



**Board of Architectural Review (BAR)
Certificate of Appropriateness**

RECEIVED

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

FEB 05 2014
NEIGHBORHOOD DEVELOPMENT SERVICES

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name	East Main Investments, LLC	Applicant Name	Anthony Barsi, Little
Project Name/Description	Bank of America - Charlottesville Main ADA	Parcel Number	280038000
Property Address	300 East Main Street		

Applicant Information

Address: 4245 N. Fairfax Drive, Suite 650
Arlington, VA 22203
Email: abarsi@littleonline.com
Phone: (W) 703-908-4506 (H) _____
FAX: 703-908-4502

Property Owner Information (if not applicant)

Address: PO Box 5509
Charlottesville, VA
Email: _____
Phone: (W) _____ (H) _____
FAX: _____

Do you intend to apply for Federal or State Tax Credits for this project? _____

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

[Handwritten Signature] 1.28.14
Signature Date

Anthony Barsi 1.28.2014
Print Name Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Stephen Hruska
Digitally signed by Stephen Hruska
DN: dc=LOCAL, dc=VA, ou=Bank of America, ou=BA Southeast,
cn=Stephen Hruska
Date: 2014.01.28 15:42:58 -0500
Signature Date
Stephen Hruska (agent) 01/28/14
Print Name Date

Description of Proposed Work (attach separate narrative if necessary):

move existing ATM and entry door back and extend existing handicapped accessible ramp to meet requirements of current accessibility standards.

List All Attachments (see reverse side for submittal requirements):

Architectural & Civil Construction Drawings (Cover Sheet, C1, A00.00, A00.10, A00.40, A01.00, A01.01, A02.00 A02.01, A12.01)

For Office Use Only	Approved/Disapproved by: <i>[Signature]</i>
Received by: <i>[Signature]</i>	Date: February 6, 2014
Fee paid: \$100.00 Cash/Ck. # 155815	Conditions of approval: ATM to be the same as existing.
Date Received: 2/5/2014	
714-0018	

CITY OF CHARLOTTESVILLE
"A World Class City"

Department of Neighborhood Development Services

City Hall Post Office Box 911
Charlottesville, Virginia 22902
Telephone 434-970-3182
Fax 434-970-3359
www.charlottesville.org



RECEIPT

****NOTE** This is a receipt only - not a Building Permit. This does not authorize work to begin the project.**

RECEIPT NUMBER: R14000225
DATE: 2/5/2014
TIME: 12:30:13 PM
CUSTOMER: Anthony Barsi, Little
APPLICANT: Anthony Barsi, Little
OWNER: EAST MAIN INVESTMENTS, LLC

TOTAL ACTIVITY FEE DETAILS:

<u>PERMIT NO.</u>	<u>AMOUNT</u>	<u>FEE DESCRIPTION</u>
P14-0018	\$100.00	BAR COA (ADMIN APPR)

RECEIPT TRANSACTIONS:

<u>PAYMENT TYPE</u>	<u>AMOUNT</u>	<u>CHECK NO</u>
Check	\$100.00	155815

RECEIPT AMOUNT DUE: \$100.00
RECEIPT AMOUNT PAID: \$100.00

Bank of America

Charlottesville Main - VA2-965 - ADA Upgrade

Issue for Owner Review 01/10/2014

Issue for Permit 01/21/2014

300 East Main Street
Charlottesville, VA 22902

Project Management

Lincoln Harris
1111 East Main Street, Suite 601
Richmond, VA 23219
Tel.: 804.788.2120
Attn: Stephen Hruska
e-mail: stephen.hruska@lincolnharris.com

Architect

Little
4245 N. Fairfax Drive, Suite 650
Arlington, VA 22203
Tel.: 703.908.4501
Fax: 703.908.4502
Attn: Anthony Barsi
e-mail: abarsi@littleonline.com

Civil

Bohler Engineering
28 Blackwell Park Lane, Suite 201
Warrenton, VA 20186
Tel.: 540.349.4500

Attn: Daniel Hines
e-mail: DHines@bohlereng.com

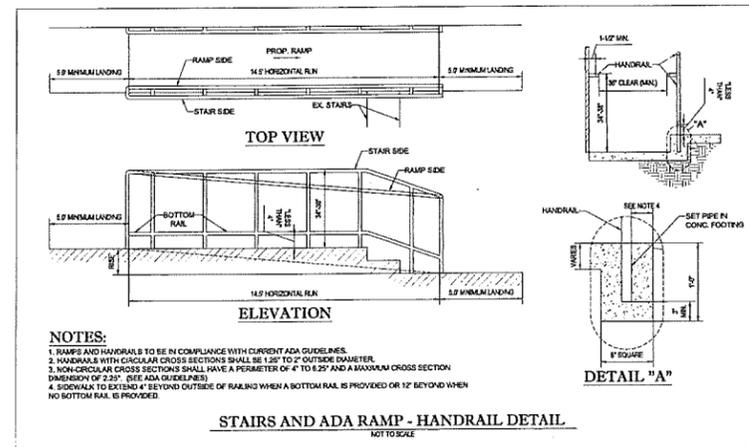
Bank of America Charlottesville Main ADA Renovation

300 East Main Street
Charlottesville, VA 22902

SERIAL NUMBER: VA2-965
NRSP VERSION:
BULLETIN:

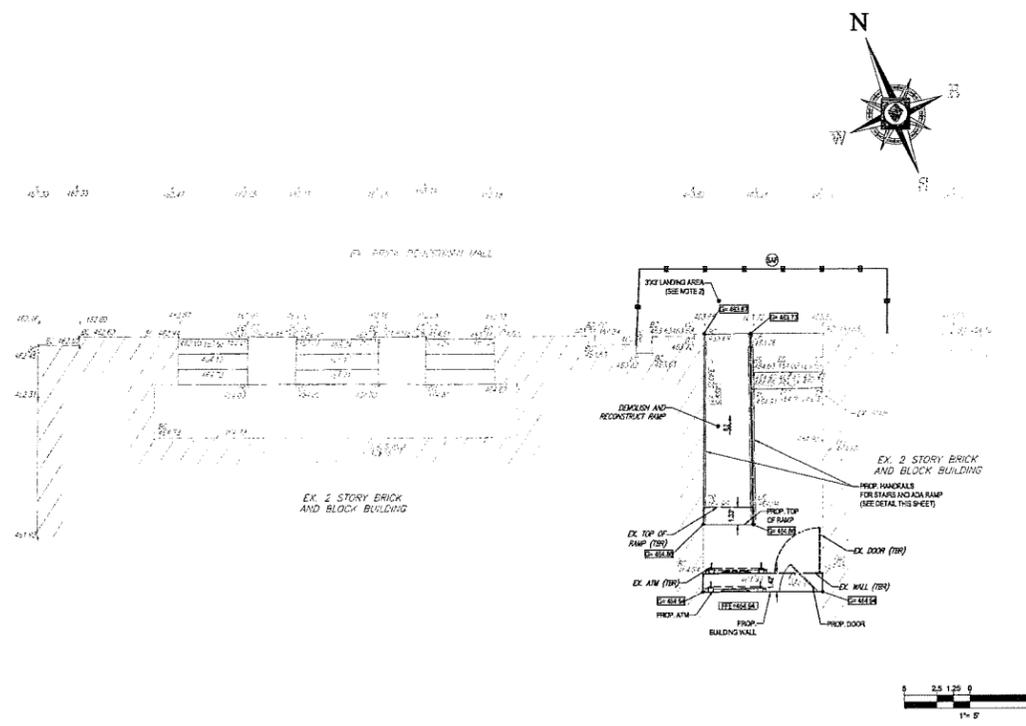


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NOTES:
1. RAMP AND HANDRAILS TO BE IN COMPLIANCE WITH CURRENT ADA GUIDELINES.
2. HANDRAILS WITH CIRCULAR CROSS SECTIONS SHALL BE 1 1/2" TO 2" OUTSIDE DIAMETER.
3. NON-CIRCULAR CROSS SECTIONS SHALL HAVE A PERIMETER OF 4" TO 6.25" AND A MAXIMUM CROSS SECTION DIMENSION OF 2.25" (SEE ADA GUIDELINES).
4. SIDEWALK TO EXTEND 4' BEYOND OUTSIDE OF RAILING WHEN A BOTTOM RAIL IS PROVIDED OR 12' BEYOND WHEN NO BOTTOM RAIL IS PROVIDED.

STAIRS AND ADA RAMP - HANDRAIL DETAIL
NOT TO SCALE



ADA INSTRUCTIONS TO CONTRACTOR

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS. BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME, PROVIDED ENRICHES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PROHIBITION ACCESS, INTERBUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT. MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING ANGLES - SLOPE SHALL NOT EXCEED 1:50 (1% PER FOOT OR NOMINALLY 2%) IN ANY DIRECTION.
- CURB RAMP - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF 6' (6) FEET.
- LANDINGS - MUST BE PROVIDED AT EACH END OF RAMP. MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1% PER FOOT OR NOMINALLY 2%) IN ANY DIRECTION.
- PATH OF TRAVEL, ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, FOR OVERPASSAGE AND HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST BE NO GREATER THAN 1:50 (2%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1% PER FOOT OR NOMINALLY 2%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:50 (8.3%), ADA RAMP MUST BE PROVIDED TO A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM RUN OF 30 FEET. MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND LEVEL LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1% PER FOOT OR NOMINALLY 2%) FOR POSITIVE DRAINAGE.
- DOORWAYS - MUST HAVE A LEVEL LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1% PER FOOT OR NOMINALLY 2%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1 AND OTHER REFERENCED APPROPRIATE CODES).
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT THESE ARE OF THE RESPONSIBILITY OF ARCHITECT'S ADA STANDARDS FOR ACCESSIBLE DESIGN. ALLOW FOR STEEL RAMP BLOBS, IN RAMP CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM ALLOWABLE LIMITS SET BY THE BARRIER FREE REGULATIONS AND THE ADA REGULATIONS.
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMPLIANCE IS OBSERVED OR SUSPECTED, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO DEMOLISH, REMOVE AND REPLACE NON-COMFORMING CONCRETE. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE EXTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

VIRGINIA UNIFORM CODING SYSTEM FOR EROSION AND SEDIMENT CONTROL PRACTICES

NO.	TITLE	KEY	SYMBOL
301	SAFETY FENCE (SEE NOTE 1)	SAF	(Symbol: a square with 'SAF' inside)

NOTE:

1. THE SAFETY FENCE SHALL BE A 6" HIGH CHAIN LINK FENCE AND IS INTENDED TO KEEP PREDETRAILS FROM ENTERING THE CONSTRUCTION AREA. THE FENCE SHALL BE REMOVED ONCE THE RAMP RECONSTRUCTION IS COMPLETE. THE FENCE LOCATION MAY BE ADJUSTED AS NECESSARY FOR THE CONSTRUCTION ACTIVITY.
2. LANDING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION. CONTRACTOR SHALL VERIFY IN THE FIELD AND CONTACT THE ENGINEER IF THIS IS NOT PROVIDED.

LEGEND:

- BC = BUILDING CORNER
- BS = BOTTOM OF STEP
- CC = CORNER OF CURB
- CR = CORNER OF RAMP
- PFE = FINISH FLOOR ELEVATION
- TS = TOP OF STEP
- D = GRADE SPOT



Issue	Date & Issue Description	By	Check
01	xx/xx/xx	OWNER REVIEW	

Seal/Signature

Project Name
BANK OF AMERICA - CHARLOTTESVILLE ADA
223-2172-00

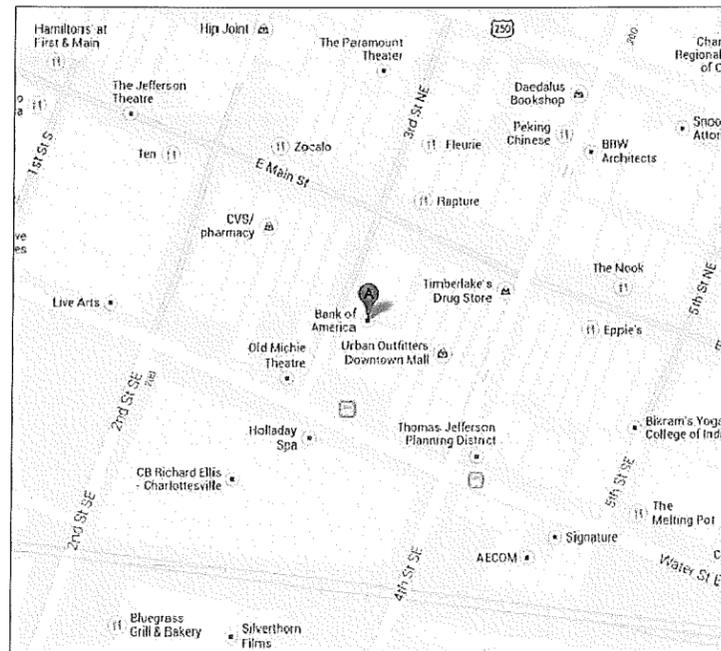
PROTOTYPE LAYOUT

CAD File Name

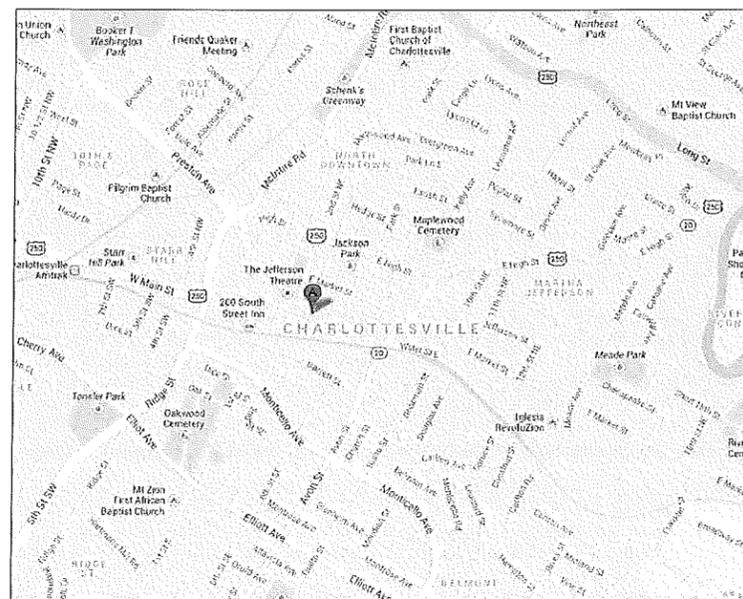
Description

Scale

LOCATION MAP



VICINITY MAP



DRAWING INDEX

- COVER SHEET
- ARCHITECTURAL**
- A00.00 DRAWING INDEX, PROJECT INFORMATION, CODE INFORMATION, LOCATION MAP AND VICINITY MAP
- A00.10 GENERAL NOTES
- A00.40 ACCESSIBILITY INFORMATION
- A01.00 BASEMENT DEMOLITION PLAN
- A01.01 FIRST FLOOR DEMOLITION PLAN
- A02.00 BASEMENT CONSTRUCTION PLAN
- A02.01 FIRST FLOOR CONSTRUCTION PLAN
- A02.02 FIRST FLOOR EXTERIOR ENTRY / WALK-UP ATM ELEVATION
- A12.01 DETAILS

PROJECT INFORMATION

PROJECT ADDRESS: 300 East Main Street
Charlottesville, VA 22902

PROJECT NAME: BANK OF AMERICA - CHARLOTTESVILLE MAIN ADA

BUILDING SIZE: 10,422 SQ. FT.

AREA OF WORK: 380 SQ. FT.

PROJECT DESCRIPTION: ACCESSIBILITY UPGRADES

PROJECT OCCUPANCY: B - BUSINESS

CONSTRUCTION TYPE: IIB

CODE INFORMATION

ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE FOLLOWING GOVERNING CODES:

BUILDING CODE: 2009 IBC (VIRGINIA STATE UNIFORM BUILDING CODE)
 MECHANICAL CODE: 2009 IMC (VIRGINIA STATE UNIFORM BUILDING CODE)
 ELECTRICAL CODE: 2008 NEC (VIRGINIA STATE UNIFORM BUILDING CODE)
 PLUMBING CODE: 2009 IPC (VIRGINIA STATE UNIFORM BUILDING CODE)
 FIRE/LIFE SAFETY: 2009 IFC (VIRGINIA STATEWIDE FIRE PREVENTION CODE)
 ACCESSIBILITY CODE: 2003 ICC/ANSI A117.1

**Bank of America
Charlottesville Main
ADA Renovation**

300 East Main Street
Charlottesville, VA 22902

SERIAL NUMBER: VA2-965
NRSP VERSION:
BULLETIN:



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Issue	Date & Issue Description	By	Check
01	01/13/2014		
	OWNER REVIEW		
02	01/21/2014		
	FOR PERMIT		

Project Name
BANK OF AMERICA - CHARLOTTESVILLE ADA
223-2172-00

PROTOTYPE LAYOUT

CAD File Name

Description
DRAWING INDEX, PROJECT INFORMATION, CODE INFORMATION,
LOCATION AND VICINITY MAPS

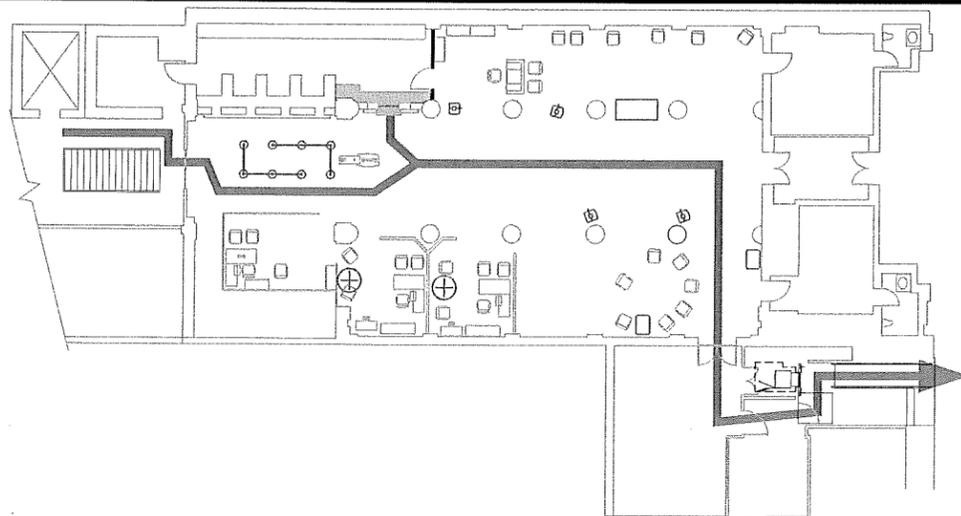
Scale

A00.00

DISABLED ACCESS NOTES

- IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS.
- FLOOR SURFACES SHALL BE SLIP-RESISTANT.
- EVERY CORRIDOR AND AISLE SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS THAN 44" IN WIDTH.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS WITH A SLOPE NO GREATER THAN 1:2
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. MOUNT DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE FLOOR FINISH.
- MAXIMUM PULL OR PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. CORRESPONDING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. MAXIMUM EFFORT TO OPERATE REQUIRED FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
- THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEEL CHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. PROVIDE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF NARROW FRAME DOORS.
- EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32".
- WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
- THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 44" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. (REFER TO DRWG. 2/A00.40 FOR CLEARANCES BASED ON DIFFERENT APPROACHES)
- FLOORS OR LANDINGS SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- TO ALERT THE VISUALLY IMPAIRED, MARK THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR WITH A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE, PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- CENTER ELECTRICAL RECEPTACLE OUTLETS NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
- ENTRY TO SANITARY FACILITIES:
 - 44" CLEAR AISLES OR CORRIDORS WHERE OCCUPANT LOAD IS 10 OR MORE.
 - DOORWAYS TO HAVE A 32" CLEAR OPENING.
 - ON APPROACH SIDE, PROVIDE A 60" CLEAR LEVEL SPACE WHEN DOOR SWINGS TOWARD APPROACH AND 44" SPACE WHEN DOOR SWINGS AWAY FROM APPROACH. (REFER TO DWG. 2/A00.40 FOR CLEARANCES BASED ON DIFF. APPROACHES)
- TOILET ROOM ACCESSORIES
 - MOUNT BOTTOM EDGE OF MIRROR'S REFLECTING SURFACE NO HIGHER THAN 40" FROM THE FLOOR.
 - MOUNT TOILET TISSUE DISPENSERS WITHIN 12" FROM THE FRONT EDGE OF THE TOILET SEAT.
 - MOUNT DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN SLOTS, ETC.) WITH OPERATING PARTS NO HIGHER THAN 40" FROM THE FLOOR.
- SINGLE ACCOMMODATION TOILET FACILITY SEE 12/A00.40 FOR CLEARANCE REQUIREMENTS
- THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19".
- MOUNT FLUSH VALVE CONTROL NO MORE THAN 44" ABOVE THE FLOOR, ON THE SIDE OF THE TOILET WITH THE GREATEST SEPARATION FROM ADJACENT WALL OR OTHER SURFACE.
- PROVIDE GRAB BARS ON EACH SIDE, OR ONE SIDE AND BACK OF WATER CLOSET.
 - GRAB BARS TO BE 33" ABOVE AND PARALLEL TO THE FLOOR.
 - SIDE BARS TO BE 42" LONG AND PROJECT 24" IN FRONT OF WATER CLOSET STOOL. GRAB BAR AT BACK TO BE 36" LONG.
 - DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
 - PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL.
 - GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 - GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.
 - EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
- PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH.
- MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. PROVIDE KNEE CLEARANCE UNDER THE FRONT UP EXTENDING A MINIMUM OF 30" IN WIDTH WITH 8" MINIMUM WIDTH, AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR A MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. IF SELF CLOSING VALVES ARE USED, FAUCET REMAINS OPEN A MINIMUM OF 10 SECONDS.
- INSULATE OR OTHERWISE COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES.
- THE AMERICANS WITH DISABILITIES ACT (A.D.A.) PROVIDES THAT ALTERATIONS TO A FACILITY MUST BE MADE IN SUCH A MANNER THAT, TO THE MAXIMUM EXTENT FEASIBLE, THE ALTERED PORTIONS OF THE FACILITY ARE READILY ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES. BANK AND GENERAL CONTRACTOR ACKNOWLEDGES THAT THE REQUIREMENTS OF A.D.A. WILL BE SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THE ARCHITECT THEREFORE, WILL USE ITS BEST PROFESSIONAL EFFORTS TO INTERPRET A.D.A. REQUIREMENTS AND OTHER FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS AS THEY APPLY TO THE PROJECT. THE ARCHITECT, HOWEVER, CANNOT AND DOES NOT WARRANT OR GUARANTEE THAT BANK OF AMERICA WILL COMPLY WITH ALL INTERPRETATIONS OF THE A.D.A. REQUIREMENTS AND/OR THE OTHER FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS AS THEY APPLY TO THE PROJECT.
- THE SCOPE OF WORK INDICATED ON THESE DRAWINGS IS FOR SPECIFIC ITEMS SELECTED BY BANK OF AMERICA FOR CUSTOMER ACCESS TO GOODS AND SERVICES; NOTE THAT SOME AREAS OF ACCESS HAVE NOT BEEN MODIFIED TO MEET A.D.A. REQUIREMENTS. ALL OTHER AREAS OF A.D.A. UPGRADE THAT MAY BE REQUIRED AT THIS TIME ARE NOT IN THIS CONTRACT AND ARE NOT INDICATED ON THESE DOCUMENTS. SEE BANK OF AMERICA FOR ADDITIONAL INFORMATION CONCERNING OTHER AREAS OF A.D.A. SCOPE OF WORK.

ACCESSIBLE ROUTE



GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE AMERICAN WITH DISABILITIES ACT (A.D.A.) ALONG WITH ALL STATE, COUNTY, AND LOCAL APPLICABLE CODES, ORDINANCES AND REGULATIONS. NOTIFY ARCHITECT PRIOR TO START OF WORK OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CODE. ALL WORK SHALL CONFORM TO THE MOST RESTRICTIVE REQUIREMENT.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL BECOME FAMILIAR WITH DRAWINGS SCOPE OF WORK AND VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL SUBMIT TO BANK OF AMERICA PROJECT MANAGER AND ARCHITECT AN ITEMIZED COST BREAKDOWN OF ALL SCOPE ITEMS AND A CONSTRUCTION SCHEDULE. WORK TO BE SCHEDULED TO MEET BANK OF AMERICA REQUIREMENTS.
- ALL WORK DESCRIBED OR INDICATED IN THESE DOCUMENTS AND ALL WORK DEPENDENT UPON OR NECESSARY TO COMPLETE THIS WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER CONSISTENT WITH THE BEST STANDARDS OF THE TRADE INVOLVED AND BE OF ITEMS AND MATERIALS SUITED FOR THE PURPOSE INTENDED.
- TRADESMEN, CRAFTSMEN, INSTALLERS, FOREMEN, AND SUPERVISORS ARE TO BE SKILLED, EXPERIENCED AND LICENSED IF REQUIRED IN THE WORK THEY WILL BE PERFORMING.
- PROJECT CONSTRUCTION ITEMS TO BE NEW, UNLESS OTHERWISE NOTED. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS COMPLETE DESCRIPTIONS OF ITEMS INCLUDING DRAWINGS, TEST DATA, SAMPLES, COST AND SCHEDULE CHANGES ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ANY ITEM NOTED ON THE DRAWINGS THAT ARE NOT AVAILABLE OR WOULD CAUSE A TIME DELAY SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND THE ARCHITECT NOTIFIED.
- TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE U.N.O. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR EXACT MEANING, ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- DIMENSION LINES ARE TO FACE OF FINISH ON EXISTING AND NEW WORK, UNLESS NOTED AS FACE OF STUD OR MASONRY OR CENTERLINE OR OTHERWISE. DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE AND LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- PROVIDE SHOP DRAWINGS WHERE INDICATED AND FOR ALL METAL FABRICATION OR WHERE THEY ARE CALLED OUT FOR ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL SUBMIT FIVE (5) SETS TO THE ARCHITECT WITH AMPLE TIME TO REVIEW. REQUIRED CORRECTIONS WILL BE NOTED AND A COPY WILL BE RETURNED TO THE CONTRACTOR WHO SHALL REVISE DRAWINGS AND RESUBMIT FOR FINAL APPROVAL PRIOR TO FABRICATION.
- CONTRACTOR TO SUBMIT SAMPLES OF ALL FINISH MATERIALS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF AS-BUILT DRAWINGS NOTING DEVIATIONS BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS AND NEW CONSTRUCTION OF ALL TRADES AND DELIVER TO BANK OF AMERICA AT END OF PROJECT. GENERAL CONTRACTOR SHALL PROVIDE ALL SUBCONTRACTORS WITH THE MOST CURRENT CONSTRUCTION DOCUMENTS THROUGHOUT THE PROJECT, INCLUDING ALL REVISIONS.
- CONTRACTOR TO NOTIFY ARCHITECT AND BANK OF AMERICA PROJECT MANAGER OF ALL REVISIONS TO THE DRAWINGS AND CHANGES WITH THE SCOPE OF WORK OR SCHEDULE REQUIRED BY GOVERNING AGENCIES, FIELD CONDITIONS OR BANK OF AMERICA PERSONNEL REGARDLESS OF EXTENT. ALL REVISIONS TO BE IN WRITING AS CHANGE ORDERS AND APPROVED PRIOR TO STARTING WORK.
- CONTRACTOR TO PROVIDE EQUIPMENT TO ENSURE LIFE SAFETY OF PUBLIC, TENANTS AND WORKERS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT PEDESTRIANS.
- CONTRACTOR TO VERIFY EXISTING STRUCTURAL CONDITIONS AND REQUIREMENTS OF NEW CONSTRUCTION PRIOR TO START OF WORK. CONTRACTOR SHALL FURNISH ADEQUATE SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK AND SHALL BE FULLY RESPONSIBLE FOR SAME, UNLESS SPECIFICALLY DETAILED IN THE DRAWINGS. CONTRACTOR SHALL PROVIDE BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORTS AS NECESSARY FOR ALL FIXTURES, EQUIPMENTS AND ALL OTHER ITEMS REQUIRING SAME.
- SITE AND BUILDING SHALL BE MAINTAINED IN A CLEAN, SAFE MANNER, DIRTY/ NOISY WORK SHALL BE PERFORMED AT SUCH TIME AS DIRECTED PER THE OWNER AND/OR CITY WHEN THE WORK VARIOUS SECTIONS ARE COMPLETED, AND AT OTHER TIMES AS DIRECTED BY BANK OF AMERICA, OR OWNER. ALL TRASH DEBRIS, SURPLUS MATERIAL, TOOLS AND EQUIPMENT TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER. LEAVE PREMISES IN A CONDITION ACCEPTABLE TO BANK OF AMERICA, OR OWNER.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE. WHERE EXISTING CONSTRUCTION, FINISHES OR EQUIPMENT IS DAMAGED BY WORK IN THIS CONTRACT, THEY SHALL BE PATCHED, REPAIRED OR REPLACED AS REQUIRED TO MATCH EXISTING, BY TRADE WHOSE WORK IS DAMAGED AT NO COST TO BANK OF AMERICA.
- LAYOUT OF WORK:
 - LOCATION AND ELEVATION OF ALL WORK TO BE CONSTRUCTED ARE SHOWN ON DRAWINGS AND UNLESS DISCREPANCIES ARE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER LOCATION AND ELEVATIONS AS SHOWN AND INTENDED.
 - THE CONTRACTOR SHALL LAYOUT THE WORK AND SHALL ESTABLISH AND MAINTAIN NECESSARY MARKERS, AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF SAME. THE CONTRACTOR SHALL LAYOUT, AS A GUIDE TO ALL TRADES AND TO HIS SUBCONTRACTORS, THE EXACT LOCATIONS OF NEW OR REMODEL WORK WITH RESPECT TO CHANGES TO EXISTING.
- INSTALL AND APPLY ITEMS, MATERIALS, EQUIPMENT, FINISHES, ETC. INCLUDING THE PREPARATION OF SURFACES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED RECOMMENDATIONS AND INSTALLATION REQUIREMENTS.
- PERTAINING TO EQUIPMENT: GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND RELOCATION OF ANY EXISTING EQUIPMENT OR CONSTRUCTION AS NECESSARY FOR A COMPLETE INSTALLATION.
- ACCESS PANELS SHALL BE PROVIDED FOR ALL EQUIPMENT SWITCHES, VALVES AND OTHER CONTROL DEVICES THAT ARE CONCEALED. EXACT LOCATIONS TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- BESIDES GUARANTEES REQUIRED ELSEWHERE, THE CONTRACTOR SHALL, HEREBY DOES, GUARANTEE ALL WORK FOR A MINIMUM PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE OF WORK WITH ANY OTHER WORK, WHICH MAY BE DISPLACED IN SO DOING, THAT MAY PROVE DEFECTIVE IN WORKMANSHIP AND/OR MATERIALS WITHIN A MINIMUM OF ONE YEAR PERIOD FROM THE DATE OF ACCEPTANCE WITHOUT EXPENSE TO BANK OF AMERICA.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION
- COORDINATE TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, UNLESS OTHERWISE NOTED.
- CONCEALED INSULATING MATERIALS INSTALLED WITHIN WALL SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
- INSULATING MATERIALS WHICH ARE SUBJECT TO DIRECT EXPOSURE TO POTENTIAL FIRE ON THE INSIDE OF THE BUILDING DUE TO INSTALLATION IN UNCONCEALED SPACES SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
- MATERIALS EXPOSED WITHIN PLENUMS ARE REQUIRED TO BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 AS DETERMINED IN ACCORDANCE WITH ASTM E 84.

**Bank of America
Charlottesville Main
ADA Renovation**

300 East Main Street
Charlottesville, VA 22902

SERIAL NUMBER: VAA2-965
NRSP VERSION:
BULLETIN:



605 East Main Street, 5th Floor, Charlottesville, VA 22902
T: 703.908.4000 F: 703.908.4502

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02	01/21/2014	FOR PERMIT		

Seal/Signature

Project Name

BANK OF AMERICA - CHARLOTTESVILLE ADA
223-2172-00

PROTOTYPE LAYOUT

CAD File Name

Description

GENERAL NOTES

Scale

A00.10

Bank of America Charlottesville Main ADA Renovation

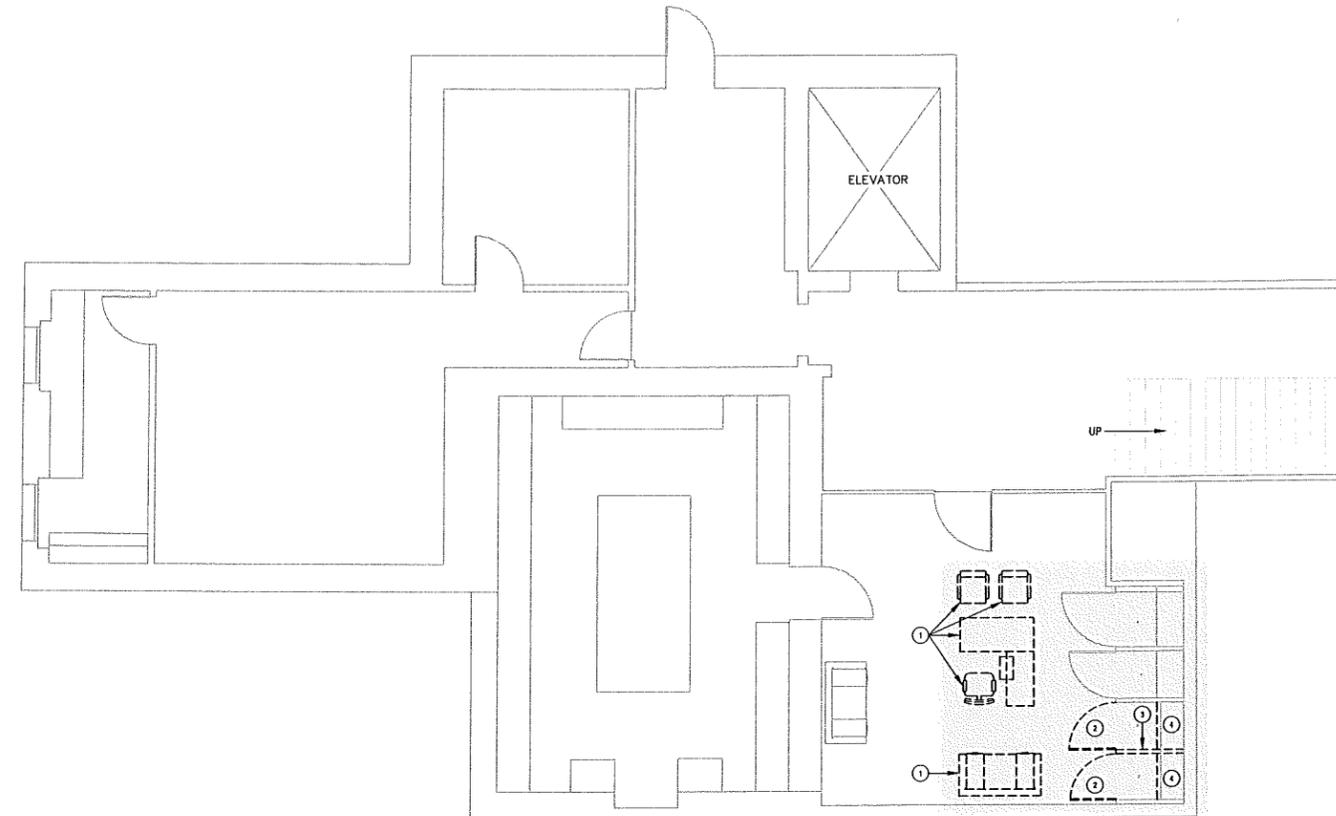
300 East Main Street
Charlottesville, VA 22902

SERIAL NUMBER: VA2-965
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430 Hwy 640, Suite 100, Martinsburg, WV 26003
T: 703-908-4504 F: 703-908-4502
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SHADED AREAS DEFINES
PRIMARY AREA OF WORK

KEY NOTES

- ① RELOCATE EXISTING FURNITURE, SEE A02.00 FOR NEW LOCATION
- ② REMOVE EXISTING DOOR AND FRAME ASSEMBLY.
- ③ REMOVE EXISTING PARTITION ASSEMBLY AS INDICATED.
- ④ REMOVE EXISTING MILLWORK COUNTERTOP

SHEET NOTES

- A. EXISTING PLAN IS FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS.
- B. G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- C. REFER TO CIVIL DRAWINGS FOR EXTERIOR IMPROVEMENTS
- D. PATCH AND REPAIR ANY WALL, CEILING & FLOOR FINISHES IN AREA OF DEMOLITION. IF MATCHING CARPET CANNOT BE FOUND, REPLACE WITH NEW CARPET OF SIMILAR CONSTRUCTION AND COLOR. PROVIDE SAMPLES TO OWNERS REP FOR BANK OF AMERICA STORE DESIGN FOR APPROVAL.
- E. RELOCATE ALL ELEC/TEL/DATA DEVICES IN WALLS DEMOED. COORD WITH ARCH.

Issue	Date & Issue Description	By	Check
01	01/13/2014 OWNER REVIEW		
02	01/21/2014 FOR PERMIT		

Date/Signature

Project Name
BANK OF AMERICA -- CHARLOTTESVILLE ADA
223-2172-00

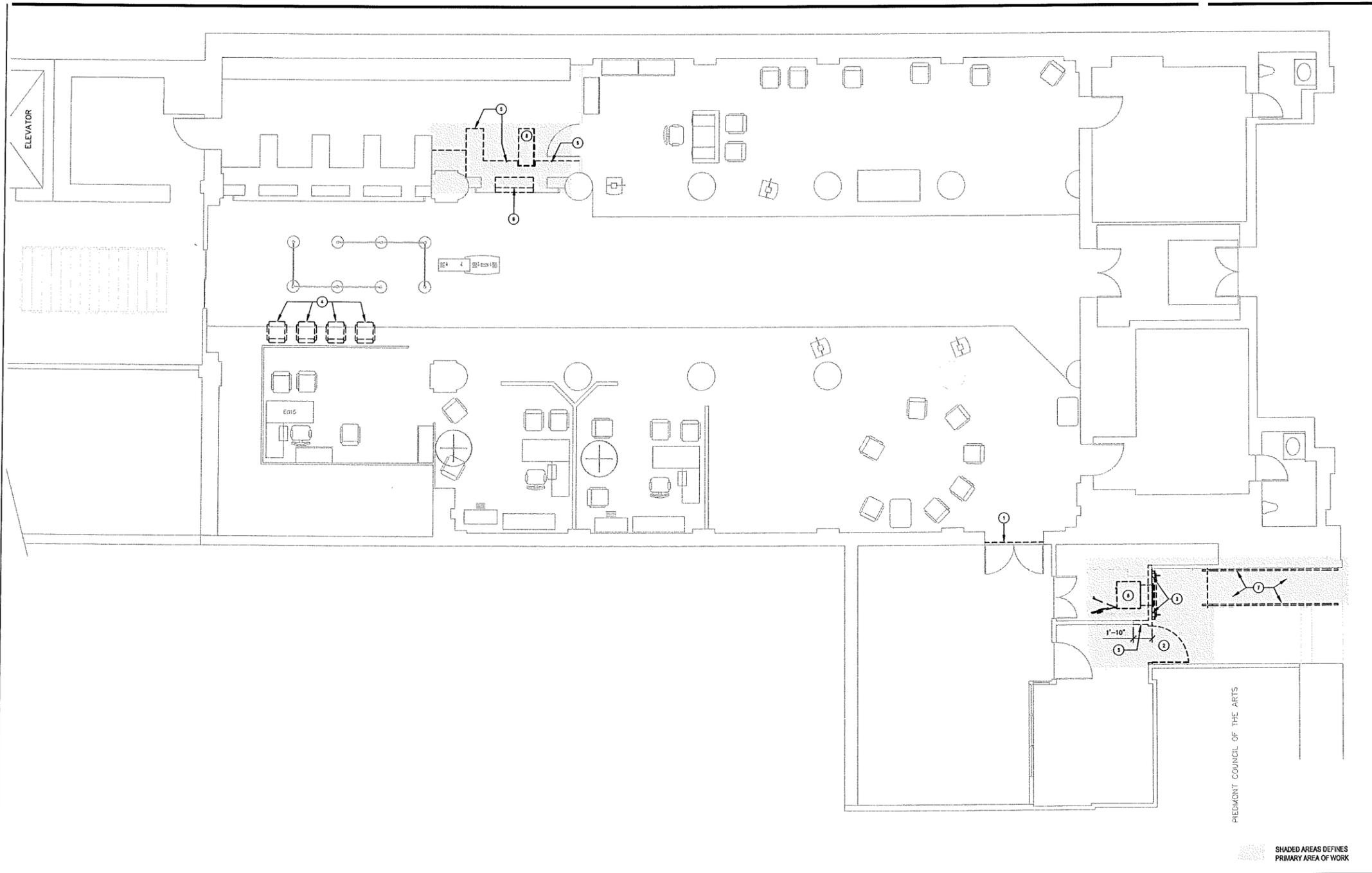
PROTOTYPE LAYOUT

CAD File Name

Description
BASEMENT
DEMOLITION PLAN

Scale

A01.00



KEY NOTES

- ① REMOVE EXISTING THRESHOLD
- ② REMOVE EXISTING STOREFRONT ENTRY DOOR, FRAME ASSEMBLY AND TRANSOM ABOVE. SALVAGE FOR RELOCATION
- ③ REMOVE EXISTING PARTITION ASSEMBLY AS INDICATED.
- ④ REMOVE EXISTING FURNITURE/EQUIPMENT AND RELOCATE PER OWNER INSTRUCTION
- ⑤ REMOVE/MODIFY PORTIONS OF EXISTING TELLER LINE WALLWORK TO PROVIDE NEW ADA ACCESSIBLE TELLER STATION, SEE DETAIL 2/A12.01
- ⑥ REMOVE EXISTING ATM AND SURROUND, SALVAGE FOR REINSTALLATION IN NEW WALL
- ⑦ REMOVE/MODIFY EXISTING RAMP AND HANDRAILS, SEE CIVIL DRAWINGS
- ⑧ REMOVE EXISTING BANK EQUIPMENT, SALVAGE FOR RELOCATION
- ⑨ REMOVE EXISTING STONE PURSE SHELF, SALVAGE FOR REINSTALLATION AT ADA ACCESSIBLE HEIGHT, SEE DETAIL 2/A12.01

SHEET NOTES

- A. EXISTING PLAN IS FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS.
- B. G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- C. REFER TO CIVIL DRAWINGS FOR EXTERIOR IMPROVEMENTS
- D. PATCH AND REPAIR ANY WALL, CEILING & FLOOR FINISHES IN AREA OF DEMOLITION. IF MATCHING CARPET CANNOT BE FOUND, REPLACE WITH NEW CARPET OF SIMILAR CONSTRUCTION AND COLOR. PROVIDE SAMPLES TO OWNERS REP FOR BANK OF AMERICA STORE DESIGN FOR APPROVAL.
- E. RELOCATE ALL ELEC./TEL./DATA DEVICES IN WALLS DEMOED. COORD WITH ARCH.

FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"

**Bank of America
Charlottesville Main
ADA Renovation**

300 East Main Street
Charlottesville, VA 22902

SERIAL NUMBER: VA2-965
NRSP VERSION:
BULLETIN:



105 West Foothill Drive, Suite 101, Arlington, VA 22203
T 703.926.4501 F 703.926.4502
www.littleonline.com

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Issue	Date & Issue Description	By	Check
01	01/13/2014 OWNER REVIEW		
02	01/21/2014 FOR PERMIT		

Designer/Architect

Project Name

BANK OF AMERICA - CHARLOTTESVILLE ADA
223-2172-00

PROJ/TYPE/LAYOUT

CAD File Name

Description
FIRST FLOOR
DEMOLITION PLAN

Scale

A01.01

Bank of America Charlottesville Main ADA Renovation

300 East Main Street
Charlottesville, VA 22902

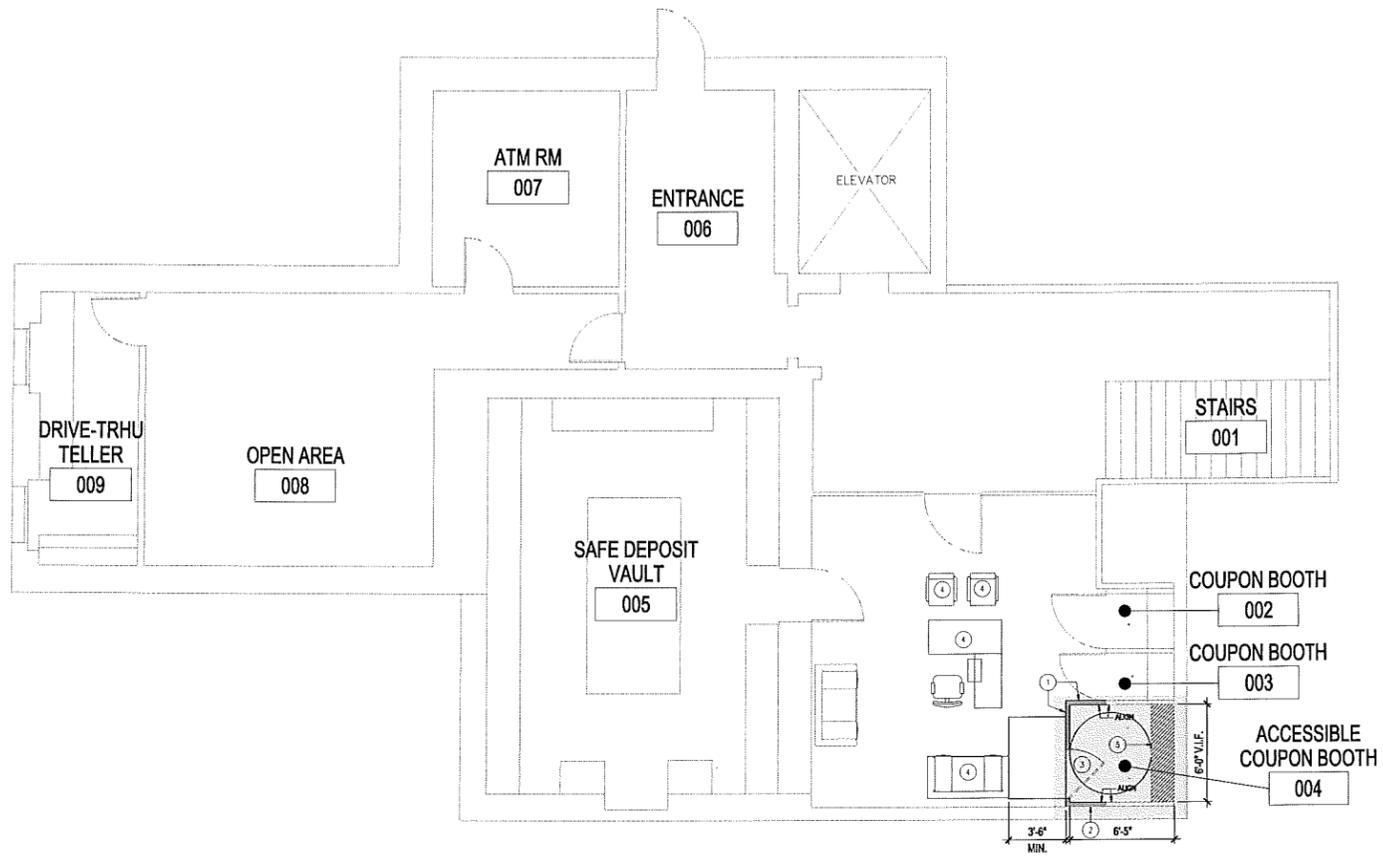
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01	01/13/2014		
	OWNER REVIEW		
02	01/21/2014		
	FOR PERMIT		



SHADED AREAS DEFINES
PRIMARY AREA OF WORK

KEY NOTES

- 1 NEW 8'-0" HIGH INTERIOR PARTITION - 5/8" GWS AT EACH SIDE OVER METAL STUD FRAMING TO MATCH EXISTING WIDTH, SECURED TO STRUCTURE AT BOTTOM. PAINT TO MATCH EXISTING.
- 2 FURR WALL WITH 5/8" GWS OVER METAL STUD FRAMING OF PROPER SIZE TO ALIGN WITH ADJACENT. PAINT TO MATCH EXISTING.
- 3 PROVIDE NEW 7'-0" HIGH X 3'-0" WIDE INTERIOR DOOR AND FRAME WITH NEW ACCESSIBLE LOCKSET, SCHLAGE ND SERIES, SPARTA MODEL, LC TRIM OR EQUIVALENT, PRIVACY FUNCTION, 626 FINISH.
- 4 RELOCATE EXISTING FURNITURE/FURNISHINGS AS INDICATED ON PLAN. VERIFY LOCATION DOES NOT CONFLICT WITH ACCESSIBLE PATH/APPROACH ILLUSTRATED ON DRAWINGS.
- 5 DEMOLISH EXISTING MILLWORK AND PROVIDE NEW ACCESSIBLE COUPON BOOTH MILLWORK. REFER TO DETAIL 9/A03.01. RELOCATE LIGHT/SWITCH AS APPLICABLE.

SHEET NOTES

- A. EXISTING PLAN IS FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS.
- B. G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- C. REFER TO CIVIL DRAWINGS FOR EXTERIOR IMPROVEMENTS.
- D. CONTRACTOR IS NOT TO EXCEED VERTICAL DIMENSIONS. HEIGHTS MUST MEET ADAAG STANDARDS.
- E. PATCH AND REPAIR ANY WALL, CEILING & FLOOR FINISHES IN AREA OF DEMOLITION. IF MATCHING CARPET CANNOT BE FOUND, REPLACE WITH NEW CARPET OF SIMILAR CONSTRUCTION AND COLOR. PROVIDE SAMPLES TO OWNERS REP FOR BANK OF AMERICA STORE DESIGN FOR APPROVAL.
- F. RELOCATE ALL ELEC/TEL/DATA DEVICES IN WALLS TO BE DEMOED/MOVED. COORD WITH ARCH.
- G. CONTRACTOR SHALL PROVIDE MITERED CORNERS ON ALL NEW WALL BASE INSTALLATIONS WHERE RUBBER BASE IS NOT USED.

BASEMENT CONSTRUCTION PLAN
SCALE: 1/4"=1'-0"

Date/Signature

Project Name
BANK OF AMERICA - CHARLOTTESVILLE ADA
223-2172-00
PROTOTYPE LAYOUT
CAD File Name
Description
BASEMENT
CONSTRUCTION PLAN
Scale

A02.00

Bank of America Charlottesville Main ADA Renovation

300 East Main Street
Charlottesville, VA 22902

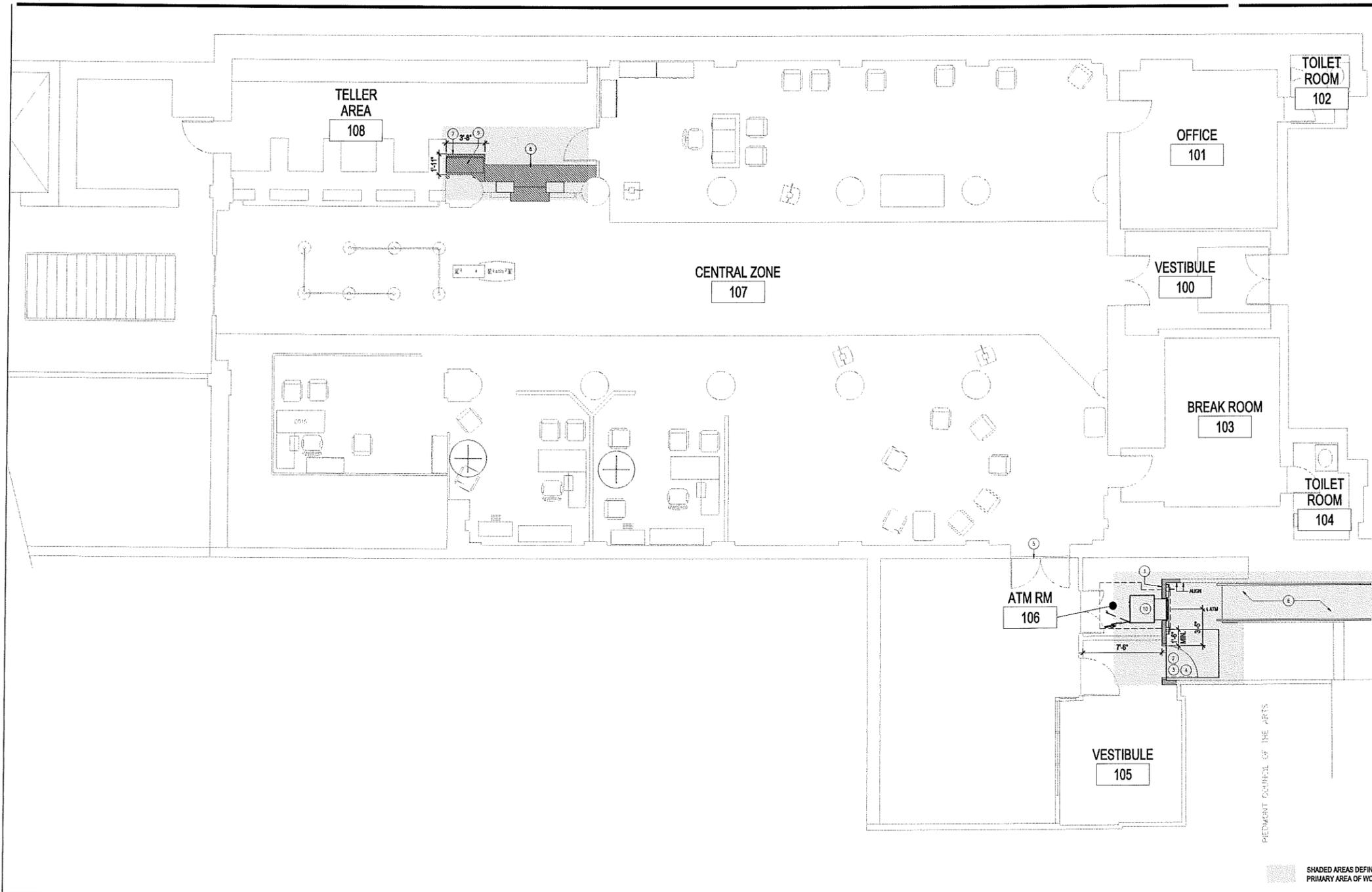
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NRSP VERSION:
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01	01/13/2014	OWNER REVIEW	
02	01/21/2014	FOR PERMIT	



KEY NOTES

1. NEW WALL, MATCH ADJACENT WALL CONSTRUCTION AND FINISH BOTH SIDES.
2. INSTALL SALVAGED ENTRY DOOR AND TRANSOM AS INDICATED.
3. PROVIDE BANK STANDARD ENTRANCE DOOR GRAPHICS INDICATING INTERNATIONAL SIGNAGE FOR ACCESSIBILITY. REFER TO BANK STANDARD SIGNAGE DRAWINGS AS PROVIDED BY THOMAS SIGN & AWING COMPANY. COORDINATE WITH OWNER FOR ADDITIONAL REQUIREMENTS.
4. DOOR CLOSER SHALL PROVIDE AN OPENING FORCE OF 8.5LBF OR LESS FOR EXTERIOR DOOR, 5LBF OR LESS FOR INTERIOR DOOR. CLOSER SHALL TAKE AT LEAST 3 SECOND TO MOVE TO A POINT 3" FROM LATCH FROM AN OPEN POSITION OF 70 DEGREES. G.C. TO DETERMINE IF EXISTING CLOSER CAN BE ADJUSTED TO MEET THESE REQUIREMENTS, IF NOT, REPLACE CLOSER.
5. REPLACE DOOR THRESHOLD. REFER TO DETAIL 8/A00.40 NATIONAL QJARD PRODUCTS: 8163+325-MLL FINISH. CUT TO FIT.
6. MODIFY RAMP AND LANDING, SEE CIVIL DRAWINGS.
7. INSTALL NEW COUNTERTOP 36" A.F.F., FINISH TO MATCH TELLER LINE MILLWORK.
8. MODIFY TELLER LINE MILLWORK AS NECESSARY FOR NEW ACCESSIBLE TELLER STATION, SEE DETAILS ON SHT. A12.01
9. RELOCATE EXISTING BANK EQUIPMENT UNDER NEW COUNTER AS INDICATED.
10. REINSTALL ATM AND SURROUND AS INDICATED, SEE DETAILS ON SHT. A12.01

SHEET NOTES

- A. EXISTING PLAN IS FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS.
- B. G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- C. REFER TO CIVIL DRAWINGS FOR EXTERIOR IMPROVEMENTS.
- D. CONTRACTOR IS NOT TO EXCEED VERTICAL DIMENSIONS. HEIGHTS MUST MEET ADAAG STANDARDS.
- E. PATCH AND REPAIR ANY WALL, CEILING & FLOOR FINISHES IN AREA OF DEMOLITION. IF MATCHING CARPET CANNOT BE FOUND, REPLACE WITH NEW CARPET OF SIMILAR CONSTRUCTION AND COLOR. PROVIDE SAMPLES TO OWNERS REP FOR BANK OF AMERICA STORE DESIGN FOR APPROVAL.
- F. VERIFY EXISTING LOCKSET AT EXTERIOR DOOR ASSEMBLY TO DETERMINE IF REPLACEMENT IS REQUIRED. NOTIFY ARCHITECT AND PROPERTY MANAGER OF FINDINGS.
- G. FOR EXTERIOR AND VESTIBULE DOOR HARDWARE, PUSH/PULL TO MATCH EXISTING DOOR COLOR. PLUG/PATCH HOLES @ LOCATIONS OF HARDWARE TO BE REMOVED AS REQUIRED.
- H. RELOCATE ALL ELEC/TEL/DATA DEVICES IN WALLS TO BE DEMOCD/MOVED. COORD WITH ARCH.
- I. CONTRACTOR SHALL PROVIDE MITERED CORNERS ON ALL NEW WALL BASE INSTALLATIONS WHERE RUBBER BASE IS NOT USED.

FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/4"=1'-0"

Serial Signature

Project Name
BANK OF AMERICA - CHARLOTTESVILLE ADA
223-2172-00

Prototype Layout

CAD File Name

Description
FIRST FLOOR
CONSTRUCTION PLAN

Scale

A02.01

Bank of America Charlottesville Main ADA Renovation

300 East Main Street
Charlottesville, VA 22902

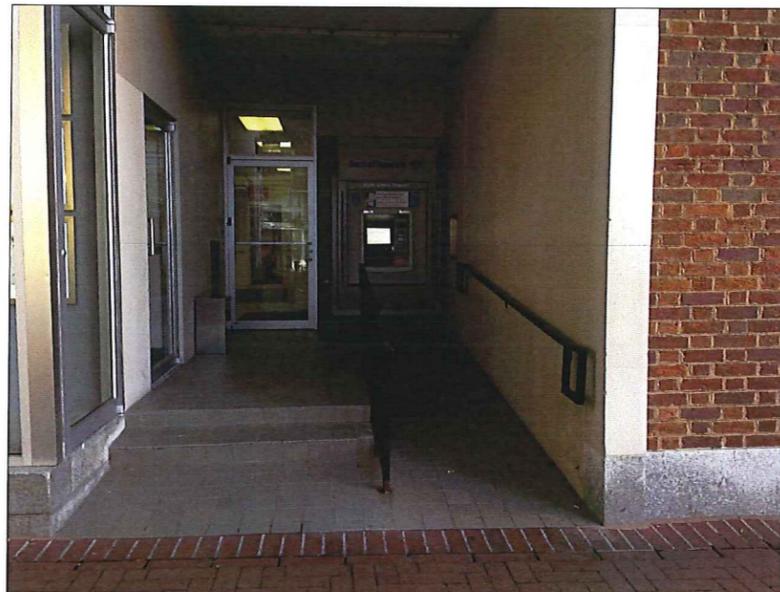
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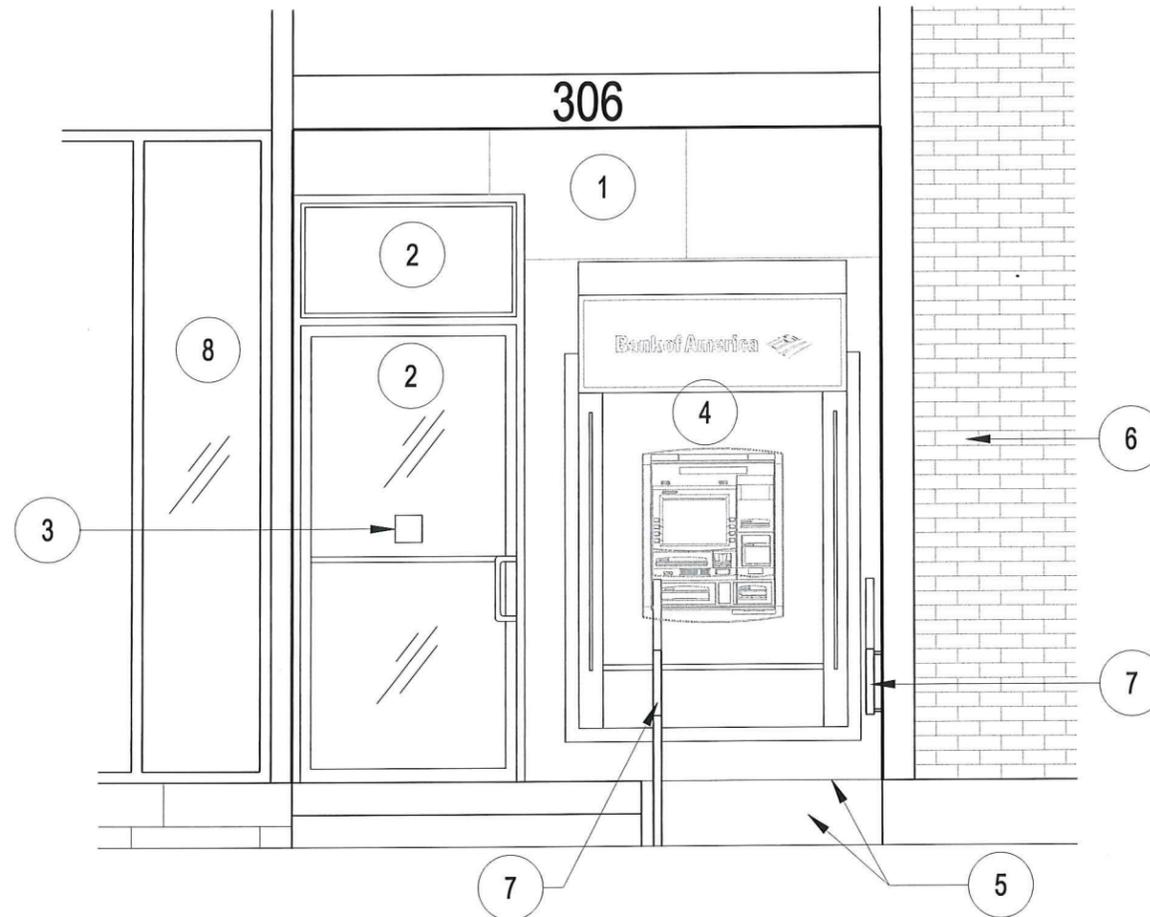
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02	01/21/2014		
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EXISTING CONDITIONS
PICTURE IS NOT TO SCALE



PROPOSED

KEY NOTES

- ① NEW WALL ASSEMBLY, FINISHES TO MATCH ADJACENT.
- ② EXISTING ENTRY DOOR AND TRANSOM INSTALLED IN NEW WALL.
- ③ PROVIDE BANK STANDARD ENTRANCE DOOR GRAPHICS INDICATING INTERNATIONAL SIGNAGE FOR ACCESSIBILITY. APPROXIMATE LOCATION SHOWN ON ARCHITECTURAL DRAWINGS, REFER TO SIGNAGE DRAWINGS FOR EXACT LOCATION. REFER TO BANK STANDARD SIGNAGE DRAWINGS AS PROVIDED BY THOMAS SIGN & AWNING COMPANY. COORDINATE WITH OWNER FOR ADDITIONAL REQUIREMENTS.
- ④ REINSTALL EXISTING ATM SURROUND AND ATM. SEE DETAILS ON SHEET A12.01.
- ⑤ MODIFIED RAMP AND LANDING. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION AND DETAILS.
- ⑥ EXISTING BRICK FACADE TO REMAIN.
- ⑦ NEW HANDRAILS. FINISH AND STYLE TO MATCH EXISTING.
- ⑧ EXISTING EXTERIOR STOREFRONT SYSTEM TO REMAIN.

SHEET NOTES

- A. EXISTING PLAN IS FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS.
- B. G.C. TO VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- C. REFER TO CIVIL DRAWINGS FOR EXTERIOR IMPROVEMENTS.
- D. CONTRACTOR IS NOT TO EXCEED VERTICAL DIMENSIONS. HEIGHTS MUST MEET ADAAG STANDARDS.
- E. PATCH AND REPAIR ANY WALL, CEILING & FLOOR FINISHES IN AREA OF DEMOLITION. IF MATCHING CARPET CANNOT BE FOUND, REPLACE WITH NEW CARPET OF SIMILAR CONSTRUCTION AND COLOR. PROVIDE SAMPLES TO OWNERS REP FOR BANK OF AMERICA STORE DESIGN FOR APPROVAL.
- F. VERIFY EXISTING LOCKSET AT EXTERIOR DOOR ASSEMBLY TO DETERMINE IF REPLACEMENT IS REQUIRED. NOTIFY ARCHITECT AND PROPERTY MANAGER OF FINDINGS.
- G. FOR EXTERIOR AND VESTIBULE DOOR HARDWARE, PUSH/PULL TO MATCH EXISTING DOOR COLOR. PLUG/PATCH HOLES @ LOCATIONS OF HARDWARE TO BE REMOVED AS REQUIRED.
- H. RELOCATE ALL ELEC/TEL/DATA DEVICES IN WALLS TO BE DEMOED/MOVED. COORD WITH ARCH.
- I. CONTRACTOR SHALL PROVIDE MITERED CORNERS ON ALL NEW WALL BASE INSTALLATIONS WHERE RUBBER BASE IS NOT USED.

FIRST FLOOR EXTERIOR ENTRY / WALK-UP ATM ELEVATION
SCALE: 1"=1'-0"

Seal/Signature

Project Name
BANK OF AMERICA - CHARLOTTESVILLE ADA
223-2172-00

PROTOTYPE LAYOUT

CAD File Name

Description
FIRST FLOOR
EXTERIOR ENTRY / WALK-UP ATM ELEVATION

Scale

A02.02

Bank of America Charlottesville Main ADA Renovation

300 East Main Street
Charlottesville, VA 22902

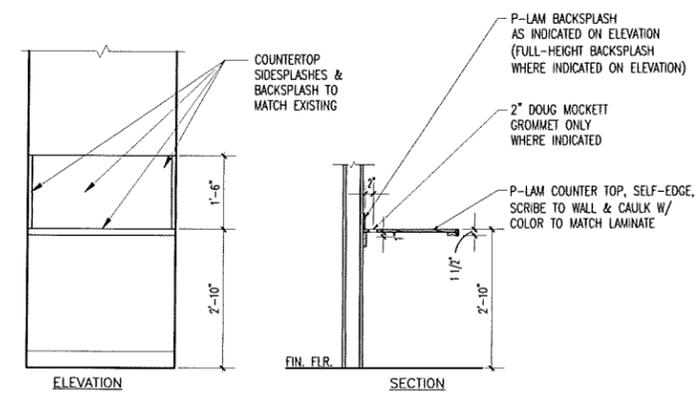
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NRSP VERSION:
BULLETIN:



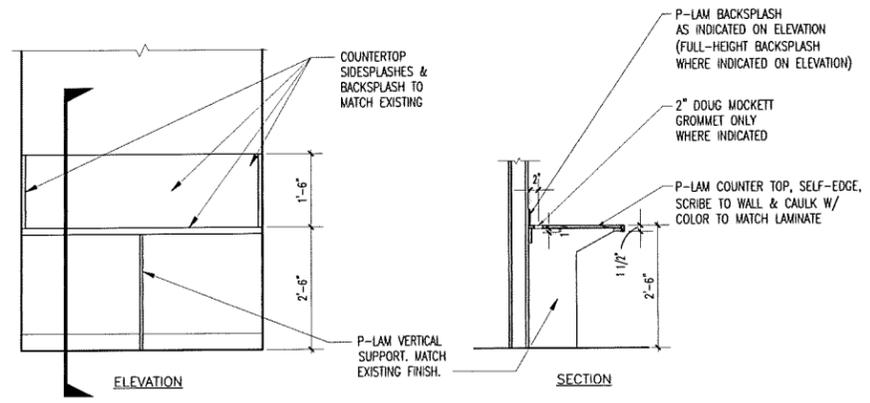
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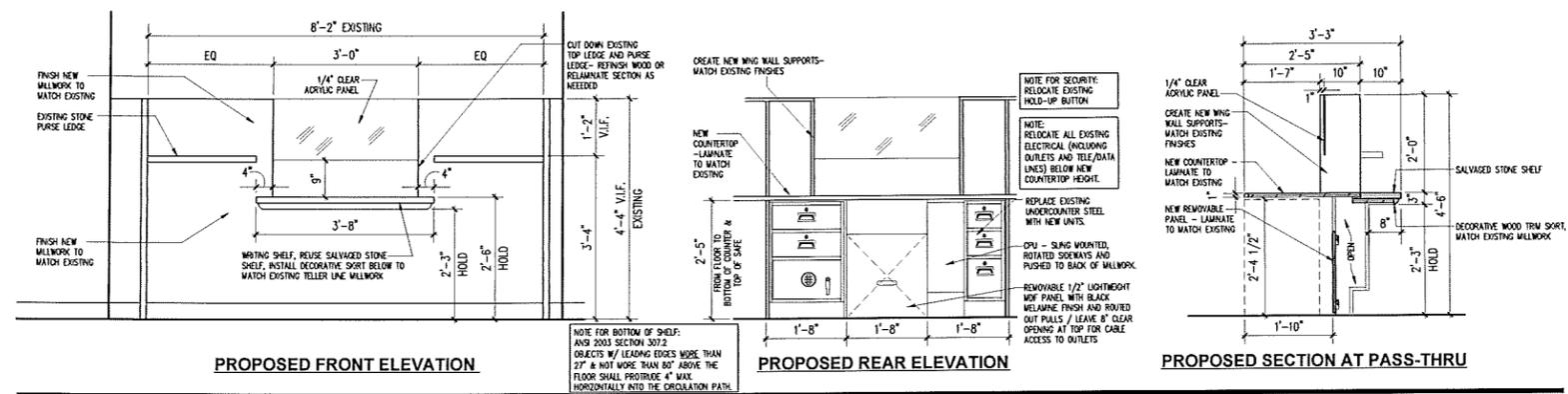
Issue	Date & Issue Description	By	Check
01	01/13/2014 OWNER REVIEW		
02	01/21/2014 FOR PERMIT		



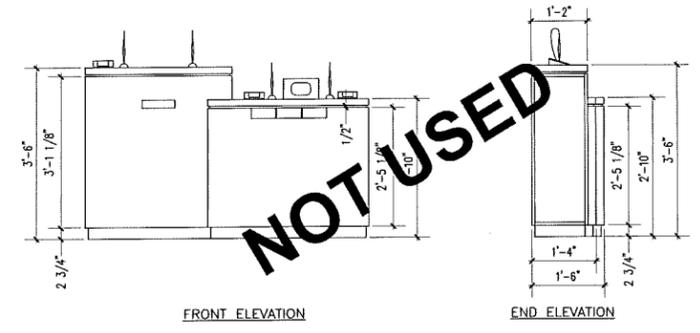
COUPON BOOTH
SCALE: 3/4" = 1'-0" DT COUPON_UNDER 5 FT **5**



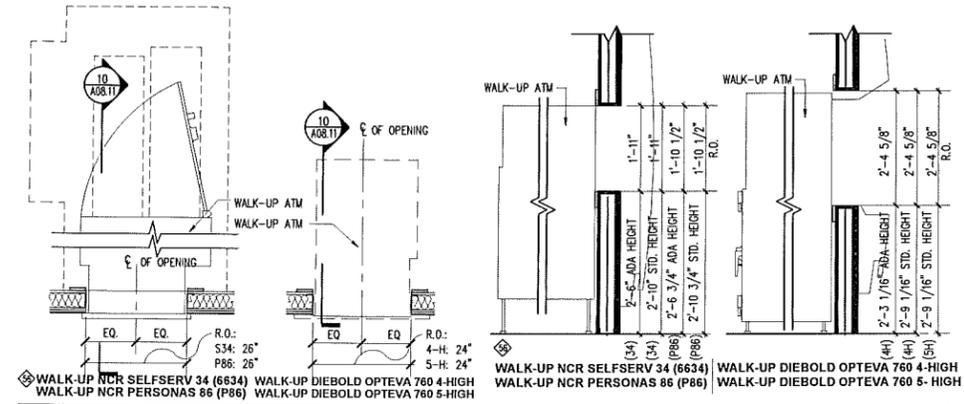
COUPON BOOTH
SCALE: 3/4" = 1'-0" DT COUPON - 5 FT IN WIDTH & GREATER **1**



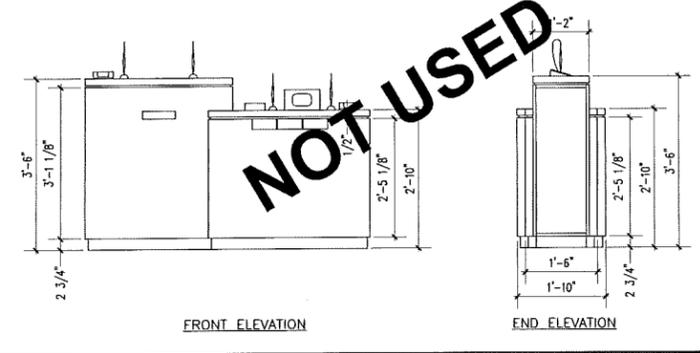
DETAILS @ PROPOSED ADA TELLER COUNTER
SCALE: 3/4" = 1'-0" DT TELLER LOWERED STATION **2**



ACCESSIBLE DEPOSIT SLIP STAND - WALL STATION (BY OWNER)
SCALE: 3/4" = 1'-0" DT CHECK STAND **3**



PLAN DETAIL AT ATM
SCALE: 3/4" = 1'-0" (new) DT_HW_09 **12**



ACCESSIBLE DEPOSIT SLIP STAND - FREESTANDING (BY OWNER)
SCALE: 3/4" = 1'-0" DT CHECK STAND **4**

BestSignature

Project Name
BANK OF AMERICA - CHARLOTTESVILLE ADA
223-2172-00
PROTOTYPE LAYOUT
CAD File Name
Description
MILLWORK DETAILS
Scale

A12.01