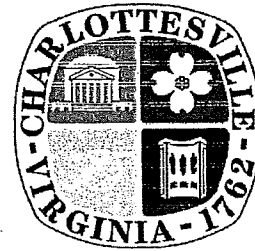


CITY OF CHARLOTTESVILLE
"A World Class City"

Department of Neighborhood Development
Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.org



February 20, 2008

Minor Family Hotels, LLC
c/o Minor Ventures
199 Fremont Street
12th Floor
San Francisco, CA 94105

Certificate of Appropriateness
BAR 08-02-01
200 E. Main Street
TM 28 Parcels 31 & 32
Hotel Charlottesville, LLC
Landmark Hotel - details

Dear Sir or Madam,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on February 19, 2008.

The BAR approved (6-0) the application with the request that the applicant return with additional information regarding the structure and appearance of the tent on the terrace on the east end of the building; the brick and stone cladding on the west wall of the old building [200 E. Main]; and the canopies if they change.

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals should be directed to Jeanne Cox, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in one year (February 19, 2009), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced construction. You may request an extension of the certificate of appropriateness before this approval expires for one additional year for reasonable cause.

Upon completion of construction, please contact me for an inspection of the improvements included in this application.

If you have any questions, please contact me at 970-3130 or scala@charlottesville.org.

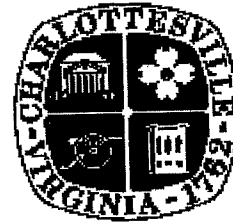
Sincerely yours,

Mary Joy Scala
Preservation and Design Planner

cc:

Neil Bhatt
NBJ Architecture
Grove Park Square
11537 E. Nuckols Road
Glen Allen, VA 23059

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
February 19, 2008**



Certificate of Appropriateness Application
BAR 08-02-01
200 E. Main Street
TM 28 Parcels 31 & 32
Hotel Charlottesville, LLC
Landmark Hotel – details

Background

NOTE: The architect for the hotel has changed from Hornberger and Worstell to NBJ Architecture in Richmond, VA.

These two abutting properties (200 East Main Street and 108 2nd Street SW) are located within Downtown ADC District.

200 E. Main Street is currently vacant. It most recently housed the Boxer Learning Center, and is the site of the former Fidelity American Bank and before that, the Citizen's Bank and Trust (1931). An addition was made to the Citizen's Bank in 1955, doubling its size. In 1966 the bank was again expanded, taking over part of the former Woolworth's property to the east. The black granite façade (and most likely the murals) were added during the 1966 remodeling. The architect previously noted that the original east wall of the 1931 bank building is intact in the basement of 200 E. Main Street, and is visible on the roof.

The rear portion of the 200 E. Main Street property contains a two-story office building that was probably added during the 1966 remodeling.

The National Register nomination form describes the existing building as [yellow] brick (American bond with polished granite veneer on façade); 2 stories; shed roof; 7 bays. Stripped Classical Commercial. Ca. 1960. Entrance in Central bay; 6 plate-glass windows extending 2/3 height of building with aluminum spandrels. Previous site of clothing and dry goods store (1886 Sanborn).

108 2nd Street SE is the site of a small, one-story office building (1966) that formerly housed the Charlottesville Convention and Visitor's Bureau. It physically connects with the two-story office building on the abutting 200 E. Main Street property.

January 20, 2004 - The BAR unanimously (7-0) approved demolition of 108 2nd Street SW and 200 E. Main Street (including the rear addition) with the stipulation that the black granite façade will be preserved to a depth of 12 feet the full width (53 feet) of building. This motion was amended unanimously (7-0) to allow demolition of the gray square medallion.

The BAR also accepted the applicant's request for deferral of the application for new construction.

February 17, 2004 - the BAR unanimously approved the application for new construction as received, subject to the Board of Zoning Appeals approval of the penthouse variance. By consensus motion the BAR requested to see the site plan. A site plan application was made, but it never received approval.

A one-year extension of the COA was granted administratively on February 10, 2005. The applicant applied for a demolition permit but it was not issued. The property was sold and the new owner (Kuttner) obtained a demolition permit for the interior.

November 28, 2006 - The BAR had a preliminary discussion on sketch proposals for Kuttner's new building. The property was then sold back to the original applicant.

February 20, 2007 - The BAR voted (8-0) to approve the demolitions, including 200 E. Main Street with rear additions, excepting the black granite façade of 200 East Main Street, but including the marble sign centerpiece, and also 108 Second Street SE, as submitted.

The BAR voted (8-0) to approve proposed new Land mark Hotel general massing and architectural design as submitted, with the condition that the applicant come back to the BAR with further detailing and materials.

Application

The applicant is requesting approval of the details and materials for the Landmark hotel, a 9-story full service hotel with approximately 100 rooms, meeting space, and restaurant and bar with seating capacity for approximately 150 persons.

Attached are: the booklet containing elevation and perspective drawings, and certain construction drawings, including a plan of the roof terrace, and sections drawings of walls, windows, and parapet.

Also attached are details of the Main Street and Water Street canopies and an elevation drawing with a key to section details.

Criteria, Standards and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec. 34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Guidelines for New Construction

Pertinent sections to this level of review include P. 3.11 Windows and Doors; p. 3.13 Street Level Design; and p. 3.15 Materials and Textures.

Discussion and Recommendations

The site plan is being approved concurrently.

Any improvements within the Second Street SE r/w are subject to City approval, including the pavement pattern near Water Street.

A materials board will be available at the meeting.

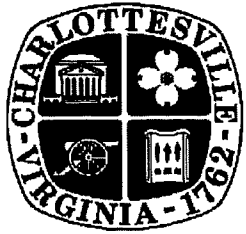
A tent is proposed to be erected periodically on the roof terrace.

The lighting level in the penthouse "lantern" and any other exterior lighting (uplighting, pavement lighting under the porte cochere, etc.) should be discussed.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for New Construction, I move to find that the details and materials for the proposed new Landmark Hotel satisfy the BAR's criteria and are compatible with this property and other properties in this district, and that the BAR approves the application as submitted (or with the following conditions...).

*under the request app.
return w/ add. info.
structure + appearance of
tent on terrace on east end
brick + stone cladding on
west wall of old bldg
+ canopies if they change
6-0*



Board of Architectural Review (BAR) Certificate of Appropriateness

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

RECEIVED

JAN 30 2007

NEIGHBORHOOD DEVELOPMENT SERVICE

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$250 application fee. For all other projects requiring BAR approval, please include \$50 application fee. For both types of projects, the applicant must pay \$1.00 per required mail notice to property owners. The applicant will receive an invoice for these notices, and project approval is not final until the invoice has been paid. For projects that require only administrative approval, please include \$50 administrative fee. Checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 5 p.m.

Information on Subject Property

Physical Street Address:

- 1) 200 East Main
- 2) 108 Second Street Southeast
Charlottesville, VA 22902

City Tax Map: 28 Parcel: 31-32

Name of Historic District or Property: DOWNTOWN

Do you intend to apply for Federal or State Tax Credits for this project? No

Applicant

Name: Hotel Charlottesville, LLC
Address: 11601 Wilshire Blvd. Suite 2300
Los Angeles, CA 90025

Email: lee@ldanielson.com

Phone: (W) (310) 922-6504 (H)

Property Owner (if not applicant)

Name: HROK, LLC
Address: 1117 East Market Street
Charlottesville, VA 22903

Email: _____
Phone: (W) (434) 979-8413 (H) _____
FAX: (434) 979-2102

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

[Signature] 1/29/07
Signature Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

[Signature] 1/30/07
Signature Date

Description of Proposed Work (attach separate narrative if necessary): See Attached.

RECEIVED

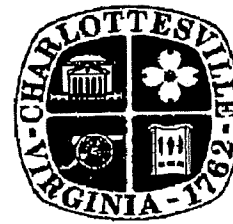
JAN 30 2007

NEIGHBORHOOD DEVELOPMENT SERVICE

Attachments (see reverse side for submittal requirements): _____

Received by: Lisa A. Barner
Fee paid: \$250.00 Cash/Ck. # 3758
Date Received: 1/30/07

Approved/Disapproved by: _____
Date: _____
Conditions of approval: _____



Board of Architectural Review (BAR) Certificate of Appropriateness

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$250 application fee. For all other projects requiring BAR approval, please include \$50 application fee. For both types of projects, the applicant must pay \$1.00 per required mail notice to property owners. The applicant will receive an invoice for these notices, and project approval is not final until the invoice has been paid. For projects that require only administrative approval, please include \$50 administrative fee. Checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Information on Subject Property

Physical Street Address: 200 E. Main St.
108 2ND ST SE, CHARLOTTESVILLE, VA 22902
City Tax Map/Parcel: TAX MAP 28 PARCELS 31+32

Name of Historic District or Property: DOWNTOWN

CORRIDOR/HISTORIC OVERLAY

Do you intend to apply for Federal or State Tax Credits for this project? NO

Applicant

Name: MINOR FAMILY HOTELS, LLC
Address: 410 MINOR VENTURES, 199 FREMONT
ST, 12TH FLOOR, SAN FRANCISCO, CA 94105
Email: LEE@THEHOTELCHARLOTTESVILLE.COM
Phone: (W) (310) 522-1504 (H) _____
FAX: (310) 573-7600

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

[Signature] 2/13/08
Signature Date

Property Owner (if not applicant)

Name: _____
Address: _____
Email: _____
Phone: (W) _____ (H) _____
FAX: _____

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Signature _____ Date _____

Description of Proposed Work (attach separate narrative if necessary): 10-story Hotel
detailed in attachments

Attachments (see reverse side for submittal requirements): _____

For Office Use Only

Received by: _____
Fee paid: _____ Cash/Ck. # _____
Date Received: _____

Approved/Disapproved by: _____
Date: _____
Conditions of approval: _____

NEIL BHATT

NBJ Architecture
Grove Park Square
11537 E NICHOLS RD
Glen Allen VA 23059



THE LANDMARK HOTEL

KEY TO SECTION DETAILS
SECOND STREET ELEVATION

RECEIVED

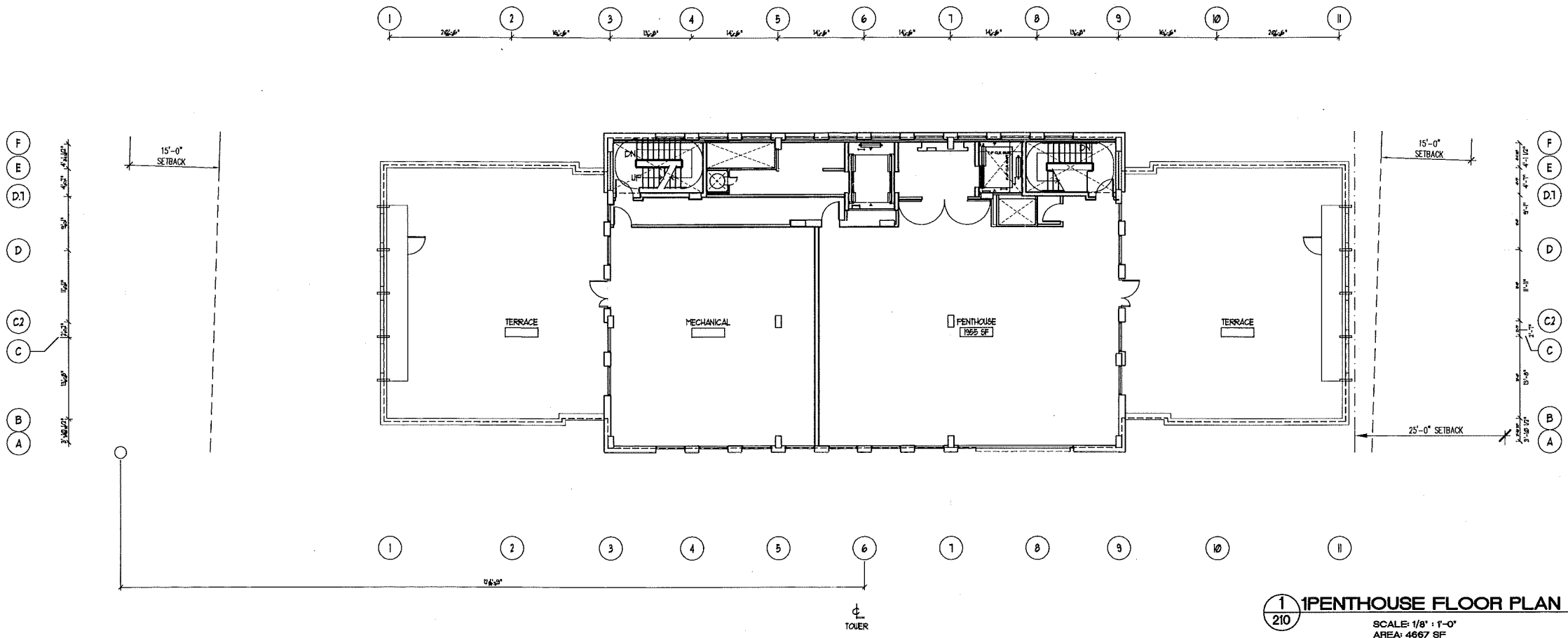
FEB 13 2008

NEIGHBORHOOD DEVELOPMENT SERVICES



nbj ARCHITECTURE
A Professional Limited Company

11537 B NUCKOLS ROAD
GROVE PARK SQUARE
GLEN ALLEN, VA 23059
(804) 273-9811 fax: (804) 273-9843



1 PENTHOUSE FLOOR PLAN
 210
 SCALE: 1/8" = 1'-0"
 AREA: 4667 SF

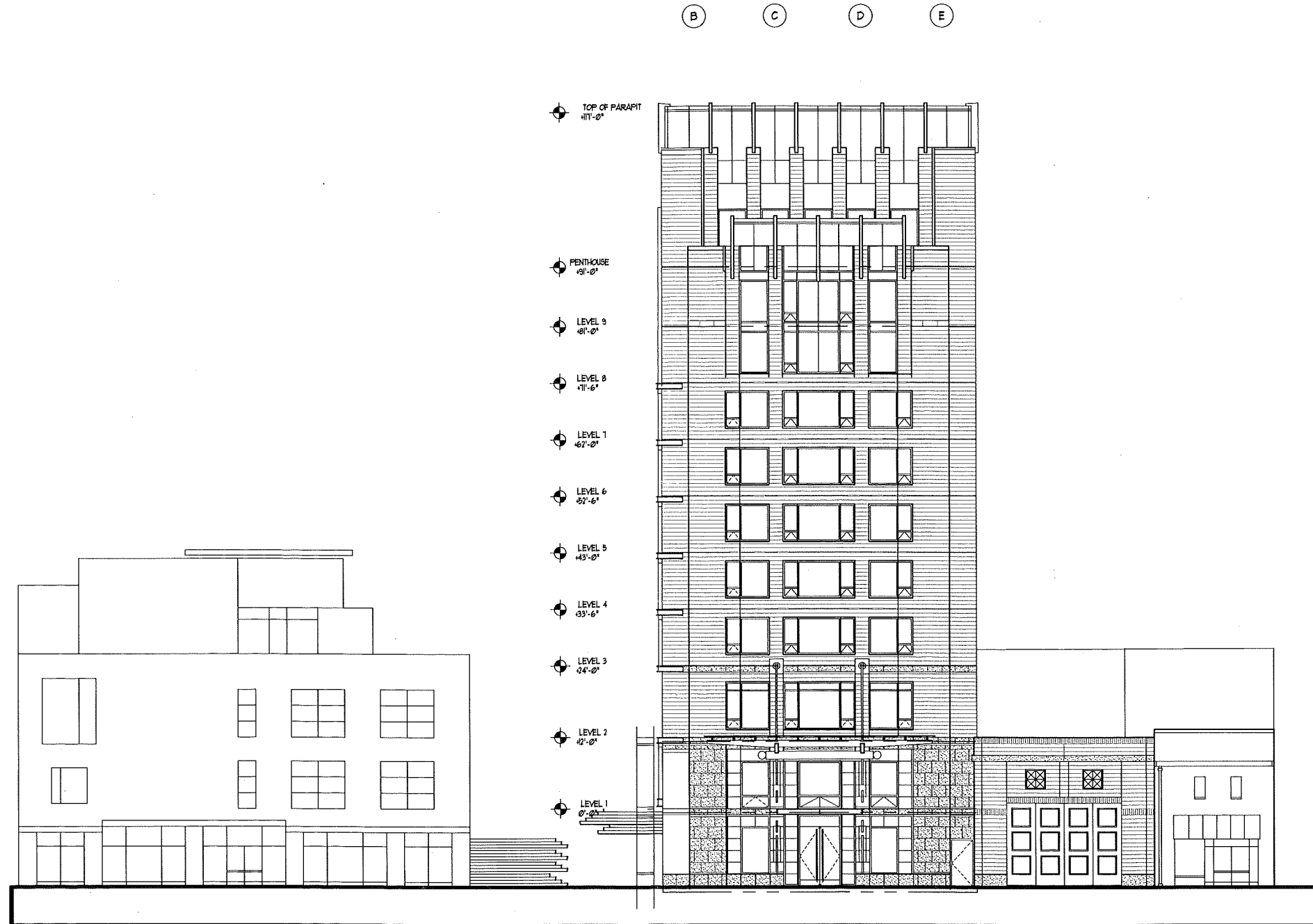


mbj ARCHITECTURE
A PROFESSIONAL LIMITED COMPANY
 GROVE PARK SQUARE
 11537-B NUCKOLS ROAD
 Richmond, Virginia 23059
 (804) 273-9811 fax: (804) 273-9843

THE LANDMARK HOTEL
 CHARLOTTESVILLE, VA

**BUILDING MODIFICATION
 PACKAGE FOR ZONING
 APPROVAL**

Date: MARCH 19, 2008	
REVISIONS	
NO.	DATE
10TH FLOOR PENTHOUSE FLOOR PLAN	
Sheet A-210R	
File Number CR-AJGAL.DWG	



1
501 **WATER STREET ELEVATION**
SCALE: 1/8" = 1'-0"

nbij ARCHITECTURE
A PROFESSIONAL LIMITED LIABILITY COMPANY
GROVE PARK SQUARE
11537-B NUCKOLS ROAD
Richmond, Virginia 23069
Tel: (804) 273-5811 Fax: (804) 273-9843



THE LANDMARK HOTEL
CHARLOTTESVILLE, VA

**BUILDING MODIFICATION
PACKAGE FOR ZONING
APPROVAL**

Date: MARCH 19, 2008	
REVISIONS	
NO.	DATE

**WATER STREET
ELEVATION**

Sheet
A-501

File Number
A-501-501E-EV.DWG



1 SECOND STREET ELEVATION
502
SCALE: 1/8" = 1'-0"

mbj ARCHITECTURE
A PROFESSIONAL LIMITED COMPANY
GROVE PARK SQUARE
11537-B NUCKOLS ROAD
Richmond, Virginia 23059
P (804) 273-9811 Fax: (804) 273-9843



THE LANDMARK HOTEL
CHARLOTTESVILLE, VA

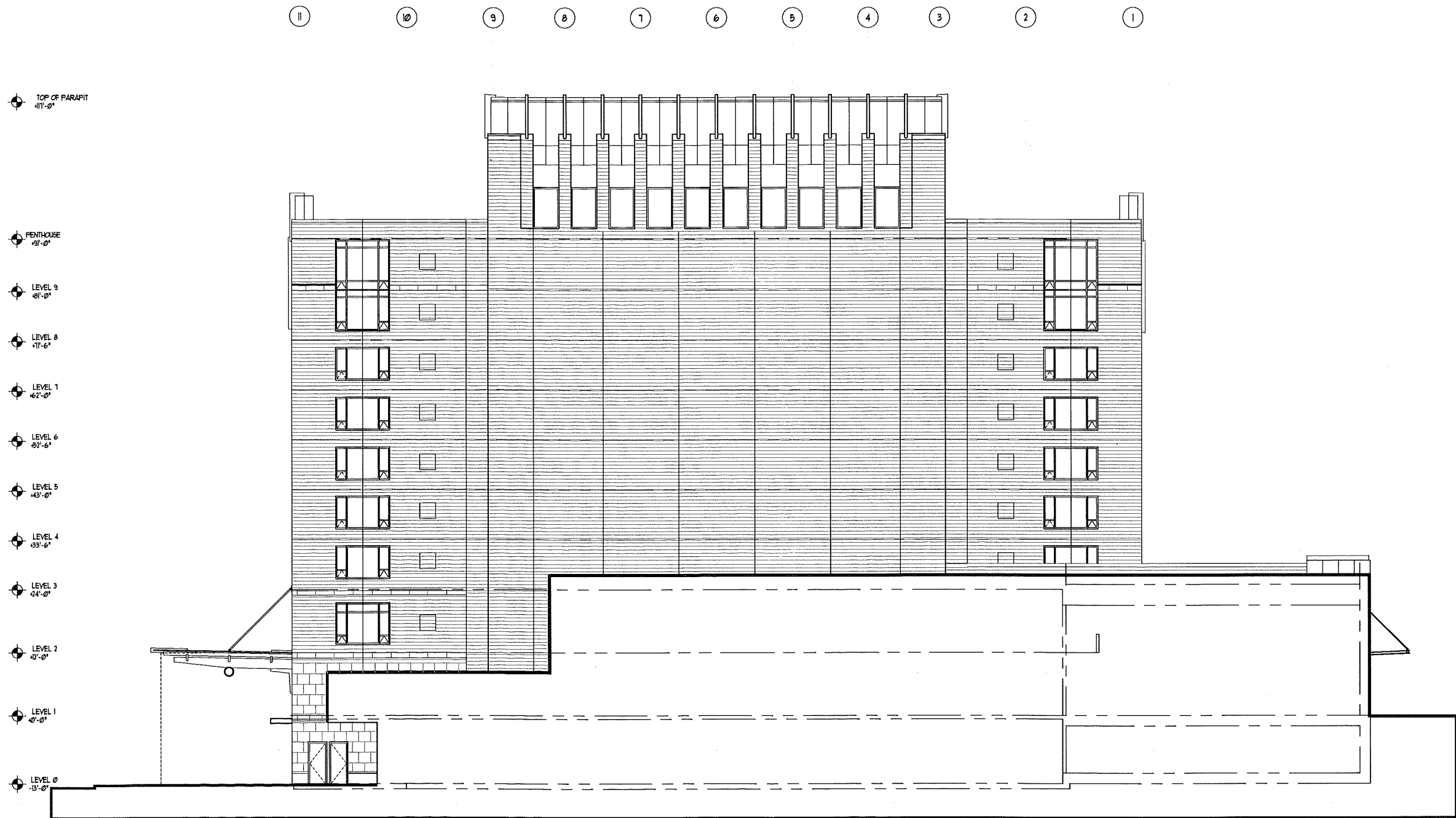
BUILDING MODIFICATION
PACKAGE FOR ZONING
APPROVAL

Date:	MARCH 19, 2008
REVISIONS	
NO.	DATE

SECOND STREET
ELEVATION

Sheet
A-502

File Number



1 EAST ELEVATION
503
SCALE: 1/8" = 1'-0"

mbj ARCHITECTURE
A PROFESSIONAL LIMITED COMPANY
GROVE PARK SQUARE
11537-B NUCKOLS ROAD
Richmond, Virginia 23059
Tel: (804) 273-9811 Fax: (804) 273-9843

THE LANDMARK HOTEL
CHARLOTTESVILLE, VA

**BUILDING MODIFICATION
PACKAGE FOR ZONING
APPROVAL**

Date:
MARCH 19, 2008

REVISIONS	
NO.	DATE

**EAST
ELEVATION**

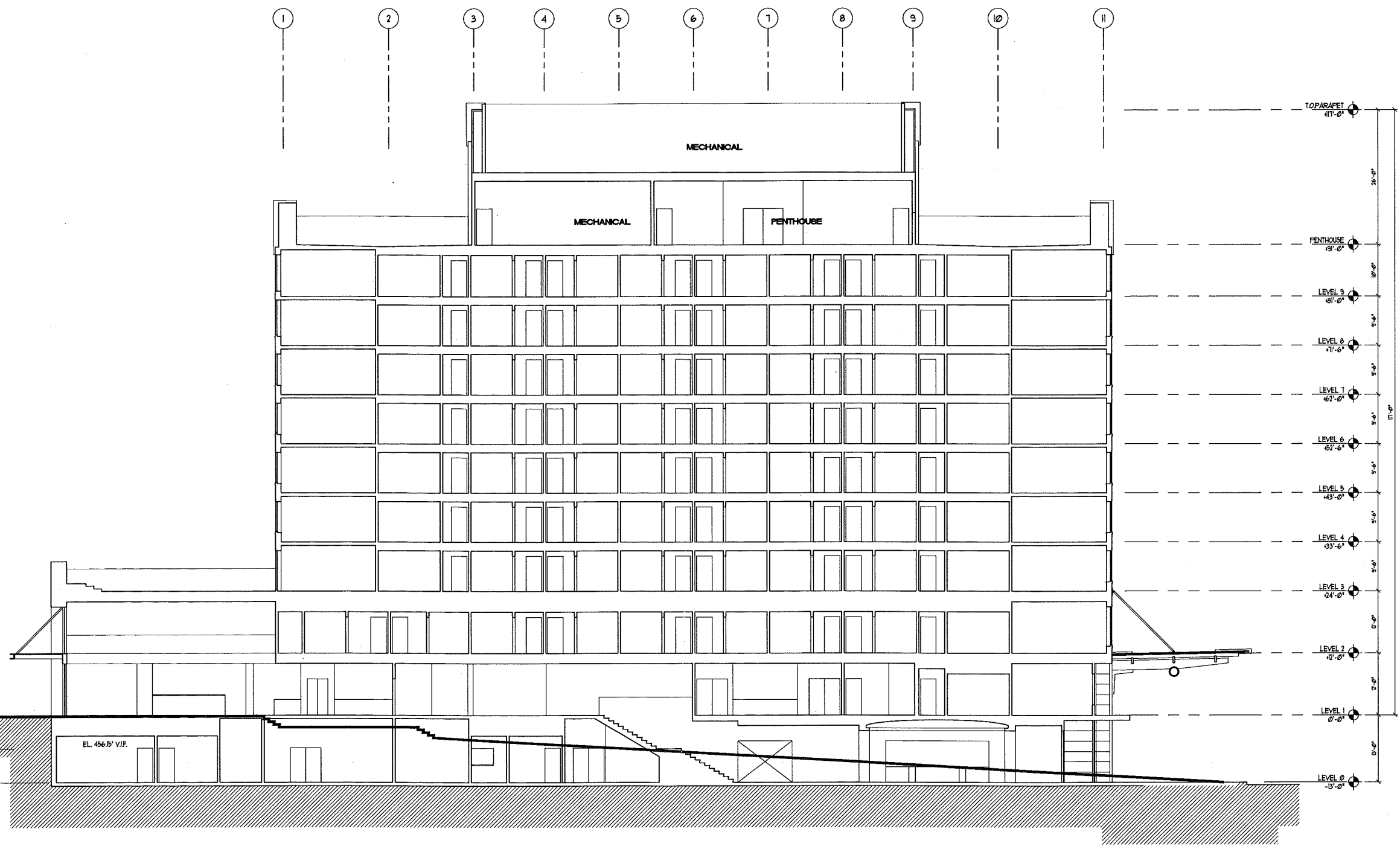
Sheet
A-503

File Number
A-501-504-ELEV.DWG




File Number

1001-5011 (USPS 0000-0000)



1 BUILDING SECTION
510 SCALE: 1/8" = 1'-0"



mbj ARCHITECTURE
A PROFESSIONAL LIMITED COMPANY
GROVE PARK SQUARE
118374E NUCKOLS ROAD
Richmond, Virginia 23059
☎ (804) 273-9811 fax: (804) 273-9843

THE LANDMARK HOTEL
CHARLOTTESVILLE, VA

**BUILDING MODIFICATION
PACKAGE FOR ZONING
APPROVAL**

Date: MARCH 19, 2008

REVISIONS	
NO.	DATE

BUILDING SECTION

Sheet
A-510

File Number
A510SECTION

Scala, Mary Joy

From: NEIL BHATT [nbhatt@nbjarch.com]
Sent: Tuesday, March 25, 2008 7:23 PM
To: Scala, Mary Joy
Cc: 'Cliff Harrison'; 'David Wright'; Jlewis@gateprecast.com; 'lee danielson'; 'Alex Judson'
Subject: Revised penthouse sketches for Proposed 'The Landmark Hotel' at C'Ville and Brick Mock up.
Attachments: A401PLAN 401 (1).pdf; A501-504ELEV 501 (1).pdf; A501-504ELEV 502 (1).pdf; A501-504ELEV 503 (1).pdf; A501-504ELEV 504 (1).pdf; A510SECT 510 (1).pdf

Mary Joy: I am forwarding these sketches for the revised Penthouse as we discussed for your information. The owner is pursuing Zoning approval for these modifications.

Regarding the "Thin Brick on Precast" issue, Jim Lewis - (Contact as listed below)

Jim Lewis
 Director of Architectural Systems
 Gate Precast Company
 Office 770 667 3600
 Cell 904 910 0171
jlewis@gateprecast.com

the Architectural Precast expert from Gate Concrete will give you a call to discuss their claim that they can match any traditional brickwork in their system and it is being used for Historic Renovations. If you find it appropriate, we would like you to set up a mock up review by appropriate people on April 8, 2008 at the site. Jim can give you more details about when the mock up will be ready at the site.

If you have any questions, please give me a call.

Neil Bhatt

From: NITIN KULKARNI [mailto:nkulkarni@nbjarch.com]
Sent: Tuesday, March 25, 2008 5:05 PM
To: matt.erwin@kimley-horn.com
Cc: 'Neil Bhatt'
Subject: Revised penthouse sketches for Proposed 'The Landmark Hotel' at C'ville.

Matt,
 Here are the sketches we just talked about. Thanks.

NITIN KULKARNI AIA NCARB
 ASSOCIATE
nbj ARCHITECTURE
 GROVE PARK SQUARE
 11537 B NUCKOLS ROAD
 GLEN ALLEN VA 23059
 PH: (804) 273-9811 EXT.111
 FAX: (804) 273-9843

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3/30/2008

34-1101 appurtenance ht 16' max above bldg
 34-1100 bldg = 9 stories max (equates to 101 ft max)
 + basement

cannot have 10 stories.

basement has to be at least 1/2 underground

area of penthouse = 7500 sq ft (inc. covered terraces)
 5000 sq ft without terraces
 total roof = 11,000 sq ft
 need calc = 39%

2,500	230
7,500	11,500
7,500	
200	
10,400	

~~approval~~ need approval if appearance charges
~~need~~ approval was for "brick + stone"
 Old VA Brick (verem)

brick/stone cladding
 on restaurant on west wall of old bldg.
 canopy of they charge
 roof "tent" structure + appearance

Signage to B&R

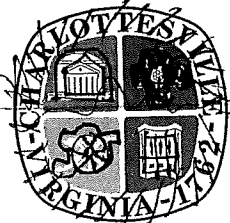
Canopy
 April 15

April 8.

53.55' lot
 39.00

Scala, Mary Joy

From: NITIN KULKARNI [nkulkarni@nbjarch.com]
Sent: Friday, April 04, 2008 11:44 AM
To: Department of Neighborhood Development Services
Scala, Mary Joy
Cc: Walden, Ebony; TYLER CRAGLE
Subject: The Landmark Hotel, Charlottesville Penthouse area.
Attachments: 4-4-2008 Fri 4:33 AM 68f
www.charlottesville.org



Mary Joy Scala,

With reference to my voicemail left today on your office phone, here is the sketch showing the extent of the penthouse proposed to be constructed against the previous proposal. As you can see the covered penthouse area has reduced considerably and is much much less than 39% of the total roof area now. The tower walls are maintained to keep the overall elevation as approved by BAR, but now these walls are merely acting as screen walls to hide the equipments kept on the roof on the 9th floor. Please let me know if our understanding of calculating the penthouse area is wrong. The change was made due to the revision of the Mechanical systems in the hotel from water cooled equipments to the air cooled equipments. Please feel free to call me should you need to discuss this further. Thank you.

NITIN KULKARNI AIA NCARB
ASSOCIATE
nbj ARCHITECTURE
GROVE PARK SQUARE
11537 B NUCKOLS ROAD
GLEN ALLEN VA 23059
PH: (804) 273-9811 EXT.111
FAX: (804) 273-9843

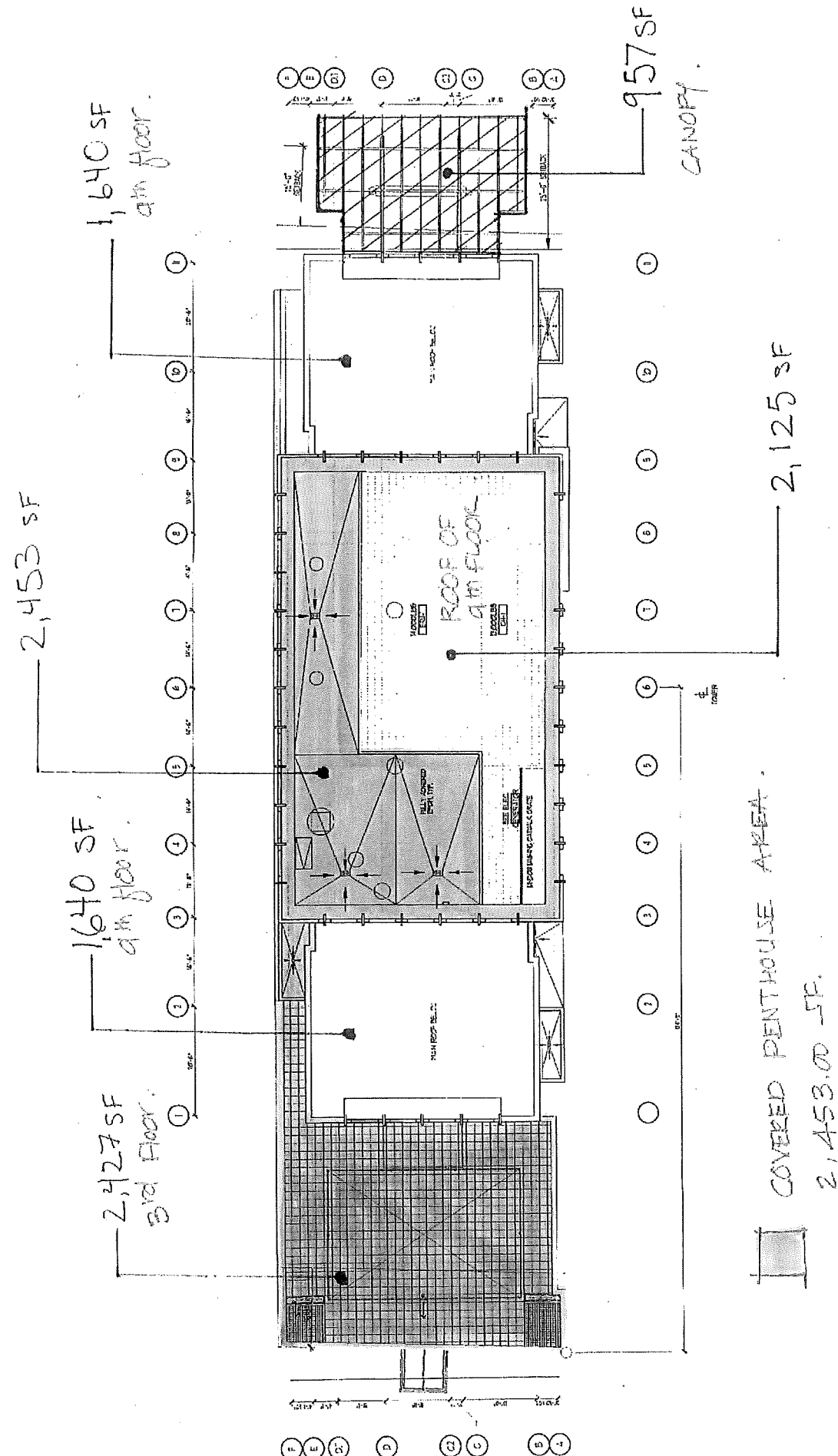
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nbj Architecture 11537 B Nuckols Road, Glen Allen, VA 23059

Penthouse 53 X 88 = 4664	current 4578	
terraces (yellow) 37 X 44 = 1628	1640 6218	
front (red) 53 X 42 = 2226	2427	
+ 4.5 X (37 + 14) X 2 = (102) = 459	- 64 2621	
canopy (25 X 39) = 975	957	
- 96 879	9602 X .39 =	
Total 9792 X .39 =	3,745	
	3,819	

orig. pent. 53 X 88 = 4664	now - 4578	
53 X 80 = 4240	4,011	
current = 4067	4384	
1640	11242	
957	10285	

$$\begin{array}{r} 2453 \\ + 2125 \\ \hline 4578 \end{array}$$



APRIL 4th 2008.
THE LANDMARK HOTEL 'VILLE.

Scala, Mary Joy

From: NEIL BHATT [nbhatt@nbjarch.com]
Sent: Tuesday, April 22, 2008 6:22 PM
To: Scala, Mary Joy; 'NITIN KULKARNI'; Tolbert, Jim
Cc: Walden, Ebony; 'Lee Danielson'; clffhrrsn@aol.com; 'TYLER CRAGLE'
Subject: RE: Proposed Penthouse modifications and Louvered screen for outdoor equipments for Proposed 'The Landmark Hotel' at Charlottesville.

Mary Joy: Thanks for the guidance. We will submit the application by 4/29 with appropriate documents as suggested. Neil Bhatt

From: Scala, Mary Joy [mailto:scala@charlottesville.org]
Sent: Monday, April 21, 2008 8:09 AM
To: NITIN KULKARNI; Tolbert, Jim
Cc: Walden, Ebony; nbhatt@nbjarch.com; Lee Danielson; clffhrrsn@aol.com; TYLER CRAGLE
Subject: RE: Proposed Penthouse modifications and Louvered screen for outdoor equipments for Proposed 'The Landmark Hotel' at Charlottesville.

Please submit an application for the proposed change by the deadline, April 29, in order to be heard on the next BAR meeting on May 20. I'll need the \$50 fee and ten sets of drawings 11 x 17 to show sufficient detail. The BAR will probably want to see a clearer photo of the screen you propose, including material, dimensions, and color, and perhaps a perspective sketch.

Mary Joy Scala, Preservation and Design Planner
 City of Charlottesville
 Department of Neighborhood Development Services
 City Hall - 610 East Market Street
 P.O. Box 911
 Charlottesville, VA 22902
 Ph 434.970.3130 FAX 434.970.3359
 scala@charlottesville.org

From: NITIN KULKARNI [mailto:nkulkarni@nbjarch.com]
Sent: Friday, April 18, 2008 6:36 PM
To: Tolbert, Jim
Cc: Scala, Mary Joy; Walden, Ebony; nbhatt@nbjarch.com; 'Lee Danielson'; clffhrrsn@aol.com; 'TYLER CRAGLE'
Subject: Proposed Penthouse modifications and Louvered screen for outdoor equipments for Proposed 'The Landmark Hotel' at Charlottesville.

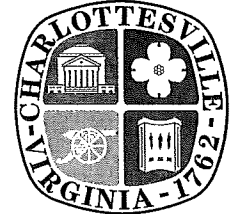
Jim Tolbert,

See attached drawings in PDF format explaining the proposed modifications in the penthouse and roof on 10th floor level for 'The Landmark Hotel'. Also the elevations of all the sides are shown to demonstrate the addition of the screen. As you can see we have continued to stay with the original intent of the design and have proposed the louvered screen to conceal the outdoor equipments on the 10th floor roof as per our conversations during our last meeting in county office.

We plan to present this for BAR approval on 28th of April. Prior to that we would like to know the procedure for the zoning approval for these modifications. Thank you for your help.

4/23/2008

CITY OF CHARLOTTESVILLE
 "A World Class City"



Department of Neighborhood Development Services

City Hall • P.O. Box 911
 Charlottesville, Virginia 22902
 Telephone 434-970-3182
 Fax 434-970-3359
 www.charlottesville.org

May 1, 2008

Dear Sir or Madam:

This letter is to notify you that the following application has been submitted for approval of a Certificate of Appropriateness by the City of Charlottesville Board of Architectural Review on property that is either abutting or immediately across a street from your property, or that has frontage on the same city street block.

Certificate of Appropriateness Application
BAR 08-05-04
201 East Water Street
TM 28 P 31
Minor Family Hotels, LLC
Penthouse Screen

The Board of Architectural Review (BAR) will discuss this application at a meeting to be held on **Tuesday, May 20, 2008, starting at 5pm in City Council Chambers, City Hall**. Enter City Hall from the Main Street pedestrian mall entrance.

An agenda is available on the BAR's home page accessible through <http://www.charlottesville.org> with approximate times. If you need more information, please do not hesitate to contact me at 434/970.3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
 Preservation and Design Planner

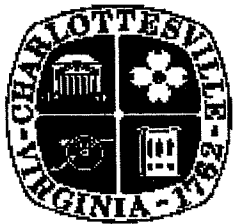
CITY OF CHARLOTTESVILLE
"A World Class City"

Department of Neighborhood Development Services

City Hall • P.O. Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
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www.charlottesville.org



CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
May 20, 2008



Certificate of Appropriateness Application
BAR 08-05-04
201 East Water Street
TM 28 P 31
Minor Family Hotels, LLC
Penthouse Screen

Background

NOTE: The architect for the hotel has changed from Hornberger and Worstell to NBJ Architecture in Richmond, VA.

This is the proposed Landmark Hotel property, formerly identified as 200 East Main Street, and located within the Downtown ADC District.

200 E. Main Street is currently vacant. It most recently housed the Boxer Learning Center, and is the site of the former Fidelity American Bank and before that, the Citizen's Bank and Trust (1931). An addition was made to the Citizen's Bank in 1955, doubling its size. In 1966 the bank was again expanded, taking over part of the former Woolworth's property to the east. The black granite façade (and most likely the murals) were added during the 1966 remodeling. The architect previously noted that the original east wall of the 1931 bank building is intact in the basement of 200 E. Main Street, and is visible on the roof.

The rear portion of the 200 E. Main Street property contains a two-story office building that was probably added during the 1966 remodeling.

The National Register nomination form describes the existing building as [yellow] brick (American bond with polished granite veneer on façade); 2 stories; shed roof; 7 bays. Stripped Classical Commercial. Ca. 1960. Entrance in Central bay; 6 plate-glass windows extending 2/3 height of building with aluminum spandrels. Previous site of clothing and dry goods store (1886 Sanborn).

108 2nd Street SE is the site of a small, one-story office building (1966) that formerly housed the Charlottesville Convention and Visitor's Bureau. It physically connects with the two-story office building on the abutting 200 E. Main Street property.

January 20, 2004 - The BAR unanimously (7-0) approved demolition of 108 2nd Street SE and 200 E. Main Street (including the rear addition) with the stipulation that the black granite façade will be preserved to a depth of 12 feet the full width (53 feet) of building. This motion was amended unanimously (7-0) to allow demolition of the gray square medallion.

The BAR also accepted the applicant's request for deferral of the application for new construction.

February 17, 2004 - the BAR unanimously approved the application for new construction as received, subject to the Board of Zoning Appeals approval of the penthouse variance. By consensus motion the BAR requested to see the site plan. A site plan application was made, but it never received approval.

May 27, 2008

Minor Family Hotels, LLC
199 Fremont Street 12th Floor
San Francisco, CA 94105

Certificate of Appropriateness Application
BAR 08-05-04
201 East Water Street
TM 28 P 31
Minor Family Hotels, LLC
Penthouse Screen

Dear Sir or Madam,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on May 20, 2008.

The BAR approved (8-0) the application for a mechanical equipment screen as submitted, keeping the alignment of the top of screen with the brick on the building.

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals should be directed to Jeanne Cox, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in one year (May 20, 2009), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced construction. You may request an extension of the certificate of appropriateness before this approval expires for one additional year for reasonable cause.

Upon completion of construction, please contact me for an inspection of the improvements included in this application.

If you have any questions, please contact me at 970-3130 or scala@charlottesville.org.

A one-year extension of the COA was granted administratively on February 10, 2005. The applicant applied for a demolition permit but it was not issued. The property was sold and the new owner (Kuttner) obtained a demolition permit for the interior.

November 28, 2006 – The BAR had a preliminary discussion on sketch proposals for Kuttner's new building. The property was then sold back to the original applicant.

February 20, 2007 – The BAR voted (8-0) to approve the demolitions, including 200 E. Main Street with rear additions, excepting the black granite façade of 200 East Main Street, but including the marble sign centerpiece, and also 108 Second Street SE, as submitted.

The BAR voted (8-0) to approve proposed new Land mark Hotel general massing and architectural design as submitted, with the condition that the applicant come back to the BAR with further detailing and materials.

February 19, 2008 - Approved 6-0 with the *request* that the applicant return with additional information regarding the structure and appearance of the tent on the terrace on the east end of the building; the brick and stone cladding on the west wall of the old building [200 E. Main] and the canopies if they change. (They did get their building permit since the additional information is a request and not a condition of approval). (Minutes excerpt attached)

Application

The applicant is requesting approval of a new mechanical equipment screen to be located on the 9th floor roof on the north side of the Landmark hotel, a 9-story full service hotel with approximately 100 rooms, meeting space, and restaurant and bar with seating capacity for approximately 150 persons.

Attached is a booklet containing elevations, a plan, and perspective drawings, and also the product catalog information for the louvered aluminum screen, which will be coated with a "Charcoal" Fluoropon finish. The screen appears to be between 10-11 feet tall.

Criteria, Standards and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec. 34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as*

gardens, landscaping, fences, walls and walks;

(6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;

(8) Any applicable provisions of the City's Design Guidelines.

Pertinent Guidelines for New Construction

p. 3.10 Roof

Rooftop Screening

- a. If roof-mounted mechanical equipment is used, it should be screened from public view on all sides.*
- b. The screening material and design should be consistent with the design, textures, materials, and colors of the building.*
- c. The screening should not appear as an afterthought or addition to the building.*

Discussion and Recommendations

A rooftop appurtenance (penthouse) may not measure more than 16 feet in height above the building, and may not cover more than 25% of the roof area. The Hotel received a variance to allow the penthouse to cover 32% of the roof area. A rooftop appurtenance may contain useable floor area used for or as an accessory to a residential or commercial use allowed within that zoning district.

The penthouse was originally planned for mechanical equipment. The current owner wants to use part of the interior penthouse space for a bar, with a rooftop terrace on the south roof. This necessitates moving some mechanical equipment out to the north roof, where it must be screened per City site plan ordinance and the ADC District guidelines.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for New Construction, I move to find that the proposed mechanical screen details and materials for the proposed new Landmark Hotel satisfy the BAR's criteria and are compatible with this property and other properties in this district, and that the BAR approves the application as submitted ~~(or with the following conditions...)~~.

Excerpt from February 19, 2008 BAR Minutes

C. Certificate of Appropriateness Application
BAR 08-02-01
200 E. Main Street
TM 28 Parcels 31 & 32
Hotel Charlottesville, LLC
Landmark Hotel - details

Ms. Scala gave the staff report. The applicant is requesting approval of the details and materials for the Landmark Hotel. The applicant had provided construction drawings including a plan of the roof terrace and section drawings of the walls, windows, and parapet. Details of the Main Street and Water Street canopies had been provided. Any improvements shown in the Second Street Southeast right-of-way are subject to City approval.

The applicant gave a brief presentation of the proposed materials: Old Virginia Brick in Colonial Red; anodized aluminum windows; and anodized aluminum for the canopies.

QUESTIONS FROM THE PUBLIC:

There were no questions from the public.

QUESTIONS FROM THE BOARD:

Mr. Wolf wanted to know how the edge detail of the laminated glass canopies would be handled. The applicant stated it would have an aluminum frame on the edge.

Ms. Gardner sought clarification of the Second Street elevation floor-level detail. The applicant explained it was a curtain wall detail.

Ms. Brennan wanted to know if there would be lighting for the top story and if it would meet the dark sky ordinance. The applicant stated there would be lighting. Ms. Scala clarified that the lighting was inside and therefore not regulated by the dark sky ordinance.

Mr. Osteen wanted to know what had changed from the previous approval. The applicant stated that in the interest of time, there would not be any design change other than the canopy.

COMMENTS FROM THE BOARD:

Mr. Hogg thought the submittal was consistent with the previous submittal. He thought it was nice to see the details develop. Mr. Hogg thought the canopies were one of the very nice parts of the project and asked the applicant to be careful if they were redesigned.

Mr. Osteen stated he liked the building just as he had a year ago. He expressed concern about changing the designer. Mr. Osteen felt the project was being rushed. He appreciated the cast stone as he had felt the brick was problematic.

Ms. Gardner agreed with Mr. Hogg that the canopy for the Water Street entrance was very elegant. She reiterated that the tent at the front of the building would be periodic and stated it needed to be down more than it was up. With all of the other careful detailing and planning of the building she wanted more detail of the frame structure.

Mr. Wolf felt specific details may need to come back. He stated he was leaning towards supporting the project in general with minor conditions.

Ms. Brennan agreed with Mr. Wolf.

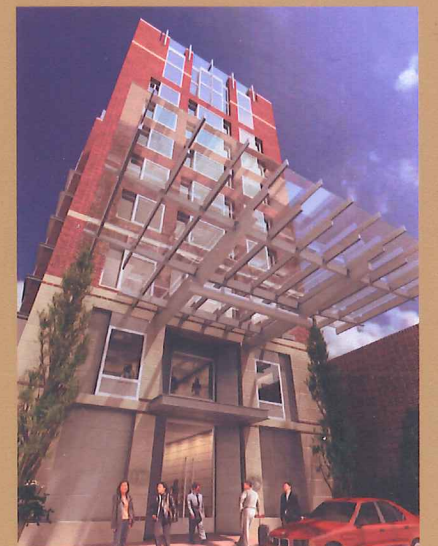
Mr. Osteen noted that the staff report included an incorrect address and that it should be 108 Second Street Southeast.

Ms. Scala stated the applicant was looking to get a building permit. Mr. Hogg stated the details needed would not have a meaningful effect on the large scope of the project and would be so late in the process that he would be happy to have the project start.

Mr. Hogg, having considered the standards set forth within the City Code including Design Guidelines for New Construction, moved to find that the details and materials for the proposed new Landmark Hotel satisfy the BAR's criteria and are compatible with this property and other properties in this district, and that the BAR approves the application as submitted with the request that the applicants return with additional information about the structure and the appearance of the tent on the terrace at the north end of the project and further details about the brick and stone cladding on the west wall of the old building and the canopies if they change. Ms. Brennan seconded the motion. The motion carried unanimously.

THE LANDMARK HOTEL

Main and Second
Charlottesville, Virginia



BOARD OF ARCHITECTURAL REVIEW

REVIEW MEETING
SUPPLEMENTAL MATERIAL
April 29, 2008



nbj ARCHITECTURE
A Professional Limited Company
Grove Park Square
11537-B Nuckols Road
Glen Allen, VA 23059

☎ (804) 273-9811
fax: (804) 273-9843
URL: www.nbjarch.com



A DEVELOPMENT BY:
MINOR FAMILY HOTELS

THE LANDMARK HOTEL
CHARLOTTESVILLE, VA



nbj ARCHITECTURE
A Professional Limited Company
11537 B NUCKOLS ROAD
GROVE PARK SQUARE
GLEN ALLEN, VA 23059
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nbij ARCHITECTURE
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 RICHMOND, VIRGINIA 23235
 TEL (804) 273-8811 FAX (804) 273-8843



THE LANDMARK HOTEL

CHARLOTTEVILLE, VA

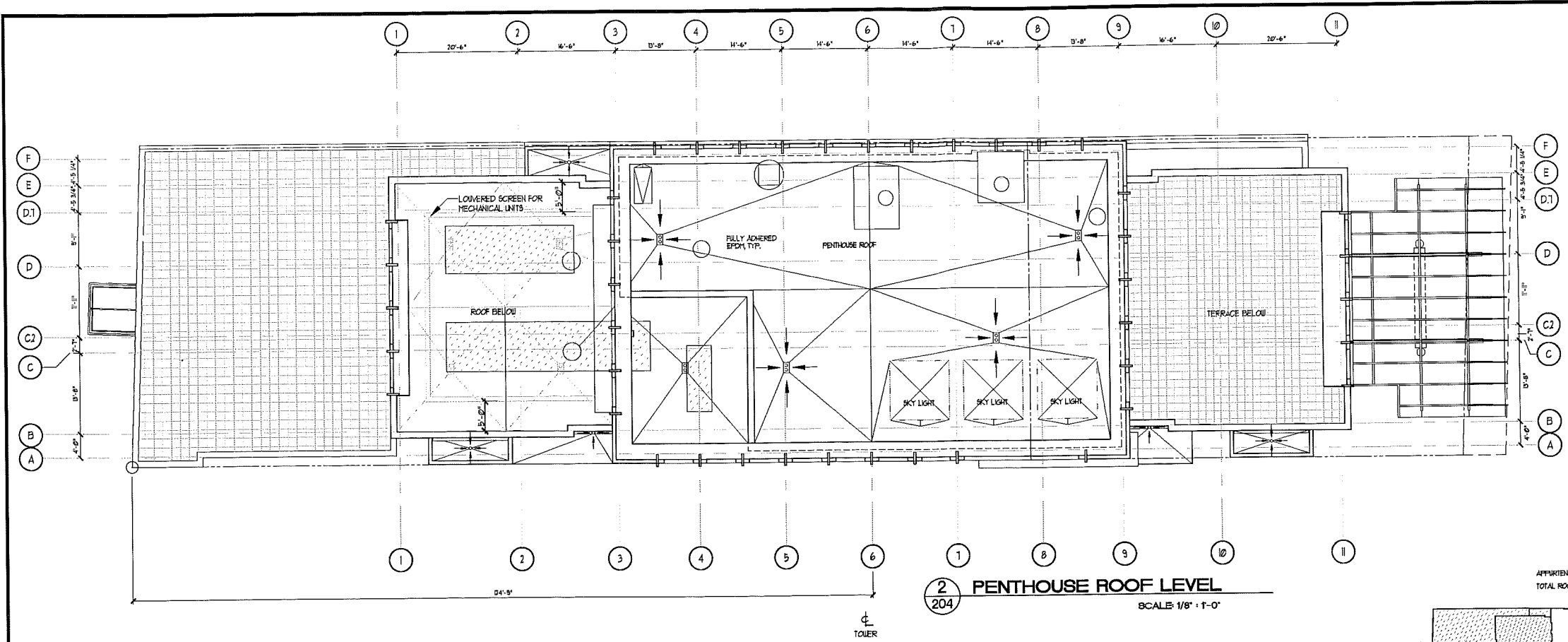
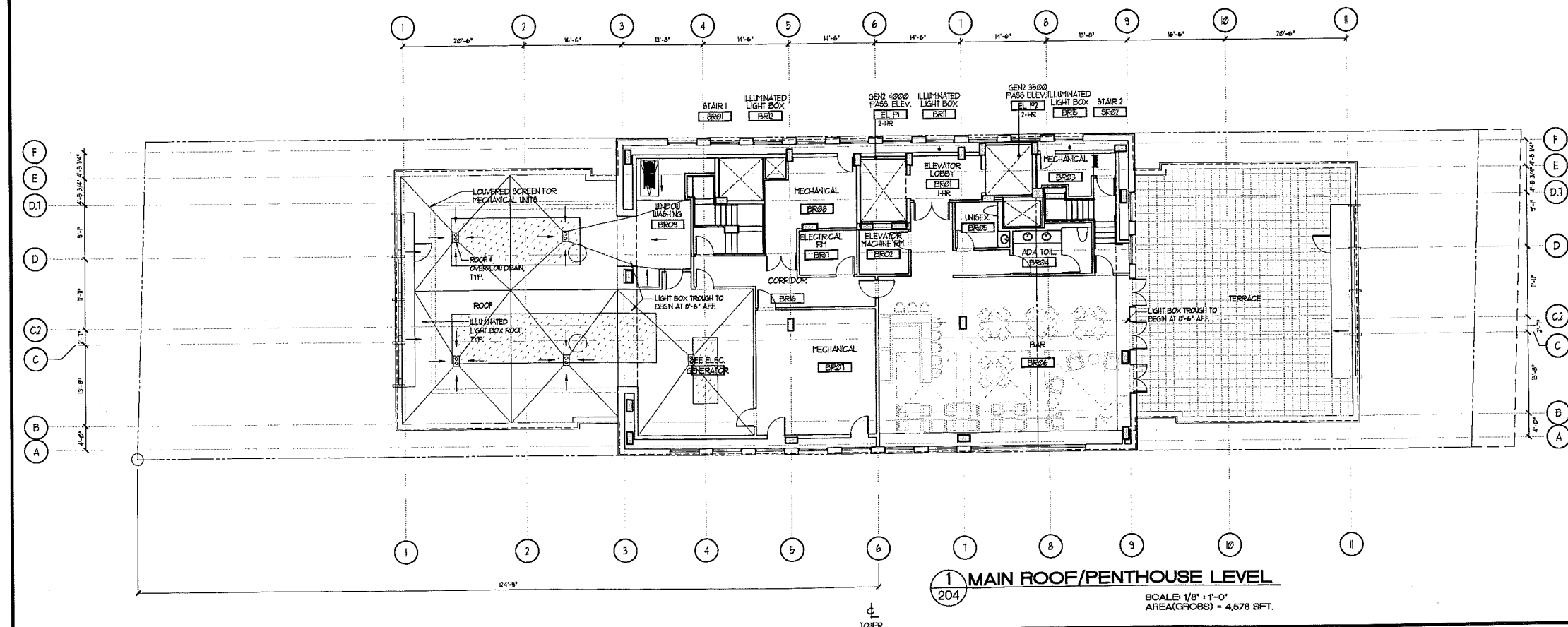
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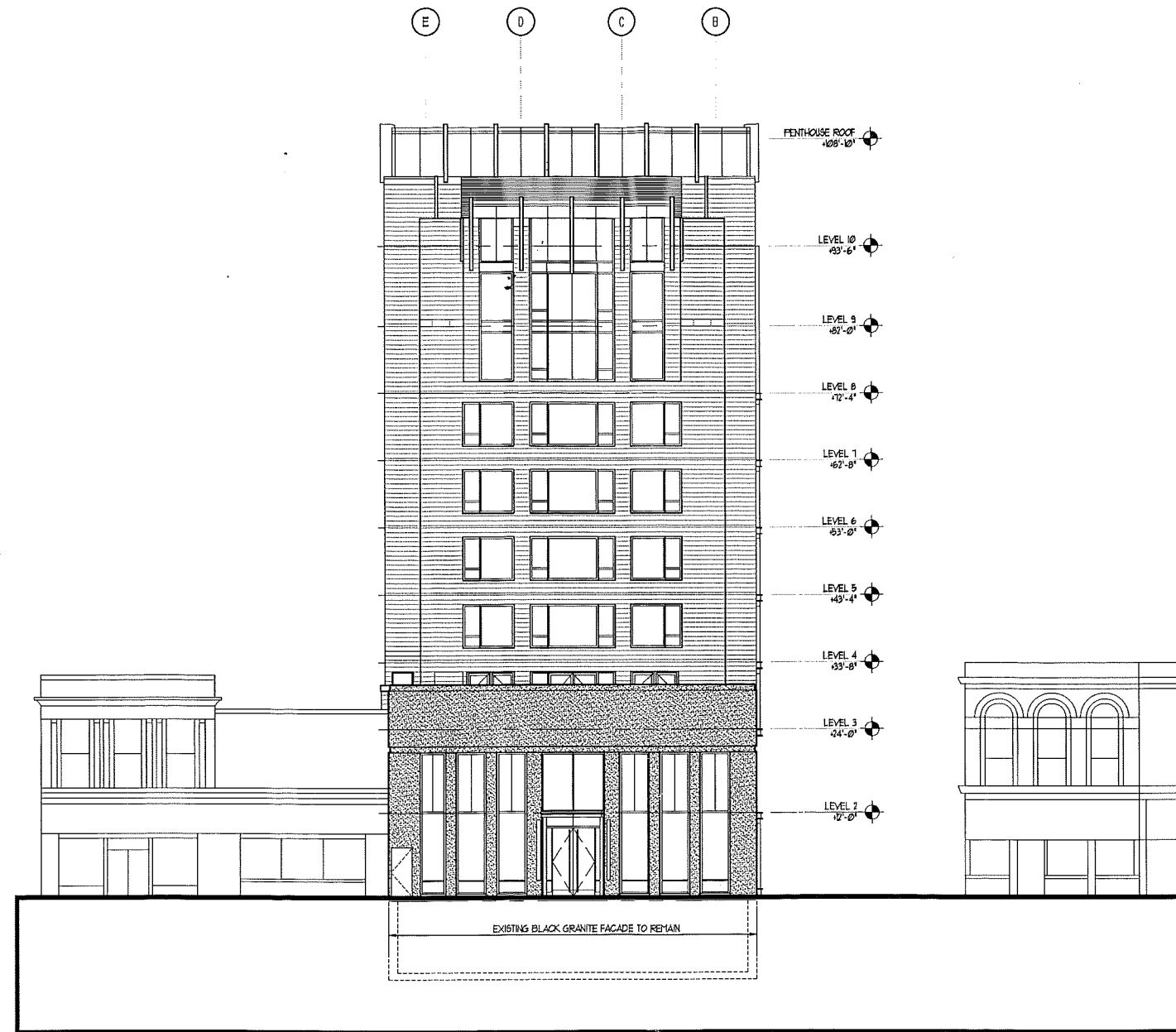
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PENTHOUSE AND MAIN ROOF PLANS

Sheet
A-204

File Number
19-0000-0000





1
A301

MAIN STREET ELEVATION

SCALE: 1/8" = 1'-0"

mbj ARCHITECTURE
A Professional Limited Company
GROVE PARK SQUARE
11537-B NUCKOLS ROAD
Richmond, Virginia 23069
Tel: (804) 273-8811 Fax: (804) 273-9843



THE LANDMARK HOTEL
CHARLOTTESVILLE, VA

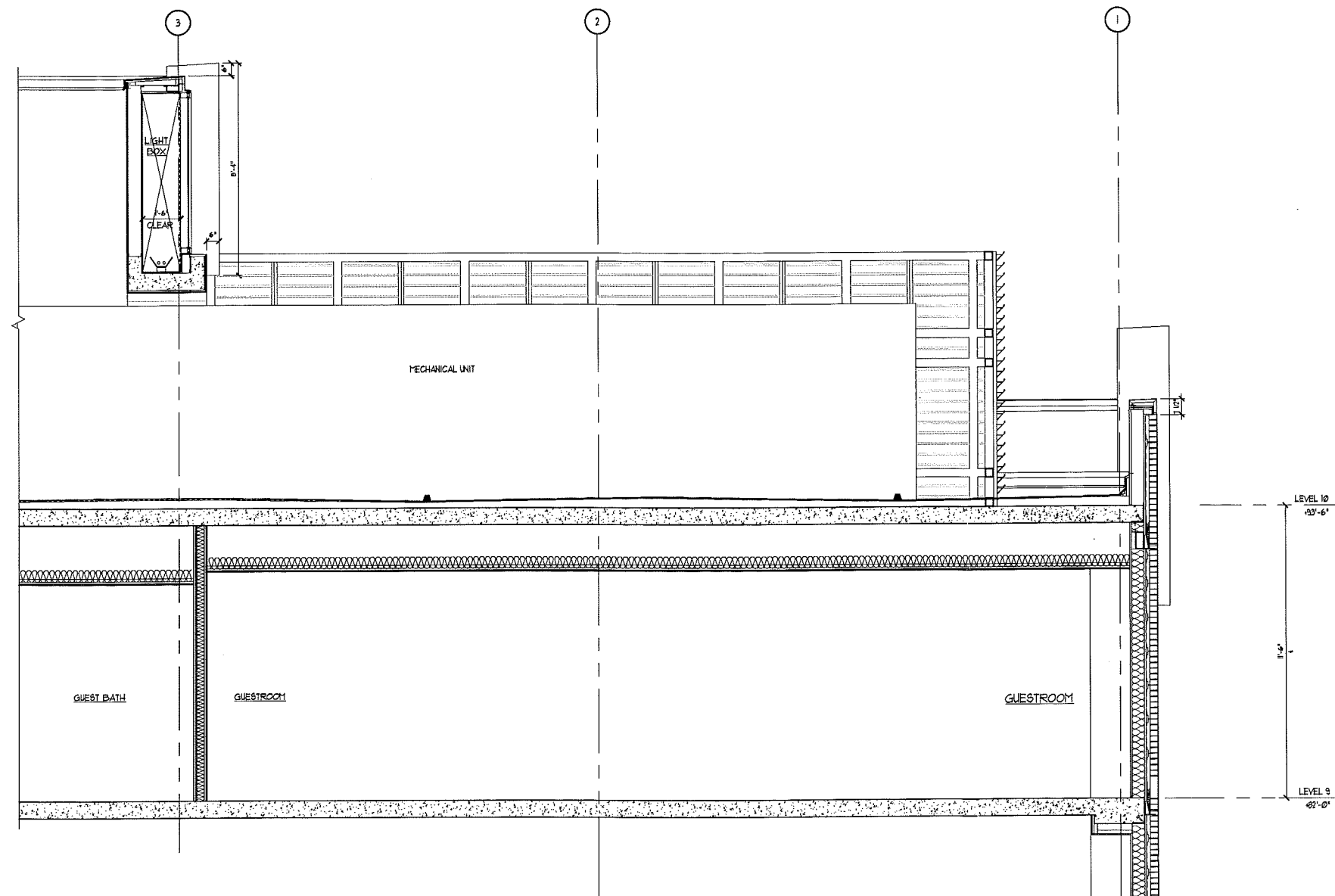
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**MAIN STREET
ELEVATION**

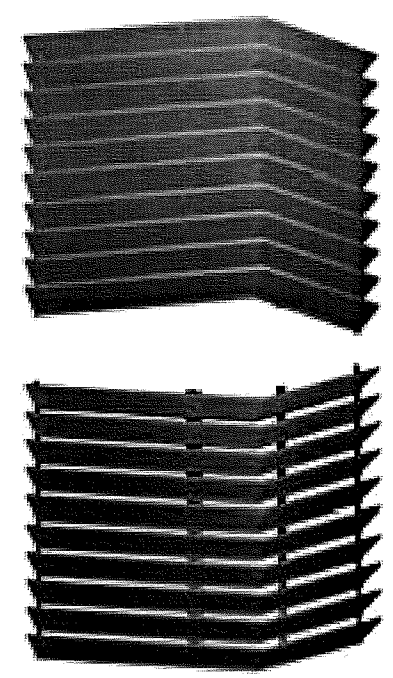
Sheet
A-301

File Number
CLARK12.080



1 SECTION AT EQUIPMENT SCREEN

2 EQUIPMENT SCREEN



mbj ARCHITECTURE
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 11537-B NUCKOLS ROAD
 Richmond, Virginia 23069
 Tel: (804) 273-8811 Fax: (804) 273-8843



THE LANDMARK HOTEL
 CHARLOTTESVILLE, VA

Date: APRIL 25, 2008	
REVISIONS	
NO.	DATE

SECTION AT
 SCREEN WALL

Sheet
A-SCREEN

File Number
 CBA-KWEL-010



1 SECOND STREET ELEVATION
SCALE: 1/8" = 1'-0"

nbi ARCHITECTURE
A PROFESSIONAL LIMITED LIABILITY COMPANY
GROVE PARK SQUARE
11537-B NUCKOLLS ROAD
Richmond, Virginia 23059
Tel: (804) 273-9811 Fax: (804) 273-9843



THE LANDMARK HOTEL
CHARLOTTESVILLE, VA

Date:
APRIL 25, 2008

REVISIONS

NO. DATE

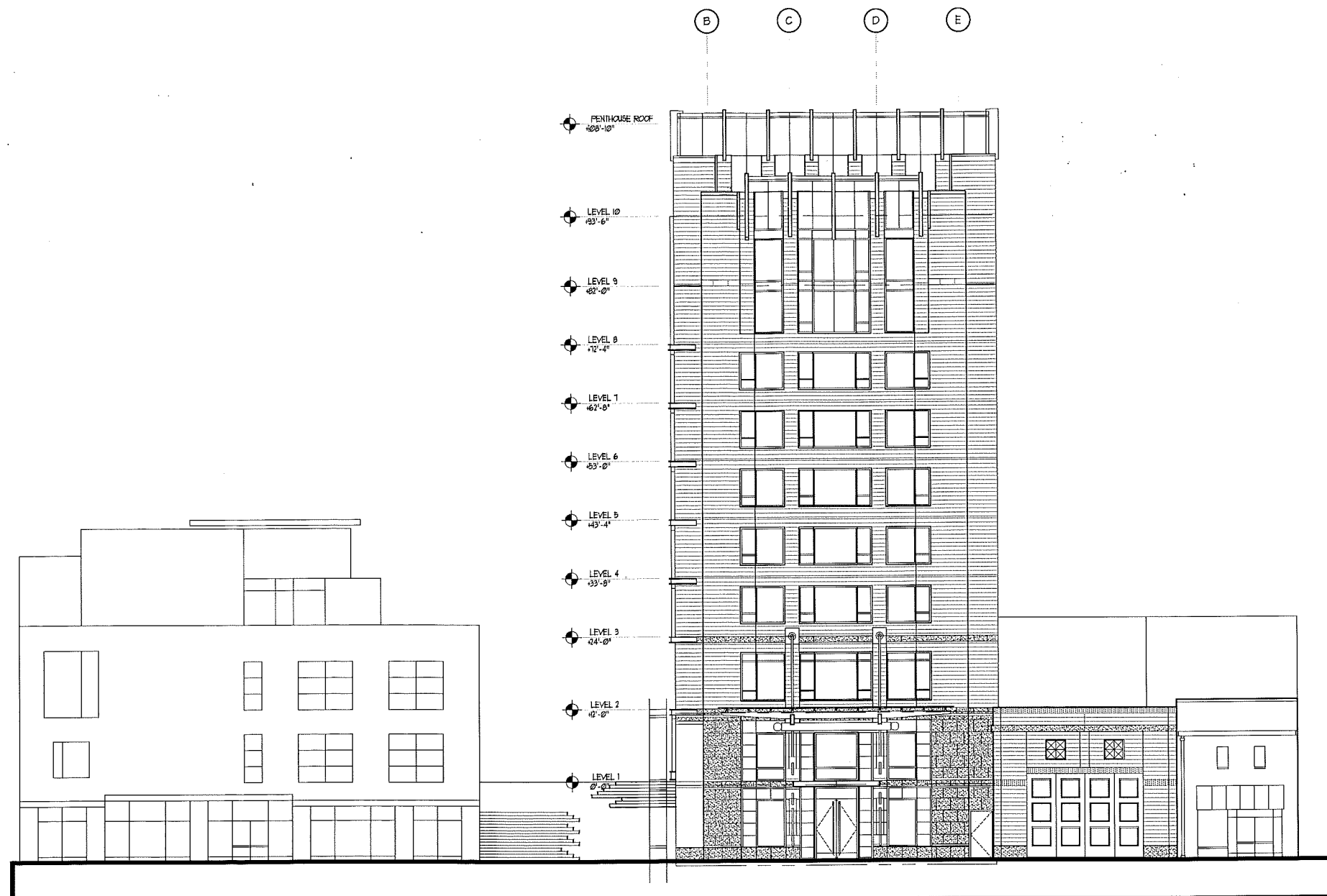
2 ND STREET ELEVATION

Sheet

A-302

File Number

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1 WATER STREET ELEVATION
A303 SCALE: 1/8" = 1'-0"

mbj ARCHITECTURE
A Professional Limited Company
GROVE PARK SQUARE
11537-B NUCKOLS ROAD
Richmond, Virginia 23069
Tel: (804) 273-8811 Fax: (804) 273-8843



THE LANDMARK HOTEL
CHARLOTTESVILLE, VA

Date: APRIL 25, 2008

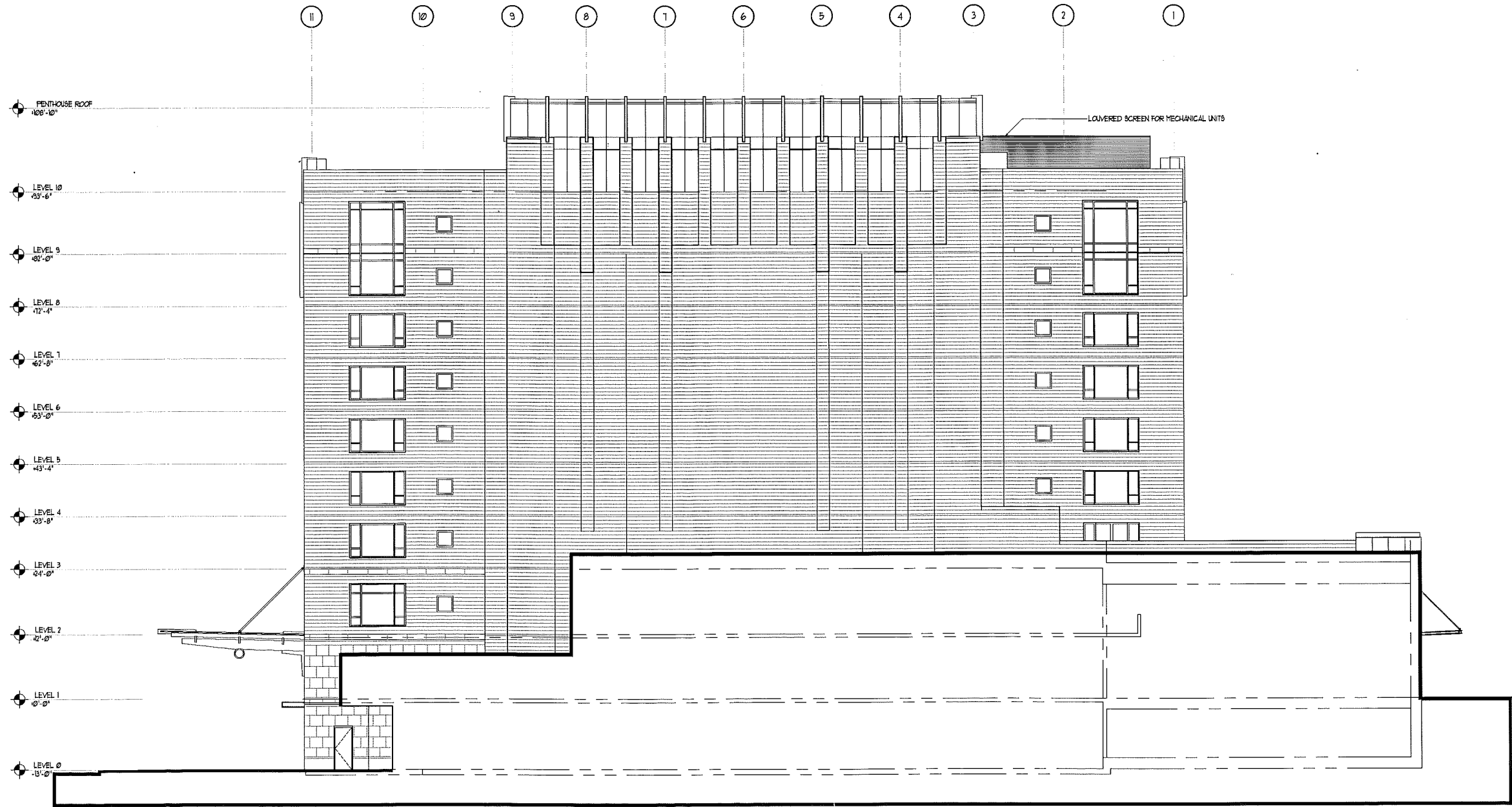
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WATER STREET
ELEVATION

Sheet
A-303

File Number
CR-AMMA-DWG



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

mbj ARCHITECTURE
A PROFESSIONAL LIMITED LIABILITY COMPANY
GROVE PARK SQUARE
11537-B NUCKOLS ROAD
Richmond, Virginia 23059
Tel: (804) 273-9611 Fax: (804) 273-9643



THE LANDMARK HOTEL
CHARLOTTESVILLE, VA

Date:
APRIL 25, 2008

REVISIONS	
NO.	DATE

**EAST
ELEVATION**

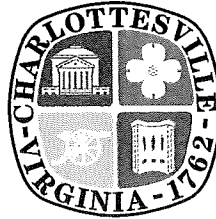
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CITY OF CHARLOTTESVILLE
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Department of Neighborhood Development Services

City Hall • P.O. Box 911
 Charlottesville, Virginia 22902
 Telephone 434-970-3182
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www.charlottesville.org



February 4, 2008

Dear Sir or Madam:

This letter is to notify you that the following application has been submitted for approval by the City of Charlottesville Board of Architectural Review on property that is either abutting or immediately across a street from your property, or that has frontage on the same city street block.

Final Certificate of Appropriateness Application
BAR 08-02-01
200 E. Main Street
TM 28 Parcels 31 & 32
Landmark Hotel

The Board of Architectural Review (BAR) will discuss this application at a meeting to be held on **Tuesday, February 19, 2008, starting at 5pm in Basement Conference Room, City Hall**. Enter City Hall from the Main Street pedestrian mall entrance.

An agenda is available on the BAR's home page accessible through <http://www.charlottesville.org> with approximate times. If you need more information, please do not hesitate to contact me at 434/970.3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
 Preservation and Design Planner

Scala, Mary Joy

From: Scala, Mary Joy
Sent: Friday, February 08, 2008 3:53 PM
To: 'Rob Wilson'
Subject: Landmark Hotel submittal

Rob,

I had the Chair of the BAR look at your submission to see if he (as an architect) would need any other details to review it.

He agreed that the BAR may want to see a detail of the Water Street porte cochere canopy, and also he wondered about the projecting boxes on the west side – are they aluminum clad masonry same as the window finish?

Could you please send me ten sets of additional details that address those two points, by no later than Wednesday?

Thank you

Mary Joy

Mary Joy Scala, Preservation and Design Planner
 City of Charlottesville
 Department of Neighborhood Development Services
 City Hall - 610 East Market Street
 P.O. Box 911
 Charlottesville, VA 22902
 Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

2/13/2008