

From: Scala, Mary Joy
Sent: Thursday, September 18, 2014 11:04 AM
To: 'Knipp, Jay'
Cc: 'mrmstynson@gmail.com'
Subject: BAR Action - September 16, 2014 - 427 Park Street

September 18, 2014

Jay Knipp – Ilex Construction
433 Park Street
Charlottesville, VA 22902

Certificate of Appropriateness Application (deferred from August)

BAR 14-08-03
427 Park Street
Tax Parcel 530023000
Price-Poore House, LLC, Owner/ Jay Knipp, Ilex Construction, Applicant
Partial demolition, new rear addition, parking lot

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on September 16, 2014. The following action was taken:

The BAR approved (8-0) as submitted except parking and landscape plan, which will come back to staff for review before approval.

Regarding the landscape plan, the BAR strongly recommended reconsideration of (single trunk) trees instead of shrubs at bottom of lot; possibly make tree space larger on south side and delete tree space on north side of lot to make room for larger, native species tree instead of Zelcova; make groupings of shrubs along sides more narrow (possibly pencil hollies instead of arborvitae), and closer-spaced with larger spaces between groupings.

Please submit a revised parking and landscape plan to me for review and approval before your site plan is approved.

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in 18 months (March 16, 2016), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. The expiration date may differ if the COA is associated with a valid site plan. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of the project, please contact me for an inspection of the improvements included in this application. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall – 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
September 16, 2014 (deferred from August)**



Certificate of Appropriateness Application

BAR 14-08-03

427 Park Street

Tax Parcel 530023000

Price-Poore House, LLC, Owner/ Jay Knipp, Ilex Construction, Applicant

Partial demolition, new rear addition, parking lot

NOTE: Changes are shown in bold type.

Background

This property, a federal style structure with an unusual mansard roof, is designated a contributing structure in the North Downtown ADC district. The original 1-1/2 story portion was built in 1836-7; the 2-1/2 story height was added shortly thereafter; the mansard roof added after 1868.

August 19, 2014 - The BAR accepted (7-0) the applicant's request for deferral. The BAR encouraged the applicant to provide less parking, save more trees, and narrow the entrance to parking. They suggested an ornamental tree for the front yard if the Silver Maple must be removed.

Application

This property is being rehabilitated for office use.
The following items require BAR review:

1. Demolition of rear screen porch;
2. New two-story rear addition;
3. New window opening in existing building on basement north side;
4. Site clearing and grading to construct new rear parking lot with alley access;
5. Install operable shutters on front;
6. **Amended paint colors:**

Roof, shutters, and front door: Sherwin Williams Greenblack SW 6994;

Exterior trim and new addition siding: Benjamin Moore White Dove 06;

New addition brick: White washed.

The new addition will have brick pilasters and base; painted hardi siding with 5" exposure; Marvin clad casement windows with SDL's and azek casing; azek pilasters above brick pilasters; azek cornice with copper gutters; membrane roofing. There will be a new outside stair (unspecified material) on the north side of the addition.

The new parking lot will have **12 spaces, including one handicapped**, with permeable pavers (Eagle Bay Aqua-Bric). Many large trees and shrubs will be removed, and replaced with **3 Zelcova trees; 1 Red Bud; 20 Arborvitae shrubs; 18 English Boxwood; and 10 American Boxwood. The applicant has submitted a tree inventory plan and evaluation that recommends retaining only the existing Burford Hollies.**

Criteria, Standards, and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Standards for Considering Demolitions include:

The following factors shall be considered in determining whether or not to permit the moving, removing, encapsulation or demolition, in whole or in part, of a contributing structure or protected property:

(a) The historic, architectural or cultural significance, if any, of the specific structure or property, including, without limitation:

- (1) The age of the structure or property;*

The porch addition appears to be late 20th century.

- (2) Whether it has been designated a National Historic Landmark, listed on the National Register of Historic Places, or listed on the Virginia Landmarks Register;*

The building is a contributing structure in the Charlottesville- Albemarle County Courthouse historic district, which is listed on the National Register of Historic Places and the Virginia Landmarks Register.

- (3) Whether, and to what extent, the building or structure is associated with an historic person, architect or master craftsman, or with an historic event;*

There are no known associations.

- (4) Whether the building or structure, or any of its features, represent an infrequent or the first or last remaining example within the city of a particular architectural style or feature;*

The early date of the original building makes it significant. The mansard roof is unusual in Charlottesville. The porch does not contribute to the character of the building.

- 5) Whether the building or structure is of such old or distinctive design, texture or material that it could not be reproduced, or could be reproduced only with great difficulty; and*

The porch could be reproduced using new materials.

- (6) The degree to which distinguishing characteristics, qualities, features or materials remain;*

The building is intact.

(b) Whether, and to what extent, a contributing structure is linked, historically or aesthetically, to other buildings or structures within an existing major design control district, or

is one of a group of properties within such a district whose concentration or continuity possesses greater significance than many of its component buildings and structures.

427 Park Street is linked historically and aesthetically to other residential and formerly residential buildings along Park Street.

(c) The overall condition and structural integrity of the building or structure, as indicated by studies prepared by a qualified professional engineer and provided by the applicant or other information provided to the board;

No structural report has been requested or submitted.

(d) Whether, and to what extent, the applicant proposes means, methods or plans for moving, removing or demolishing the structure or property that preserves portions, features or materials that are significant to the property's historic, architectural or cultural value; and

The applicant is asking permission to raze the rear porch only.

(e) Any applicable provisions of the city's Design Guidelines

1. *The criteria established by the City Code.*

See above.

2. *The public necessity of the proposed demolition.*

There is no public necessity.

3. *The public purpose or interest in land or buildings to be protected.*

The rear porch of 427 Park Street is not of particular significance because of its recent age.

4. *The existing character of the setting of the structure or area and its surroundings.*

This part of Park Street has large, former residences used for offices.

5. *Whether or not a relocation of the structure would be a practical and preferable alternative to demolition.*

Relocation would not be a preferable alternative.

6. *Whether or not the proposed demolition would affect adversely or positively other historic buildings or the character of the historic district.*

It would not.

7. *Whether or not there has been a professional economic and structural feasibility study for rehabilitating or reusing the structure and whether or not its findings support the proposed demolition.*

No structural report has been requested or submitted.

Pertinent Design Review Guidelines for Additions

P. ADDITIONS

1. *Function and Size*

a. Attempt to accommodate needed functions within the existing structure without building an addition.

b. Limit the size of the addition so that it does not visually overpower the existing building.

2. *Location*

a. Attempt to locate the addition on rear or side elevations that are not visible from the street.

b. If additional floors are constructed on top of a building, set the addition back from the main façade so that its visual impact is minimized.

c. If the addition is located on a primary elevation facing the street or if a rear addition faces a street, parking area, or an important pedestrian route, the façade of the addition should be treated under the new construction guidelines.

3. *Design*

a. New additions should not destroy historic materials that characterize the property.

b. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

4. *Replication of Style*

a. A new addition should not be an exact copy of the design of the existing historic building. The design of new additions can be compatible with and respectful of existing buildings without being a mimicry of their original design.

b. If the new addition appears to be part of the existing building, the integrity of the original historic design is compromised and the viewer is confused over what is historic and what is

- new.*
5. *Materials and Features*
 - a. *Use materials, windows, doors, architectural detailing, roofs, and colors that are compatible with historic buildings in the district.*
 6. *Attachment to Existing Building*
 - a. *Wherever possible, new additions or alterations to existing buildings should be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the buildings would be unimpaired.*
 - b. *The new design should not use the same wall plane, roof line, or cornice line of the existing structure.*

Pertinent Design Guidelines for Rehabilitations

C. WINDOWS

- 1) *Prior to any repair or replacement of windows, a survey of existing window conditions is recommended. Note number of windows, whether each window is original or replaced, the material, type, hardware and finish, the condition of the frame, sash, sill, putty, and panes.*
- 2) *Retain original windows when possible.*
- 3) *Uncover and repair covered up windows and reinstall windows where they have been blocked in.*
- 4) *If the window is no longer needed, the glass should be retained and the back side frosted, screened, or shuttered so that it appears from the outside to be in use.*
- 5) *Repair original windows by patching, splicing, consolidating or otherwise reinforcing. Wood that appears to be in bad condition because of peeling paint or separated joints often can be repaired.*
- 6) *Replace historic components of a window that are beyond repair with matching components.*
- 7) *Replace entire windows only when they are missing or beyond repair.*
- 8) *If a window on the primary façade of a building must be replaced and an existing window of the same style, material, and size is identified on a secondary elevation, place the historic window in the window opening on the primary façade.*
- 9) *Reconstruction should be based on physical evidence or old photographs.*
- 10) *Avoid changing the number, location, size, or glazing pattern of windows by cutting new openings, blocking in windows, or installing replacement sash that does not fit the window opening.*
- 11) *Do not use inappropriate materials or finishes that radically change the sash, depth of reveal, muntin configuration, reflective quality or color of the glazing, or appearance of the frame.*
- 12) *Use replacement windows with true divided lights or interior and exterior fixed muntins with internal spacers to replace historic or original examples.*
- 13) *If windows warrant replacement, appropriate material for new windows depends upon the context of the building within a historic district, and the age and design of the building. Sustainable materials such as wood, aluminum-clad wood, solid fiberglass, and metal windows are preferred. Vinyl windows are discouraged.*
- 14) *False muntins and internal removable grilles do not present an historic appearance and should not be used.*
- 15) *Do not use tinted or mirrored glass on major facades of the building. Translucent or low (e) glass may be strategies to keep heat gain down.*
- 16) *Storm windows should match the size and shape of the existing windows and the original sash configuration. Special shapes, such as arched top storms, are available.*
- 17) *Storm windows should not damage or obscure the windows and frames.*
- 18) *Avoid aluminum-colored storm sash. It can be painted an appropriate color if it is first primed with a zinc chromate primer.*
- 19) *The addition of shutters may be appropriate if not previously installed, but if compatible with the style of the building or neighborhood.*
- 20) *In general, shutters should be wood (rather than metal or vinyl) and should be mounted on hinges. In some circumstances, appropriately dimensioned, painted, composite material shutters may be used.*
- 21) *The size of the shutters should result in their covering the window opening when closed.*
- 22) *Avoid shutters on composite or bay windows.*

Pertinent Design Review Guidelines for Site Design

B. PLANTINGS

- 1) *Encourage the maintenance and planting of large trees on private property along the streetfronts, which contribute to the "avenue" effect.*
- 2) *Generally, use trees and plants that are compatible with the existing plantings in the neighborhood.*
- 3) *Use trees and plants that are indigenous to the area.*
- 4) *Retain existing trees and plants that help define the character of the district, especially street trees and hedges.*
- 5) *Replace diseased or dead plants with like or similar species if appropriate.*
- 6) *When constructing new buildings, identify and take care to protect significant existing trees and other plantings.*
- 7) *Choose ground cover plantings that are compatible with adjacent sites, existing site conditions, and the character of the building.*
- 8) *Select mulching and edging materials carefully and do not use plastic edgings, lava, crushed rock, unnaturally colored mulch or other historically unsuitable materials.*

F. PARKING AREAS & LOTS

- 1) *If new parking areas are necessary, construct them so that they reinforce the street wall of buildings and the grid system of rectangular blocks in commercial areas.*
- 2) *Locate parking lots behind buildings.*
- 3) *Screen parking lots from streets, sidewalks, and neighboring sites through the use of walls, trees, and plantings of a height and type appropriate to reduce the visual impact year-round.*
- 4) *Avoid creating parking areas in the front yards of historic building sites.*
- 5) *Avoid excessive curb cuts to gain entry to parking areas.*
- 6) *Avoid large expanses of asphalt.*
- 7) *On large lots, provide interior plantings and pedestrian walkways.*
- 8) *Provide screening from adjacent land uses as needed.*
- 9) *Install adequate lighting in parking areas to provide security in evening hours.*
- 10) *Select lighting fixtures that are appropriate to a historic setting.*

Discussion and Recommendations

This is a potential tax credit project. The demolition of the rear porch will not adversely affect the character of the original building. This is an appropriate use for this lovely old building.

The new window opening should be discussed. The BAR may want to hear more about the window restoration and brick re-pointing.

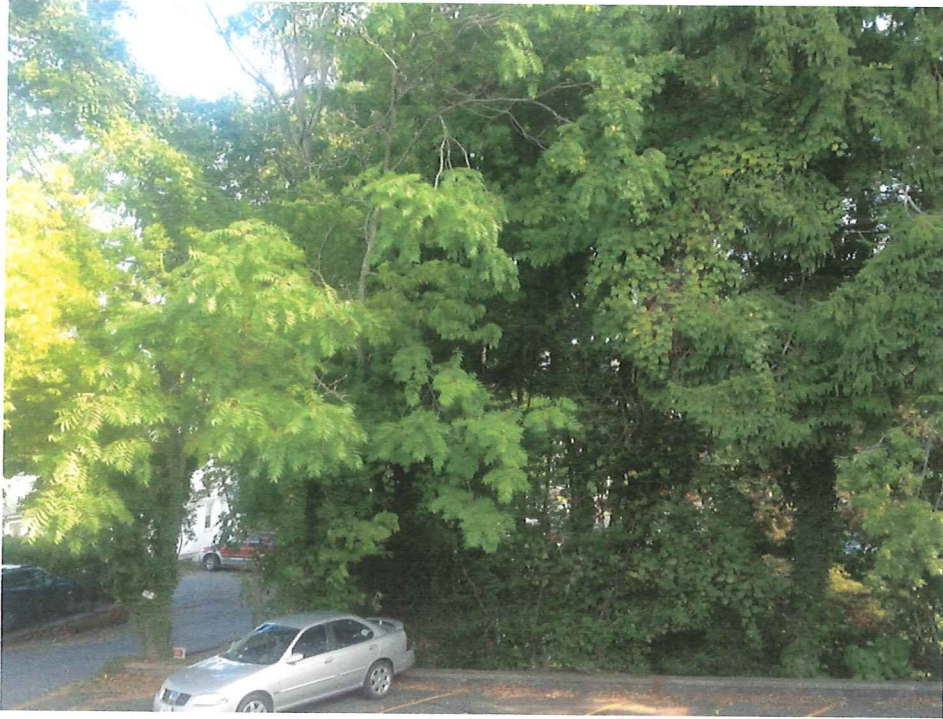
The material/color of the proposed new exterior stair should be specified.

The parking lot requires a site plan review in addition to BAR review. The BAR should comment on the proposed new parking and landscaping plan.

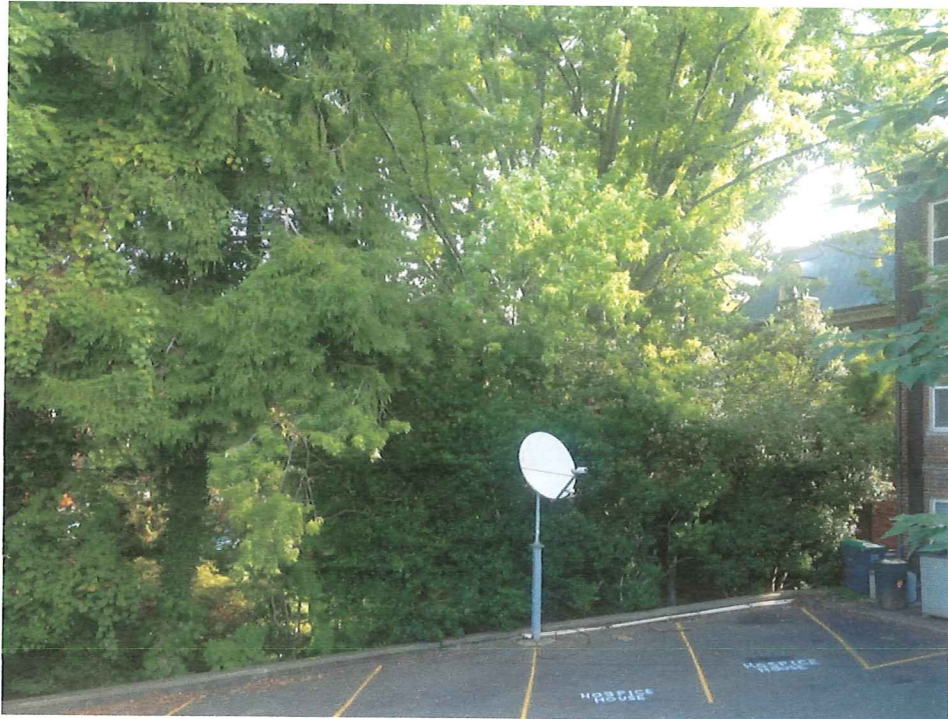
Since the last meeting the applicant has met with the Department of Historic Resources regarding the tax credits and the City Traffic Engineer regarding the revised parking lot .

Suggested Motions

Having considered the standards set forth within the City Code, including City Design Guidelines for Demolitions, New Construction and Additions, Rehabilitations, and for Site Design, I move to find that the proposed porch demolition, new addition and other changes, **and parking and landscape plan** satisfy the BAR's criteria and guidelines and are compatible with this property and other properties in the North Downtown ADC district, and that the BAR approves the application as submitted (or with the following modifications...).



Rear lot and alley looking north



Rear lot looking north – 427 Park Street building on right

ILEX[®] CONSTRUCTION & WOODWORKING

September 16, 2014

Project: 427 Park Street, Charlottesville, Virginia

Proposed Exterior Paint Colors

Shutters, Roof and Front Door: Sherwin Williams Greenblack SW 6994

Exterior Trim and Addition Siding: Benjamin Moore White Dove 06

Addition Brick: White Washed

433 PARK STREET ~ CHARLOTTESVILLE, VIRGINIA 22902
OFFICE 434.244.0802 ~ FAX 434.244.0805

BALTIMORE CHARLOTTESVILLE EASTON HOT SPRINGS MIDDLEBURG WASHINGTON DC



P.O. Box 717 • 2032 West Main Street • Waynesboro, VA 22980 • Phone 540-942-4646 • Fax 540-949-7743

TREE INVENTORY AND EVALUATION

427 PARK STREET
CHARLOTTESVILLE, VA

Prepared for: Ilex Construction
Prepared by: VanCleve Anderson, ASLA

August 28, 2014



P.O. Box 717 • 2032 West Main Street • Waynesboro, VA 22980 • Phone 540-942-4646 • Fax 540-949-7743

TREE INVENTORY AND EVALUATION

427 PARK STREET
CHARLOTTESVILLE, VA

Introduction

The stand of trees located in the back yard of 427 Park Street represent a post WWII residential landscape planting. Two main trees (trees #1 & #2), both 48" Silver Maples originally formed the shade tree component of the landscape. The White Pines (trees #2-#7) and the Burford Holly (trees #24-#29) formed the screening component. The remainder of the trees served as either accent trees (ex. Tree #8 Northern White Cedar and American Holly tree # 22) or are volunteers (hemlock #14-#17) or invasives (Ailanthus tree# 21, Black Cherry tree # 20, and Black Locust trees #20 & #33) which have been allowed to grown up in the landscape do to neglect.

Overview

When taken as a whole, the landscape, and trees contained therein, has been left unattended for many, many years and suffers from neglect. Remedial action, if undertaken, would be of limited benefit. The tree spacing, sufficient at the time of planting, is now insufficient to adequately support the stand as it now exists. All of the trees are suffering from the intense competition for limited resources including sun, water, nutrients, and adequate soil space for root expansion. As a result many of the trees are suffering moderate to severe dieback, lack of general vigor, misshapen crowns, galls and other disease, ice damage, chlorosis, insect damage, epicormic sprouting, and other signs indicative of overcrowding and stress.

Comments/Observations

Release

Release of any one tree, while allowing more sunlight and potential for recovery of remaining overstory as well as understory, would create a potential tree fall hazard. In the event of a major storm event (ice storm, thunderstorm microburst, or hurricane force winds) the remaining trees would no longer have the structural support of their neighbors (i.e. when they lean...they no longer have the other trees to lean on...and they could potentially fall). And should any of the larger trees fall, they will fall onto buildings, cars, and potentially people.

Due to the hazards posed by the existing trees susceptibility to breakage or toppling, tree release through removal is not advised.

Dominant Maples

The two most dominant trees on site are Silver Maples (#1-#2). Michael Dirr, in his book "Dirr's Encyclopedia of Trees and Shrubs" states, "Once the most widely planted native maple, Silver Maple has fallen out of favor with nursery people and gardeners. Broken limbs, limited ornamental attributes, and a gross-feeding root system that buckles sidewalks and clogs drains have inhibited its planting. The fastest growing maple species, it is at the same time the most susceptible to breakage in storms." Given these facts and the low condition ranking (10) these trees are best removed.

Understory Trees

Understory trees including (9) Hemlocks may benefit if released from overstory branching but stand a minimal chance of recovery due to length of time immersed in full shade. This fact coupled with the increase in prevalence of the Woolly Aledgid (aphids) and their detrimental effects on Hemlock make these trees a candidate for removal.

The Burford Hollies (Trees # 25-#29) may be worthy of retention. Once released, properly pruned, and fertilized, they may rebound and serve as an effective screen to neighboring property.

Conclusion

Due to neglect, overcrowding, disease, snow, ice and wind damage, trees on site 427 Park Street are in general decline. If released, few stand a favorable chance of recovery, and pose a potential safety hazard to property and people. Burford Hollies have the potential to recover with remedial care.

TREE SPECIES, SIZE AND CONDITION RANKING

KEY #	TREE SPECIES	CALIPER	CONDITION RANKING
1	Silver Maple	48"	10
2	Silver Maple	48"	9
3	White Pine	12"	10
4	White Pine	6"	10
5	White Pine	15"	9
6	White Pine	24"	9
7	White Pine	15"	9
8	Northern Cedar	18"	9
9	White Pine	15"	8
10	Black Locust	15"	12
11	Silver Maple	24"	11
12	White Pine	6"	9
13	White Pine	10"	10
14	Hemlock	4"	8
15	Hemlock	4"	8
16	Hemlock	6"	8
17	Hemlock	4"	8
18	Hemlock	12"	8
19	Black Locust	12"	12
20	Black Cherry	14"	9
21	Ailanthus	12"	7
22	Am. Holly	20"	12
23	Hemlock	2"	8
24	Burford Holly	10"	14
2	Burford Holly	10"	14
26	Burford Holly	10"	14
26	Burford Holly	10"	14
27	Burford Holly	10"	14
28	Burford Holly	10"	14
29	Burford Holly	10"	14
30	Hemlock	10"	9
31	Hemlock	10"	8
32	Hemlock	10"	9
33	Black Locust	24"	17

Tree Condition Ranking

<u>Total Points</u>	<u>Condition</u>
18-20	Excellent
15-17	Good
12-14	Fair
11 or less	Poor

TREE CONDITION EVALUATION FORM

A tree's condition is determined from the sum of the condition points established from the rating of a tree's roots, trunk, limb/branch structure, twigs and foliage. The condition ratings range from excellent to poor and are determined by a condition point system that weights problems identified on each component of the tree. The condition point system is structured as follows: **no apparent problems (4 points), minor problems (3 points), major problems (2 points) and extreme problems (1 point).**

ROOTS

- Root anchorage
- Restricted root system relative to canopy
- Mechanical injury
- Girdling roots
- Compaction or water-logged roots
- Presence of insects or diseases

Condition points _____

TRUNK

- Sound bark and wood, no cavities
- Upright trunk (well tapered)
- Included bark between co-dominant stems
- Mechanical or fire injury
- Cracks
- Swollen or sunken area
- Presence of insect and disease

Condition points _____

LIMB AND BRANCH STRUCTURE

- Strong attachments, no included bark
- Free of decay and cavities
- Well proportioned, good form
- Wound closure
- Dead limbs/epicormic sprouting
- Presence of decay, insects and diseases

Condition points _____

TWIGS

- Shoot vigor compared to past 3-year growth
- Presence of weak or dead twigs
- Presence of insects and diseases

Condition points _____

FOLIAGE

- Normal appearance (size, color, density)
- Nutrient deficiencies
- Herbicidal, chemical injury symptoms
- Wilted or dead leaves
- Presence of insect or diseases

Condition points _____

Total Condition Points _____

TREE CONDITION RANKING (The ranking does not incorporate a wood density evaluation of the root collar and includes an evaluation of the tree's canopy from the ground surface only)

Total Points

18-20

15-17

12-14

11 or less

Condition

Excellent

Good

Fair

Poor

Evaluated by: _____

Date: _____

Tree Species: _____

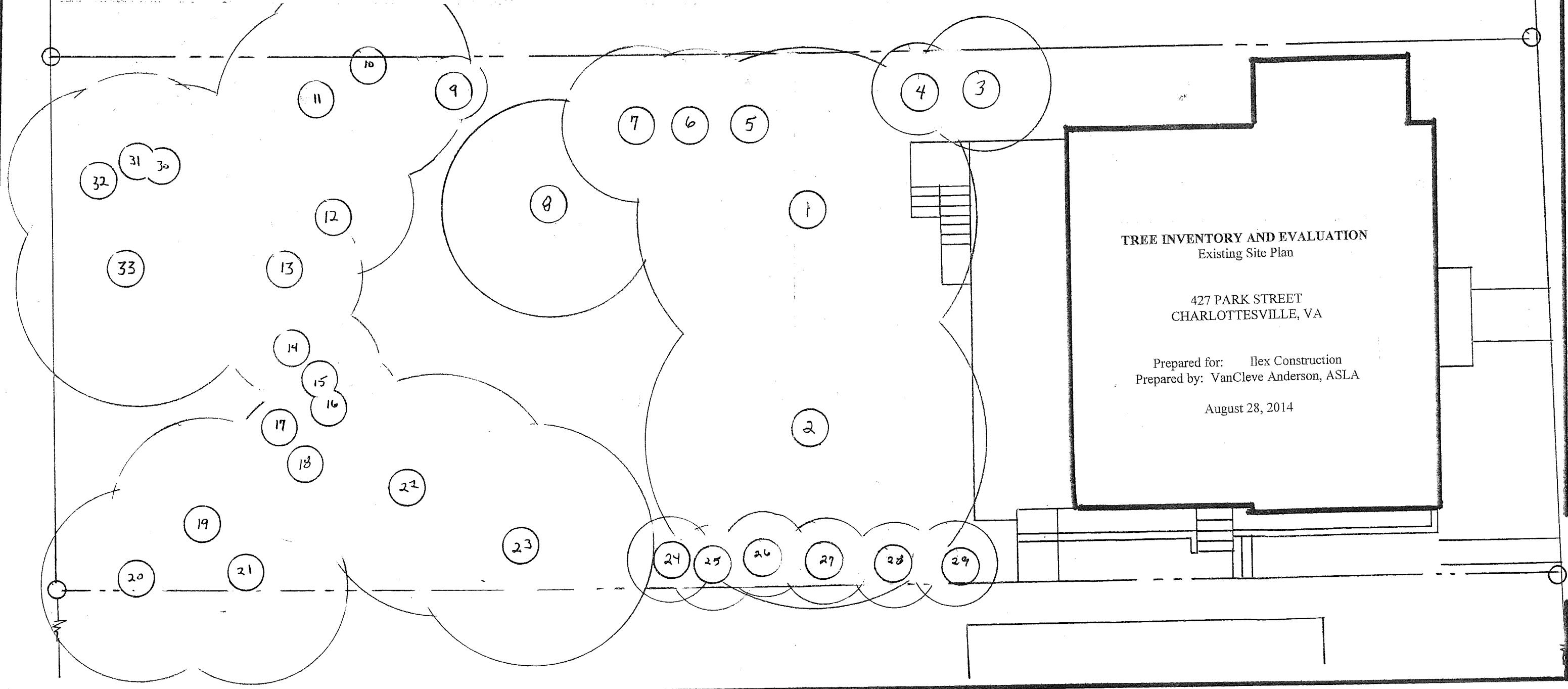
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9	White Pine	15"	8
10	Black Locust	15"	12
11	Silver Maple	24"	11
12	White Pine	6"	9
13	White Pine	10"	10
14	Hemlock	4"	8
15	Hemlock	4"	8

16	Hemlock	6"	8
17	Hemlock	4"	8
18	Hemlock	12"	8
19	Black Locust	12"	12
20	Black Cherry	14"	9
21	Ailanthus	12"	7
22	Am. Holly	20"	12
23	Hemlock	2"	8
24	Burford Holly	10"	14
25	Burford Holly	10"	14
26	Burford Holly	10"	14
26	Burford Holly	10"	14
27	Burford Holly	10"	14
28	Burford Holly	10"	14
29	Burford Holly	10"	14
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31	Hemlock	10"	8
32	Hemlock	10"	9
33	Black Locust	24"	17

Tree Condition Ranking

Total Points	Condition
18-20	Excellent
15-17	Good
12-14	Fair
11 or less	Poor



TREE INVENTORY AND EVALUATION
Existing Site Plan

427 PARK STREET
CHARLOTTESVILLE, VA

Prepared for: Ilex Construction
Prepared by: VanCleve Anderson, ASLA

August 28, 2014

427 PARK STREET SITE PLAN AMENDMENT CITY OF CHARLOTTESVILLE, VIRGINIA

PROJECT DATA:

- THE OWNER/CLIENT OF THIS PROPERTY IS:
PRICE-POORE HOUSE, LLC
455 2ND STREET SE, SUITE 402
CHARLOTTESVILLE, VA 22902
PARCEL ID #530023000 (0.1960 AC.)
- THESE PLANS HAVE BEEN PREPARED BY:
COLLINS ENGINEERING, INC
200 GARRETT STREET SUITE K
CHARLOTTESVILLE, VA 22902
TELEPHONE: (434) 293-3719 FACSIMILE: (434) 293-2813
- SOURCE OF SURVEY, TOPOGRAPHY & BOUNDARY INFORMATION: COMMONWEALTH LAND SURVEYING, MARCH 2013.
- ZONING: B-1H
- USGS DATUM: NAD 83
- LOCATION/ADDRESS OF PROJECT: 427 PARK STREET, CHARLOTTESVILLE VA 22902
- FLOODPLAIN: THIS PROPERTY IS LOCATED IN ZONE 'X' AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 51003C0286D, DATED FEBRUARY 4, 2005. THE PROPOSED DEVELOPMENT AND PARCELS ARE NOT LOCATED WITHIN THE 100-YEAR FLOODPLAIN & THEREFORE DO NOT IMPACT THE FLOODPLAIN.
- STREAM BUFFERS: THERE ARE NO STREAM BUFFERS LOCATED ON THE PROPERTIES
- BUILDING HEIGHT:
- 45' MAXIMUM (BUILDING IS EXISTING - ADDITION TO MATCH THE HEIGHT OF THE EXISTING BUILDING)
- BUILDING SETBACK REQUIREMENTS:
FRONT YARD: 20' MINIMUM REQUIRED
SIDE YARD: NONE REQUIRED
REAR YARD: NONE REQUIRED
- PROPOSED USE: EXISTING BUILDING TO BE RENOVATED FOR OFFICE USE
- TOTAL ACREAGE OF PARCELS: 0.196 AC.
- TOTAL LAND DISTURBED: 5,650 SF (NO EROSION CONTROL PLAN IS REQUIRED)
- SITE PHASING: PROJECT TO OCCUR IN ONE PHASE.
- CRITICAL SLOPES: NO NATURAL CRITICAL SLOPES ARE PROPOSED TO BE IMPACTED ON-SITE. CARE WILL BE TAKEN TO PREVENT THE EROSION AND SEDIMENTATION OF THE EXISTING GRADE AND TO PROTECT THE NEIGHBORING PROPERTIES, AS WELL AS THE SLOPE AND VEGETATION BETWEEN THE PROPOSED DEVELOPMENT AND ADJACENT PROPERTIES.
- PARKING REQUIREMENTS:
1 SPACE PER 500 SQ. FT. OF CFA OF OFFICE SPACE
5,800 SQ. FT./500 SQ. FT. = 12 SPACES REQUIRED FOR THE EXISTING BUILDING
TOTAL SPACES REQUIRED= 12
TOTAL SPACES PROVIDED= 13
- PUBLIC UTILITIES: THE DEVELOPMENT IS SERVED BY EXISTING PUBLIC WATER AND SEWER.
- STORMWATER MANAGEMENT AND STORM DRAINAGE: THE STORMWATER RUNOFF RATES, VOLUMES, AND VELOCITIES RESULTING FROM THIS DEVELOPMENT WILL BE IMPROVED PRIOR TO ENTERING THE CITY'S STORM SEWER SYSTEM. STORMWATER RUNOFF (QUANTITY) IS HANDLED VIA PROPOSED PAVERS AND UNDERDRAIN SYSTEM, PRIOR TO BE RELEASED INTO THE CITY'S STORM SEWER SYSTEM. THE STORMWATER RUNOFF (QUALITY) IS HANDLED VIA THE PAVERS AND ITS STONE BASE AND ITS ENCOURAGEMENT OF INFILTRATION. BASED ON THE SIZE OF THE PROPOSED SITE, NO ADDITIONAL STORMWATER MANAGEMENT OR SWM PLAN IS REQUIRED.
- AREAS DEDICATED FOR PUBLIC USE: CURRENTLY, THERE IS NO LAND ON THIS PROPERTY THAT IS PROPOSED TO BE RESERVED OR DEDICATED FOR PUBLIC USE.
- TOTAL SUBJECT PARCEL IMPERVIOUS AREAS:
EXISTING BUILDING & PAVED AREAS: 0.046 AC.
PAVED AREAS & EXISTING BUILDING TO REMAIN: 0.055 AC.
PROPOSED PERMEABLE PAVERS: 0.080 AC.
TOTAL= 0.135 AC.
- SIGNAGE- ANY SIGNAGE ADDED TO THE BUILDING WILL BE IN ACCORDANCE WITH CITY GUIDELINES AND REQUIREMENTS
- INGRESS AND EGRESS: THE EXISTING ENTRANCES/EXITS WILL UTILIZE THE EXISTING ALLEY IN THE REAR OF THE PARCEL.
- SITE TRIP GENERATION: TRAFFIC IMPACT NUMBERS ARE BASED ON THE ITE TRIP GENERATION MANUAL, 8TH EDITION. CODE 710 WAS USED FOR THE EXISTING BUILDING ASSUMING 5,800 SF OF OFFICE SPACE.
ADT RATE - 64 VPD (11.01 VPD/1,000 SF + 5,800 SF)
AM PEAK RATE - 9 VPH (7 VPH ENTER/2 VPH EXIT)
PM PEAK RATE - 9 VPH (2 VPH ENTER/7 VPH EXIT)
- EXISTING FIRE HYDRANTS SHALL CONTINUE TO BE UTILIZED FOR THE EXISTING BUILDING.

COLLINS ENGINEERING SHALL NOT HAVE AUTHORITY OVER CONTRACTOR'S WORK, SAFETY PRECAUTIONS, SCHEDULES, OR COMPLIANCE WITH LAWS AND REGULATIONS. WE SHALL NOT ASSUME RESPONSIBILITY FOR ANY CONSTRUCTION BEGUN PRIOR TO PLAN APPROVAL.

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.

CITY OF CHARLOTTESVILLE IS NOT RESPONSIBLE FOR ACCURACY OF THE GIS DATA USED IN THE PLANS AND THE CONTRACTOR MUST LOCATE ALL SURFACE AND SUB-SURFACE UTILITIES PRIOR TO ANY WORK ONSITE.

ANY SIDEWALK AND/OR CURB DAMAGE IDENTIFIED IN THE SITE VICINITY DUE TO PROJECT CONSTRUCTION ACTIVITIES AS DETERMINED BY THE CITY INSPECTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

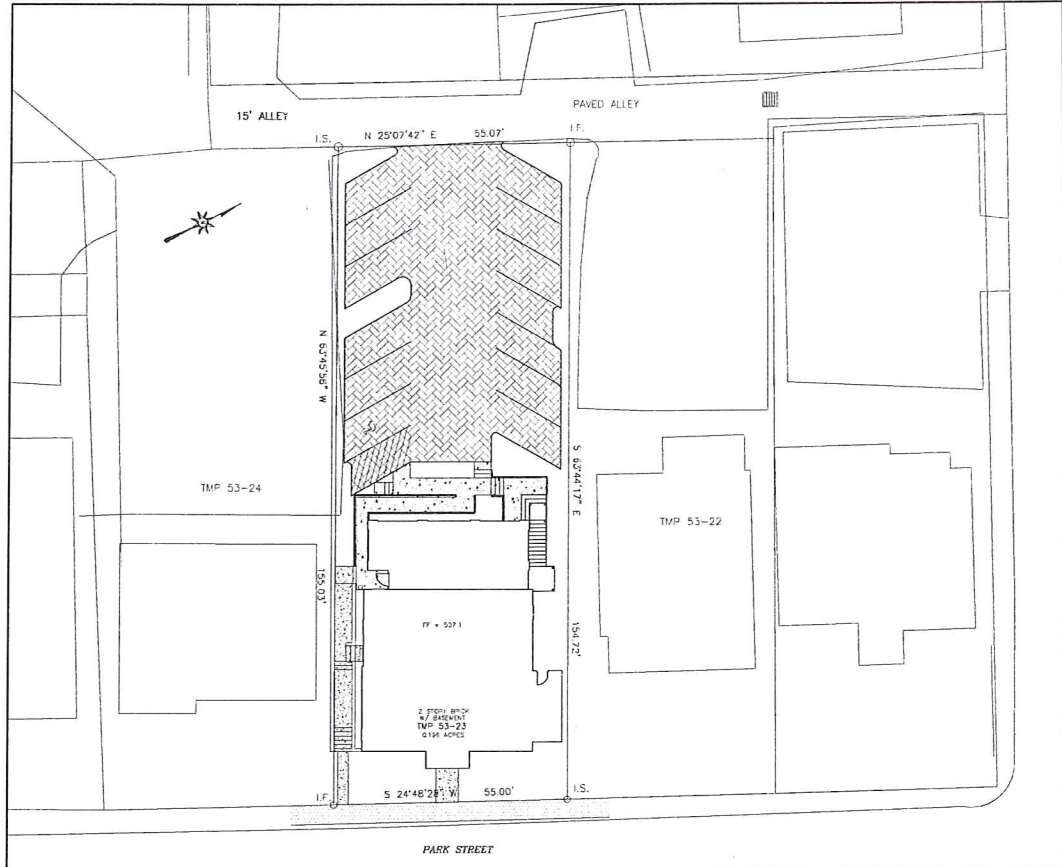
A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.

SITE AND BUILDING CONSTRUCTION SHALL MEET CURRENT IBC ACCESSIBILITY REQUIREMENTS.

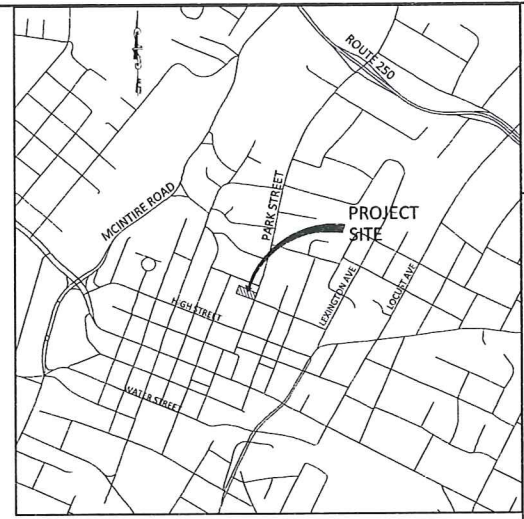
NOTES:

- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.
- IFC 505-THE BUILDING STREET NUMBER TO BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS.
- IFC 506.1-AN APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTESVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY. A KNOX BOX KEY BOX CAN BE ORDERED BY GOING ONLINE TO WWW.KNOXBOX.COM. THE KNOX BOX ALLOWS ENTRY TO THE BUILDING WITHOUT DAMAGING THE LOCK AND DOOR SYSTEM.
- FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBSTRUCTED BY LANDSCAPING, PARKING OR OTHER OBJECTS. THE FIRE MARSHAL'S OFFICE NO LONGER ALLOWS ANY TYPE OF LANDSCAPING TO BE PLACED IN FRONT OF AND WITHIN 5 FEET OF FIRE HYDRANTS, FIRE PUMP TEST HEADERS, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHTING 75,000 LBS.
- IFC 1404.1-SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES.
- IFC 1404.2-WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
- IFC 1410.1-ACCESS TO THE BUILDING DURING DEMOLITION AND CONSTRUCTION SHALL BE MAINTAINED.
- IFC 1404.6-CUTTING AND WELDING OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 26, OF THE INTERNATIONAL FIRE CODE, ADDRESSING WELDING AND HOTWORK OPERATIONS.
- IFC 1414.1-FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
- REQUIRED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.
- OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13 FEET 6 INCHES.
- ALL SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE IX, SECTION 34-1020 CITY CODE.
- A SIDEWALK CLOSURE PERMIT IS NEEDED, THE DEVELOPER WILL BE REQUIRED TO PROVIDE ADEQUATE PEDESTRIAN BARRIERS AND PEDESTRIAN CIRCULATION. SEE PUBLIC WAY DURING CONSTRUCTION POLICY (PEDESTRIAN BARRIER).

BMP DATA FOR THIS PROJECT:	
BMP DESIGNATION/PROTECTION:	PRELIMINARY DESIGN, LLC 455 2ND STREET SE, SUITE 402 CHARLOTTESVILLE, VA 22902
TYPE OF BMP INSTALLED:	PAVERS
GEOGRAPHIC LOCATION (HYDROLOGIC UNIT CODE):	INTERSECTION OF PARK STREET & MAPLE STREET (SOL, GRD, JP TYPE 123C)
WATERBODY THE BMP IS ULTIMATELY DISCHARGING INTO:	MEADOW CREEK, WHICH THEN FEEDS THE RIVANOA RIVER
# OF ACRES TREATED BY BMP:	0.1960 AC
DESCRIPTION OF REQUIRED MAINTENANCE:	THE MAINTENANCE PROGRAM FOR THE FACILITY SHALL CONSIST OF AN ANNUAL VISUAL INSPECTION OF THE SYSTEM AFTER THE WINTER SEASON AND AFTER ANY STORM EVENT THAT EXCEEDS THE 10-YEAR STORM EVENT. STREET SWEEPINGS SHALL BE COMPLETED ANNUALLY TO PROVIDE PROPER MAINTENANCE AND REDUCE THE RISK OF CLOSURES. ANY CLOSURES AND ADJACENT TO, TRUCKS SHALL BE GIVEN SPECIAL ATTENTION DUE TO THE ADDITIONAL RISK OF CLOSURES.
OWNER'S SIGNATURE AGREEING TO MAINTAIN FACILITY:	



SHEET LAYOUT
SCALE: 1" = 50'



VICINITY MAP
SCALE: 1" = 1000'

SHEET INDEX

TITLE	SHEET
COVER SHEET	1
EXISTING CONDITIONS & DEMOLITION PLAN	2
SITE PLAN	3
NOTES & DETAILS	4
TOTAL SHEETS:	4

LEGEND

- ROADS**
- EXISTING CULVERT
 - CULVERT
 - DROP INLET & STRUCTURE NO.
 - CURB
 - CURB & CUTTER
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED VEGETATIVE COVER
 - PROPOSED BIOPILER VEGETATION
 - EC-3A DITCH
 - DEPTH OF EC-3A DITCH
 - EC-2 DITCH
 - DEPTH OF EC-2 DITCH
 - EARTH DITCH
 - DRIVEWAY CULVERT
 - BENCH MARK
 - CLEARING LIMITS
 - VDOT STANDARD STOP SIGN
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - IBC DENOTES TOP/BACK OF CURB
 - 1/8 DENOTES TOP OF BOX

SIGNATURE PANEL

DIRECTOR, NEIGHBORHOOD DEVELOPMENT



REVISIONS

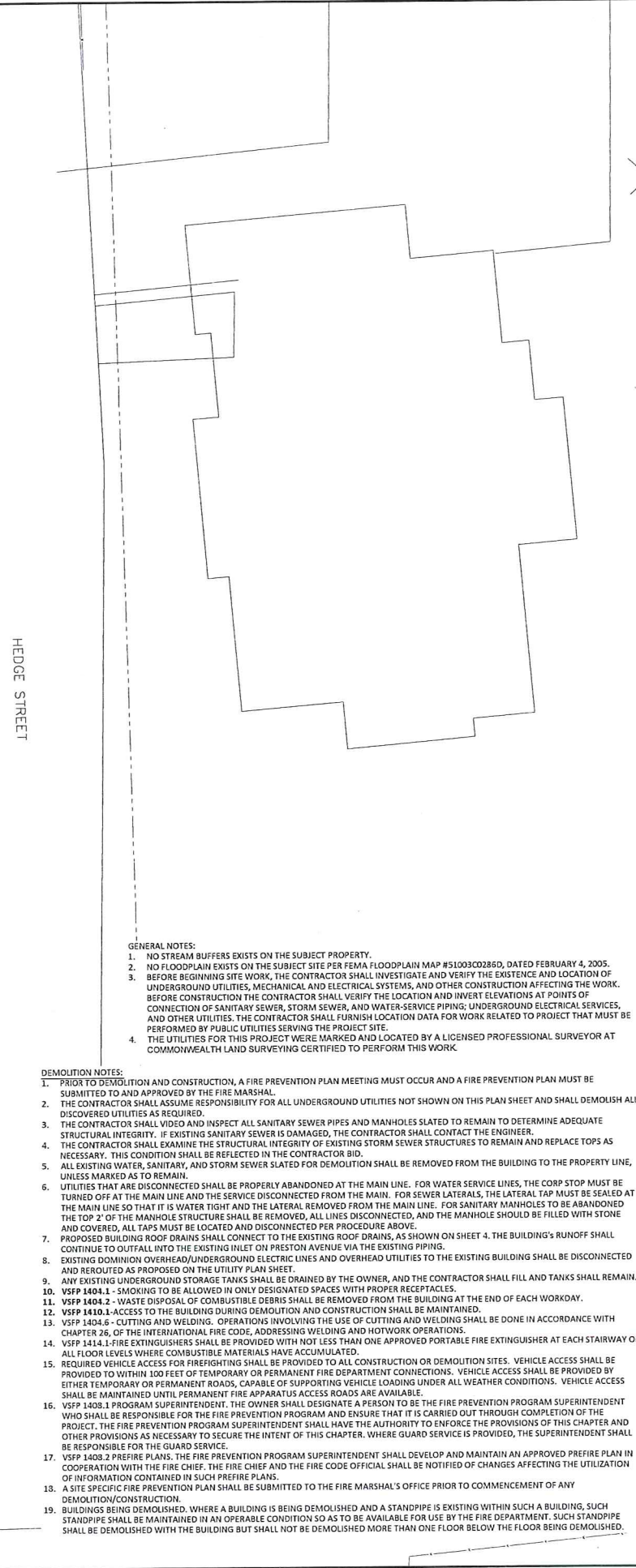
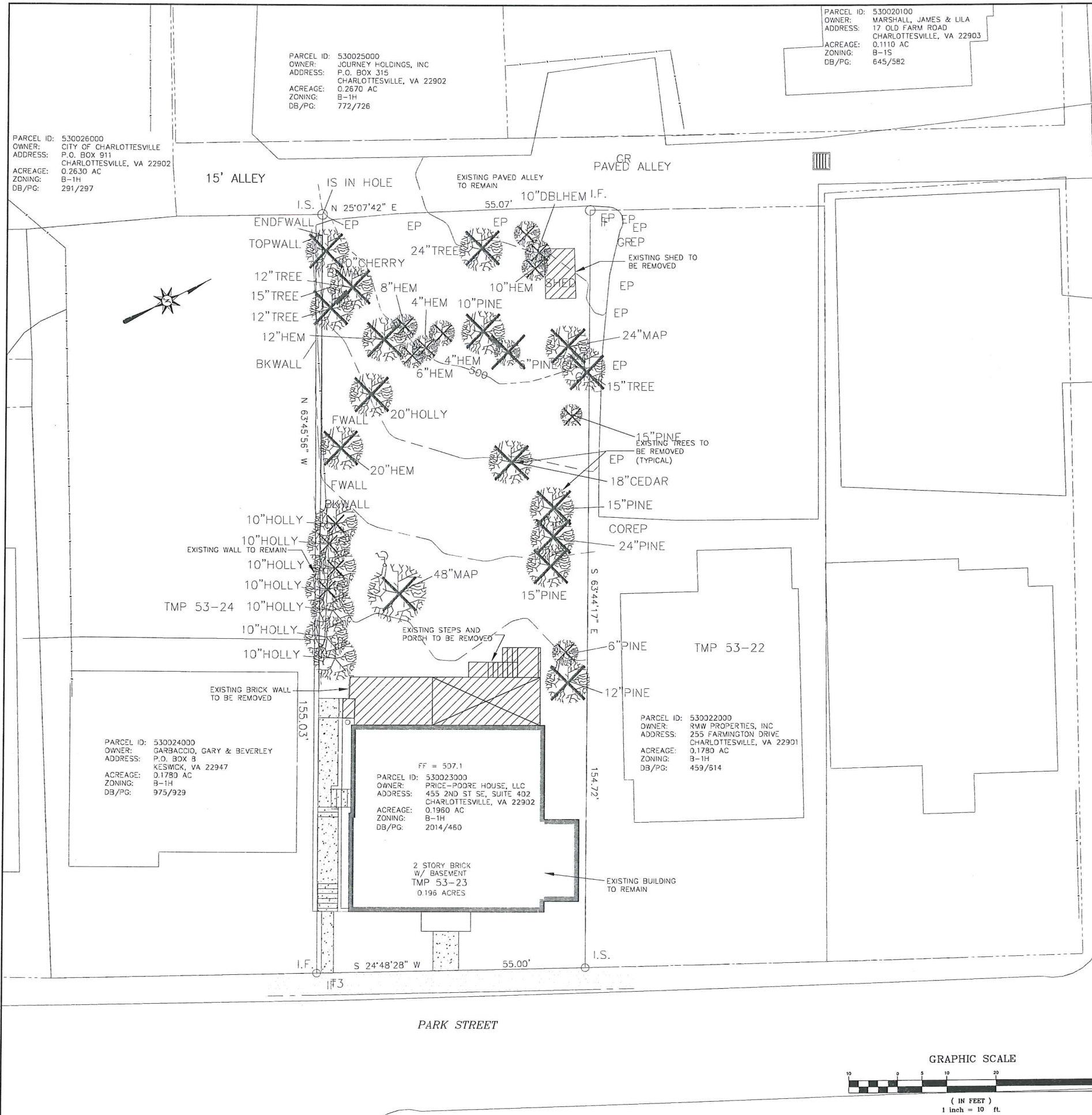
DATE	REVISION DESCRIPTION
05/12/14 <td>INITIAL SUBMISSION OF FINAL SITE PLAN</td>	INITIAL SUBMISSION OF FINAL SITE PLAN

COLLINS ENGINEERING
200 GARRETT STREET, SUITE K-CHARLOTTESVILLE, VA 22902-434.293.3719

427 PARK STREET SITE PLAN AMENDMENT
COVER SHEET

PROJECT	JOB NO.
	122077
SHEET	SCALE
	N/A
	SHEET NO.
	1

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- GENERAL NOTES:
- NO STREAM BUFFERS EXISTS ON THE SUBJECT PROPERTY.
 - NO FLOODPLAIN EXISTS ON THE SUBJECT SITE PER FEMA FLOODPLAIN MAP #5100300285D, DATED FEBRUARY 4, 2005.
 - BEFORE BEGINNING SITE WORK, THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES, MECHANICAL AND ELECTRICAL SYSTEMS, AND OTHER CONSTRUCTION AFFECTING THE WORK. BEFORE CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE LOCATION AND INVERT ELEVATIONS AT POINTS OF CONNECTION OF SANITARY SEWER, STORM SEWER, AND WATER-SERVICE PIPING; UNDERGROUND ELECTRICAL SERVICES, AND OTHER UTILITIES. THE CONTRACTOR SHALL FURNISH LOCATION DATA FOR WORK RELATED TO PROJECT THAT MUST BE PERFORMED BY PUBLIC UTILITIES SERVING THE PROJECT SITE.
 - THE UTILITIES FOR THIS PROJECT WERE MARKED AND LOCATED BY A LICENSED PROFESSIONAL SURVEYOR AT COMMONWEALTH LAND SURVEYING CERTIFIED TO PERFORM THIS WORK.

- DEMOLITION NOTES:
- PRIOR TO DEMOLITION AND CONSTRUCTION, A FIRE PREVENTION PLAN MEETING MUST OCCUR AND A FIRE PREVENTION PLAN MUST BE SUBMITTED TO AND APPROVED BY THE FIRE MARSHAL.
 - THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL UNDERGROUND UTILITIES NOT SHOWN ON THIS PLAN SHEET AND SHALL DEMOLISH ALL DISCOVERED UTILITIES AS REQUIRED.
 - THE CONTRACTOR SHALL VIDEO AND INSPECT ALL SANITARY SEWER PIPES AND MANHOLES SLATED TO REMAIN TO DETERMINE ADEQUATE STRUCTURAL INTEGRITY. IF EXISTING SANITARY SEWER IS DAMAGED, THE CONTRACTOR SHALL CONTACT THE ENGINEER.
 - THE CONTRACTOR SHALL EXAMINE THE STRUCTURAL INTEGRITY OF EXISTING STORM SEWER STRUCTURES TO REMAIN AND REPLACE TOPS AS NECESSARY. THIS CONDITION SHALL BE REFLECTED IN THE CONTRACTOR BID.
 - ALL EXISTING WATER, SANITARY, AND STORM SEWER SLATED FOR DEMOLITION SHALL BE REMOVED FROM THE BUILDING TO THE PROPERTY LINE, UNLESS MARKED AS TO REMAIN.
 - UTILITIES THAT ARE DISCONNECTED SHALL BE PROPERLY ABANDONED AT THE MAIN LINE. FOR WATER SERVICE LINES, THE CORP STOP MUST BE TURNED OFF AT THE MAIN LINE AND THE SERVICE DISCONNECTED FROM THE MAIN. FOR SEWER LATERALS, THE LATERAL TAP MUST BE SEALED AT THE MAIN LINE SO THAT IT IS WATER TIGHT AND THE LATERAL REMOVED FROM THE MAIN LINE. FOR SANITARY MANHOLES TO BE ABANDONED THE TOP 2' OF THE MANHOLE STRUCTURE SHALL BE REMOVED, ALL LINES DISCONNECTED, AND THE MANHOLE SHOULD BE FILLED WITH STONE AND COVERED. ALL TAPS MUST BE LOCATED AND DISCONNECTED PER PROCEDURE ABOVE.
 - PROPOSED BUILDING ROOF DRAINS SHALL CONNECT TO THE EXISTING ROOF DRAINS, AS SHOWN ON SHEET 4. THE BUILDING'S RUNOFF SHALL CONTINUE TO OUTFALL INTO THE EXISTING INLET ON PRESTON AVENUE VIA THE EXISTING PIPING.
 - EXISTING DOMINION OVERHEAD/UNDERGROUND ELECTRIC LINES AND OVERHEAD UTILITIES TO THE EXISTING BUILDING SHALL BE DISCONNECTED AND REROUTED AS PROPOSED ON THE UTILITY PLAN SHEET.
 - ANY EXISTING UNDERGROUND STORAGE TANKS SHALL BE DRAINED BY THE OWNER, AND THE CONTRACTOR SHALL FILL AND TANKS SHALL REMAIN.
 - SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES.
 - VSPF 1404.2 - WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
 - VSPF 1410.1 - ACCESS TO THE BUILDING DURING DEMOLITION AND CONSTRUCTION SHALL BE MAINTAINED.
 - VSPF 1404.8 - CUTTING AND WELDING. OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 28, OF THE INTERNATIONAL FIRE CODE, ADDRESSING WELDING AND HOTWORK OPERATIONS.
 - VSPF 1414.1 - FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 - REQUIRED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.
 - VSPF 1403.1 - PROGRAM SUPERINTENDENT. THE OWNER SHALL DESIGNATE A PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR THE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT. THE FIRE PREVENTION PROGRAM SUPERINTENDENT SHALL HAVE THE AUTHORITY TO ENFORCE THE PROVISIONS OF THIS CHAPTER AND OTHER PROVISIONS AS NECESSARY TO SECURE THE INTENT OF THIS CHAPTER. WHERE GUARD SERVICE IS PROVIDED, THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE GUARD SERVICE.
 - VSPF 1403.2 - FIRE PLANS. THE FIRE PREVENTION PROGRAM SUPERINTENDENT SHALL DEVELOP AND MAINTAIN AN APPROVED PREFIRE PLAN IN COOPERATION WITH THE FIRE CHIEF. THE FIRE CHIEF AND THE FIRE CODE OFFICIAL SHALL BE NOTIFIED OF CHANGES AFFECTING THE UTILIZATION OF INFORMATION CONTAINED IN SUCH PREFIRE PLANS.
 - A SITE SPECIFIC FIRE PREVENTION PLAN SHALL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE PRIOR TO COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION.
 - BUILDINGS BEING DEMOLISHED. WHERE A BUILDING IS BEING DEMOLISHED AND A STANDPIPE IS EXISTING WITHIN SUCH A BUILDING, SUCH STANDPIPE SHALL BE MAINTAINED IN AN OPERABLE CONDITION SO AS TO BE AVAILABLE FOR USE BY THE FIRE DEPARTMENT. SUCH STANDPIPE SHALL BE DEMOLISHED WITH THE BUILDING BUT SHALL NOT BE DEMOLISHED MORE THAN ONE FLOOR BELOW THE FLOOR BEING DEMOLISHED.

PARCEL ID: 530020100
 OWNER: MARSHALL, JAMES & LILA
 ADDRESS: 17 OLD FARM ROAD
 CHARLOTTEVILLE, VA 22903
 ACREAGE: 0.1110 AC
 ZONING: B-1S
 DB/PG: 645/582

PARCEL ID: 530025000
 OWNER: JOURNEY HOLDINGS, INC
 ADDRESS: P.O. BOX 315
 CHARLOTTEVILLE, VA 22902
 ACREAGE: 0.2670 AC
 ZONING: B-1H
 DB/PG: 772/726

PARCEL ID: 530026000
 OWNER: CITY OF CHARLOTTEVILLE
 ADDRESS: P.O. BOX 911
 CHARLOTTEVILLE, VA 22902
 ACREAGE: 0.2630 AC
 ZONING: B-1H
 DB/PG: 291/297

PARCEL ID: 530022000
 OWNER: RWV PROPERTIES, INC
 ADDRESS: 255 FARMINGTON DRIVE
 CHARLOTTEVILLE, VA 22901
 ACREAGE: 0.1780 AC
 ZONING: B-1H
 DB/PG: 459/614

FF = 507.1
 PARCEL ID: 530023000
 OWNER: PRICE-POORE HOUSE, LLC
 ADDRESS: 455 2ND ST SE, SUITE 402
 CHARLOTTEVILLE, VA 22902
 ACREAGE: 0.1980 AC
 ZONING: B-1H
 DB/PG: 2014/460

PARCEL ID: 530024000
 OWNER: GARBACCIO, GARY & BEVERLEY
 ADDRESS: P.O. BOX 8
 KESWICK, VA 22947
 ACREAGE: 0.1780 AC
 ZONING: B-1H
 DB/PG: 975/929

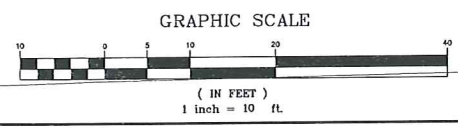


REVISIONS	
DATE	REVISION DESCRIPTION
05/12/14	INITIAL SUBMISSION OF FINAL SITE PLAN
06/16/14	SUBMISSION OF SITE PLAN AMENDMENT
07/25/14	REVISIONS OF SITE PLAN AMENDMENT
09/03/14	REVISIONS OF SITE PLAN AMENDMENT BASED ON BAR COMMENTS

COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K-CHARLOTTEVILLE, VA 22902-434.293.3719

427 PARK STREET SITE PLAN AMENDMENT
 EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT SHEET
 JOB NO: 122077
 SCALE: 1"=10'
 SHEET NO: 2



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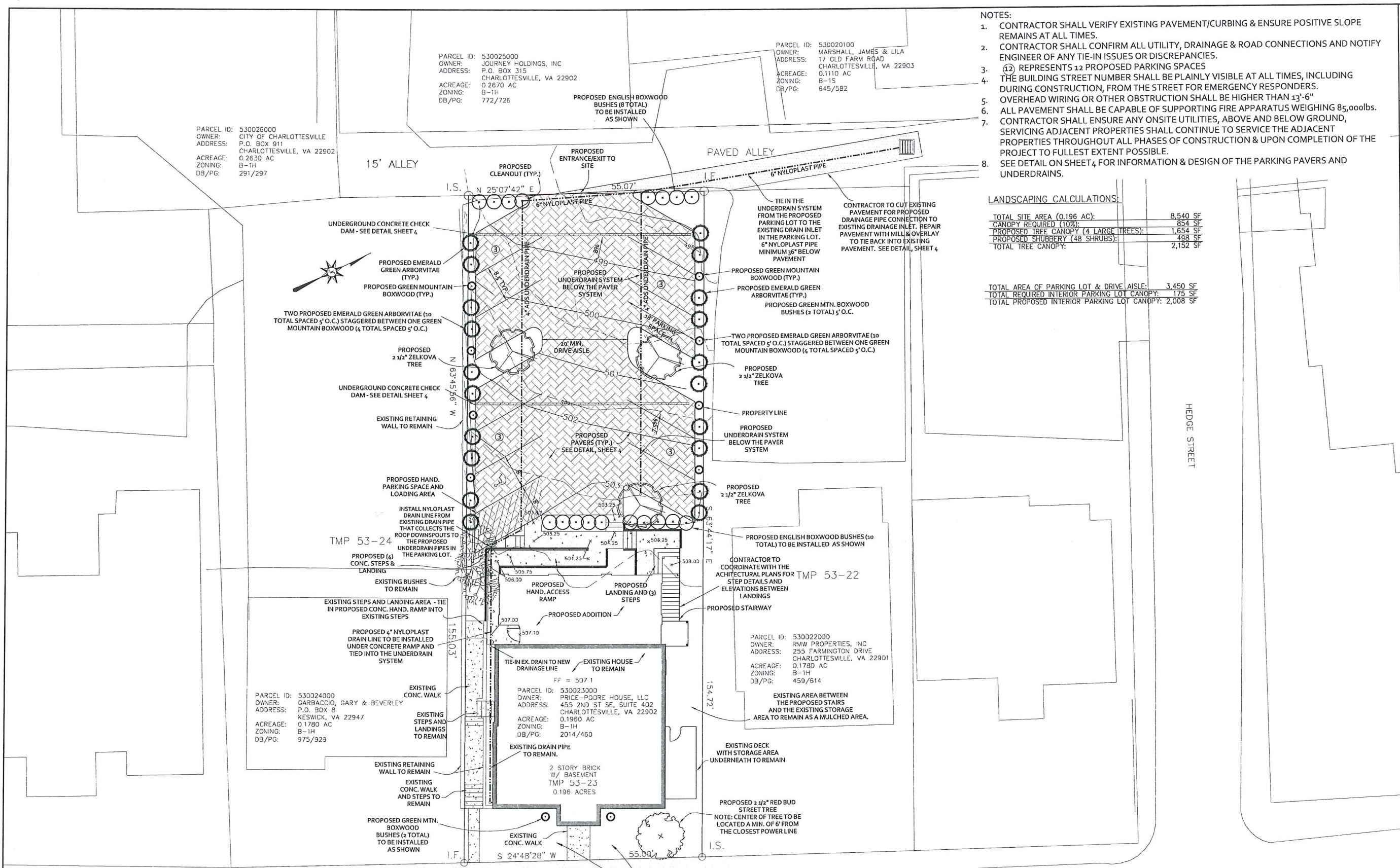


- NOTES:
- CONTRACTOR SHALL VERIFY EXISTING PAVEMENT/CURBING & ENSURE POSITIVE SLOPE REMAINS AT ALL TIMES.
 - CONTRACTOR SHALL CONFIRM ALL UTILITY, DRAINAGE & ROAD CONNECTIONS AND NOTIFY ENGINEER OF ANY TIE-IN ISSUES OR DISCREPANCIES.
 - ③ REPRESENTS 12 PROPOSED PARKING SPACES
 - THE BUILDING STREET NUMBER SHALL BE PLAINLY VISIBLE AT ALL TIMES, INCLUDING DURING CONSTRUCTION, FROM THE STREET FOR EMERGENCY RESPONDERS.
 - OVERHEAD WIRING OR OTHER OBSTRUCTION SHALL BE HIGHER THAN 13'-6"
 - ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 85,000LBS.
 - CONTRACTOR SHALL ENSURE ANY ONSITE UTILITIES, ABOVE AND BELOW GROUND, SERVICING ADJACENT PROPERTIES SHALL CONTINUE TO SERVICE THE ADJACENT PROPERTIES THROUGHOUT ALL PHASES OF CONSTRUCTION & UPON COMPLETION OF THE PROJECT TO FULLEST EXTENT POSSIBLE.
 - SEE DETAIL ON SHEET 4 FOR INFORMATION & DESIGN OF THE PARKING PAVERS AND UNDERDRAINS.

LANDSCAPING CALCULATIONS:

TOTAL SITE AREA (0.196 AC):	8,540 SF
CANOPY REQUIRED (10%):	854 SF
PROPOSED TREE CANOPY (4 LARGE TREES):	1,634 SF
PROPOSED SHRUBBERY (48 SHRUBS):	498 SF
TOTAL TREE CANOPY:	2,152 SF

TOTAL AREA OF PARKING LOT & DRIVE AISLE:	3,450 SF
TOTAL REQUIRED INTERIOR PARKING LOT CANOPY:	175 SF
TOTAL PROPOSED INTERIOR PARKING LOT CANOPY:	2,008 SF



PARCEL ID: 530025000
 OWNER: JOURNEY HOLDINGS, INC
 ADDRESS: P.O. BOX 315 CHARLOTTESVILLE, VA 22902
 ACREAGE: 0.2670 AC
 ZONING: B-1H
 DB/PG: 772/726

PARCEL ID: 530020100
 OWNER: MARSHALL, JAMES & LILA
 ADDRESS: 17 OLD FARM ROAD CHARLOTTESVILLE, VA 22903
 ACREAGE: 0.1110 AC
 ZONING: B-1S
 DB/PG: 645/582

PARCEL ID: 530026000
 OWNER: CITY OF CHARLOTTESVILLE
 ADDRESS: P.O. BOX 911 CHARLOTTESVILLE, VA 22902
 ACREAGE: 0.2630 AC
 ZONING: B-1H
 DB/PG: 291/297

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 DB/PG: 459/614

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 OWNER: GARBACCIO, GARY & BEVERLEY
 ADDRESS: P.O. BOX 8 KESWICK, VA 22947
 ACREAGE: 0.1780 AC
 ZONING: B-1H
 DB/PG: 975/923

PARCEL ID: 530023000
 OWNER: PRICE-POORE HOUSE, LLC
 ADDRESS: 455 2ND ST SE, SUITE 402 CHARLOTTESVILLE, VA 22902
 ACREAGE: 0.1960 AC
 ZONING: B-1H
 DB/PG: 2014/460

PLANT SCHEDULE

SYM	BOTANICAL	COMMON NAME	SIZE	CANOPY (sq)	QUANTITY	TOTAL SITE COVERAGE (sq)
TREES						
CC	CERCIS CANADENSIS & CVS.	EASTERN REDBUD	2 1/2" cal.	124	1	124
ZS	ZELKOVA SERRATA	VILLAGE GREEN ZELKOVA	2 1/2" cal.	510	3	1,530
SHRUBS						
EB	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	ENGLISH BOXWOOD	24" min.	11	18	198
EA	THUJA OCCIDENTALIS & CVS.	EMERALD GREEN ARBORVITAE	4'-5'	10	20	200
GB	BUXUS & CVS.	GREEN MOUNTAIN BOXWOOD	24" ht. min	10	10	100
TOTAL CANOPY						2,152

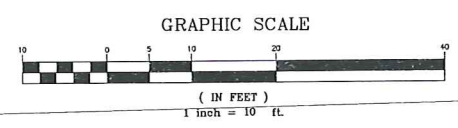
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DATE	REVISION DESCRIPTION
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CE COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K.-CHARLOTTESVILLE, VA 22902-434.293.3719

PROJECT: 427 PARK STREET SITE PLAN AMENDMENT
 SHEET: SITE PLAN

JOB NO: 122077
 SCALE: 1"=10'
 SHEET NO: 3



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