

LIGHTING LEGEND	
	Small Pendant
	4 " Ø Recessed - Can
	Pendant
	Pendant linear
	Track Light
	Sconce Light
	2x2 Fluorescent Recessed - Non Dimmable
	Surface Mounted
	Fluorescent Surface Mntd. Fixture
	Switch
	Switch 3 Way
	Dimmer Switch
	Dimmer Switch 3 Way
NOTE:	
-All Switches to be dimmable unless otherwise noted.	
-All Switches, outlets, and devices to be white, toggle style unless otherwise noted.	

BUILDING INFORMATION	
YEAR BUILT:	1920
GROSS SQUARE FOOTAGE:	2,236
USE GROUP:	B - BUSINESS
OCCUPANCY LOAD:	23
TAX MAP 33, PARCEL 238	
CONSTRUCTION TYPE:	3B
ZONING:	DH
BUILDING HEIGHT:	3 STORIES

DOOR SCHEDULE	
1	3-0 x 7-0 Aluminum Storefront w/ 30" Sidelite
2	3-0 x 6-8 Solid Core Flush Wood Door - Pocket
3	3-0 x 6-8 Solid Core Flush Wood Door
4	E.T.R.
5	E.T.R.
6	E.T.R.
7	E.T.R. - N.I.C.
8	E.T.R. - keyed lock
9	E.T.R.
10	E.T.R.
11	E.T.R.
12	E.T.R.
13	E.T.R. - Rehang & Flip Door Swing

SHEET INDEX	
A0.0	- COVER SHEET & NOTES
A0.1	- EXISTING/DEMO PLAN
A1.0	- FLOOR PLAN
A2.0	- FLOORING & FINISH PLAN
A3.0	- FURNITURE & MILLWORK PLAN
A4.0	- RCP/LIGHTING
A5.0	- ELECTRICAL/POWER PLAN
A6.0	- HVAC/HOOD PLAN
A7.0	- ROOF PLAN
A8.0	- PLUMBING PLAN & SCHEDULES
A9.0	- INTERIOR ELEVATIONS
A9.1	- INTERIOR ELEVATIONS

GENERAL NOTES

Section 1: General Notes

Contractor shall understand that the work specified herein and shown on the drawings shall be a finished and working job. Contractor is responsible for filing and securing of all necessary permits with the City of Charlottesville, Virginia. The contractor shall thoroughly familiarize themselves regarding the condition of the site, location of utility connections, and the construction and finish of the entire project.

In general, the Contractor shall notify the Architect at any time there is need of clarification or interpretation of the Contract Documents. Architect shall not be liable for any changes, revisions, or deviations from the drawings by the engineer, contractor and/or owner without written approval from the Architect.

Contractor shall carefully examine all drawings, specifications, and other information given to the Contractor by the Architect as to materials and methods of construction. The Contractor shall consult with the Architect should any inconsistency develop between the drawings and/or specifications, and in no case shall the Contractor proceed with the work in uncertainty.

Contractor to verify all conditions and dimensions in field. This is to include grades, bearing heights, and existing structures.

Contractor shall furnish all material, labor, tools, supplies, equipment, transportation, superintendence, temporary construction of every nature, insurance, taxes, contributions and all services and facilities, unless specifically excepted, and install all materials, items and equipment required to complete the construction of the Project, as set forth in the Contract Documents.

Contractor shall follow all codes and standards having jurisdiction.

Section 2: Concrete

The bottom of all concrete footers to be a minimum of 18" below grade.

All footing excavation shall be plumb, straight and free of all loose materials and water.

No concrete is to be placed without approval from the building official.

Prior to the pouring of any finish slab concrete work, the Contractor is to verify all dimensions, locations and elevations of all recesses, ledges, steps, electrical sleeves, floor outlet locations, plumbing sleeves and rough-in locations with drawings, Architect and Owner.

Concrete shall not be placed during freezing or rainy weather.

All concrete exposed to weather shall be air entrained by liquid additive to 6-6.5%.

Minimum concrete coverage of reinforcing steel rebar shall be:

1. footings: 3" bottom, 3" sides and 2" top
2. grade beams: 3" bottom, 3" sides and 2" top
3. slab: 2 1/2" from vapor barrier

All concrete construction shall conform to current uniform building codes.

Section 3: Framing - Walls, Floors, Roof

Framing connectors shall be Simpson Strong-tie or approved equal.

Sill or base plates, wood in contact with concrete foundation, wood exposed to weather and where noted "treated" shall be pressure treated with water repellent preservative containing chlorinated phenols or wolman salts preservative. Fasteners for such lumber should be approved for such application.

All interior wall studs shall be full length 2x4 SPF wood studs at 24" O.C.

For multiple members nailed together provide a minimum of two rows of 16d nails through to each member at 6" o.c. maintain 1 1/2" edge distance from top and bottom.

All interior wood framing shall have a maximum moisture content of 19% at the time of installation.

Section 4: Mechanical, Electrical and Plumbing

Mechanical:

Verify final A/C and heating input & load requirements w/ Architect prior to installation.

See attached HVAC drawings and Specifications provided by HVAC Contractor.

As recommended by ACCA and by the SMACNA (Sheet Metal and Air Conditioning Contractors National Association, Inc.) All ductwork will be sealed and shall not exceed 10% leakage.

Principal openings through the framing and foundation are shown on these drawings. The general contractor shall coordinate size and location with the mechanical contractor and Architect for any required mechanical openings.

Electrical:

Electrical work shall comply with the latest adopted standards of The Underwriters' Laboratories, The National Fire Protection Association, National Electrical Code, ANSI, NEMA, local city ordinances and all other authorities having jurisdiction, wherein the work shall apply.

All lighting fixtures (except utility lighting, closet lights & recessed lights) to be as selected by Architect. Contractor to purchase and supply fixture selections.

All outlets, switches & plates to be "toggle" type (white).

All electrical outlets to be located at 12" above finished floor except where noted. All switches & dimmers to be located at 36" above finished floor except where noted.

All ceiling fixtures to be centered in the space unless noted otherwise.

Plumbing:

All plumbing work shall conform to requirements of national plumbing code; city, state, and county plumbing and health codes; and/or local ordinances.

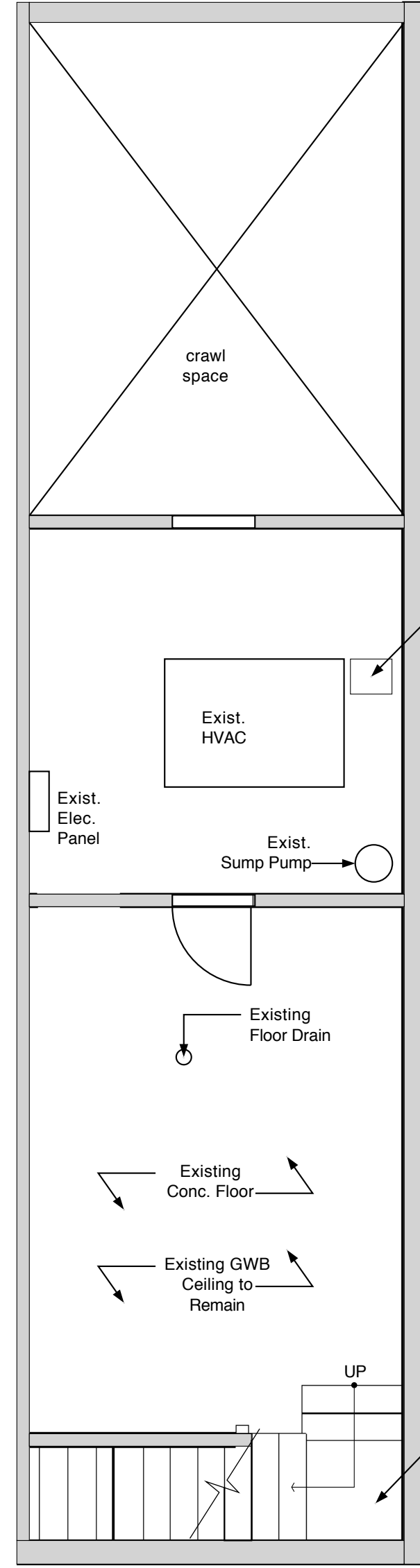
All hot and cold piping shall be installed inside of building insulation to prevent freezing.

All plumbing fixtures to be as selected by Architect. Contractor to purchase and supply fixture selections.

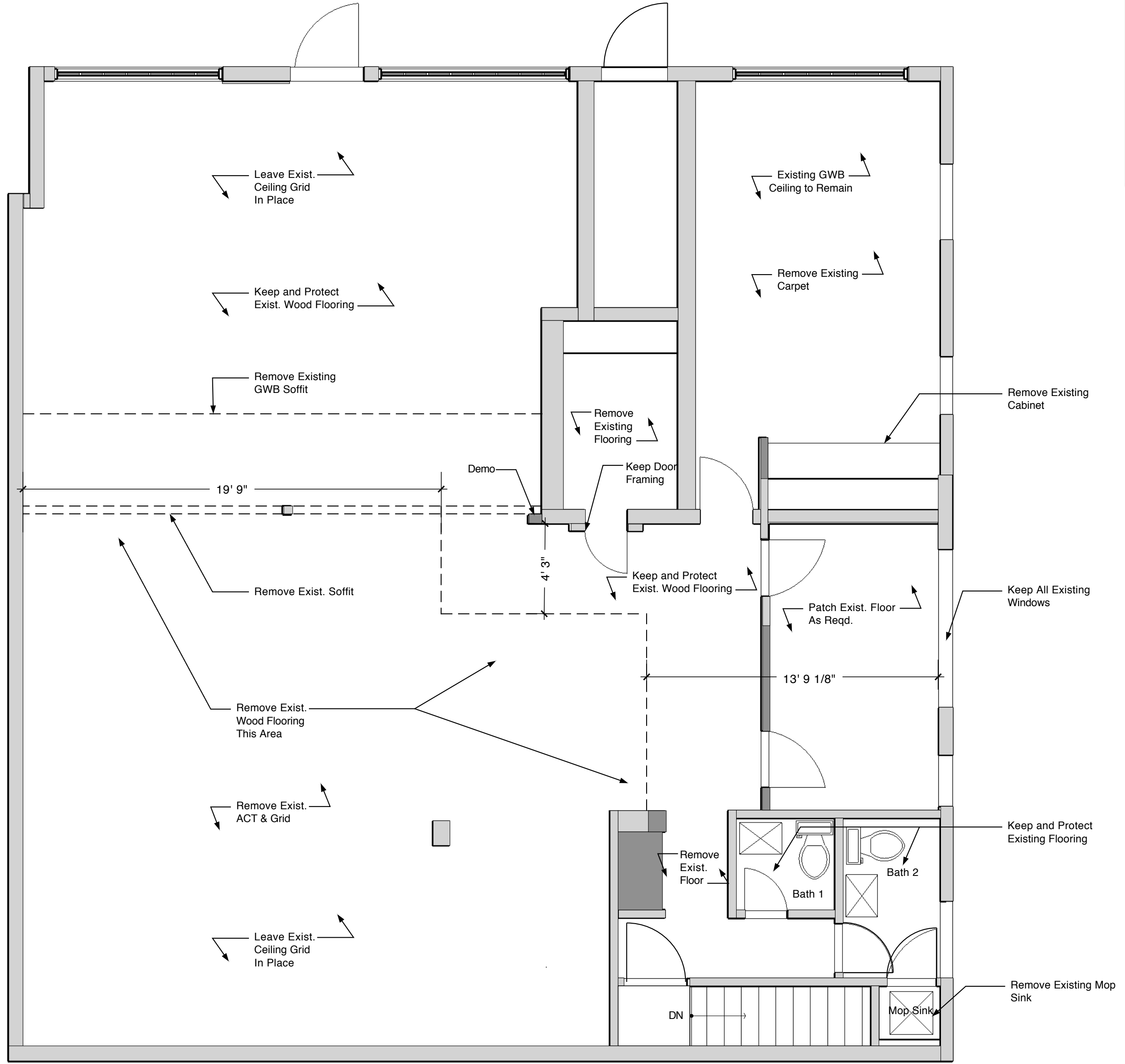
Section 5: Thermal Protection

All windows to be Pella Proline Series wood clad operable units in white exterior (unless otherwise noted). Hardware to be standard crank handle in brown. All operable windows to include removable screens in brown.

Window and door openings provided reflect nominal frame sizes. Verify all rough opening (R.O.) sizes per manufacturer specifications. See window schedule for all window details. Contractor to submit window and door order to Architect for review prior to placing the order.

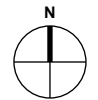


2 Demo Plan
A0.1 1/4" = 1'



1 Demo Plan
A0.1 1/4" = 1'

■ To Be Demolished
■ Existing Construction



A0.1 Existing/Demo Plan

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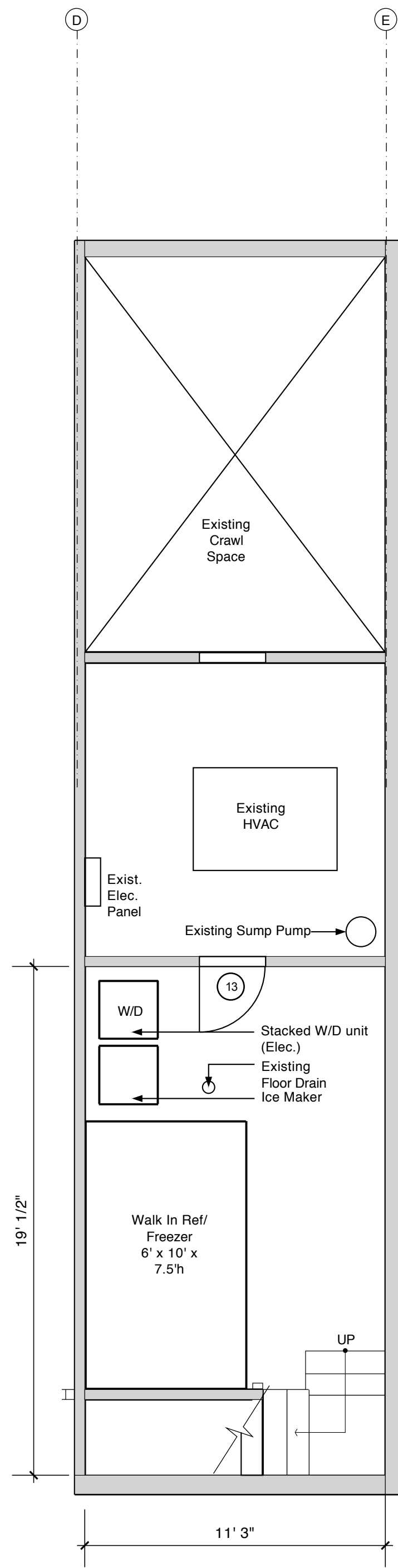
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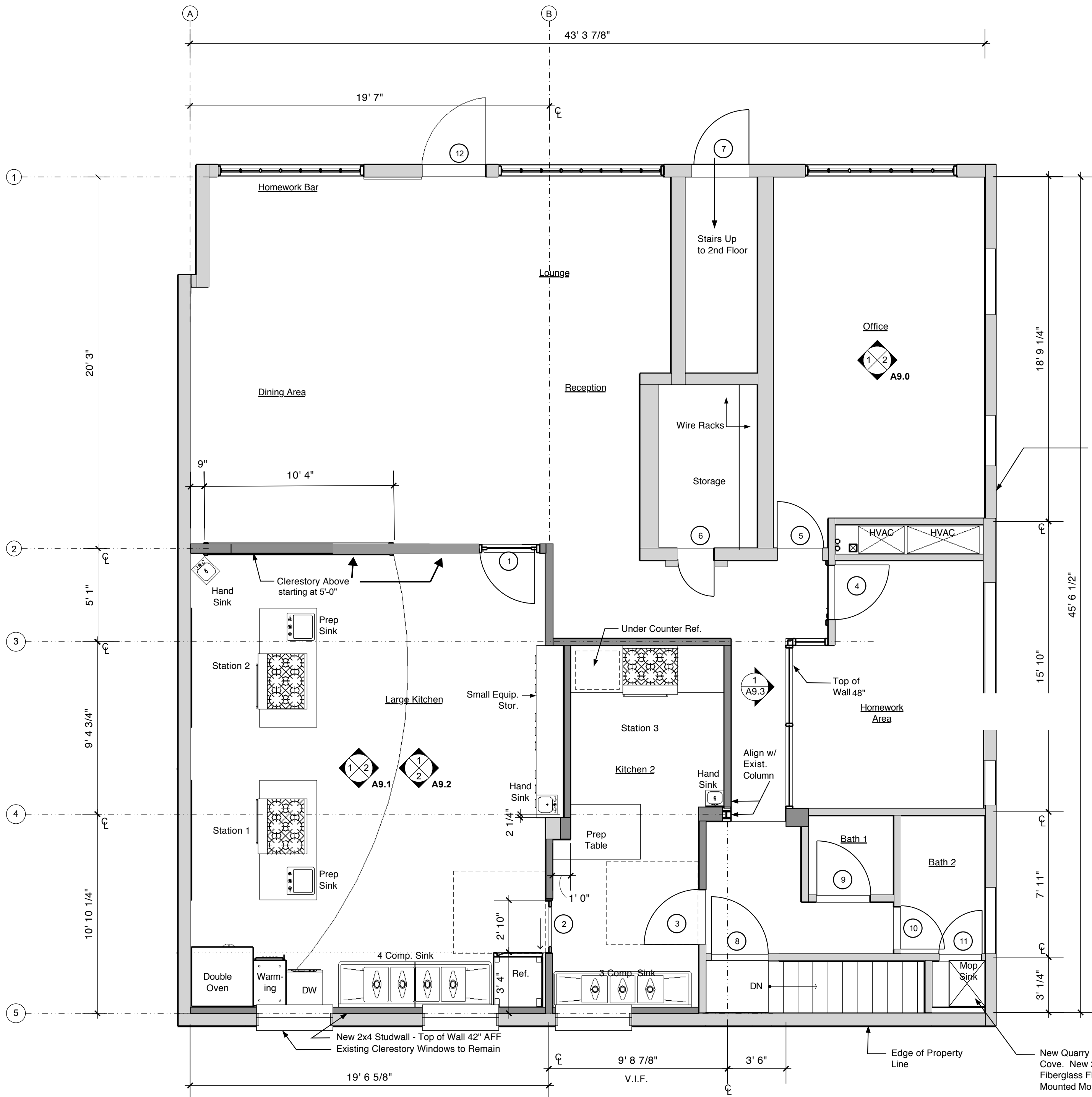


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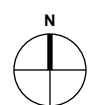


2 Basement Plan
A1.0 1/4" = 1'

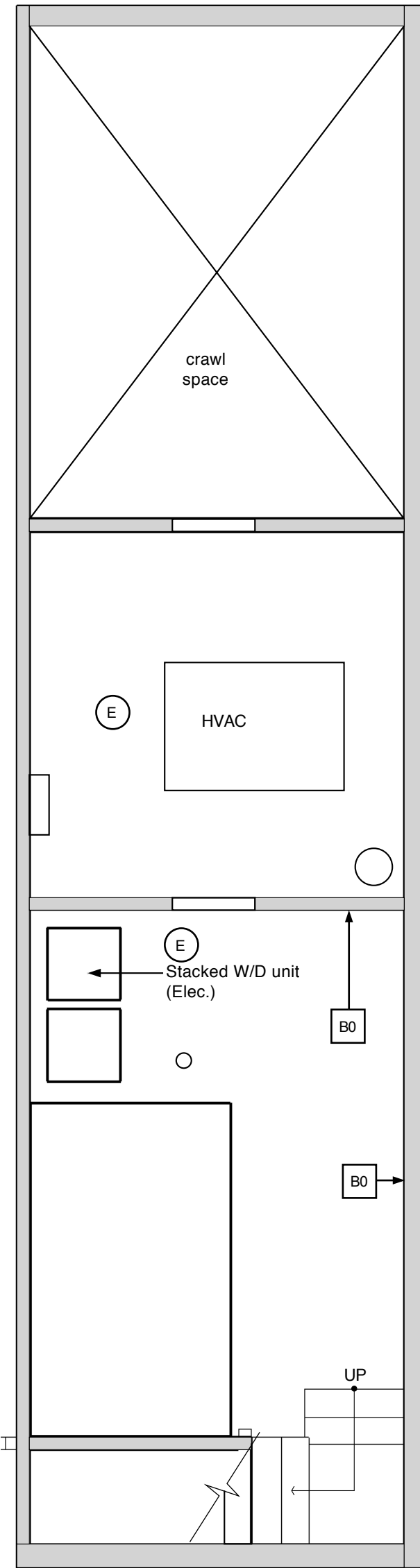


1 Floor Plan
A1.0 1/4" = 1'

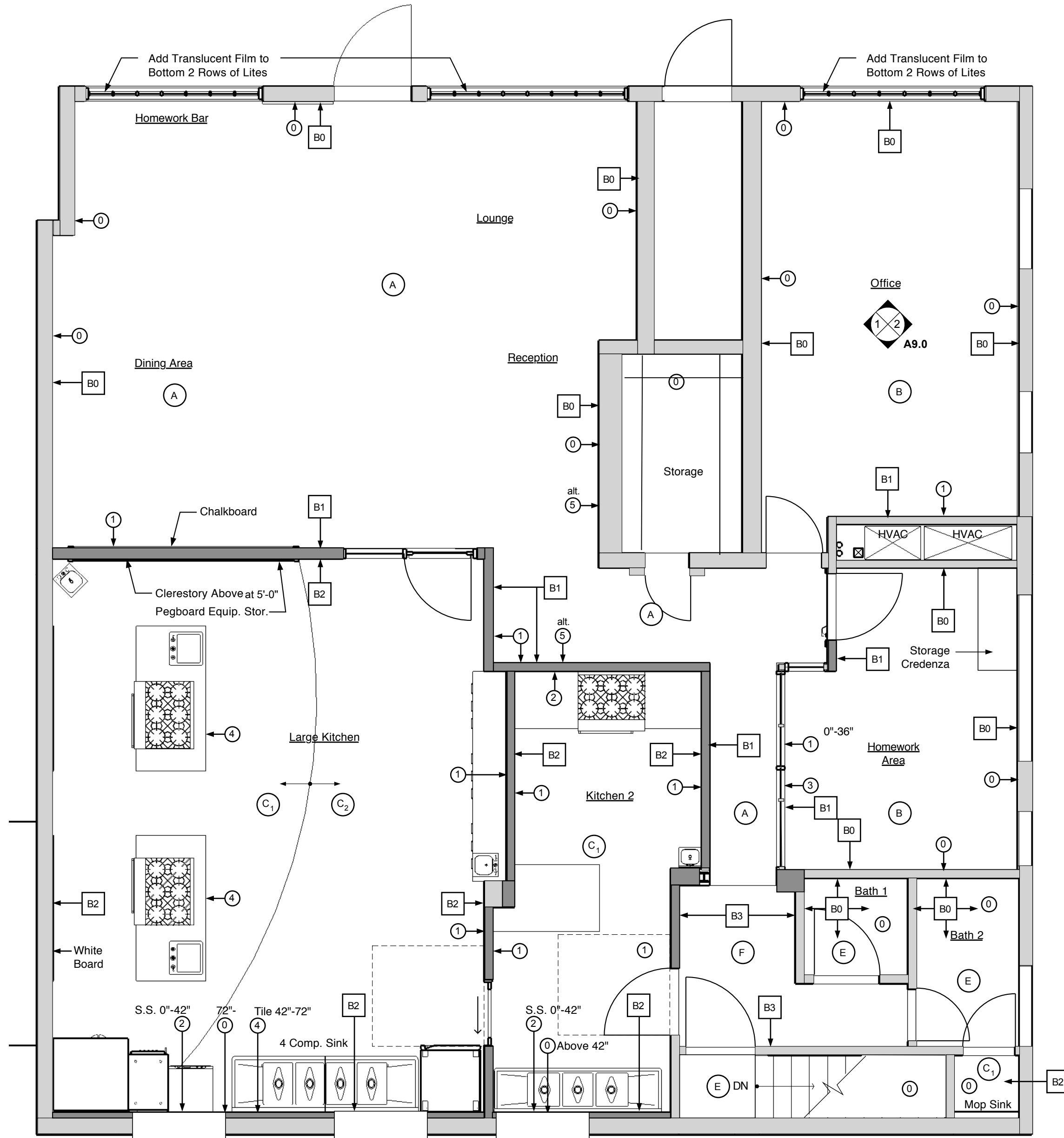
■ New Construction
■ Existing Construction



A1.0 Plan



2 Basement Plan
A2.0 1/4" = 1"



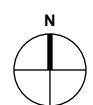
1 Finishes
A2.0 1/4" = 1"

BASEBOARD SCHEDULE	BX →
B0- Existing to Remain	
B1- 1x Wood Painted to Match Existing	
B2- Quarry Tile Cove	
B3- Vinyl Base- Black	

FINISH SCHEDULE - WALL	⊕ →
0 - Existing to Remain - Patch & Paint	
1 - New GWB, Painted	
2 - Stainless Steel	
3 - Half Height Wall with Glass Storefront	
4 - Tile (Wall)	
5 - Other (Wood)	

FINISH SCHEDULE - FLOOR	⊗
A - Existing Bamboo - Screened & Refinished	
B - Carpet Tile	
C1 - Quarry Tile - Type 1	
C2 - Quarry Tile - Type 2	
D - Ceramic Tile	
E - Existing to Remain	
F - New Sheet Linoleum	

■ New Construction
 ■ Existing Construction



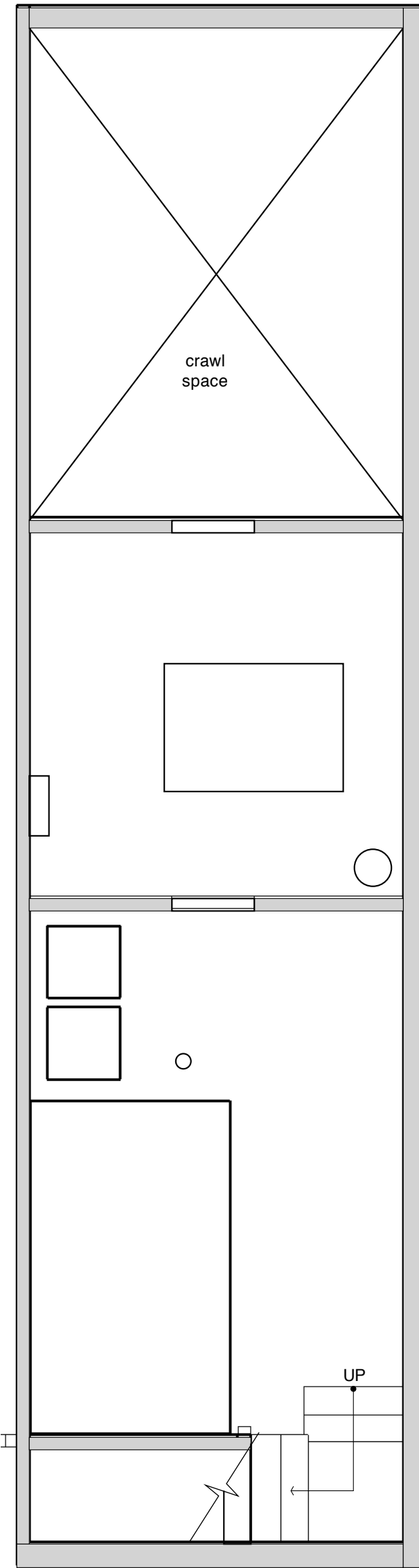
A2.0 Flooring & Finish Plan

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2 Basement Plan
A3.0 1/4" = 1'



1 Millwork/Furniture
A3.0 1/4" = 1'

█ New Construction
█ Existing Construction

MILLWORK SCHEDULE

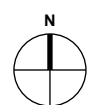
- 1 Homework Bar- A10.0
- 2 (Not Used)
- 3 Cooking Island w/ Drawers/Shelves- A10.1
- 4 Sm. Equip. Storage Drawers w/ Shelves above- A10.2
- 5 Desk - A9.0
- 5b Printer Table - A9.0
- 6 (Not Used)
- 7 Cooking Cabinets - A10.3

FURNITURE SCHEDULE

- A - Bar Height Chair (4)
- B - Table Height Chair (22) Stackable
- C - 3'-0" x 6'-0" table (4)
- D - Side Table (1)
- E - Sectional Sofa (1)
- F - Coffee Table (1)
- G - 3'-0" x 5'-0" S.S. Prep Table w/ Wood Legs/Casters (3)
- H - 4'-0" Diameter Table (1)
- J - Office Chair (5)
- K - Wire Racks - 12" Deep
- L - Reception Desk
- M - Storage Credenza

Line of 12" Shelf: +4'-1" a.f.f.

Line of 12" Shelf: +4'-1" a.f.f.



A3.0 Furniture & Millwork Plan

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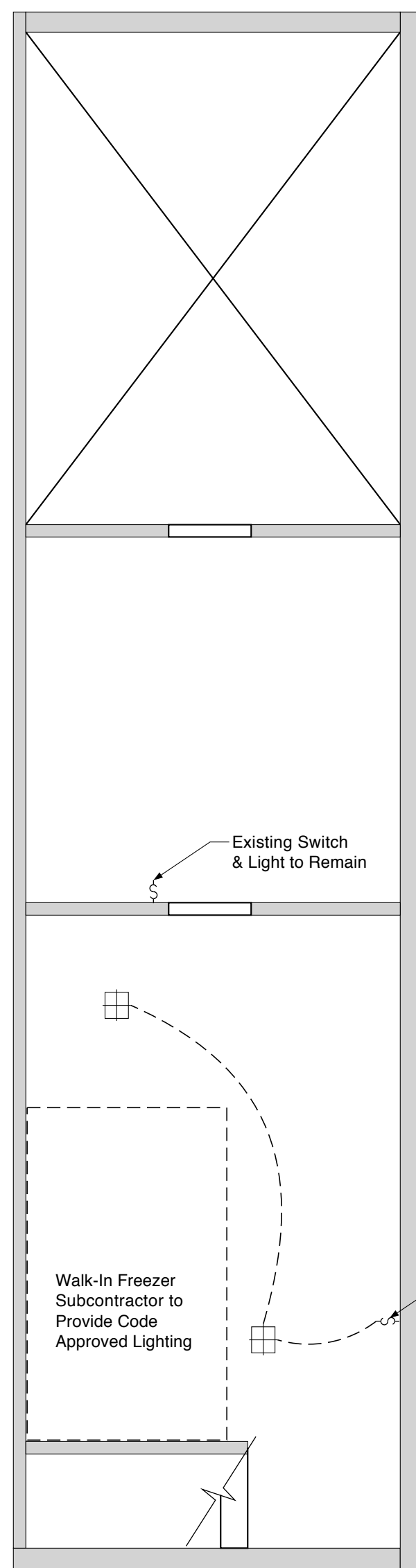
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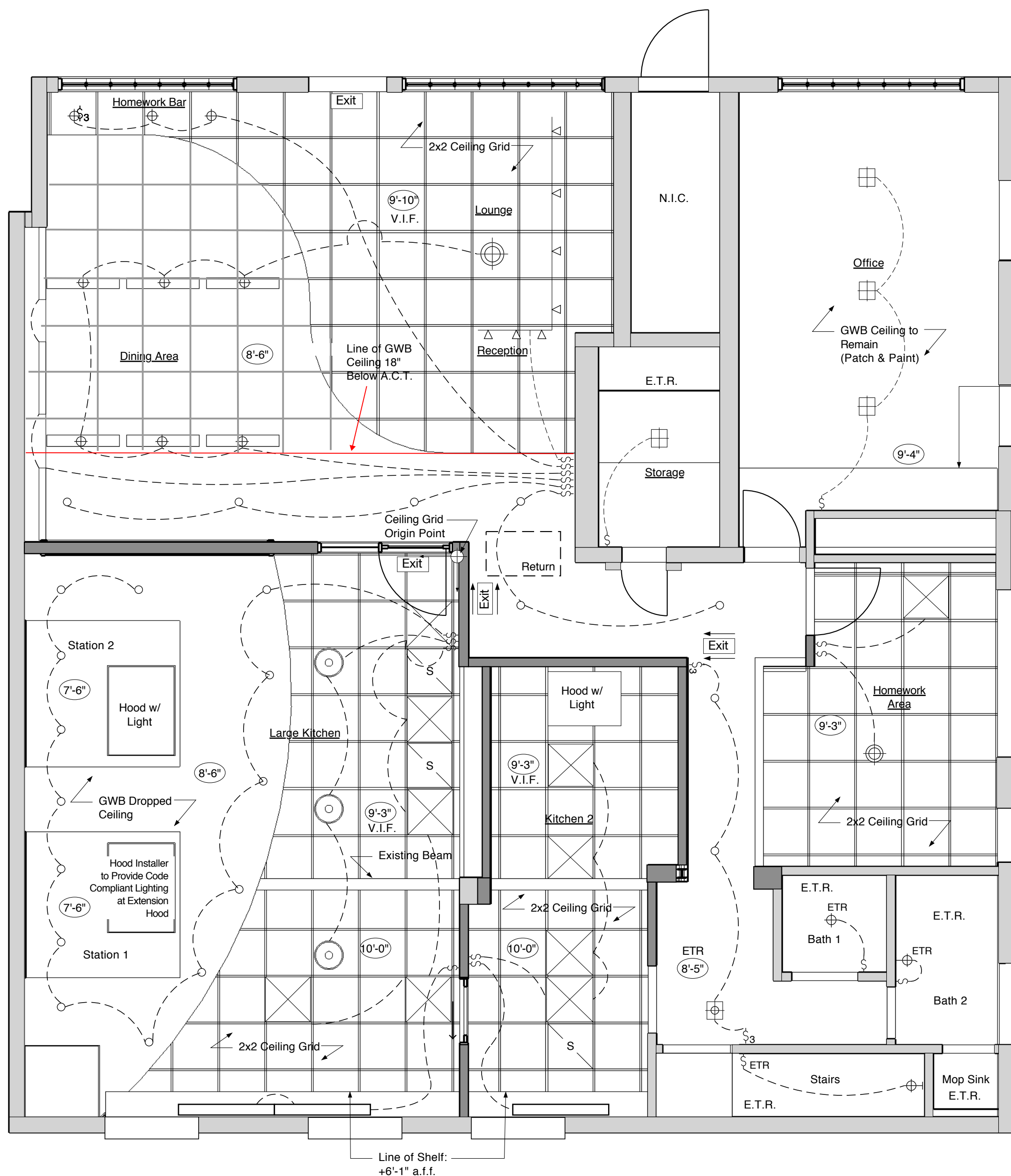


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2 Basement RCP
A4.0 1/4" = 1'

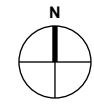


1 RCP Lighting
A4.0 1/4" = 1'

(x'-x") Indicates Ceilings Heights AFF

S HVAC Supply

█ New Construction
█ Existing Construction



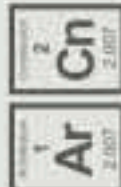
A4.0 Reflected Ceiling Plan

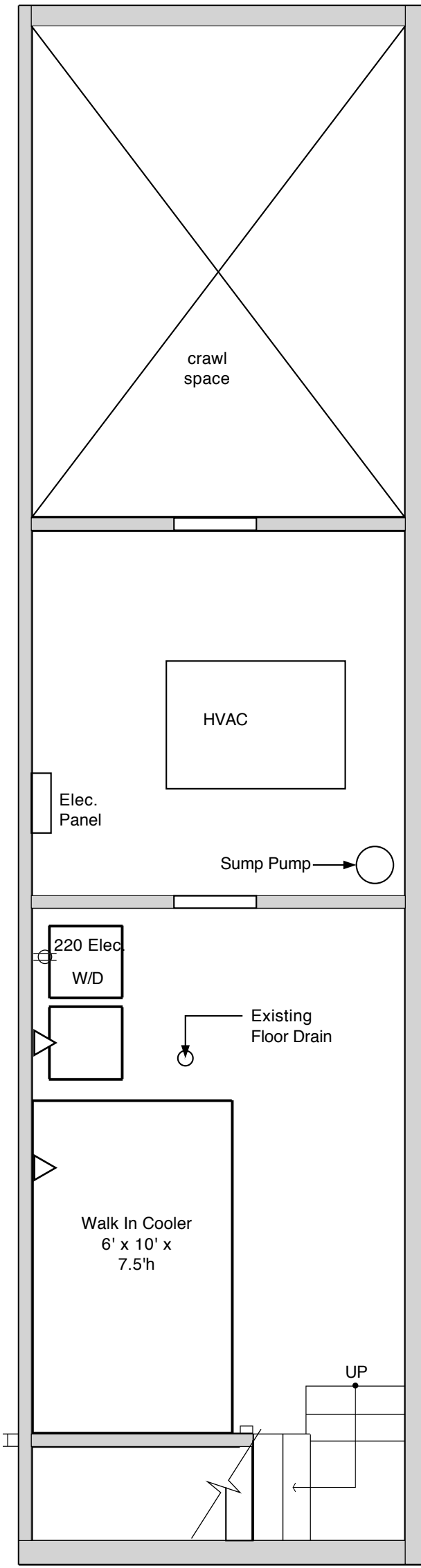
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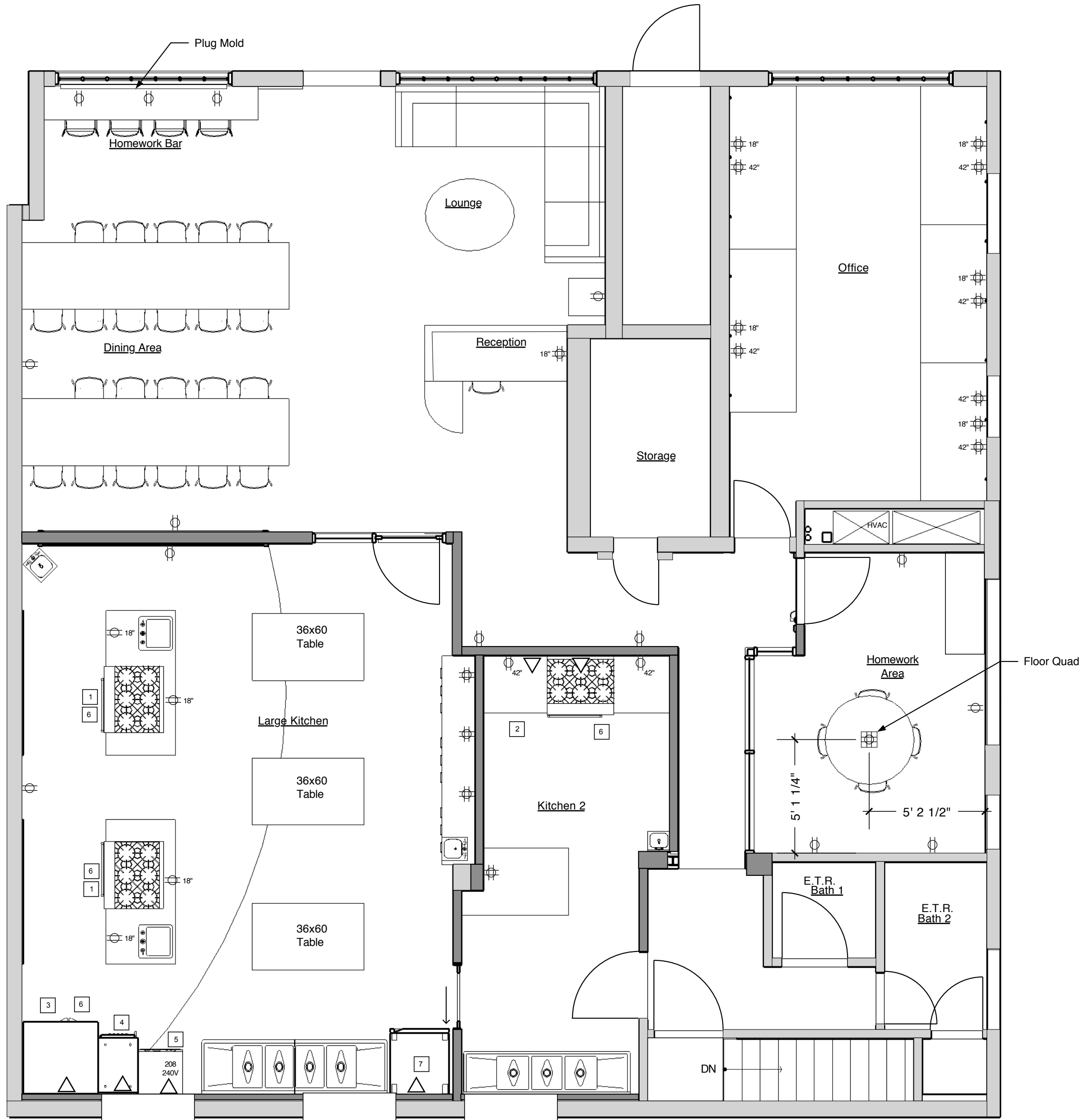
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2
AS.0
Basement Plan - Power/Electrical
1/4" = 1"

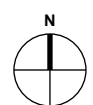


1
AS.0
Floor Plan - Power/Electrical
1/4" = 1"

EQUIPMENT SCHEDULE	
1	6 Burner Gas Range - By Owner
2	Under Counter Refrigerator By Owner (Future)
3	Double Convection Oven - By Owner
4	Proofing/Warming Drawers - By Owner
5	DW - By Owner
6	Hood
7	Refrigerator

Electrical Legend

- ⊕ Duplex
- ⊕ Quad
- △ Equipment Specific Power Supply
- New Construction
- Existing Construction

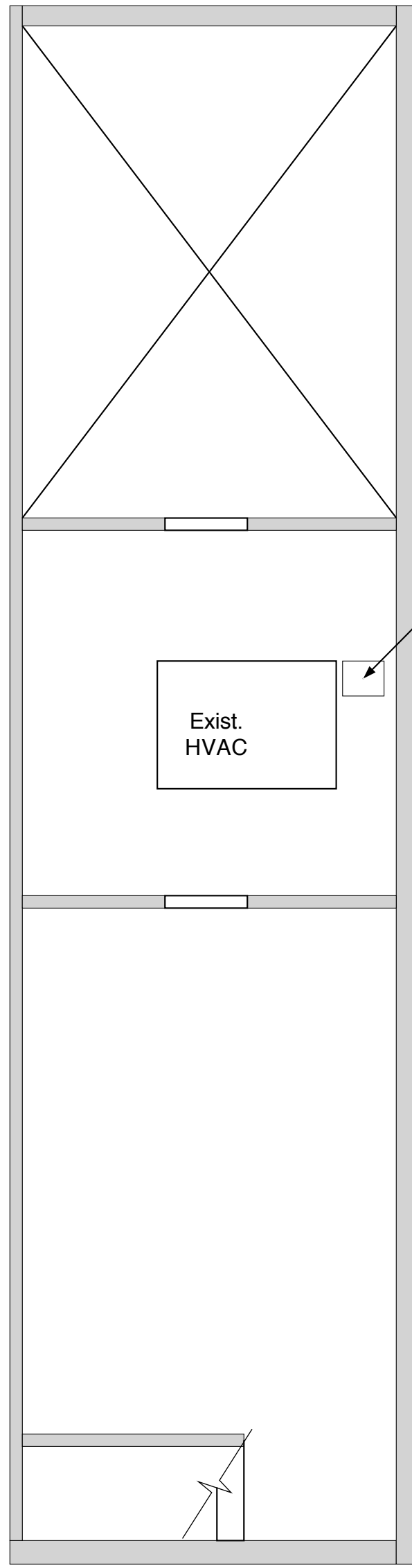


A5.0 Electrical / Power Plan

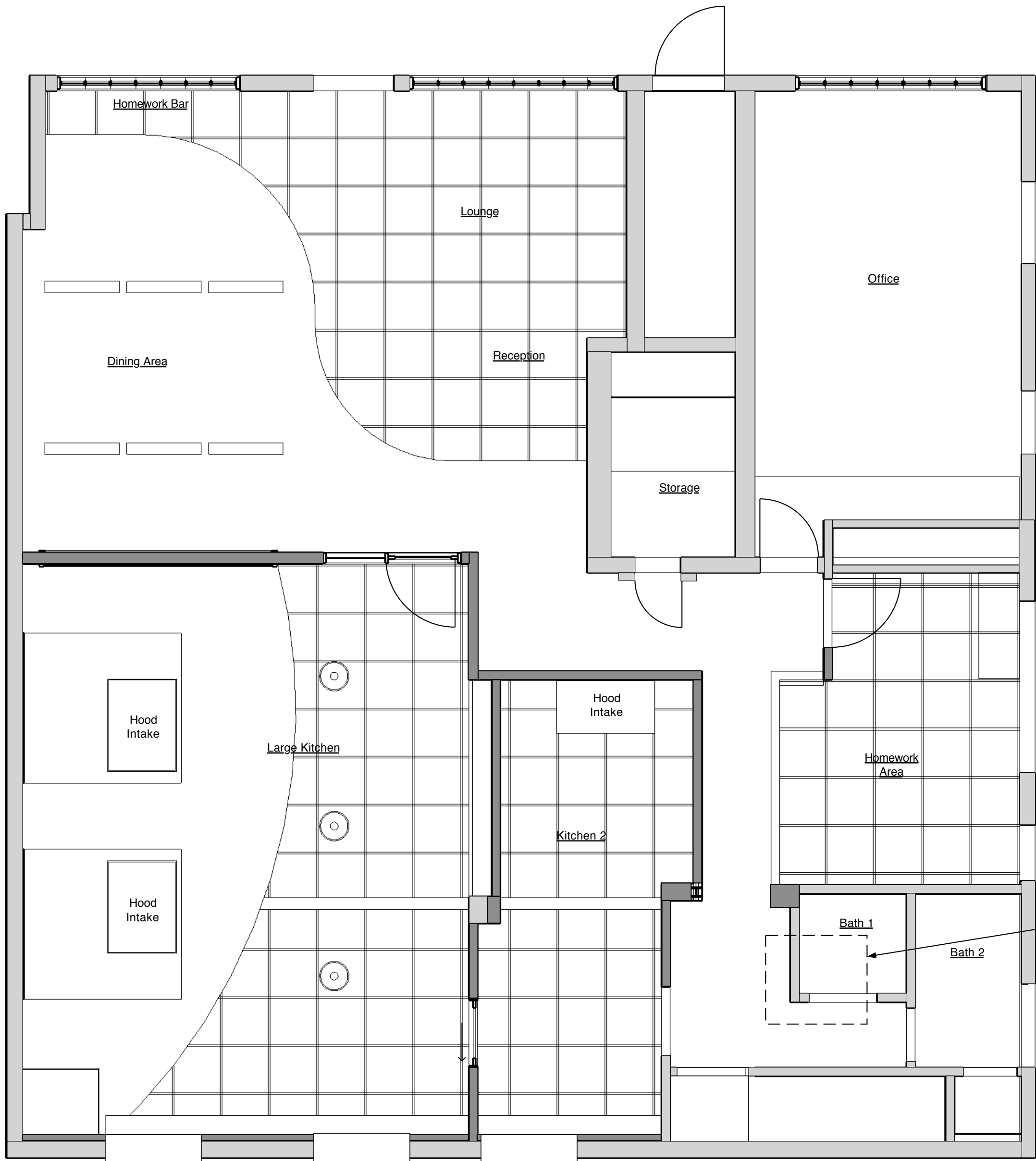
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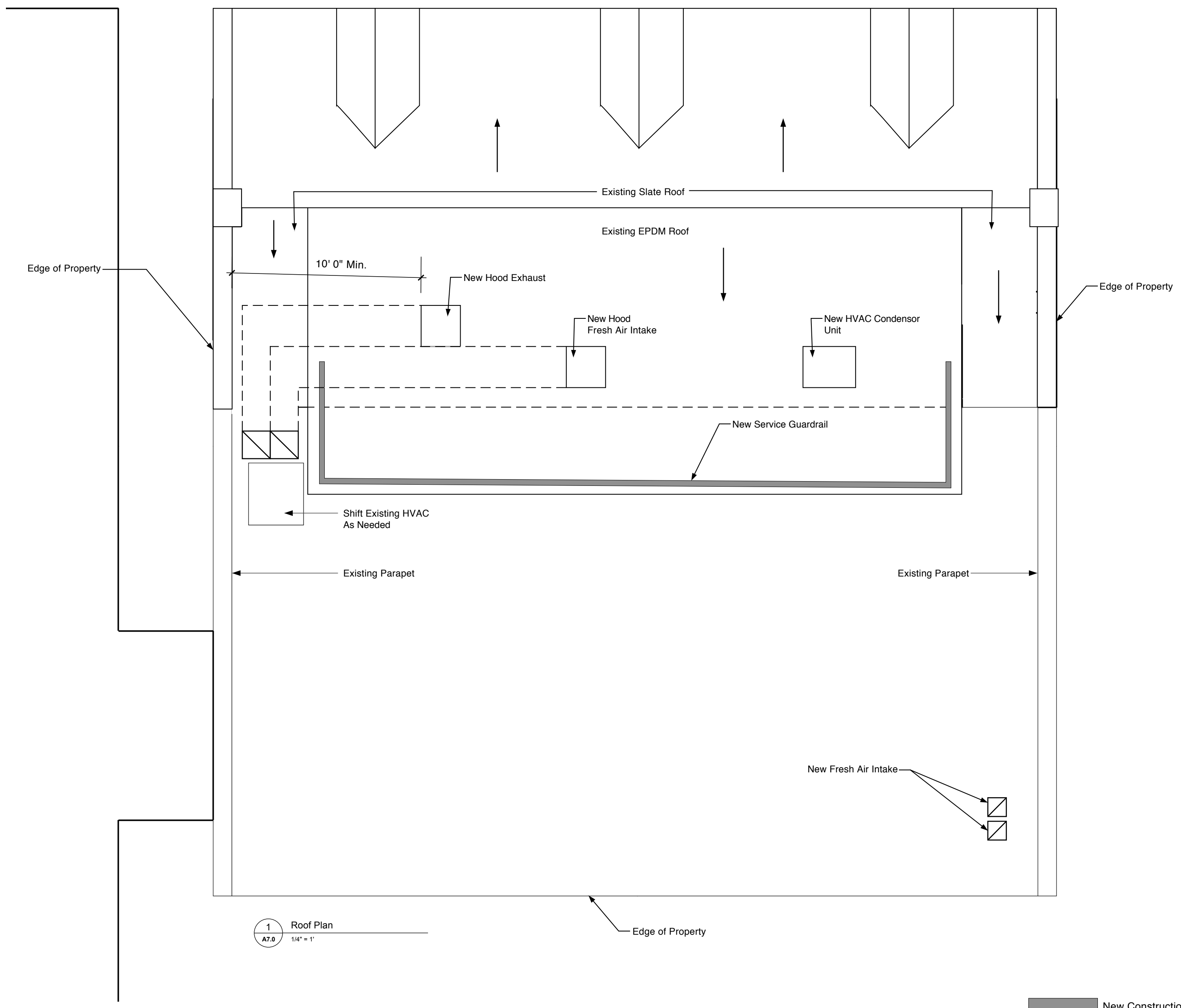
2 Basement RCP
A6.0 1/4" = 1"



1 HVAC/Hood Plan
A6.0 1/4" = 1"

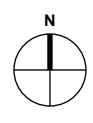


A6.0 HVAC/Hood Plan



1 Roof Plan
A7.0 1/4" = 1'

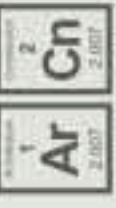
New Construction
 Existing Construction

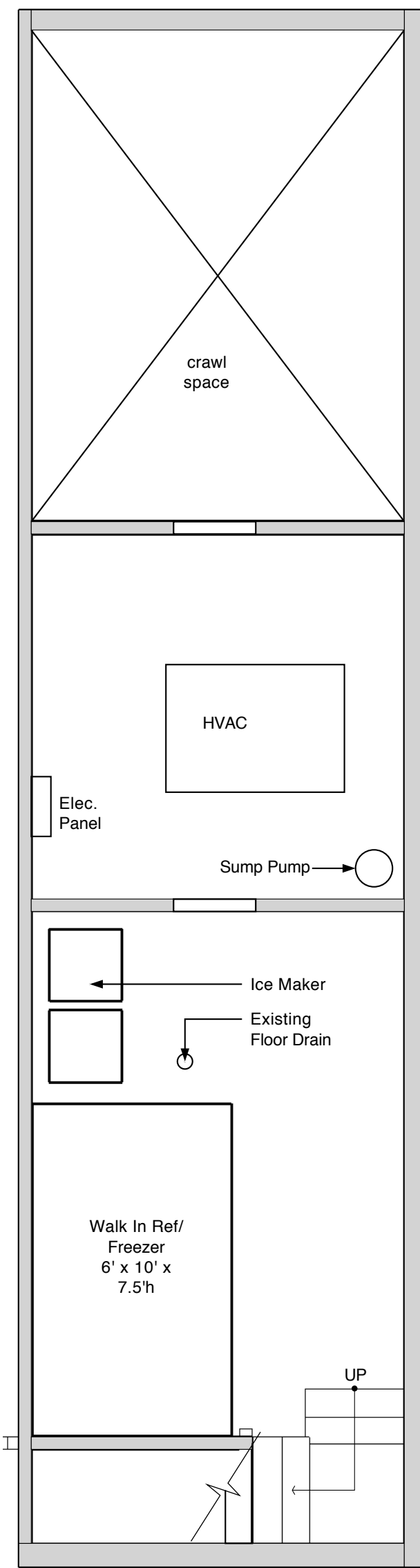


A7.0 Roof Plan

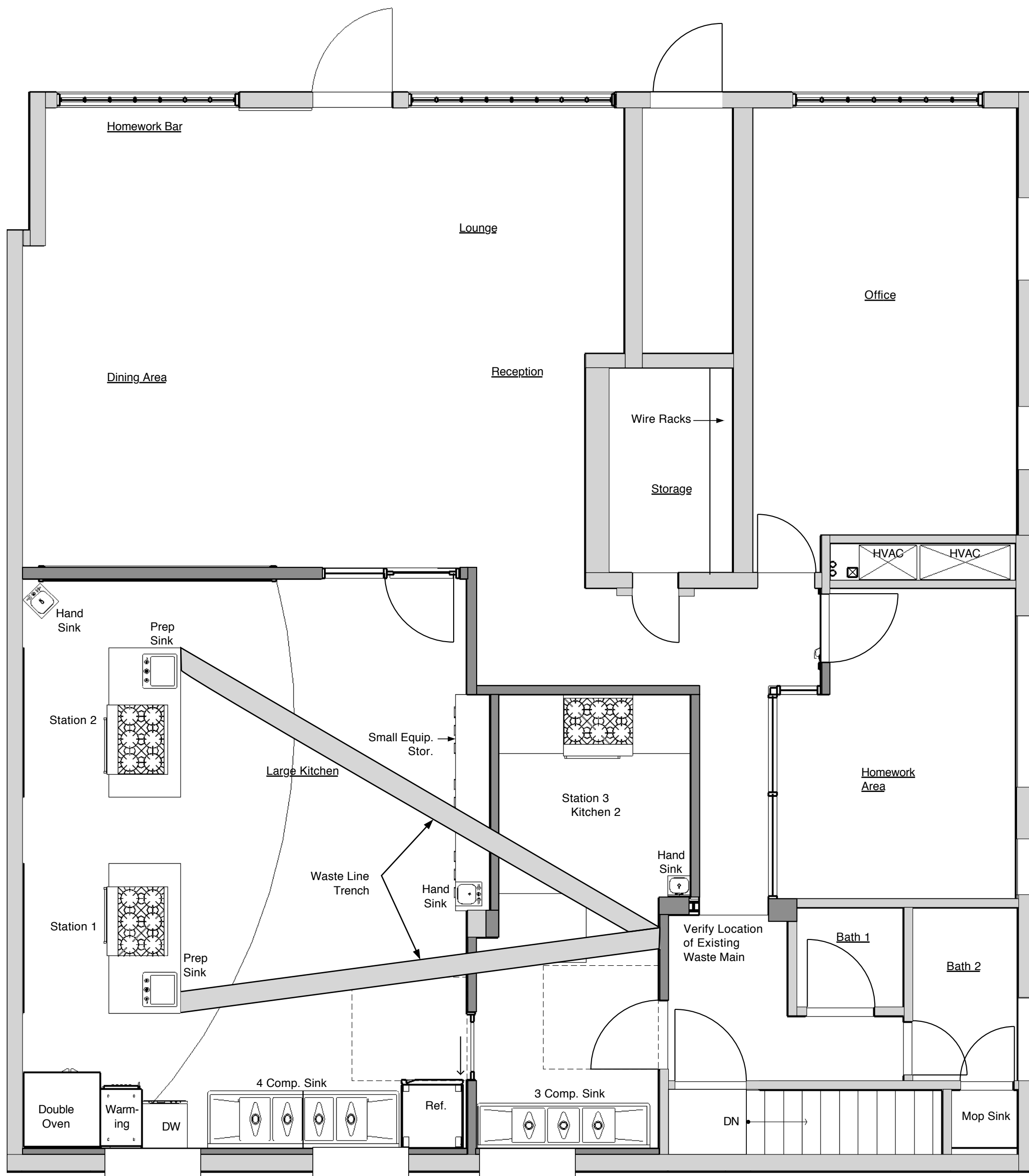
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2 Basement Plumbing Plan
A8.0 1/4" = 1"



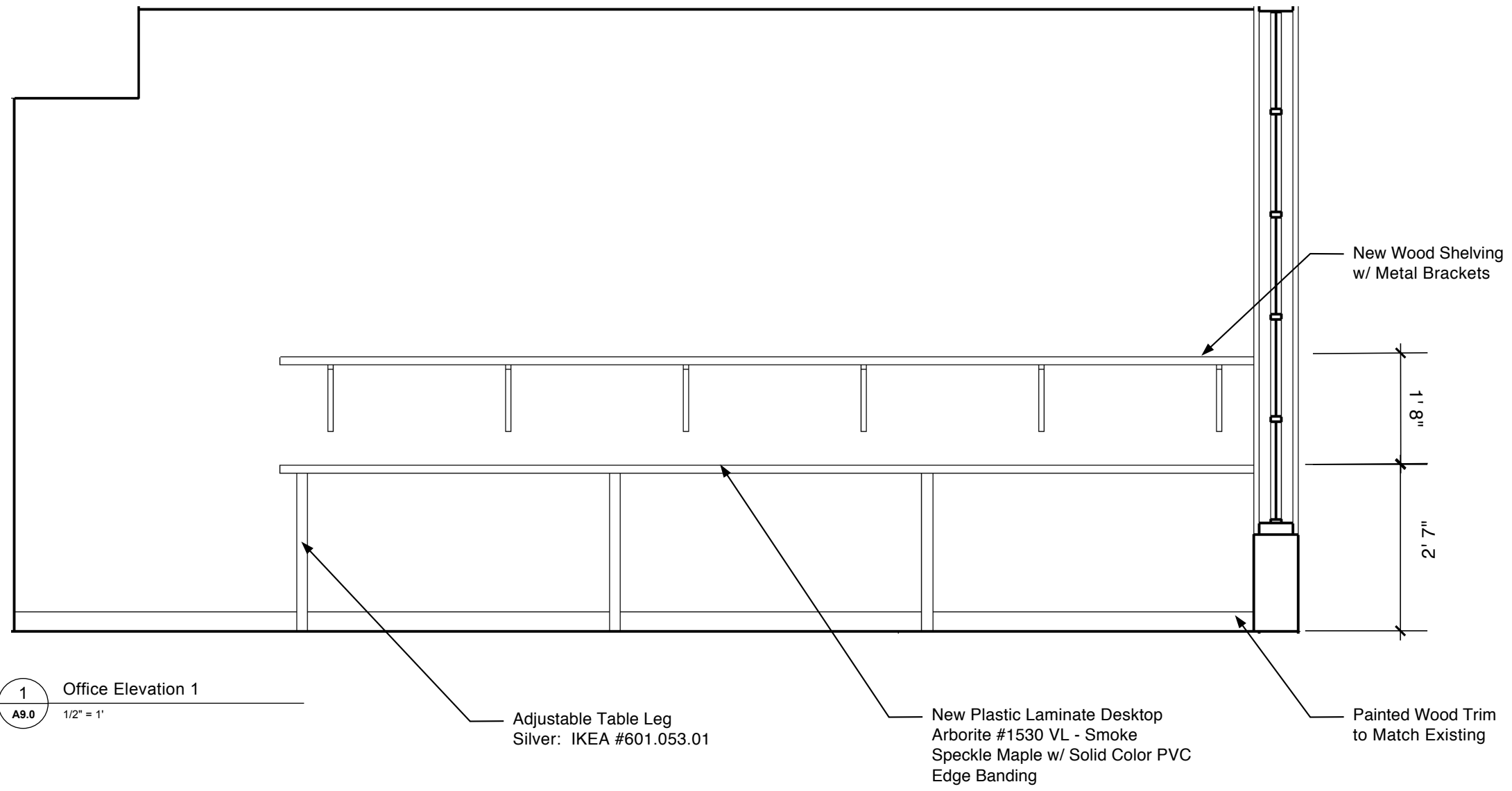
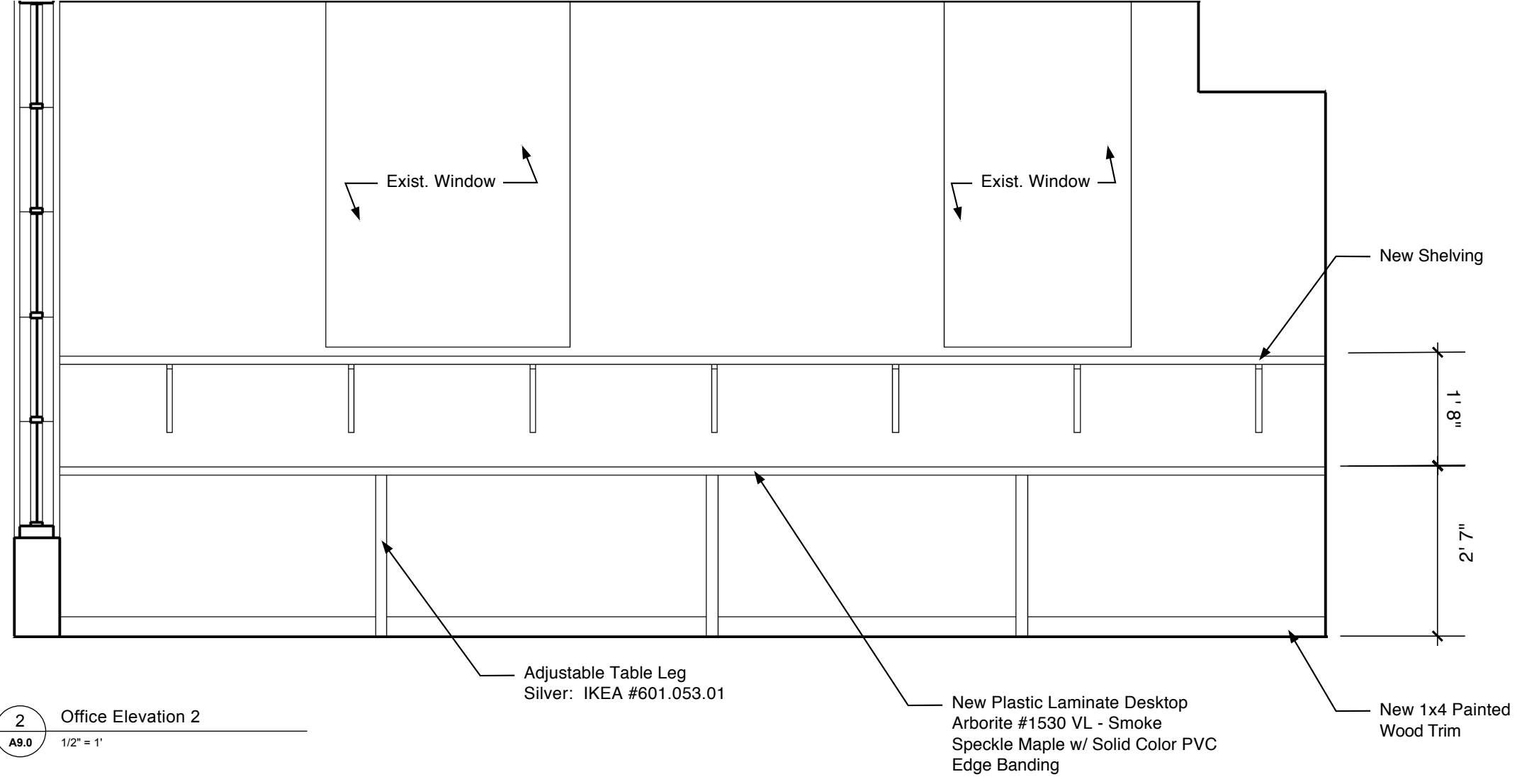
1 Plumbing Plan
A8.0 1/4" = 1"

■ New Construction
■ Existing Construction



A8.0 Plumbing Plan and Schedules





A9.0

Interior Elevations

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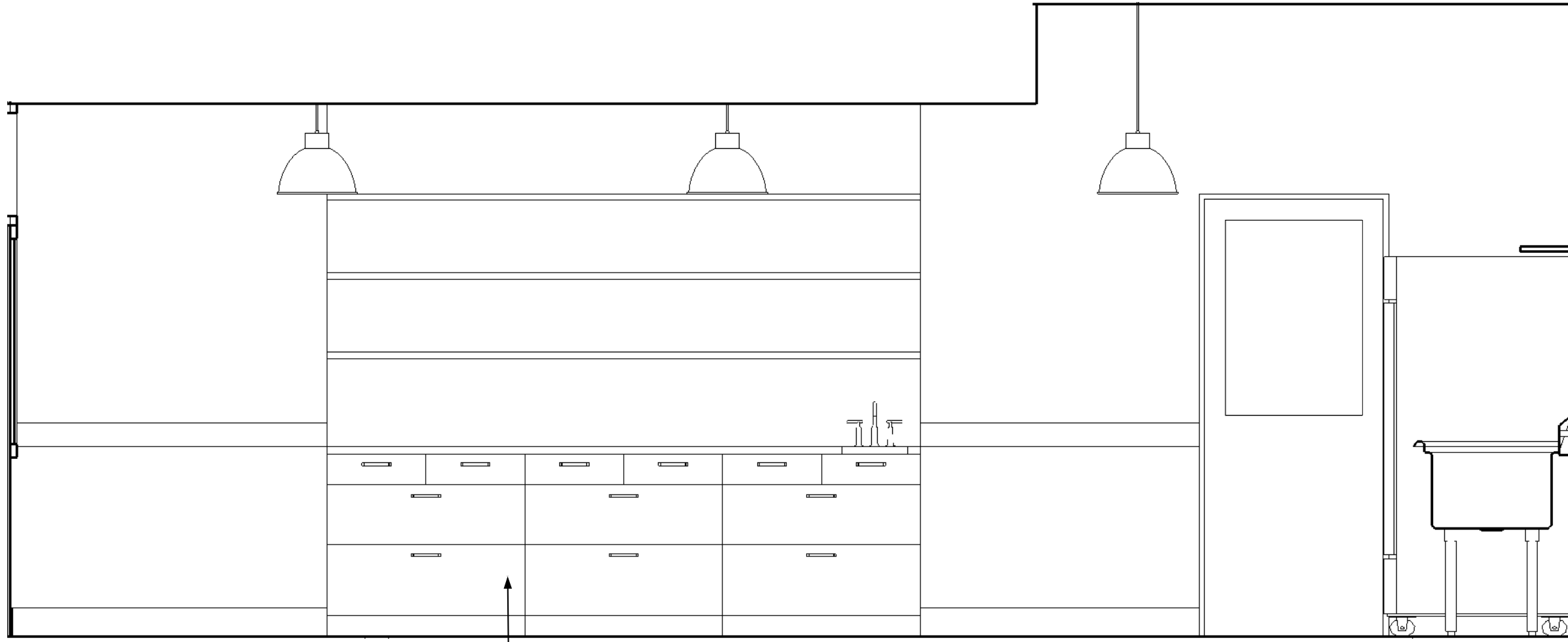
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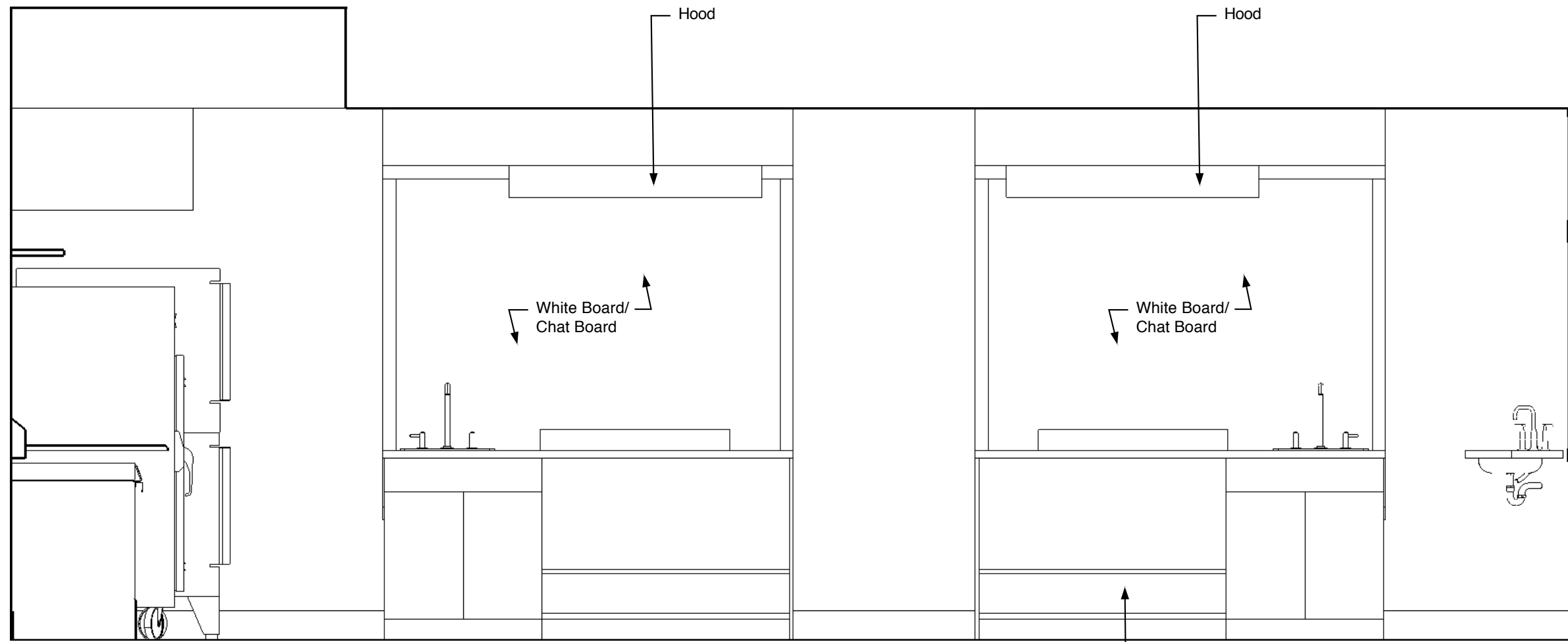
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2 Kitchen Elevation 2
A9.1 1/2" = 1'

See A10.2 for
Additional Details
and Notes



1 Kitchen Elevation 1
A9.1 1/2" = 1'

See A10.1 for
Additional Details
and Notes

A9.1 Interior Elevations

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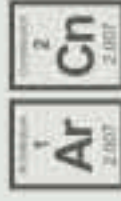
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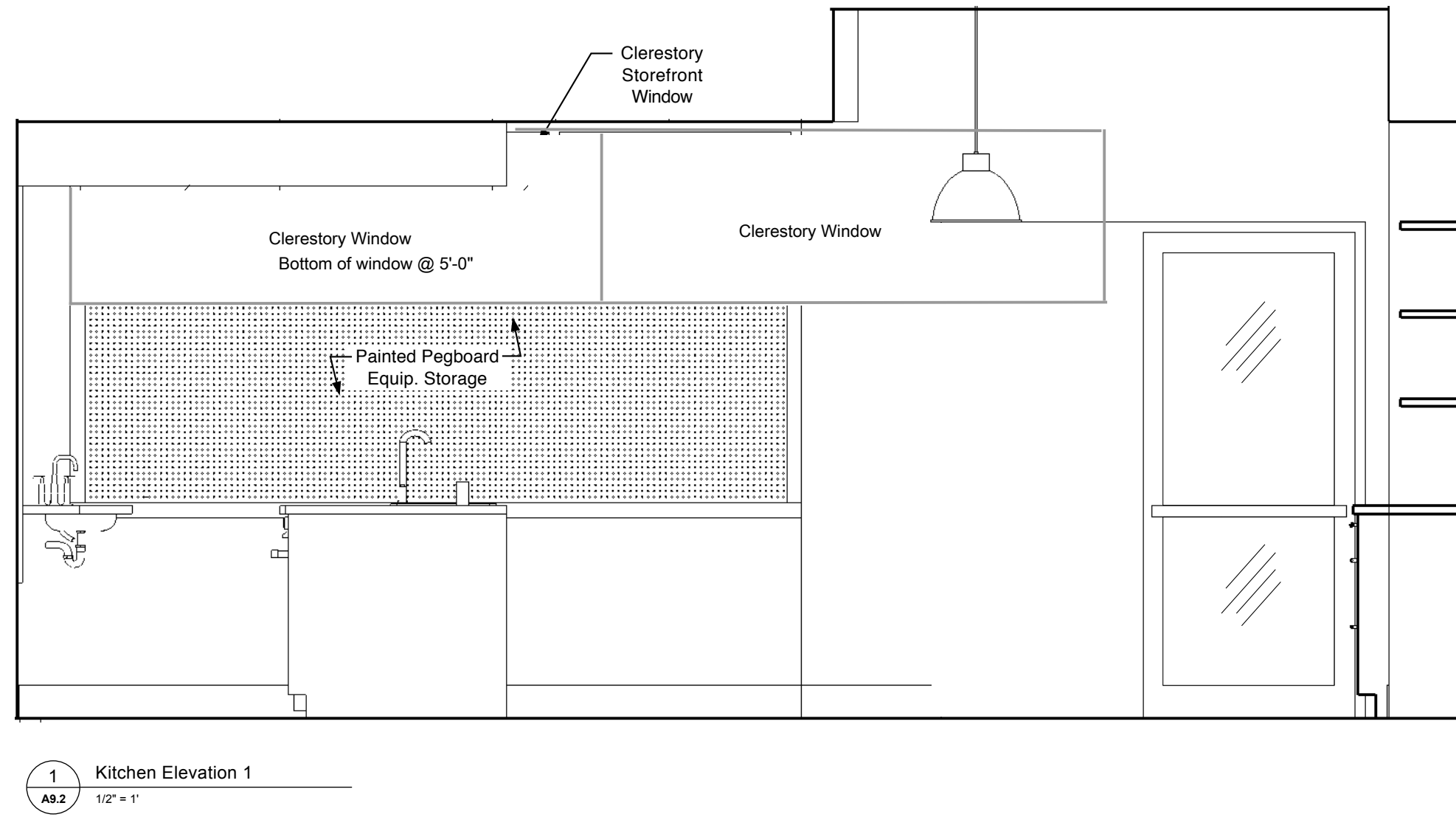
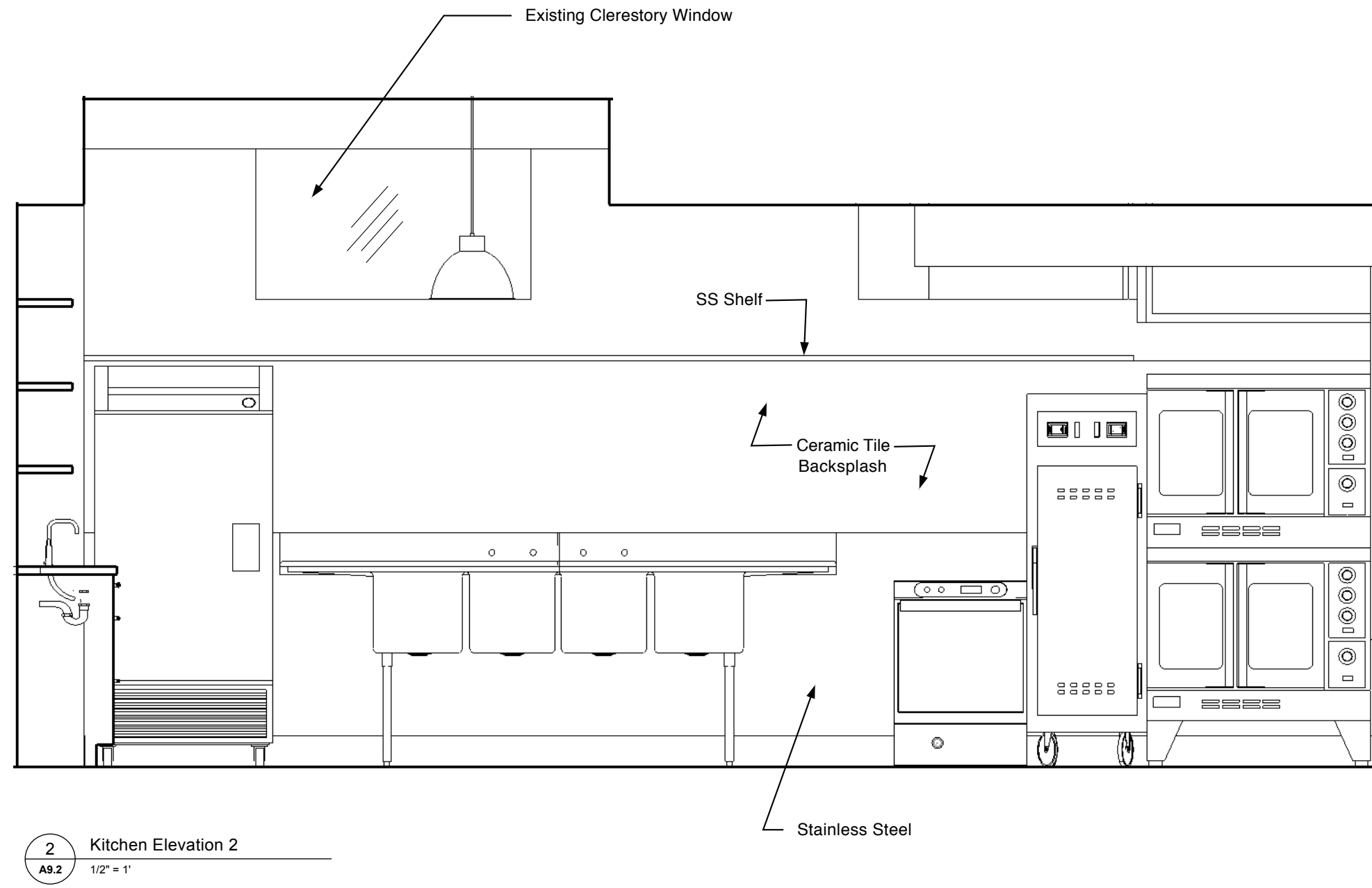
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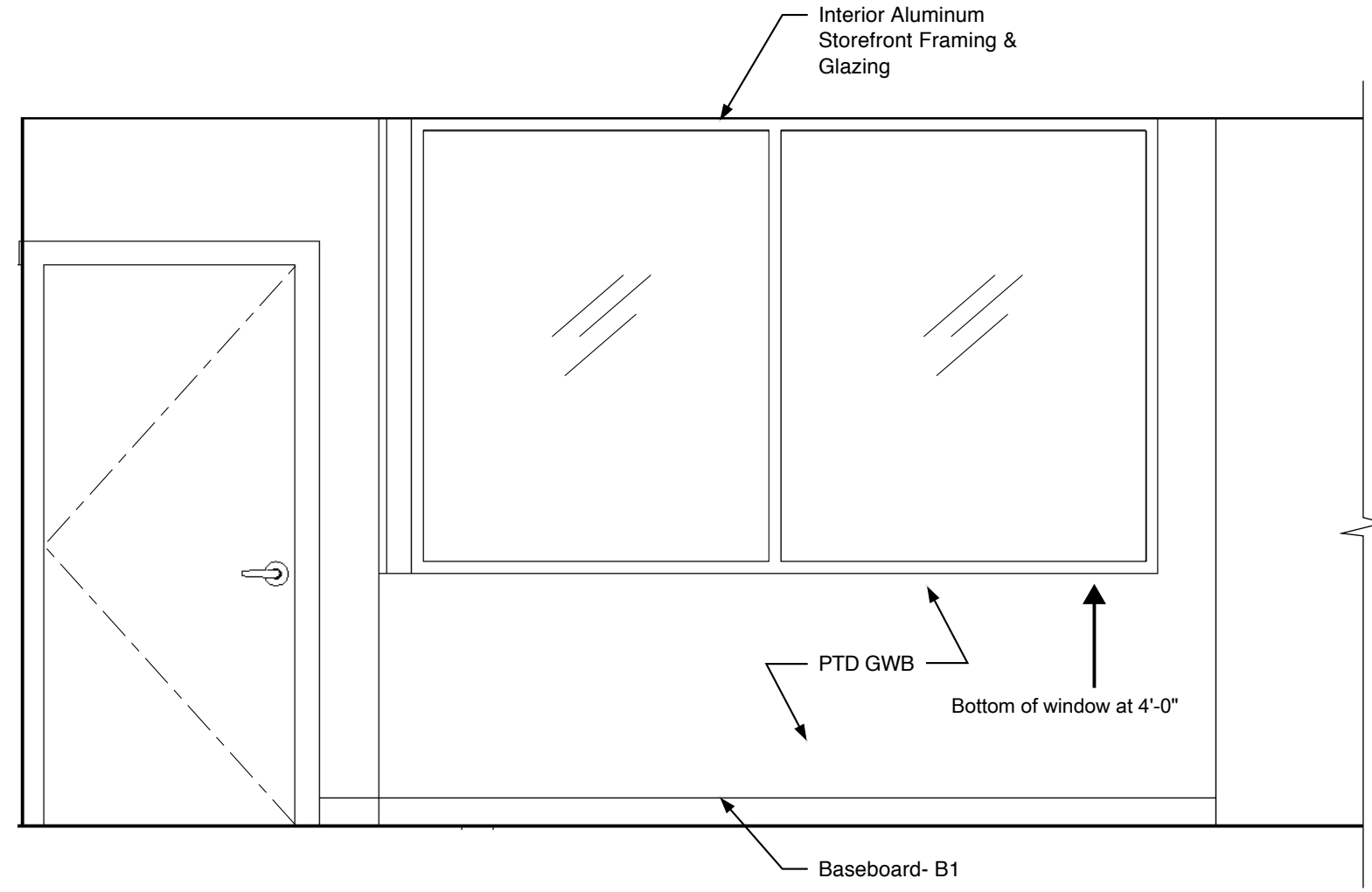


A9.2 Interior Elevations

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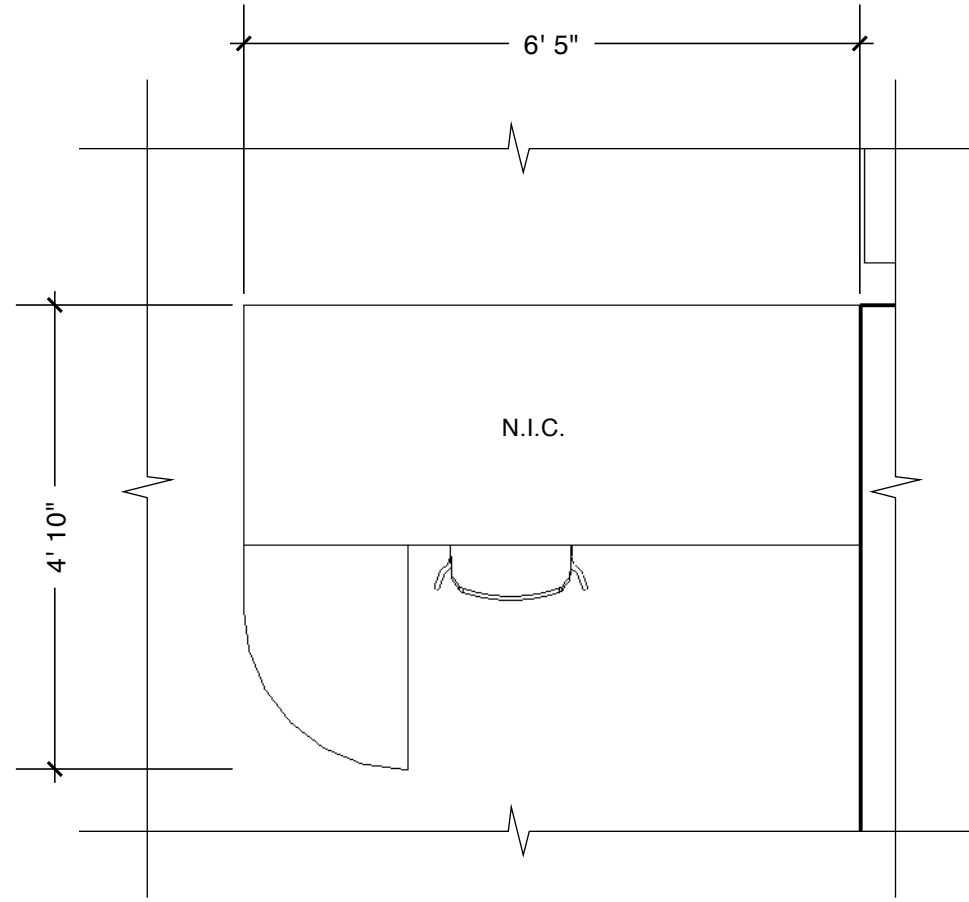
1 Homework Area Elevation 1
A9.3 1/2" = 1'



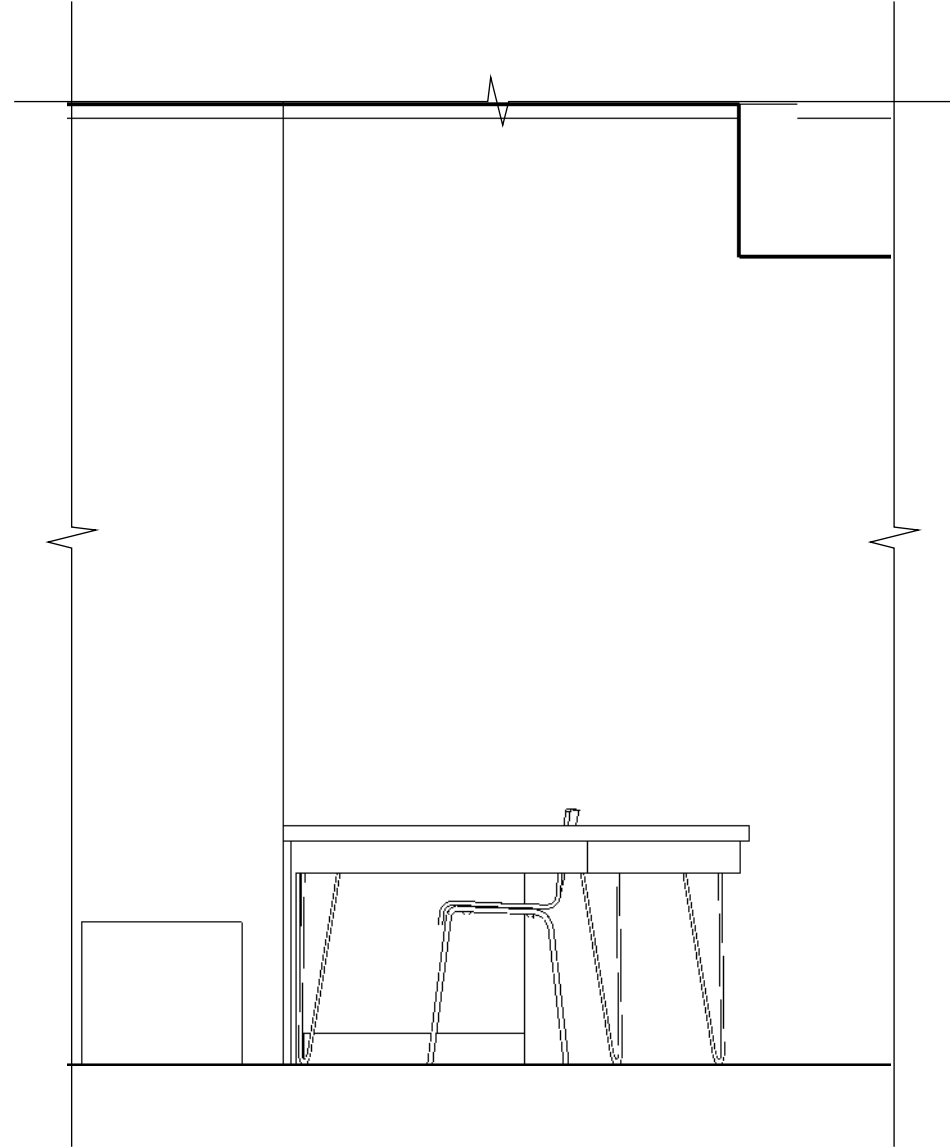
A9.3 Interior Elevations

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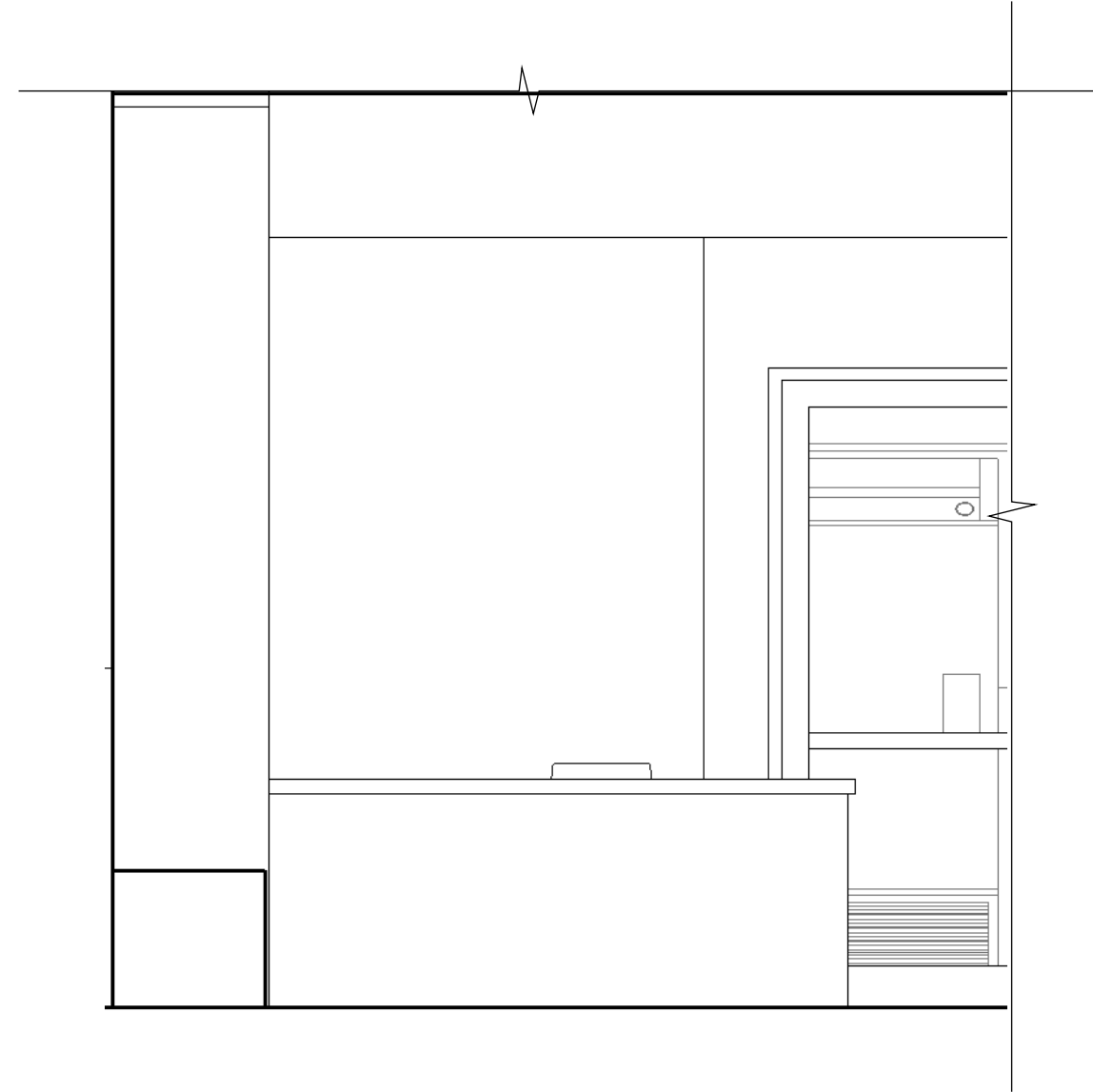
REVISION: **NOT FOR CONSTRUCTION**



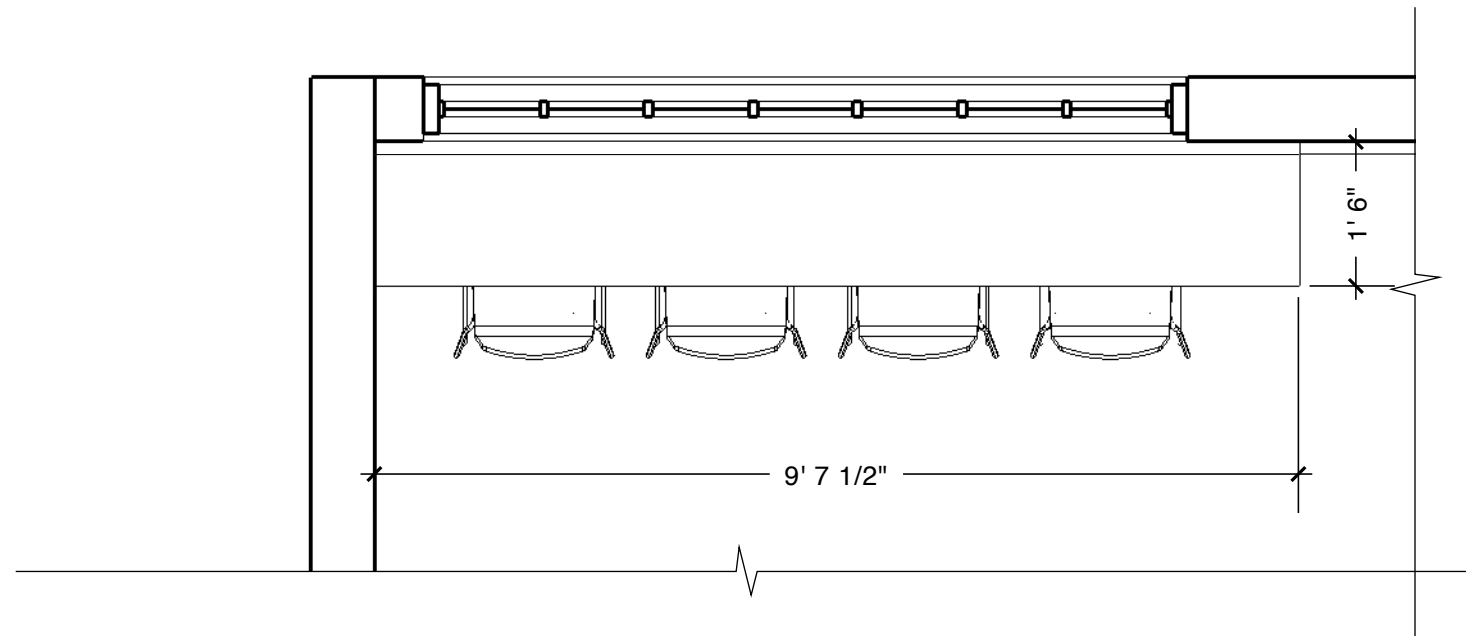
6 Reception Desk Plan
A10 1/2" = 1"



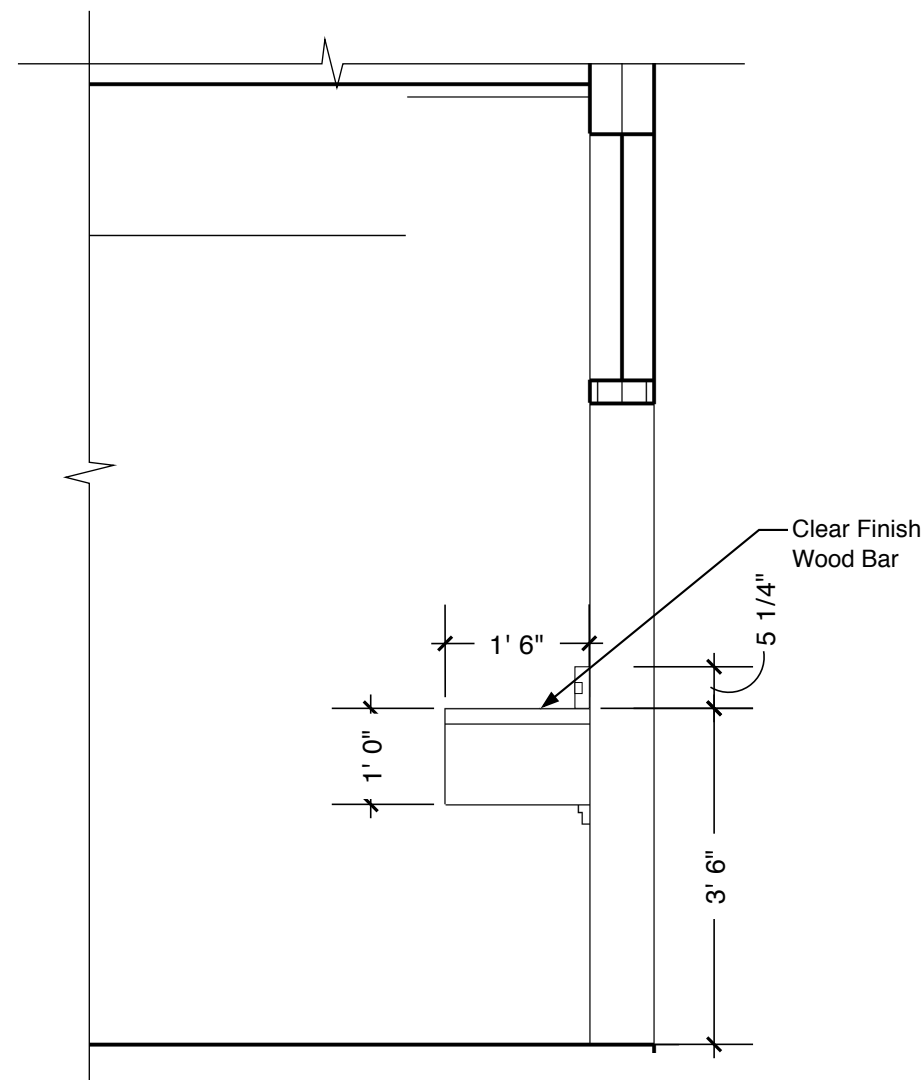
5 Reception Desk Elevation
A10 1/2" = 1"



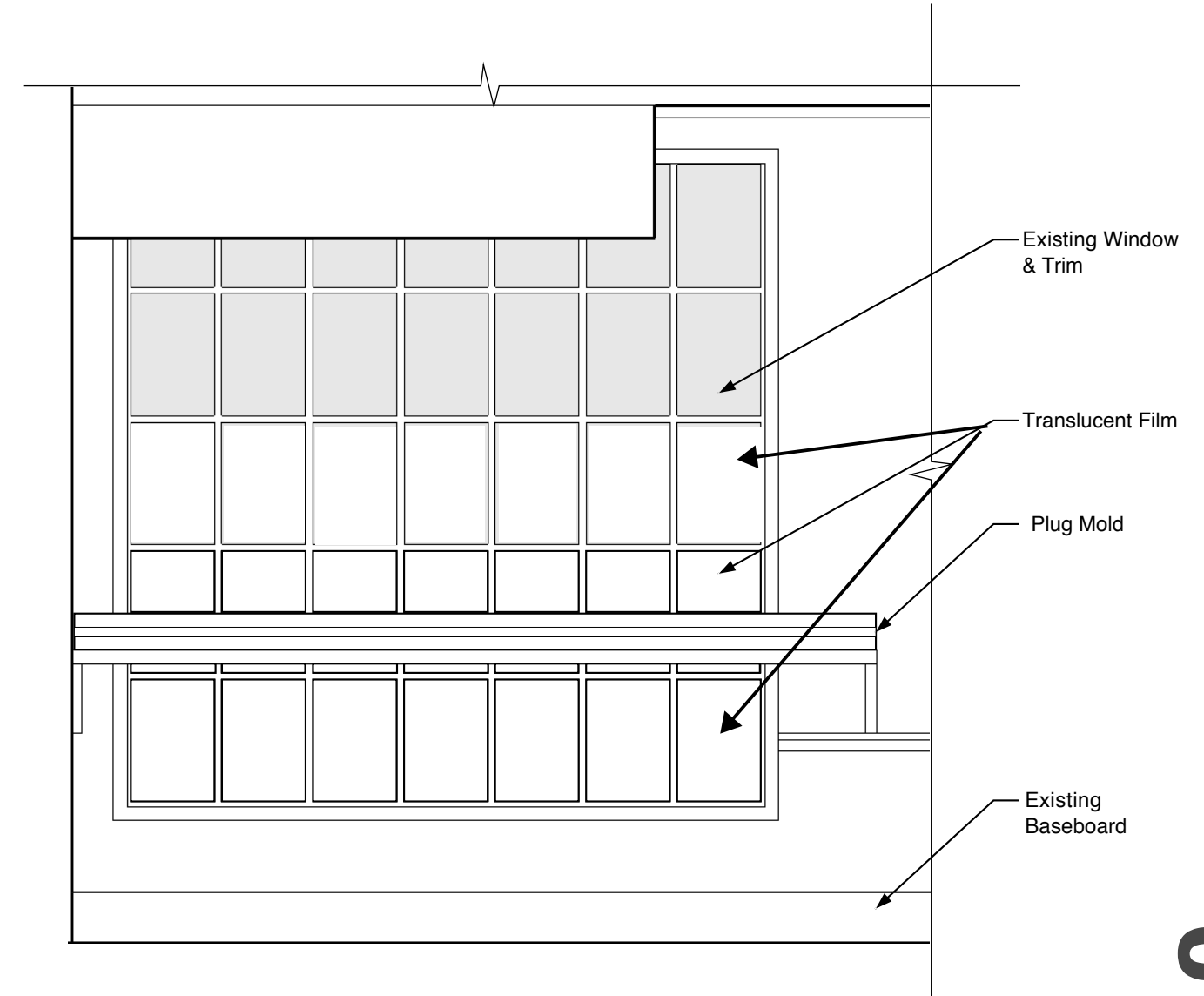
4 Reception Desk Elevation
A10 1/2" = 1"



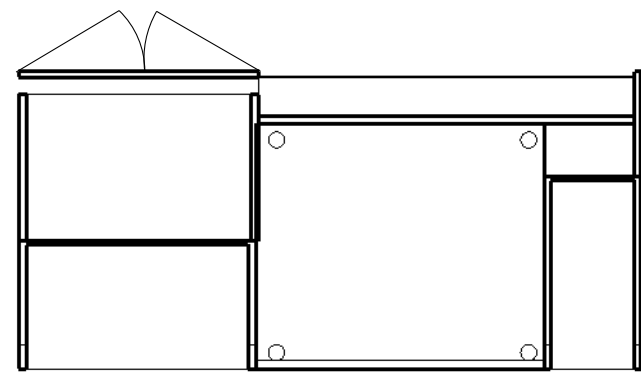
3 Homework Bar Elevation
A10 1/2" = 1"



2 Homework Bar Elevation
A10 1/2" = 1"

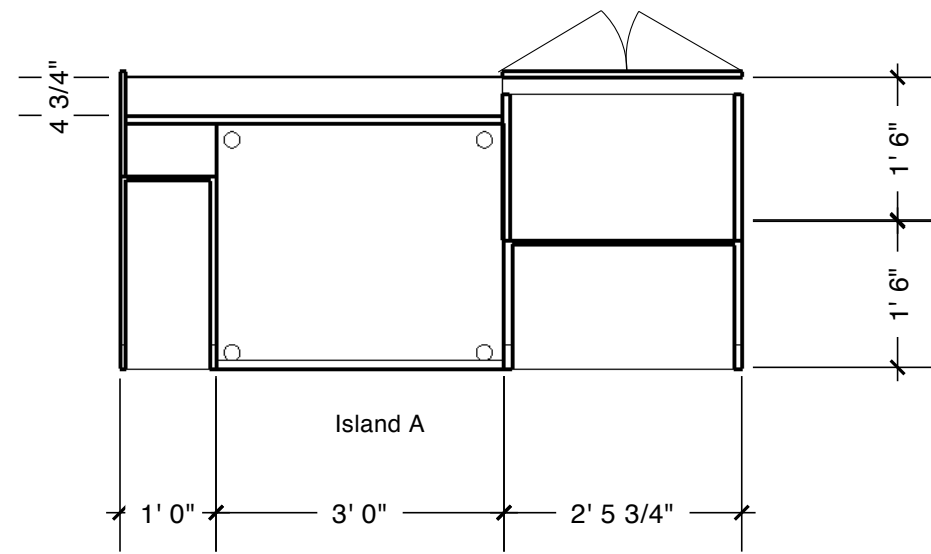


1 Homework Bar Elevation
A10 1/2" = 1"

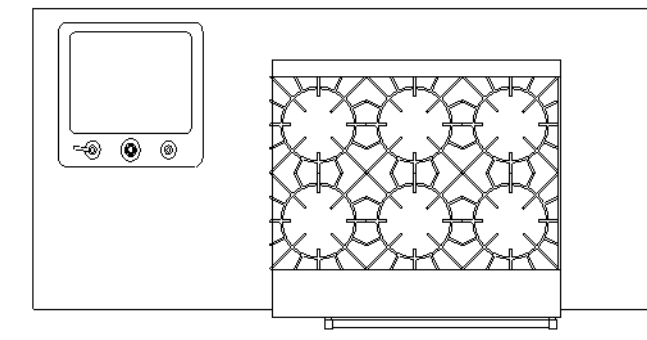


Island B

6 Cooking Island Section
A10.1 1/2" = 1"

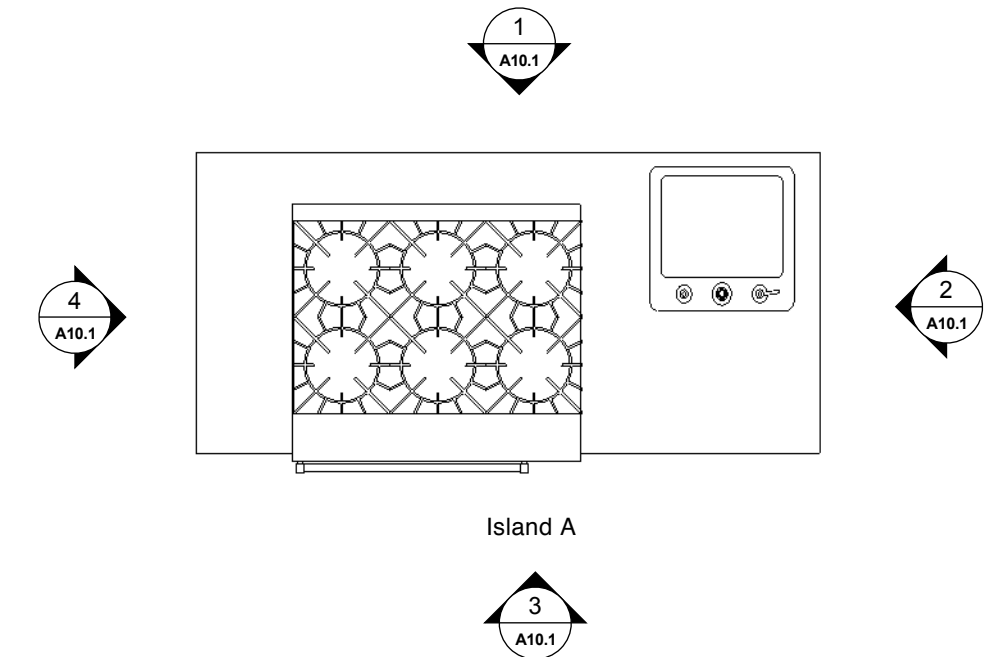


Island A

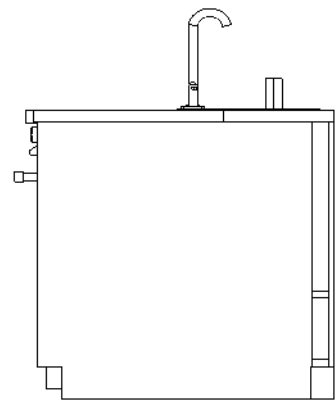


Island B

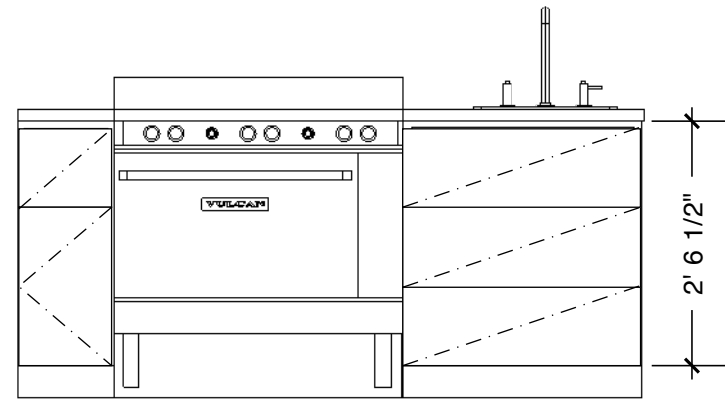
5 Cooking Island Plan
A10.1 1/2" = 1"



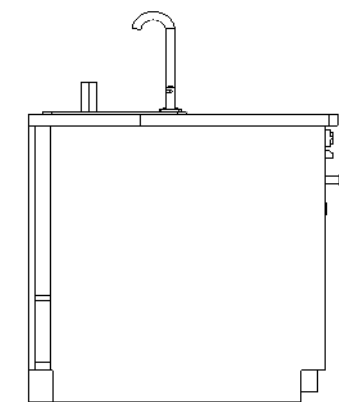
Island A



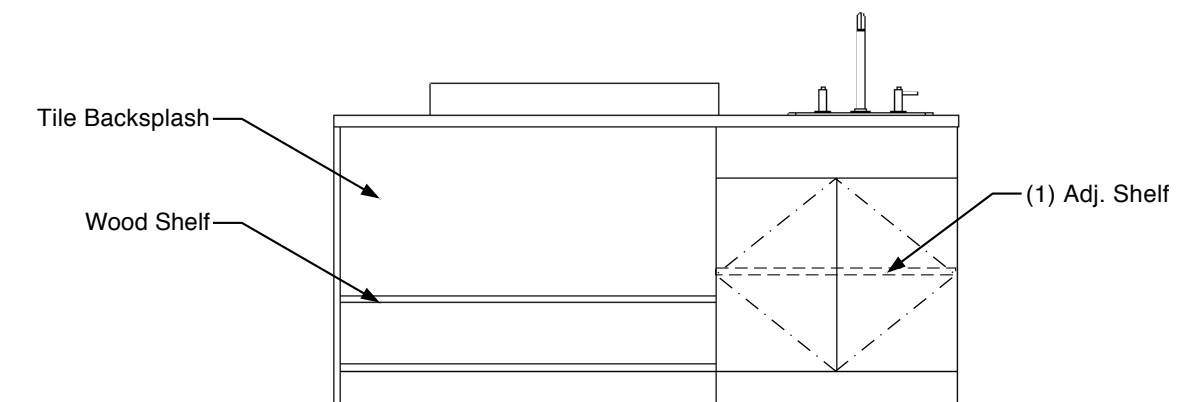
4 Cooking Island Elevation
A10.1 1/2" = 1"



3 Cooking Island A Elevation
A10.1 1/2" = 1"



2 Cooking Island Elevation
A10.1 1/2" = 1"



1 Cooking Island A Elevation
A10.1 1/2" = 1"

A10.1 Millwork Elevations

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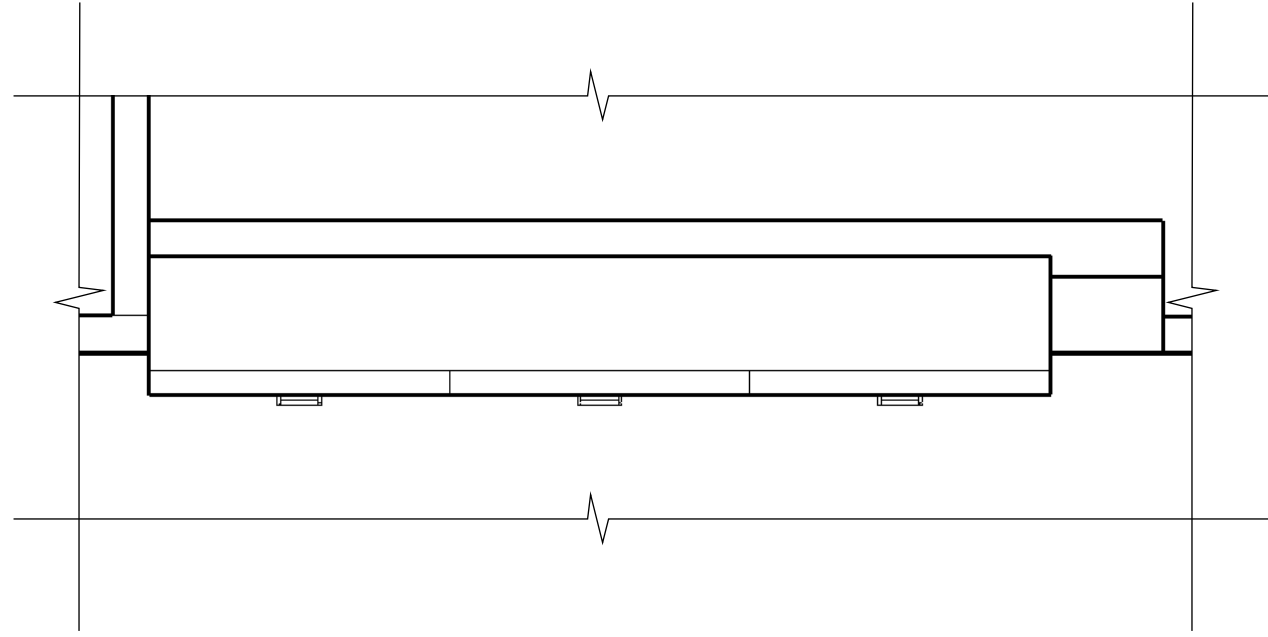
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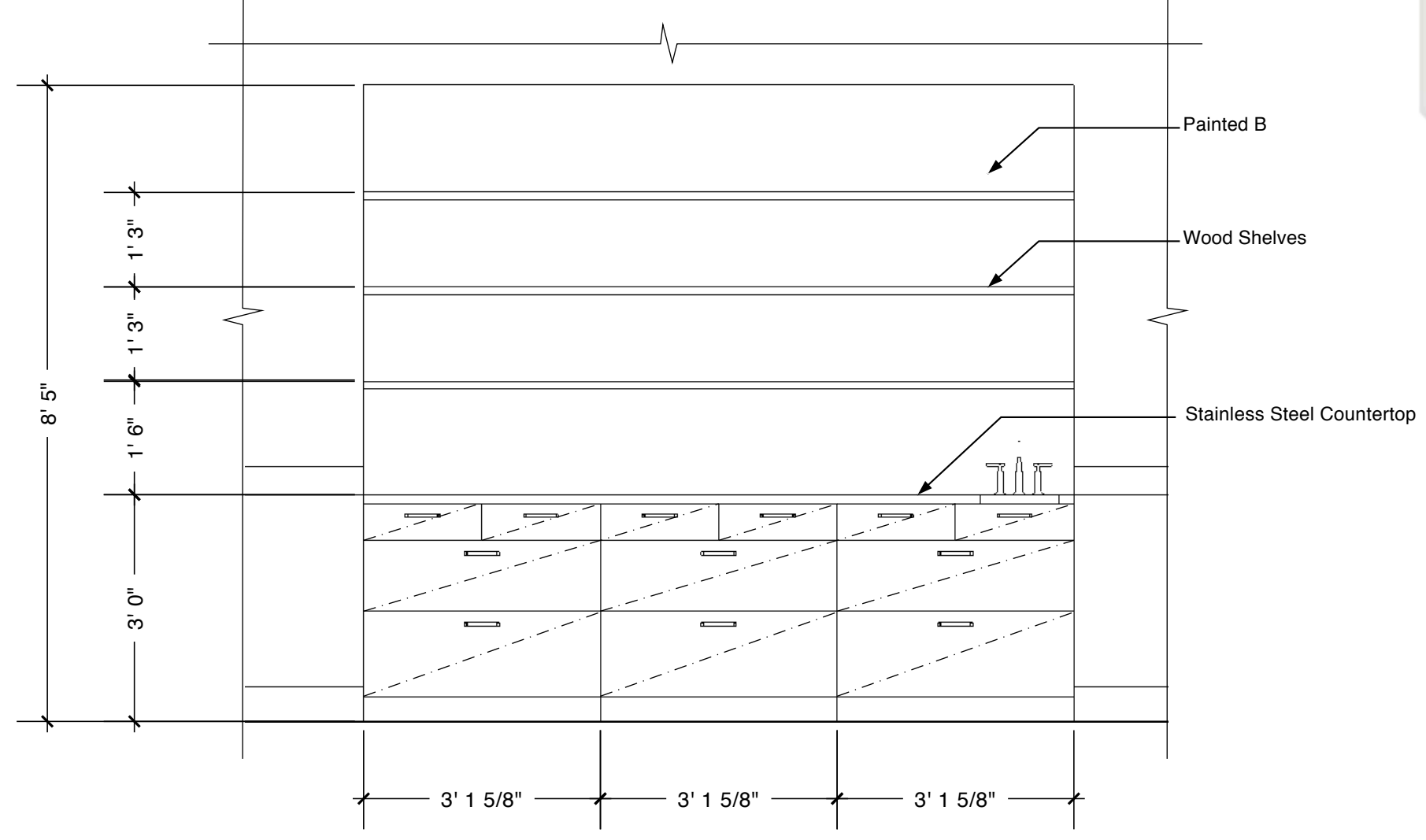


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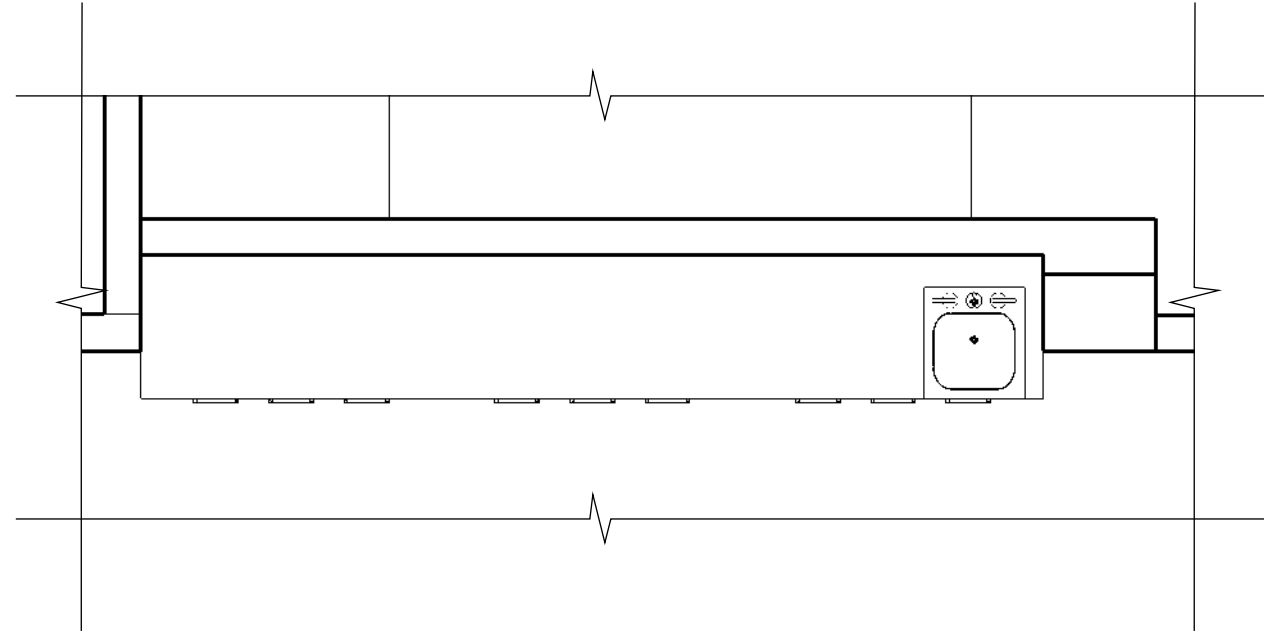




2 Small Equipment Storage Section
A10.2 1/2" = 1'



3 Small Equipment Storage Elevation
A10.2 1/2" = 1'



1 Small Equipment Storage Plan
A10.2 1/2" = 1'

A10.2 Millwork Elevations

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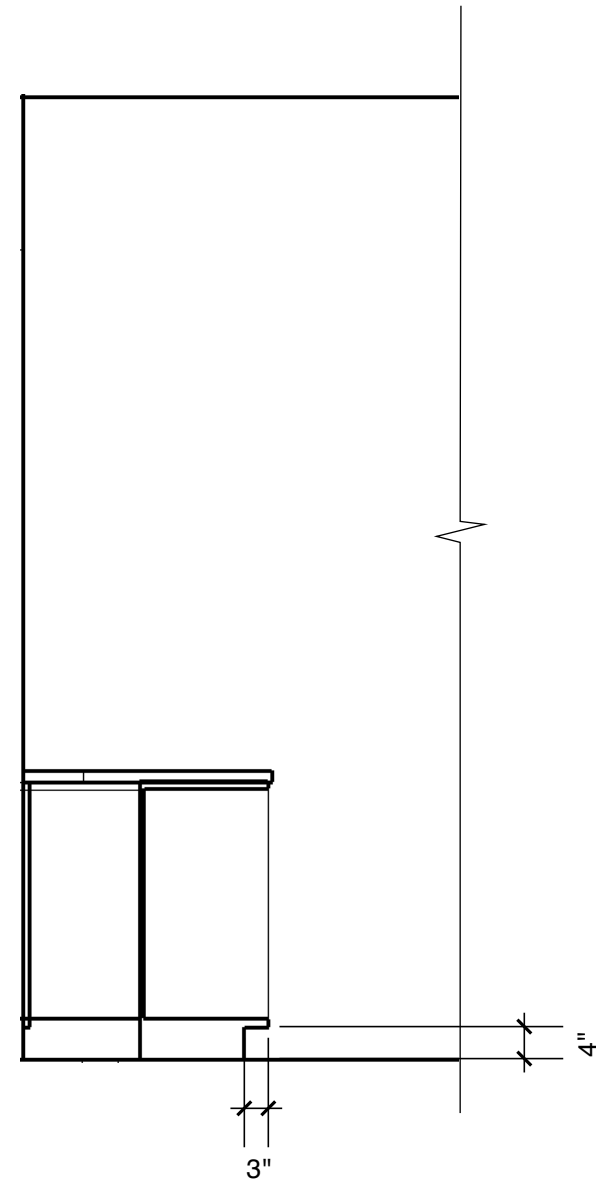
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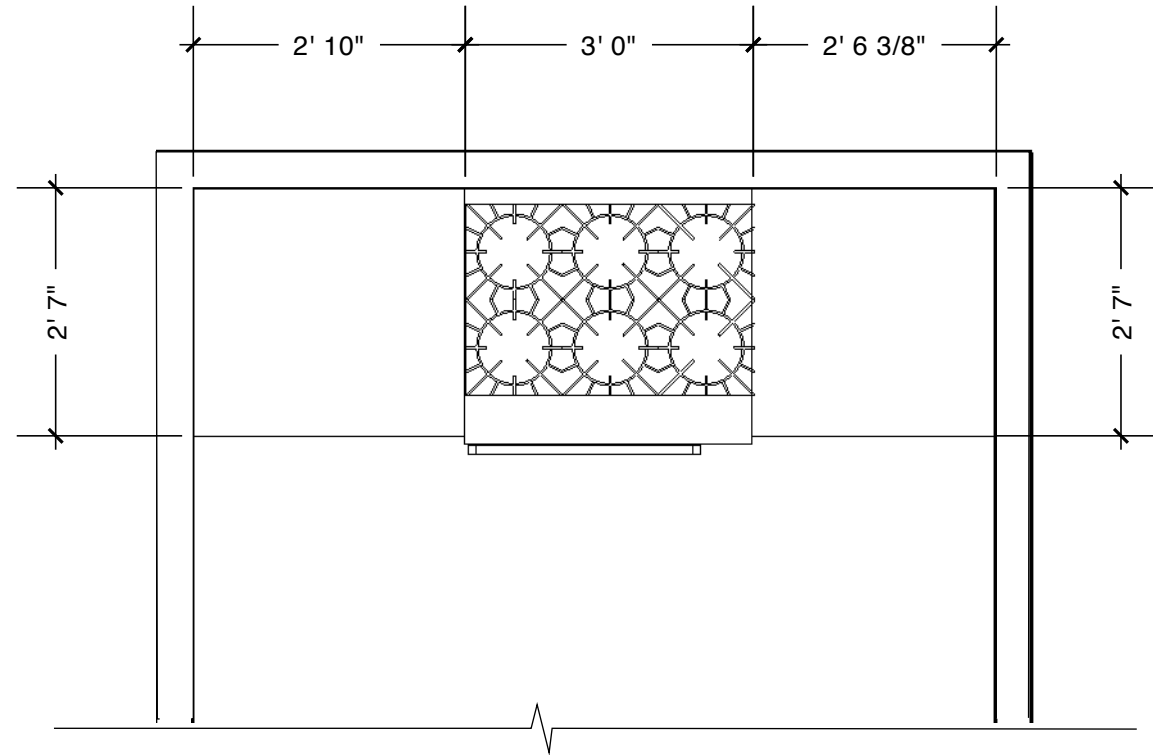


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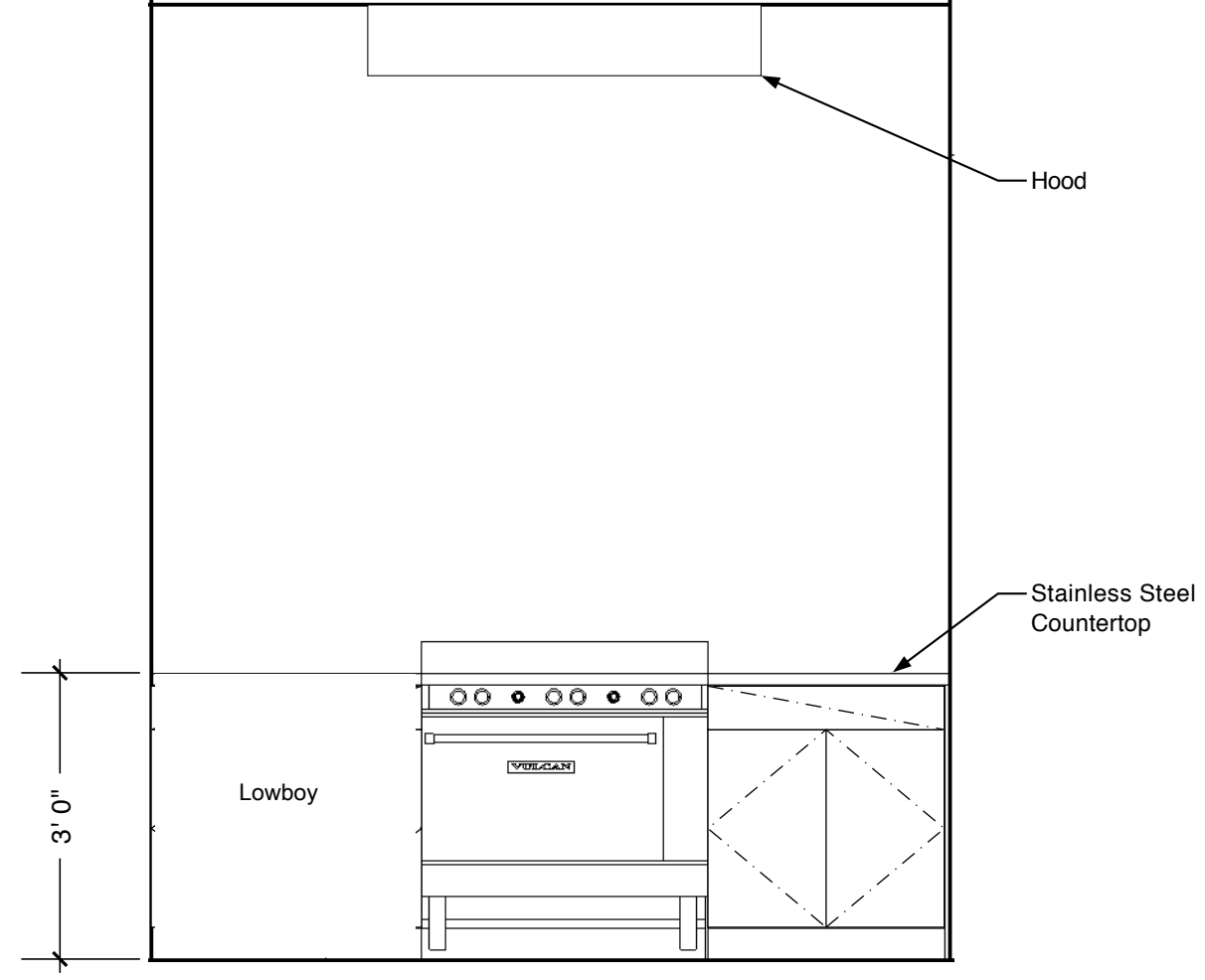




3 Cooking Cabinet Section
A10.3 1/2" = 1"



2 Cooking Cabinet Plan
A10.3 1/2" = 1"



1 Cooking Cabinet Elevation
A10.3 1/2" = 1"

A10.3 Millwork Elevations

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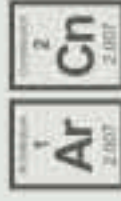
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1 View- Entrance
Not to Scale

Schematic Design- Interior Views- Version 2

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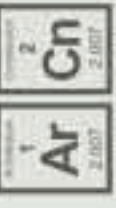
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1 View- Entrance
Not to Scale

Schematic Design- Interior Views- Version 2

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1 View- Kitchen
Not to Scale

Schematic Design- Interior Views- Version 2

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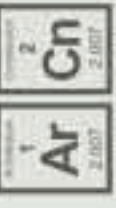
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1 View- Kitchen
Not to Scale

Schematic Design- Interior Views- Version 2

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1 View- Kitchen
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