

From: Scala, Mary Joy
Sent: Friday, August 22, 2014 12:37 PM
To: 'Knipp, Jay'
Cc: mrmstynson@gmail.com
Subject: BAR Actions - August 2014 - 427 Park Street

August 22, 2014

Jay Knipp – Ilex Construction
433 Park Street
Charlottesville, VA 22902

Certificate of Appropriateness Application

BAR 14-08-03
427 Park Street
Tax Parcel 530023000
Price-Poore House, LLC, Owner/ Jay Knipp, Ilex Construction, Applicant
Partial demolition, new rear addition, parking lot

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on August 19, 2014. The following action was taken:

The BAR accepted (7-0) the applicant's request for deferral

The BAR encouraged the applicant to provide less parking, save more trees, and narrow the entrance to parking. They suggested an ornamental tree for the front yard.

Sec 34-972(a)(5) allows the traffic engineer to consider a smaller width entrance with BAR's recommendation. You might want to pursue that.

Resubmit when you are ready. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall – 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
August 19, 2014**



Certificate of Appropriateness Application

BAR 14-08-03

427 Park Street

Tax Parcel 530023000

Price-Poore House, LLC, Owner/ Jay Knipp, Ilex Construction, Applicant

Partial demolition, new rear addition, parking lot

Background

This property, a federal style structure with an unusual mansard roof, is designated a contributing structure in the North Downtown ADC district. The original 1-1/2 story portion was built in 1836-7; the 2-1/2 story height was added shortly thereafter; the mansard roof added after 1868.

Application

This property is being rehabilitated for office use.

The following items require BAR review:

1. Demolition of rear screen porch;
2. New two-story rear addition;
3. New window opening in existing building on basement north side;
4. Site clearing and grading to construct new rear parking lot with alley access;
5. Install operable shutters on front;
6. Paint colors: Black forest green roof and shutters; Black front door; Lancaster white trim; Coastal fog addition siding.

The new addition will have brick pilasters and base; painted hardi siding with 5" exposure; Marvin clad casement windows with SDL's and azek casing; azek pilasters above brick pilasters; azek cornice with copper gutters; membrane roofing. There will be a new outside stair (unspecified material) on the north side of the addition.

The new parking lot will have 13 spaces with permeable pavers (Eagle Bay Aqua-Bric). Many large trees will be removed, and replaced with 16 American Boxwood; 12 English Boxwood; and 2 Sweetgum.

Criteria, Standards, and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Standards for Considering Demolitions include:

The following factors shall be considered in determining whether or not to permit the moving, removing, encapsulation or demolition, in whole or in part, of a contributing structure or protected property:

(a) The historic, architectural or cultural significance, if any, of the specific structure or property, including, without limitation:

(1) The age of the structure or property;

The porch addition appears to be late 20th century.

(2) Whether it has been designated a National Historic Landmark, listed on the National Register of Historic Places, or listed on the Virginia Landmarks Register;

The building is a contributing structure in the Charlottesville- Albemarle County Courthouse historic district, which is listed on the National Register of Historic Places and the Virginia Landmarks Register.

(3) Whether, and to what extent, the building or structure is associated with an historic person, architect or master craftsman, or with an historic event;

There are no known associations.

(4) Whether the building or structure, or any of its features, represent an infrequent or the first or last remaining example within the city of a particular architectural style or feature;

The early date of the original building makes it significant. The mansard roof is unusual in Charlottesville. The porch does not contribute to the character of the building.

5) Whether the building or structure is of such old or distinctive design, texture or material that it could not be reproduced, or could be reproduced only with great difficulty; and

The porch could be reproduced using new materials.

(6) The degree to which distinguishing characteristics, qualities, features or materials remain;

The building is intact.

(b) Whether, and to what extent, a contributing structure is linked, historically or aesthetically, to other buildings or structures within an existing major design control district, or is one of a group of properties within such a district whose concentration or continuity possesses greater significance than many of its component buildings and structures.

427 Park Street is linked historically and aesthetically to other residential and formerly residential buildings along Park Street.

(c) The overall condition and structural integrity of the building or structure, as indicated by studies prepared by a qualified professional engineer and provided by the applicant or other information provided to the board;

No structural report has been requested or submitted.

(d) Whether, and to what extent, the applicant proposes means, methods or plans for moving, removing or demolishing the structure or property that preserves portions, features or materials that are significant to the property's historic, architectural or cultural value; and

The applicant is asking permission to raze the rear porch only.

(e) Any applicable provisions of the city's Design Guidelines

1. *The criteria established by the City Code.*
See above.
2. *The public necessity of the proposed demolition.*
There is no public necessity.
3. *The public purpose or interest in land or buildings to be protected.*
The rear porch of 427 Park Street is not of particular significance because of its recent age.
4. *The existing character of the setting of the structure or area and its surroundings.*
This part of Park Street has large, former residences used for offices.
5. *Whether or not a relocation of the structure would be a practical and preferable alternative to demolition.*
Relocation would not be a preferable alternative.
6. *Whether or not the proposed demolition would affect adversely or positively other historic buildings or the character of the historic district.*
It would not.
7. *Whether or not there has been a professional economic and structural feasibility study for rehabilitating or reusing the structure and whether or not its findings support the proposed demolition.*
No structural report has been requested or submitted.

Pertinent Design Review Guidelines for Additions

P. ADDITIONS

1. *Function and Size*
 - a. *Attempt to accommodate needed functions within the existing structure without building an addition.*
 - b. *Limit the size of the addition so that it does not visually overpower the existing building.*
2. *Location*
 - a. *Attempt to locate the addition on rear or side elevations that are not visible from the street.*
 - b. *If additional floors are constructed on top of a building, set the addition back from the main façade so that its visual impact is minimized.*
 - c. *If the addition is located on a primary elevation facing the street or if a rear addition faces a street, parking area, or an important pedestrian route, the façade of the addition should be treated under the new construction guidelines.*
3. *Design*
 - a. *New additions should not destroy historic materials that characterize the property.*
 - b. *The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
4. *Replication of Style*
 - a. *A new addition should not be an exact copy of the design of the existing historic building. The design of new additions can be compatible with and respectful of existing buildings without being a mimicry of their original design.*
 - b. *If the new addition appears to be part of the existing building, the integrity of the original historic design is compromised and the viewer is confused over what is historic and what is new.*
5. *Materials and Features*
 - a. *Use materials, windows, doors, architectural detailing, roofs, and colors that are compatible with historic buildings in the district.*
6. *Attachment to Existing Building*
 - a. *Wherever possible, new additions or alterations to existing buildings should be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the buildings would be unimpaired.*
 - b. *The new design should not use the same wall plane, roof line, or cornice line of the existing structure.*

Pertinent Design Guidelines for Rehabilitations

C. WINDOWS

- 1) *Prior to any repair or replacement of windows, a survey of existing window conditions is recommended. Note number of windows, whether each window is original or replaced, the material, type, hardware and finish, the condition of the frame, sash, sill, putty, and panes.*
- 2) *Retain original windows when possible.*
- 3) *Uncover and repair covered up windows and reinstall windows where they have been blocked in.*
- 4) *If the window is no longer needed, the glass should be retained and the back side frosted, screened, or shuttered so that it appears from the outside to be in use.*
- 5) *Repair original windows by patching, splicing, consolidating or otherwise reinforcing. Wood that appears to be in bad condition because of peeling paint or separated joints often can be repaired.*
- 6) *Replace historic components of a window that are beyond repair with matching components.*
- 7) *Replace entire windows only when they are missing or beyond repair.*
- 8) *If a window on the primary façade of a building must be replaced and an existing window of the same style, material, and size is identified on a secondary elevation, place the historic window in the window opening on the primary façade.*
- 9) *Reconstruction should be based on physical evidence or old photographs.*
- 10) *Avoid changing the number, location, size, or glazing pattern of windows by cutting new openings, blocking in windows, or installing replacement sash that does not fit the window opening.*
- 11) *Do not use inappropriate materials or finishes that radically change the sash, depth of reveal, muntin configuration, reflective quality or color of the glazing, or appearance of the frame.*
- 12) *Use replacement windows with true divided lights or interior and exterior fixed muntins with internal spacers to replace historic or original examples.*
- 13) *If windows warrant replacement, appropriate material for new windows depends upon the context of the building within a historic district, and the age and design of the building. Sustainable materials such as wood, aluminum-clad wood, solid fiberglass, and metal windows are preferred. Vinyl windows are discouraged.*
- 14) *False muntins and internal removable grilles do not present an historic appearance and should not be used.*
- 15) *Do not use tinted or mirrored glass on major facades of the building. Translucent or low (e) glass may be strategies to keep heat gain down.*
- 16) *Storm windows should match the size and shape of the existing windows and the original sash configuration. Special shapes, such as arched top storms, are available.*
- 17) *Storm windows should not damage or obscure the windows and frames.*
- 18) *Avoid aluminum-colored storm sash. It can be painted an appropriate color if it is first primed with a zinc chromate primer.*
- 19) *The addition of shutters may be appropriate if not previously installed but if compatible with the style of the building or neighborhood.*
- 20) *In general, shutters should be wood (rather than metal or vinyl) and should be mounted on hinges. In some circumstances, appropriately dimensioned, painted, composite material shutters may be used.*
- 21) *The size of the shutters should result in their covering the window opening when closed.*
- 22) *Avoid shutters on composite or bay windows.*

Pertinent Design Review Guidelines for Site Design

B. PLANTINGS

- 1) *Encourage the maintenance and planting of large trees on private property along the streetfronts, which contribute to the "avenue" effect.*
- 2) *Generally, use trees and plants that are compatible with the existing plantings in the neighborhood.*
- 3) *Use trees and plants that are indigenous to the area.*
- 4) *Retain existing trees and plants that help define the character of the district, especially street trees and hedges.*
- 5) *Replace diseased or dead plants with like or similar species if appropriate.*
- 6) *When constructing new buildings, identify and take care to protect significant existing trees and other plantings.*

- 7) *Choose ground cover plantings that are compatible with adjacent sites, existing site conditions, and the character of the building.*
- 8) *Select mulching and edging materials carefully and do not use plastic edgings, lava, crushed rock, unnaturally colored mulch or other historically unsuitable materials.*

F. PARKING AREAS & LOTS

- 1) *If new parking areas are necessary, construct them so that they reinforce the street wall of buildings and the grid system of rectangular blocks in commercial areas.*
- 2) *Locate parking lots behind buildings.*
- 3) *Screen parking lots from streets, sidewalks, and neighboring sites through the use of walls, trees, and plantings of a height and type appropriate to reduce the visual impact year-round.*
- 4) *Avoid creating parking areas in the front yards of historic building sites.*
- 5) *Avoid excessive curb cuts to gain entry to parking areas.*
- 6) *Avoid large expanses of asphalt.*
- 7) *On large lots, provide interior plantings and pedestrian walkways.*
- 8) *Provide screening from adjacent land uses as needed.*
- 9) *Install adequate lighting in parking areas to provide security in evening hours.*
- 10) *Select lighting fixtures that are appropriate to a historic setting.*

Discussion and Recommendations

This is a potential tax credit project. The demolition of the rear porch will not adversely affect the character of the original building. This is an appropriate use for this lovely old building.

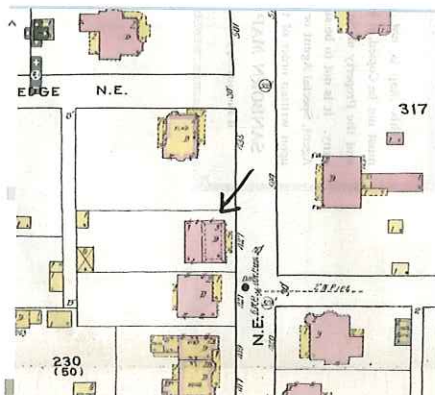
The new window opening should be discussed. The BAR may want to hear more about the window restoration and brick re-pointing.

The material/color of the proposed new exterior stair should be specified.

The parking lot requires a site plan review in addition to BAR review. The BAR should comment on the proposed landscaping, particularly the one new Sweetgum in the front yard.

Suggested Motions

Having considered the standards set forth within the City Code, including City Design Guidelines for Demolitions, New Construction and Additions, Rehabilitations, and for Site Design, I move to find that the proposed porch demolition, new addition and other changes satisfy the BAR's criteria and guidelines and are compatible with this property and other properties in the North Downtown ADC district, and that the BAR approves the application as submitted (or with the following modifications...).



1920 Sanborn Map



Board of Architectural Review (BAR) Certificate of Appropriateness

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name	<u>PRICE-POORE HOUSE LLC</u>	Applicant Name	<u>JAY KNIPP - ILEX CONSTRUCTION</u>
Project Name/Description	<u>HISTORIC RENOVATION & ADDITION</u>		Parcel Number <u>53-23</u>
Property Address	<u>427 PARK ST., CHARLOTTESVILLE, VA 22902</u>		

Applicant Information

Address: 433 PARK ST.
CHARLOTTESVILLE VA 22902
 Email: JKNIPP@ILEXCONSTRUCTION.COM
 Phone: (W) 434 244 0802 (H) _____
 FAX: 434 244-0805

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

[Signature] 7/23/14
 Signature Date
JAY KNIPP 7/23/14
 Print Name Date

Property Owner Information (if not applicant)

Address: 455 2ND ST. S.E. SUITE 402
CHARLOTTESVILLE VA 22902
 Email: HRMSTANSON@GMAIL.COM
 Phone: (W) 434 996-5790 (H) _____
 FAX: _____

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

[Signature] 7-23-14
 Signature Date
MEGHAN MORRIS 7-23-14
 Print Name Date

Do you intend to apply for Federal or State Tax Credits for this project? YES

Description of Proposed Work (attach separate narrative if necessary): SEE ATTACHED SCOPE OF WORK.

List All Attachments (see reverse side for submittal requirements): SEE ATTACHED LIST

For Office Use Only

Received by: [Signature]
 Fee paid: 12500 Cash/Ck. # 002136
 Date Received: 7/23/14

Approved/Disapproved by: _____
 Date: _____
 Conditions of approval: _____

LANDMARK



SURVEY

IDENTIFICATION

Street Address: 427 Park Street
Map and Parcel: 53-23
Census Track & Block: 3-501
Present Owner: William Groke Mickey
Address: 427 Park Street
Present Use: Residence
Original Owner: Nancy Price
Original Use: Residence

BASE DATA

Historic Name: The Poore House
Date/Period: 1836-7
Style: Federal
Height to Cornice: 19'
Height in Stories: 2 1/2
Present Zoning: B-1
Land Area (sq.ft.): 55 x 155
Assessed Value (land + imp.): 8210 + 5460 = 13,670

ARCHITECTURAL DESCRIPTION

The Poore House is an example of a house that grew from a small vernacular structure to one of the finest residences in the city. The original portion, which was built by Nancy Price in 1836-7, was a simple one and a half brick laid in Flemish bond with queen closers. Shortly thereafter, the walls and roof were raised to their present two and a half height. Still later, after returning from a visit to France in 1868, Virginia Carrington, a life tenant, added the fine Mansard roof with its three arched dormers. This feature, characteristic of the Second French Empire style, is unique in Charlottesville. Large scrolled brackets were added at this time but, unfortunately have since been removed. There are also indications of a one story veranda on the front.

HISTORICAL DESCRIPTION

In 1836, Nancy Price assembled two lots bought from Opie Norris and Charles Everett and began construction on what is now the nucleus of the Poore House. In 1851, after several sales, the property was sold to Ann E. Poore. Miss Lizzie Poore conducted a successful school for children in this house during the 1850's. Robert Carter bought the property in 1914 and held the title until 1924 when it was sold to Charles Carter. The present owner bought the Poore House in 1965. Deed references: ACDB 27-312, 28-44, 37-80, 28-312, 34-250, 37-85, 42-178, 49-404, 49-409, 68-532, 85-354, City WB 1-175, DB 13-218, 19-377, 22-79, 26-206, 49-278, 266-78.

GRAPHICS



CONDITIONS

Excellent

SOURCES

Title Abstract, Morris to Carter, 1914
Alexander's Recollections, p. 42.
Mr. Groke Mickey

BOARD OF ARCHITECTURAL REVIEW

**Application and Attachments
Certificate of Appropriateness**

**Price-Poore House
427 Park Street
Charlottesville, VA 22902**

July 25, 2014

**427 Park Street
Charlottesville, VA 22902**

Description of Proposed Work

1. Demolition of screen porch on rear.
2. Site clearing and grading as detailed in site plan by Collins Engineering.
3. Construct parking lot with permeable pavers.
4. Lead paint abatement – exterior trim and cornice.
5. Window restoration.
6. Chimney inspection and repair.
7. Repoint brick mortar joints
8. Clean, repair and paint standing seam metal roof.
9. Install operable louvered shutters on the front of the building.
10. Upgrade electrical service and panels.
11. Install ductless mini-split heat pump system.
12. Plaster repairs and painting.
13. Two story addition and interior renovations as detailed in architectural plans by Bethany Puopolo dated April 24, 2014.

427 Park Street
Charlottesville, VA 22902

List of Attachments

1. Virginia DHR letter concerning tax credit application.
2. Photos of existing building.
3. Landmark survey.
4. Photos of neighboring buildings.
5. Architectural plans by Bethany Puopolo dated April 24, 2014.
6. Images from 3D model of addition.
7. Proposed exterior paint colors.
8. Exterior louver shutter specifications – Summit Hill
9. Shutter hardware specifications – James Peters & Son, Inc.
10. Marvin Windows – clad casement specifications
11. Azek exterior trim information – addition.
12. Old Carolina Brick information – addition.
13. Eagle Bay Permeable Pavers information.
14. Site plan – Collins Engineering dated July 23, 2014.



427 PARK ST











433 PARK ST.



421 PARK ST.



REAR VIEWS OF NEARBY BUILDINGS





COMMONWEALTH of VIRGINIA

Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Molly Joseph Ward
Secretary of Natural Resources

Julie V. Langan
Director
Tel: (804) 367-2323
Fax: (804) 367-2391
www.dhr.virginia.gov

June 12, 2014

Mr. James B. Murray, Jr.
Murray Enterprises, LLC
455 Second Street SE, Suite 402
Charlottesville, VA 22902

Re: Price-Poore House
427 Park Street, Charlottesville
DIIR # 2014-096

Dear Mr. Murray:

Thank you for submitting the State and Federal Rehabilitation Tax Credit application, Part 1, "Evaluation of Significance," for 427 Park Street in Charlottesville. The property is a contributing resource in the Charlottesville and Albemarle County Courthouse Historic District, which is listed on the Virginia Landmarks Register and the National Register of Historic Places. In accord with the provisions of §58.1-339.2 of the Code of Virginia, then, the building is a certified historic structure.

Your project application, along with our review determination and comments, has been forwarded to the National Park Service in Washington, D.C.

We look forward to receiving Part 2 of the application, which we will review for certification of the rehabilitation work. If you have any questions about the review process, you can reach me at (804) 482-6097 or Chris.Novelli@dhr.virginia.gov.

Sincerely,

Christopher V. Novelli
Architectural Historian
Rehabilitation Tax Credit Division

c: Mary Harding Sadler

Administrative Services
10 Courthouse Ave.
Petersburg, VA 23803
Tel: (804) 862-6408
Fax: (804) 862-6196

Capital Region Office
2801 Kensington Avenue
Richmond, VA 23221
Tel: (804) 482-6446
Fax: (804) 367-2391

Tidewater Region Office
14415 Old Courthouse Way
2nd Floor
Newport News, VA 23608
Tel: (757) 886-2818
Fax: (757) 886-2808

Western Region Office
962 Kime Lane
Salom, VA 24153
Tel: (540) 387-5443
Fax: (540) 387-5446

Northern Region Office
5357 Main Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7029
Fax: (540) 868-7033



LANDMARK

SURVEY

IDENTIFICATION

Street Address: 427 Park Street
 Map and Parcel: 53-31
 Census Tract & Block: 3-101
 Present Owner: William Groke Niskey
 Address: 427 Park Street
 Present Use: Residence
 Original Owner: Nancy Price
 Original Use: Residence

BASE DATA

Historic Name: The Peere House
 Date/Period: 1836-7
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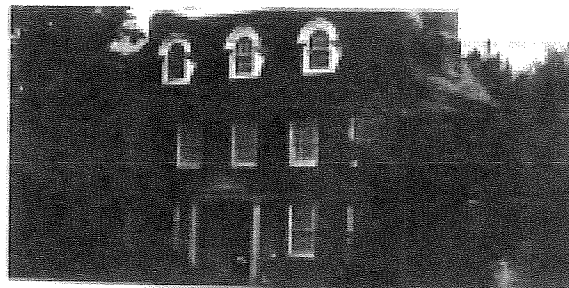
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The Peere House is an example of a house that grew from a small vernacular structure to one of the finest residences in the city. The original portion, which was built by Nancy Price in 1836-7, was a simple one and a half brick house in Federal style with gable eaves. Shortly thereafter, the walls and roof were raised to their present two and a half height. Still later, after returning from a visit to France in 1855, Virginia Carrington, a life tenant, added the fine Mansard roof with its three arched dormers. This feature, characteristic of the Second French Empire style, is unique in Charlottesville. Large scrolled brackets were added at this time but, unfortunately have since been removed. There are also indications of a one story veranda on the front.

HISTORICAL DESCRIPTION

In 1836, Nancy Price assembled two lots bought from Opie Morris and Charles Everett and began construction on what is now the nucleus of the Peere House. In 1851, after several sales, the property was sold to Ann S. Peere. Miss Elizabeth Peere conducted a successful school for children in this house during the 1850's. Robert Carter bought the property in 1914 and held the title until 1934 when it was sold to Charles Carter. The present owner bought the Peere House in 1962. See references: 2000 27-112, 28-44, 27-83, 28-112, 24-210, 27-85, 42-270, 42-404, 49-409, 68-132, 65-224, City WB 1-175, 08 11-216, 17-277, 27-79, 28-206, 42-270, 166-78.

GRAPHICS



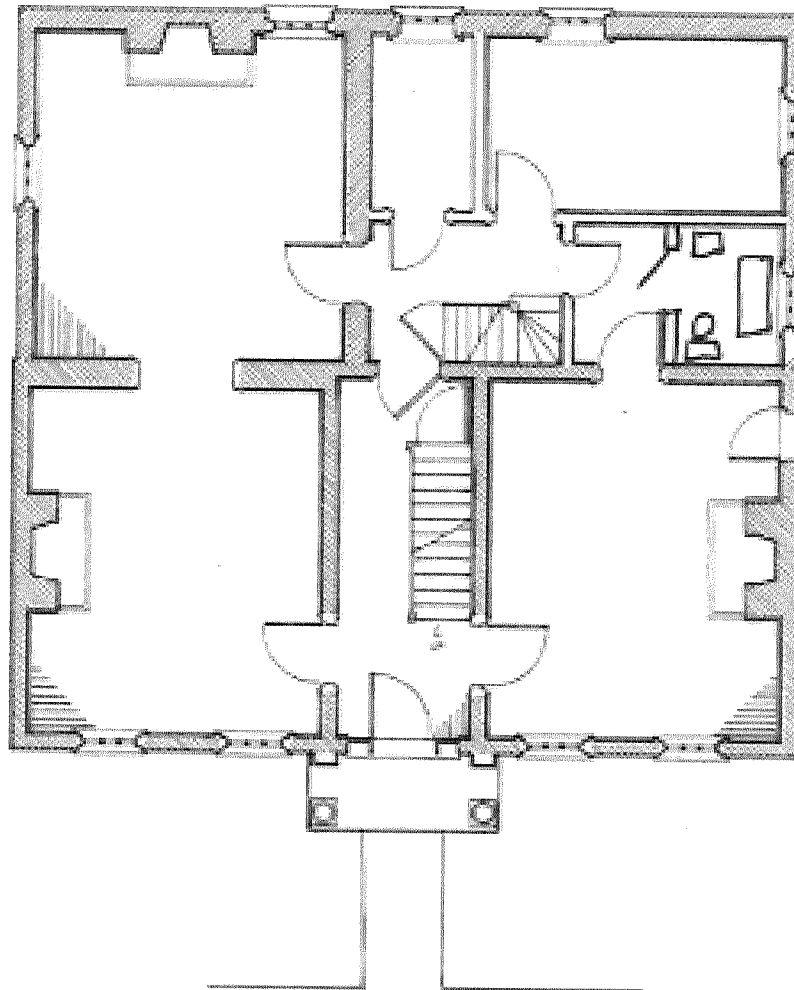
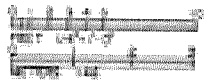
CONDITIONS

Excellent

SOURCES

Title Abstract, Morris to Carter, 1914
 Alexander's Recollections, p. 43.
 Mr. Groke Niskey

FIRST FLOOR PLAN



DRAWN BY CHARLES E. STEVENSON, ENTRY

DRAWN BY: CHARLES E. STEVENSON
 SCHOOL OF ARCHITECTURE
 UNIVERSITY OF VIRGINIA
 NATIONAL HISTORIC SURVEY
 UNITED STATES DEPARTMENT OF THE INTERIOR

PRICE-PODRE HOUSE
 417 WEST STREET CHARLOTTESVILLE INDEPENDENT CITY VIRGINIA

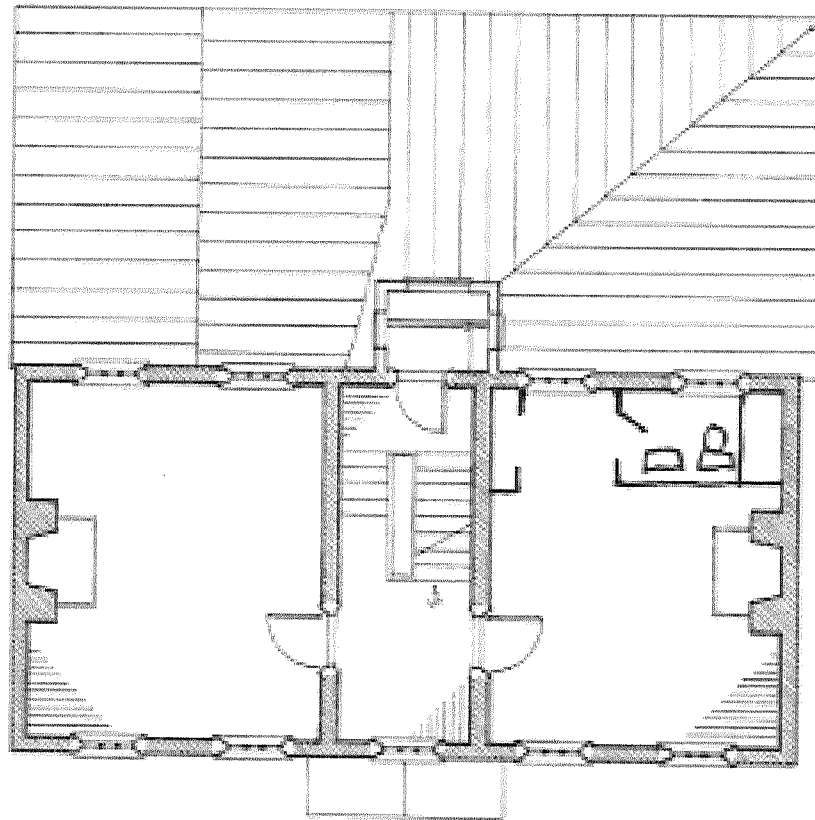
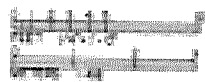
SHEET NO.
 12-004

HISTORIC AMERICAN
 GRAPHICS SURVEY
 SHEET 2 OF 7 SHEETS

DATE OF SURVEY
 1964

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DRG. CHARLES E. PETERSON PRINT. 1957



SECOND FLOOR PLAN

© 1957 ARCHITECTURAL STUDIO 1957

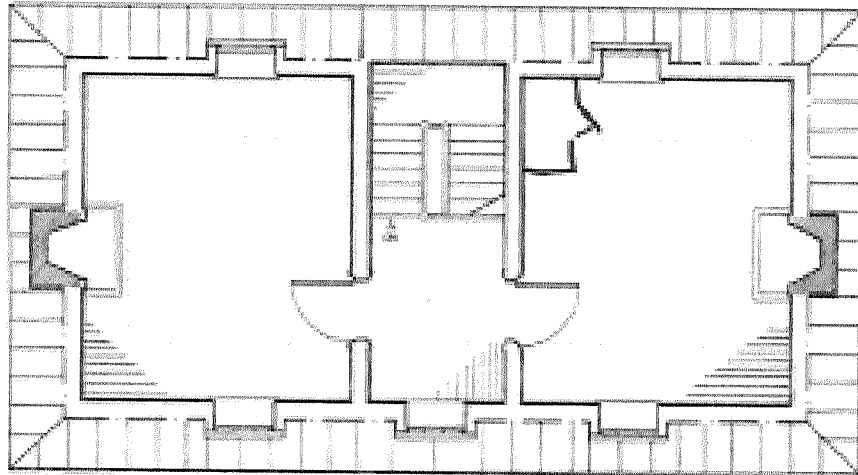
SCHOOL OF ARCHITECTURE
UNIVERSITY OF VIRGINIA
1400 GARDNER DRIVE
STATESVILLE, VIRGINIA

THE PRICE-POORE HOUSE
57 PARK STREET CHARLOTTESVILLE, VIRGINIA

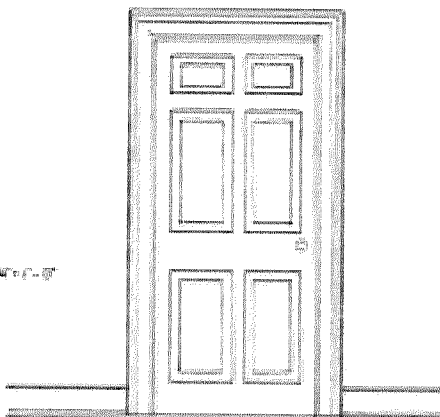
SCALE 1/4" = 1'-0"

HISTORIC AMERICAN
BUILDINGS SURVEY
SHEET 2 OF 2

UNIVERSITY OF VIRGINIA ARCHITECTURAL STUDIO 1400 GARDNER DRIVE STATESVILLE, VIRGINIA

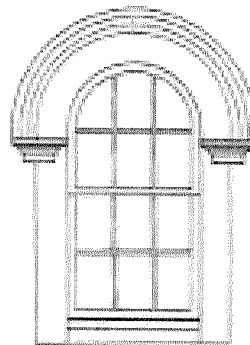


THIRD FLOOR PLAN



SCALE: 3/4" = 1'-0"

TYPICAL SIX-PANE DOOR



SCALE: 3/4" = 1'-0"

TYPICAL DORMER WINDOW

MISS CHARLES PETERSON PRICE, ENR

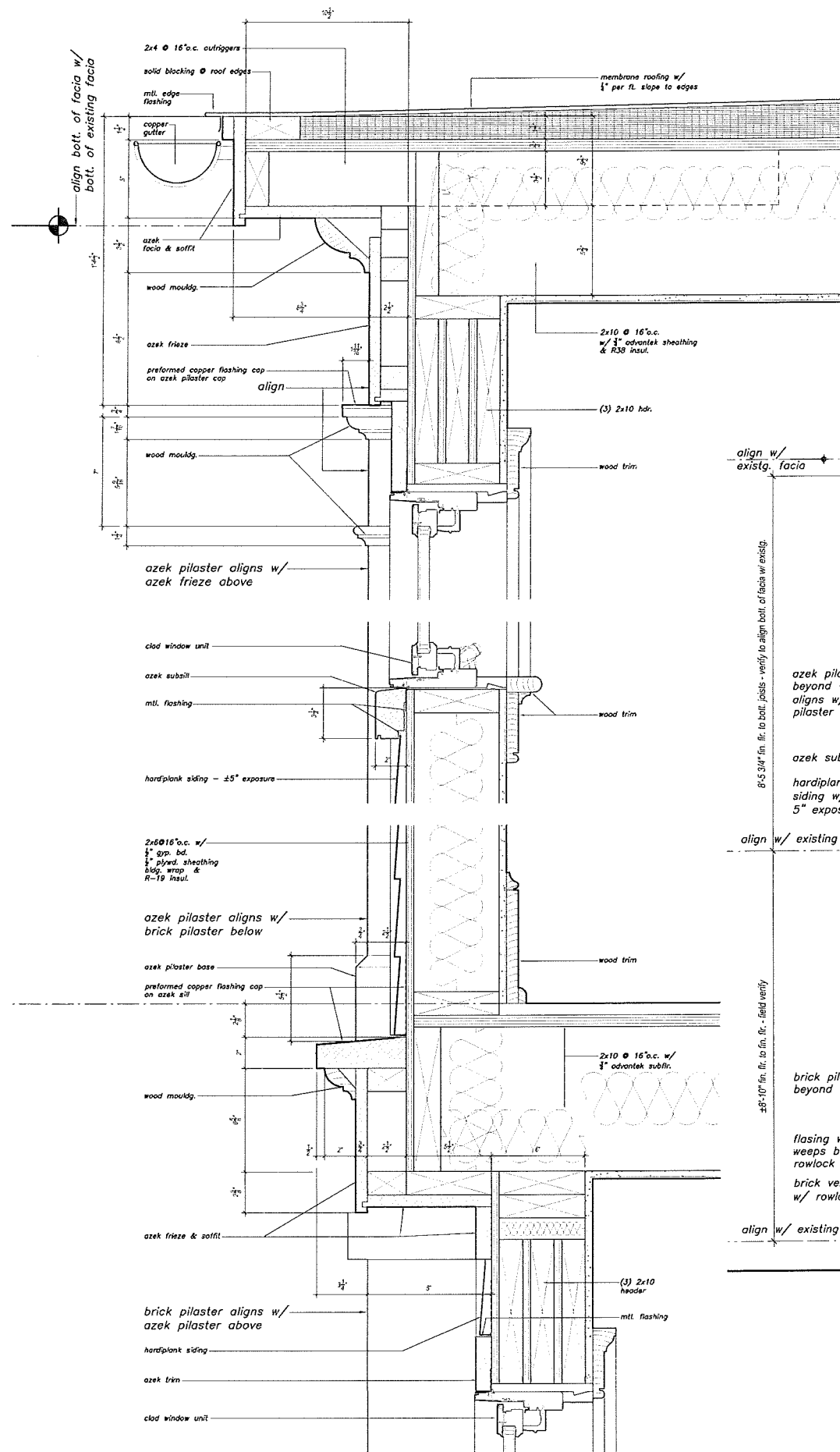
MISS CHARLES PETERSON PRICE, ENR
SCHOOL OF ARCHITECTURE
UNIVERSITY OF VIRGINIA
CHARLOTTESVILLE, VIRGINIA

PRICE-POORE HOUSE

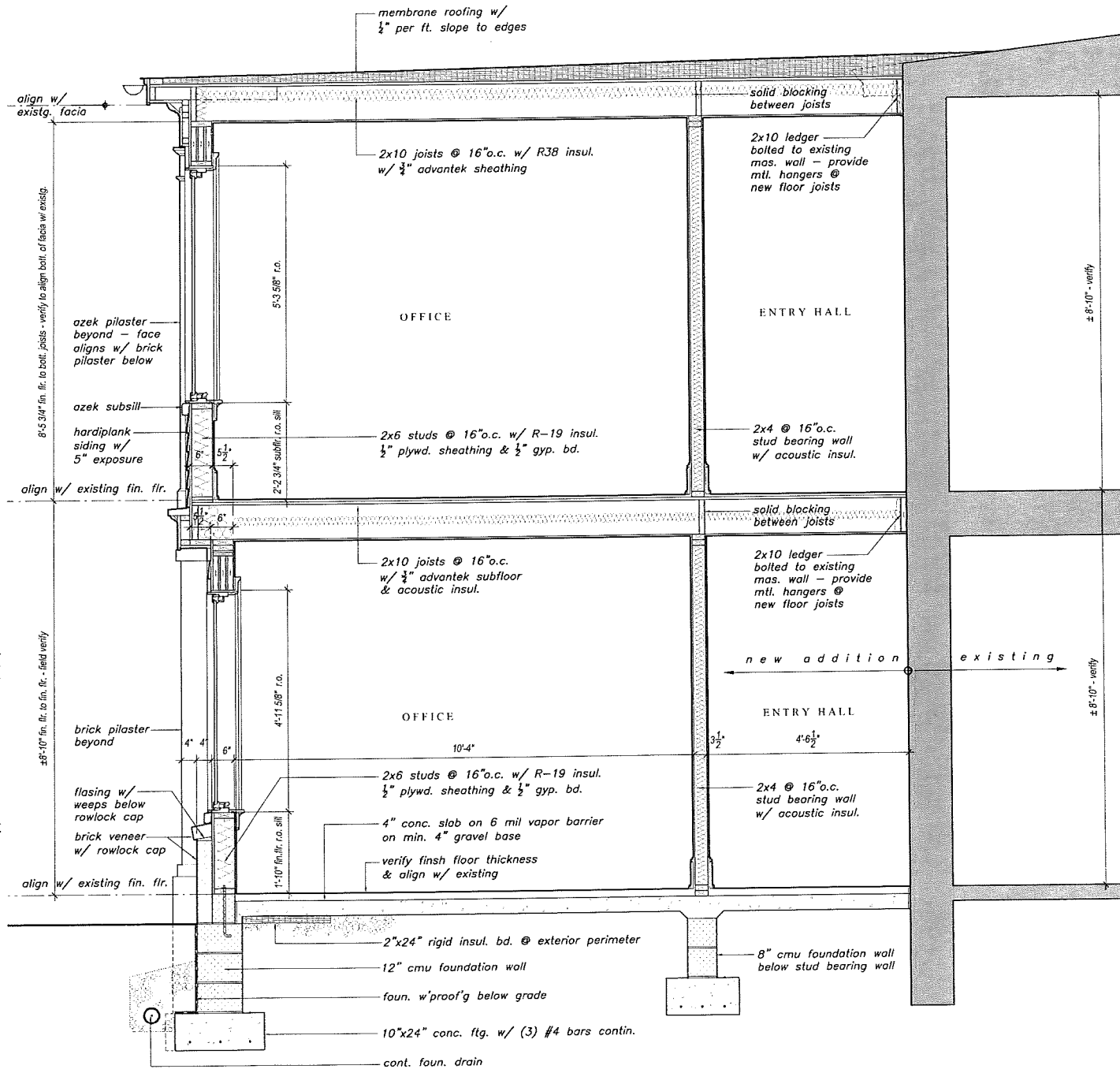
407 PARK STREET CHARLOTTESVILLE, INDEPENDENT CITY, VIRGINIA

HISTORIC AMERICAN
SALVAGE SURVEY
2007-9 OF 7

BY PERMISSION, PLEASE CREDIT: HISTORIC AMERICAN SALVAGE SURVEY, 2007-9 OF 7, MISS CHARLES PETERSON PRICE, ENR OF CHARLOTTESVILLE, VA FOR MISS CHARLES PETERSON PRICE, ENR



2 WALL SECTION
3" = 1'-0"



1 BUILDING SECTION
1/2" = 1'-0"

427
Park St.

Charlottesville,
Virginia

Bethany C. Proppolo
Architect

P. O. Box 75
Charlottesville, VA
22902

cell 434.989.3036
phone 434.295.8298
bjcpuopolo@aol.com

Date
April 24, 2014

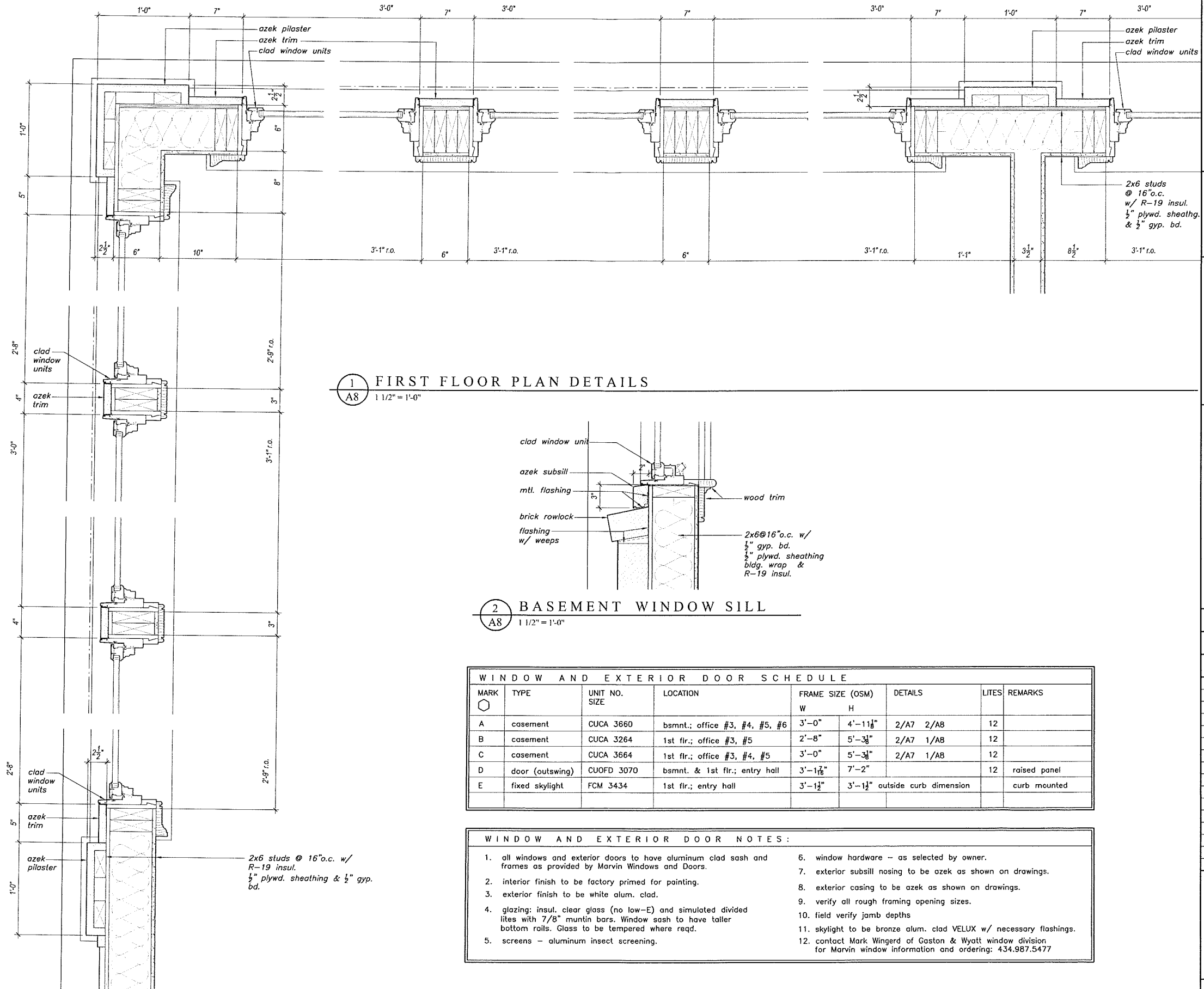
Revisions

No. Date Revision

Bldg. Section
Wall Section

scale : as noted

Sheet A7



1 FIRST FLOOR PLAN DETAILS
 A8 1 1/2" = 1'-0"

2 BASEMENT WINDOW SILL
 A8 1 1/2" = 1'-0"

WINDOW AND EXTERIOR DOOR SCHEDULE								
MARK	TYPE	UNIT NO. SIZE	LOCATION	FRAME SIZE (OSM)		DETAILS	LITES	REMARKS
				W	H			
A	casement	CUCA 3660	bsmnt.; office #3, #4, #5, #6	3'-0"	4'-11 1/8"	2/A7 2/A8	12	
B	casement	CUCA 3264	1st flr.; office #3, #5	2'-8"	5'-3 3/8"	2/A7 1/A8	12	
C	casement	CUCA 3664	1st flr.; office #3, #4, #5	3'-0"	5'-3 3/8"	2/A7 1/A8	12	
D	door (outswing)	CUOFD 3070	bsmnt. & 1st flr.; entry hall	3'-1 7/8"	7'-2"		12	raised panel
E	fixed skylight	FCM 3434	1st flr.; entry hall	3'-1 1/2"	3'-1 1/2" outside curb dimension			curb mounted

- WINDOW AND EXTERIOR DOOR NOTES:
- all windows and exterior doors to have aluminum clad sash and frames as provided by Marvin Windows and Doors.
 - interior finish to be factory primed for painting.
 - exterior finish to be white alum. clad.
 - glazing: insul. clear glass (no low-E) and simulated divided lites with 7/8" muntin bars. Window sash to have taller bottom rails. Glass to be tempered where reqd.
 - screens - aluminum insect screening.
 - window hardware - as selected by owner.
 - exterior subsill nosing to be azek as shown on drawings.
 - exterior casing to be azek as shown on drawings.
 - verify all rough framing opening sizes.
 - field verify jamb depths
 - skylight to be bronze alum. clad VELUX w/ necessary flashings.
 - contact Mark Wingerd of Gaston & Wyatt window division for Marvin window information and ordering: 434.987.5477

427
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Date April 24, 2014

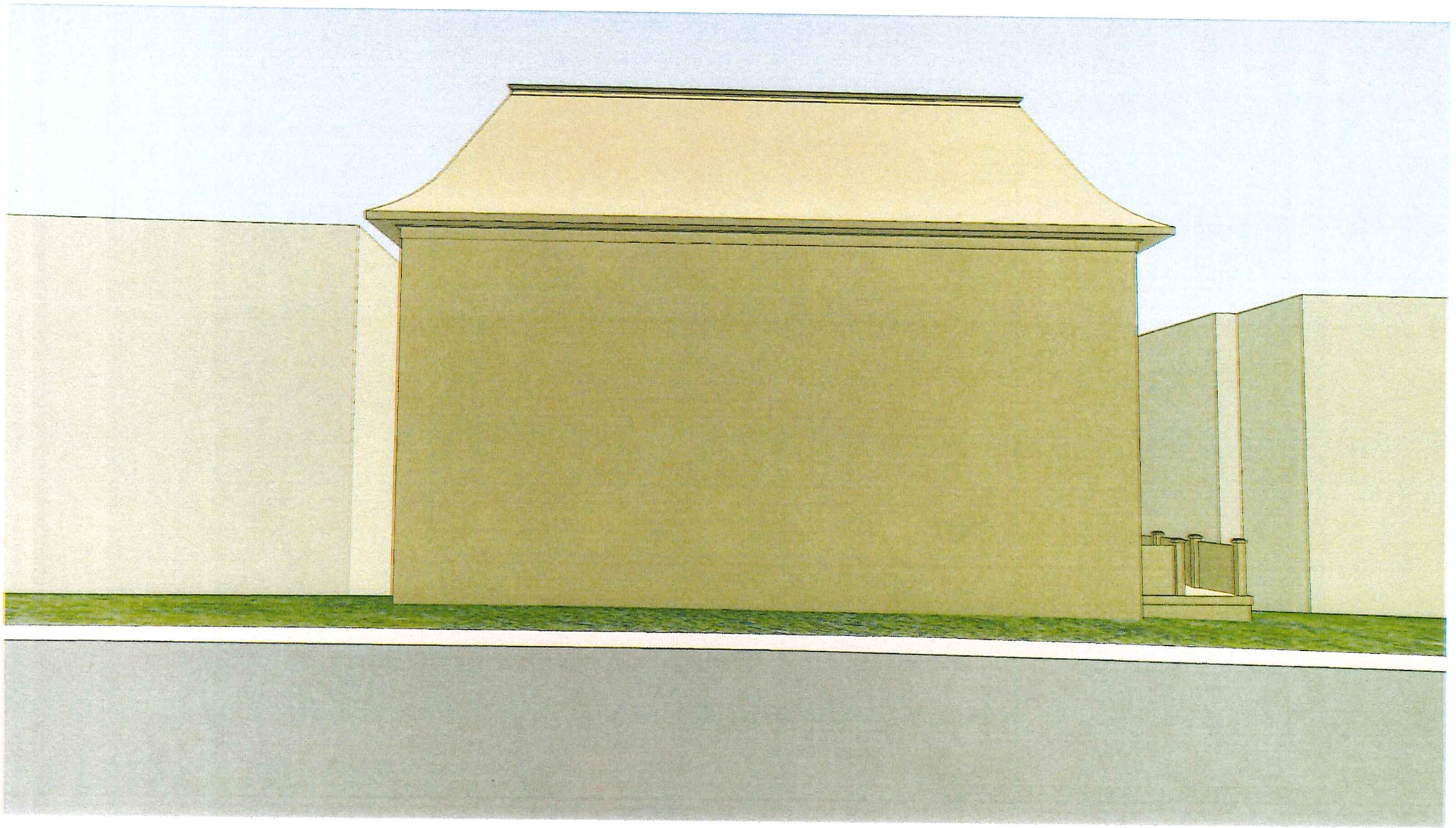
Revisions

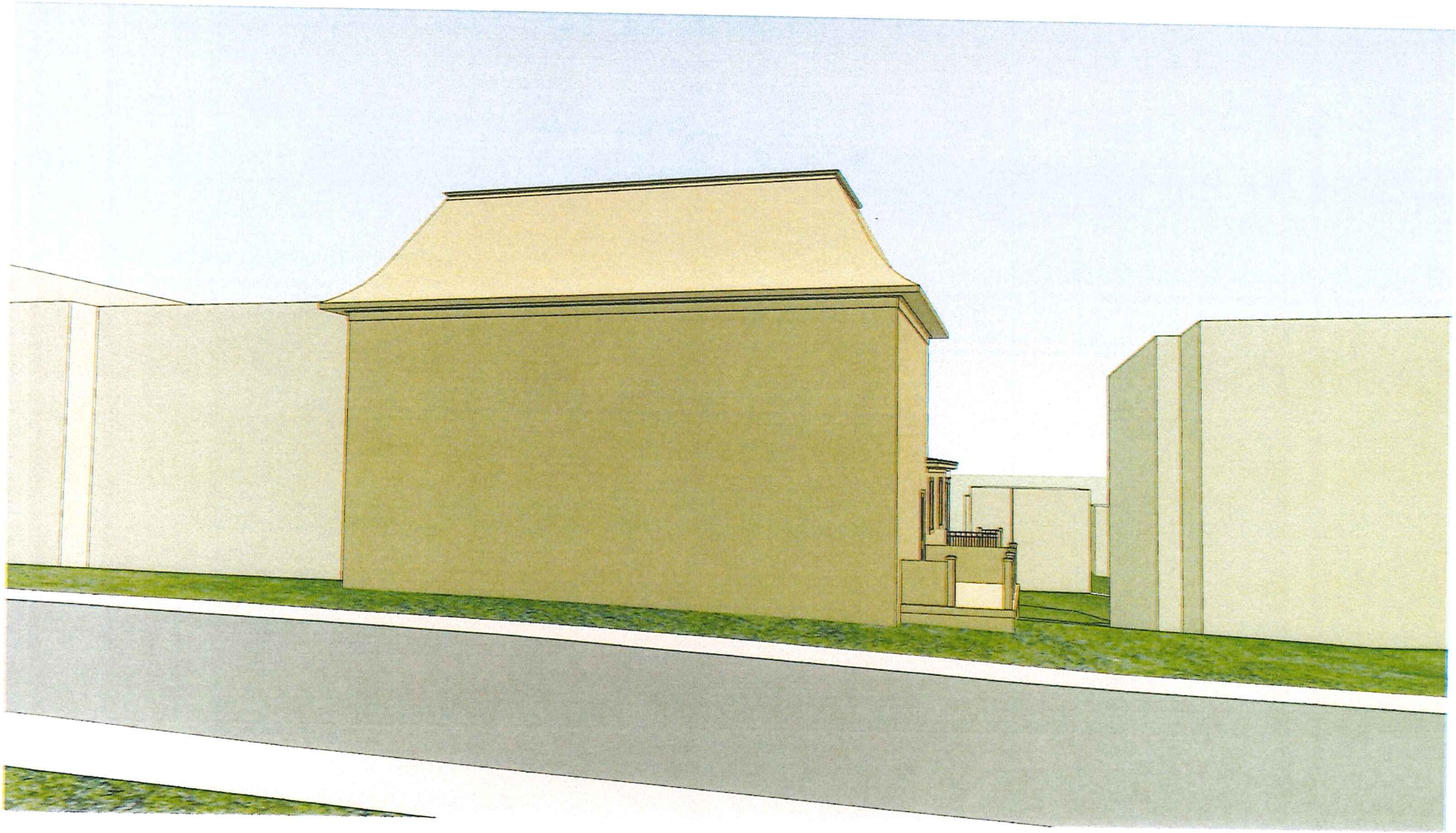
No. Date Revision

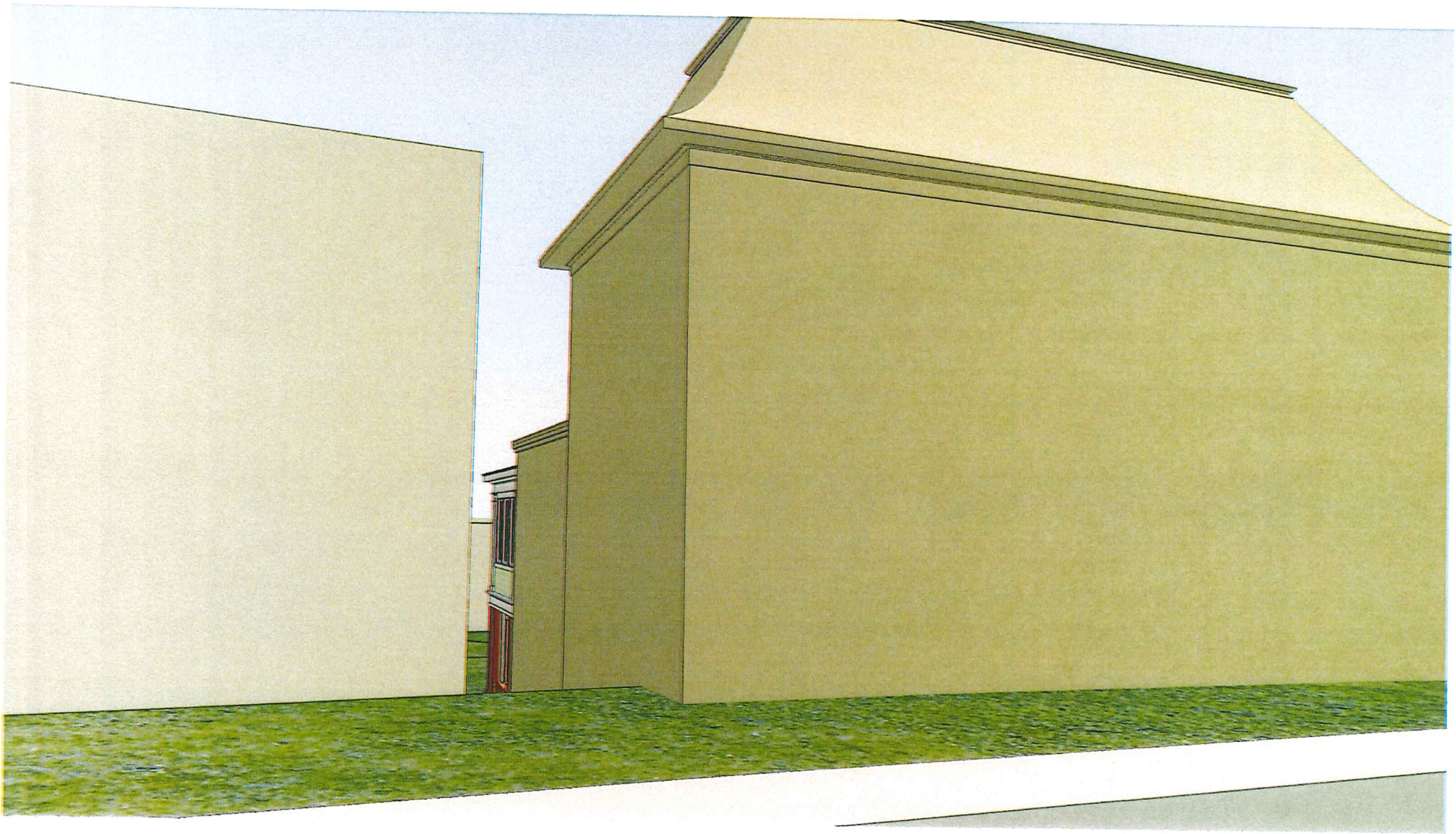
Window
Schedule and
Details

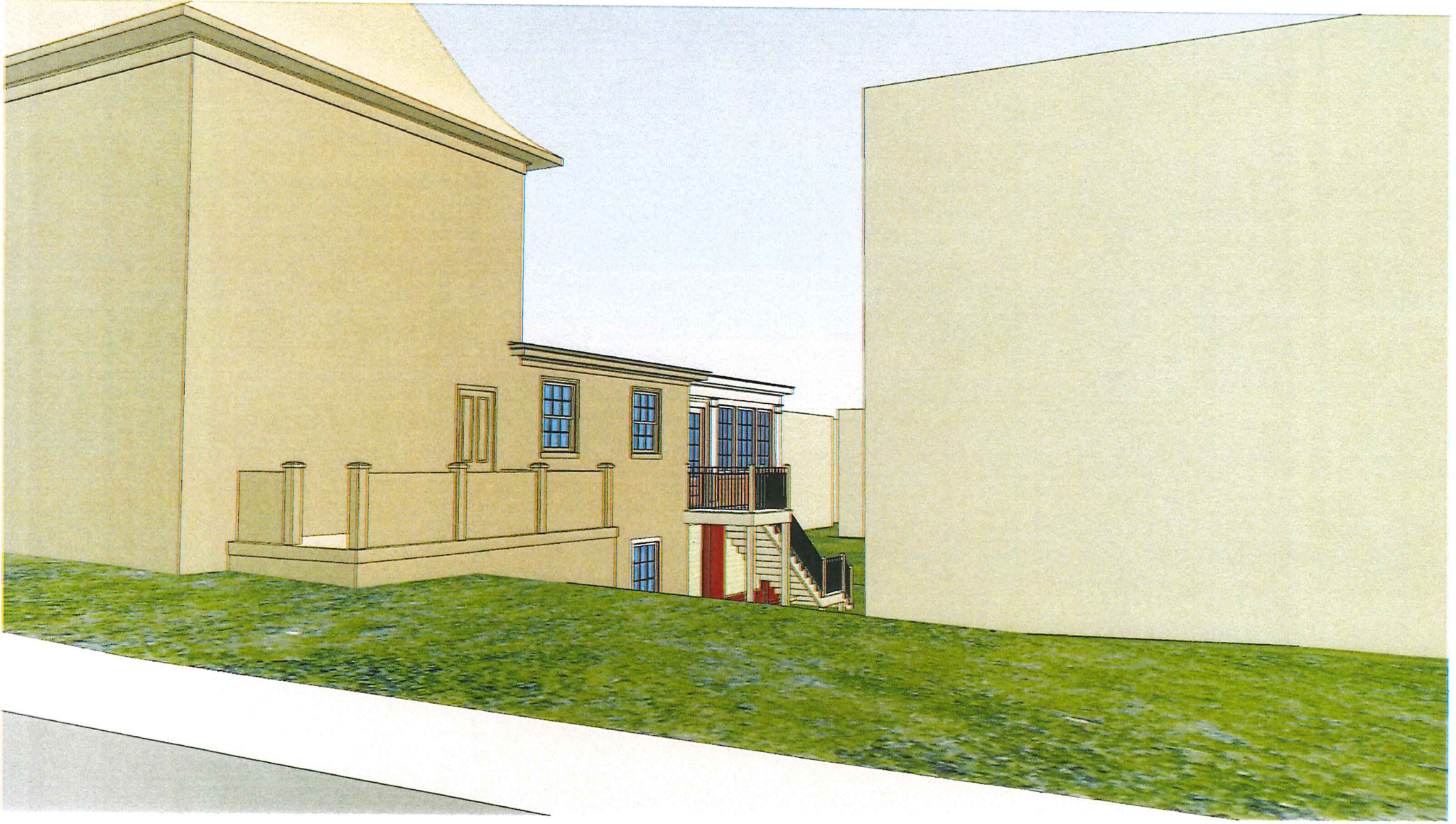
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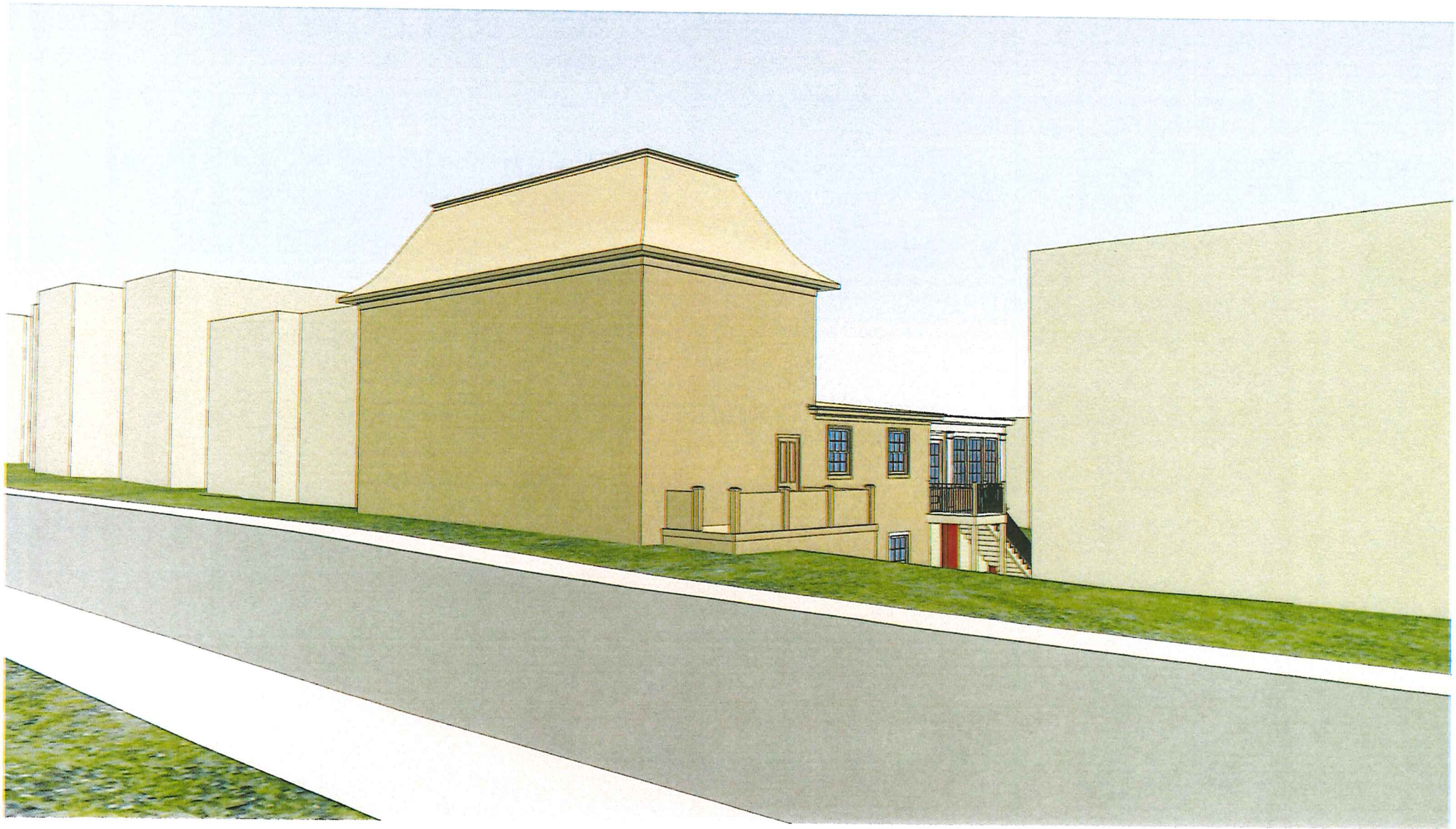
Sheet A8

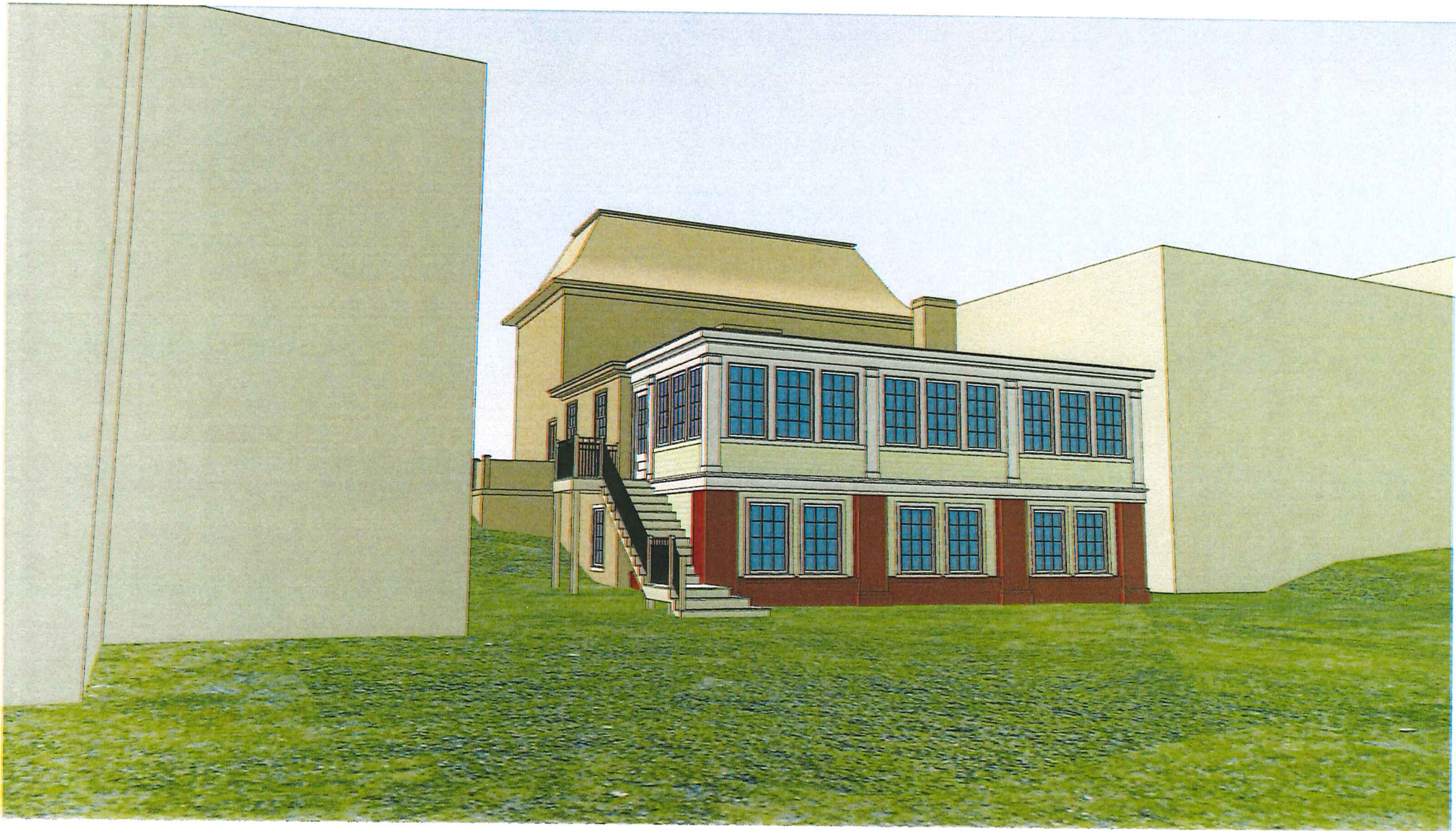


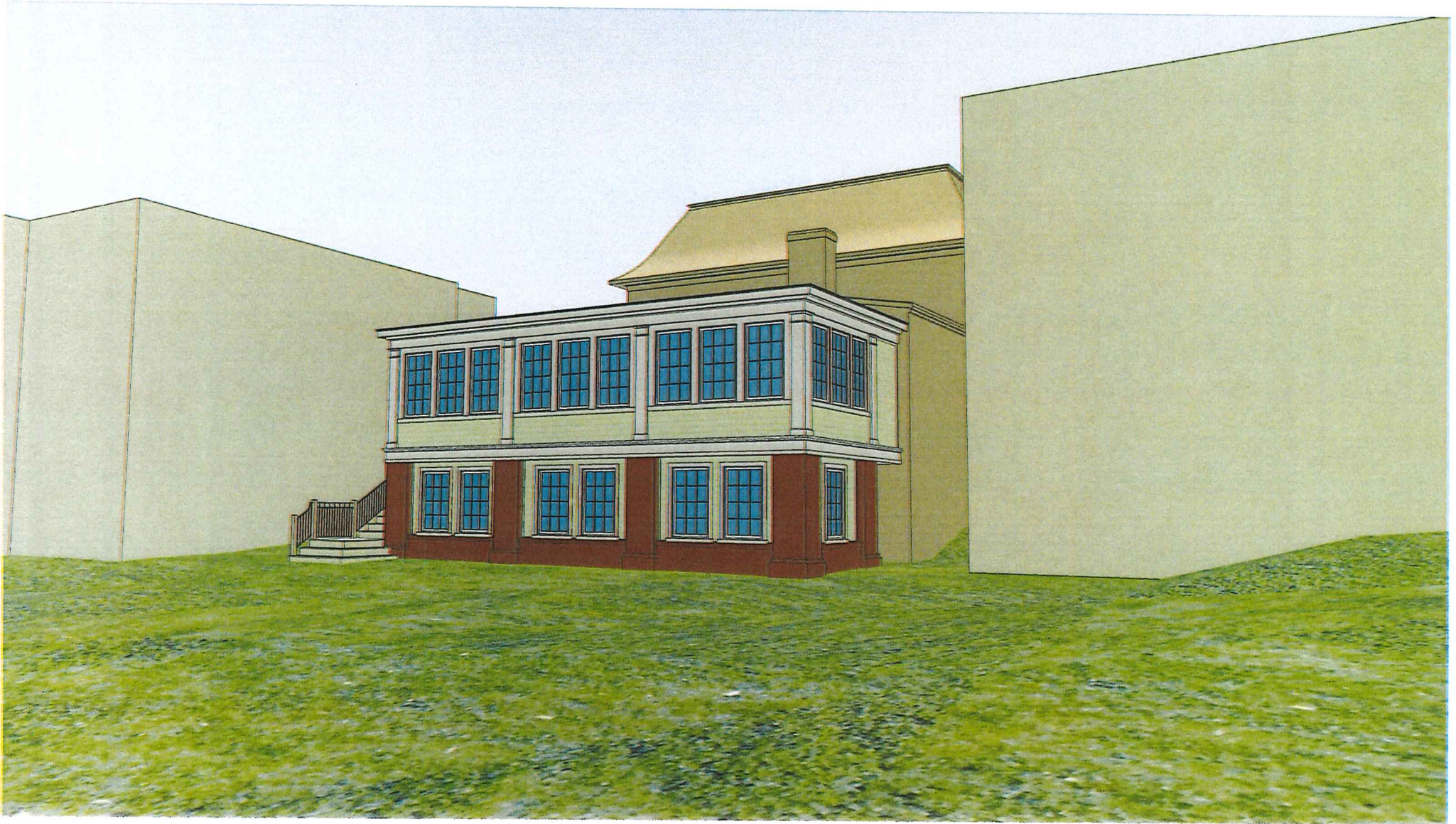


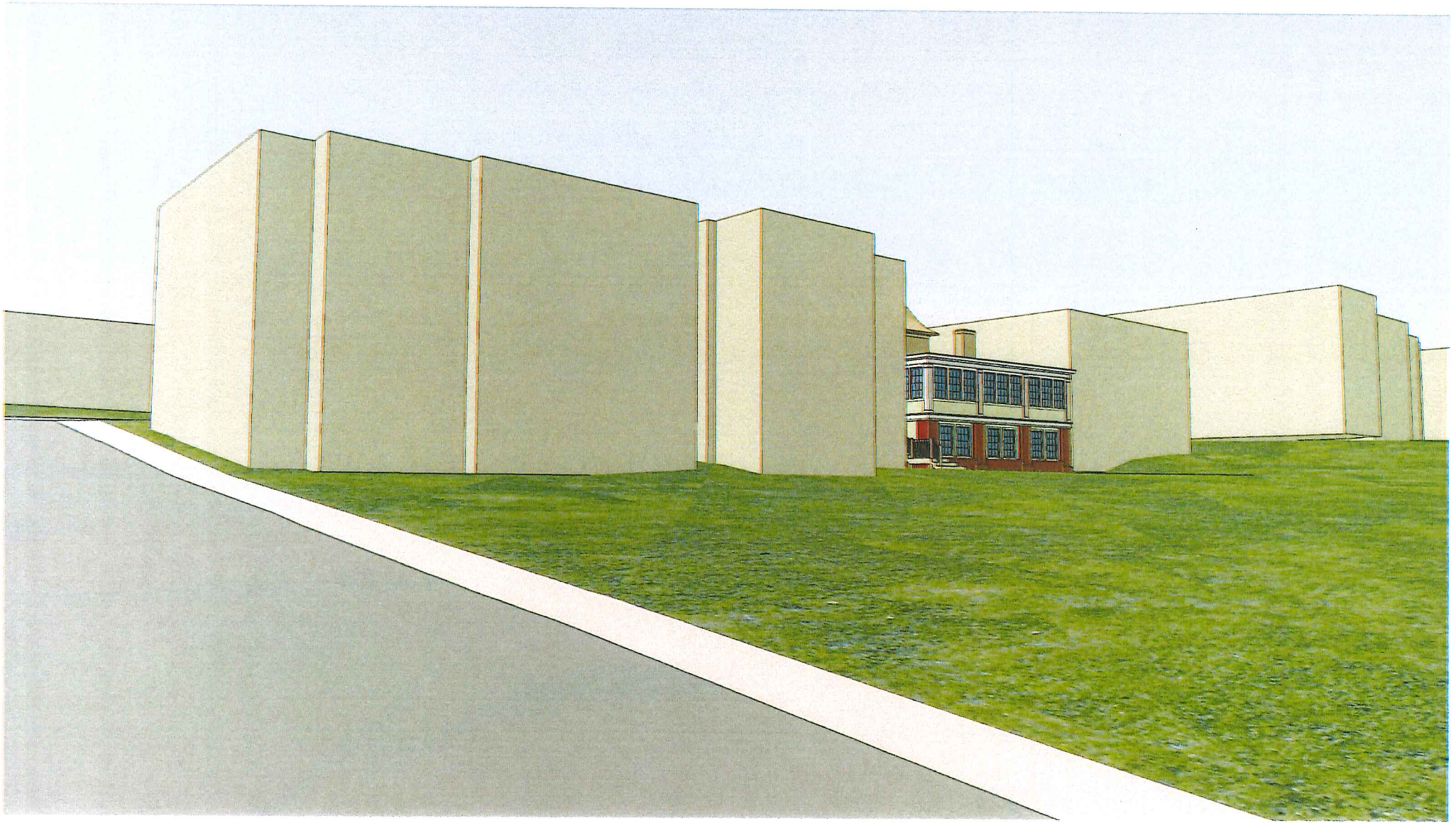


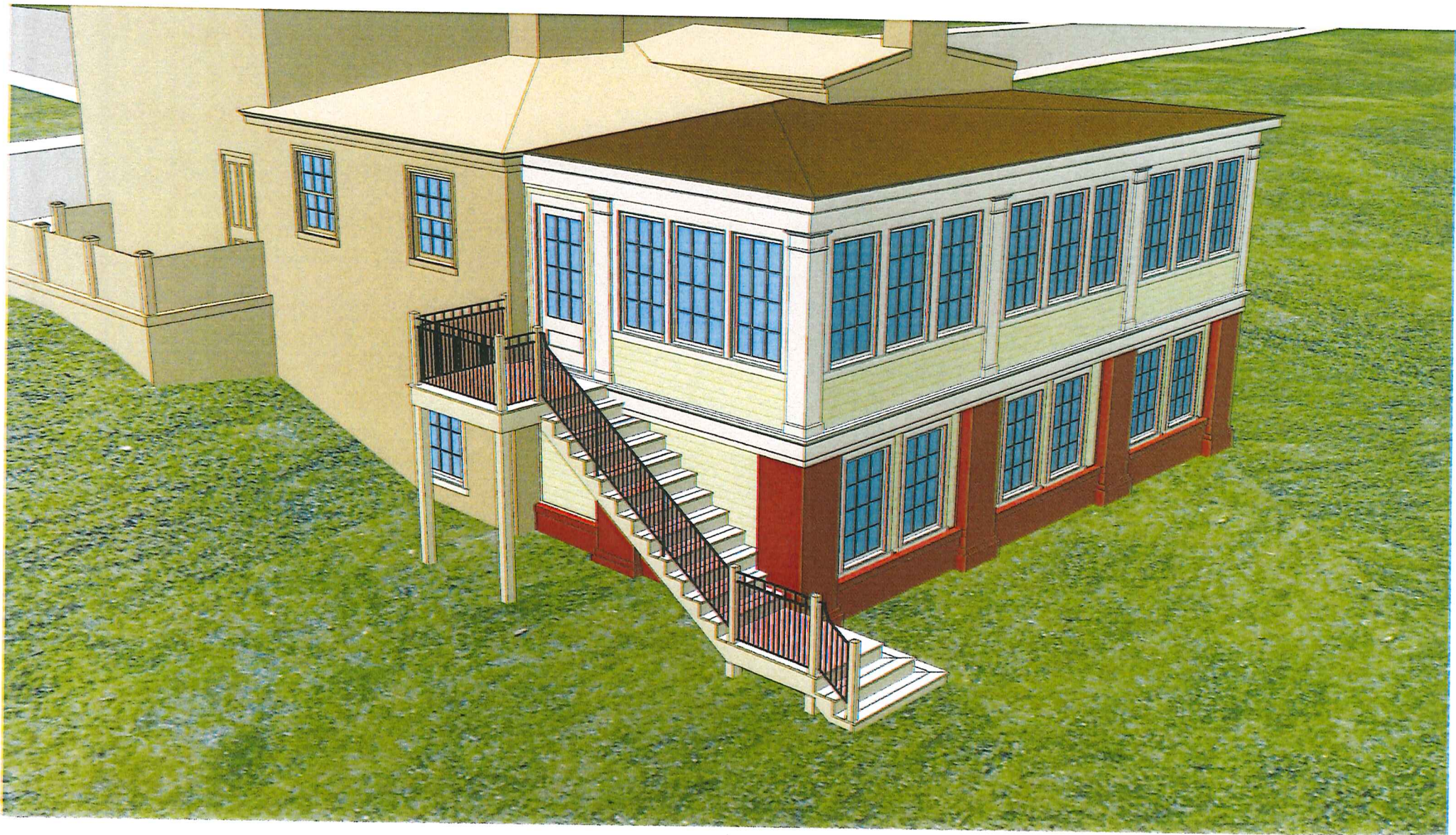


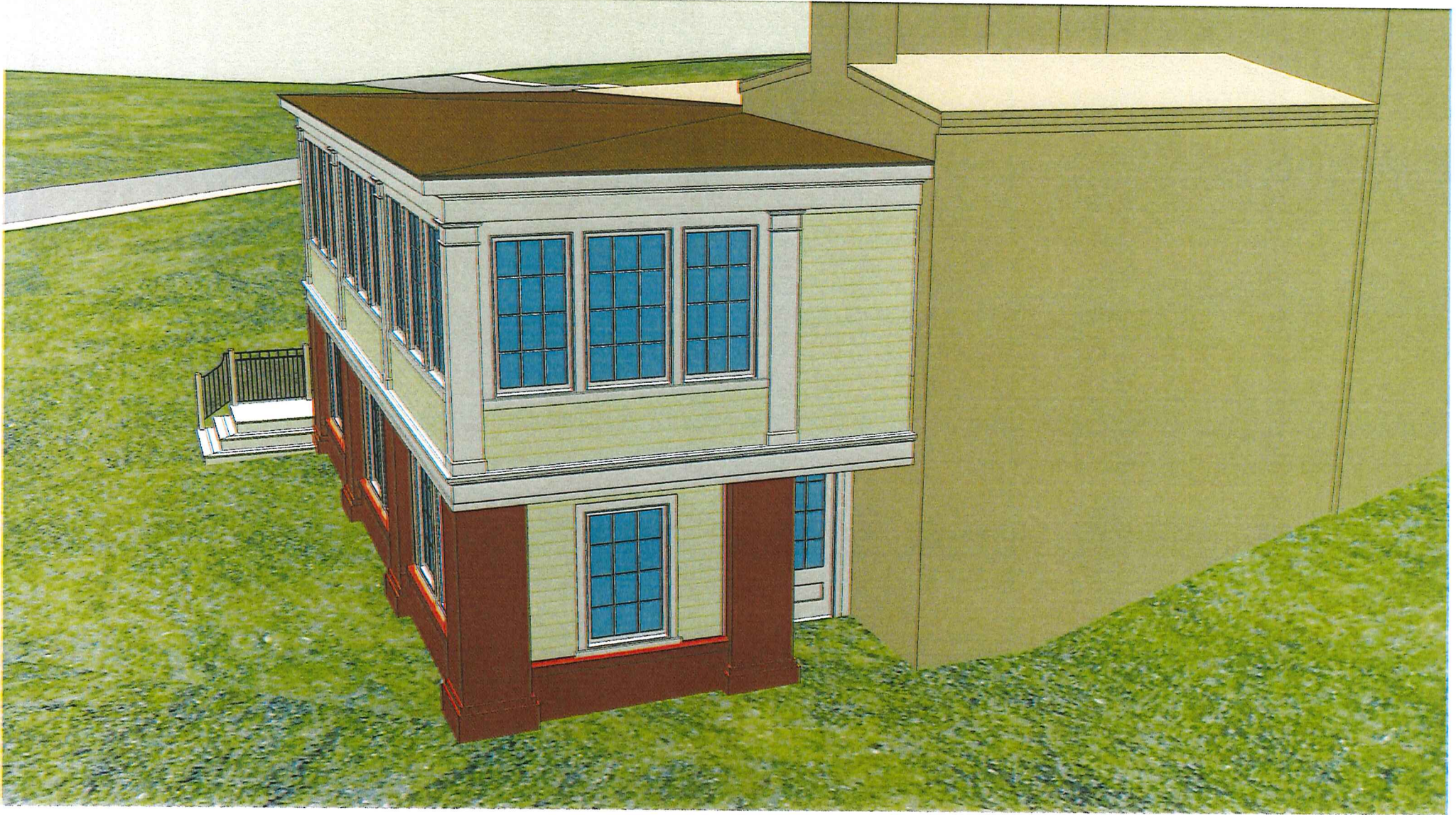












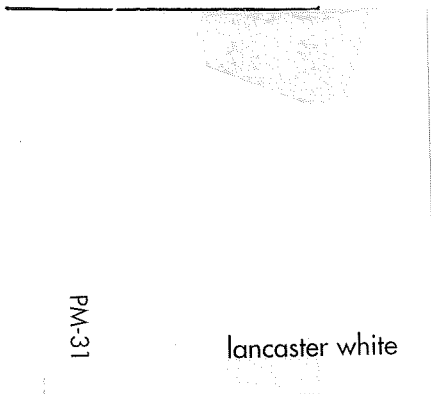
ILEX[®] CONSTRUCTION & WOODWORKING

July 29, 2014

Project: 427 Park Street, Charlottesville, VA

Re: Proposed Exterior Paint Colors

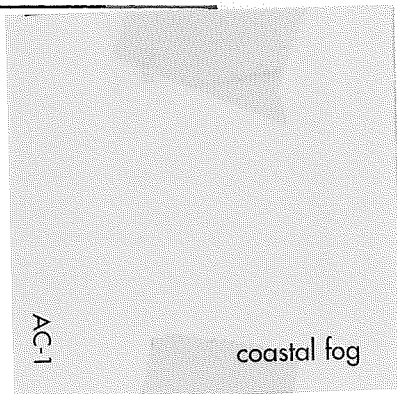
EXTERIOR TRIM



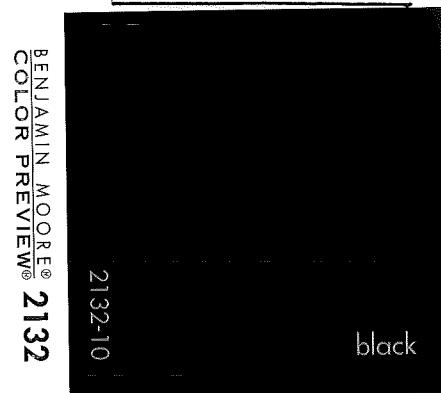
ROOF & SHUTTERS



ADDITION SIDING



FRONT DOOR



433 PARK STREET ~ CHARLOTTESVILLE, VA 22902

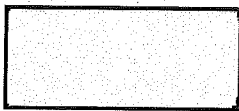
OFFICE 434.244.0802 ~ FAX 434.244.0805 ~ WWW.ILEXCONSTRUCTION.COM

BALTIMORE CHARLOTTESVILLE EASTON HOT SPRINGS WASHINGTON DC



Colonial Shutter
Hardware

Gate & Barn
Door Hardware



Other Hardware

Home

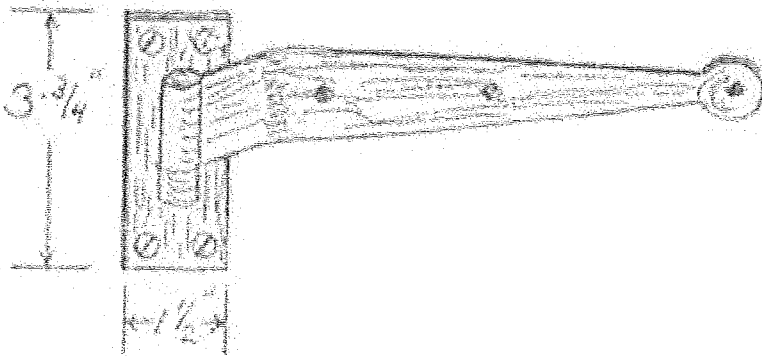


Page B-3

 Shutter Strap Hinges



Wrought Steel



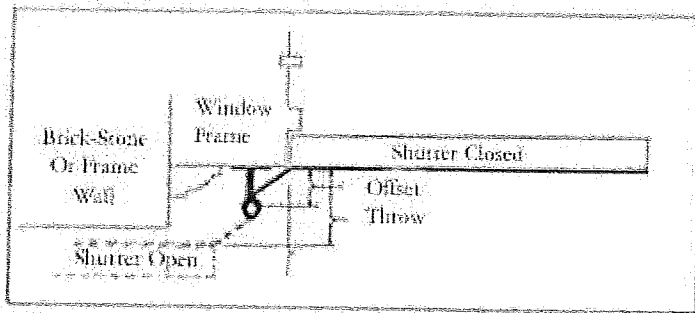
TRADITIONAL DESIGN

- Pintle Plate 1-1/2" x 3-3/4" x 1/8"
- " Offsets 0, 1/2", 1-1/2", 2-1/4", 3-1/4"
- " Diam. 3/8"
- Hinge 1-3/4" x 10", 12", 14" & 16" x 12 Ga.
(Other lengths available Special Order)

Supplied with 1" x #10 F.H. Wood Screws
& 1" x #12 Pan Head for Hinge

Finished in Wrought Iron Black over Zinc Plating

Catalog No.	Length	Offset	Catalog No.	Length	Offset
#2010 - 1/2	10"	1/2"	#2014 - 1/2	14"	1/2"
#2010 - 1-1/2	10"	1-1/2"	#2014 - 1-1/2	14"	1-1/2"
#2010 - 2-1/4	10"	2-1/4"	#2014 - 2-1/4	14"	2-1/4"
#2010 - 3-1/4	10"	3-1/4"	#2014 - 3-1/4	14"	3-1/4"
#2012 - 1/2	12"	1/2"	#2016 - 1/2	16"	1/2"
#2012 - 1-1/2	12"	1-1/2"	#2016 - 1-1/2	16"	1-1/2"
#2012 - 2-1/4	12"	2-1/4"	#2016 - 2-1/4	16"	2-1/4"
#2012 - 3-1/4	12"	3-1/4"	#2016 - 3-1/4	16"	3-1/4"



Modified on: Sunday, March 9, 2014

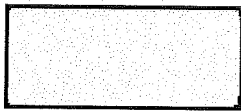
[Colonial Shutter](#) | [Gate & Barn Door](#) | [Other](#) | [Contact Us](#) | [Home](#)

Any questions or comments on our web site please contact the Webmaster at [Web Master](#)



Colonial Shutter Hardware

Gate & Barn Door Hardware



Other Hardware

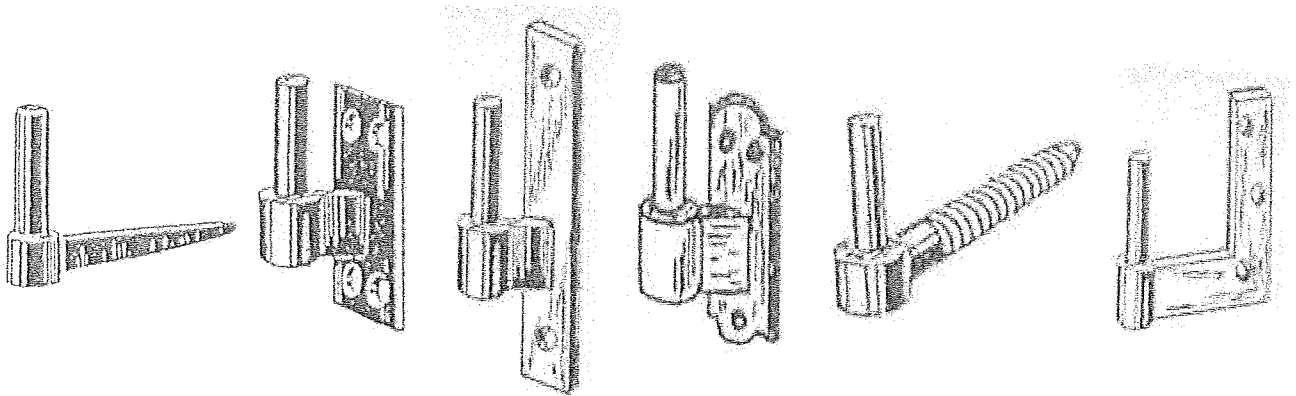
Home



Shutter Strap Hinges

Shutter Hinge Pintles

Wrought Steel



No. 1 Hook to Drive

No. 2 Hook on Plate

No. 2-N Narrow Plate

No. 2-P Hook on Plate

No. 3 Hook to Screw

No. 4 Hook Side Screw

Pintle No.	Pin. Diam.	Pin. Height	Plate Size	Offset	Length Overall Drive or Screw
#1 Drive	3/8	1-7/8	-	Adjustable	4"

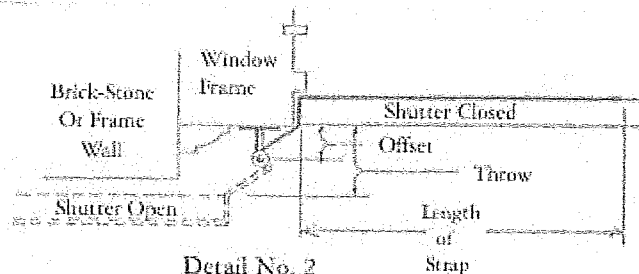
#2 Plate	3/8	1-7/8	1-1/2" x 3-3/4"	1/2 - 1 1/2 - 2 1/4"	
#2-N Plate	3/8	1-7/8	1" x 4-1/4"	1/2 - 1 1/2 - 2 1/4"	
#2-P Plate	3/8	1-7/8	1-1/2" x 3-1/2"	1/2 - 1 1/2 - 2 1/4"	
#3 Screw	3/8	1-7/8	-	Adjustable	4"
#3-L Screw	3/8	1-7/8	-	Adjustable	6"
#4 Hook	3/8	1-7/8	3-3/4" high	1/2 - 1 1/2 - 2 1/4"	

Note: Any of the above can be furnished with 7/16" or 1/2" Pin. Diam. at slight additional price.



Show Hinges (*Special Order*)

Normal Hinges show on the outside when shutters are closed.
 Show Hinges when shutters are open - see detail #2 below and page B-6.
 Available sizes 10", 12", 14", 16" - other sizes Special Order.



Modified on: Sunday, March 9, 2014

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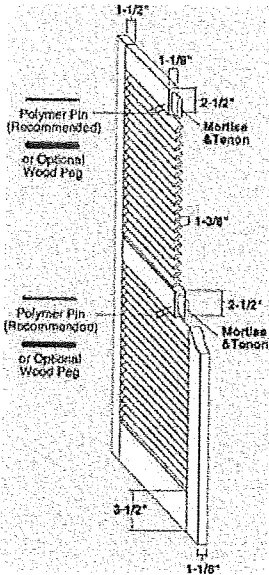
Any questions or comments on our web site please contact the Webmaster at [Web Master](#)

SUMMIT HILL

FINE CUSTOM WOOD PRODUCTS

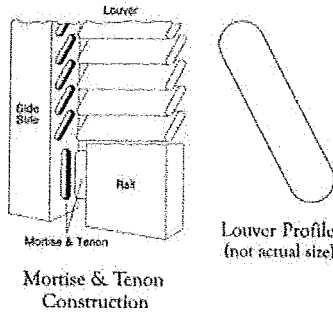
Exterior Shutter Specifications

1-1/8" thick flush stile & rail fixed louver

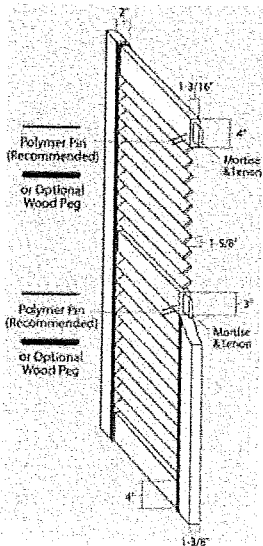


FLUSH

Side Stiles:	1 1/2" x 1 1/8"
Top Rail:	2 1/2" x 1 1/8"
Center Rail:	2 1/2" x 1 1/8"
Bottom Rail:	3 1/2" x 1 1/8"
Louver:	1 3/8" x 1/4"



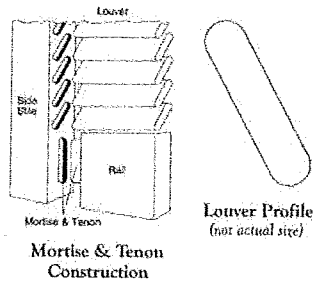
1-3/8" thick recessed stile & rail fixed louver



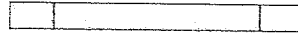
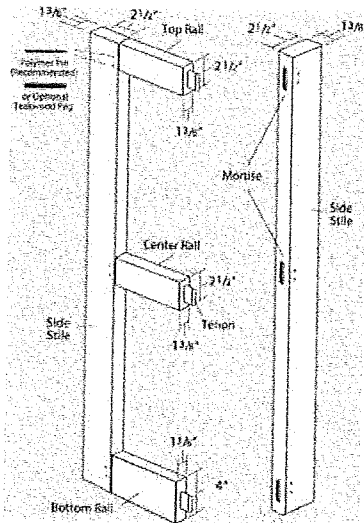
RECESSED

SPECIFICATIONS

Side Stiles:	2" x 1 3/8"
Top Rail:	4" x 1 3/16"
Center Rail:	3" x 1 3/16"
Bottom Rail:	4" x 1 3/16"
Louver:	1 5/8" x 3/8"

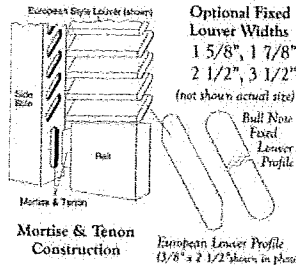


1-3/8" thick flush stile & rail fixed louver

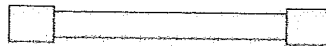
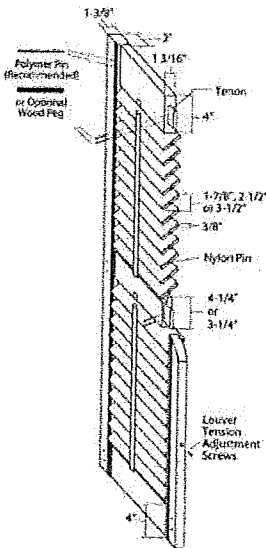


FLUSH

Side Stiles: 2 1/2" x 1 3/8"
 Top Rail: 2 1/2" x 1 3/8"
 Center Rail: 2 1/2" x 1 3/8"
 Bottom Rail: 4" x 1 3/8"
 Louver Thickness: 3/8"
 Optional louvers available. See below.



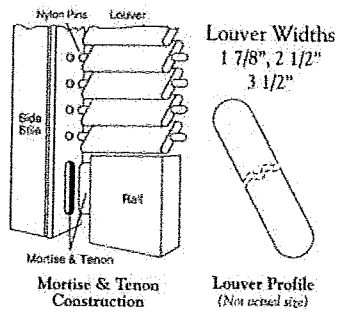
1-3/8" thick recessed stile & rail moveable louver



RECESSED

SPECIFICATIONS

Side Stiles: 2" x 1 3/8"
 Top & Bottom Rail: 4" x 1 3/16"
 Center Rail: 3 1/4" x 1 3/16"
 or 4 1/4" x 1 3/16"
 Louver Thickness: 3/8"



Unit Features

Ultimate Casement Collection:

- Clad Ultimate Casement (CUCA), Clad Ultimate Awning (CUAWN), Clad Ultimate Casement Picture (CUCAP)
- Clad Ultimate Casement Bows and Bays (CUCABB), Clad Ultimate Casement Round Top (CUCART)
- Clad Ultimate Push Out Casement (CUPCA), Clad Ultimate Push Out Awning (CUPAWN)
- Clad Ultimate Push Out Casement Picture (CUPCAP), Clad Ultimate Push Out Casement Bows and Bays (CUPCABB)
- Clad Ultimate French Casement (CUFCA), Clad Ultimate Push Out French Casement (CUPFCA)
- Clad Ultimate Venting Picture (CUCAVP), Clad Ultimate Casement Polygon (CUCAPOLY)
- Clad Ultimate Replacement Casement (CURCA), Clad Ultimate Replace Awning (CURAWN)
- Clad Ultimate Replacement Casement Picture (CURCAP)
- Clad Ultimate Replacement Push Out Casement (CURPCA), Clad Ultimate Replacement Push Out Awning (CURPAWN)
- Clad Ultimate Replacement Push Out Casement Picture (CURPCAP)
- Clad Ultimate Replacement Push Out French Casement (CURPFCA)
- Clad Ultimate Replacement Casement Round Top (CURCART), Clad Ultimate Replacement Casement Polygon (CURCAPOLY)

NOTE: Clad Ultimate French Casement, Clad Ultimate Push Out French Casement, Clad Ultimate Venting Picture, Clad Ultimate Replacement Push Out French are not available with CE mark.

Bows and Bays are not available with CE mark from the factory. Bow and Bay kits are available for field mulling.

Frame:

- Frame thickness: 1 3/16" (30)
- Full frame units have a frame base (with pre-drilled installation holes in jambs): is 4 9/16" (116) from backside of nailing fin to interior wood face of frame
- Replacement frame: Units have overall base frame of 3 1/4" (83) jambs
- Frame bevel: Standard is no bevel, optional available are 8 degree bevel and 14 degree bevel

Sash:

- Nominal Sash thickness for full frame:
 - 1 5/8" (41) with 3/4" (19) insulating glass
 - 1 7/8" (48) with 1" (25) insulating glass
- Nominal Sash thickness for replacement frame: 1 5/8" (4) with 3/4" (19) insulating glass
- Stile and Rails 2 1/16" (52) standard
- Optional tall bottom rail 3 9/16" (90) available
- Standard interior wood cope sticking: Ogee
- Optional interior wood cope sticking: Ovolo and Square

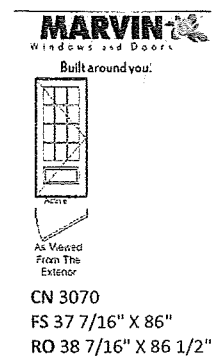
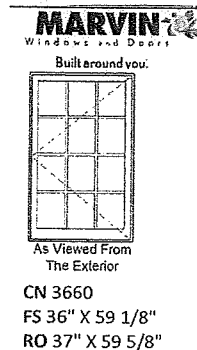
Hardware: - See Individual Product Chapters

Insect Screen:

- Standard is a full size roll formed aluminum surround, in Satin Taupe, optional Stone White or Bronze
- Optional wood screen available
- Standard screen mesh: Charcoal Fiberglass
- Optional screen mesh: High Transparency, Silver Gray Fiberglass, Charcoal Aluminum, Black Aluminum, Bright Aluminum, or Aluminum Bright Bronze

Wood Interior Swinging Insect Screens:

- Wood screen surround: Matches window species.
- Screen mesh: Charcoal High Transparency (CH HI-Tran) fiberglass.
- Ball and Catch latch system used.
- Screen mesh options: Charcoal Fiberglass, Silver Gray Fiberglass, Charcoal Aluminum, Black Aluminum, Bright Aluminum and Bright Bronze.



Unit Features

Retractable Screen:

- The screen and its associated hardware shall have minimal exposure and shall not interfere with commonly used window dressings
- Standard screen mesh: stiffened high transparency mesh
- Visible interior screen is all wood
- Species: Pine
 - Alternate species: Mahogany and Vertical Grain Douglas Fir
- Incorporated weather seal that provided optimal seal
- Color matched to gliding block
- Adjustable gliding block
 - Standard color: beige
 - Optional color: black and white
- Optional pull handle: factory applied or shipped loose
- Colors: Satin Taupe, Bronze, Stone White, Brass, Antique Brass, Polished Chrome, Satin Chrome, Oil Rubbed Bronze, Satin Nickel

Weather Strip:

- Frame weather strip is made of a foamed EPDM material with a hollow built in it to reduce compression force. The material is UV resistant, durable, has a low COE, and is flexible enough to be bent around 90 degree corners to allow for fewer seams in it around the frame. It is only available in beige.
- Sash weather strip is made of glass filled polypropylene material and is formulated to be UV resistant, have low COE, and slide easily in and out of frame. Standard color is beige, with optional black or white.

Glass:

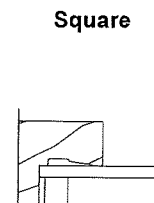
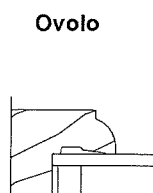
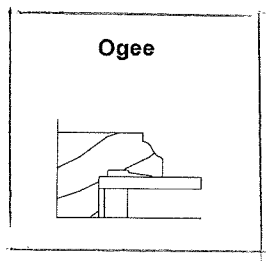
- Glazing seal: Silicone glazed
- Standard glass: Insulating LoE²272[®] with Argon or Air
- Optional glazing: LoE180[™] with Argon or Air, LoE 366[®] with Argon or Air, clear, tints, tempered, obscure
- Insulating glass will be altitude adjusted with capillary tubes for higher elevations
- Argon gas is not available for elevations that require capillary tubes
- See unit features in product sections for Tripane glass options

CE Optional Glazing:

- Glazing seal: silicone glazed
- Standard glass: Insulating LoE²-272[®] with Argon or air
- Optional glazing available: LoE180[™] with Argon or air, LoE 366[®] with Argon or air, clear, laminated clear & tints, tempered, sandblasted
- Glass panes available in 3, 4, and 6 mm thicknesses
- Laminated panes available in 7.0 and 7.8 mm thicknesses
- Insulating glass will be altitude adjusted with capillary tubes for higher elevations
- Argon gas is not available for elevations that require capillary tubes
- See unit features in product sections for Tri-pane glass options

Interior Sticking Options:

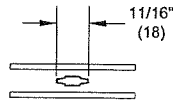
- Standard interior sticking: Ogee
- Optional interior sticking: Ovolo or Square



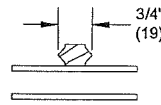
Lite Options



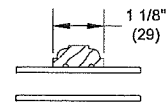
Insulating Glass



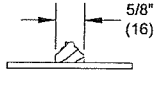
Aluminum 11/16"
Contour GBG



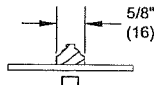
3/4" Grille



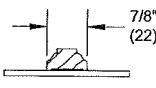
1 1/8" Grille



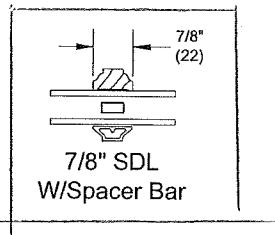
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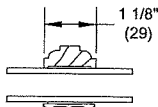
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W/Spacer



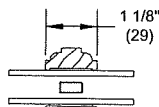
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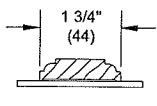
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W/Spacer Bar



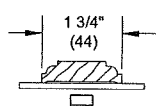
1 1/8" SDL



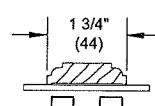
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W/Spacer Bar



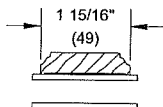
1 3/4" SDL



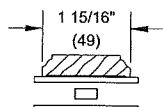
1 3/4" SDL
W/One Spacer Bar



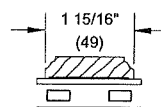
1 3/4" SDL
W/Two Spacer Bars



1 15/16" SDL



1 15/16" SDL
W/One Spacer Bar



1 15/16" SDL
W/Two Spacer Bars

IDEA STARTERS
PORCH

TRIM
RAIL

MOULDING
PAVERS

DECK

AZEK Trim

[Home](#) > [AZEK Trim](#) > Trim

Trim

Cornerboards

Sheet

Universal Skirt Board

Beadboard

AZEK To Mill (ATM)

Integrated Drip Edge

Finish Grade Trim

Column Wrap

AZEK Adhesive

Trim Visualizer

TRIM



[Overview](#)

[Size & Style](#)

THE #1 BRAND OF LOW MAINTENANCE TRIM.

AZEK® Trim has precise sealed edges on all 4 sides (S4S) and is ideal for applications such as window and door trim on the exterior of your house. Long known for the unequalled combination of Uniformity, Durability, Workability, and Beauty, AZEK Trim has the proven performance and confidence of a building code report – ESR-1074.

AZEK Trim boards, available in trim, solid Cellular PVC sheets, Cellular PVC cornerboards, Cellular PVC beadboard as well as many other profiles, offer many reasons to choose AZEK Trim for your next exterior trim project. Using traditional tools and fasteners, AZEK Trim products can be worked just like wood – even mitered, routed, and turned on a lathe. For custom applications, AZEK Trim products can be laminated and even heat formed to create curves.

- Impervious to moisture and insects
- Perfect for ground contact application
- 25 year warranty
- Precise sealed edges on all four sides (S4S)
- Tight board tolerances
- Easier to clean
- Maintains a "like new" appearance in all types of weather
- Does not require paint for protection
- Can be heat formed for unique shapes and designs
- Building Code listing ESR-1074
- Use with [AZEK Adhesive](#)

AZEK Trim is also available in a Rabbeted Trim profile.

AZEK Trim is only available in White.

PHOTOS OF AZEK TRIM



[View Full AZEK Trim Gallery](#)

427
Park St.

•
Charlottesville,
Virginia

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Date April 24, 2014

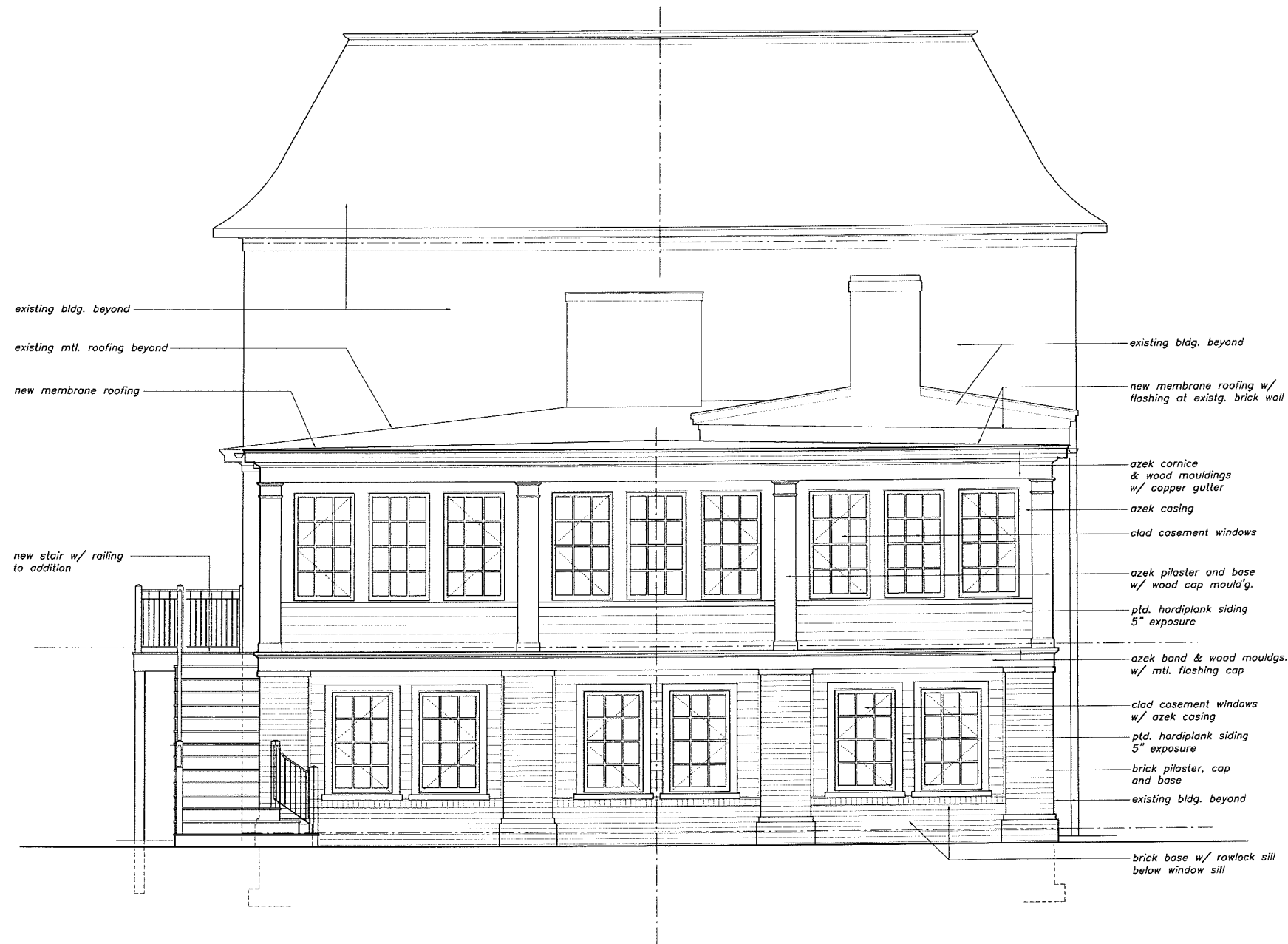
Revisions

No. Date Revision

West Elevation

scale : 1/4" = 1'-0"

Sheet A4



1 WEST ELEVATION
A4 1/4" = 1'-0"



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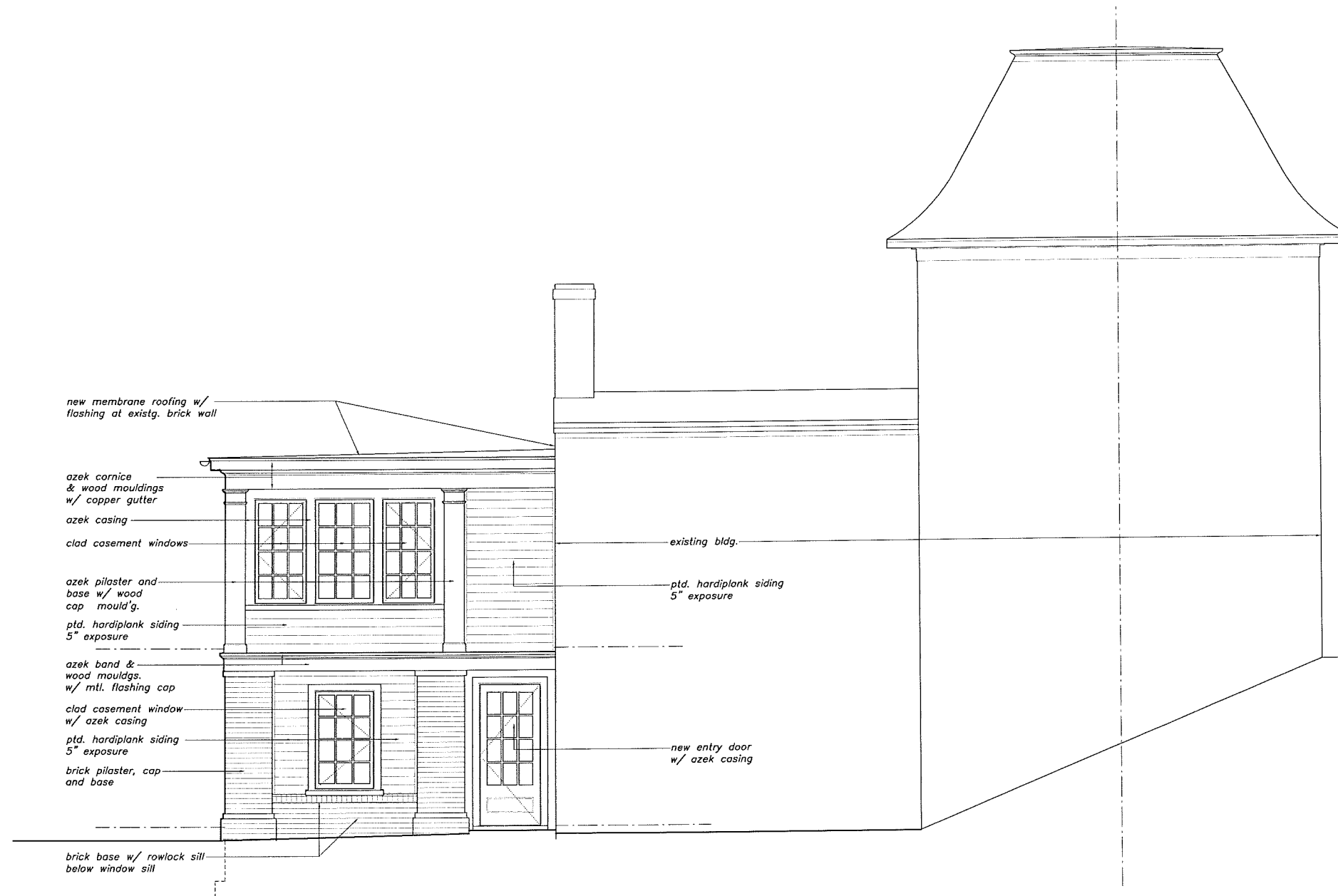
Revisions

No. Date Revision

South Elevation

scale : 1/4" = 1'-0"

Sheet A5



1 SOUTH ELEVATION
A5 1/4" = 1'-0"

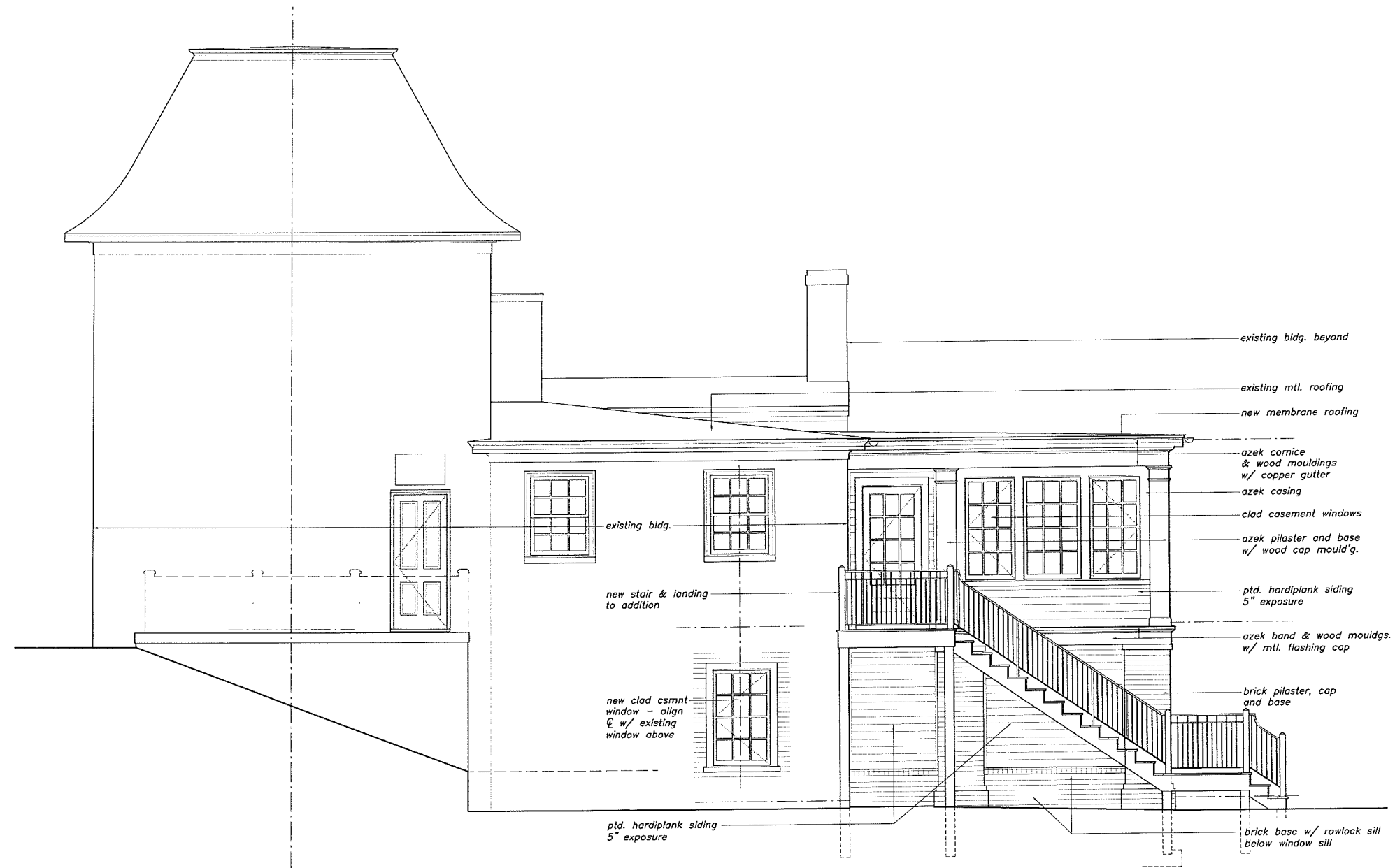
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Date April 24, 2014

Revisions

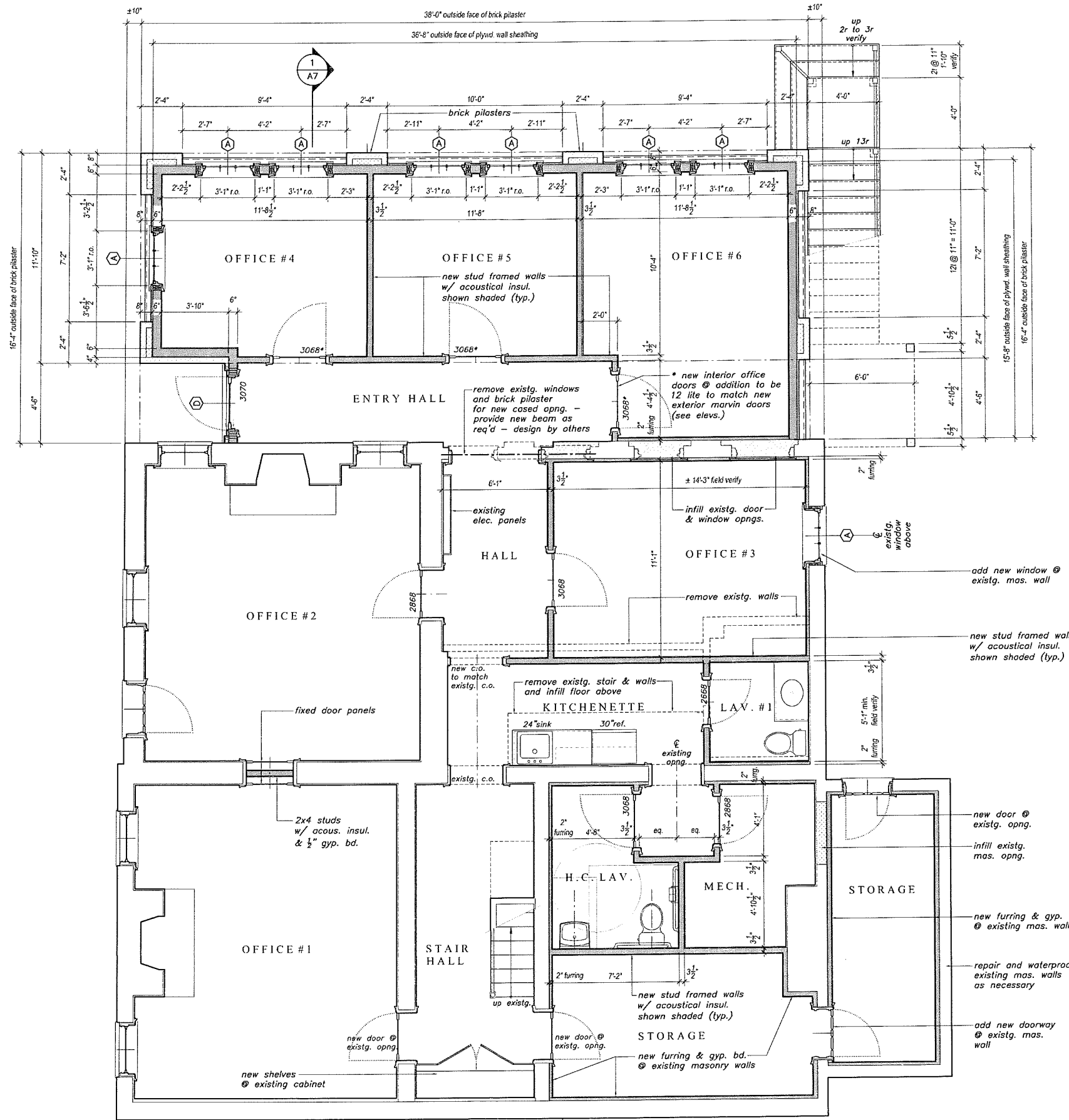
No. Date Revision

North Elevation

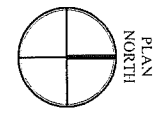
scale : 1/4" = 1'-0"

Sheet A6

1 NORTH ELEVATION
A6 1/4" = 1'-0"



1 BASEMENT FLOOR PLAN
A1 1/4" = 1'-0"



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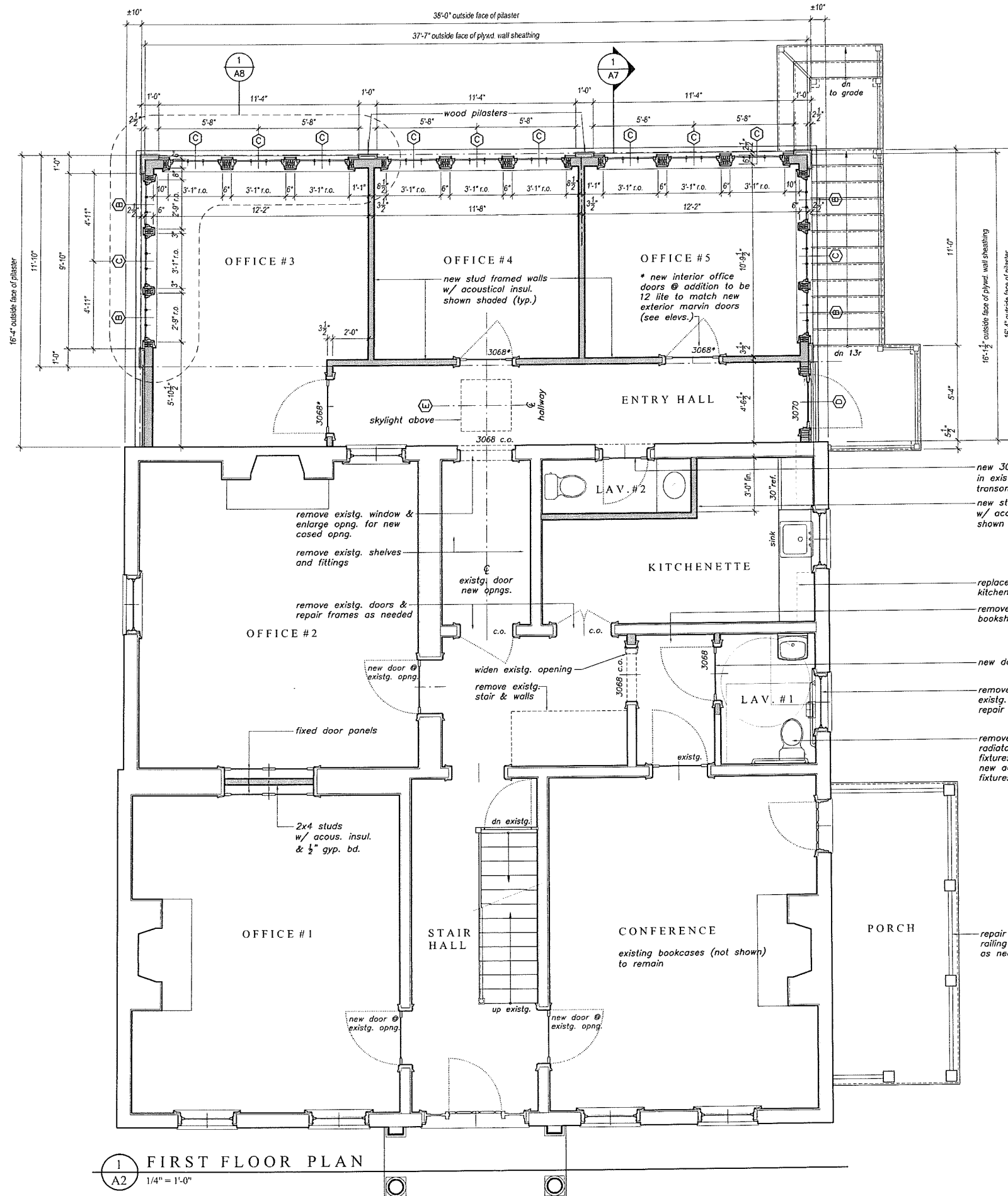
Revisions

No. Date Revision

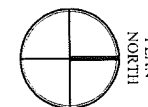
Basement Plan

scale : 1/4" = 1'-0"

Sheet A1



1 FIRST FLOOR PLAN
 A2 1/4" = 1'-0"



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Date April 24, 2014

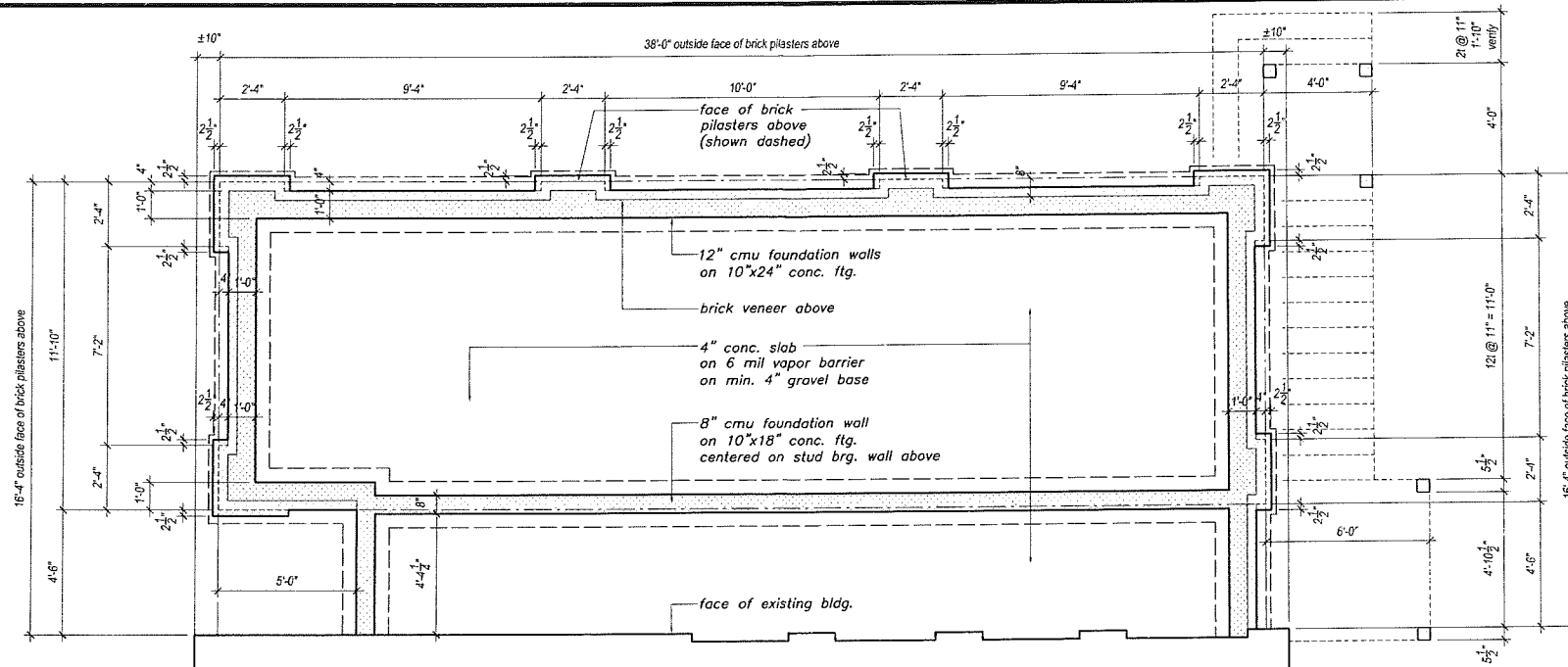
Revisions

No. Date Revision

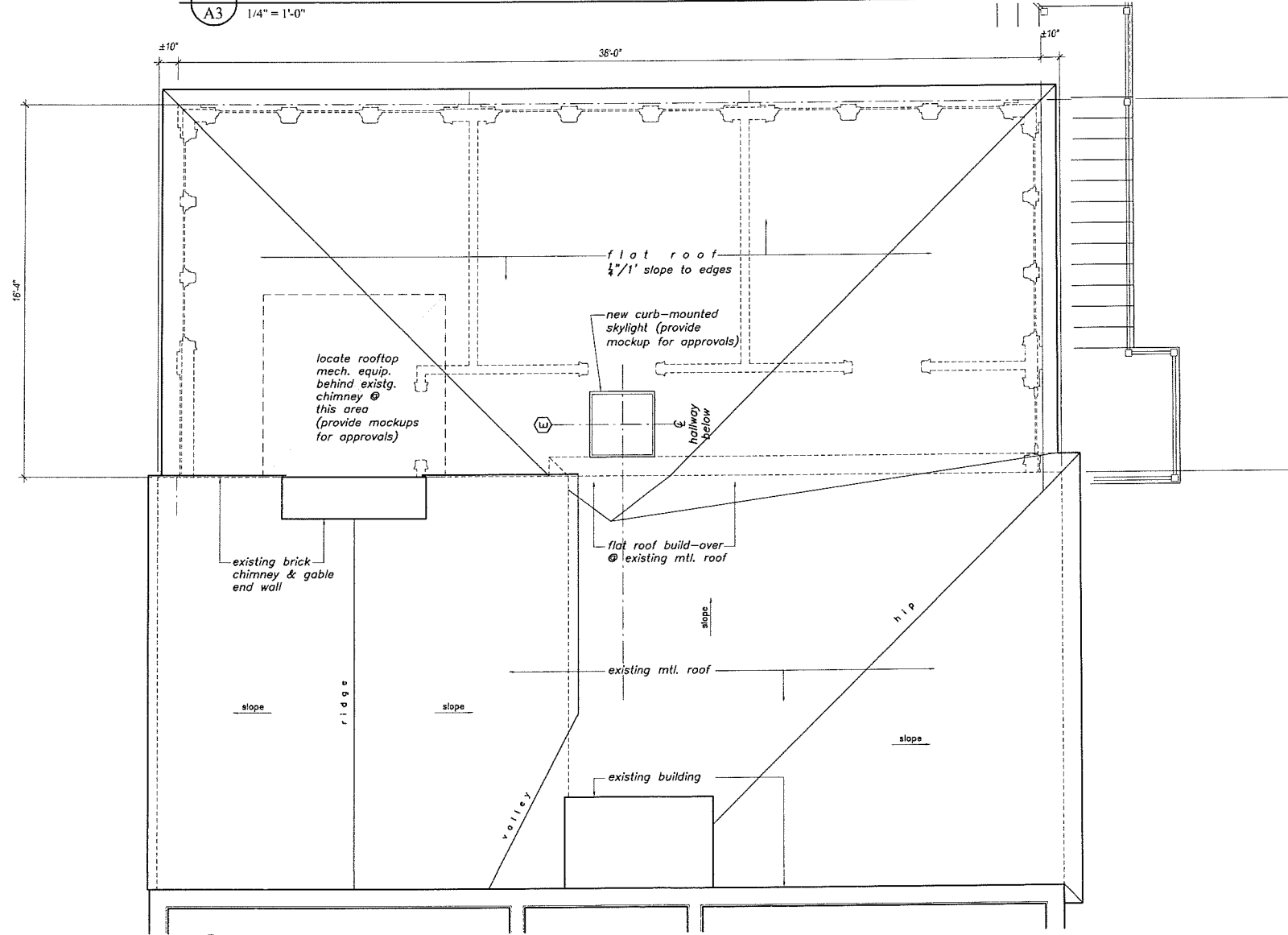
First Floor Plan

scale : 1/4" = 1'-0"

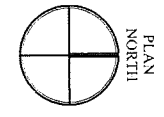
Sheet A2



1 FOUNDATION PLAN
 A3 1/4" = 1'-0"



2 ROOF PLAN
 A3 1/4" = 1'-0"



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Revisions:

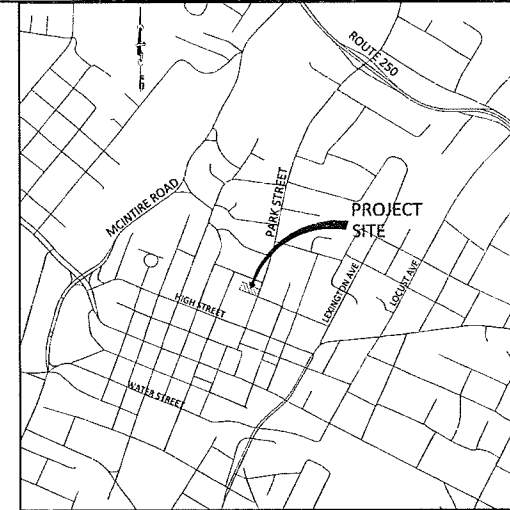
No. Date Revision

Foundation Plan
Roof Plan

scale: 1/4" = 1'-0"

Sheet A3

427 PARK STREET SITE PLAN AMENDMENT CITY OF CHARLOTTESVILLE, VIRGINIA



VICINITY MAP
SCALE: 1" = 1000'

SHEET INDEX

TITLE	SHEET
COVER SHEET	1
EXISTING CONDITIONS & DEMOLITION PLAN	2
SITE PLAN	3
NOTES & DETAILS	4
TOTAL SHEETS:	4

LEGEND

ROADS	
	EXISTING CULVERT
	CULVERT
	DROP INLET & STRUCTURE NO.
	CURB
	CURB & GUTTER
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED VEGETATIVE COVER
	PROPOSED BIOFILTER VEGETATION
	EC-3A DITCH
	EC-2 DITCH
	DEPTH OF EC-3A DITCH
	DEPTH OF EC-2 DITCH
	EARTH DITCH
	DRIVEWAY CULVERT
	BENCH MARK
	CLEARING LIMITS
	DOT STANDARD STOP SIGN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	TBC DENOTES TOP/BACK OF CURB T/B DENOTES TOP OF BOX

PROJECT DATA:

- THE OWNER/CLIENT OF THIS PROPERTY IS:
PRICE-HORNE HOUSE, LLC
455 2ND STREET SE, SUITE 402
CHARLOTTESVILLE, VA 22902
- THESE PLANS HAVE BEEN PREPARED BY:
COLLINS ENGINEERING, INC.
200 GARRETT STREET SUITE K
CHARLOTTESVILLE, VA 22902
TELEPHONE: (434) 293-3719 FACSIMILE: (434) 293-2813
- SOURCE OF SURVEY, TOPOGRAPHY & BOUNDARY INFORMATION: COMMONWEALTH LAND SURVEYING, MARCH 2013.
- ZONING: B-1 WITH HISTORIC OVERLAY
- USGS DATUM: NAD 83
- LOCATION/ADDRESS OF PROJECT: 427 PARK STREET, CHARLOTTESVILLE VA 22902
- FLOODPLAIN: THIS PROPERTY IS LOCATED IN ZONE 'X' AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 510030C0280D, DATED FEBRUARY 4, 2003. THE PROPOSED DEVELOPMENT AND PARCELS ARE NOT LOCATED WITHIN THE 100-YEAR FLOODPLAIN & THEREFORE DO NOT IMPACT THE FLOODPLAIN.
- STREAM BUFFERS: THERE ARE NO STREAM BUFFERS LOCATED ON THE PROPERTIES
- BUILDING HEIGHT:
40' MAXIMUM HEIGHT (HEIGHT OF THE EXISTING BUILDING) - PROPOSED ADDITION IS (1) STORY
- BUILDING SETBACK REQUIREMENTS:
FRONT YARD: 20' MINIMUM REQUIRED
SIDE YARD: NONE REQUIRED
REAR YARD: NONE REQUIRED
- PROPOSED USE: EXISTING BUILDING TO BE RENOVATED FOR OFFICE USE
- TOTAL ACRES OF PARCELS: 0.135 AC.
- TOTAL LAND DISTURBED: 5,650 SF (NO FORMAL EROSION CONTROL PLAN IS REQUIRED). CONSTRUCTION ACTIVITIES WILL CONFORM TO THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK GUIDELINES.
- SITE PHASING: PROJECT TO OCCUR IN ONE PHASE.
- CRITICAL SLOPES: NO NATURAL CRITICAL SLOPES ARE PROPOSED TO BE IMPACTED ON-SITE. CARE WILL BE TAKEN TO PREVENT THE EROSION AND SEDIMENTATION OF THE EXISTING GRADE AND TO PROTECT THE NEIGHBORING PROPERTIES, AS WELL AS THE SLOPE AND VEGETATION BETWEEN THE PROPOSED DEVELOPMENT AND ADJACENT PROPERTIES.
- PARKING REQUIREMENTS:
1 SPACE PER 500 SQ. FT. OF GFA OF OFFICE SPACE
5,800 SQ. FT./500 SQ. FT. = 12 SPACES REQUIRED FOR THE EXISTING BUILDING
TOTAL SPACES REQUIRED= 12
TOTAL SPACES PROVIDED= 13
- PUBLIC UTILITIES: THE DEVELOPMENT IS SERVED BY EXISTING PUBLIC WATER AND SEWER
- STORMWATER MANAGEMENT AND STORM DRAINAGE: NO FORMAL STORMWATER MANAGEMENT SYSTEM IS REQUIRED FOR THE DEVELOPMENT OF THIS SITE. PERVIOUS PAVERS WITH AN UNDERDRAIN SYSTEM ARE PROPOSED WITH THE DESIGN OF THE PARKING LOT TO PROVIDE SOME INFILTRATION AND HELP OFFSITE THE STORMWATER RUNOFF FROM THE PROPOSED PARKING LOT, PRIOR TO RELEASING THE RUN-OFF INTO THE CITY'S STORM SEWER SYSTEM.
- AREAS DEDICATED FOR PUBLIC USE: CURRENTLY, THERE IS NO LAND ON THIS PROPERTY THAT IS PROPOSED TO BE RESERVED OR DEDICATED FOR PUBLIC USE.
- TOTAL SUBJECT PARCEL IMPERVIOUS AREAS:
EXISTING BUILDING & PAVED AREAS: 0.046 AC.
PAVED AREAS & EXISTING BUILDING TO REMAIN: 0.055 AC.
PROPOSED PERMEABLE PAVERS: 0.080 AC.
TOTAL= 0.135 AC.
- SIGNAGE- ANY SIGNAGE ADDED TO THE BUILDING WILL BE IN ACCORDANCE WITH CITY GUIDELINES AND REQUIREMENTS
- INGRESS AND EGRESS: THE EXISTING ENTRANCES/EXITS WILL UTILIZE THE EXISTING ALLEY IN THE REAR OF THE PARCEL.
- SITE TRIP GENERATION: TRAFFIC IMPACT NUMBERS ARE BASED ON THE ITE TRIP GENERATION MANUAL, 8TH EDITION.
CODE: T10 WAS USED FOR THE EXISTING BUILDING ASSUMING 5,800 SF OF OFFICE SPACE.
AM PEAK RATE = 64 VPD (11.01 VPD/1,000 SF + 5,800 SF)
AM PEAK RATE = 9 VPH (7 VPH ENTER/2 VPH EXIT)
PM PEAK RATE = 9 VPH (2 VPH ENTER/7 VPH EXIT)
- EXISTING FIRE HYDRANTS SHALL CONTINUE TO BE UTILIZED FOR THE EXISTING BUILDING.
- TRASH - INDIVIDUAL TRASH CONTAINERS WILL BE UTILIZED FOR TRASH REMOVAL FROM THE PROPOSED OFFICE USE.
- LIGHTING - NO PARKING LOT LIGHTING IS PROPOSED FOR THE SITE.

COLLINS ENGINEERING SHALL NOT HAVE AUTHORITY OVER CONTRACTOR'S WORK, SAFETY PRECAUTIONS, SCHEDULES, OR COMPLIANCE WITH LAWS AND REGULATIONS. WE SHALL NOT ASSUME RESPONSIBILITY FOR ANY CONSTRUCTION BEGUN PRIOR TO PLAN APPROVAL.

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.

CITY OF CHARLOTTESVILLE IS NOT RESPONSIBLE FOR ACCURACY OF THE GIS DATA USED IN THE PLANS AND THE CONTRACTOR MUST LOCATE ALL SURFACE AND SUB-SURFACE UTILITIES PRIOR TO ANY WORK ONSITE.

ANY SIDEWALK AND/OR CURB DAMAGE IDENTIFIED IN THE SITE VICINITY DUE TO PROJECT CONSTRUCTION ACTIVITIES AS DETERMINED BY THE CITY INSPECTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.

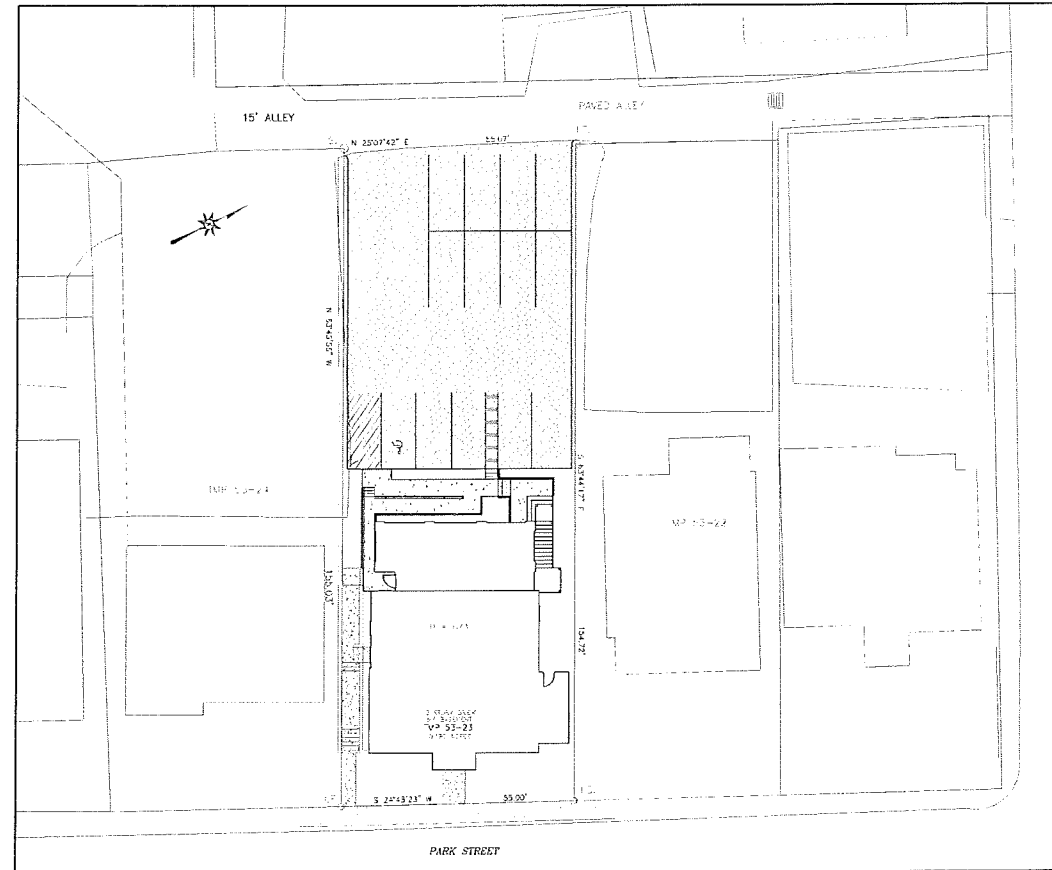
SITE AND BUILDING CONSTRUCTION SHALL MEET CURRENT IBC ACCESSIBILITY REQUIREMENTS.

NOTES:

- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.
- IFC 505- THE BUILDING STREET NUMBER TO BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS.
- IFC 505.1- AN APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTESVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY. A KNOX BOX KEY BOX CAN BE ORDERED BY GOING ONLINE TO WWW.KNOXBOX.COM. THE KNOX BOX ALLOWS ENTRY TO THE BUILDING WITHOUT DAMAGING THE LOCK AND DOOR SYSTEM.
- FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBSTRUCTED BY LANDSCAPING, PARKING OR OTHER OBJECTS. THE FIRE MARSHAL'S OFFICE NO LONGER ALLOWS ANY TYPE OF LANDSCAPING TO BE PLACED IN FRONT OF AND WITHIN 5 FEET OF FIRE HYDRANTS, FIRE PUMP TEST HEADERS, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHTING 85,000 LBS.
- IFC 1404.1- SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES
- IFC 1404.2- WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
- IFC 1410.1- ACCESS TO THE BUILDING DURING DEMOLITION AND CONSTRUCTION SHALL BE MAINTAINED.
- IFC 1404.6- CUTTING AND WELDING OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 26, OF THE INTERNATIONAL FIRE CODE, ADDRESSING WELDING AND HOTWORK OPERATIONS.
- IFC 1414.1- FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
- REQUIRED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.
- OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13 FEET 6 INCHES.
- ALL SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE IX, SECTION 34-1020 CITY CODE.
- A SIDEWALK CLOSURE PERMIT IS NEEDED, THE DEVELOPER WILL BE REQUIRED TO PROVIDE ADEQUATE PEDESTRIAN BARRIERS AND PEDESTRIAN CIRCULATION. SEE PUBLIC WAY DURING CONSTRUCTION POLICY (PEDESTRIAN BARRIER).

SWP DATA FOR THIS PROJECT

SWP ENGINEER/PROJECT LEADER:	PRICE-HORNE HOUSE, LLC 455 2ND STREET SE, SUITE 402 CHARLOTTESVILLE, VA 22902
TYPE OF SWP INSTALLED:	PAVERS
GEOGRAPHIC LOCATION (WATERLOGIC CLIENT CODE):	INTERSECTION OF PARK STREET & MAPLE STREET (D01L GROUP TYPE 1210)
WATERBODY OF THE SWP:	LEADENY CREEK, WHICH THEN FEEDS THE RIVANNA RIVER
ULTIMATELY DISCHARGES INTO:	
# OF ACRES TREATED BY SWP:	0.130 AC
DESCRIPTION OF REQUIRED MAINTENANCE:	THE MAINTENANCE PROGRAM FOR THE FACILITY SHALL CONSIST OF AN ANNUAL VISUAL INSPECTION OF THE SYSTEM AFTER THE WINTER SEASON AND AFTER ANY STORM EVENT THAT EXCEEDS THE 10 YEAR STORM EVENT. STREET SWEEPINGS SHALL BE CONSIDERED ANNUALLY TO PROMOTE PROPER FURFURATION AND REDUCE THE RISK OF CLOGGING. AREAS UNDER MAINTENANCE TO THESE SHALL BE GIVEN SPECIAL ATTENTION TO THE ADDITIONAL RISK OF CLOGGING.
OWNER'S SIGNATURE AGREES TO MAINTAIN FACILITY:	



SHEET LAYOUT
SCALE: 1" = 50'

SIGNATURE PANEL

DIRECTOR, NEIGHBORHOOD DEVELOPMENT



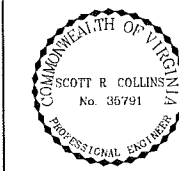
REVISIONS

DATE	REVISION DESCRIPTION
05/12/14	INITIAL SUBMISSION OF FINAL SITE PLAN
06/16/14	SUBMISSION OF SITE PLAN AMENDMENT
07/25/14	REVISIONS OF SITE PLAN AMENDMENT

COLLINS ENGINEERING
200 GARRETT STREET, SUITE K, CHARLOTTESVILLE, VA 22902-434.293.3719

427 PARK STREET SITE PLAN AMENDMENT
COVER SHEET

PROJECT SHEET
JOB NO. 122077
SCALE N/A
SHEET NO. 1

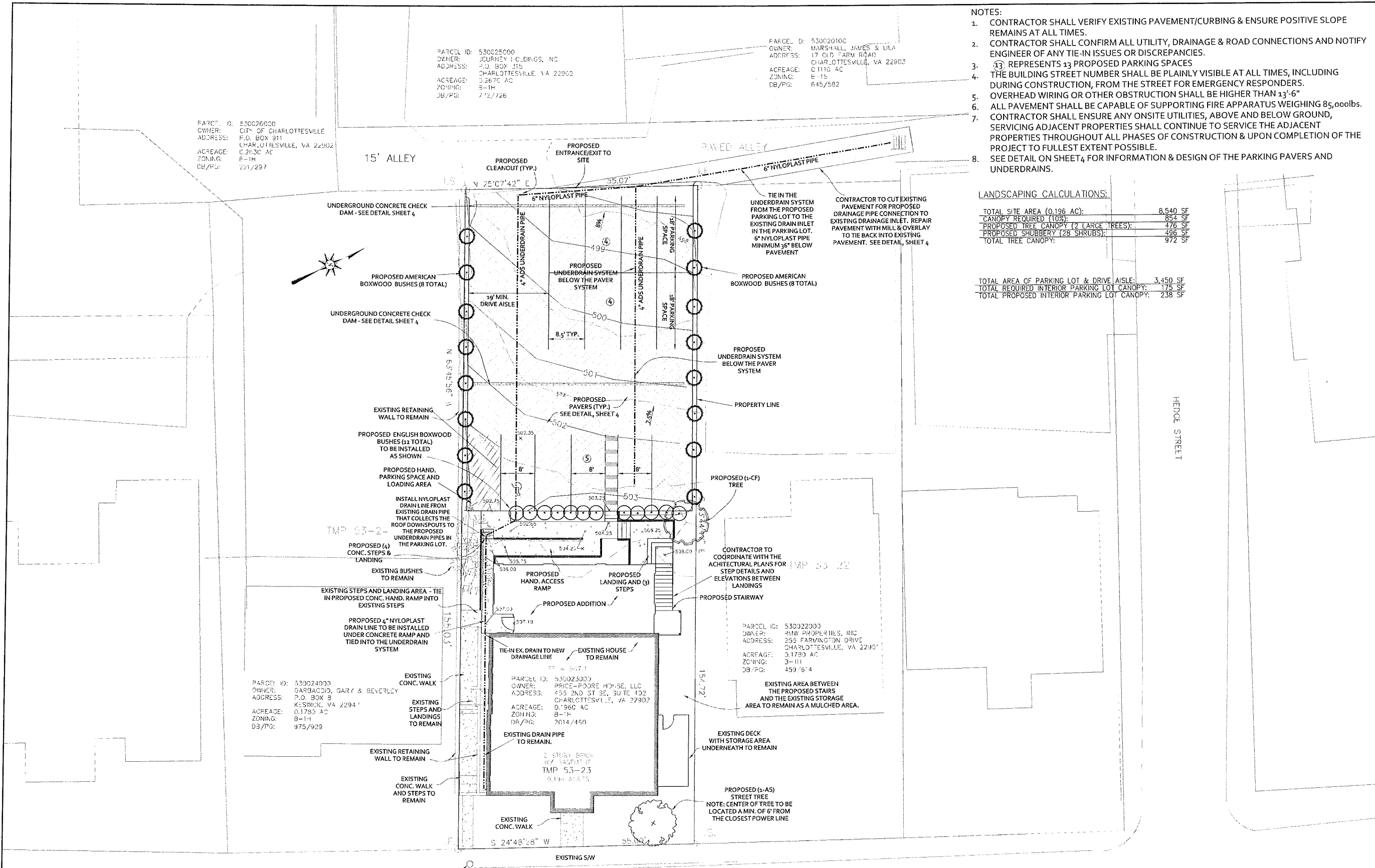


- NOTES:
- CONTRACTOR SHALL VERIFY EXISTING PAVEMENT/CURBING & ENSURE POSITIVE SLOPE REMAINS AT ALL TIMES.
 - CONTRACTOR SHALL CONFIRM ALL UTILITY, DRAINAGE & ROAD CONNECTIONS AND NOTIFY ENGINEER OF ANY TIE-IN ISSUES OR DISCREPANCIES.
 - Ⓜ REPRESENTS 13 PROPOSED PARKING SPACES
 - THE BUILDING STREET NUMBER SHALL BE PLAINLY VISIBLE AT ALL TIMES, INCLUDING DURING CONSTRUCTION, FROM THE STREET FOR EMERGENCY RESPONDERS.
 - OVERHEAD WIRING OR OTHER OBSTRUCTION SHALL BE HIGHER THAN 13'-6"
 - ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 85,000lbs. CONTRACTOR SHALL ENSURE ANY ONSITE UTILITIES, ABOVE AND BELOW GROUND, SERVICING ADJACENT PROPERTIES SHALL CONTINUE TO SERVICE THE ADJACENT PROPERTIES THROUGHOUT ALL PHASES OF CONSTRUCTION & UPON COMPLETION OF THE PROJECT TO FULLEST EXTENT POSSIBLE.
 - SEE DETAIL ON SHEET 4 FOR INFORMATION & DESIGN OF THE PARKING PAVERS AND UNDERDRAINS.

LANDSCAPING CALCULATIONS:

TOTAL SITE AREA (0.196 AC):	8,540 SF
CANOPY REQUIRED (10%):	854 SF
PROPOSED TREE CANOPY (2 LARGE TREES):	476 SF
PROPOSED SHRUBBERY (28 SHRUBS):	496 SF
TOTAL TREE CANOPY:	972 SF

TOTAL AREA OF PARKING LOT & DRIVE AISLE:	3,450 SF
TOTAL REQUIRED INTERIOR PARKING LOT CANOPY:	175 SF
TOTAL PROPOSED INTERIOR PARKING LOT CANOPY:	238 SF



REVISIONS

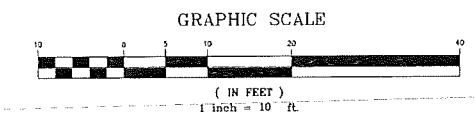
DATE	REVISION DESCRIPTION
05/12/14	INITIAL SUBMISSION OF FINAL SITE PLAN
06/16/14	SUBMISSION OF SITE PLAN AMENDMENT

COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K-CHARLOTTESVILLE, VA 22902-434-293.3719

427 PARK STREET SITE PLAN AMENDMENT
 SITE PLAN

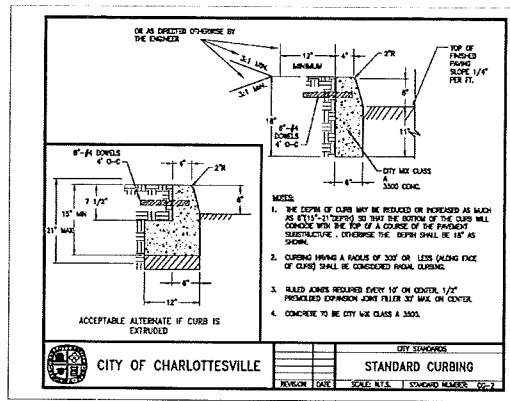
PLANT SCHEDULE

SYM	BOTANICAL	COMMON NAME	SIZE	CANOPY (ft)	TOTAL SITE	
					QUANTITY	COVERAGE (sq)
TREES						
AS	Rotundiloba Liquidambar Styracisora	AMERICAN SWEETGUM	2 1/2" cal.	238	2	476
SHRUBS						
EB	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	ENGLISH BOXWOOD	24" min.	20	12	240
AB	BUXUS SEMPERVIRENS	AMERICAN BOXWOOD	24" ht. min	16	16	256
TOTAL CANOPY						972



PROJECT SHEET
 JOB NO. 122077
 SCALE 1"=10'
 SHEET NO. 3

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GENERAL NOTES:

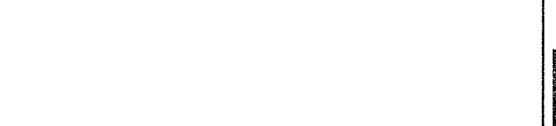
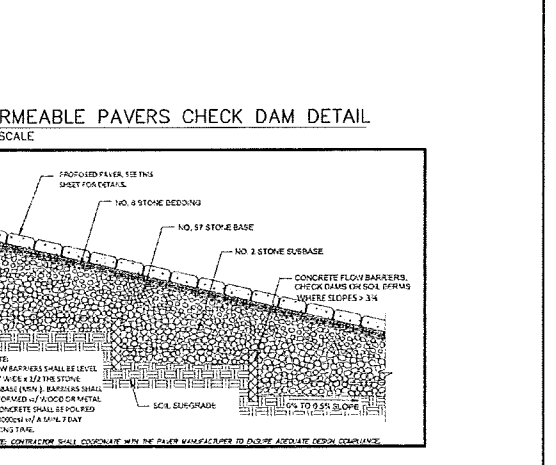
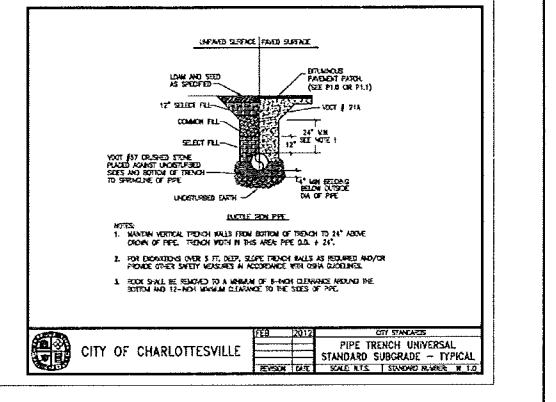
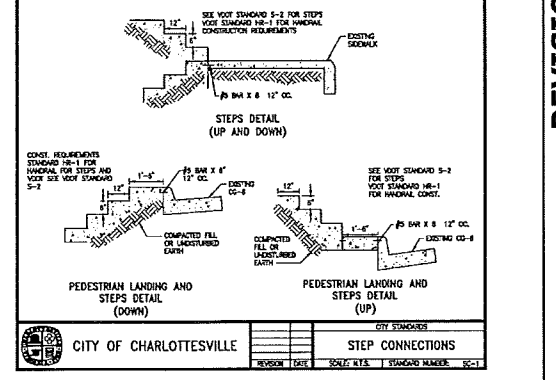
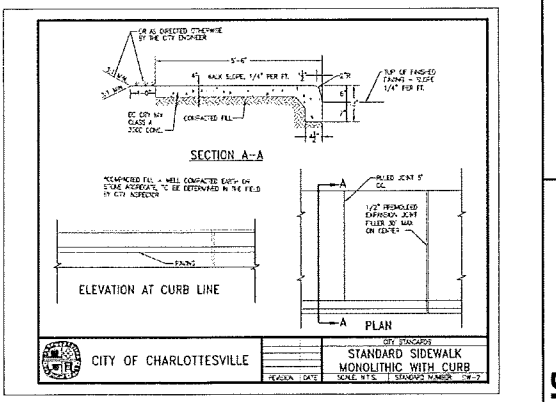
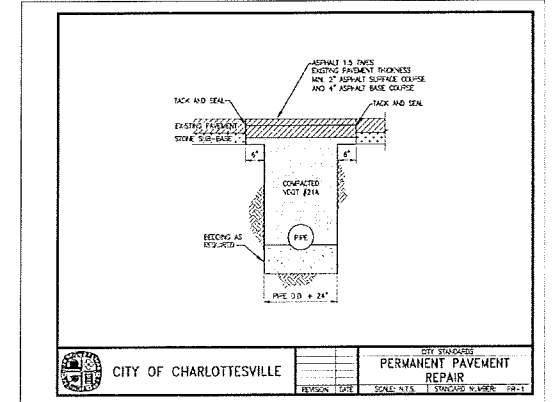
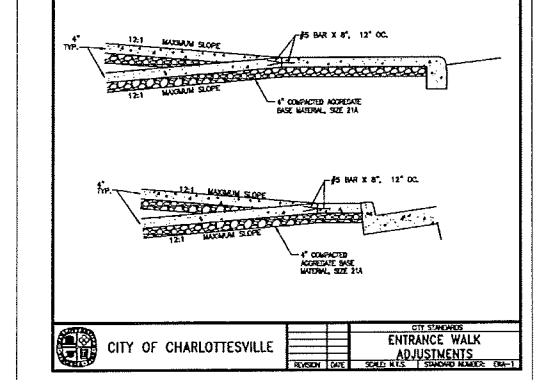
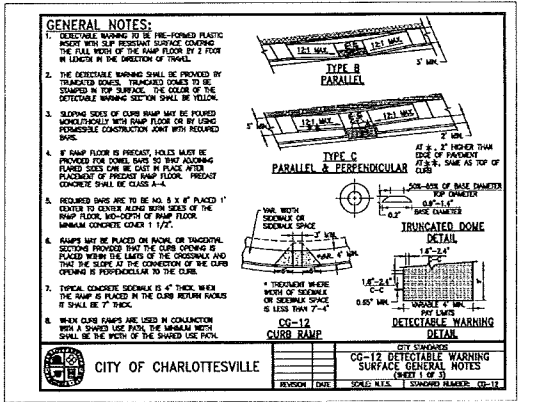
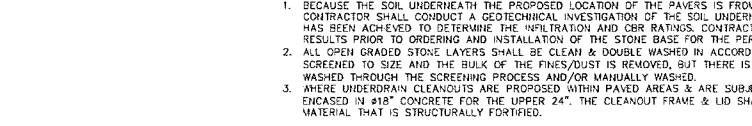
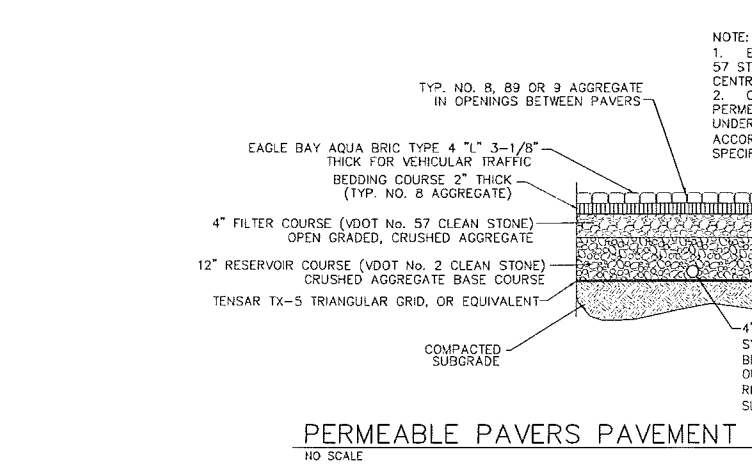
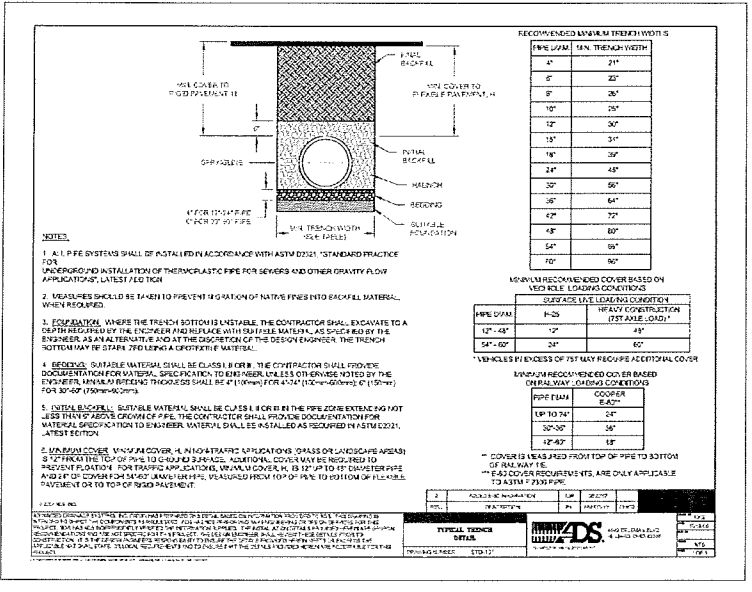
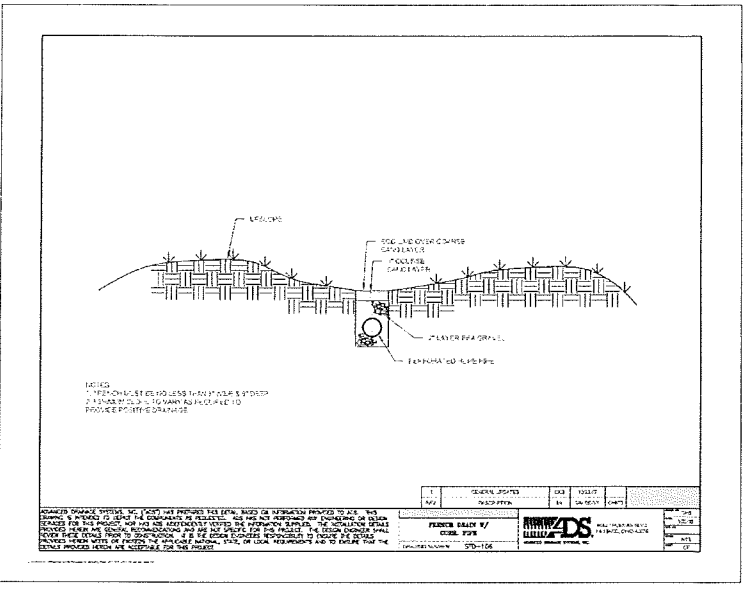
- UTILITIES:**
1. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY AND REPAIRED AT CONTRACTOR'S EXPENSE.
 2. THE CONTRACT DOCUMENTS DO NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE OR LOCATION OF UTILITIES. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF THE NON-EXISTENCE OF UTILITIES. AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION, CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-552-7031) AND/OR THE RESPECTIVE UTILITY COMPANIES FOR GAS, WATER, SEWER, POWER, PHONE AND CABLE. CONTRACTOR SHALL THUSLY ARRANGE TO HAVE THE VARIOUS UTILITIES LOCATED, AND TO HAVE THEM REMOVED OR RELOCATED, OR TO ESTABLISH THE METHOD OF PROTECTION ACCEPTABLE TO THE RESPECTIVE OWNER, IF THE METHOD OF PROTECTION IS NOT OTHERWISE SPECIFIED. CONTRACTOR SHALL CONDUCT HIS WORK IN THE VICINITY OF EXISTING UTILITIES IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S RULES AND REGULATIONS. NO EXISTING WALL FOUNDATIONS SHALL BE CONSTRUCTED WITHIN 10 FEET OF ANY STORM, SANITARY, WATER, OR GAS LINE. ANY COST INCURRED FOR REMOVING, RELOCATIONS OR PROTECTING UTILITIES SHALL BE BORNE BY CONTRACTOR UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL EXCAVATE TO LOCATE BURIED UTILITIES FAR ENOUGH IN ADVANCE OF HIS WORK TO ALLOW FOR HORIZONTAL AND /OR VERTICAL ADJUSTMENTS TO ITS WORK AND/OR THE UTILITIES. NO ADJUSTMENT IN COMPENSATION OR SCHEDULE WILL BE ALLOWED FOR DELAYS RESULTING FROM CONTRACTOR'S FAILURE TO LOCATE AND COORDINATE WITH UTILITIES.
 3. WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE DUE TO THE WORK. ALL METHODS FOR SUPPORTING AND MAINTAINING THE EXISTING UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY COMPANY AND/OR THE ENGINEER. CONTRACTOR SHALL EXERCISE CARE TO INSURE THAT THE GRADE AND ALIGNMENT OF EXISTING UTILITIES ARE MAINTAINED AND THAT THE JOINTS OR CONNECTIONS ARE DISPLACED. BACKFILL SHALL BE CAREFULLY PLACED AND COMPACTED TO PREVENT FUTURE DAMAGE OR SETTLEMENT TO EXISTING UTILITIES. ANY UTILITIES REMOVED AS PART OF THE WORK, AND NOT RELOCATED TO BE REINSTALLED OR ABANDONED, SHALL BE RESTORED USING MATERIALS AND INSTALLATION EQUAL TO THE UTILITY'S STANDARDS.
 4. CONTRACTOR SHALL NOTIFY LANDOWNERS, TENANTS AND THE ENGINEER PRIOR TO THE INTERRUPTION OF ANY SERVICES. SERVICE INTERRUPTIONS SHALL BE KEPT TO A MINIMUM.
 5. CONTRACTOR SHALL COORDINATE WITH THE CITY TO LOCATE SIGNAL LOOP DETECTORS AND CONDUITS IN ORDER TO AVOID DAMAGE TO THEM. CONTRACTOR SHALL REIMBURSE THE CITY FOR REPAIRING ANY DAMAGE TO SIGNAL LOOP DETECTORS AND CONDUITS CAUSED BY CONTRACTOR'S FAILURE TO SO COORDINATE.
 6. ALL RECTANGULAR WATER METER BOXES LOCATED IN SIDEWALKS SHALL BE REPLACED WITH ROUND ONES. THESE ALL BE FURNISHED BY THE CITY UPON ONE FULL WORKING DAY NOTIFICATION. THE ADJUSTMENT OF ALL MANDIBLE TAPS, WATER METER BOXES, GAS VALVE BOXES AND WATER METER BOXES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. COSTS ARE TO BE INCLUDED UNDER THE VARIOUS JOB BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE.
 7. THE CONTRACTOR SHALL NOTIFY THE CITY UTILITIES DIVISION AT LEAST TWO FULL WORKING DAYS IN ADVANCE TO ARRANGE GAS SERVICE LINE ADJUSTMENTS TO BE PERFORMED BY THE CITY.
 8. ALL WATER METER, VALVES AND FRESH HOSELINE ADJUSTMENTS/RELOCATIONS SHALL BE PERFORMED BY THE CONTRACTOR.

CONCRETE AND REBAR:

25. ALL FORMS SHALL BE INSPECTED BY THE ENGINEER BEFORE ANY CONCRETE IS PLACED. THE ENGINEER MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO REMOVE AND REPLACE CONCRETE PLACED PRIOR TO OR WITHOUT SUCH INSPECTION.
26. ALL WATER TIGHTNESS TESTS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS. SUB-BASE MATERIAL SHALL BE COMPACTED BY MECHANICAL MEANS.
27. CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (10 °C) IN THE SHADE AND WIND.
28. CONCRETE SHALL NOT BE PLACED UNTIL STEEL DONNELLS HAVE BEEN INSTALLED IN EXISTING CONCRETE IN ACCORDANCE WITH CITY STANDARDS.
29. 1/2" PRECASTED EXPANDED JOINT MATERIAL SHALL BE PLACED AT A MAXIMUM OF 30' INTERVALS ON NEW SIDEWALK, CURB, CURB & GUTTER, AT EACH END OF DRIVEWAY ENTRANCES, AT EACH END OF HANDICAP RAMPS, SOME POINT ON ENTRANCE WALKS AND STEPS ADJUSTMENTS, AND ALONG DRIVEWAYS AND WALKS WHERE NEW CONCRETE SIDEWALKS ARE PLACED AGAINST THEM.
30. ALL EXISTING CURBS, CURB & GUTTER, SIDEWALK AND STEPS TO BE REMOVED SHALL BE TAKEN OUT TO THE NEAREST JOINT, NEUTRALIZATION AND DISPOSAL COST TO BE INCLUDED IN OTHER JOB BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
31. ALL EXISTING GRANITE CURB SHALL REMAIN THE PROPERTY OF THE CITY OF CHARLOTTESVILLE. IF SHALL BE REMOVED AND DELIVERED BY THE CONTRACTOR TO THE CITY'S PUBLIC WORKS COMPLEX. COST TO BE INCLUDED UNDER THE VARIOUS JOB BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
32. STREET PAVEMENT STRUCTURE AND PATCHES SHALL BE EXTENDED FROM THE TOP OF NEW CONCRETE TO THE EXISTING SURFACE OF THE SOUND STREET SIDE AS DIRECTED BY THE ENGINEER.
33. DRIVEWAY ADJUSTMENTS ARE TO BE DONE IN GENTLE TRANSITIONS RATHER THAN ABRUPT BREAKS AT THE BACK OF WALKS. GRAVEL DRIVEWAYS ABOVE STREET GRADE SHALL BE GRADED FOR A MINIMUM DISTANCE OF 20' BEYOND THE BACK OF THE SIDEWALK OR CURB & GUTTER FROM WHERE APPLICABLE.
34. EXISTING ASPHALT CONCRETE PAVEMENT SHALL BE SAW CUT AND REMOVED AS PER THE SPECIFICATIONS. REMOVAL SHALL BE DONE BY SUCH A METHOD AS TO NOT TEAR, BURST OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL. ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.
35. DISPOSAL OF ALL EXCESS MATERIAL IS THE RESPONSIBILITY OF CONTRACTOR.

GRASS:

36. CONTRACTOR SHALL EXERCISE CARE, ESPECIALLY AT INTERSECTIONS AND GUTTER LINES, TO PROVIDE POSITIVE DRAINAGE. ANY AREAS WHERE WATER IS IMPOUNDED SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST. POSITIVE DRAINAGE OF ALL ROADWAY AREAS TO THE STORM DRAIN PAVEMENT OR OTHER ACCEPTABLE DRAINAGE CHANNELS AS SHOWN ON THE PLANS IS REQUIRED.
37. CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERTS AND FLOWS AT ALL TIMES DURING THE WORK. CONTRACTOR SHALL PAY FOR ALL PERSONAL INJURY AND PROPERTY DAMAGE WHICH MAY OCCUR AS A RESULT OF FAILING TO MAINTAIN ADEQUATE DRAINAGE.
38. ALL PIPES, DIPS AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEER BEFORE BEING BACKFILLED OR BURIED. THE ENGINEER WILL REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO UNCOVER AND REPAIR SUCH STRUCTURES IF THEY HAVE BEEN BACKFILLED OR BURIED WITHOUT SUCH INSPECTION.
39. ALL CATCH BASINS UNCOMPROMISED WITH NEW CONSTRUCTION SHALL BE COVERED TO DROP INLETS.
40. CLASS "B" RAMP ROAD CONDITIONS ALLOW FOR A REDUCTION IN STONE DEPTH FROM 2.0" TO A MINIMUM OF 1.0" AS DIRECTED BY THE ENGINEER.
41. REMOVED PIPE SHALL BE THE PROPERTY OF CONTRACTOR AND IF NOT SALVAGED FOR RE-USE, SHALL BE DISPOSED OF LAWFULLY.
42. ALL STORM SEWER PIPE AND DROP INLETS SHALL BE CLEARED OF DEBRIS AND ERODED MATERIAL PRIOR TO FINAL ACCEPTANCE.
43. ALL STORM SEWER PIPE JOINTS SHALL BE SEALED AND SEALED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
44. ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT INTO EXISTING PIPE SHALL BE TIED TO NEW PIPE. ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT BLOCKED OR DISRUPTED FROM THE FREE-CONSTRUCTION.



REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMISSION OF FINAL SITE PLAN	05/12/14
SUBMISSION OF SITE PLAN AMENDMENT	06/16/14
REVISIONS OF SITE PLAN AMENDMENT	07/25/14

COLLINS ENGINEERING

200 GARRETT STREET, SUITE K-CHARLOTTESVILLE, VA 22902-4343-293.3719

427 PARK STREET SITE PLAN AMENDMENT

NOTES & DETAILS

PROJECT: 122077
 SCALE: 1"=10'
 SHEET NO. 4

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Aqua-Bric[®] Type 4 "L"

DIMENSIONS	250 mm Module
PIECES/PALLET	208 L Shape 16 Square Shape
SQ. FT./PALLET	107.6
WEIGHT/PALLET	3,630 lbs
LAYER/PALLET	8
SQ. FT./LAYER	13.45

FINISHES

CHAMFERED | Flat face, beveled edges.

Exclusive
Component of



FEATURES

- Available with our signature Permavision finish that produces a rich color, distinctive texture, and wear-resistant surface
- Accommodates surface infiltration of a minimum of 100 inches of rain per hour
- Palletized layers patterned to accommodate efficient mechanical or manual installation
- Full perimeter 5 mm joint and 9 mm void "Joint/Void System" (meets Americans with Disabilities Act)
- Provides the 3 disciplines of "Interlock"
- Hidden paver spacer bars for maximum aesthetics
- 3 1/8" for commercial applications
- Pallet includes half sizes



BUILDING A GREEN INFRASTRUCTURE WITH EAGLE BAY

1. Eagle Bay® PICP Systems accommodate a wide variety of stormwater management objectives due to flexibility of Pavement Design, Storage Quantity Capacities, and Water Quality Treatment.
2. Runoff reduction of up to 100%, depending on project design parameters.
3. Provides both Channel Protection and Flood Mitigation.
4. Maximizes groundwater recharge with improved Water Quality.
5. Allows for retention and storage of stormwater for possible reuse for irrigation or other non-potable applications.
6. Reduces non-point-source pollutants in stormwater, thereby mitigating impact on surrounding surface waters, and may lessen or eliminate downstream flooding and stream bank erosion.
7. Minimizes impact and stress on existing stormwater or combined stormwater and sewer systems through reduced peak discharges.
8. The multi-purpose Permeable Pavement enhances land-use planning and leads to more efficient use of available land for greater economic value, especially in high-density urban areas. Utilizing the storage capacity of the PICP System below the pavement wearing surface, as opposed to above ground storage ponds or the deep excavation required by below grade confined space systems, accomplishes this goal.
9. May decrease project cost by reducing or eliminating drainage and retention/detention systems.
10. May reduce cost of compliance with stormwater regulatory requirements and lower Municipal or State utility / stormwater fees.
11. Solar Reflectivity Index compliance will reduce heat island effect and thermal loading of surrounding surface and/or outflow waters when Eagle Bay's SRI-Compliant colors are specified.
12. Accommodates pavement design to provide both mechanical stability and structural integrity for a variety of traffic loads, including Secondary Roadways, Light and Heavy Duty traffic requirements.

CROSS SECTION DETAIL

- TYP. NO. 8 OR NO. 9 AGGREGATE IN JOINTS/VOIDS
- EAGLE BAY PICPS: MINIMUM DEPTH 3 1/8"
- BEDDING COURSE: DEPTH 1 1/8" - 2"
- NO. 57 STONE OPEN-GRADED BASE: DEPTH 4"
- NO. 2 OR 3 STONE SUBBASE: DEPTH MINIMUM 6"
- OPTIONAL PERFORATED UNDERDRAIN
- SOIL SUBGRADE — ZERO SLOPE

