

**From:** Scala, Mary Joy  
**Sent:** Tuesday, August 16, 2011 1:21 PM  
**To:** kayhumes@comcast.net  
**Subject:** BAR Actions July 19, 2011

August 16, 2011

Kay Humes  
423 2<sup>nd</sup> Street NE  
Charlottesville, VA 22902

**RE: Certificate of Appropriateness Application**

BAR 11-07-01  
423 2<sup>nd</sup> Street NE  
Tax Map 33 Parcel 86  
Kay Humes, Applicant and Owner  
Restore exterior; Remove chimney

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on July 19, 2011.

The following action was taken:

**Approved (6-0-1 with DeLoach recused) application as submitted (remove front chimney, porch gutter, north door & stairway, add shutters, exterior repairs & site work). If the handrail design changes, it should come back to the staff for approval.**

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in one year (July 19, 2012), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced construction. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of construction, please contact me for an inspection of the improvements included in this application.

If you have any questions, please contact me at 434-970-3130 or [scala@charlottesville.org](mailto:scala@charlottesville.org).

Sincerely yours,

Mary Joy Scala, AICP  
Preservation and Design Planner

**Mary Joy Scala, AICP**  
Preservation and Design Planner  
City of Charlottesville  
Department of Neighborhood Development Services  
City Hall - 610 East Market Street  
P.O. Box 911  
Charlottesville, VA 22902  
Ph 434.970.3130 FAX 434.970.3359  
[scala@charlottesville.org](mailto:scala@charlottesville.org)



**Board of Architectural Review (BAR)  
Certificate of Appropriateness**

Please Return To: City of Charlottesville  
Department of Neighborhood Development Services  
P.O. Box 911, City Hall  
Charlottesville, Virginia 22902  
Telephone (434) 970-3130 Fax (434) 970-3359

**RECEIVED**

**JUN 28 2011**

**NEIGHBORHOOD DEVELOPMENT SERVICES**

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$350 application fee. For all other projects requiring BAR approval, please include \$100 application fee. For both types of projects, the applicant must pay \$1.00 per required mail notice to property owners. The applicant will receive an invoice for these notices, and project approval is not final until the invoice has been paid. For projects that require only administrative approval, please include \$100 administrative fee. Checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

**Information on Subject Property**

Physical Street Address: 423 2ND ST. NE

City Tax Map/Parcel: 33-86

**Applicant**

Name: KAY HUMES

Address: 423 2ND ST. NE

CHARLOTTESVILLE VA 22902

Email: Kay.humes@comcast.net

Phone: (W) 219 742 1961 (H) \_\_\_\_\_

FAX: \_\_\_\_\_

**Property Owner (if not applicant)**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Email: \_\_\_\_\_

Phone: (W) \_\_\_\_\_ (H) \_\_\_\_\_

FAX: \_\_\_\_\_

Name of Historic District or Property: 1913

S. JATER ROBINSON HOUSE

Do you intend to apply for Federal or State Tax

Credits for this project? YES

**Signature of Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Kay Humes 6/28/2011  
Signature Date

**Property Owner Permission (if not applicant)**

I have read this application and hereby give my consent to its submission.

Signature Date

Description of Proposed Work (attach separate narrative if necessary): SEE SEPARATE SHEET.

Attachments (see reverse side for submittal requirements): \_\_\_\_\_

**For Office Use Only**

Received by: d. Bannaw

Fee paid: \$100 Cash/Ck. # 487

Date Received: 6/28/2011

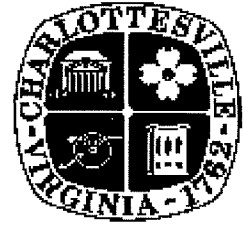
Approved/Disapproved by: \_\_\_\_\_

Date: \_\_\_\_\_

Conditions of approval: \_\_\_\_\_

P11-109

**CITY OF CHARLOTTESVILLE  
BOARD OF ARCHITECTURAL REVIEW  
STAFF REPORT  
July 19, 2011**



**Certificate of Appropriateness Application**

BAR 11-07-01

423 2<sup>nd</sup> Street NE

Tax Map 33 Parcel 86

Kay Humes, Applicant and Owner

Restore exterior; Remove chimney

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**Background**

This Victorian style residence, built c. 1913, is a contributing structure in the North Downtown ADC District.

April 15, 2003 – Administrative approval to replace the standing seam metal roof with a standing seam copper roof.

**Application**

The applicant proposes to renovate the exterior and remodel the interior. The submittal describes the entire scope of work. The following items require BAR approval:

1. Remove front chimney (to allow interior fireplace demo); replace hole with copper roof to match.
2. Remove exterior stairway to apartment on north elevation. Replace apartment door (added in 1970's) with smaller scale double hung window, brick, and lime mortar to match.
3. Add shutters to windows on 1<sup>st</sup> and 2nd floors on south, north, and rear elevations.
4. Add porch lights.
5. Remove Philadelphia gutter on porch roof only; replace with half round 6" gutter *alum prepainted* painted white.
6. Add new concrete masonry unit (CMU) retaining wall under east and north sides of front porch to 6" above grade. Replace brick piers on top of new wall.
7. Replace porch steps.
8. Site work: Remove/replace boxwoods and other plantings to do drainage work in front. Cut slot in front walkway for drainage gravel. Add step-down on north side with like materials to get grade below window well.

**Criteria, Standards and Guidelines**

**Review Criteria Generally**

*Sec. 34-284(b) of the City Code states that,*

*In considering a particular application the BAR shall approve the application unless it finds:*

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

**Pertinent Standards for Review of Construction and Alterations include:**

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (7) When reviewing any proposed sign as part of an application under consideration, the standards set forth within Article IX, Sections 34-1020, et seq. shall be applied; and*
- (8) Any applicable provisions of the city's Design Guidelines (see Sec. 34-288(6)).*

**Pertinent Standards for Review of Considering Demolitions include:**

*The following factors shall be considered in determining whether or not to permit the moving, removing, encapsulation or demolition, in whole or in part, of a contributing structure or protected property:*

- (a) The historic, architectural or cultural significance, if any, of the specific structure or property, including, without limitation:*
  - (1) The age of the structure or property;*
  - (2) Whether it has been designated a National Historic Landmark, listed on the National Register of Historic Places, or listed on the Virginia Landmarks Register;*
  - (3) Whether, and to what extent, the building or structure is associated with an historic person, architect or master craftsman, or with an historic event;*
  - (4) Whether the building or structure, or any of its features, represent an infrequent or the first or last remaining example within the city of a particular architectural style or feature;*
  - (5) Whether the building or structure is of such old or distinctive design, texture or material that it could not be reproduced, or could be reproduced only with great difficulty; and*
  - (6) The degree to which distinguishing characteristics, qualities, features or materials remain;*
- (b) Whether, and to what extent, a contributing structure is linked, historically or aesthetically, to other buildings or structures within an existing major design control district, or is one of a group of properties within such a district whose concentration or continuity possesses greater significance than many of its component buildings and structures.*
- (c) The overall condition and structural integrity of the building or structure, as indicated by studies prepared by a qualified professional engineer and provided by the applicant or other information provided to the board;*
- (d) Whether, and to what extent, the applicant proposes means, methods or plans for moving, removing or demolishing the structure or property that preserves portions, features or materials that are significant to the property's historic, architectural or cultural value; and*
- (e) Any applicable provisions of the city's Design Guidelines.*

**Pertinent Guidelines for Rehabilitation include:**

*p. 4.4 & 4.5*

**C. WINDOWS**

- 18. Use shutters if compatible with the style of the building or neighborhood.*



19. Shutters should be wood (rather than metal or vinyl) and should be mounted on hinges.
20. The size of the shutters should result in their covering the window opening when closed.
21. Avoid shutters on composite or bay windows.

p. 4.6 & 4.7

#### *D. Entrances, Porches, and Doors*

1. The original details and shape of porches should be retained including the outline, roof height, and roof pitch.
2. Inspect masonry, wood, and metal or porches and entrances for signs of rust, peeling paint, wood deterioration, open joints around frames, deteriorating putty, inadequate caulking, and improper drainage, and correct any of these conditions.
3. Repair damaged elements, matching the detail of the existing original fabric.
4. Replace an entire porch only if it is too deteriorated to repair or is completely missing and design to match the original as closely as possible.
5. Do not strip entrances and porches of historic material and details.
6. Give more importance to front or side porches than to utilitarian back porches.
7. Do not remove or radically change entrances and porches important in defining the building's overall historic character.
8. Avoid adding "Colonial" decorative elements, such as broken pediments, columns, and pilasters or installing decorative iron supports.
9. Avoid adding a new entrance to the primary elevation.
10. Do not enclose porches on primary elevations and avoid enclosing porches on secondary elevations in a manner that radically changes the historic appearance.
11. Provide needed barrier-free access in ways that least alter the features of the building.
  - a. For residential buildings, try to use ramps that are removable or portable rather than permanent.
  - b. On nonresidential buildings, comply with the Americans with Disabilities Act while minimizing the visual impact of ramps that affect the appearance of a building.
12. The original size and shape of door openings should be maintained.
13. New door openings should not be introduced on facades visible from the street.
14. Original door openings should not be filled in.
15. Reuse hardware and locks that are original or important to the historical evolution of the building.
16. Avoid substituting the original doors with stock size doors that do not fit the opening properly or do not blend with the style of the building.
17. Retain transom windows and sidelights.

p. 4.8

#### *E. Cornice*

*The cornice occurs at the junction between the roof and the wall and is sometimes decorated with brackets and moldings. On commercial buildings, it may be a decorated classical projection or a flat decorative band within the wall material.*

- 1) *Keep the cornice well sealed and anchored, and maintain the gutter system and flashing.*
- 2) *Repair rather than replace the cornice.*
- 3) *Do not remove elements of the original composition, such as brackets or blocks, without replacing them with new ones of a like design.*
- 4) *Match materials, decorative details, and profiles of the existing original cornice design when making repairs.*
- 5) *Do not replace an original cornice with a new one that conveys a different period, style, or theme from that of the building.*
- 6) *If the cornice is missing, the replacement should be based on physical or documented evidence, or barring that, be compatible with the original building.*
- 7) *Do not wrap or cover a cornice with vinyl or aluminum; these substitute materials may cover up original details and also may hide underlying moisture problems.*

**p. 4.11 – Roof**

- 1) *Identify roof types and materials.*
- 2) *Original roof pitch and configuration should be maintained.*
- 3) *The original size and shape of dormers should be maintained.*
- 4) *Dormers should not be introduced on visible elevations where none existed originally.*
- 5) *Retain elements, such as chimneys, skylights, and light wells, that contribute to the style and character of the building.*
- 6) *When replacing a roof, match original materials as closely as possible.*
  - a. *Avoid, for example, replacing a standing-seam metal roof with asphalt shingles as this would dramatically alter the building's appearance.*
  - b. *Artificial slate is an acceptable substitute when replacement is needed.*
- 7) *Place solar collectors and antennae on non-character defining roofs or roofs of non-historic adjacent buildings.*
- 8) *Do not add new elements, such as vents, skylights, or additional stories, that would be visible on the primary elevations of the building.*

**Discussion and Recommendations**

The BAR must determine if the front chimney contributes to the style and character of the building.

The new window should match existing (1/1 wood).

The shutters should match the existing style, should be hung, and sized to fit the window. The material should be wood or a BAR-approved composite.

Any replacement work, such as the front steps, should match existing materials and design.

The BAR may wish to see more detail on the porch lighting, proposed landscape plan, etc.

**Suggested Motion**

Having considered the standards set forth within the City Code, including City Design Guidelines for Demolition and Rehabilitation, I move to find that the proposal to remove the front chimney, porch gutter, and north door and stairway, add shutters, and do exterior repairs and site work satisfies the BAR's criteria and is compatible with this property and other properties in this district, and that the BAR approves the application as submitted ~~(or with the following conditions...).~~

BOARD OF ARCHITECTURE REVIEW PRESENTATION JULY 19<sup>TH</sup> 2011  
CITY OF CHARLOTTESVILLE, VA

RECEIVED

JUN 28 2011

NEIGHBORHOOD DEVELOPMENT SERVICES

REGARDING: RENOVATION AT 423 2<sup>ND</sup> ST. NE

APPLICANT: KAY & PAT HUMES  
423 2<sup>ND</sup> ST. NE  
CHARLOTTESVILLE, VA 22902

THIS IS A PROPOSAL TO RENOVATE THE EXTERIOR AND REMODEL THE INTERIOR FROM MULTI-FAMILY (4 UNIT) APARTMENT BUILDING BACK TO SINGLE FAMILY RESIDENCE.

THIS IS PHASE ONE OF THE RENOVATION.  
WE HOPE TO PROCEED TO PHASE TWO IN 3-5 YEARS, WHICH WILL TAKE ON THE BACK PARKING AREA AND BASEMENT.

423 2<sup>ND</sup> ST NE IS THE S. JATER ROBINSON HOUSE BUILT IN 1913. ITS OLDER SISTER SITS NEXT DOOR AT 425. BOTH HOUSES WERE BUILT BY THE SAME BUILDER. MANY INTERIOR DECISIONS ARE BASED ON THE 425 HOUSE, WITH REGARD TO REPLACING THE INTERIOR STAIR AT THE ENTRY FOYER AND SHUTTERS ON THE ENTIRE HOUSE.

THIS IS OUR DREAM HOME AND WE ARE PROUD TO TAKE ON THESE RENOVATIONS IN TIME FOR HER 100<sup>TH</sup> BIRTHDAY.

GENERAL NOTE: BECAUSE THE BASEMENT IS TAKING ON WATER, WE PROPOSE TO EXCAVATE THE PERIMETER OF THE ENTIRE HOUSE, WATERPROOF, LAY NEW DRAINAGE LINES AND TAKE ALL DOWNSPOUTS TO THE EXISTING UNDERGROUND DRAINAGE SYSTEM. WE ALSO PROPOSE TO EXCAVATE AT THE FRONT EDGE OF THE PORCH TO KEEP WATER FROM GETTING UNDER THE PORCH.

#### SCOPE OF WORK

##### EXTERIOR FRONT PORCH:

- A. REBUILD NORTH PORTION OF PORCH ROOF TO MATCH SLOPE OF EXISTING PORCH ROOF. HIP ROOF HAS COLLAPSED AND IS CREATING A POOL OF STANDING WATER
- ✓ B. REMOVE PHILLY 2 X 4 GUTTER PIECE. REPLACE WITH HALF ROUND 6" GUTTER, PAINT WHITE TO MATCH TRIM. SLOPE OF ROOF IS TOO LOW FOR THIS TYPE OF GUTTER. WATER STANDS AT 2 X 4 SEAM AND DOESN'T DRAIN PROPERLY. DURING HEAVY SNOW THE WATER WICKS UP THROUGH THE SEAMS.
- C. SHORE UP SAG IN CENTRAL HORIZONTAL ROOF MEMBER
- ✓ D. REPLACE PIERS, EXCAVATING FOR WATERPROOFING UNDER PORCH WILL ALLOW US TO PUT A RETAINING WALL AT THE FRONT PORCH LINE TO DOUBLY PROTECT FROM WATER GETTING TO THE BASEMENT. A RETAINING WALL OF CMU EXISTS ON THE SOUTH SIDE OF THE PORCH. WE WOULD LIKE TO CONTINUE THIS ALONG THE FRONT AND NORTH SIDE UP TO 6" ABOVE GRADE. THEN SET BRICK PIERS ON TOP TO SUPPORT PORCH FLOOR SYSTEM MAINTAINING THE PIER TO POST LOOK. THE PIERS WOULD BE OPEN BETWEEN POSTS TO ALLOW FOR LIGHT TO PENETRATE UNDER THE PORCH.
- E. PAINT AND REPAIR ALL ROTTING WOOD WITH AS LITTLE REPLACEMENT AS POSSIBLE. MATCH EXISTING COLOR SCHEME EXCEPT PORCH CEILING. PAINT BLUE.
- ✓ F. REPAIR FRONT STEPS, PAINT TO MATCH EXISTING COLOR.
- G. REPLACE GAS METERS (3) WITH ONE METER.

##### EXTERIOR FRONT OF HOUSE:

- ✓ A. REMOVE CHIMNEY, REPLACE HOLE WITH MATCHING COPPER PANEL. / PRECEDENT THE SAME BUILDER BUILT A HOME NEXT DOOR. THE CENTRAL CHIMNEY IS AT THE BACK OF THE HOUSE. OUR HOUSE HAS TWO CHIMNEYS AND ONE IS AT THE BACK OF THE HOUSE.
- B. PAINT TRIM AND SHUTTERS, MATCH EXISTING COLORS
- ✓ C. REMOVE LANDSCAPING FOR WATERPROOF EXCAVATION, REPLACE WITH SAME
- ✓ D. CUT TROUGH IN EXISTING FRONT CONCRETE WALKWAY FOR DRAINAGE. A CRACK ALREADY EXISTING. THIS WOULD KEEP WATER FROM RUNNING UNDER WOOD STEPS.

EXTERIOR NORTH SIDE OF HOUSE:

- ✓ A. REMOVE EXTERIOR STAIRWAY (APT ACCESS ADDED IN THE 70'S) TO UPSTAIRS APARTMENT.  
REPLACE WITH DOUBLE HUNG WINDOW TO MATCH, BUT SMALLER SCALE  
ADD BRICK TO MATCH, AND LIME MORTAR TO MATCH.
- ✓ B. ADD SHUTTERS TO WINDOWS ON 1<sup>ST</sup> AND 2<sup>ND</sup> FLOOR.
- C. REPAIR SOFFIT AND PAINT WHITE
- D. PAINT WINDOWS WHITE
- ✓ E. ADD STEP IN WALKWAY TO GET GROUND BELOW WINDOW WELL, MATCH 8 X 8 TIMBERS
- F. ADD 1' PLANTER AREA BOUND BY LEFT OVER BRICKS ALONG EXISTING CONCRETE DIVIDING WALL.
- G. MATCH GRAVEL AND STEPPING STONES FROM FRONT OF HOUSE TO BACK PARKING AREA.

EXTERIOR REAR OF HOUSE:

- ✓ A. ADD SHUTTERS TO 1<sup>ST</sup> AND 2<sup>ND</sup> FLOOR WINDOWS PAINT TO MATCH FRONT OF HOUSE ( EVIDENCE OF SHUTTER HARDWARE IS IN THE PRESENTATION FOR PRECEDENCE)
- B. REPAIR AND PAINT SOFFIT
- C. PAINT WINDOWS TO MATCH EXISTING

EXTERIOR SOUTH SIDE OF HOUSE

- ✓ A. ADD SHUTTERS TO 1<sup>ST</sup> AND 2<sup>ND</sup> FLOOR WINDOWS PAINT TO MATCH.





## INDEX OF SHEETS

00- COVER SHEET  
 A1- PLAT  
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 A3- EXT. FRONT ELEVATIONS  
 A4- CHIMNEY DETAILS  
 A5-EXT. REAR ELEVATIONS  
 A7-PORCH DETAILS  
 A8- PORCH DETAILS  
 A9- WATERPROOFING SCHEME  
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 A12- 1ST FLOOR PLAN- PROPOSED  
 A13- 2ND FLOOR PLAN- PROPOSED

## SCOPE & SIZE

CONVERT MUTI-FAMILY APARTMENT BACK TO  
 SINGLE FAMILY RESIDENCE  
 REMODEL INTERIOR  
 RESTORE EXTERIOR

**RECEIVED**

JUN 28 2011

NEIGHBORHOOD DEVELOPMENT SERVICES

**HUMES RESIDENCE at 423 2ND ST NE**

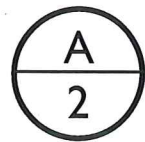
06.27.2011

**BAR PRESENTATION**

423 2nd St NE Charlottesville VA 22902

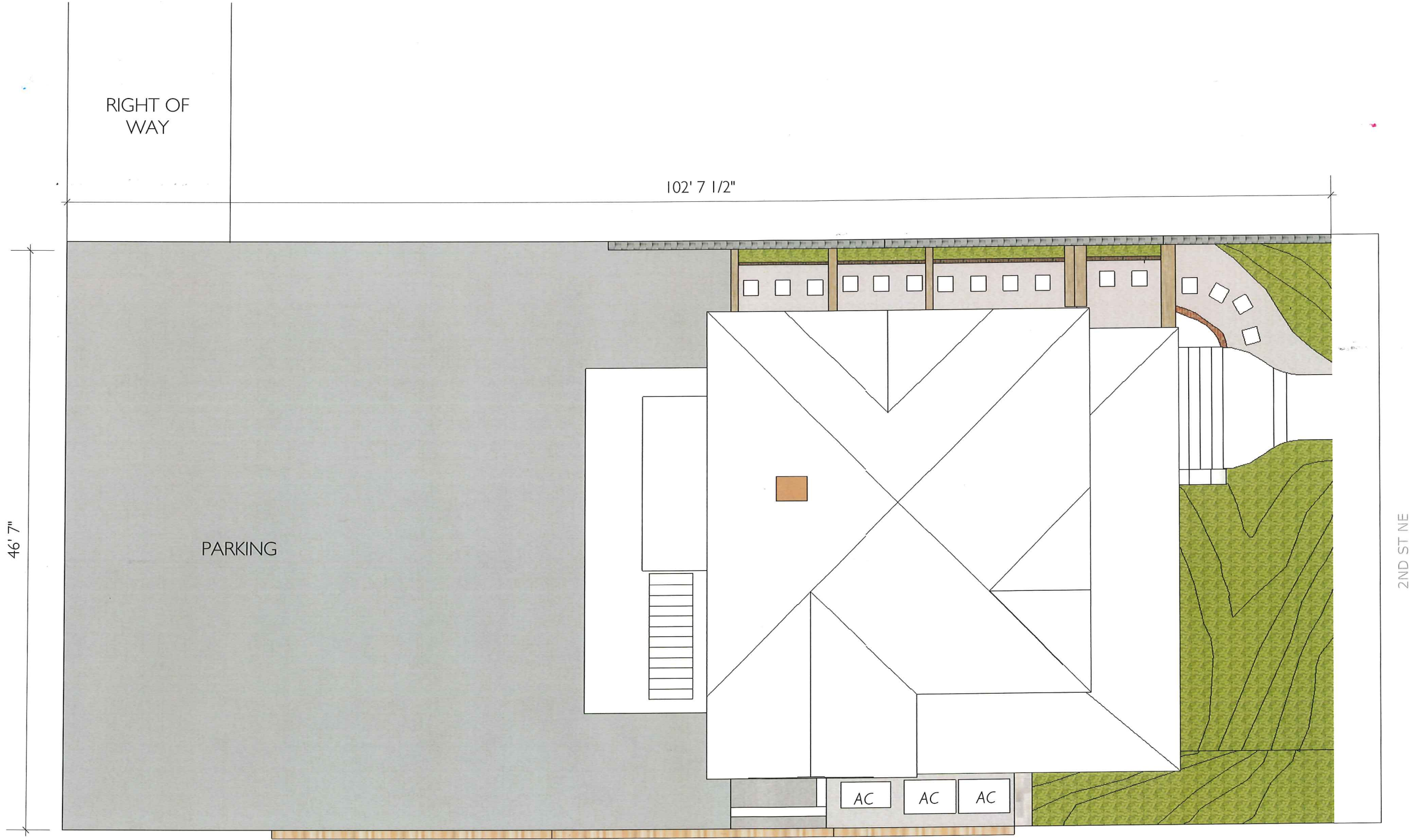






SITE PLAN

1/8" = 1'-0"



HUMES Residence\_ BAR Presentation

Kay & Pat Humes 4432 2nd St. NE Charlottesville, Va 22902

06.27.2011





REPAIR SAG IN PORCH ROOF (SHORE UP PIERS)

REMOVE DAMAGED CHIMNEY  
REPLACE WITH MATCHING COPPER ROOF PANELS

REPAIR PORCH ROOF (REPLACE COLLAPSED HIP,  
REPLACE COPPER SEAMED ROOF)

REMOVE PHILLY GUTTER, PORCH ONLY (REPLACE  
WITH 6" ROUND GUTTER PAINTED WHITE TO MATCH  
TRIM)



EXISTING FRONT ELEVATION

REMOVE BOXWOODS & PLANTINGS FOR CONSTRUCTION OF  
CMU RETAINING WALL, REPLACE WITH SAME

ADD PORCH LIGHTS



PROPOSED FRONT ELEVATION

REPLACE EXISTING STEPS

REPLACE PORCH PIERS/INSTALL CMU RETAINING WALL

PAINT EXT. TRIM, SHUTTERS & PORCH TO MATCH EXISTING  
PAINT PORCH CEILING BLUE



EXT. FRONT ELEVATION

NTS





REMOVE LEANING CHIMNEY



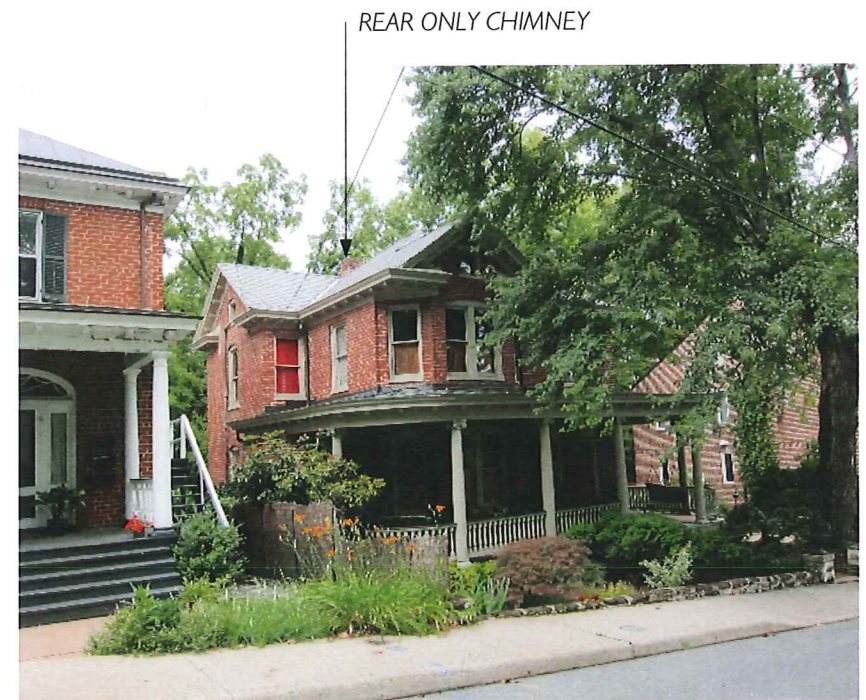
423 LOOKING NORTH



423 LOOKING SOUTH

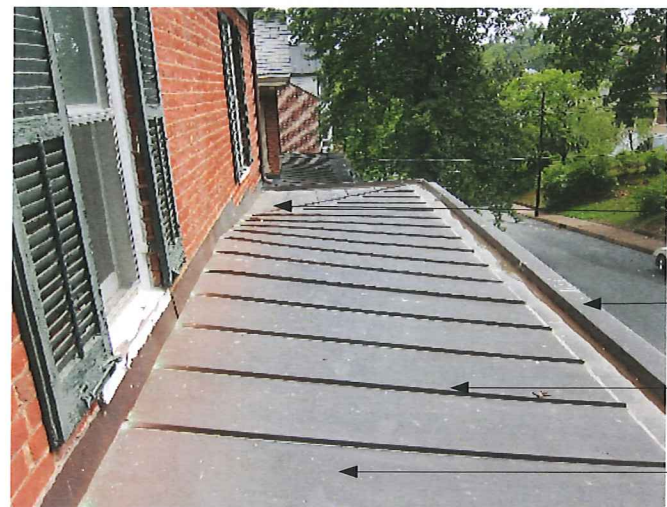


HISTORIC REFERENCE



ADJACENT HOUSE WITH REAR ONLY CHIMNEY-  
BOTH HOUSES BUILT BY SAME BUILDER





REBUILD COLLAPSED HIP

REMOVE PHILLY GUTTER BOARD

REPLACE COPPER ROOF

LOW SLOPE STANDING SEAM



ADD ROUND 6" GUTTER PAINT WHITE

REPAIR PORCH



PORCH DETAILS

NTS

HUMES Residence\_ BAR Presentation

Kay & Pat Humes 4432 2nd St. NE Charlottesville, Va 22902

06.27.2011

A5





EVIDENCE OF  
SHUTTER HARDWARE

REMOVE EXT. STAIRS TO UPSTAIRS APT.

REPAIR SOFFIT, PAINT WHITE

PAINT TRIM AND PORCH DECK TO MATCH



EXISTING REAR ELEVATION

ADD SHUTTERS, PAINT TO MATCH EXISTING

PAINT PORCH CEILING BLUE



PROPOSED REAR ELEVATION

ELIMINATE ALL BUT ONE ELEC. METER





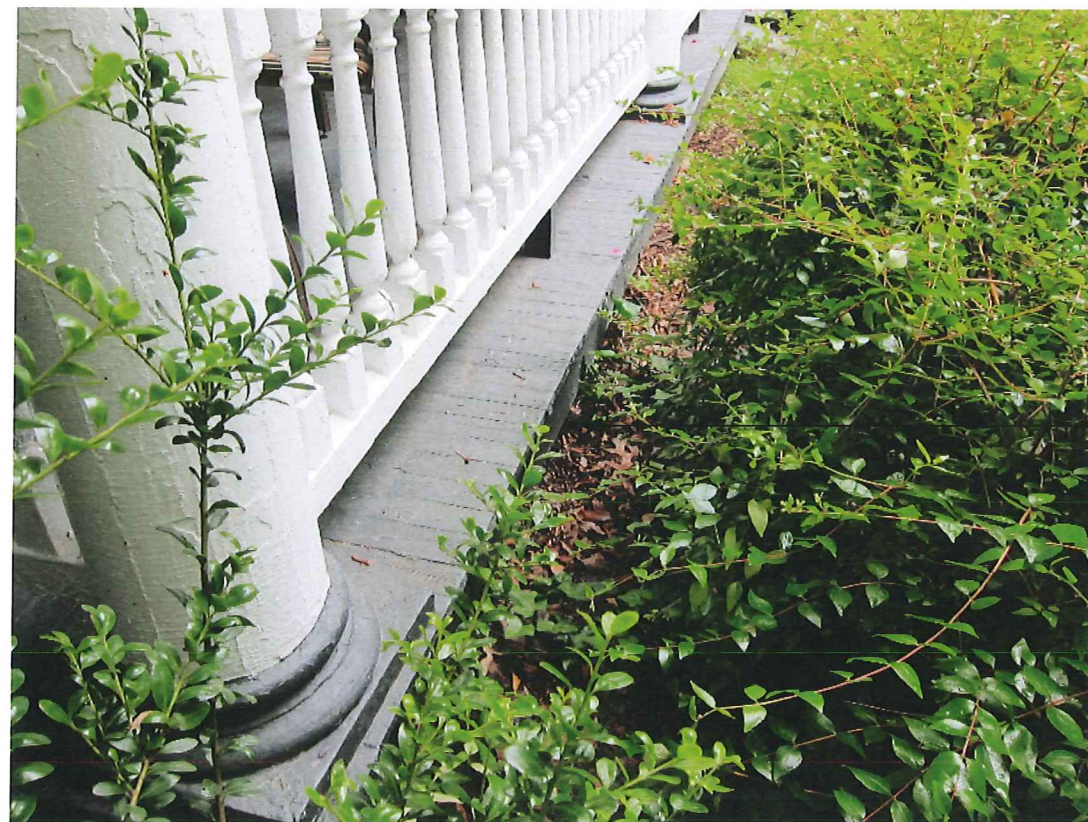
NEW PIERS TO MATCH  
BRICK

EXISTING RETAINING WALL SOUTH SIDE



EXISTING FRONT STEPS

CUT SLOT IN SIDEWALK AT EXISTING CRACK  
INSTALL FINE GRAVEL FOR DRAINAGE



EXISTING PORCH PIERS

EXISTING RETAINING WALL  
CRUMBLING. PIERS COMPROMISED.  
ALL HIDDEN BY PLANTINGS



EXISTING PORCH PIERS



COLLAPSED



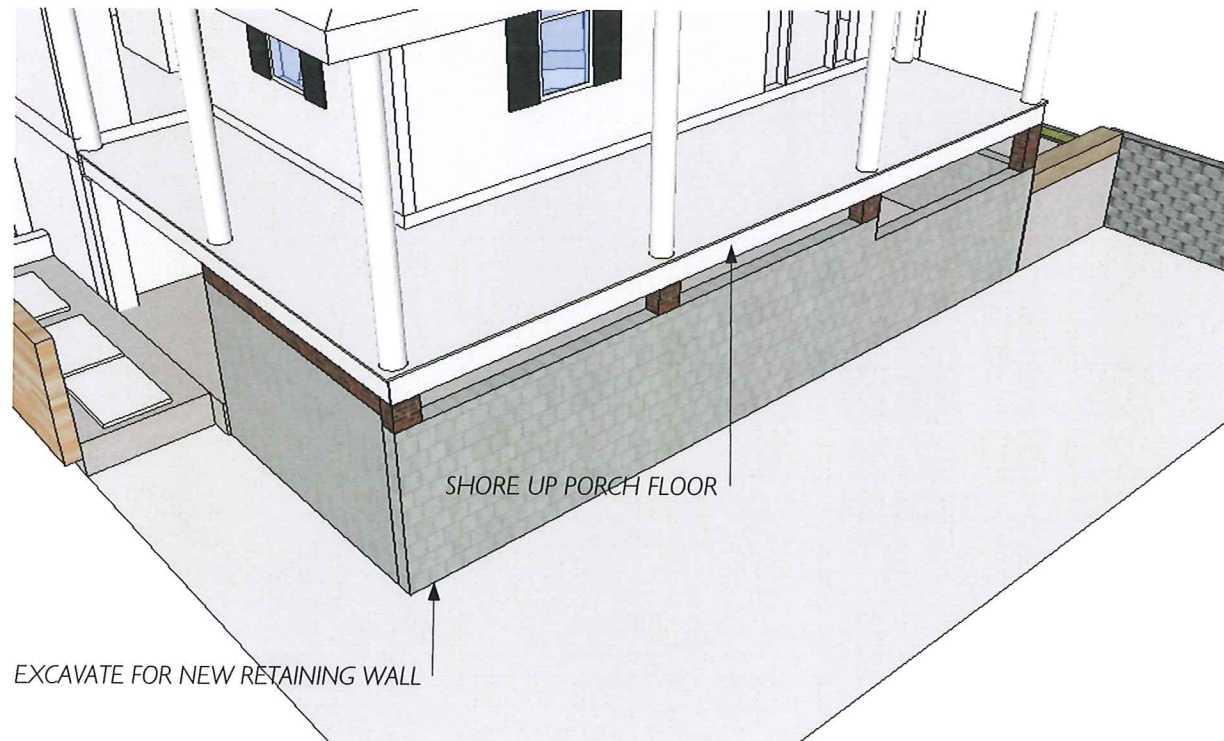
EXISTING COLLAPSED PORCH PIERS AND RETAINING WALL



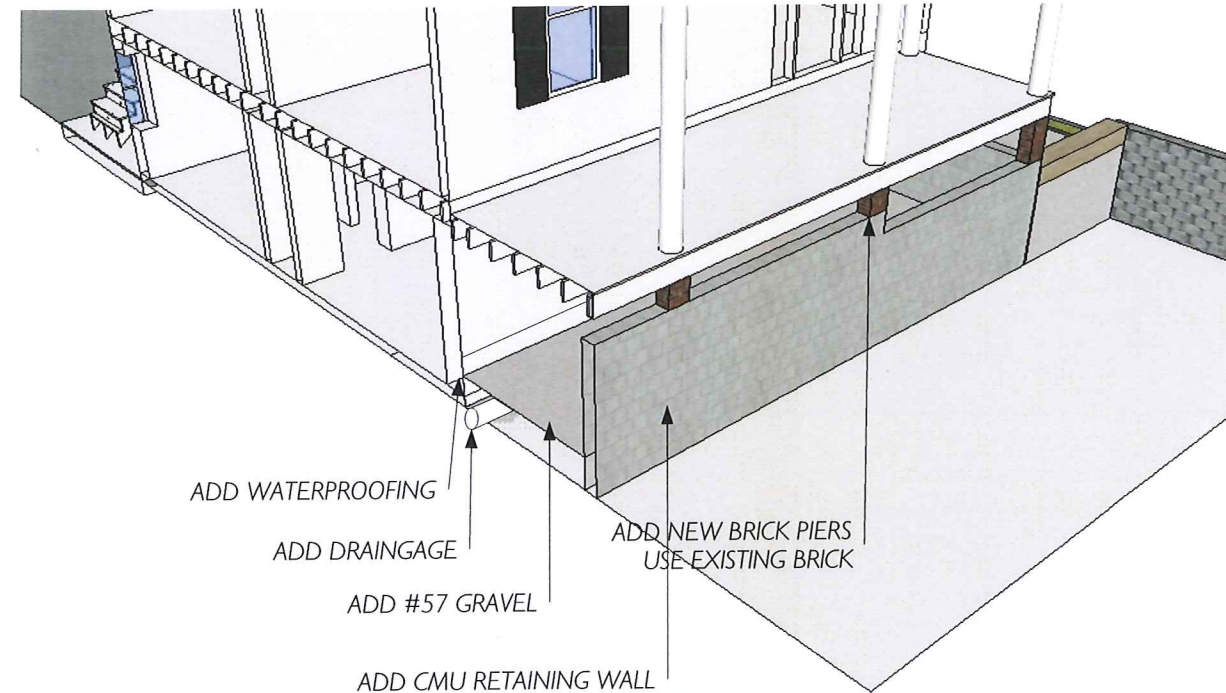
EXISTING COLLAPSED PORCH PIERS AND RETAINING WALL



EXISTING EAST PORCH RETAINING WALL

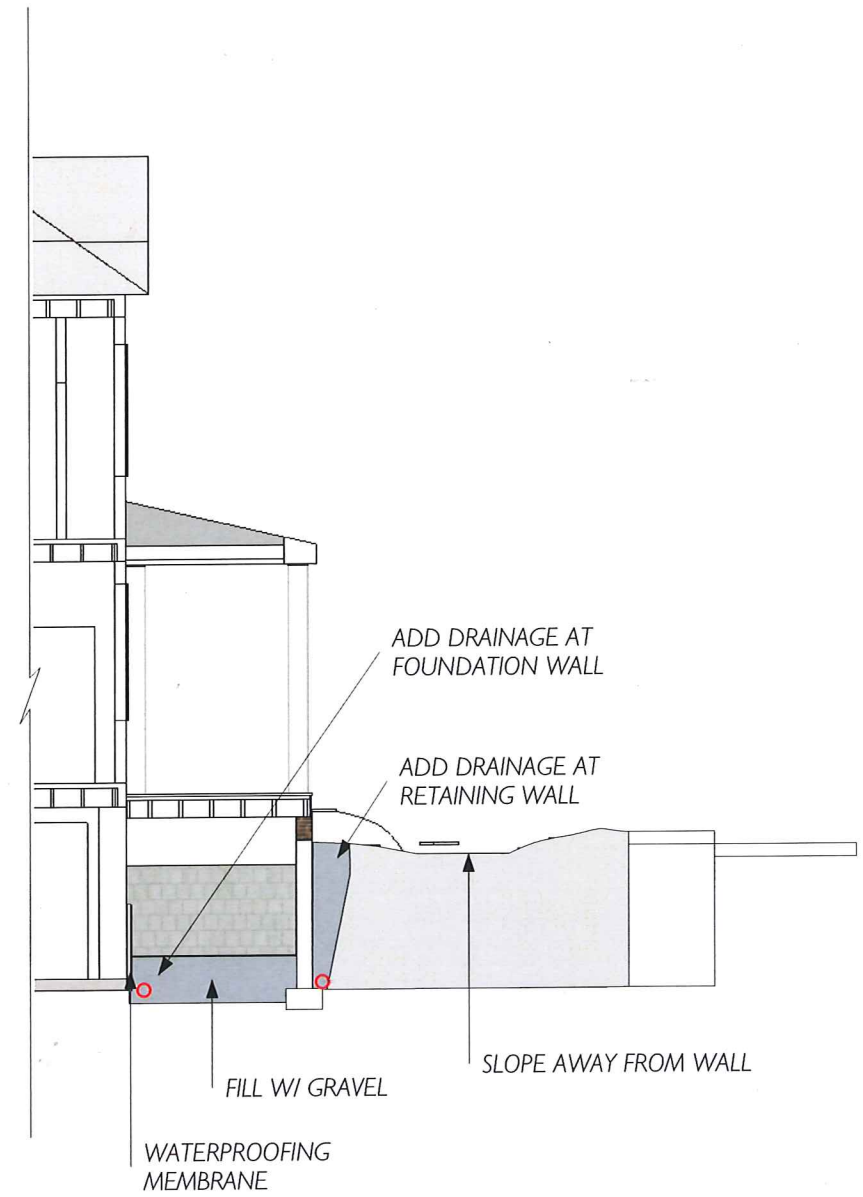
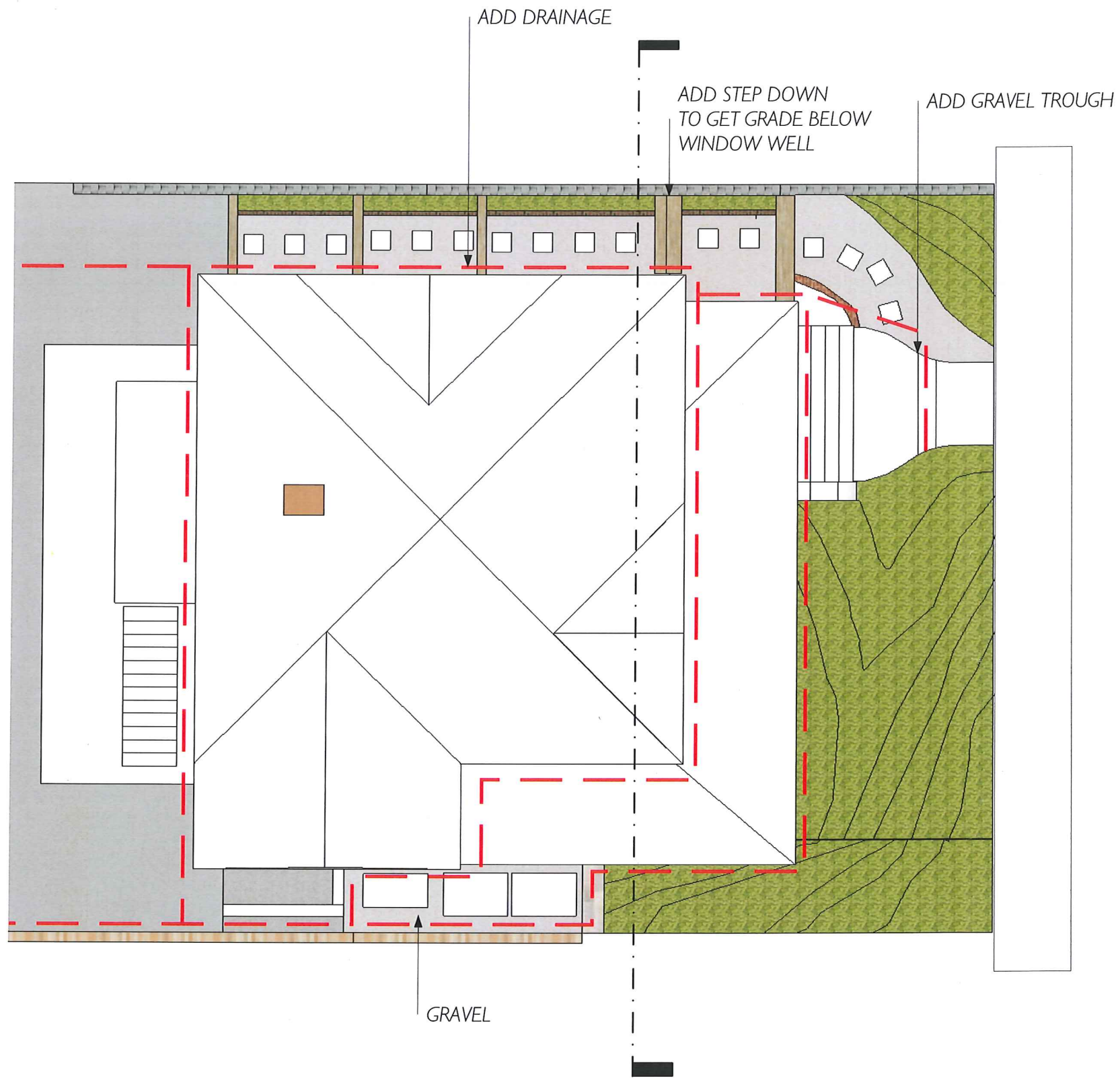


PERSPECTIVE OF EXCAVATED FRONT YARD



SECTIONAL PERSPECTIVE OF EXCAVATED FRONT YARD









EXISTING NORTH SIDE OF HOUSE-  
APT. STAIR ACCESS



EXISTING NORTH SIDE OF HOUSE-  
APT. STAIR ACCESS



WINDOW WELL AT NORTH SIDE



APT. GAS METERS/ EXPOSED DRAINAGE

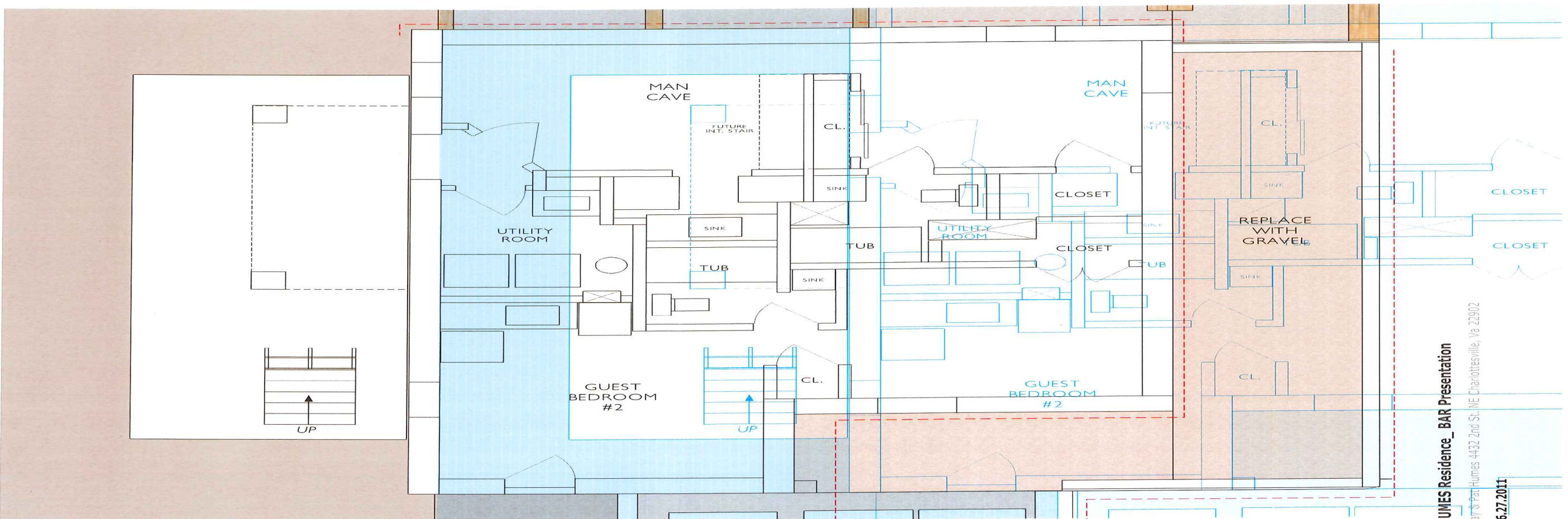


STEPS TO NORTH SIDE



NORTH SIDE OF HOUSE- APT.  
STAIR ACCESS





A  
11

GROUND FLOOR PLAN- EXISTING  
1/4" = 1'-0"

A  
11

GROUND FLOOR PLAN- EXISTING  
1/4" = 1'-0"

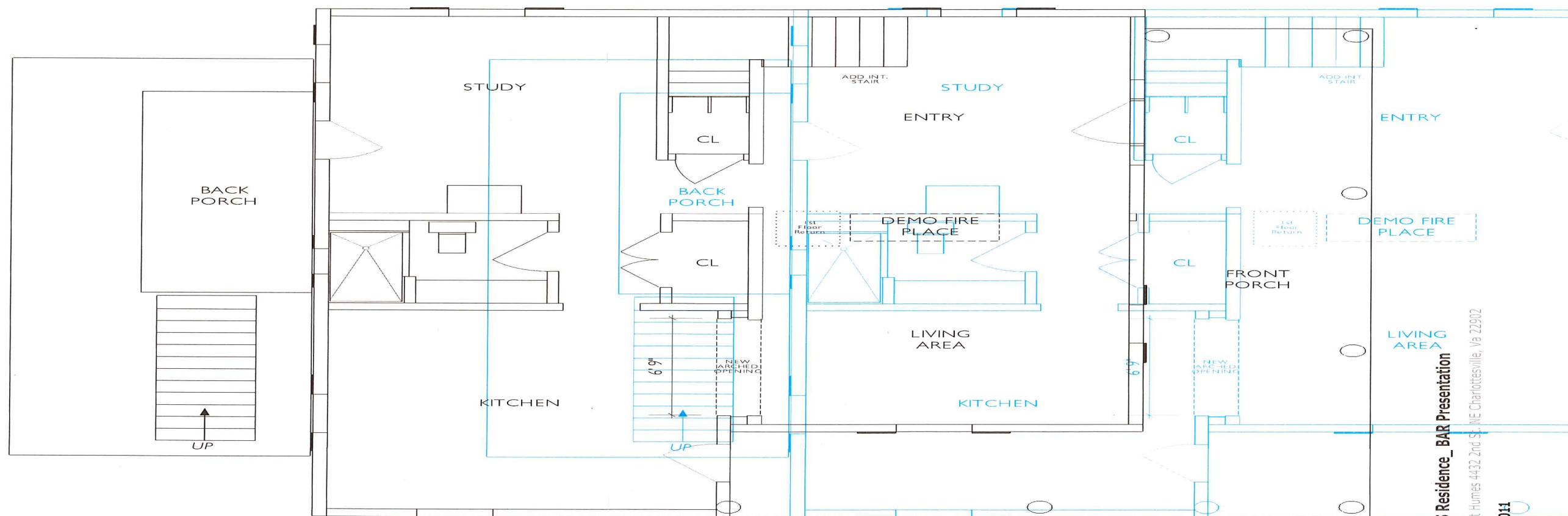


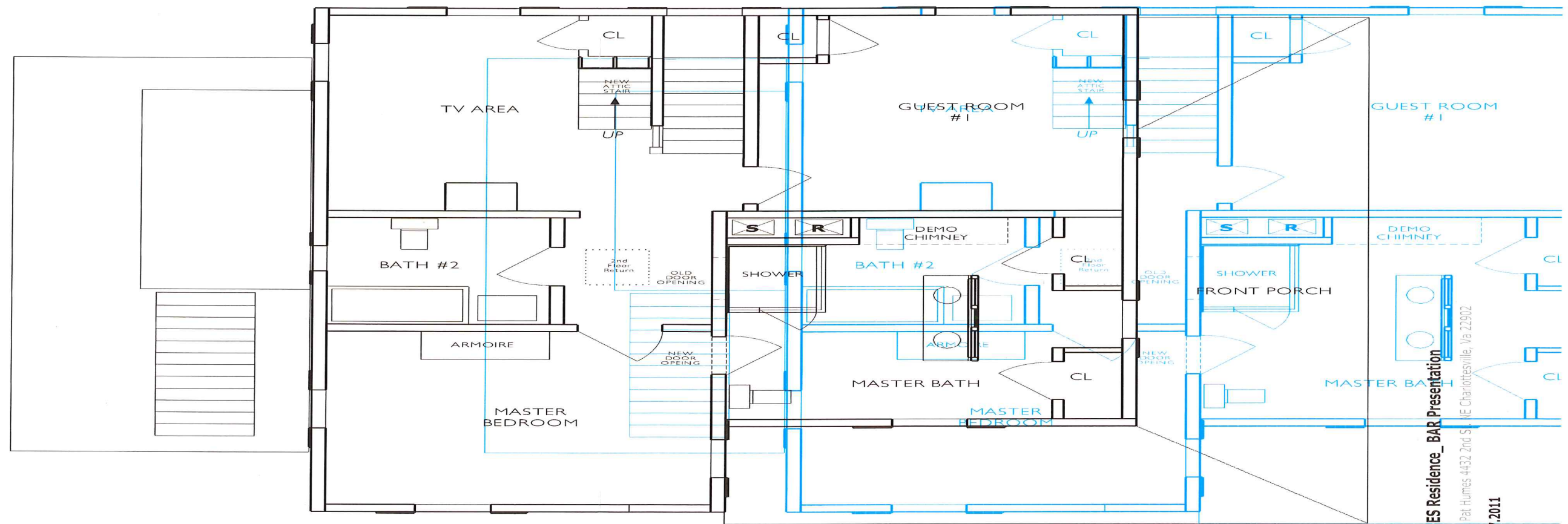
HUMES Residence\_ BAR Presentation

Kay & Pat Humes 4432 2nd St. NE Charlottesville, Va 22902

06.27.2011

A11





A  
13

2ND FLOOR PLAN- PROPOSED  
1/4" = 1'-0"

A  
13

2ND FLOOR PLAN- PROPOSED  
1/4" = 1'-0"



HUMES Residence\_ BAR Presentation

Kay & Pat Humes 4432 2nd St NE Charlotteville, Va 22902

06.27.2011

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