

THE LANDMARK HOTEL
CHARLOTTESVILLE, VIRGINIA

Main Street Elevation:

1. Butt glazed joint modification- *OK*
The guestroom windows previously had butt glazed joints shown. The joints were removed to avoid unsightly silicone sealant joints with clear glass.
2. Screen Wall- A mechanical screen wall was added through BAR approval to mask the mechanical units that service this building. *OK*
The screen wall height is adjusted to accommodate the actual mechanical units to be used.
3. Stair Egress- *OK*
A door was relocated to show as in plans.
4. Addition of pantry room bump out- *OK*
A bump out was added to accommodate the necessity for a pantry and storage for servicing the terrace.
5. Terrace Access – Doors now replace windows and a recessed portion is introduced. *align w/ windows above*
Access in and out of the terrace for guests was added in a fashion to replicate the look of above the guestroom windows above. The recess is a function for the service of the guests.
6. Addition of coping- *OK as planned*
The original design did not take into consideration constructability and this lower "light box" needs a coping to match the roof coping.
7. ~~Metal~~ panel added - *spandrel glass*
The metal panel continues across this window system for constructability purposes.

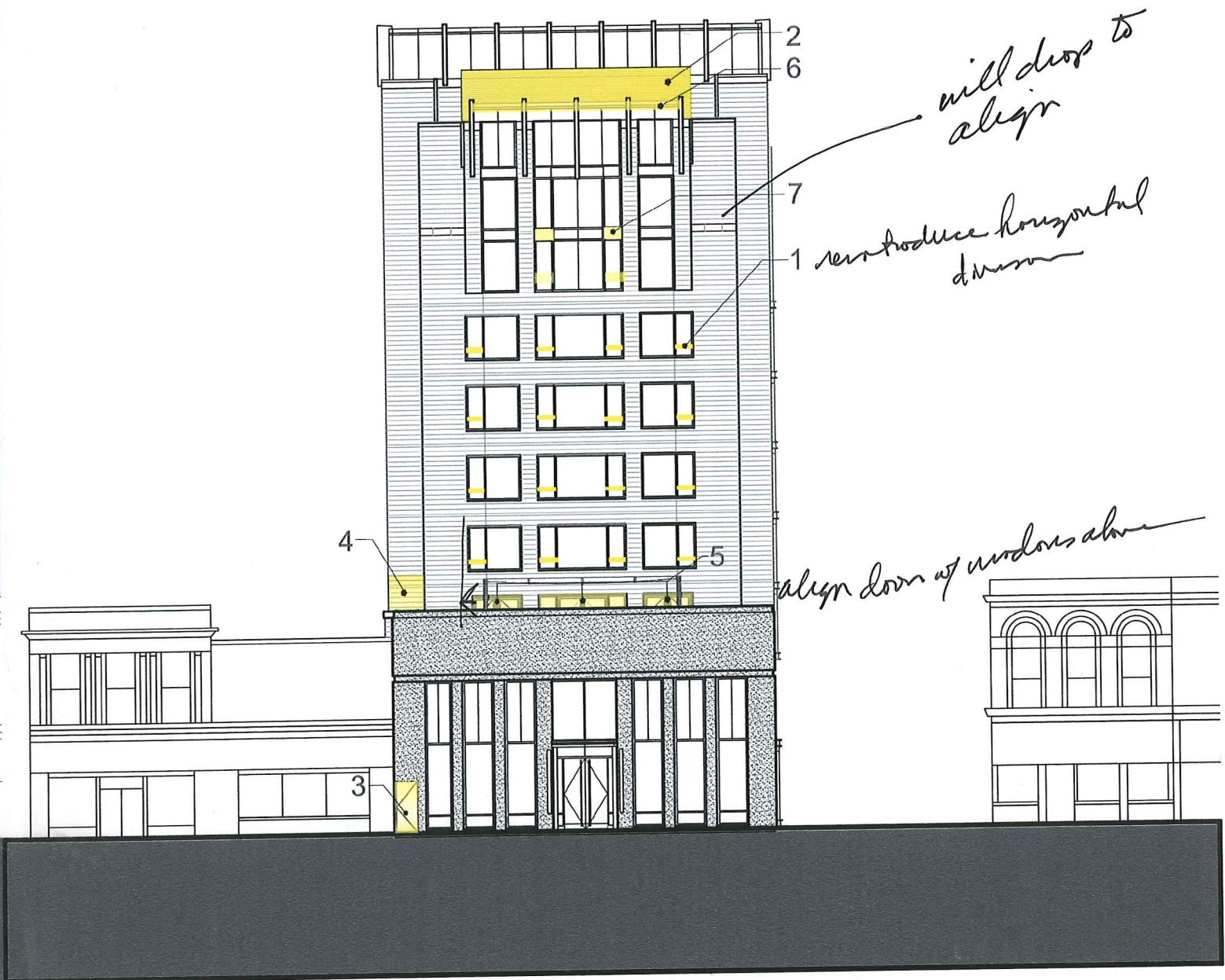
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OCT 28 2008

NEIGHBORHOOD DEVELOPMENT SERVICES



ORIGINAL BAR BROCHURE SUBMISSION



PROPOSED ELEVATION DESIGN

MINOR FAMILY HOTELS
THE LANDMARK HOTEL
OCTOBER 2008

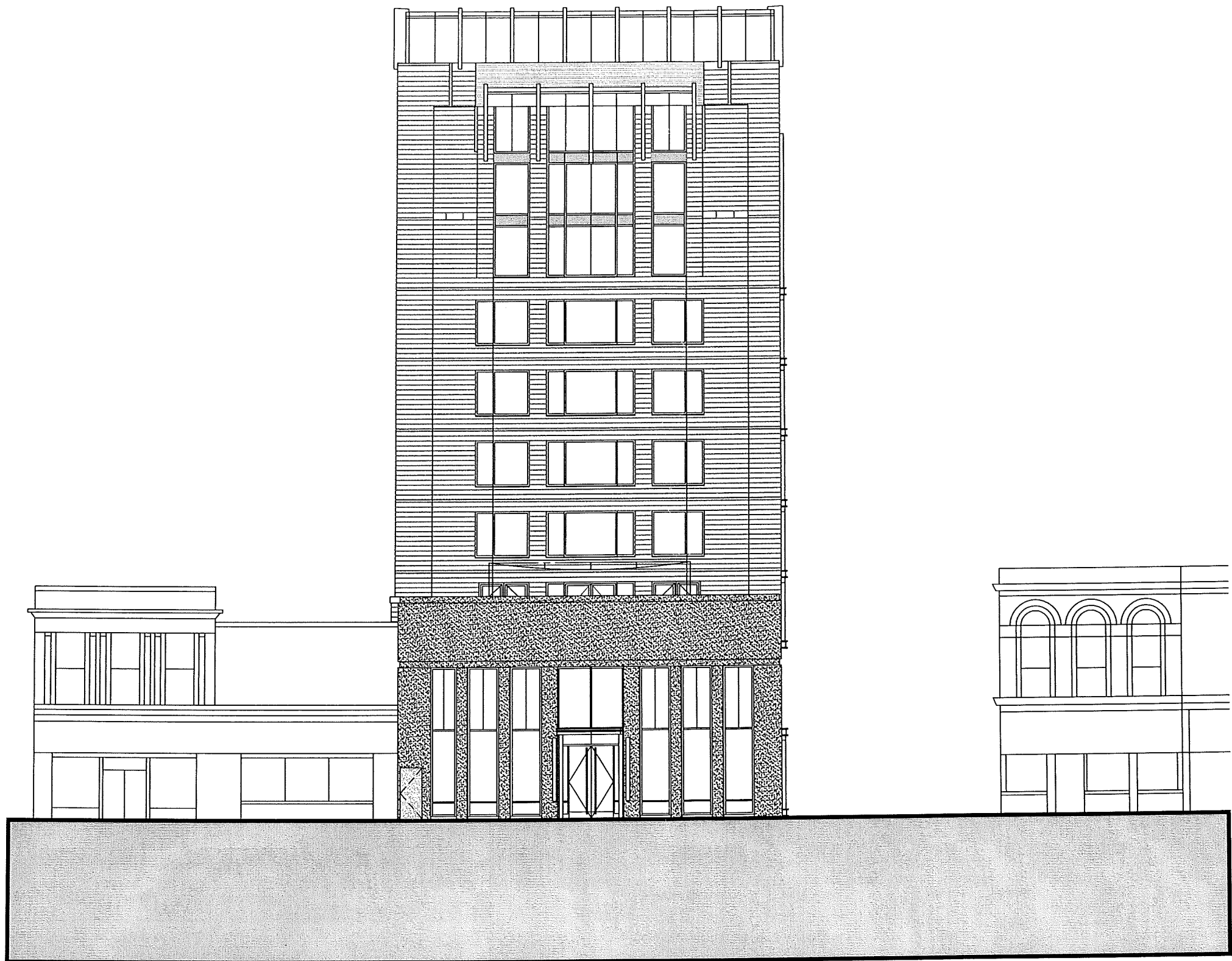
MAIN STREET ELEVATION COMPARISON

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OCT 28 2008



nbj ARCHITECTURE
A Professional Limited Company
11537 B NUCKOLS ROAD
GROVE PARK SQUARE
GLEN ALLEN, VA 23059
☎ (804) 273-9811 fax: (804) 273-9843



1
A301

PROPOSED MAIN STREET ELEVATION

SCALE: 1/16" = 1'-0"

THE LANDMARK HOTEL

CHARLOTTESVILLE, VA

A-301

Date:
OCTOBER 2008

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THE LANDMARK HOTEL
CHARLOTTESVILLE, VIRGINIA

Second Street Elevation:

1. Canopy redesigned-

The canopy was changed and lowered through BAR approval.

2. Reduction of metal louvers- The louvers now show as glazing.

The louvers did not serve a function and it was replaced with glazing.

3. Grade change-

The grade was incorrectly shown previously and now reflects the city appointed engineer's grading levels.

4. Butt glazed joint modification-

The guestroom windows previously had butt glazed joints shown. The joints were removed to avoid unsightly silicone sealant joints with clear glass.

5. Brick Insert banding- Row directly above canopy raised to accommodate the relationship between the canopy and the façade. Bands changed from red brick to precast inserts to match adjacent precast.

Differences in materials working against each other in expansion/contraction will ultimately cause problems with cracking.

6. Addition of parapet-

Original design did not take into consideration that people would be walking on the terrace and would need a barrier for safety. change to open metal or glass

7. Screen Wall- A mechanical screen wall was added through BAR approval to mask the mechanical units that service this building.

The screen wall height is adjusted to accommodate the actual mechanical units to be used.

8. Addition of pantry room bump out-

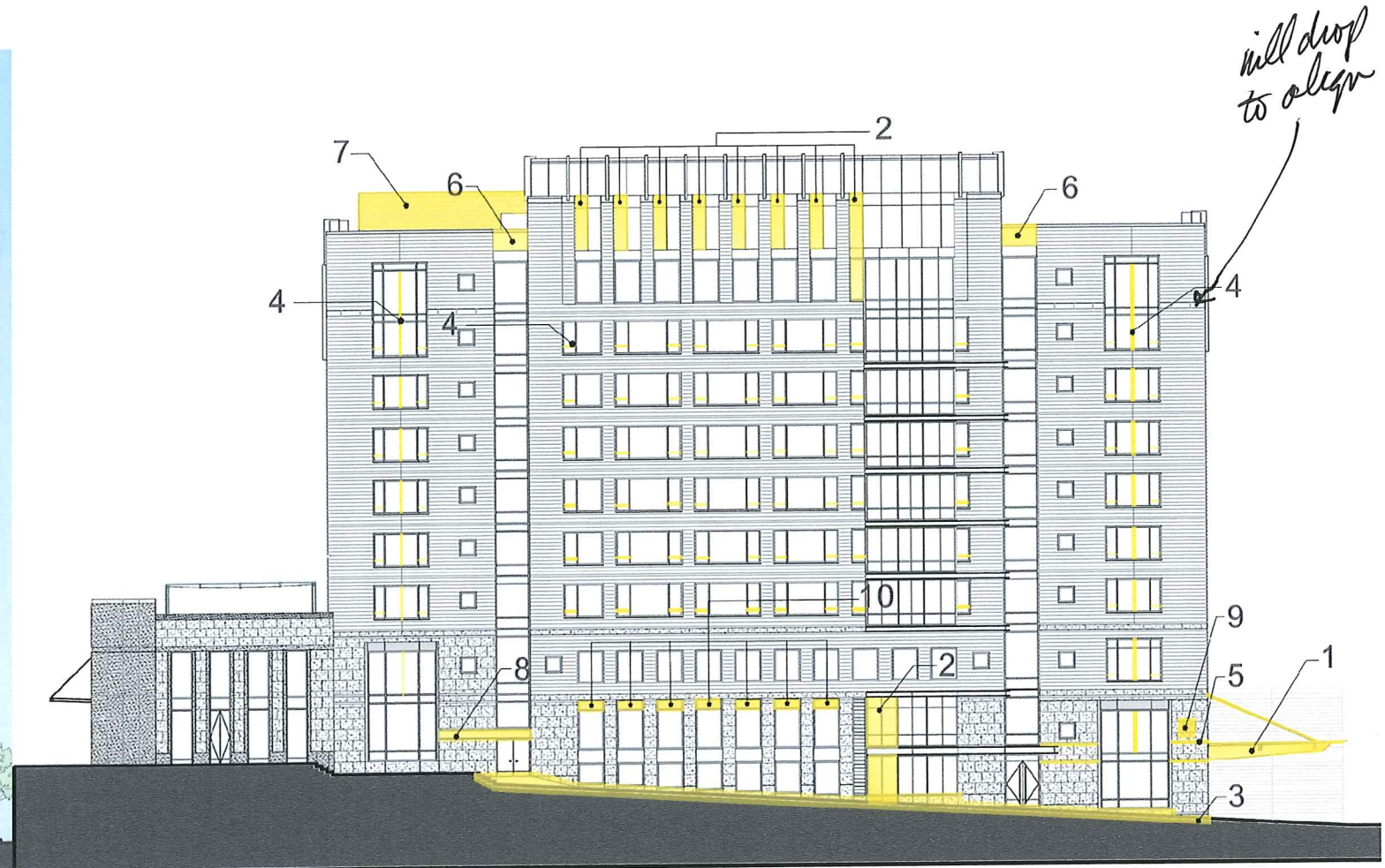
A bump out was added to accommodate the necessity for a pantry and storage for servicing the terrace.

9. Addition of Spandrel Panel- Banquet windows with added panel above.

The spandrel panel separation will hide the floor slab and ceiling that would otherwise be visible from outside if left as originally shown.



ORIGINAL BAR BROCHURE SUBMISSION



PROPOSED ELEVATION DESIGN

MINOR FAMILY HOTELS
THE LANDMARK HOTEL
OCTOBER 2008

SECOND STREET ELEVATION COMPARISON



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1
A302

PROPOSED SECOND STREET ELEVATION

SCALE: 1/16" = 1'-0"

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THE LANDMARK HOTEL

CHARLOTTESVILLE, VA

A-302

Date:
OCTOBER 2008

THE LANDMARK HOTEL
CHARLOTTESVILLE, VIRGINIA

Water Street Elevation:

1. Canopy redesigned-

The canopy was changed and lowered through BAR approval.

2. Window modification- ~~The window systems above and below new canopy now show some portions as glazing in lieu of metal panel and vice-versa.~~

This allows more natural light into public space and guestrooms. The windows heights were adjusted to actual structural elements.

not approved

3. Stair Egress Door adjusted-

*OK
A door was relocated as per the plans.*

4. Butt glazed joint modification-

*OK
The guestroom windows previously had butt glazed joints shown. The joints were removed to avoid unsightly silicone sealant joints with clear glass.*

5. Brick Insert banding- Row directly above canopy raised to accommodate the relationship between the canopy and the façade. Bands changed from red brick to precast inserts to match adjacent precast.

Differences in materials working against each other in expansion/contraction will ultimately cause problems with cracking.

*adjust
height*

6. Addition of coping-

Original design did not take into consideration constructability and this lower "light box" that needs a coping to match the roof coping.

OK

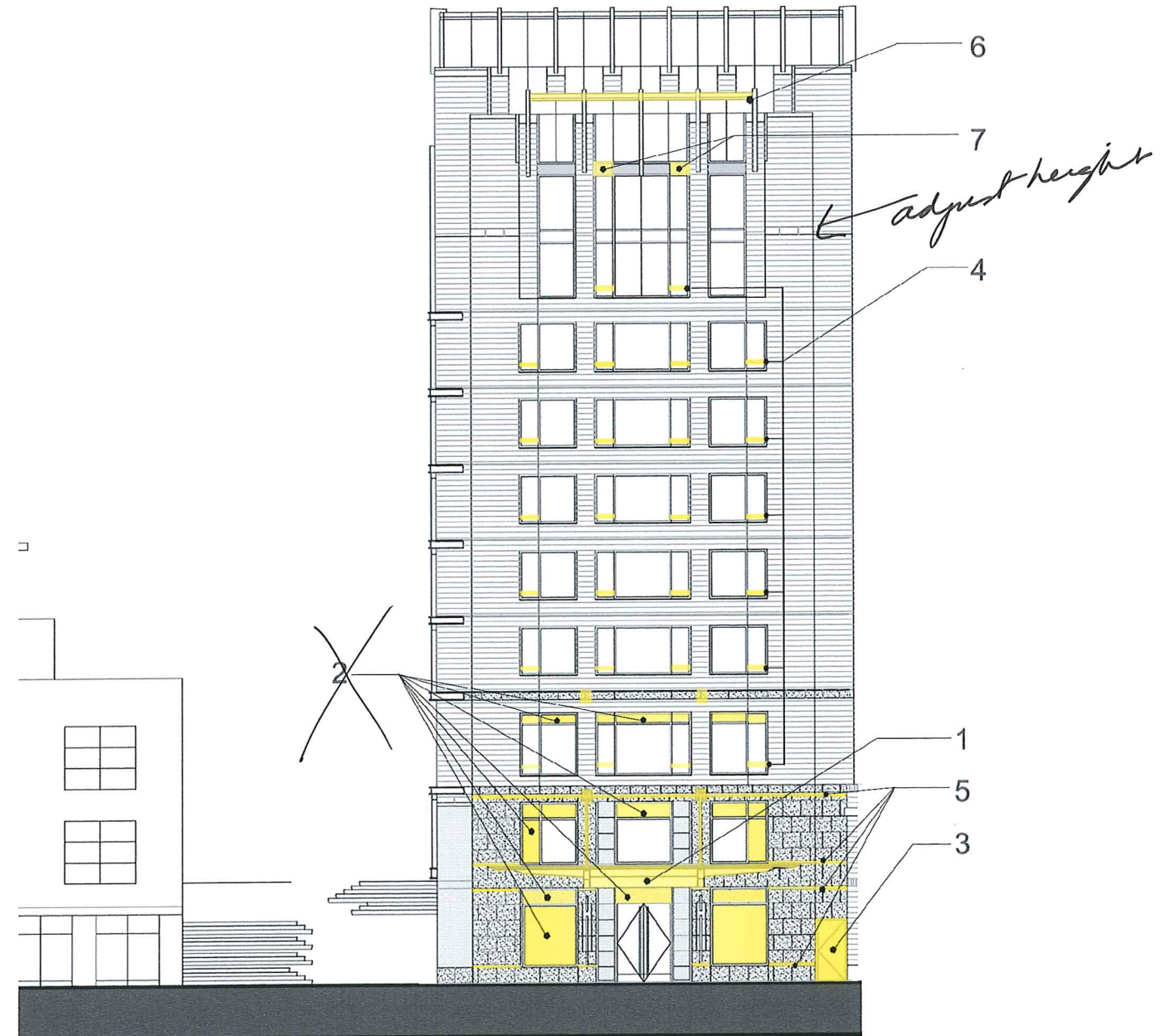
7. Metal panel added -

The metal panel continues across this window system for constructability purposes.

Spandrel glass



ORIGINAL BAR BROCHURE SUBMISSION



PROPOSED ELEVATION DESIGN

MINOR FAMILY HOTELS
THE LANDMARK HOTEL
OCTOBER 2008

WATER STREET ELEVATION COMPARISON



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1
A303

PROPOSED WATER STREET ELEVATION

SCALE: 1/16" = 1'-0"

THE LANDMARK HOTEL

CHARLOTTESVILLE, VA

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A-303

Date:
OCTOBER 2008

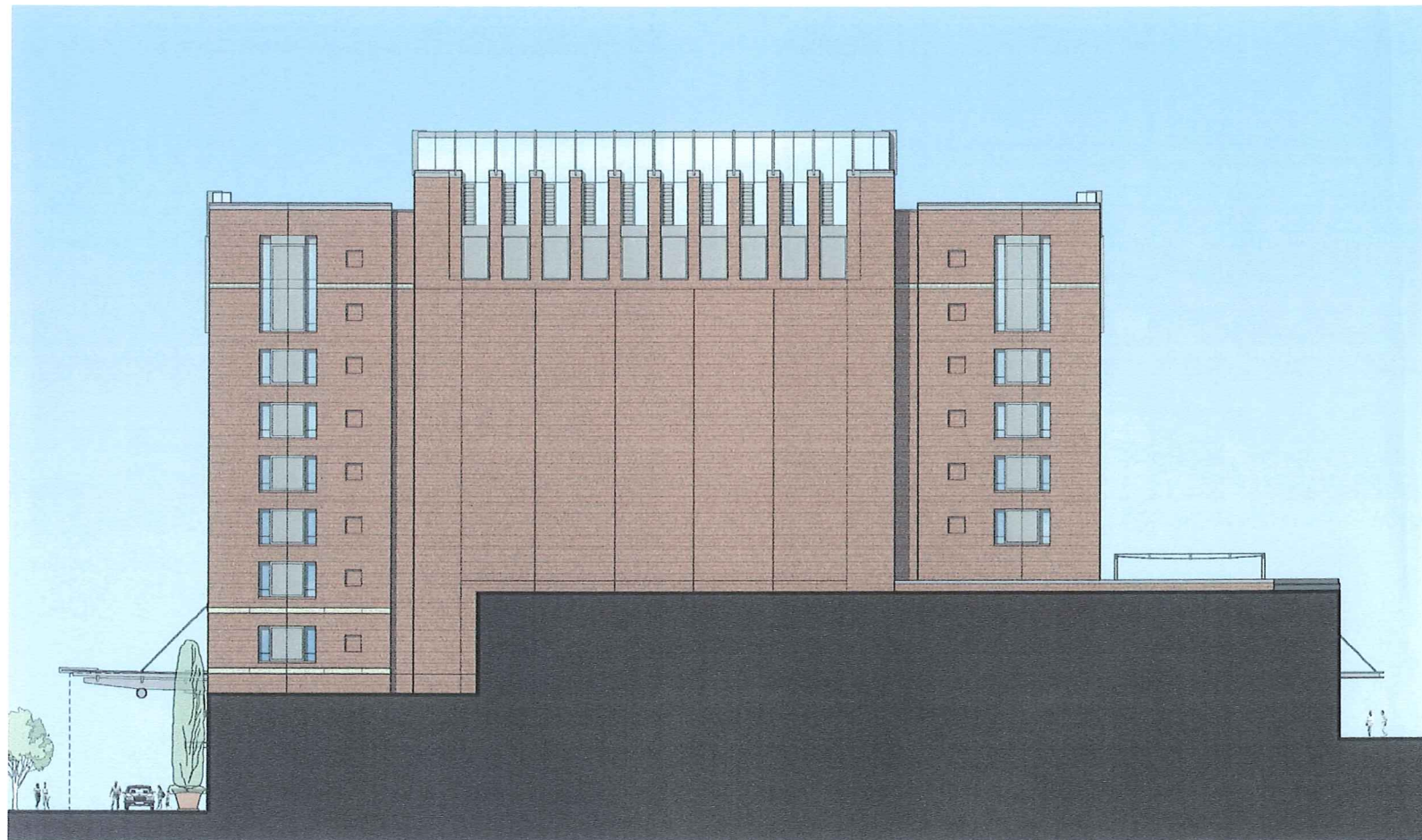
THE LANDMARK HOTEL
CHARLOTTESVILLE, VIRGINIA

East Elevation:

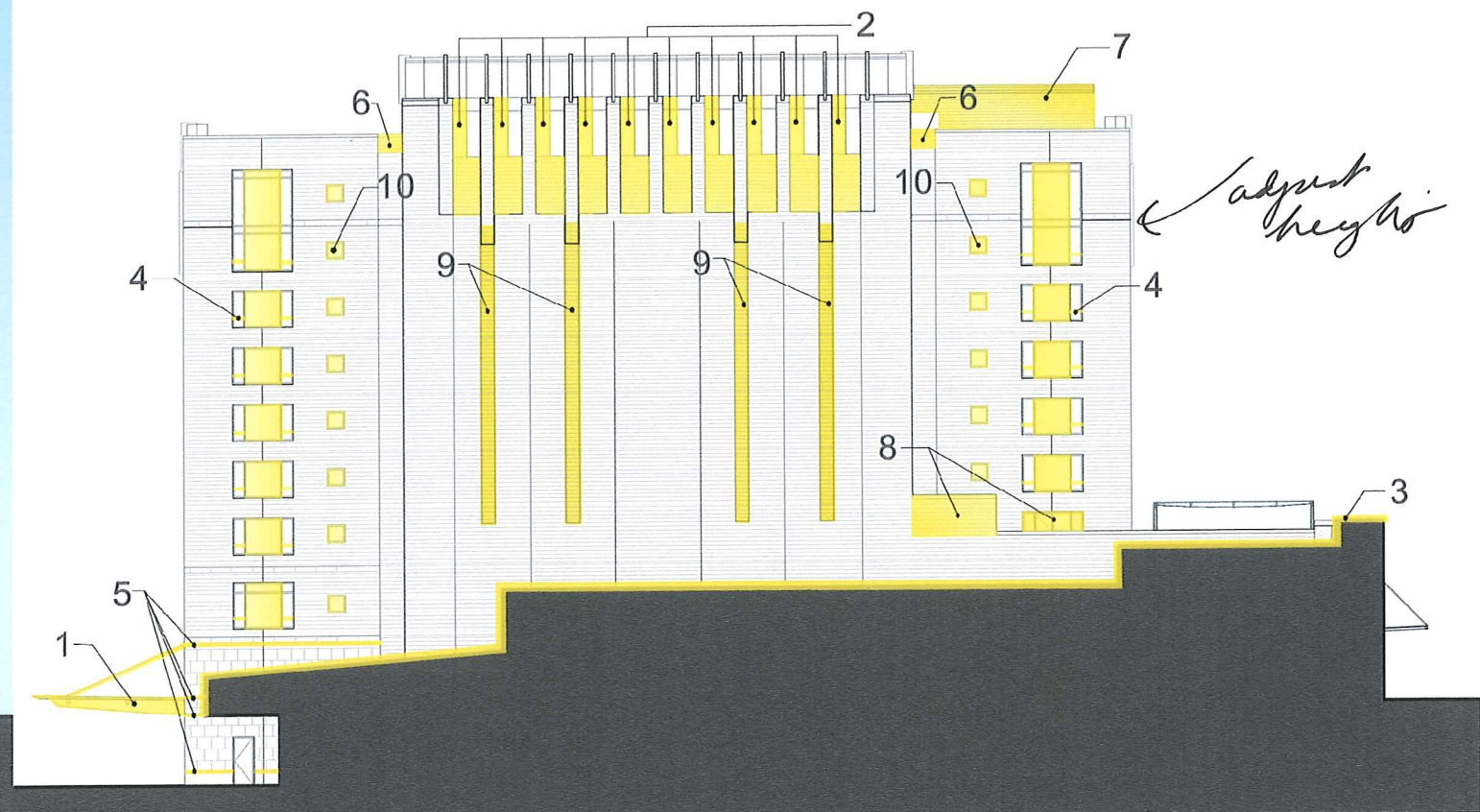
1/2" reveals

1. Canopy redesigned-
The canopy was changed and lowered through BAR approval.
2. Reduction of metal louvers- The louvers now show as glazing. *OK*
The louvers did not serve a function and it was replaced with glazing.
3. CVS party wall change-
The re-evaluation of the existing CVS party wall has been revised to show actual conditions. Since it was inaccurate in the original submission, the correct slope now shown will have modified some of the materials inaccurately shown near the Water street portion of this elevation. *OK*
4. Window/Butt glazed joint modification- *OK*
The guestroom windows previously had butt glazed joints shown. The joints were removed to avoid unsightly silicone sealant joints with clear glass. The windows were previously shown as metal panel and now are shown as glazing
5. Brick Insert banding- Row directly above canopy raised to accommodate the relationship between the canopy and the façade. Bands changed from red brick to precast inserts to match adjacent precast. *adjust height*
Differences in materials working against each other in expansion/contraction will ultimately cause problems with cracking.
6. Addition of parapet- *condition to make it open - glass or metal rail*
Original design did not take into consideration that people would be walking on the terrace and would need a barrier for safety.
7. Screen Wall- A mechanical screen wall was added through BAR approval to mask the mechanical units that service this building. *OK*
The screen wall height is adjusted to accommodate the actual mechanical units to be used.
8. Addition of pantry room bump out- *OK*
A bump out was added to accommodate the necessity for a pantry and storage for servicing the terrace.

9. Brick detail addition- The brick "columns" from the light box were adjusted to stretch further down this elevation.
The unadorned blank brick wall needed detail to break of the monotony of the blank wall.
10. Brick Recess to Small Windows- The brick recesses adjacent to guestroom windows are now replaced by windows.
The small windows now serve the guestrooms to allow natural light in as well as match the Second Street elevation in look and function.



ORIGINAL BAR BROCHURE SUBMISSION



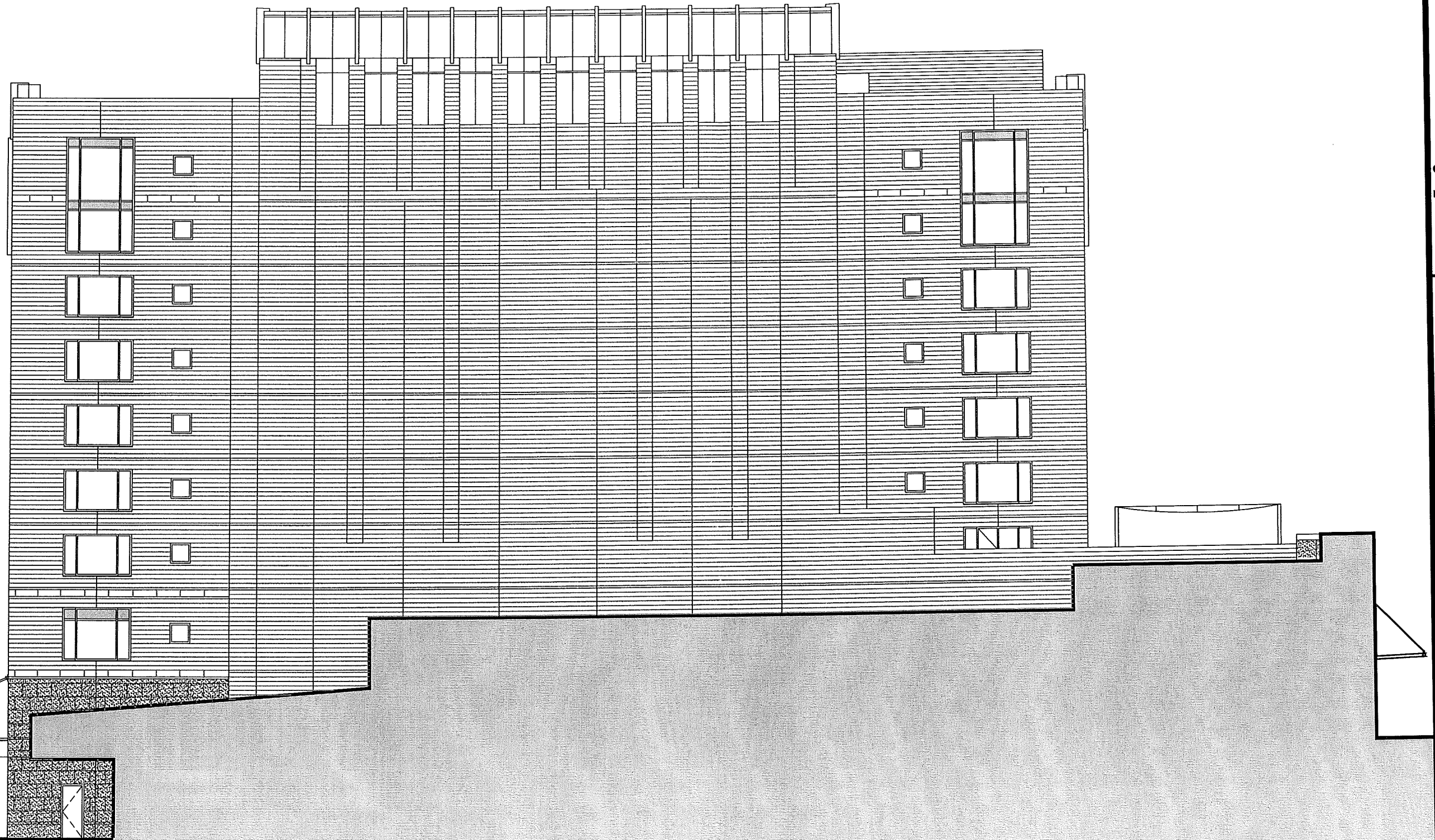
PROPOSED ELEVATION DESIGN

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THE LANDMARK HOTEL
OCTOBER 2008

EAST ELEVATION COMPARISON



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A304

PROPOSED EAST ELEVATION

SCALE: 1/16" = 1'-0"

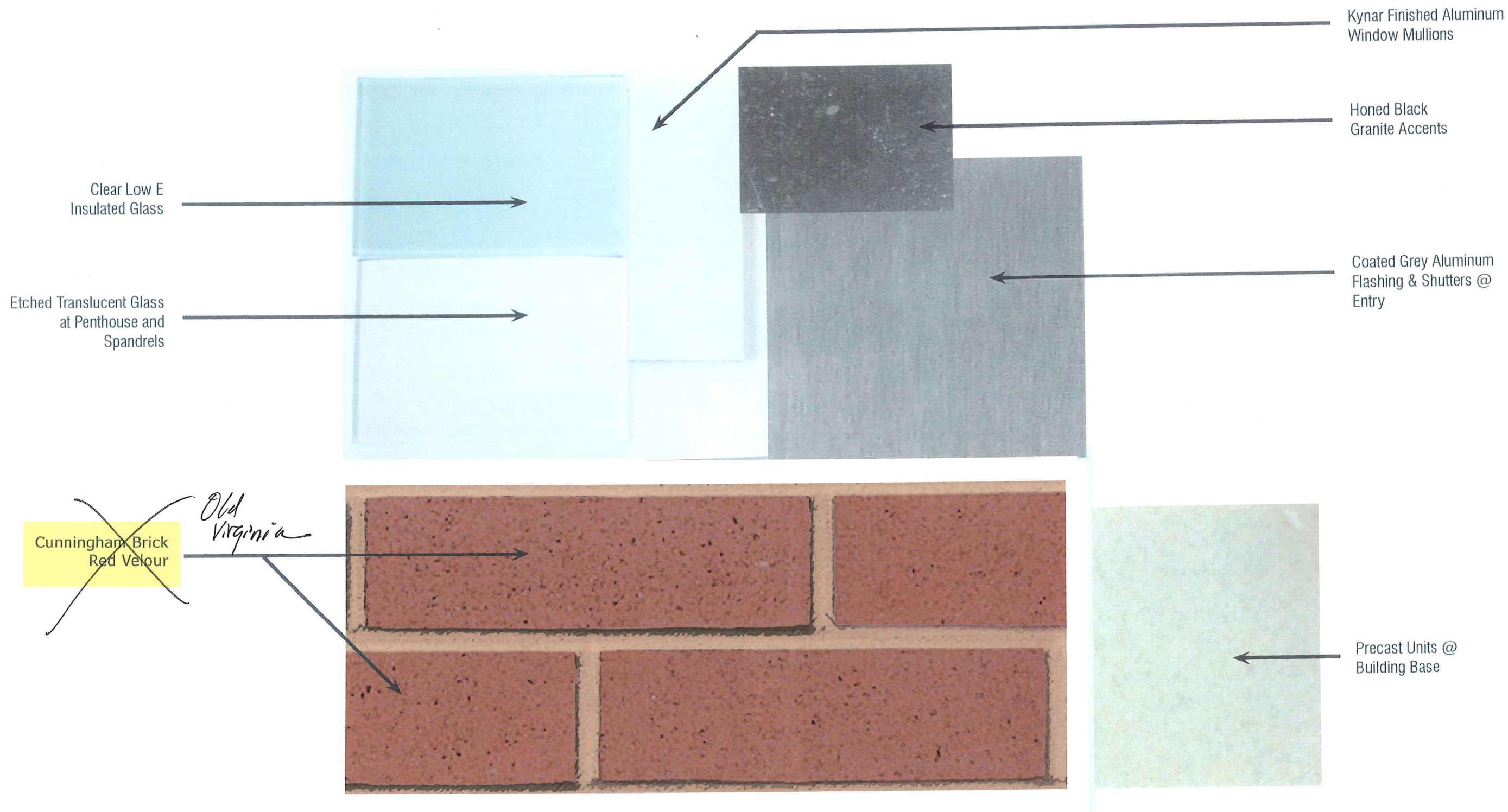
THE LANDMARK HOTEL
CHARLOTTESVILLE, VA

A-304

Date:
OCTOBER 2008

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MINOR FAMILY HOTELS
THE LANDMARK HOTEL
OCTOBER 2008

PROPOSED MATERIALS



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