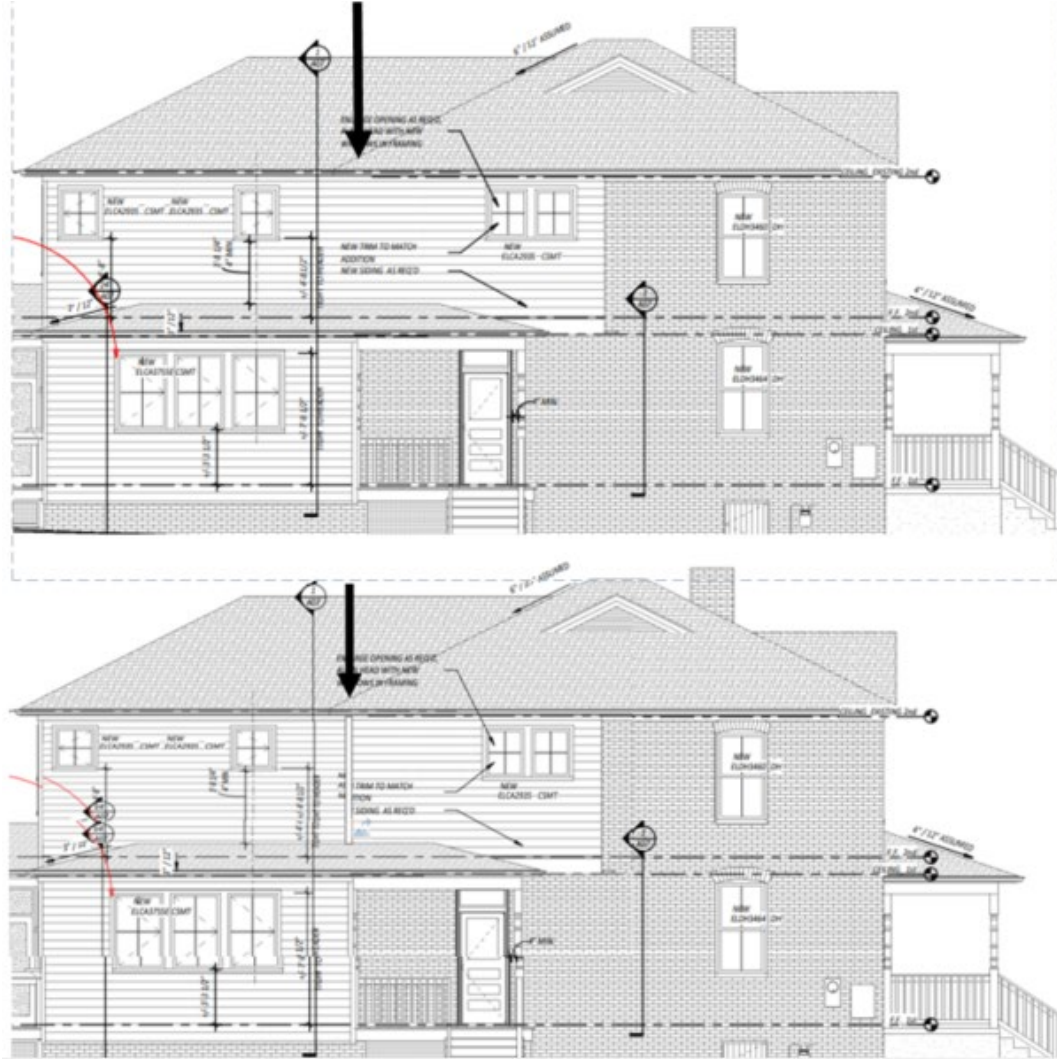
Request CoA for rear addition to the existing dwelling and replacement of the existing windows.

Discussion and Recommendations

Staff recommends approval and, except for one question for the BAR, staff would have recommended approval on the Consent Agenda.

Question: On the east elevation, at the second floor, a former porch was enclosed with siding. The new addition, as presented, will continue the enclosed porch's wall plane, as if a continuous wall. For the new to *read as an addition*, staff suggested the applicant *push in* the new wall, creating a corner and a visual break from the existing wall. However, that would create difficulties with the planned interior space—the location of a structural beam. In lieu of creating a corner, a simpler solution is to install a [flat] *corner board* where the new meets the old and, possibly, alter the face dimension or the pattern

of the new siding, differentiating it from the old. In approving the CoA, staff asks the BAR to consider this condition and, if necessary, advise on an appropriate solution, which would be incorporated into the CoA.



Note: The regulations and guidelines for projects within a Historic Conservation District (HCD) are, by design, less rigid than those for an ADC District or an IPP. The HCD designations are intended to preserve the character-defining elements of the neighborhoods and to assure that new construction is not inappropriate to that character, while minimally imposing on current residents who may want to upgrade their homes. Within the existing HCDs are buildings and/or areas that might easily qualify for an ADC District or as an IPP; however, in evaluating proposals within HCDs, the BAR may apply only the HCD requirements and guidelines.

Suggested Motions

Approval: Having considered the standards set forth within the City Code, including City Design Guidelines for Historic Conservation Districts, I move to find that the proposed addition, porch, and window replacements at 1516 East Market Street satisfy the BAR’s criteria and are compatible with this property and other properties in the Woolen Mills Village Historic Conservation District, and that the BAR approves the application [as submitted.]

[...as submitted with the following conditions: ...]

Denial: Having considered the standards set forth within the City Code, including City Design Guidelines for Historic Conservation Districts, I move to find that the proposed addition, porch, and window replacements at 1516 East Market Street do not satisfy the BAR's criteria and are not compatible with this property and other properties in the Woolen Mills Village Historic Conservation District, and that for the following reasons the BAR denies the application as submitted:

Criteria, Standards, and Guidelines

Review Criteria Generally

Sec. 34-341 - Criteria for approval

- a. In considering a particular application the BAR shall approve the application unless it finds:
 1. That the proposal does not meet specific standards set forth within this division or applicable provisions of the conservation district design guidelines; and
 2. The proposal is incompatible with the historic, cultural or architectural character of the conservation district in which the property is located.
- b. The BAR's review of the proposed new construction or addition to a building or structure shall be limited to factors specified in section 34-342. The BAR's review of the proposed demolition, razing or moving of any contributing structure shall be limited to the factors specified in section 34-343.
- c. The BAR, or city council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition would be compatible with the scale and character of the historic conservation district. Prior to attaching conditions to an approval, due consideration shall be given to the cost of compliance with the proposed conditions.

Sec. 34-342 - Standards for review of new construction and additions.

The following features and factors shall be considered in determining the appropriateness of proposed new construction and additions to buildings or structures:

- 1) Whether the form, height, scale, mass and placement of the proposed construction are visually and architecturally compatible with the site and the applicable conservation district;
- 2) The harmony of the proposed changes in terms of overall proportion and the size and placement of entrances and windows;
- 3) The impact of the proposed change on the essential architectural form and integrity of the existing building;
- 4) The effect, with respect to architectural considerations, of the proposed change on the conservation district neighborhood;
- 5) Any applicable provisions of the city's conservation district design guidelines.

HC District Design Guidelines for New Construction and Additions

Building Location – setback and spacing

1. Align a new building close to the average building setback line on the same street, if established, or consistent with the surrounding area.
2. Maintain average spacing between buildings on the same street.

Staff Comment: This addition does not impact the front setback and does not significant alter the side yard spacing.

Building Scale – height and massing

1. Keep the footprint, and massing of new buildings consistent with the neighborhood characteristics and compatible with the character of buildings on the same street.
2. Keep the height and width of new buildings within the prevailing average height and width. Exceptions up to 200% of the prevailing height and width may be approved by the BAR when contextually appropriate.
3. **An addition needs to be perceived as an addition and therefore should not visually overpower the existing building in scale and design.**
4. An accessory building should appear secondary to the main building in scale and design.
5. Larger buildings (commercial or multi-family) otherwise permitted by zoning should be designed and articulated to be compatible with the scale of the majority of adjacent buildings on the same street or block.

Staff Comment: (See comment in *Discussion*.)

Building Form – roofs and porches

1. Roof forms should reference contributing buildings on the same street or surrounding area. Other roof forms may be approved by the BAR when contextually appropriate.
2. If many of the contributing buildings on the same street have porches, then it is strongly recommended that the design of a new residence includes a porch or similar form of similar width and depth.

Comment: Consistent with the existing house and the district.

Building Openings – orientation, doors and windows

1. A single entrance door (or main entrance of a multifamily dwelling) facing the street is recommended.
2. Window and door patterns and the ratio of solids (wall area) to voids (window and door area) of new buildings should be compatible with contributing buildings in the surrounding area.
3. Windows should be simple shapes compatible with those on contributing buildings, which are generally vertically oriented in residential areas.

Comment: Consistent with the existing house and the district. Windows to be Marvin, Elevate series. The replacement windows will be 2/2, matching the existing, and will not alter the masonry openings.

Building Materials and Textures

1. The selection of materials and textures for a new building should relate architecturally to the district, and should be compatible with and complementary to neighboring buildings.
2. Long-lasting, durable and natural materials are preferred, including brick, wood, stucco, and cementitious siding and standing seam metal roofs. Clear glass windows (VLT of 70% or more) are preferred.

Comment: Painted siding and asphalt shingles are appropriate.

Building Paint

1. Painting unpainted brick or other masonry is discouraged because it is irreversible and may cause moisture problems.

Comment: n/a

Site

1. Fences or walls that abut a City street (or fences located in a side yard between a street and the front of the principal structure on a lot) should not exceed three and one-half feet in height.

Comment: n/a

Guidelines specific to Woolen Mills Village Historic Conservation District

Architectural character-defining features:

1. Encourage one-story front porches;
2. Encourage garages to be located in the rear yards
3. The levels of a building's stories should be consistent with those on surrounding structures with respect to the natural grade [for example, a first floor should not be raised so that it is higher than most surrounding first floors]
4. Do not exclude well-designed, new contemporary architecture [there may be a misconception that only historic-looking new buildings are permitted]
5. Encourage standing seam metal roofs
6. Maintain and encourage tree canopy [Maintain the existing tree canopy and encourage new large shade trees]
7. Maintain neighborhood massing and form; encourage the use of sustainable materials
8. Encourage existing site features (wrought iron fencing, stone walls, shared streets)
9. Encourage good stewardship of Riverview Cemetery.

Appendix

Sec. 34-340. - Actions requiring certificate of appropriateness; exemptions; penalties.

- a) A certificate of appropriateness (COA) must be approved in accordance with this division, prior to the commencement of construction, erection, alteration, or demolition of certain buildings, structures or improvements, as follows:
 1. All new buildings and structures require a COA if they require a building permit, and unless they are concealed by the principal structure from all abutting streets.
 2. All new fences and walls that abut a street, or which are located in a side yard between a street and the front of the principal structure on a lot, require a COA.
- b) The following proposed additions to existing buildings or structures require a COA:
 1. Additions located wholly or partially to the side or front of the principal structure on a lot; or
 2. Additions located on a lot that abuts a street on the side or rear; or
 3. Additions that are equal to or greater than fifty (50) percent of the total gross floor area of the existing building; or
 4. Additions located to the rear that exceed the height or width of the existing building or structure.

Sec. 34-346. - Administrative review.

- a) The director of neighborhood development services may review, and may approve or deny, or may refer to the full BAR for review and approval, the following types of applications for certificates of appropriateness:
 1. Fences;
 2. Applications that have previously been reviewed by the BAR, if the BAR has authorized final review by the director;
 3. Applications for minor accessory buildings or additions, after consultation with the chair of the BAR.

1516 EAST MARKET STREET



STREET ADDRESS:	1516 East Market Street
DHR RESOURCE NUMBER:	002-1260-0040
RESOURCES:	Primary: Single Dwelling (contributing)
DATE/PERIOD:	1916
STYLE:	Other

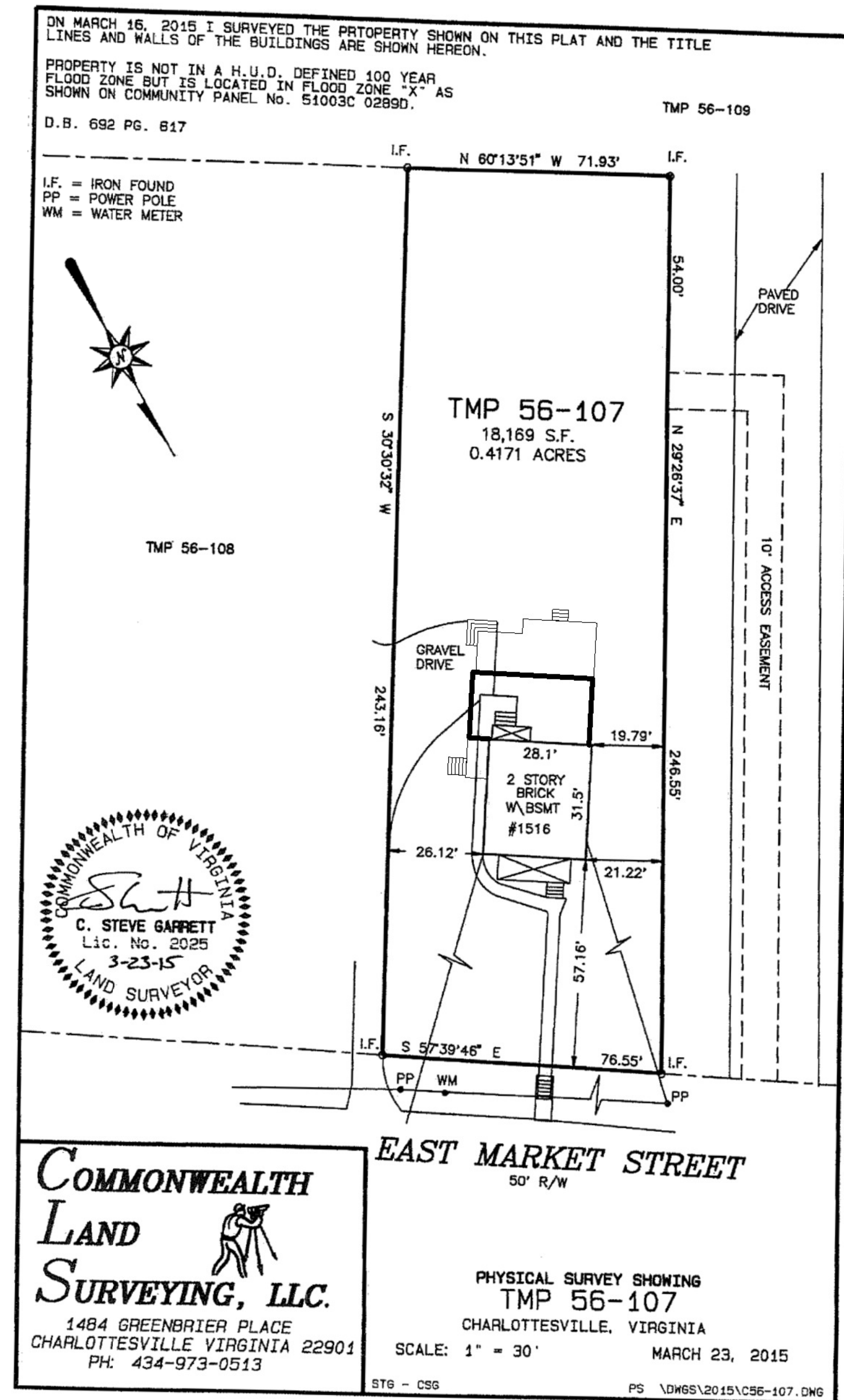
July 2009: This house is a two-story, two-bay, brick structure with a side passage, double-pile layout. The house has a hipped roof with a central cross gable with returns and a boxed cornice. The house has regular fenestration with a single 2/2 double-hung window with a jack arch lintel in each of the two second-story bays and a 2/2 window in the east bay of the first-story. Its elevated, hipped-roof porch is raised on concrete block and has a poured concrete floor. It stretches almost the full length of the façade and features turned posts and a replaced railing of square spindles.

Individual Resource Status: Single Dwelling
Individual Resource Status: Shed

Contributing Total: 1
Non-Contributing Total: 1

CHILDRESS

ADDITIONS & RENOVATIONS



1 SITE PLAN
ADD N.T.S.

TABLE OF CONTENTS

TABLE OF CONTENTS		SQUARE FOOTAGE OF NEW WORK	
A00	COVER SHEET		
D01	DEMOLITION PLANS	EXISTING 1st FLOOR	888 SF
A01	FOUNDATION & FIRST FLOOR PLANS	EXISTING 2nd FLOOR	888 SF
A02	SECOND FLOOR & ROOF PLANS		1776 SF
A03	EXTERIOR ELEVATIONS		
A04	EXTERIOR PERSPECTIVES	NEW 1st FLOOR	617 SF
A05	INTERIOR ELEVATIONS	NEW 2nd FLOOR	448 SF
A06	INTERIOR PERSPECTIVES		1065 SF
A07	BUILDING SECTIONS	TOTAL OF EXISTING & NEW FINISHED	2840 SF

NOTES

ZONING: R-15C, WOOLEN MILLS VILLAGE HISTORIC DISTRICT, CONSERVATION DISTRICT, HISTORIC PRESERVATION DESIGN REVIEW

SETBACKS:

FRONT: 25'
SIDE: 5'
REAR: 25'

GENERAL NOTES

1. COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
2. VERIFY GRADES AND ELEVATIONS SHOWN ON DRAWINGS.
3. ANY DISCREPANCIES IN ELEVATIONS OR DIMENSIONS SHALL BE REPORTED TO DESIGNER.
4. DO NOT SCALE DRAWINGS.
5. VERIFY AND PROVIDE ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THE CONTRACT.
6. REPETITIVE FEATURES MAY BE DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
7. DIMENSIONS ON EXISTING CONSTRUCTION ARE TO FINISHED FACES OF WALLS & LEVELS. DIMENSIONS ON NEW CONSTRUCTION ARE TO FACE OF FRAMING/SHEATHING. NEW & EXISTING DIMENSIONS ARE TO FACE OF MASONRY, CENTER OF OPENING, CENTER OF BEAM, CENTER OF COLUMN & CENTER OF FIXTURE.
8. NEW INTERIOR PARTITIONS ARE 3/2" UNLESS OTHERWISE DIMENSIONED. NEW EXTERIOR WALLS ARE 2x6'S UNLESS OTHERWISE NOTED.
9. WINDOWS SHOWN ARE GENERIC SIZES UNLESS MANUFACTURER IS NOTED.
10. VERIFY SIZES OF ALL REPLACEMENT WINDOWS.

PROJECT NOTES

1. VERIFY ON SITE THE SIZES OF EXISTING WINDOWS TO BE REPLACED SO NEW WINDOW SIZES WILL BE OPTIMIZED.
2. NOTE CRITICAL DIMENSIONS ON DRAWINGS ____, AND ____, WINDOW MANUFACTURER IS MARVIN, ELEVATE SERIES, __ (SPECS SUCH AS CLAD, LOW E, COLOR, ETC.).
3. CABINETS CONSTRUCTION AND STYLE SHOWN IN ELEVATIONS ARE DRAWN GENERALLY. SPECIFICATIONS AND CABINET MANUFACTURER'S OR CUSTOM CABINETMAKER'S SHOP DRAWINGS WILL SHOW GREATER DETAIL.
4. RAILINGS ARE DRAWN GENERALLY, MATERIAL AND STYLE TO BE DETERMINED.

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	GALV.	GALVANIZED
ALUM.	ALUMINUM	GYP. BD.	GYPSUM BOARD
BD.	BOARD	HD.	HEAD
BM.	BEAM	INSUL.	INSULATION
BLDG.	BUILDING	INT.	INTERIOR
C.O.	CASED OPENING	JST.	JOIST
CAB.	CABINETS	K.S.	KNEE SPACE
CER.	CERAMIC	LT.	LIGHT
CLG.	CEILING	MAS.	MASONRY
CLR.	CLEAR	MNT.	MOUNT
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONFG.	CONFIGURATION	P.I.P.	POURED IN PLACE
CRS.	COURSE	P.T.	PRESSURE TREATED
D	DRYER	PLYWD.	PLYWOOD
DET.	DETERMINED	PTD.	PAINT
DIMS.	DIMENSIONS	R	RISE
D.S.	DOWNSPOUT	R.I.	ROUGH-IN
DW	DISHWASHER	REF.	REFRIGERATOR
DWG.	DRAWING	REG.	REGISTER
EA.	EACH	REQ'D	REQUIRED
ELEV.	ELEVATION	RET.	RETURN
EQ.	EQUAL	SID'G.	SIDING
EXNT.	EXTENT	T	TREAD
EXT.	EXTERIOR	T&G	TONGUE AND GROOVE
F.F.	FINISH FLOOR	TYP.	TYPICAL
F.P.	FIREPLACE	U.O.N	UNLESS OTHERWISE NOTED
FL.	FLOOR	UTIL.	UTILITY
FIN.	FINISH	V.I.F.	VERIFY IN FIELD
FXTR.	FIXTURE	W	WASHER
FOUND.	FOUNDATION	W/	WITH
FTG.	FOOTING	WD.	WOOD

DATE 12-01-22

SHEET A00

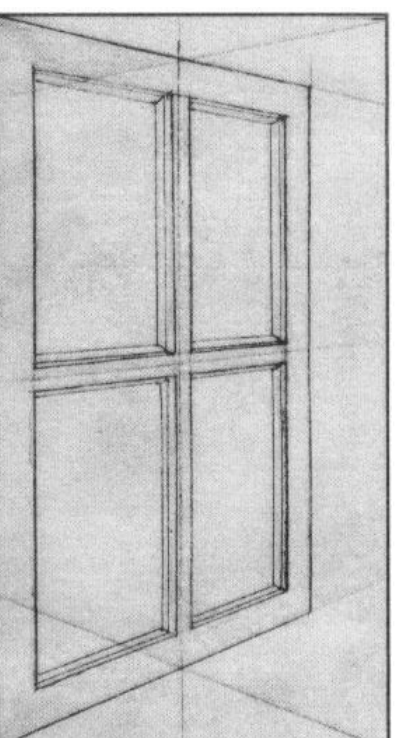
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CD'S DRAWN BY: JAK

DESIGN REVIEW
QUESTIONS SET
INTERNAL ONLY

JOB CHILDRESS ADDITIONS & RENOVATIONS

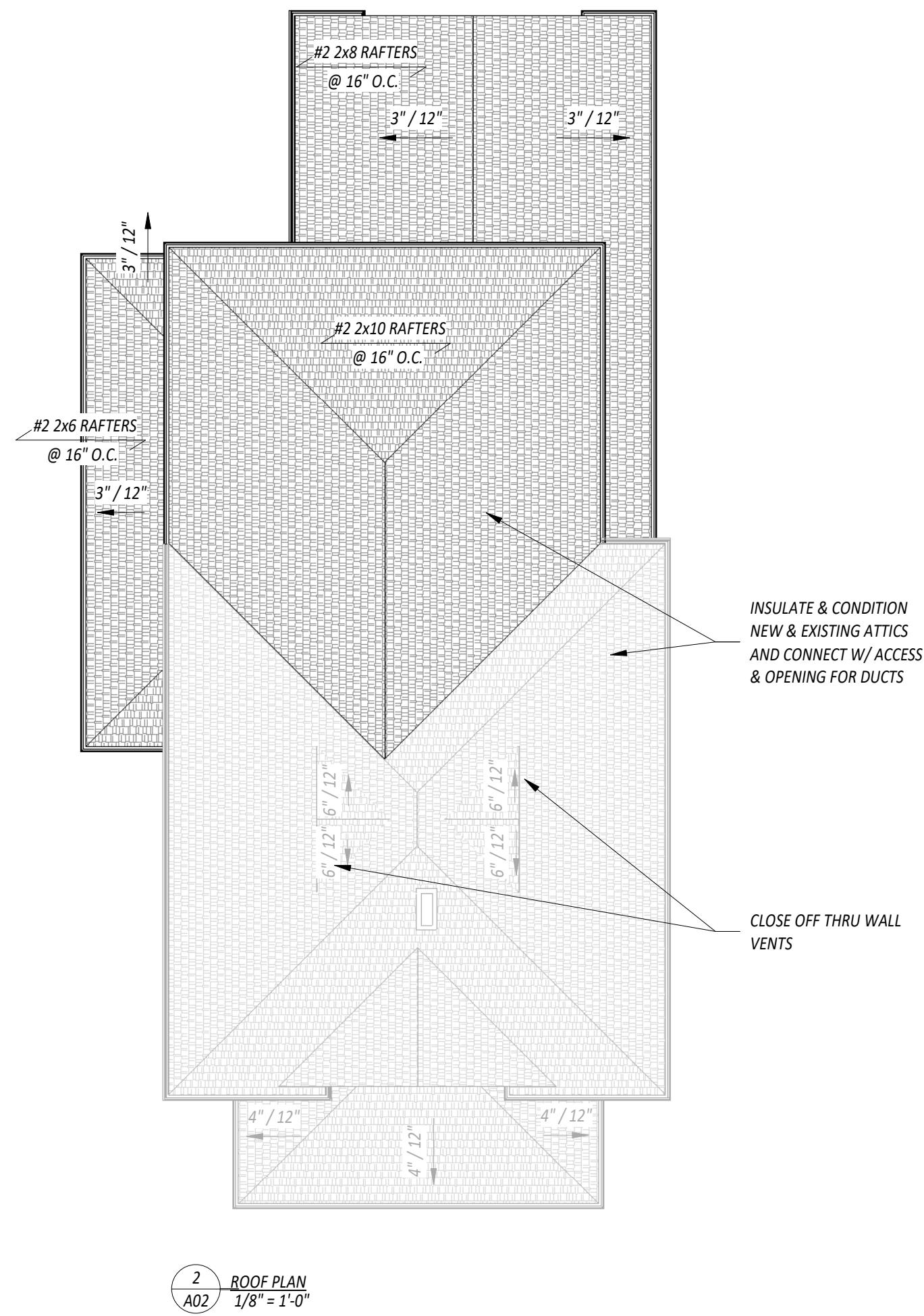
DRAWING COVER SHEET

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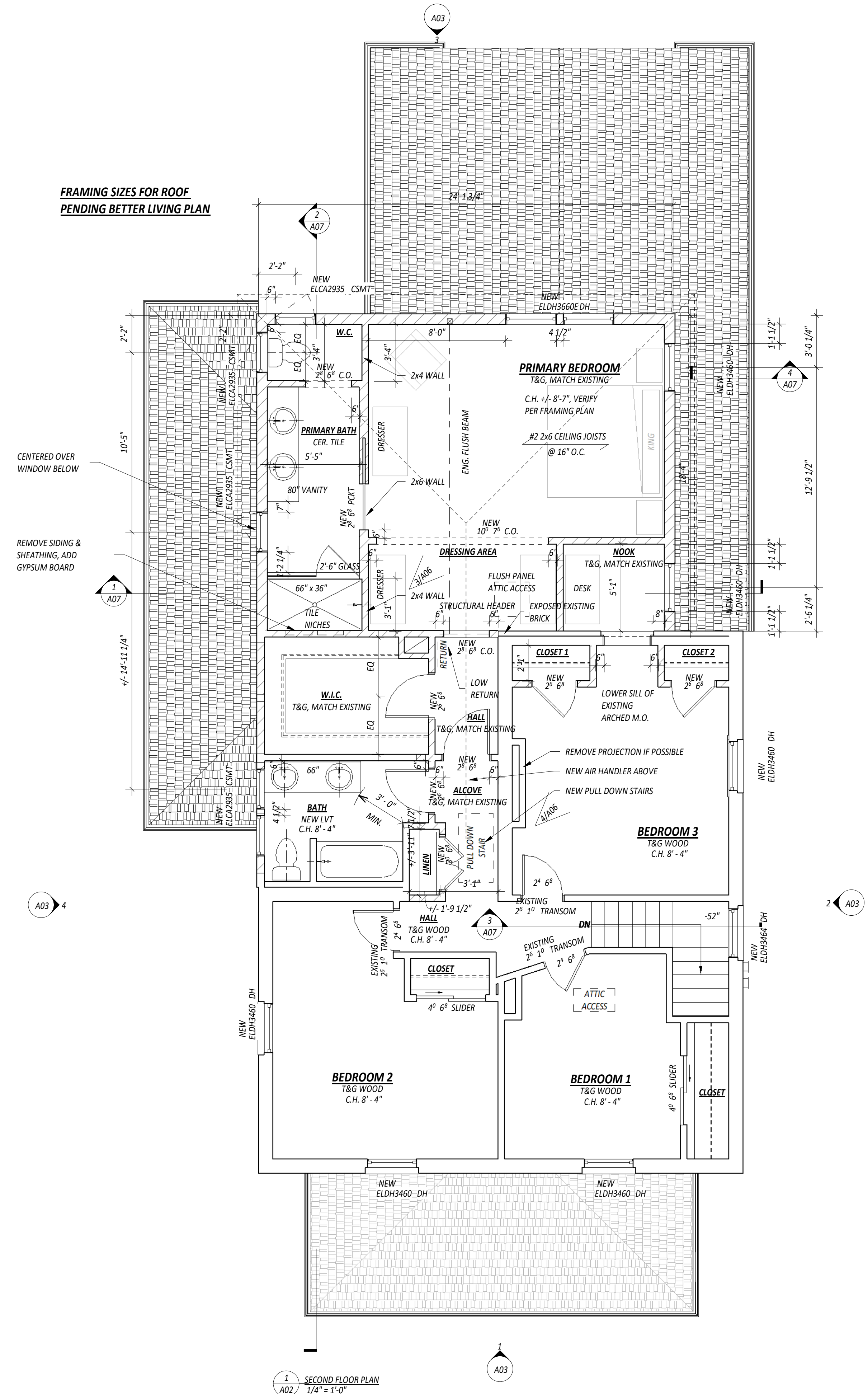
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2 ROOF PLAN
A02
1/8" = 1'-0"

FRAMING SIZES FOR ROOF
PENDING BETTER LIVING PLAN



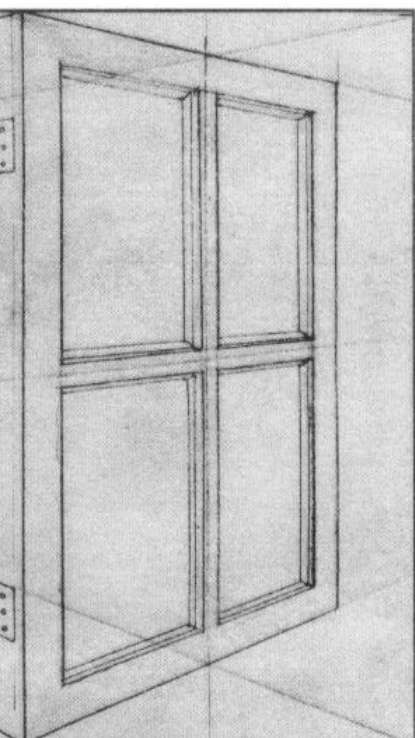
1 SECOND FLOOR PLAN
A02
1/4" = 1'-0"

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SHEET	A02
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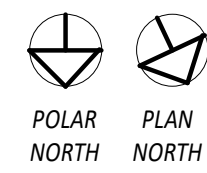
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DRAWING SECOND FLOOR & ROOF PLANS

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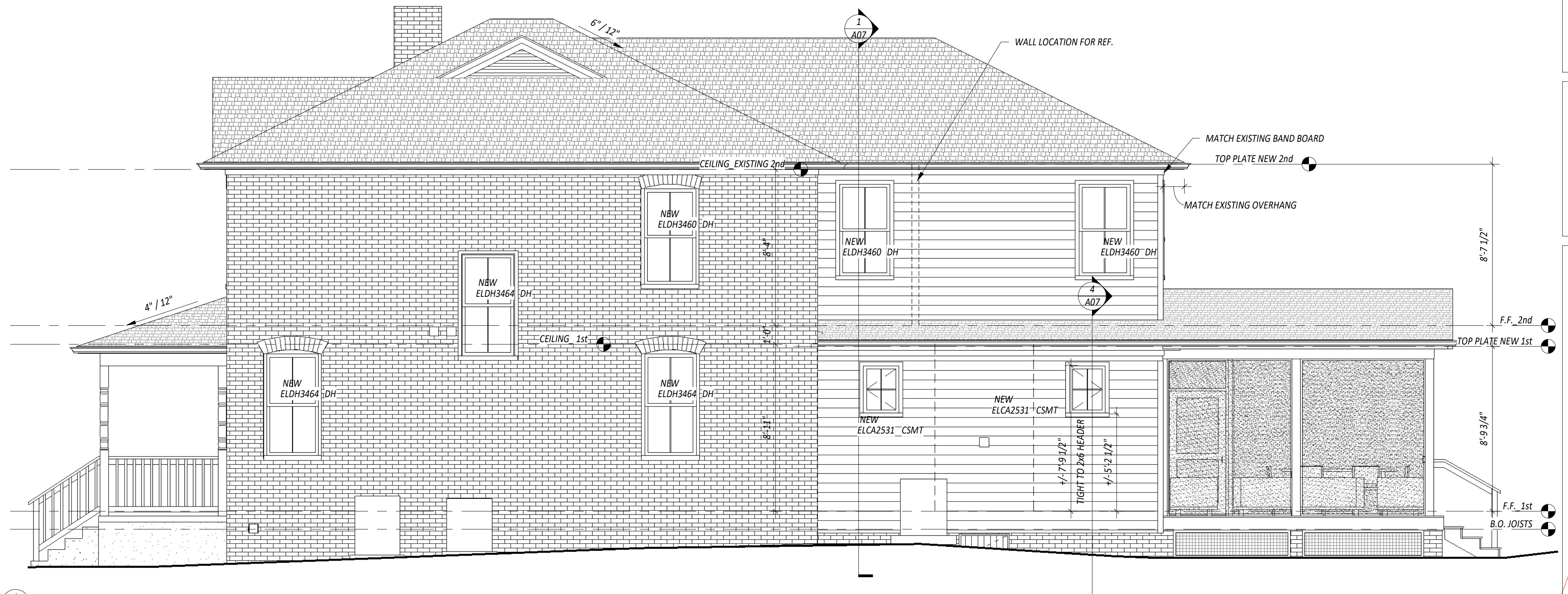
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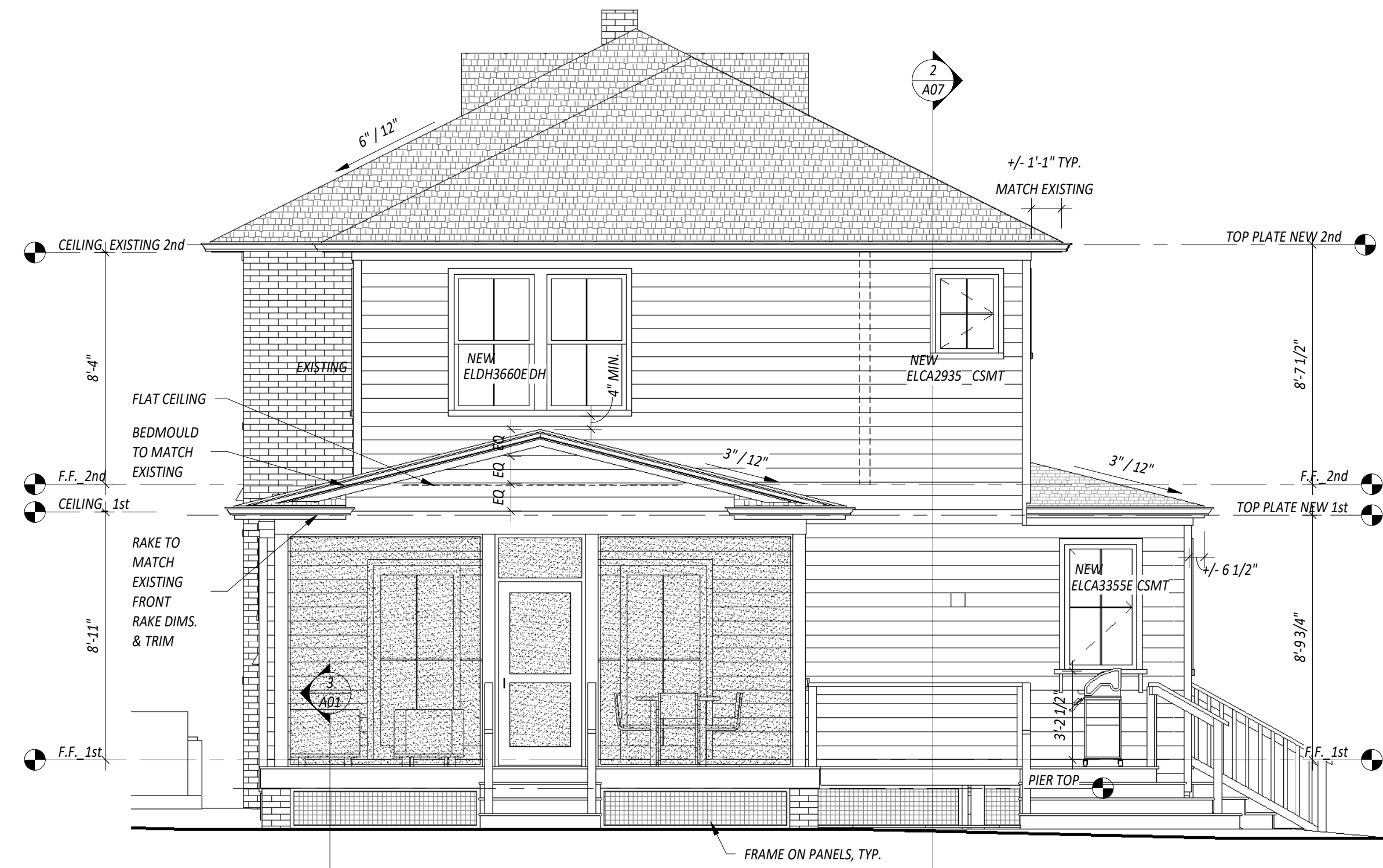




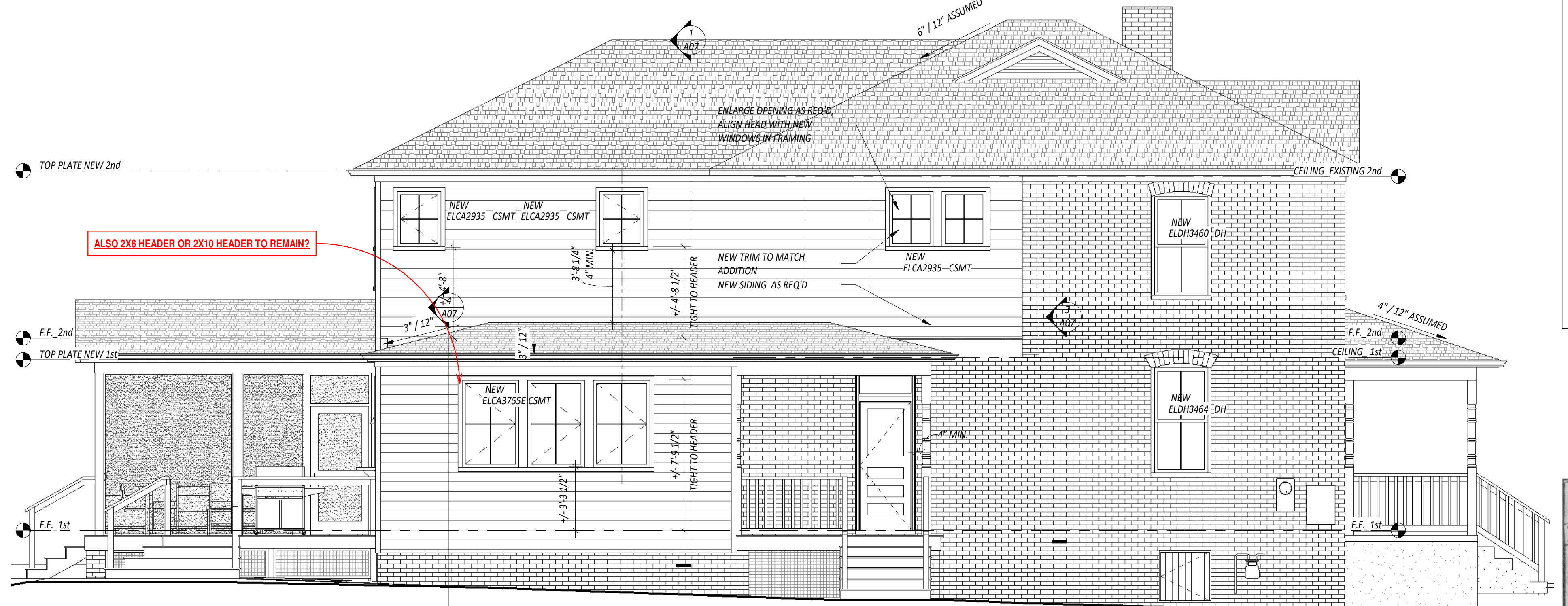
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A03 1/4" = 1'-0"



2 EAST ELEVATION
A03 1/4" = 1'-0"



3 SOUTH ELEVATION
A03 1/4" = 1'-0"



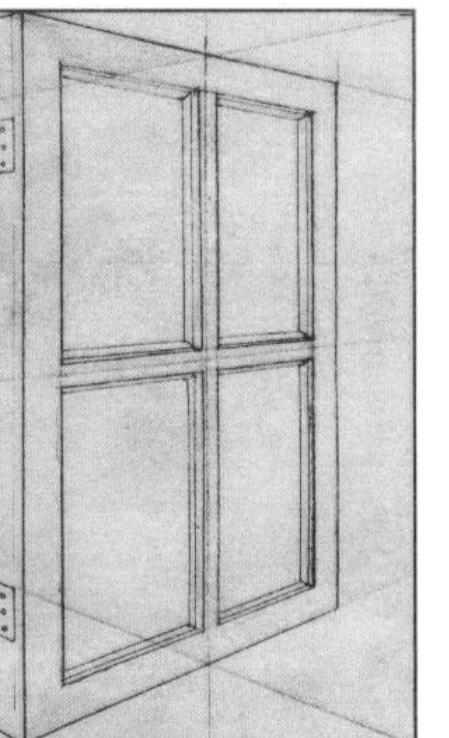
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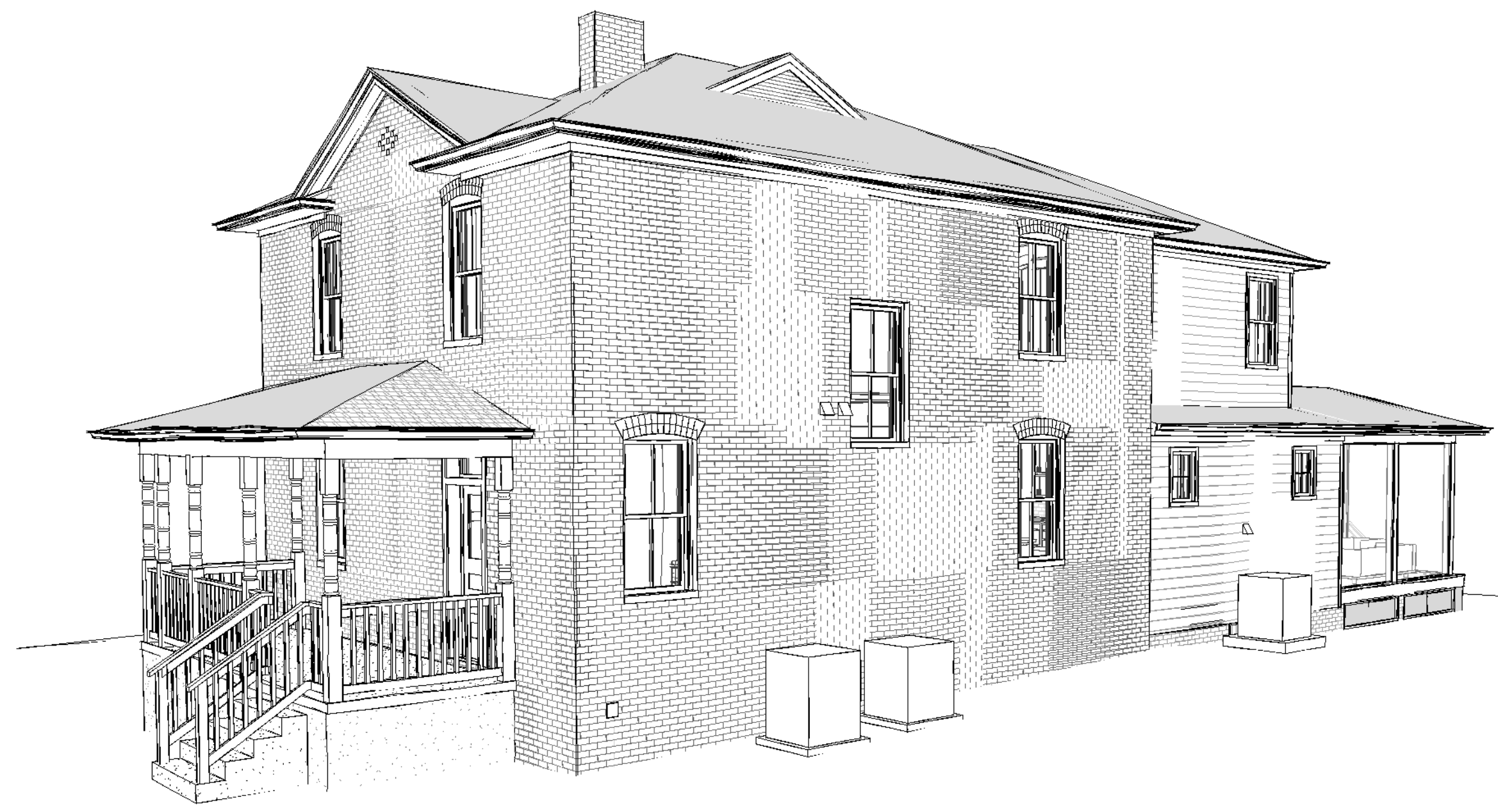
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1
A04 NORTHEAST PERSPECTIVE



2
A04 SOUTH EAST PERSPECTIVE



3
A04 NORTH EAST PERSPECTIVE



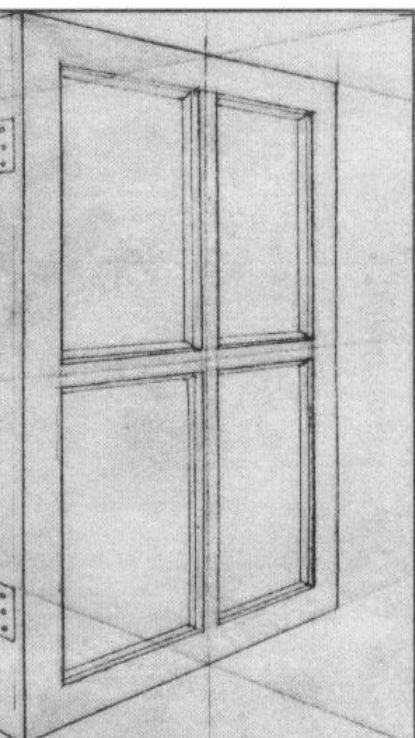
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A04 NORTH WEST PERSPECTIVE

DATE 12-01-22
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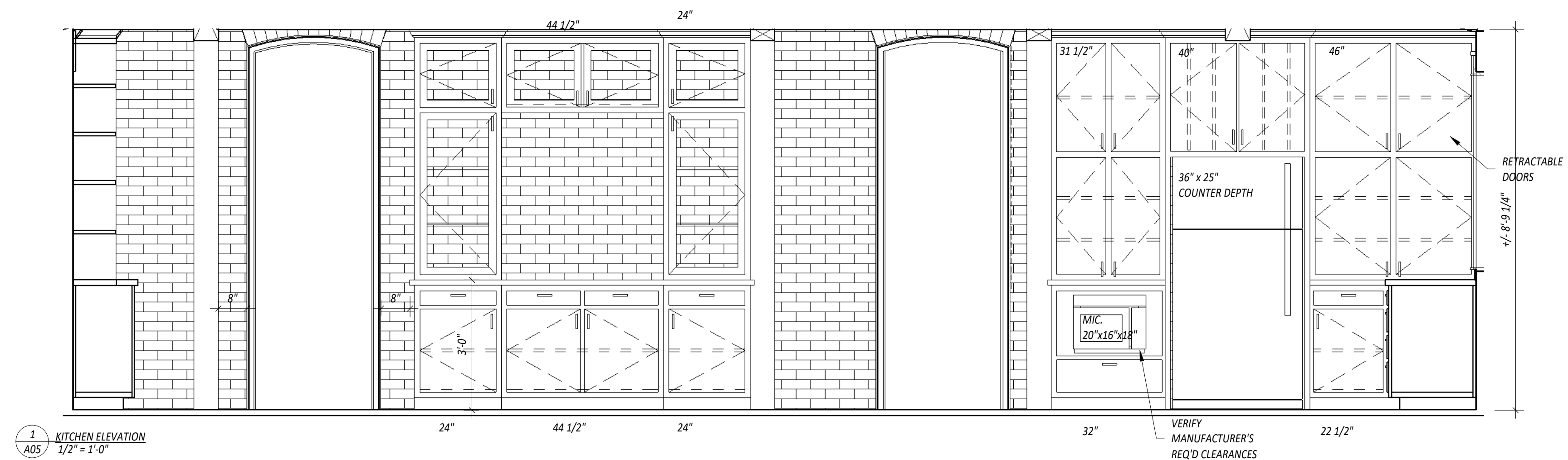
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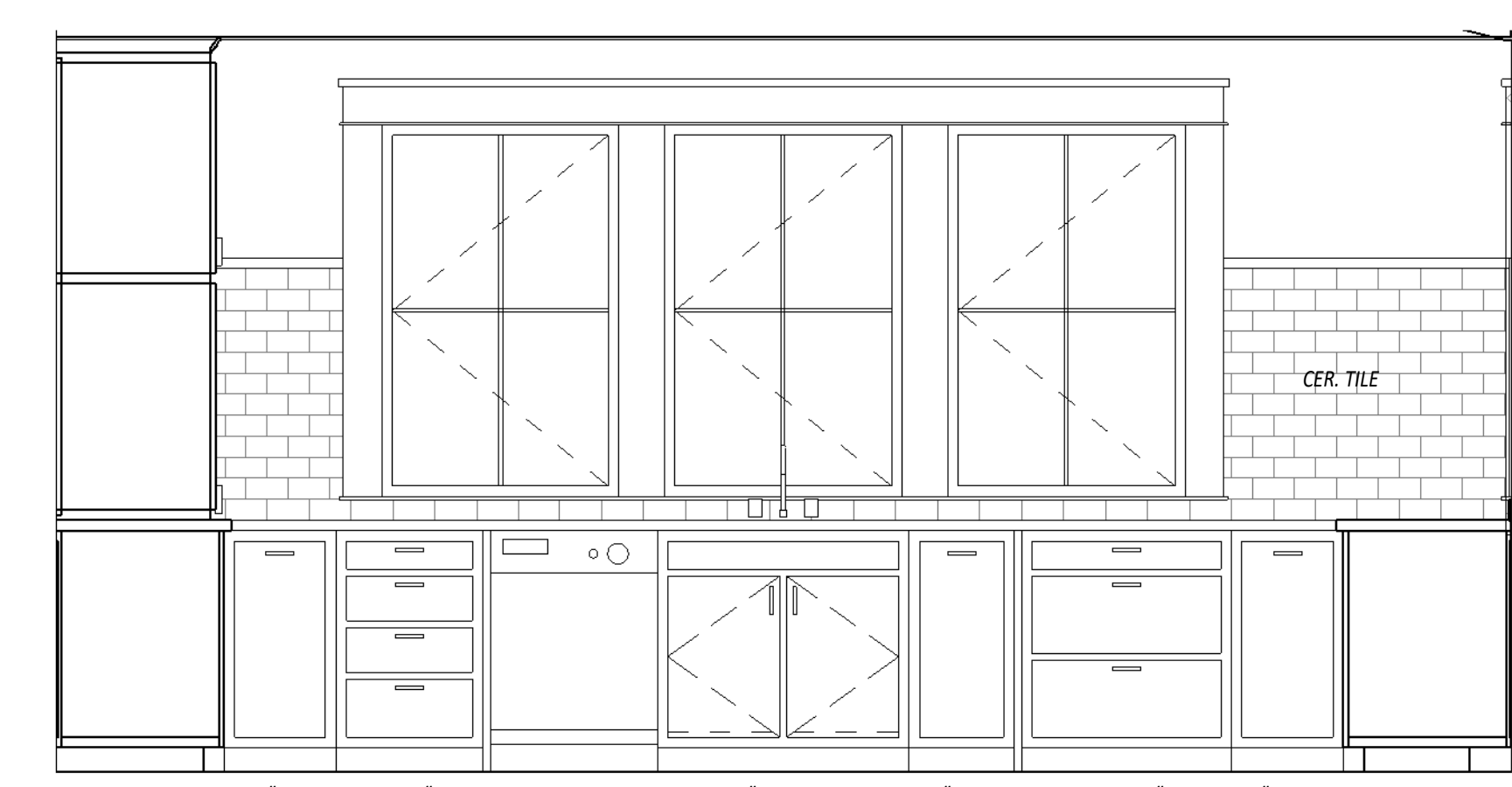


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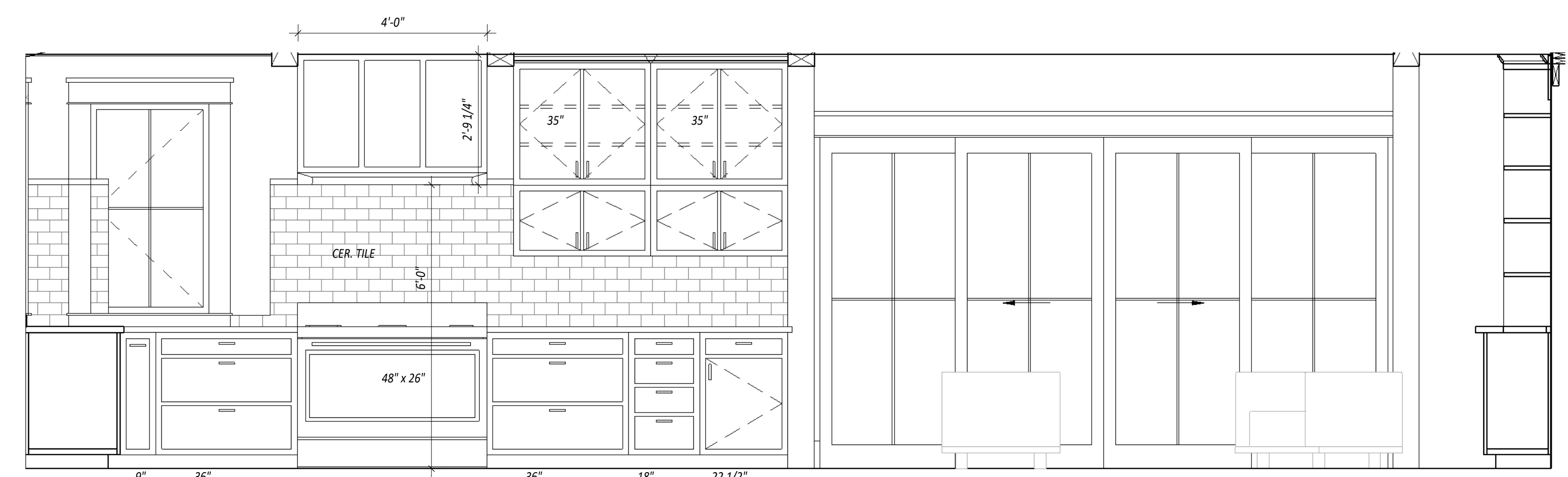
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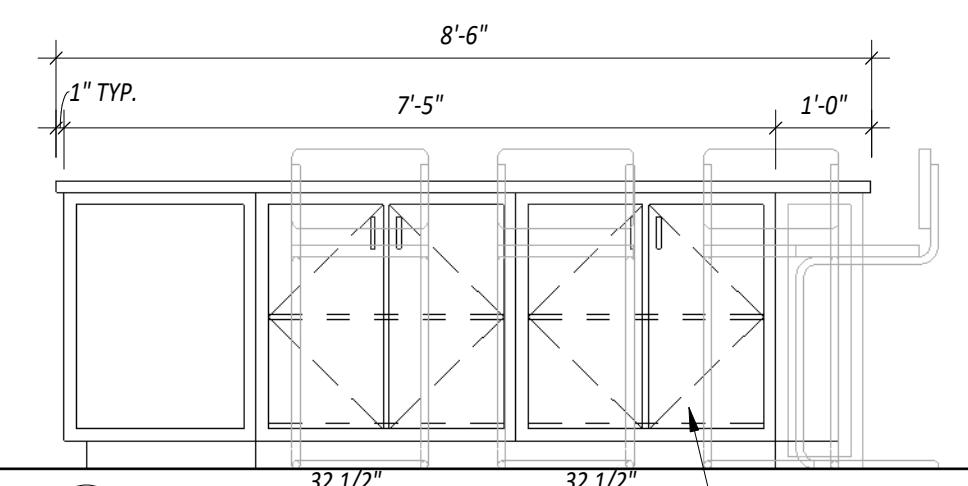
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A05 1/2" = 1'-0"



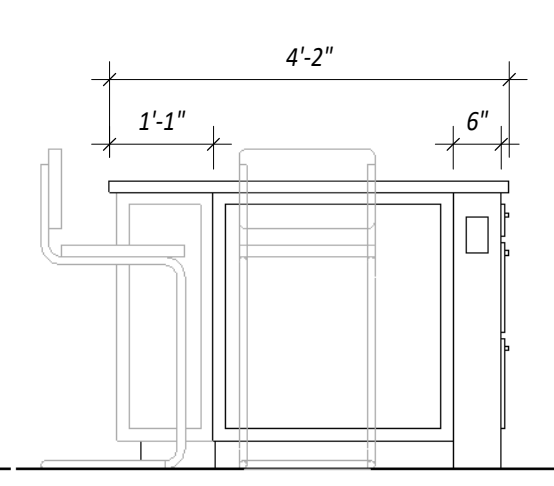
2 KITCHEN ELEVATION
A05 1/2" = 1'-0"



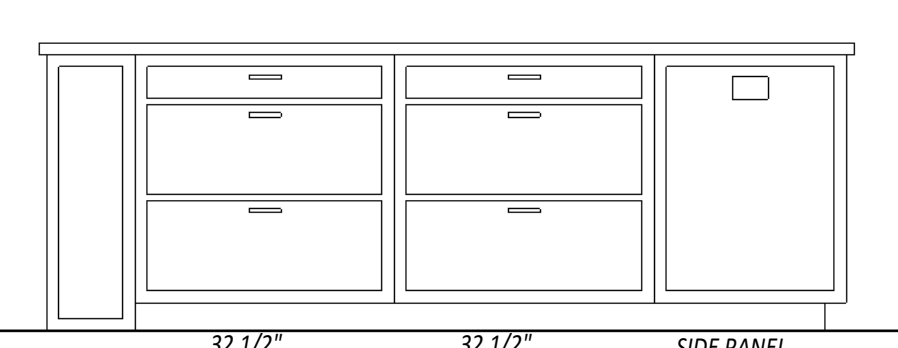
3 KITCHEN ELEVATION
A05 1/2" = 1'-0"



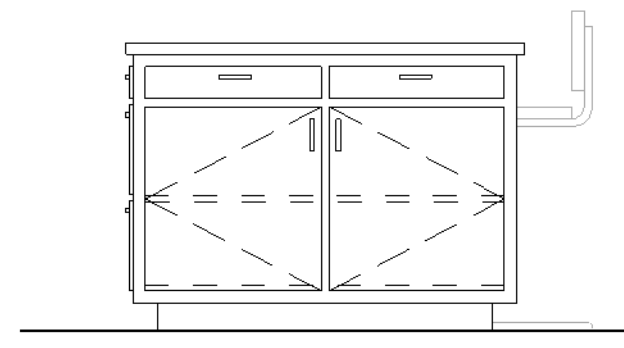
4 ISLAND ELEVATION
A05 1/2" = 1'-0"



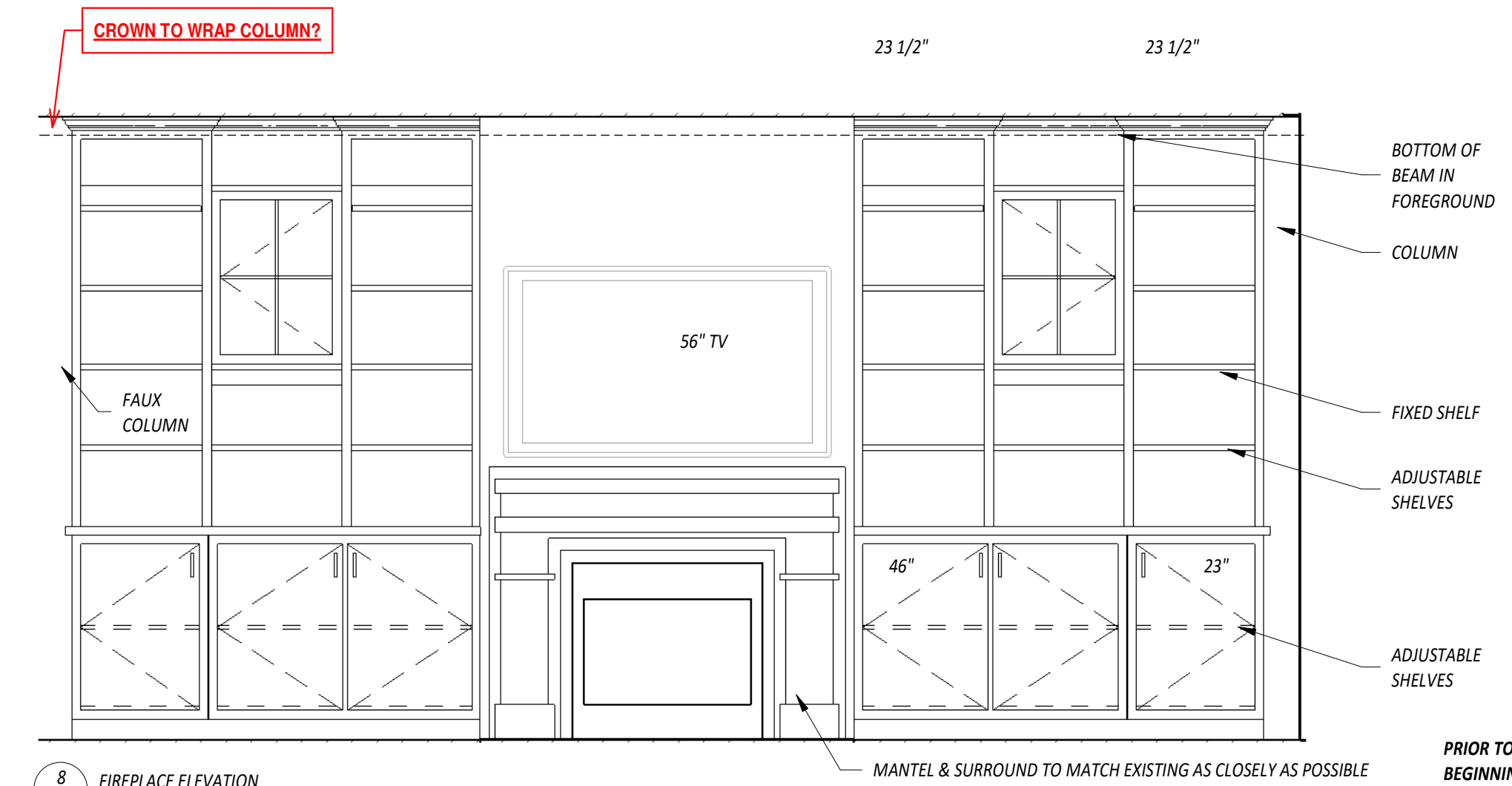
5 ISLAND ELEVATION
A05 1/2" = 1'-0"



6 ISLAND ELEVATION
A05 1/2" = 1'-0"



7 ISLAND ELEVATION
A05 1/2" = 1'-0"



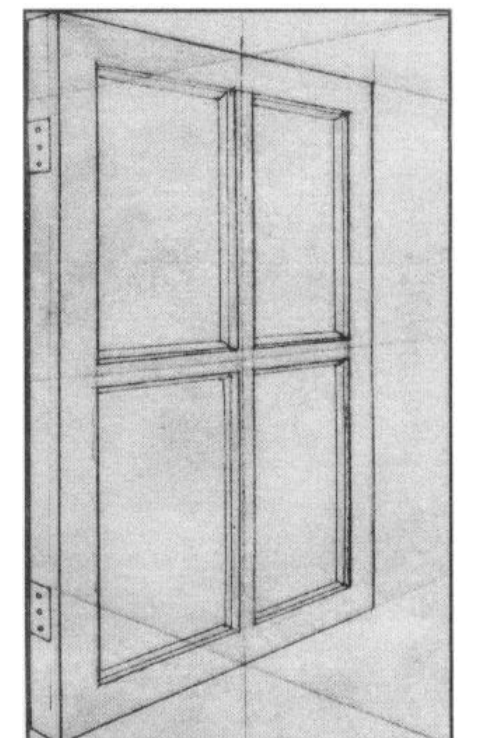
8 FIREPLACE ELEVATION
A05 1/2" = 1'-0"

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JOB CHILDRESS ADDITIONS & RENOVATIONS
DRAWING INTERIOR ELEVATIONS

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1
A06 KITCHEN PERSPECTIVE



2
A06 FIREPLACE PERSPECTIVE



3
A06 PRIMARY BEDROOM PERSPECTIVE



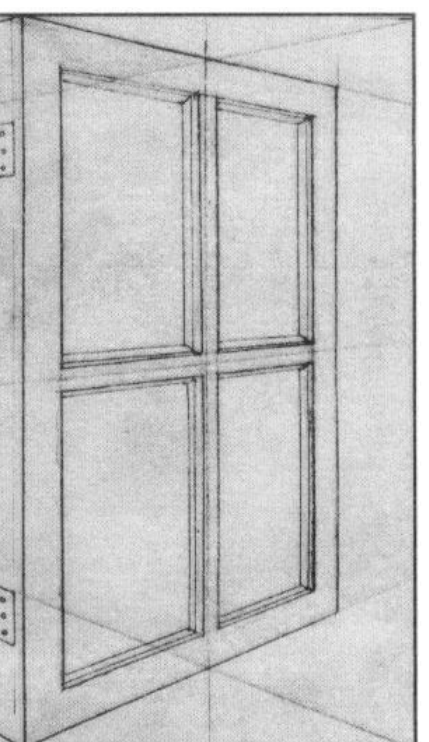
4
A06 BEDROOM 3 PERSPECTIVE

DATE 12-01-22
SHEET A06
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CD'S DRAWN BY: JAK

DESIGN REVIEW
QUESTIONS SET
INTERNAL ONLY

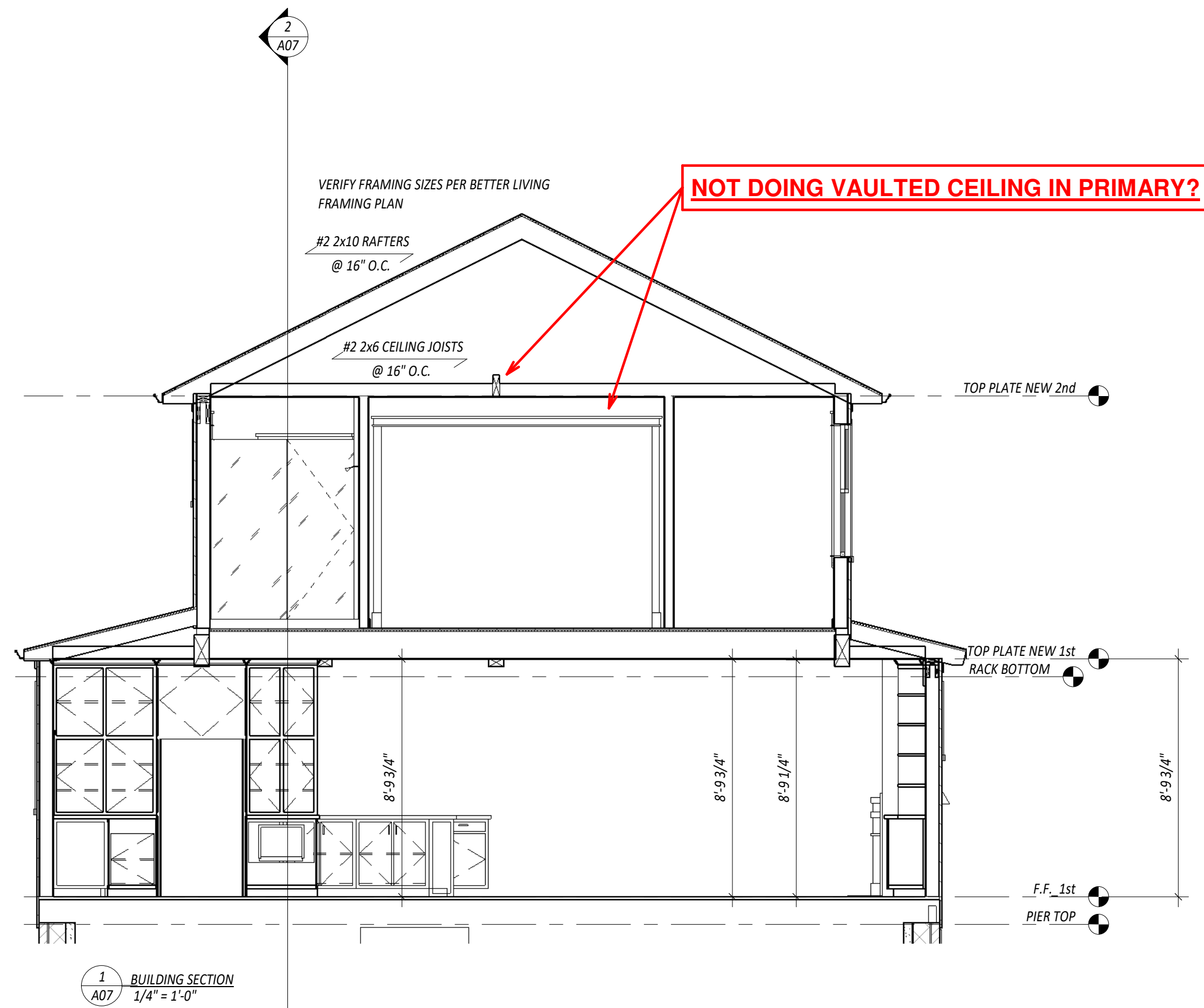
JOB CHILDRESS ADDITIONS & RENOVATIONS
DRAWING INTERIOR PERSPECTIVES

Ruth Ellen Outlaw
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434 996 7849 c
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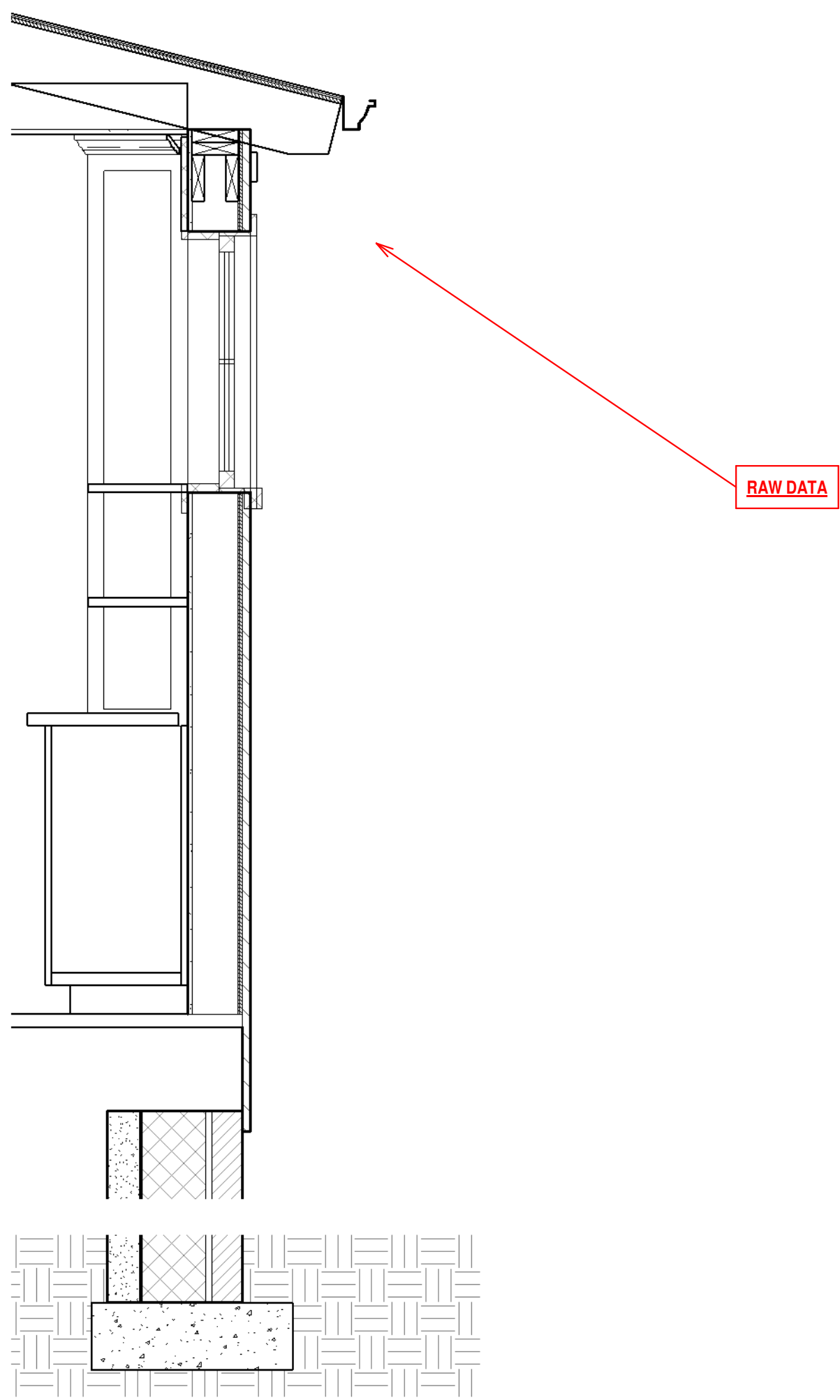
PRIOR TO INITIATING ANY ORDER OR
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DRAWINGS AND LOCAL AND STATE CODES



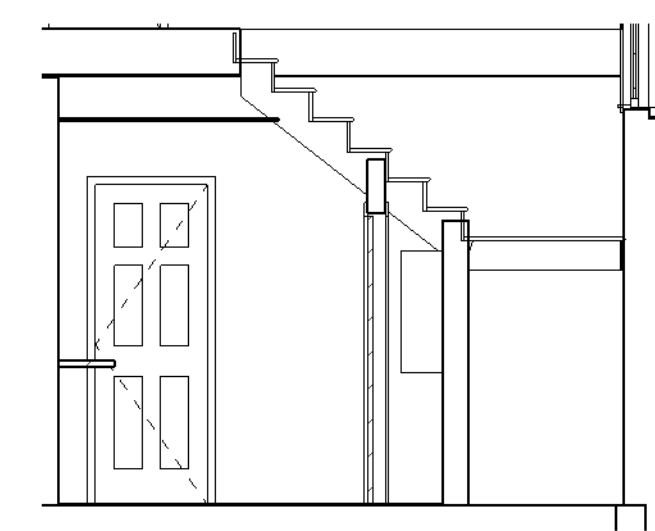
NOT DOING VAULTED CEILING IN PRIMARY?



2 BUILDING SECTION
A07 1/4" = 1'-0"



4 FAMILY ROOM WALL SECTION
A07 3/4" = 1'-0"



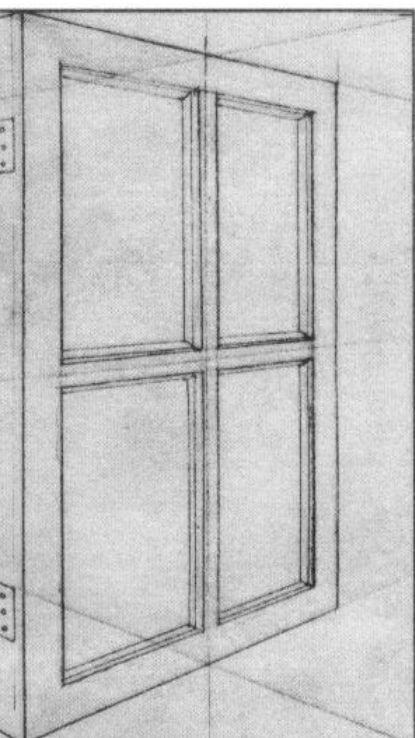
3 STAIR SECTION
A07 1/4" = 1'-0"

DESIGN REVIEW
QUESTIONS SET
INTERNAL ONLY

DATE 12-01-22
SHEET A07
AS BUILT DRAWN BY: KJB
CD'S DRAWN BY: JAK

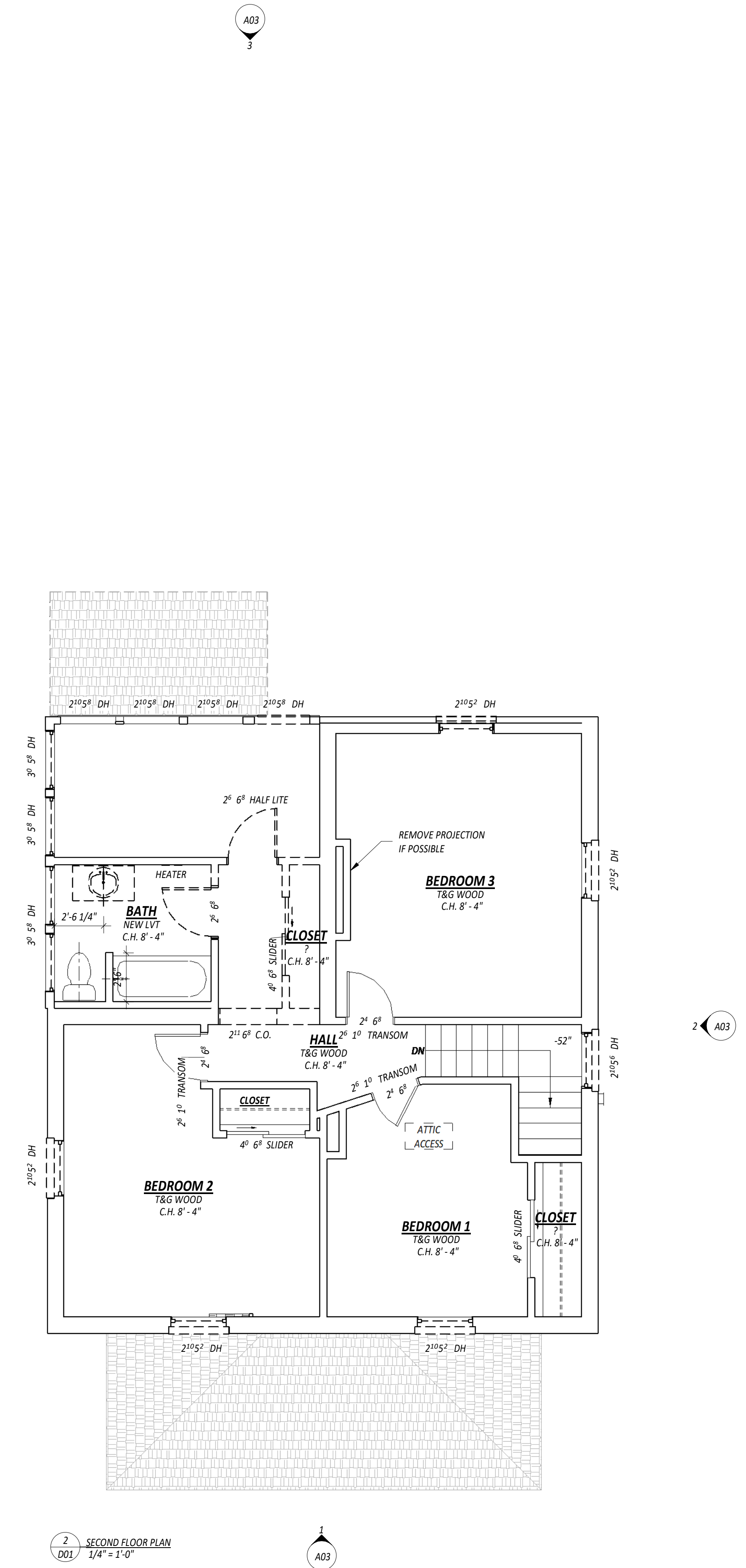
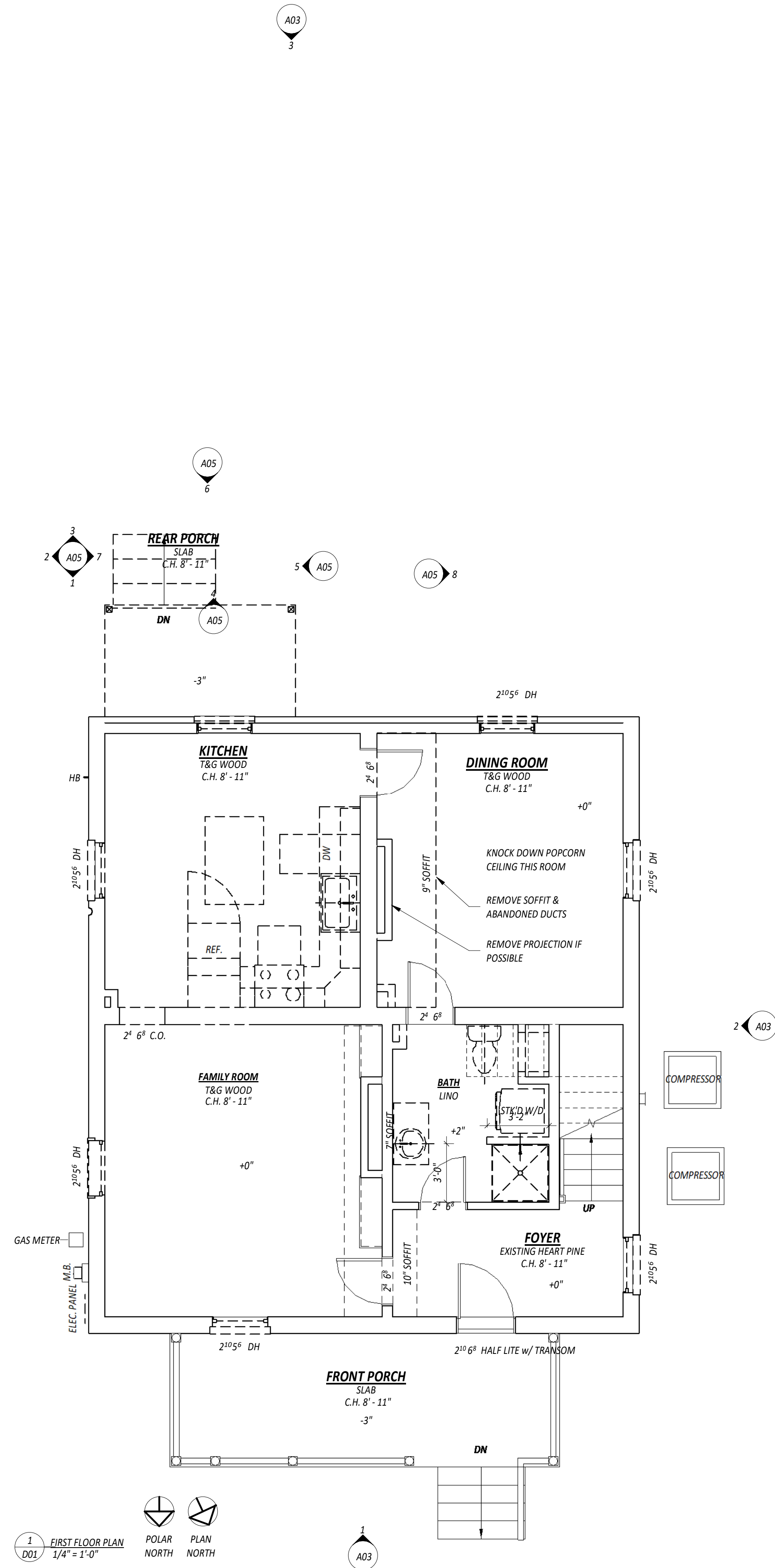
JOB CHILDRESS ADDITIONS & RENOVATIONS
DRAWING BUILDING SECTIONS

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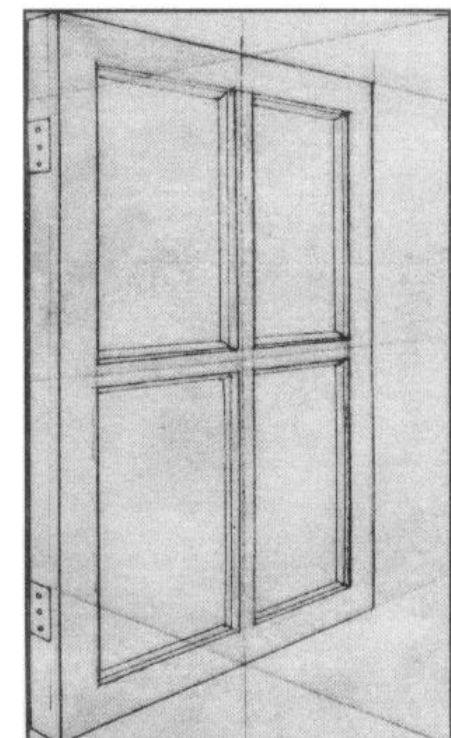


DESIGN REVIEW
QUESTIONS SET
INTERNAL ONLY

DATE	12-01-22
SHEET	D01
AS BUILT DRAWN BY:	KJB
CD'S DRAWN BY:	JAK

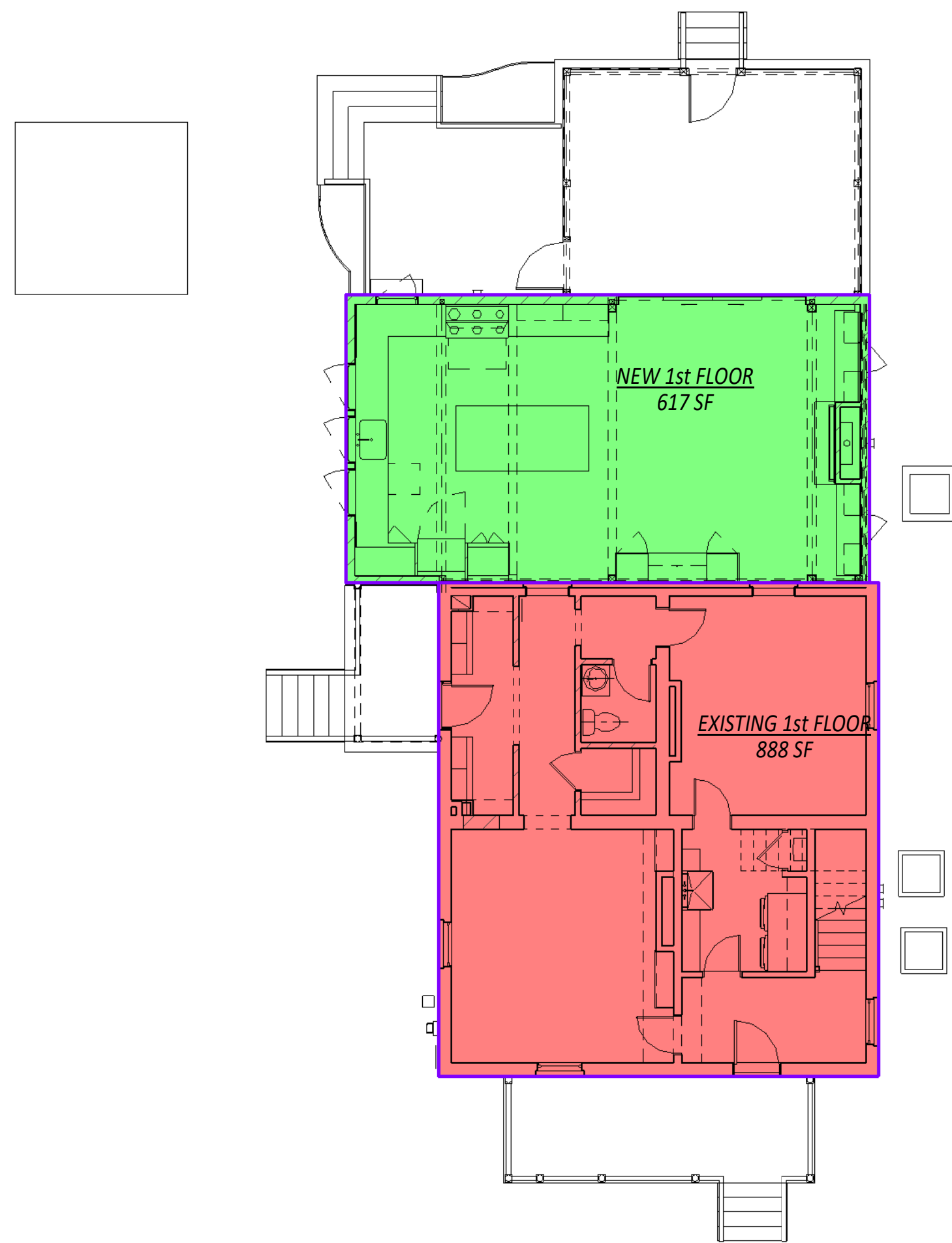
JOB	CHILDRESS ADDITIONS & RENOVATIONS
DRAWING	DEMOLITION PLANS

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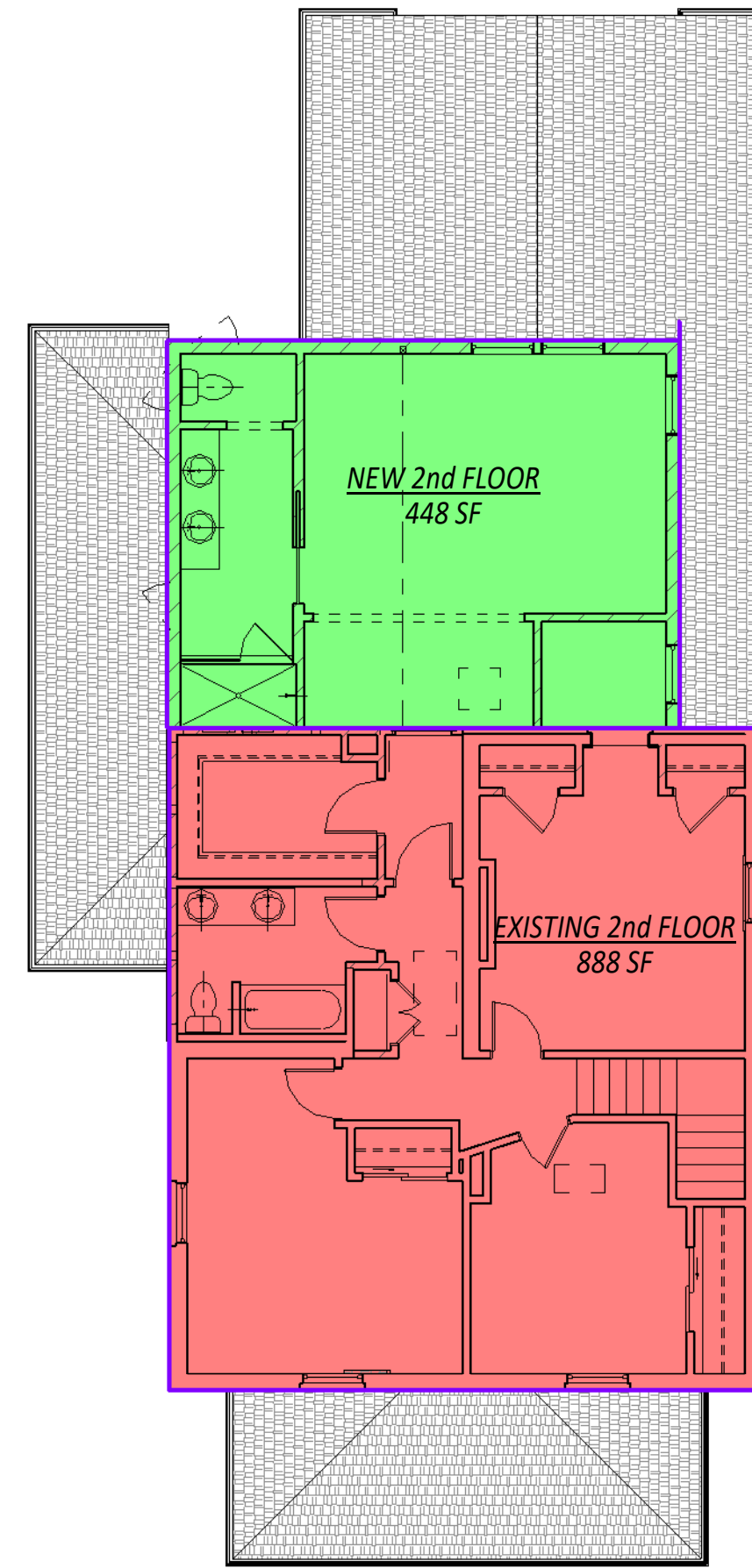


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1 E.F. 1st
W01 1/8" = 1'-0"



2 E.F. 2nd
W01 1/8" = 1'-0"

DATE 12-01-22

SHEET W01

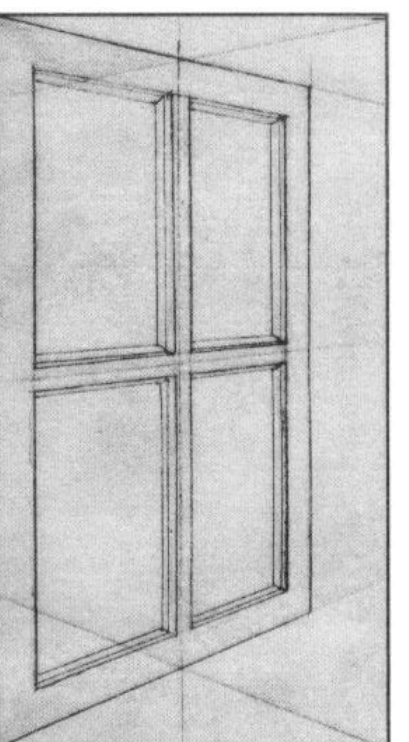
AS BUILT DRAWN BY: Author
CD'S DRAWN BY: Designer

DESIGN REVIEW
QUESTIONS SET
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JOB CHILDRESS ADDITIONS & RENOVATIONS

DRAWING AREA WORKSHEET

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