

**Scala, Mary Joy**

**From:** Rob Wilson [wilson@hwiarchitects.com]  
**Sent:** Friday, January 25, 2008 3:27 PM  
**To:** Scala, Mary Joy  
**Subject:** FW: Landmark Hotel - BAR approval

Mary Joy,

If possible, please let me know if you could accept the BAR materials listed below on 1/30 by 10:00 AM. We are having computer problems and will not complete the work in time to overnight mail the documents for delivery on the 29<sup>th</sup>.

Thanks,

**Rob Wilson** AIA/CSI  
 Vice President

**Hornberger + Worstell**  
 170 Maiden Lane  
 San Francisco, CA 94108  
 p.415.391.1080  
 f.415.986.6387  
[www.hornbergerworstell.com](http://www.hornbergerworstell.com)

---

**From:** Scala, Mary Joy [mailto:scala@charlottesville.org]  
**Sent:** Wednesday, January 16, 2008 1:13 PM  
**To:** Alex Judson  
**Cc:** Walden, Ebony  
**Subject:** RE: Landmark Hotel - BAR approval

The next deadline for submittal is January 29 at 4 pm for the February 19 BAR meeting. They will want to see, minimum, final elevation drawings for all sides; materials, a wall section through the windows, and any other details that they did not see previously. They probably also want to see details of the site plan at Water Street and the roofscape over the restaurant.

I need 10 sets of your submittal documents. You can bring the materials board to the meeting.

**Mary Joy Scala, Preservation and Design Planner**  
 City of Charlottesville  
 Department of Neighborhood Development Services  
 City Hall - 610 East Market Street  
 P.O. Box 911  
 Charlottesville, VA 22902  
 Ph 434.970.3130 FAX 434.970.3359  
[scala@charlottesville.org](mailto:scala@charlottesville.org)

---

**From:** Walden, Ebony  
**Sent:** Wednesday, January 16, 2008 3:58 PM

1/25/2008

**To:** 'Alex Judson'  
**Cc:** Scala, Mary Joy  
**Subject:** RE: Landmark Hotel - BAR approval

The BAR voted (8-0) to approve proposed new Land mark Hotel general massing and architectural design as submitted, with the condition that the applicant come back to the BAR with further detailing and materials.

Please submit the details and material samples for approval at your convenience, which will be scheduled at the following BAR meeting.

The letter states that you need to go back to the BAR for further detailing and materials. You will need to submit these details before your final site plan is approved.

*Ebony Walden*  
 Neighborhood Planner  
 City of Charlottesville  
 Neighborhood Development Services  
 P.O. Box 911 -- 610 East Market St  
 Charlottesville, VA 22902  
 Ph: (434) 970 - 3182 Fax: (434) 970 - 3359  
[walden@charlottesville.org](mailto:walden@charlottesville.org)  
[www.charlottesville.org/nds](http://www.charlottesville.org/nds)

---

**From:** Alex Judson [mailto:alex@thehotelcharlottesville.com]  
**Sent:** Wednesday, January 16, 2008 12:44 PM  
**To:** Walden, Ebony  
**Cc:** 'Lee Danielson'  
**Subject:** RE: Landmark Hotel - Soil Erosion and Sediment Control Application

Ebony,

Please find the BAR approval letter attached.

On another note, do you have any examples of the bond estimates that we discussed?

Thanks,

Alex Judson

---

**From:** Walden, Ebony [mailto:WALDEN@charlottesville.org]  
**Sent:** Thursday, January 10, 2008 11:22 AM  
**To:** Alex Judson  
**Subject:** RE: Landmark Hotel - Soil Erosion and Sediment Control Application

Alex,

Here is a list of the recent comments. A copy to Mr Wilson and Mr Danielson are in the mail.

Planning Comments

1/25/2008

Neighborhood Planner – Ebony Walden

1. Please submit final BAR approval letter when available.
2. You submitted your E & S narrative and fee, but please submit 2 copies of your E & S plan to Read Brodhead, our E & S administrator.

**Fire Comments**

Fire Marshal – Steve Walton

1. The Knox Box needs to be moved to the Main Entrance, E. Water Street side. The key box is a code requirement and shall contain a master key or keys or swipe card for access to mechanical areas as well as other utility rooms or areas by fire fighters during an emergency incident.

**Engineering Comments**

Civil Engineer -- Marty Quinn

**Site Plan**

1. All sheets should agree. As an example, sheet C2.01 differs from sheet A1.22 in the location of utility tie-ins. This is confusing and will not be approved as a final document. Please ensure that all other sheets agree as well.
2. Repeat Comment: *Sheet A1.22 - Half of the pavement width must be maintained open for deliveries to 3 business – Oyster House Antiques, Blue Light Grill and Ten (restaurant). Allowing as-needed access through the site does not seem like a realistic way to ensure their deliveries are not interrupted. It may be necessary to get all the business owners at one table and determine how we can best meet everyone's needs.*

The travel/delivery lane at the intersection of 2<sup>nd</sup> St and Water St scales at 8 feet while inside of the fence the pavement width is 11.5-12 feet wide. This is not acceptable. A panel truck must be able to access the loading areas for Oyster House Antiques, Blue Light Grill and other loading areas. Considering the difficulty in accommodating the these deliveries and construction activities, I suggest contacting the business owners and who will be impacted and investigating if there are other options that would appease them. It may be possible for deliveries to come from across the mall. This would need to be coordinated with the city as there is a locked bollard restricting access and deliveries would need to be schedule for hours when vehicular is allowed on the mall with a permit.

3. Repeat: *Bricking of new side street area must match the master plan for the Downtown Mall (herringbone pattern, brick type, etc.)*  
Sheets A1.02 and C2.01 should reflect the approved 2<sup>nd</sup> St plans prepared by WRT to indicate the location of runnels and surface drainage features as well as the bricking pattern. The details sheet looks good but without locations for the grated drainage inlets and runnels, and necessary improvements to the storm sewer system, it is not a complete plan.
4. Please indicate the area that the boom of the crane will impact. How big of a radius will the boom swing over? How will the safety in this area be maintained? What is the height of the crane; especially in relation to the parking garage across Water St. and the Live Arts building across 2<sup>nd</sup> St?
5. Sheet C1.01: The grading plan must show the existing (dashed line) and proposed grading (solid line) on the same sheet.
6. What is the status of the undergrounding of telephone, electric, and communications utilities along the Hotel frontage on Water Street?

1/25/2008

*Ebony Walden*

Neighborhood Planner

City of Charlottesville

Neighborhood Development Services

P.O. Box 911 -- 610 East Market St

Ph: (434) 970 - 3182 Fax: (434) 970 - 3359

walden@charlottesville.org

www.charlottesville.org/nds

---

**From:** Alex Judson [mailto:alex@thehotelcharlottesville.com]

**Sent:** Wednesday, January 09, 2008 4:47 PM

**To:** Walden, Ebony

**Subject:** RE: Landmark Hotel - Soil Erosion and Sediment Control Application

Ebony,

Per our architect, everything, including the check/application, was submitted to Jim Tolbert.

Thanks,

Alex

---

**From:** Walden, Ebony [mailto:WALDEN@charlottesville.org]

**Sent:** Wednesday, January 09, 2008 1:25 PM

**To:** Alex Judson

**Subject:** RE: Landmark Hotel - Soil Erosion and Sediment Control Application

Yes, I received a COPY of the application and check, but I did not see that it was processed, who did you send the check to: It was not forwarded to me; did you send it to Read Brodhead???

*Ebony Walden*

Neighborhood Planner

City of Charlottesville

Neighborhood Development Services

P.O. Box 911 -- 610 East Market St

Ph: (434) 970 - 3182 Fax: (434) 970 - 3359

walden@charlottesville.org

www.charlottesville.org/nds

---

**From:** Alex Judson [mailto:alex@thehotelcharlottesville.com]

**Sent:** Wednesday, January 09, 2008 4:00 PM

**To:** Walden, Ebony

**Subject:** Landmark Hotel - Soil Erosion and Sediment Control Application

Ebony,

It was nice meeting you this morning. I spoke with our architect, and he informed me that we did submit our soil erosion application, plan and check when we submitted everything in December. Please let me know if there is anything further we need to do until formal comments are circulated.

1/25/2008



# THE LANDMARK HOTEL

Main and Second • Charlottesville, Virginia



BOARD OF ARCHITECTURAL REVIEW  
REVIEW MEETING # 5  
SUPPLEMENTAL MATERIAL

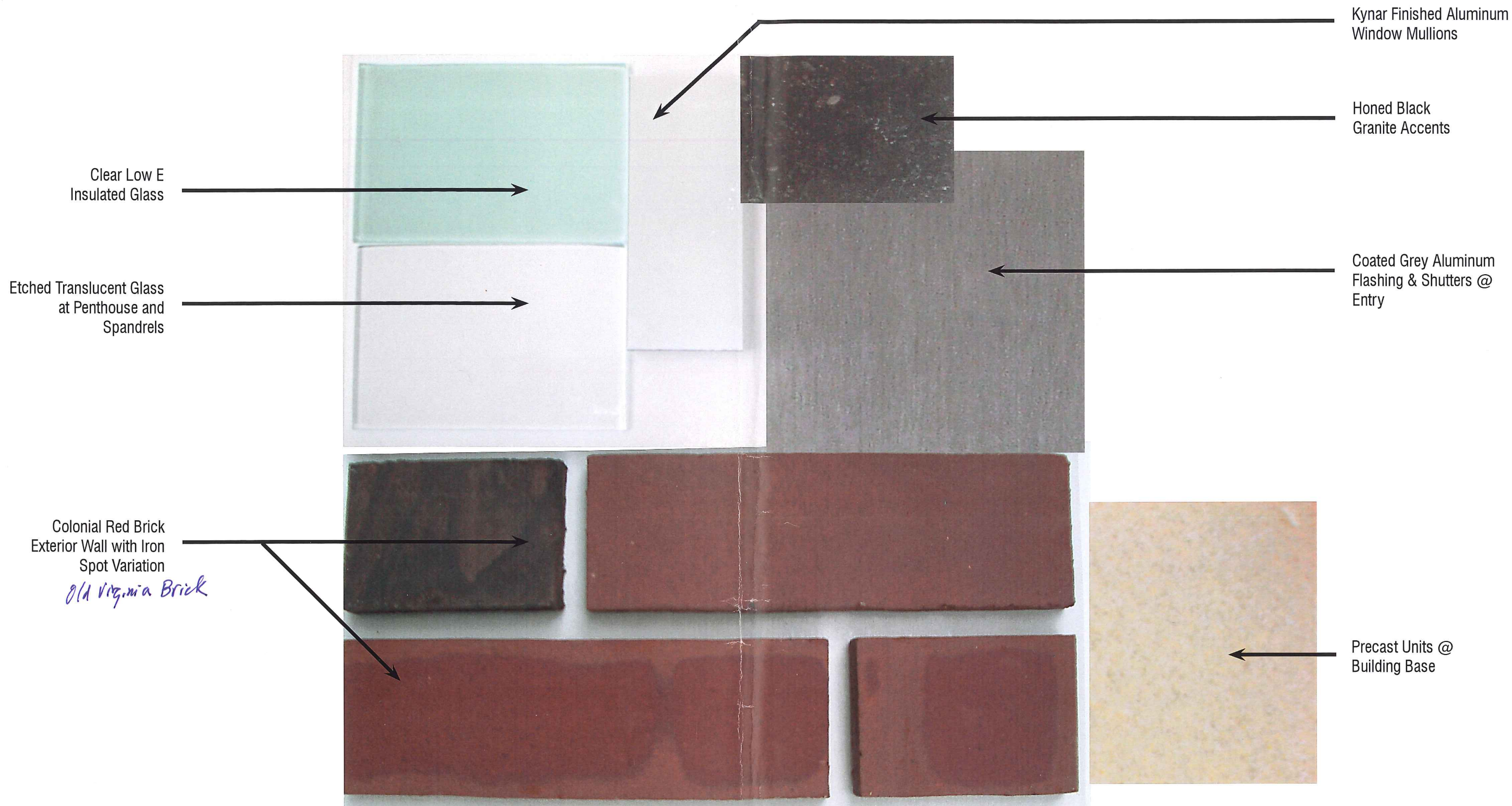


January 28, 2008

© 2008 Hornberger + Worstell

All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.





## THE LANDMARK HOTEL

© 2008 Hornberger + Worstell

All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.

01.28.08

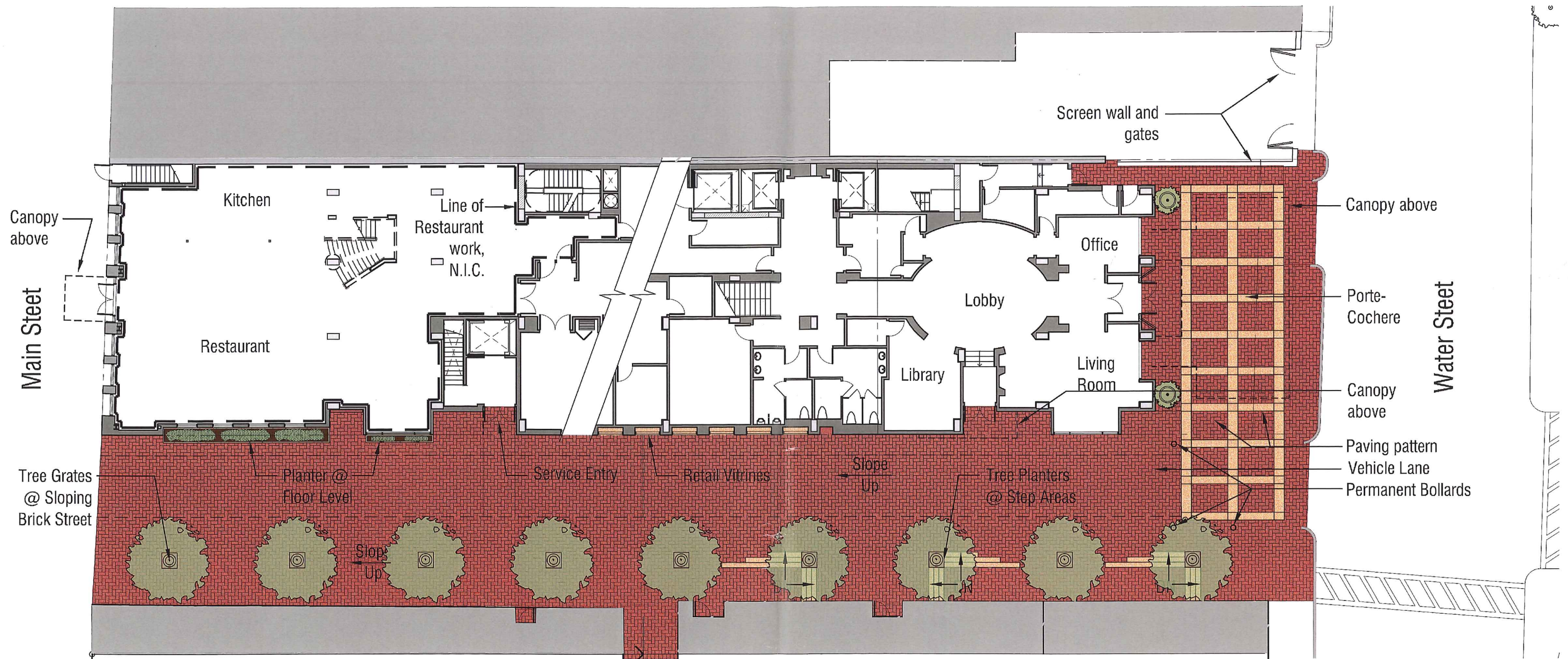


Hornberger  
Worstell  
Architects and Planners  
170 Maiden Lane  
San Francisco, California 94108

(415) 391-1080 [www.hornbergerworstell.com](http://www.hornbergerworstell.com)

## PROPOSED MATERIALS





Site Plan

## THE LANDMARK HOTEL

© 2008 Hornberger + Worstell

All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.

01.28.08



Architects and Planners  
170 Maiden Lane  
San Francisco, California 94108

(415) 391-1080 www.hornbergerworstell.com

-1-

SCHEME D1



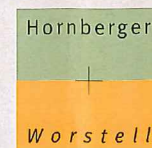


## THE LANDMARK HOTEL

© 2008 Hornberger + Worstell

All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.

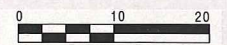
01.28.08



Architects and Planners  
170 Maiden Lane  
San Francisco, California 94108

(415) 391-1080 [www.hornbergerworstell.com](http://www.hornbergerworstell.com)

WATER STREET ELEVATION -2-



SCHEME **D1**



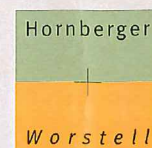


# THE LANDMARK HOTEL

© 2008 Hornberger + Worstell

All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.

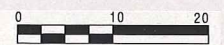
01.28.08



Architects and Planners  
170 Maiden Lane  
San Francisco, California 94108

(415) 391-1080 [www.hornbergerworstell.com](http://www.hornbergerworstell.com)

SECOND STREET ELEVATION -3-



SCHEME **D1**





# THE LANDMARK HOTEL

© 2008 Hornberger + Worstell

All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.

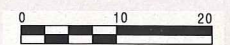
01.28.08



Architects and Planners  
170 Maiden Lane  
San Francisco, California 94108

(415) 391-1080 [www.hornbergerworstell.com](http://www.hornbergerworstell.com)

MAIN STREET ELEVATION -4-



SCHEME **D1**



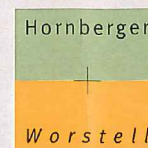


# THE LANDMARK HOTEL

© 2008 Hornberger + Worstell

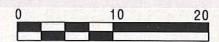
All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.

01.28.08



Architects and Planners  
170 Maiden Lane  
San Francisco, California 94108  
(415) 391-1080 [www.hornbergerworstell.com](http://www.hornbergerworstell.com)

EAST ELEVATION -5-



SCHEME D1



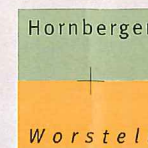


## THE LANDMARK HOTEL

© 2008 Hornberger + Worstell

All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.

01.28.08



Architects and Planners  
170 Maiden Lane  
San Francisco, California 94108

(415) 391-1080 [www.hornbergerworstell.com](http://www.hornbergerworstell.com)

3D RENDERINGS -A-

SCHEME D1



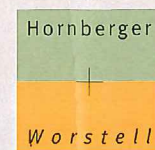


## THE LANDMARK HOTEL

© 2008 Hornberger + Worstell

All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.

01.28.08



Architects and Planners  
170 Maiden Lane  
San Francisco, California 94108

(415) 391-1080 [www.hornbergerworstell.com](http://www.hornbergerworstell.com)

3D RENDERINGS -B-

SCHEME D1



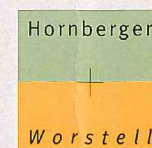


## THE LANDMARK HOTEL

© 2008 Hornberger + Worstell

All the drawings and written materials appearing within constitute the original and unpublished work of the architect and may not be duplicated, used or disclosed without prior written consent of the architect.

01.28.08



Architects and Planners  
170 Maiden Lane  
San Francisco, California 94108

(415) 391-1080 [www.hornbergerworstell.com](http://www.hornbergerworstell.com)

3D RENDERINGS -C-

SCHEME D1