

From: Scala, Mary Joy
Sent: Wednesday, March 25, 2015 2:58 PM
To: aflajser@carrcc.com; Cooper Planning (acooper@cooper-planning.com)
Cc: bartelt.john@gmail.com
Subject: BAR Actions - March 17, 2015 - 1106 & 1108 W Main Street

March 25, 2015

Carr Hospitality
c/o Austin Flajser
1455 Pennsylvania Avenue, Suite 800
Washington, DC 20004

Certificate of Appropriateness Application

BAR 14-11-03
1106 and 1108 West Main Street
Tax Parcel 100064000 and 100065000
Carr Hospitality, Owner/Austin Flajser, Applicant
New mixed-use complex construction

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on March 17, 2015. The following action was taken:

The BAR approved (6-0) the new building as submitted, with the exception of a change in glass to 70% clear at the street level (except in the tower facing 11th Street), and all podium glass on the 2nd, 3rd and 4th floors shall be 70% clear (except in the tower); with signage and lighting proposals submitted to the BAR later.

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in 18 months (September 17, 2016), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. The expiration date may differ if the COA is associated with a valid site plan. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of the project, please contact me for an inspection of the improvements included in this application. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall – 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
February 17, 2015**



Certificate of Appropriateness Application

BAR 14-11-03
1106 and 1108 West Main Street
Tax Parcel 100064000 and 100065000
Carr Hospitality, Owner/Austin Flajser, Applicant
New mixed-use complex construction

Background

The Sycamore House (currently occupied by Studio Art Shop) is a contributing property located in the West Main Street ADC District. The Sycamore House is a two story brick building built in either 1935 (VA Historic Landmarks Commission survey form) or 1947 (applicant) for a Spotless store, and was then used for a series of restaurants.

November 28, 2006 – The BAR had a preliminary discussion on a proposed 7-story mixed-use addition to the Sycamore House.

January 16, 2007 – The BAR had a second preliminary discussion on a proposed 7-story with penthouse mixed-use addition to the Sycamore House.

February 20, 2007 – The BAR held a preliminary discussion for a proposed 7-story mixed-use addition to the Sycamore House.

November, 2007 – The applicant submitted a demolition request, but deferred it before it could be heard.

September 15, 2009 - The BAR approved demolition of the structure (4-1-1 with Hogg recusing).

November 17, 2009 – The BAR made preliminary comments on a proposed 9-story extended stay hotel.

December 15, 2009 - The BAR made a second round of preliminary comments. Some did not like the height but others were not as concerned, provided the building is articulated and designed well. The BAR still needs to be convinced that the extra two stories are worthwhile. An extended stay hotel should be more an infill/background building - different than a destination hotel.

November 18, 2014 -

Certificate of Appropriateness:

The BAR approved (7-0) the demolition subject to documentation with a footprint drawing and photos of the building elevations and streetscape prior to demolition.

SUP Recommendation:

The BAR recommended (5-2 with Schwarz and Miller opposed) that the proposed special use permit will not have any adverse impacts on the West Main Street ADC district. [The dissenters were concerned about the 11th Street setback/stepback modifications.]

Preliminary Comments:

The BAR made some preliminary comments that were generally favorable, with some disagreement over the terra cotta color. Some questioned the glass coefficient of light transmittance.

January 5, 2015 – City Council approved a Special Use Permit for additional height, and setback and setback modifications, with conditions (attached).

Zoning District Regulations

The property is currently zoned *West Main South Corridor* mixed use zoning district with ADC historic district overlay.

Minimum height: 40 feet; maximum 70 feet, with up to 101 feet allowed with SUP.

A rooftop appurtenance may not measure more than 16 feet in height above the building, and may not cover more than 25% of the roof area. A rooftop appurtenance may contain useable floor area, but such area may only be used “for or as an accessory to” a residential or commercial use allowed within that zoning district. (NOTE: If 101 feet is allowed, the SUP should make clear if an appurtenance of 16 additional feet height for occupied space is also permitted. Or, if only necessary appurtenances such as mechanical units and an elevator shaft would be allowed.)

Density: Residential density shall not exceed forty-three (43) DUA; however, up to two hundred forty (240) DUA may be allowed by special use permit

Setbacks: The setback on West Main Street (primary street frontage) is 15 feet, minimum; 20 feet, maximum. The setback on 11th Street SW (linking street frontage) is ten feet minimum, 20 feet maximum. Fifty percent of the area within any setback shall consist of a landscaped buffer, S-1 type.

Stepbacks: The minimum height of the streetwall of any building or structure shall be 25 feet containing a minimum of two interior floors. The maximum height of the street wall of any building or structure shall be 60 feet. At the top of the streetwall height, there shall be a minimum stepback of ten feet along the length of such street wall. Any streetwall fronting upon a numbered street within this district shall, at the top of the streetwall height, be required to have a stepback of five feet.

Other pertinent mixed-use regulations:

- (a) Developments that occupy an entire city block shall provide courtyards and plazas accessible to rights of way.
- (b) No ground floor residential uses may face West Main Street.
- (c) For uses requiring more than 20 off-street parking spaces, no more than 50 percent of such required spaces shall consist of surface parking open to the sky.
- (d) No off-street loading areas may face any public right-of-way.

Parking requirements:

This property is located in the *Parking Modified Zone*. Only if a development requires more than 20 parking spaces parking shall be required as follows: non-residential developments shall provide 50 percent of the required parking, and residential developments shall provide one space per unit. Parking requirements may be fulfilled by the property owner or developer through several alternatives outlined in the code.

West Main Street Streetscape Study

The applicant and BAR should be aware that West Main Street is currently being studied for a new streetscape, along with a proposal for Form Based Code.

Application

The applicant is requesting approval of a COA for new construction of a hotel with parking garage and a retail use on West Main Street.

In January Carr Hospitality received approval from City Council for a special use permit for a hotel development consisting of a hotel with 150 rooms. The parking garage contains 90 spaces; 83 are required. The SUP includes:

- additional building height (from 70 feet by-right maximum to 101 feet maximum);
- modification of the setback from 11th Street SW (reduction from 10 feet to six feet); and
- modification of the setback on 11th Street SW (reduction from five feet to no setback).

The proposed plan consists of the hotel lobby, and retail space, with two levels of parking and meeting rooms on the fourth floor above. Hotel rooms are on levels 5-10.

The site plan shows three Maple trees along West Main Street. A drop-off area and one Japanese Maple tree have been added on 11th Street SW.

Materials:

Insulated cladding system – Cambridge White (Rooftop mechanical screen)

Panel System - Medium Gray (one area on east elevation)

Fiber Cement Board – Flint (upper east elevation and tower)
Jupiter (podium levels 1-4 on east and north elevations)
Mercury/Granite (upper north elevation)

Cementitious Material – Color to match Mercury (upper west and south elevations)
Color to match Jupiter (podium on south elevation and podium above Kane Furniture on west elevation)

Metal – Medium Gray (on tower and canopy)

Glass - 50% light transmittance (on tower) and
61% light transmittance (on rooms)

Criteria, Standards and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of*

- Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Design Review Guidelines for New Construction

A. Introduction

3. Building Types

e. Multi-lot

Often new commercial, office, or multiuse buildings will be constructed on sites much larger than the traditionally sized lots 25 to 40 feet wide. Many sites for such structures are located on West Main Street and in the 14th and 15th Street area of Venable neighborhood. These assembled parcels can translate into new structures whose scale and mass may overwhelm neighboring existing structures. Therefore, while this building type may need to respond to the various building conditions of the site, it also should employ design techniques to reduce its visual presence. These could include varying façade wall planes, differing materials, stepped-back upper levels, and irregular massing.

B.Setback

- 1. Construct new commercial buildings with a minimal or no setback in order to reinforce the traditional street wall.*
- 2. Use a minimal setback if the desire is to create a strong street wall or setback consistent with the surrounding area.*
- 3. Modify setback as necessary for sub-areas that do not have well-defined street walls.*
- 4. Avoid deep setbacks or open corner plazas on corner buildings in the downtown in order to maintain the traditional grid of the commercial district.*
- 5. In the West Main Street corridor, construct new buildings with a minimal (up to 15 feet according to the zoning ordinance) or no setback in order to reinforce the street wall. If the site adjoins historic buildings, consider a setback consistent with these buildings.*
- 6. On corners of the West Main Street corridor, avoid deep setbacks or open corner plazas unless the design contributes to the pedestrian experience or improves the transition to an adjacent residential area.*
- 7. New buildings, particularly in the West Main Street corridor, should relate to any neighborhoods adjoining them. Buffer areas should be considered to include any screening and landscaping requirements of the zoning ordinance.*
- 8. At transitional sites between two distinctive areas of setback, for instance between new commercial and historic commercial, consider using setbacks in the new construction that reinforce and relate to setbacks of the historic buildings.*

C. Spacing

- 2. Commercial and office buildings in areas that have a well-defined street wall should have minimal spacing between them.*
- 3. In areas that do not have consistent spacing, consider limiting or creating a more uniform spacing in order to establish an overall rhythm.*
- 4. Multi-lot buildings should be designed using techniques to incorporate and respect the existing spacing on a residential street.*

P. 3.6 Massing & Footprint

- 1. New commercial infill buildings' footprints will be limited by the size of the existing lot in the downtown or along the West Main Street corridor. Their massing in most cases should be simple rectangles like neighboring buildings.*
- 2. New infill construction in residential sub-areas should relate in footprint and massing to the majority of surrounding historic dwellings.*
- 3. Neighborhood transitional buildings should have small building footprints similar to nearby dwellings.*

a. If the footprint is larger, their massing should be reduced to relate to the smaller-scaled forms of residential structures.

b. Techniques to reduce massing could include stepping back upper levels, adding residential roof and porch forms, and using sympathetic materials.

4. Institutional and multi-lot buildings by their nature will have large footprints, particularly along the West Main Street corridor and in the 14th and 15th Street area of the Venable neighborhood.

a. The massing of such a large scale structure should not overpower the traditional scale of the majority of nearby buildings in the district in which it is located.

b. Techniques could include varying the surface planes of the buildings, stepping back the buildings as the structure increases in height, and breaking up the roof line with different elements to create smaller compositions.

E. Height and Width

1. Respect the directional expression of the majority of surrounding buildings. In commercial areas, respect the expression of any adjacent historic buildings, which generally will have a more vertical expression.

2. Attempt to keep the height and width of new buildings within a maximum of 200 percent of the prevailing height and width in the surrounding sub-area.

3. In commercial areas at street front, the height should be within 130 percent of the prevailing average of both sides of the block. Along West Main Street, heights should relate to any adjacent contributing buildings.

Additional stories should be stepped back so that the additional height is not readily visible from the street.

4. When the primary façade of a new building in a commercial area, such as downtown, West Main Street, or the Corner, is wider than the surrounding historic buildings or the traditional lot size, consider modulating it with bays or varying planes.

5. Reinforce the human scale of the historic districts by including elements such as porches, entrances, storefronts, and decorative features depending on the character of the particular sub-area.

6. In the West Main Street corridor, regardless of surrounding buildings, new construction should use elements at the street level, such as cornices, entrances, and display windows, to reinforce the human scale.

F. Scale

1. Provide features on new construction that reinforce the scale and character of the surrounding area, whether human or monumental. Include elements such as storefronts, vertical and horizontal divisions, upper story windows, and decorative features.

2. As an exception, new institutional or governmental buildings may be more appropriate on a monumental scale depending on their function and their site conditions.

G. Roof

Roof Forms and Pitches

a. The roof design of new downtown or West Main Street commercial infill buildings generally should be flat or sloped behind a parapet wall.

b. Neighborhood transitional buildings should use roof forms that relate to the neighboring residential forms instead of the flat or sloping commercial form.

c. Institutional buildings that are freestanding may have a gable or hipped roof with variations.

d. Large-scale, multi-lot buildings should have a varied roof line to break up the mass of the design using gable and/or hipped forms.

e. Shallow pitched roofs and flat roofs may be appropriate in historic residential areas on a contemporary designed building.

f. Do not use mansard-type roofs on commercial buildings; they were not used historically in Charlottesville's downtown area, nor are they appropriate on West Main Street.

H. Orientation

1. New commercial construction should orient its façade in the same direction as adjacent historic buildings, that is, to the street.

2. Front elevations oriented to side streets or to the interior of lots should be discouraged.

I. Windows and Doors

1. The rhythm, patterns, and ratio of solids (walls) and voids (windows and doors) of new buildings should relate to and be compatible with adjacent historic facades.

- a. *The majority of existing buildings in Charlottesville's historic districts have a higher proportion of wall area than void area except at the storefront level.*
- b. *In the West Main Street corridor in particular, new buildings should reinforce this traditional proportion.*
2. *The size and proportion, or the ratio of width to height, of window and door openings on new buildings' primary facades should be similar and compatible with those on surrounding historic facades.*
- a. *The proportions of the upper floor windows of most of Charlottesville's historic buildings are more vertical than horizontal.*
- b. *Glass storefronts would generally have more horizontal proportions than upper floor openings.*
3. *Traditionally designed openings generally are recessed on masonry buildings and have a raised surround on frame buildings. New construction should follow these methods in the historic districts as opposed to designing openings that are flush with the rest of the wall.*
4. *Many entrances of Charlottesville's historic buildings have special features such as transoms, sidelights, and decorative elements framing the openings. Consideration should be given to incorporating such elements in new construction.*
5. *Darkly tinted mirrored glass is not an appropriate material for windows in new buildings within the historic districts.*
6. *If small-paned windows are used, they should have true divided lights or simulated divided lights with permanently affixed interior and exterior muntin bars and integral spacer bars between the panes of glass.*
7. *Avoid designing false windows in new construction.*
8. *Appropriate material for new windows depends upon the context of the building within a historic district, and the design of the proposed building. Sustainable materials such as wood, aluminum-clad wood, solid fiberglass, and metal windows are preferred for new construction. Vinyl windows are discouraged.*
9. **Glass shall be clear.** *Opaque spandrel glass or translucent glass may be approved by the BAR for specific applications.*

K. Street level Design

1. *Street level facades of all building types, whether commercial, office, or institutional, should not have blank walls; they should provide visual interest to the passing pedestrian.*
2. *When designing new storefronts or elements for storefronts, conform to the general configuration of traditional storefronts depending on the context of the sub-area. New structures do offer the opportunity for more contemporary storefront designs.*
3. *Keep the ground level facades(s) of new retail commercial buildings at least eighty percent transparent up to a level of ten feet.*
4. *Include doors in all storefronts to reinforce street level vitality.*
5. *Articulate the bays of institutional or office buildings to provide visual interest.*
6. *Institutional buildings, such as city halls, libraries, and post offices, generally do not have storefronts, but their street levels should provide visual interest and display space or first floor windows should be integrated into the design.*
7. *Office buildings should provide windows or other visual interest at street level.*
8. *Neighborhood transitional buildings in general should not have transparent first floors, and the design and size of their façade openings should relate more to neighboring residential structures.*
9. *Along West Main Street, secondary (rear) facades should also include features to relate appropriately to any adjacent residential areas.*
10. *Any parking structures facing on important streets or on pedestrian routes must have storefronts, display windows, or other forms of visual relief on the first floors of these elevations.*
11. *A parking garage vehicular entrance/exit opening should be diminished in scale, and located off to the side to the degree possible.*

L. Foundation and Cornice

1. *Distinguish the foundation from the rest of the structure through the use of different materials, patterns, or textures.*
2. *Respect the height, contrast of materials, and textures of foundations on surrounding historic buildings.*
3. *If used, cornices should be in proportion to the rest of the building.*
4. *Wood or metal cornices are preferred. The use of fypon may be appropriate where the location is not immediately adjacent to pedestrians.*

M. Materials and Textures

1. *The selection of materials and textures for a new building should be compatible with and complementary to neighboring buildings.*
2. *In order to strengthen the traditional image of the residential areas of the historic districts, brick, stucco, and wood siding are the most appropriate materials for new buildings.*
3. *In commercial/office areas, brick is generally the most appropriate material for new structures. "Thin set" brick is not permitted. Stone is more commonly used for site walls than buildings.*
4. *Large-scale, multi-lot buildings, whose primary facades have been divided into different bays and planes to relate to existing neighboring buildings, can have varied materials, shades, and textures.*
5. *Synthetic siding and trim, including, vinyl and aluminum, are not historic cladding materials in the historic districts, and their use should be avoided.*
6. *Cementitious siding, such as HardiPlank boards and panels, are appropriate.*
7. *Concrete or metal panels may be appropriate.*
8. *Metal storefronts in clear or bronze are appropriate.*
9. *The use of Exterior Insulation and Finish Systems (EIFS) is discouraged but may be approved on items such as gables where it cannot be seen or damaged. It requires careful design of the location of control joints.*
10. *The use of fiberglass-reinforced plastic is discouraged. If used, it must be painted.*
11. *All exterior trim woodwork, decking and flooring must be painted, or may be stained solid if not visible from public right-of-way.*

N. Paint

The appropriateness of a color depends on: the size and material of the painted area and the context of surrounding buildings,

1. *The selection and use of colors for a new building should be coordinated and compatible with adjacent buildings, not intrusive.*
2. *In Charlottesville's historic districts, various traditional shades of brick red, white, yellow, tan, green, or gray are appropriate. For more information on colors traditionally used on historic structures and the placement of color on a building, see Chapter 4: Rehabilitation.*
3. *Do not paint unpainted masonry surfaces.*
4. *It is proper to paint individual details different colors.*
5. *More lively color schemes may be appropriate in certain sub-areas dependent on the context of the sub-areas and the design of the building.*

O. Details and Decorations

1. *Building detail and ornamentation should be consistent with and related to the architecture of the surrounding context and district.*
2. *The mass of larger buildings may be reduced using articulated design details.*
3. *Pedestrian scale may be reinforced with details.*

Discussion and Recommendations

The revised plan will include finished interior space above the restaurant on the 2nd and 3rd floor (a condition of the SUP), and a new drop-off and wider sidewalk on 11th Street SW, but landscaping on 11th Street is still minimal. The BAR should determine if any additional information is needed to complete the approval.

The BAR previously had discussion about:

- Pedestrian experience on 11th Street SW;
- The terra cotta color;
- The lack of drop-off space;
- The light transmittance of the glass.

The BAR should note that several of the SUP conditions pertain to the building or site design; see attached SUP conditions, especially # 1-4, and 11-14 noted on the attachment, along with the 12/9/14 West Main elevation drawing that was referenced in the conditions.

Staff requested the following additional information from the applicant; the BAR should determine if the submittal is adequate.

- *Dimensioned* elevation drawings for *all four* elevations with materials called out;
- Wall sections;
- Description of window manufacturer;
- Materials board;
- The glass must be *clear* per the ADC guidelines;
- Lighting and signage may be submitted later.

The Guidelines specify that glass must be clear, but the Guidelines do not specify VLT (visible light transmittance) or VLR (visible light reflectance) values. Staff has requested this information to assist the BAR in making a decision whether the glass can be considered clear.

[For reference, City of Alexandria historic district guidelines specify minimum 72% VLT and VLR of less than 10%.]

There was discussion of the “red” color at City Council. The BAR should look at the actual sample for the *Jupiter* fiber cement board to be sure the color meets the guidelines.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for New Construction, I move to find that the proposed new building satisfies the BAR’s criteria and guidelines, and is compatible with this property and other properties in the West Main Street ADC District, and that the BAR approves the following final details as submitted:

The applicant should return to the BAR for further approval of the following design details:
Signage plan and lighting plan;

....
....



**Board of Architectural Review (BAR)
Certificate of Appropriateness**

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

RECEIVED
OCT 28 2014
NEIGHBORHOOD DEVELOPMENT SERVICES

Please submit ten (10) copies of application form and all attachments.
For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.
The BAR meets the third Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name Carr Hospitality Applicant Name Austin Flajser
Project Name/Description Sycamore House Hotel Parcel Number 10-64 & 10-65
Property Address 1106 & 1108 West Main Street

Applicant Information

Address: 1455 Pennsylvania Ave, Ste 800
Washington, DC 20004
Email: aflajser@carrcc.com
Phone: (W) 202-303-3093 (H) _____
FAX: _____
also send to: acooper@cooper-planning.com

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Austin Flajser 10/24/14
Signature Date

Property Owner Information (if not applicant)

Address: 1108 West Main Street
Email: bartelt.john@gmail.com
Phone: (W) 434-293-8356 (H) _____
FAX: _____

Print Name _____ Date _____

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

John Bartelt 10/27/14
Signature Date
John Bartelt 10/27/14
Print Name Date

Do you intend to apply for Federal or State Tax Credits for this project? No

Description of Proposed Work (attach separate narrative if necessary):
See attached submittal package

List All Attachments (see reverse side for submittal requirements):
Package includes: site location, context photographs, building models, narrative, elevations and material selection.

For Office Use Only
Received by: J. Barrow
Fee paid: \$375⁰⁰ Cash/Ck. # 1137
Date Received: 10/28/2014
PIA-0173
Approved/Disapproved by: _____
Date: _____
Conditions of approval: _____

**RESOLUTION
APPROVING A SPECIAL USE PERMIT
AS REQUESTED BY APPLICATION NO. SP-14-10-10
FOR A HOTEL DEVELOPMENT ON WEST MAIN STREET
PROPOSED BY SYCAMORE HOUSE, INC.**

WHEREAS, Sycamore House, Inc. (“Applicant”) has submitted application SP-14-10-10 (“Application”) seeking approval of a special use permit for property located at the corner of West Main Street and 11th Street, S.W., identified on City Tax Map 28 as Parcels 64 and 65, consisting of approximately 0.458 acre (“Subject Property”); and,

WHEREAS, the special use permit application seeks approval of the following for a proposed hotel development: (i) additional height, up to 101 feet, per City Code §34-637(2); and (ii) pursuant to §34-162(a), modification of minimum setback and stepback requirements set forth within §34-638, as applicable to the Subject Property’s frontage along 11th Street, S.W.; and

WHEREAS, the Subject Property is zoned “WMS” (West Main South Corridor District), subject to the requirements of the City’s Parking Modified Zone, per § 34-971(e)(3), and of the West Main Street architectural design control (ADC) overlay district; and the City’s Board of Architectural Review has previously been given an opportunity to make findings and recommendations on whether the proposed hotel development, with the requested height and streetwall modifications, would have an adverse impact on the ADC district, as required by City Code §34-157(a)(7); and

WHEREAS, at the Planning Commission’s December 9, 2014 meeting, the Applicant notified the Commission that it was withdrawing its request for elimination of the stepback required by City Code 34-638(a)(1) along the Subject Property’s 11th St., S.W. frontage, except for a proposed Tower Feature, and the Applicant provided elevations, labeled “12/9/2014 11th Street Elevation,” illustrating the proposed hotel development with the applicable 5-foot stepback at the top of the streetwall along 11th St., S.W. (excluding the Tower Feature); and

WHEREAS, following a joint public hearing before this Planning Commission and City Council, duly advertised and held on December 9, 2014, the Planning Commission reviewed this application and determined that the proposed special use permit, under suitable regulations and safeguards set forth within a list of recommended conditions, will serve the interests of the public necessity, convenience, general welfare or good zoning practice, and will conform to the criteria generally applicable to special permits as set forth within §§ 34-156 et seq. of the City Code, and the Planning Commission has transmitted its recommendation to City Council; and

WHEREAS, this Council finds and determines that, under suitable regulations and safeguards, the proposed special use permit will serve the interests of the public necessity, convenience, general welfare or good zoning practice, and will conform to the criteria generally applicable to special permits as set forth within §§ 34-156 et seq. of the City Code. **NOW, THEREFORE,**

BE IT RESOLVED by the City Council of the City of Charlottesville, that a special use permit is hereby approved, to authorize a modification of the general height and streetwall regulations of the zoning ordinance for the hotel development described within the Application, as follows: (i) maximum building height of 101 feet; (ii) a six (6) foot minimum setback along the Subject Property’s 11th Street frontage; and (iii) elimination of the 5-foot stepback required by City Code 34-638(a)(1), only for the proposed Tower Feature.

AND BE IT FURTHER RESOLVED that this special use permit is granted subject to the following conditions:

- 1. Subject to approval by the City traffic engineer, the developer shall construct an 8 foot wide sidewalk on the Subject Property's 11th St., S.W. frontage.
- 2. There will be no pull-off on or along West Main Street for vehicles picking up or dropping off patrons of the building. The Subject Property's frontage on West Main Street will be developed in a manner consistent with the City's approved West Main Streetscape Plan in effect at the time of site plan approval.
- 3. The design, height, and other characteristics of the Development shall remain essentially the same, in all material aspects, as described within the documents dated October 21, 2014 submitted to the City for and in connection with SP-14-10-10 ("Application"), as supplemented by additional drawings, elevations and other written materials presented to the Planning Commission at its meeting on December 9, 2014 ("12/9/14 Supplemental Materials") (collectively, the "Application Materials"). Except as the design details of the Development may subsequently be modified to comply with requirements of a certificate of appropriateness issued by the City's BAR, or by any other provision(s) of these SUP Conditions, any substantial change of the development that is inconsistent with the information or representations contained within any of the Application Materials shall require a modification of this SUP.
- 4. Among the 12/9/14 Supplemental Materials is a building elevation ("12/9/14 West Main Elevation") depicting the West Main Street frontage of the development. The proposed development shall adhere to the details depicted on the 12/9/14 West Main Elevation, including, without limitation:
 - a. Space located on the building's second and third floors (located over the area designated within the Application Materials as being planned for a ground-floor restaurant) shall be finished interior space.
 - b. Plantings shall be provided along West Main Street, in the depicted locations.
5. Prior to commencement of any land disturbing activity on the Subject Property, the developer shall hold a meeting with notice and invitation sent to all adjoining property owners, and to representatives of the University of Virginia, for the purpose of reviewing the proposed location(s) of construction worker parking; the plan for temporary pedestrian and vehicular circulation during construction; and the hours and overall schedule for construction activities. The city's director of neighborhood development services shall be provided with evidence that such meeting was held, and of the required notices, prior to the issuance of any building permit for the development.
6. The developer shall submit a Traffic Control Plan as part of its proposed final site plan, detailing measures proposed for the control of traffic movement, lane closures, construction entrances, haul routes, idling of construction vehicles and equipment, and the moving, storage and staging of excavated and fill materials and building materials to and from the development site during construction. Such plan shall specifically indicate whether any such activities are planned and requested to take place within public rights-of-way adjacent to the site. Following final site plan approval, this Traffic Control Plan may be amended, as necessary, with the approval of the City Engineer and director of neighborhood development services, and the currently-approved Traffic Plan shall be attached to any application for a building permit and to other development permit applications.
7. The developer shall provide the city's director of neighborhood development services, adjoining property owners and the University of Virginia with written notice of an individual who will serve as a liaison to the community throughout the duration of construction of the development. The name and telephone number, including an emergency contact number, of this liaison shall be provided. In the event the identify and/ or contact information of the designated liaison changes prior to completion of construction,

the developer shall provide updated information to the director, adjacent property owners, and the University of Virginia.

8. If the City's existing public infrastructure (public streets, sidewalks, curb, gutters, utilities, etc.) is damaged during construction of the development, then the Property owner shall be responsible for repair and/or reconstruction of the same in accordance with applicable City standards.
9. The developer shall submit a foundation inspection, prior to commencement of construction of the first floor above-grade framing for the building(s). The foundation inspection shall include (i) the building footprint, as depicted within the approved final site plan, (ii) the top-of-slab elevation, and (iii) the first floor elevation. The foundation inspection shall be prepared and sealed by a registered engineer or surveyor, and shall be approved by the zoning administrator prior to the commencement of construction of the first-floor above-grade framing.
10. Any structural elements that are proposed to extend into the public right-of-way, including, but not necessarily limited to, footings, foundations, tie-backs, etc., must be shown on the proposed final site plan and the property owner shall be required to enter into a written encroachment easement, in a form approved by the City Attorney, suitable for recording in the City's land records. A copy of the recorded instrument shall be submitted to the City along with the first request for a building permit for the development.
- 11. The development shall include one or more off-street loading docks/ areas. To the maximum extent feasible, all loading shall occur off-street, within such docks/ areas. Loading schedules shall be established and coordinated to facilitate off-street loading and to minimize idling by loading and unloading of vehicles and by other vehicles traveling in adjacent rights-of-way.
- 12. There shall be at least two pedestrian entrances to the building on the West Main frontage, and at least one pedestrian entrance to the building on 11th Street SW.
- 13. The Subject Property's frontage along 11th Street SW shall be landscaped, and the landscape treatment shall provide pedestrian and landscape amenities consistent with the City's approved West Main Streetscape Plan in effect at the time of site plan approval, subject to approval by the City Arborist. This landscape treatment, approved by the City Arborist, shall be included as part of the final site plan for the development.
- 14. There shall be a dedicated pedestrian entrance/exit from the parking garage.

12/9/14 West Main Elevation

A structure representing the youthful and dynamic citizens of Charlottesville, while respecting and recognizing its context. An activity node in the new streetscape.





SYCAMORE HOUSE HOTEL

BAR SUBMISSION 02.17.15



BBGM



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Architectural Statement

The Sycamore House Hotel is a 150 room hotel to be located on West Main Street. The design approach to this project is to design a structure that represents the youthful and dynamic inhabitants of Charlottesville but that also respects and blends with the scale and materials of the existing context.

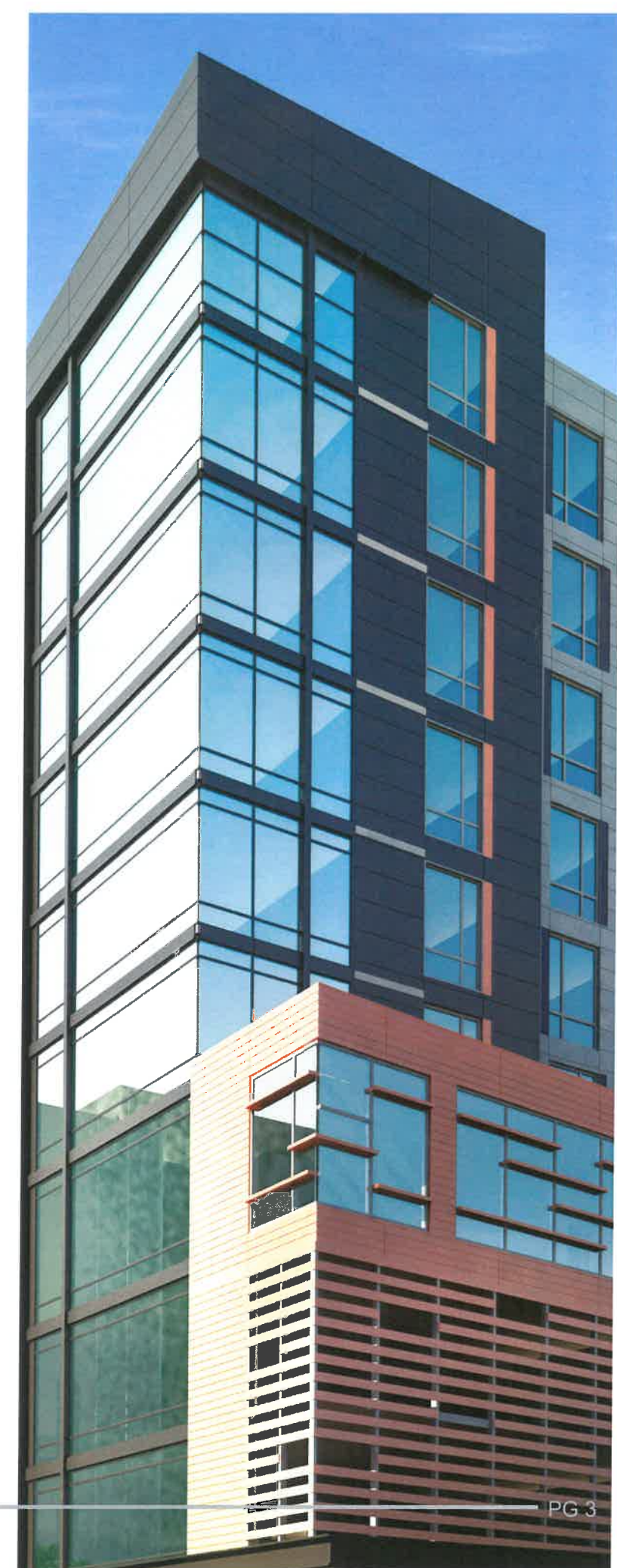
The design attempts to reduce the mass of its ten story tall structure by dividing it into smaller parts relating to adjacent existing buildings. The project is divided into three main elements, a podium, West Main Street façade, and “The Tower” at the corner of 11th and West Main Street.

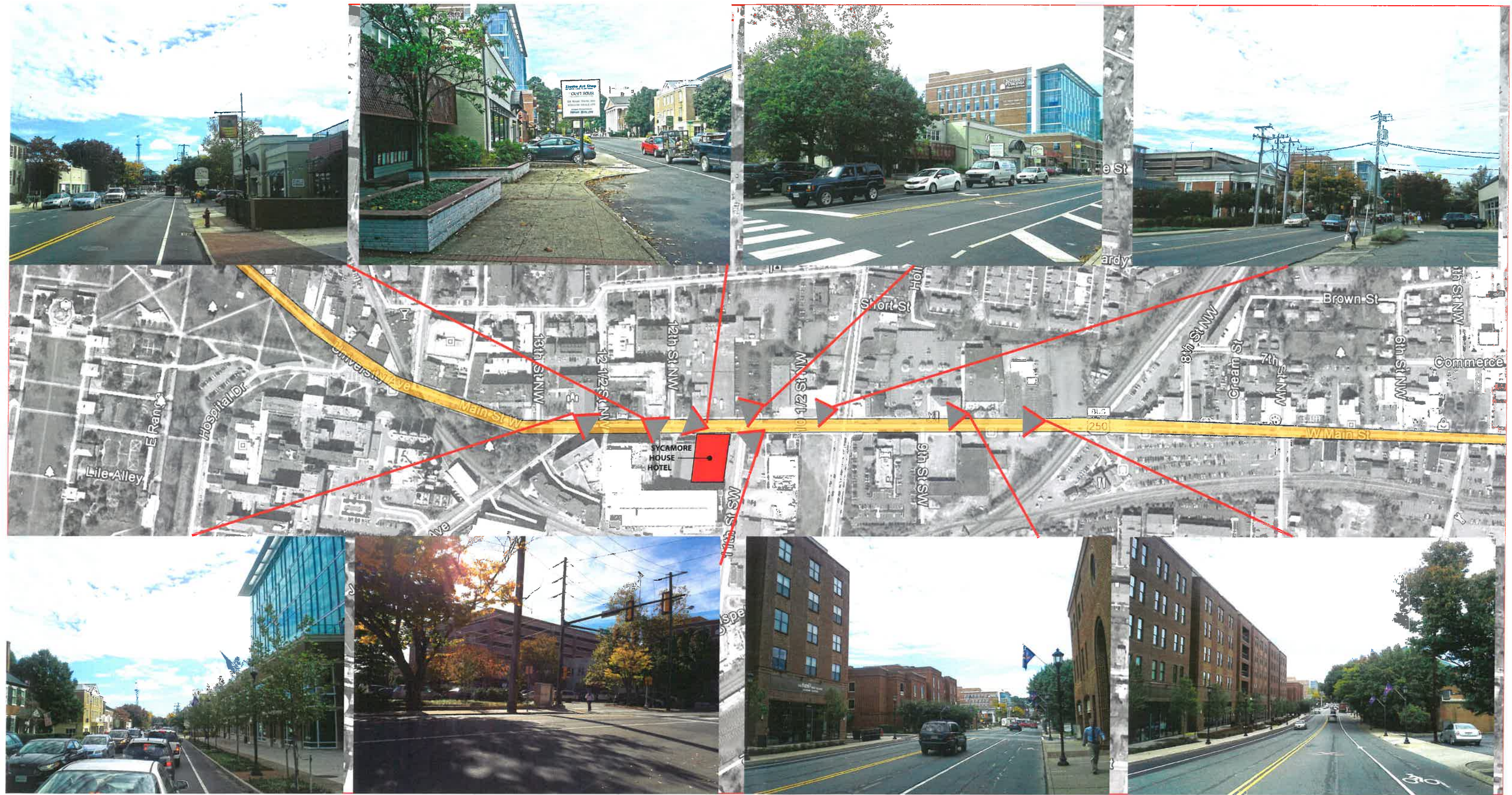
The first main element is a 46 ft. podium that houses the hotel lobby, retail space, two levels of parking and meeting spaces on the 4th floor. The podium height and color relates to the materials and color of the site’s neighboring buildings. The podium uses a contemporary material of GFRC (Glass Fiber Reinforced Concrete) which is a similar texture and color of the traditional brick used in the majority of the existing buildings. The GFRC panels create a screen of the parked cars and utilizes a pattern of openings which mimics the retail and meeting room levels thus disguising the fact that it is a parking garage. The top of this 46ft podium houses the meeting rooms. At West Main Street, the podium is split in two parts to define the retail and lobby entrances, and to help break the scale at ground level.

At West Main Street, above the 46ft podium and stepping back 15ft is the second main element, which is broken down into 4 parts that respond to the verticality and proportions of the structures on West Main Street. The change of material visually detaches this element from the podium thus helping develop the level of visual impact on West Main Street.

The split at the base podium gives way to defining the corner tower element of the project. Within this gap is a wall of glass that extends up the height of the building. This creates the hierarchy of architectural language that helps define the main entry while at the same time pulls together the different parts of the façade. A dynamic relationship of forms is created with a purpose.

Contemporary materials, technology, and architectural gestures, together with traditional proportions, textures and colors give way to the Sycamore House Hotel, the new and vibrant Host of Charlottesville.





SITE PICTURES

SYCAMORE HOUSE HOTEL

BAR MEETING

02.17.15

1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

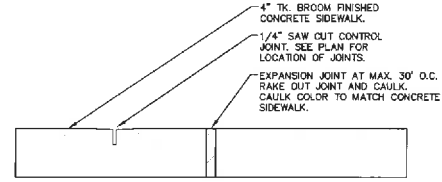


SIDEWALK PAVER NOTES

SYMBOL	MATERIAL	SIZE	COLOR / TYPE	MANUFACTURER	PATTERN
P1	CONCRETE	4" T	MATCH CITY STANDARD		BROOM FINISH
P2	PLANTER				
P3	3/8" EXPANSION JOINT (E.J.), TYP. CONTINUOUS ALONG FACE OF BUILDING WALL, PLANTER WALL, BACK OF CURB, TYPICAL. SEE DETAIL THIS SHEET.				
P4	1/4" SAW CUT CONTROL JOINT (C.J.), SEE DETAIL THIS SHEET				
P5	PEDESTRIAN LIGHT AND POLE TO MATCH CITY STANDARD.				
P6	TREE GRATE				
P7	4" CONC. WALK OVER FOUR FEET (4') DEEP STRUCTURAL "DU" SOIL SEE DETAILS SHEET CP-501				
P8	BIKE RACK - MODEL EC2-07; ECHO, SERPENTINE STYLE BIKE RACK - SEVEN SPACE RACK, EMBEDDED MOUNT OR AS REQUIRED BY THE CITY OF CHARLOTTESVILLE.				

NOTES:

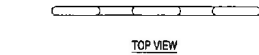
- PAVING MATERIALS SHALL BE SIMILAR IN COLOR TO EXISTING CONCRETE PAVING MATERIALS USED ELSEWHERE FOR STREETScape AND SHALL BE APPROVED BY THE CITY AND OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY ALL LAYOUT DIMENSIONS, PAVEMENT JOINT PATTERNS AND CUTS PRIOR TO INSTALLATION AND SHALL NOTIFY THE ENGINEER OF RECORD IN WRITING OF ANY DISCREPANCIES FROM CONTRACT DOCUMENTS.
- SCORE ALL CONCRETE SIDEWALKS AND DRIVEWAYS AS SHOWN. ALL CONTROL JOINTS SHALL BE SAW CUT.
- PROVIDE EXPANSION JOINTS WHERE CONCRETE SIDEWALK ABUTS FACE OF BUILDING, BACK OF CURB AND AS INDICATED.
- CONTRACTOR SHALL PROVIDE ELECTRICAL HAND HOLES AS REQUIRED AND SHALL COORDINATE HAND HOLE LOCATIONS WITH ELECTRICAL / LIGHTING ENGINEER.
- REFER TO SHEETS CS-100 FOR TYPE AND DETAIL OF STREET SIGNAGE, PAVEMENT MARKINGS, ETC.
- ALL EXISTING ITEMS TO BE MOVED AND RELOCATED SHALL BE REINSTALLED TO MEET OR EXCEED THE SPECIFICATIONS OF THE CITY OF CHARLOTTESVILLE.
- ITEMS THAT ARE DAMAGED DURING RELOCATION AND OR STORAGE PROCEDURES SHALL BE REPLACED WITH NEW ITEMS MATCHING THE ORIGINAL MAKE, MODEL, COLOR AND MANUFACTURER OF THE ORIGINAL ITEM BEING REPLACED.
- PAVING WORK WILL BE PLUMB AND TRUE TO LINE AND GRADE AND SHALL BE INSTALLED TO PROPERLY COINCIDE WITH ADJACENT WORK AND ELEVATIONS. THE CUTTING OF THE PAVEMENT SHALL BE CLEAN WITH NO APPARENT SPALLS OR BREAKS.
- CONSTRUCTION JOINTS IN THE HYDRAULIC CEMENT CONCRETE SHALL BE FORMED AROUND ALL APERTURES SUCH AS MANHOLES AND WATER METERS THAT EXTEND INTO OR THROUGH THE SIDEWALK. THESE JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALED WITH SILICONE JOINT SEALANT TO MATCH THE COLOR OF THE SIDEWALK.
- THE PATTERN FOR THE PAVING MATERIALS AND JOINTS IS SHOWN ON THE PLANS AND SHALL BE APPROVED BY THE OWNER AND CITY OF CHARLOTTESVILLE PRIOR TO INSTALLATION.



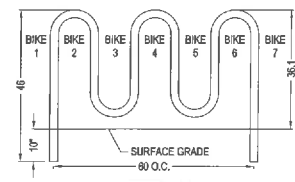
COMPACT GRANULAR SUBGRADE OR STRUCTURAL "DU" SOIL. SEE SHEET CP-501



ISOMETRIC VIEW



TOP VIEW



FRONT VIEW

RIGHT SIDE VIEW

NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES AND ARE FOR INFORMATION PURPOSES ONLY. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 4290-128.

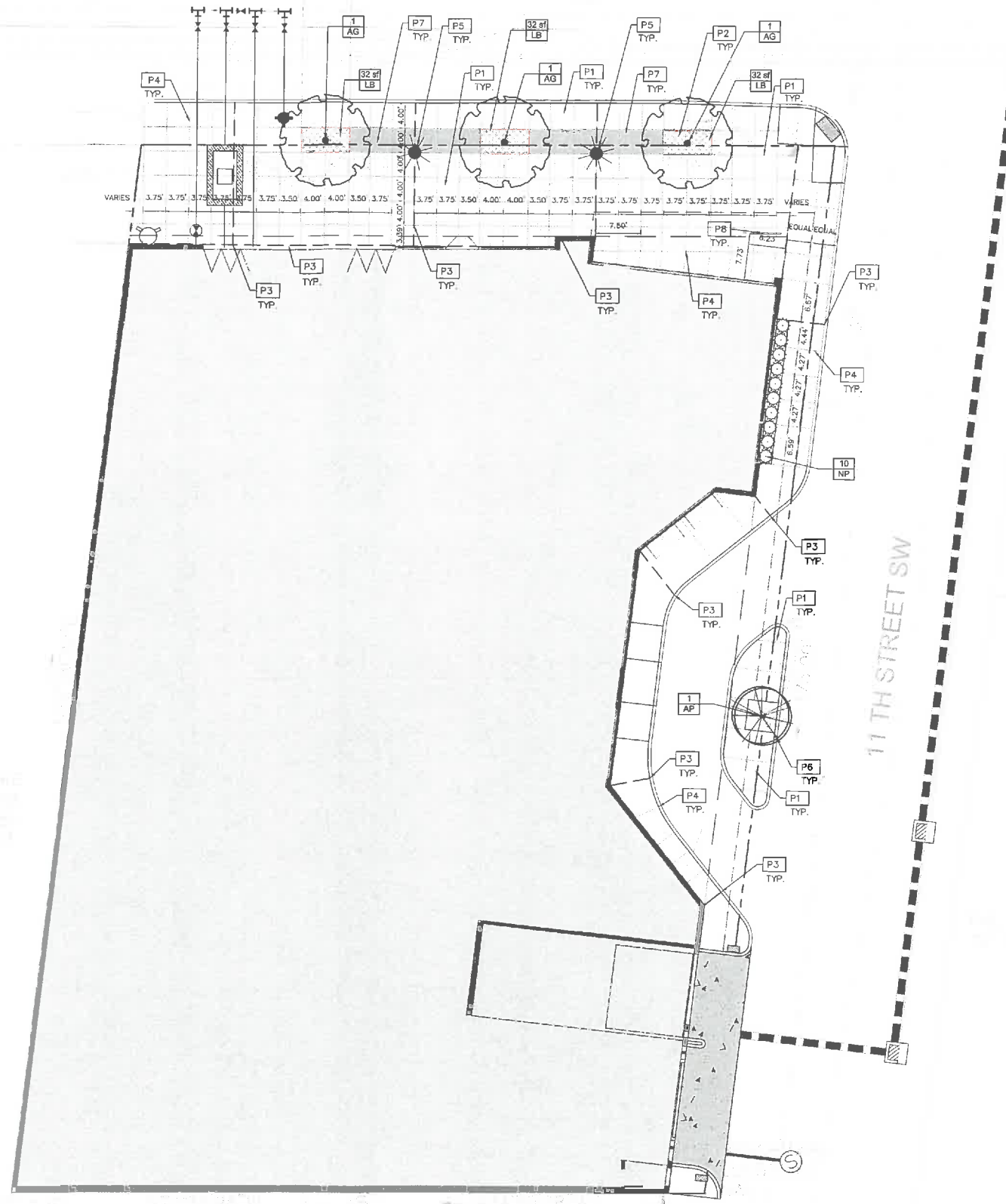
ECHO

MODEL EC2-07-EM; ECHO, SERPENTINE STYLE BIKE RACK - SEVEN SPACE RACK, EMBEDDED MOUNT

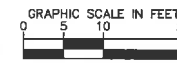
TREE CANOPY CALCULATIONS

SITE AREA		19989 SF
BUILDING AREA		18987.8 SF
DRIVEWAY AREA		346.863 SF
NET CALCULATION AREA		2654.57 SF
PERCENT TREE CANOPY REQUIRED =	10 percent	
TOTAL CANOPY REQUIRED		265 SF
TREE CANOPY PROVIDED		
3 RED MAPLES AT 2" CAL. = 397 SF EACH	3	1,191 SF

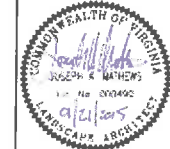
WEST MAIN STREET



HARDSCAPE PLAN



Kimley»Horn
 1500 FOREST AVENUE, SUITE 115, RICHMOND, VA 23229
 PHONE: 804-673-3882 FAX: 804-673-3880
 WWW.KIMLEY-HORN.COM



KHA PROJECT: 113190000
 DATE: 01/21/15
 SCALE: AS SHOWN
 DESIGNED BY: RFP
 DRAWN BY: KHA
 CHECKED BY: RFP

**SYCAMORE HOUSE
 PREPARED FOR
 CARR CITY CENTERS**

**STREETSCAPE
 PLAN**

SHEET NUMBER
CH-101





GENERAL LANDSCAPE NOTES

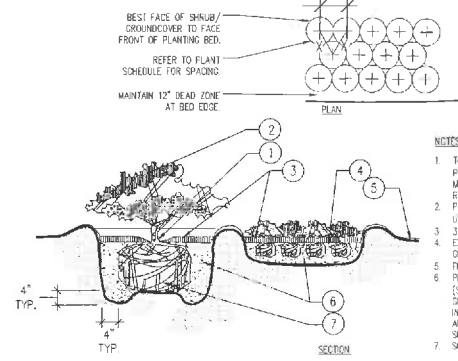
- CONTRACTOR SHALL REVIEW ALL DRAWINGS, SPECIFICATIONS, PERMITS, AND REGULATORY REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS PROVIDED BY OTHERS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" OF VIRGINIA @ 1-800-652-7001 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- FINAL LOCATION OF ALL PLANTINGS SHALL BE DETERMINED IN THE FIELD BY THE OWNERS CHOSEN REPRESENTATIVE.
- SUBSTITUTIONS AND/OR MODIFICATIONS TO PLANTING LAYOUT, PLANT MATERIALS, ETC. SHALL NOT BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS AS SHOWN IN THE DETAILS, AND AS INDICATED IN THE LANDSCAPE SPECIFICATIONS.
- THE PLANTING OF TREES SHALL BE DONE IN ACCORDANCE WITH THE STANDARDIZED LANDSCAPE SPECIFICATIONS JOINTLY ADOPTED BY THE VIRGINIA NURSERYMENS ASSOCIATION, THE VIRGINIA SOCIETY OF LANDSCAPE DESIGNERS AND THE VIRGINIA CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST ADDITION OF ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE OF ANY DEFORMITIES, DISEASES, OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR DISFIGURED, CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, INSECT DAMAGE, ETC., ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- TREES NOT EXHIBITING A CENTRAL LEADER WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT LIST AS MULTI-STEM.
- PLANTING BEDS SHALL RECEIVE 3" OF DARK, SHREDDED HARDWOOD MULCH THROUGHOUT. ORANGE AND/OR RED MULCH IS NOT ACCEPTABLE.
- PLANT MATERIALS SHOWN ON PLANS ARE A GRAPHIC REPRESENTATION ONLY. CONTRACTOR SHALL PERFORM ALL LANDSCAPE INSTALLATION ON THE SUBJECT PROPERTY, AND NOT ON ADJACENT PROPERTIES, UNLESS OTHERWISE DIRECTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. ROOTBALLS OF SHRUBS AND TREES SHALL BE PLANTED, IN THEIR ENTIRETY, WITHIN THE BOUNDARIES OF THE SUBJECT PROPERTY.
- QUANTITY TAKE-OFFS INDICATED ON THE PLANTING SCHEDULE ARE FOR CONVENIENCE ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE SCHEDULE, THE GRAPHIC REPRESENTATION IN THE PLANS SHALL DICTATE.

STANDARD LANDSCAPING SPECIFICATIONS

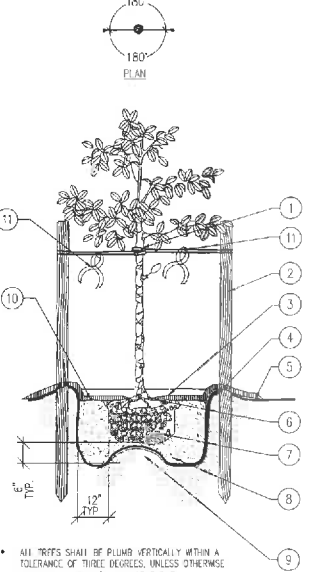
- ALL TOPSOIL SHALL BE A MINIMUM OF 8" IN TREE, SHRUB AND GROUND COVER BEDS.
- ALL LANDSCAPE AND GRASS AREAS ARE TO BE HAND RAKED AND LEFT CLEAR OF ALL STONES, ROCK CONSTRUCTION DEBRIS AND ANY UNSUITABLE MATERIALS.
- LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
- ALL AREAS TO BE LANDSCAPED OR COVERED WITH MULCH MUST BE TREATED WITH A PRE-EMERGENCE HERBICIDE (SURFLAN, DACTAL OR APPROVED EQUAL) IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE REGULATIONS AND THE MANUFACTURERS INSTRUCTIONS.
- ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY. THEY ARE TO HAVE NORMAL, VIGOROUS ROOT SYSTEMS, FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1.
- ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE "AMERICAN ASSOCIATION OF NURSERYMEN" AND STATE NURSERY/LANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUYING.
- ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMB AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR MATCHES, OR IS NO MORE THAN TWO (2") INCHES ABOVE, FINISHED GRADE. REPLACE AMENDED BACKFILL IN 6-INCH LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR-INCH HIGH EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING PIT. CONTRACTOR SHALL WATER NEWLY PLANTED VEGETATION PRIOR TO MULCHING PLANTING PIT. ALL VOIDS SHALL BE FILLED AND SETTLED MITIGATED AS REQUIRED. ALUMINUM EDGING SHALL BE INSTALLED AROUND ALL PLANTING AREAS TO DELINEATE BETWEEN DIFFERENT LANDSCAPE MATERIALS.
- AFTER INITIAL WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENT HERBICIDES AS REQUIRED TO ELIMINATE ANY WEED SEEDS OR PLANTS PRESENT ON ROOT BALL.
- ALL PLANTING BEDS AND PITS SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH AT A MINIMUM DEPTH OF 3".
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGH LOSS OF BRANCHES AND/OR FOLIAGE. LAWNS THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETENESS.

PLANT SCHEDULE

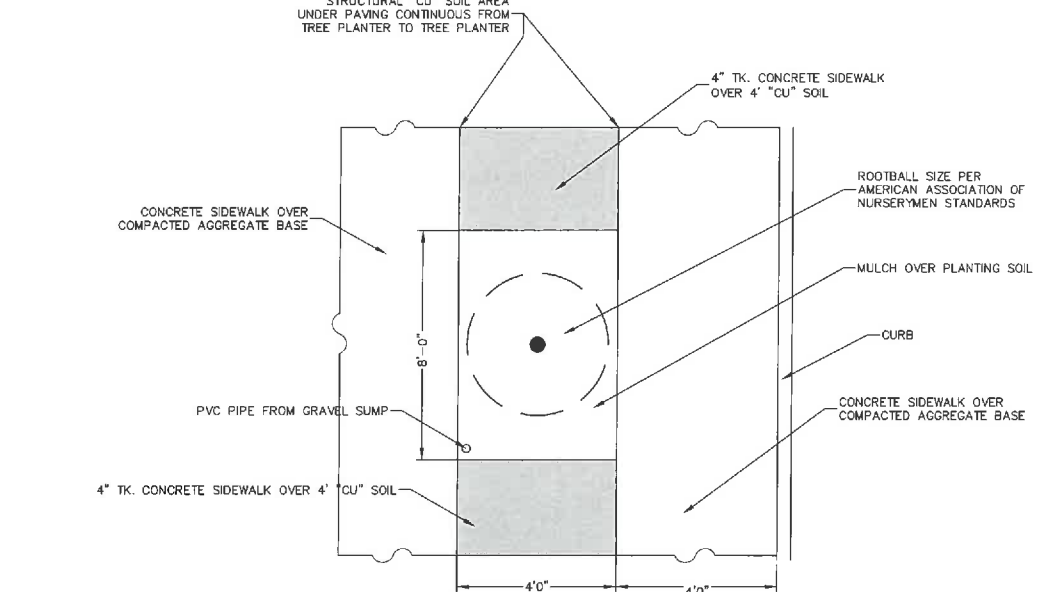
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS	
	AP	1	ACER PALMATUM	JAPANESE MAPLE	B&B OR CONT.		4'-6" HT. MIN.		
	AG	3	ACER RUBRUM 'OCTOBER GLORY'™	OCTOBER GLORY MAPLE	B & B	3.5" CAL	10' HT. MIN.	LIMBED TO 6' H	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS	
	NP	10	NANDINA DOMESTICA 'FIRE POWER'	FIREPOWER NANDINA	CONT.		12"-15" SP.		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	FIELD3	SPACING	REMARKS
	LB	95 SF	LIRIODE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	6" POT				SPACE AT 18" C



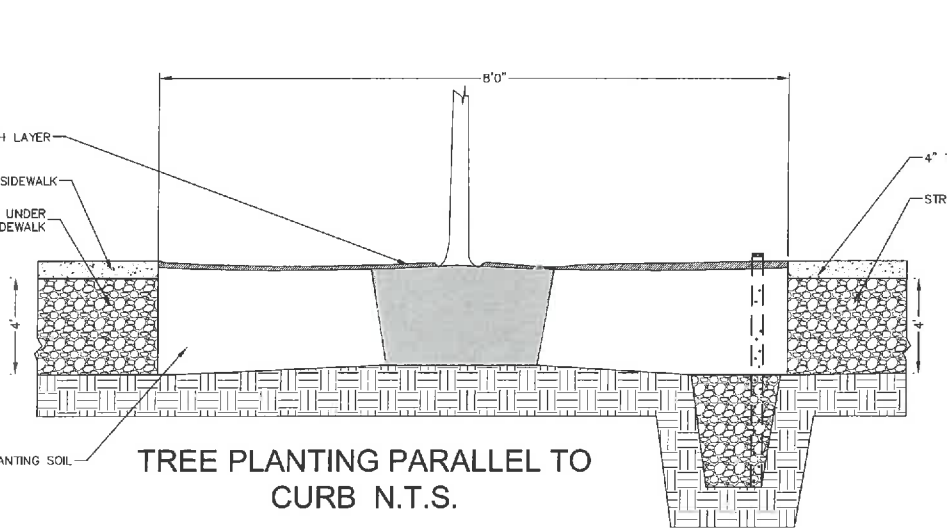
Shrub/Groundcover Planting
PLAN/SECTION



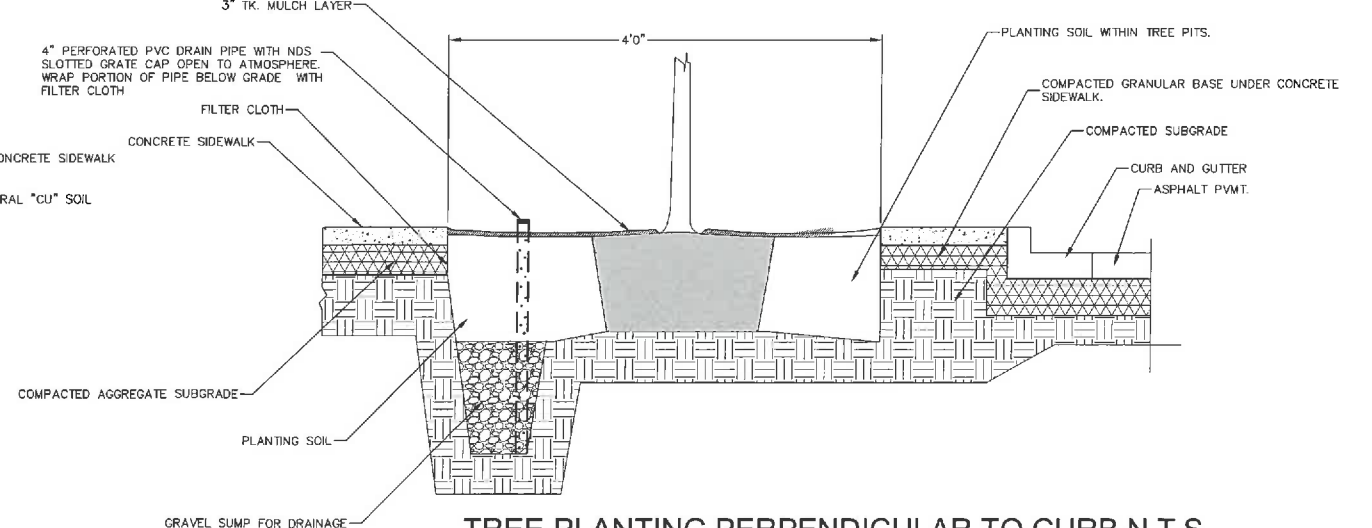
Small Tree Planting
SECTION (TREES UNDER 3" CAL OR 14" IN HEIGHT)



TREE PLANTING PLAN DIAGRAM FOR MIDDLE TREE PLANTER N.T.S.



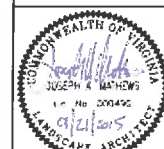
TREE PLANTING PARALLEL TO CURB N.T.S.



TREE PLANTING PERPENDICULAR TO CURB N.T.S.

NO.	REVISIONS	DATE	BY

Kimley»Horn
1500 FOREST AVENUE, SUITE 115, RICHMOND, VA 23229
PHONE: 804-673-2882 FAX: 804-673-3840
WWW.KIMLEY-HORN.COM



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
112196000	01/21/15	AS SHOWN	RRF	RFA	RRF

SYCAMORE HOUSE PREPARED FOR CARR CITY CENTERS
CITY OF CHARLOTTESVILLE

PLANTING NOTES AND DETAILS

SHEET NUMBER
CH-501



PERSPECTIVE 1

SYCAMORE HOUSE HOTEL

BAR MEETING

02.17.15

1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006





111' - 4"

6' - 0"

29' - 7"

10' - 4"

9' - 4"

9' - 4"

9' - 4"

9' - 4"

9' - 4"

11' - 0"

10' - 0"

9' - 0"

14' - 0"

58' - 0"

45' - 0"

HOTEL

INSULATED CLADDING SYSTEM
 COLOR
 CAMBRIDGE WHITE



FIBER CEMENT BOARD
 COLOR
 FLINT



GLASS
 VISION GLASS
 NEUTRAL 50 ON CLEAR



GLASS
 VISION GLASS
 NEUTRAL 61 ON CLEAR



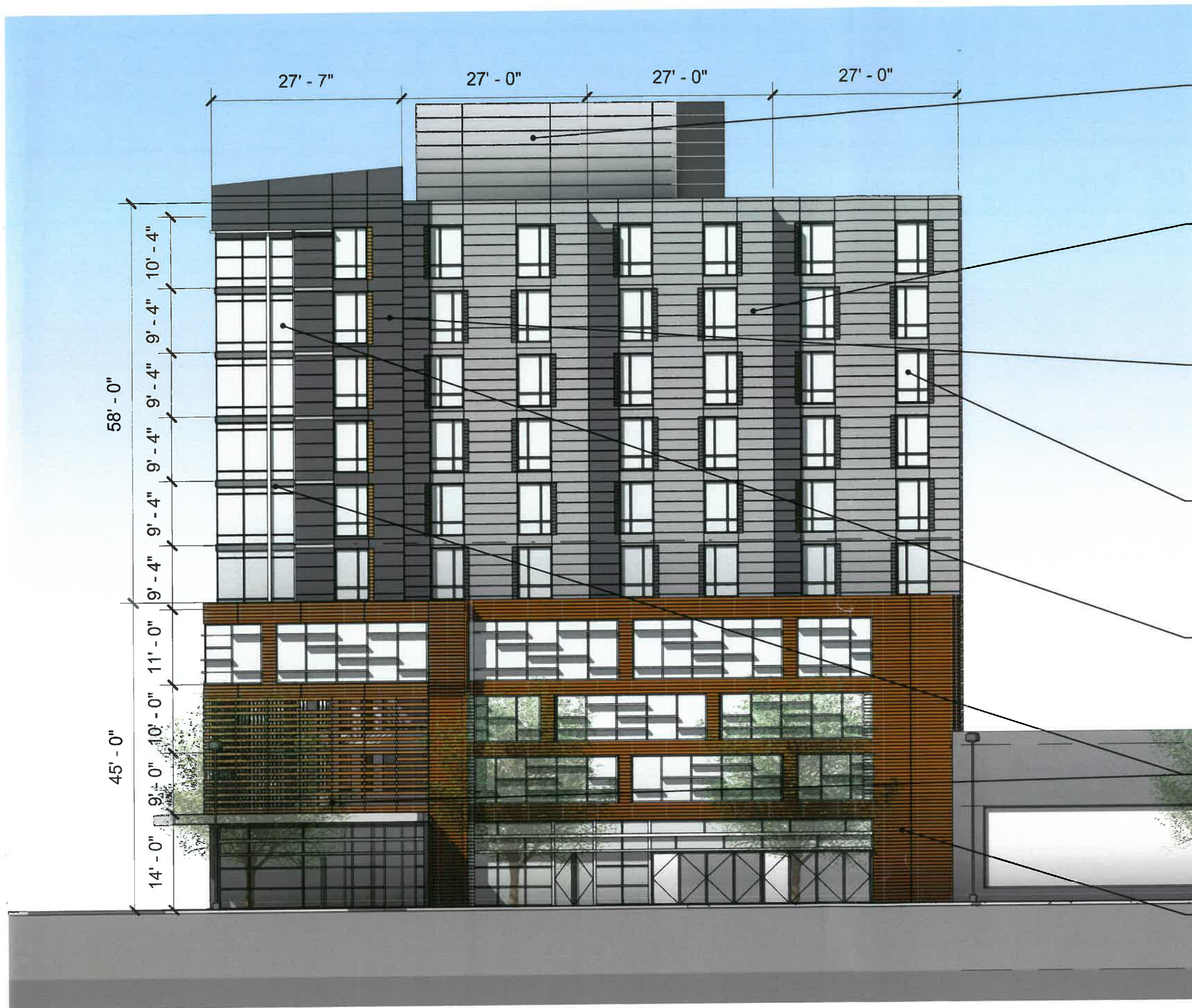
METAL
 COLOR
 MEDIUM GRAY



FIBER CEMENT BOARD
 COLOR
 JUPITER



PANEL SYSTEM
 COLOR
 MEDIUM GRAY



27' - 7"

27' - 0"

27' - 0"

27' - 0"

58' - 0"

10' - 4"

9' - 4"

9' - 4"

9' - 4"

9' - 4"

9' - 4"

9' - 4"

9' - 4"

9' - 4"

11' - 0"

10' - 0"

10' - 0"

45' - 0"

14' - 0"

INSULATED CLADDING SYSTEM
 COLOR
 CAMBRIDGE WHITE

FIBER CEMENT BOARD
 COLORS
 MERCURY / GRANITE

FIBER CEMENT BOARD
 COLOR
 FLINT

GLASS
 VISION GLASS
 NEUTRAL 50 ON CLEAR

GLASS
 VISION GLASS
 NEUTRAL 61 ON CLEAR

METAL
 COLOR
 MEDIUM GRAY

FIBER CEMENT BOARD
 COLOR
 JUPITER

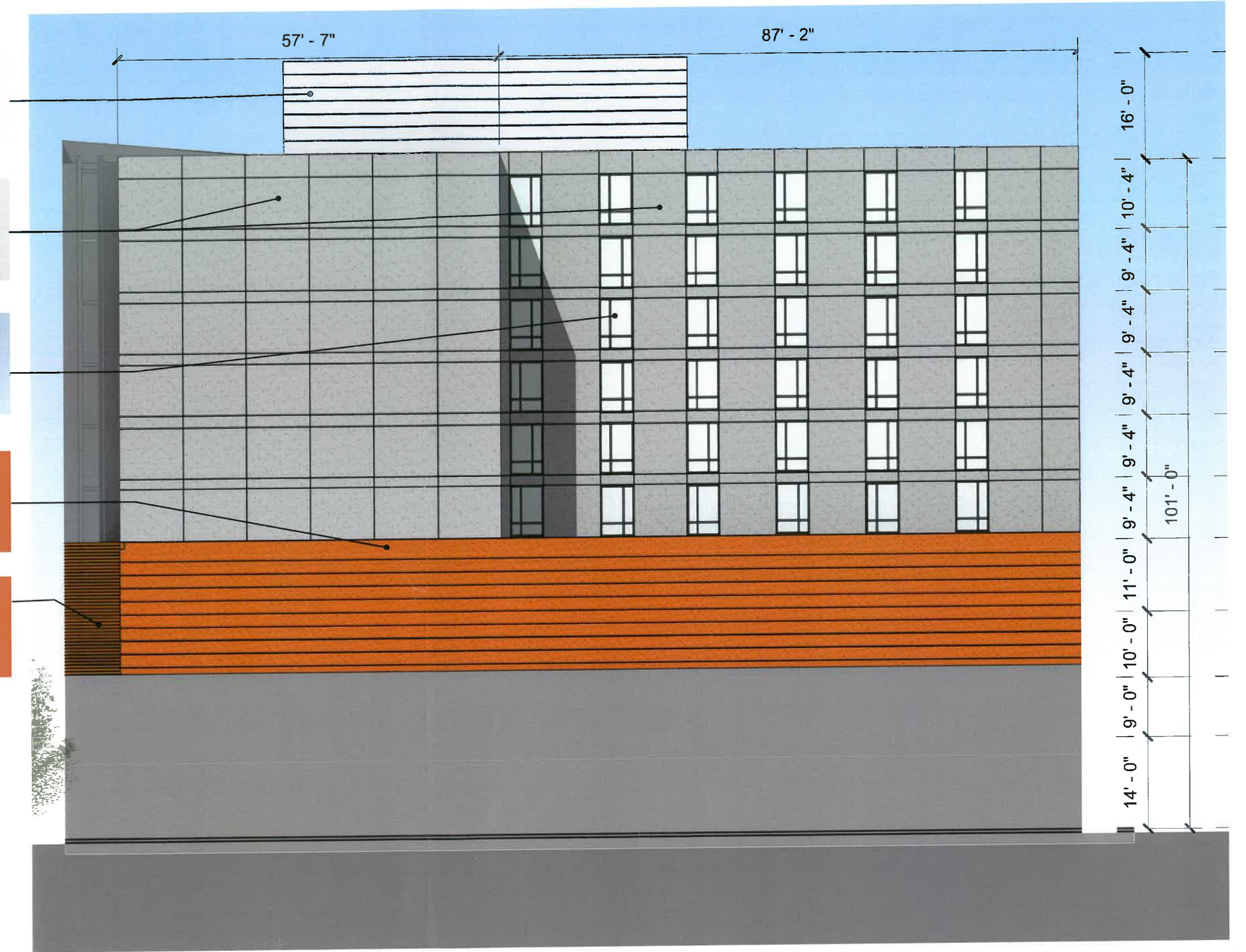
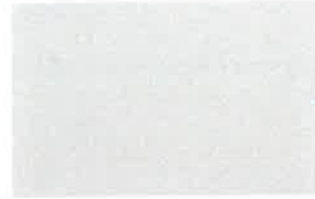
INSULATED CLADDING SYSTEM
COLOR
CAMBRIDGE WHITE

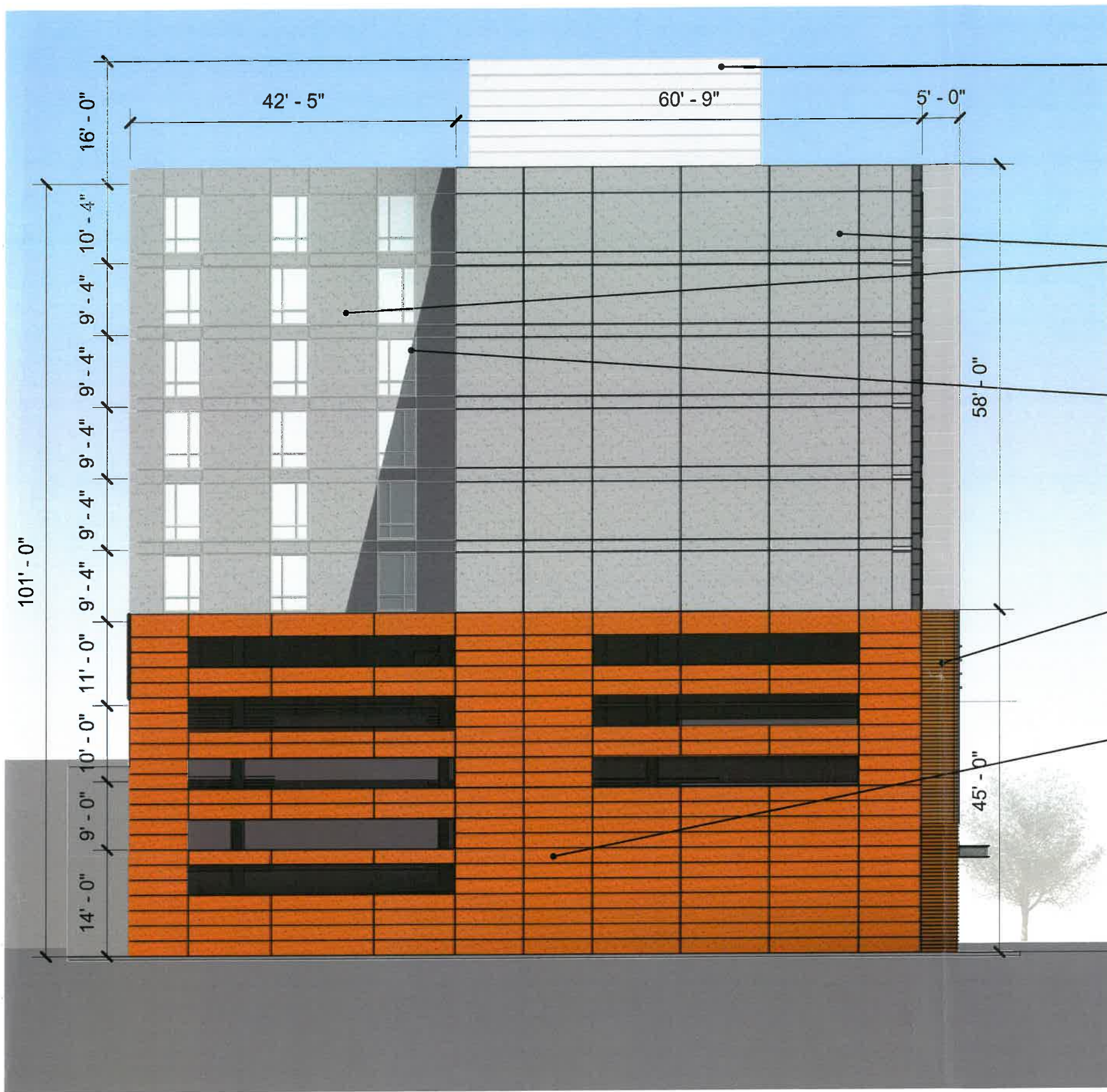
CEMENTITIOUS MATERIAL
COLOR
TO MATCH MERCURY

GLASS
VISION GLASS
NEUTRAL 61 ON CLEAR

CEMENTITIOUS MATERIAL
COLOR
TO MATCH MERCURY

FIBER CEMENT BOARD
COLOR
JUPITER

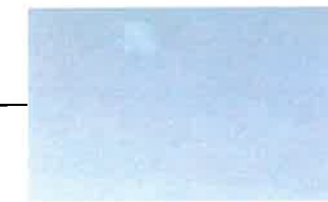




INSULATED CLADDING SYSTEM
 COLOR
 CAMBRIDGE WHITE



CEMENTITIOUS MATERIAL
 COLOR
 TO MATCH MERCURY



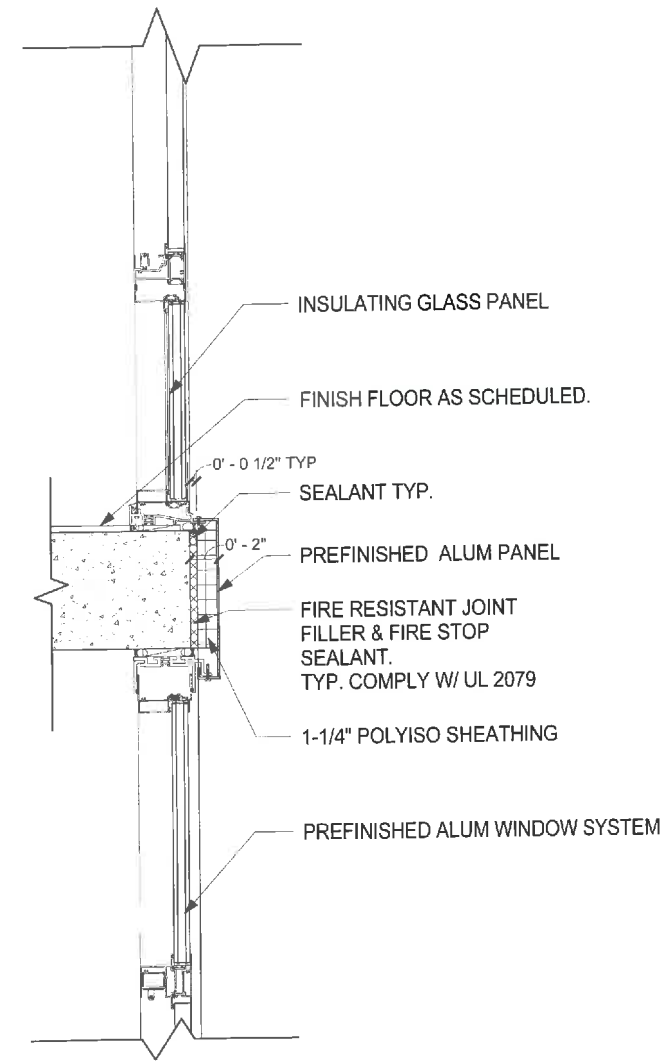
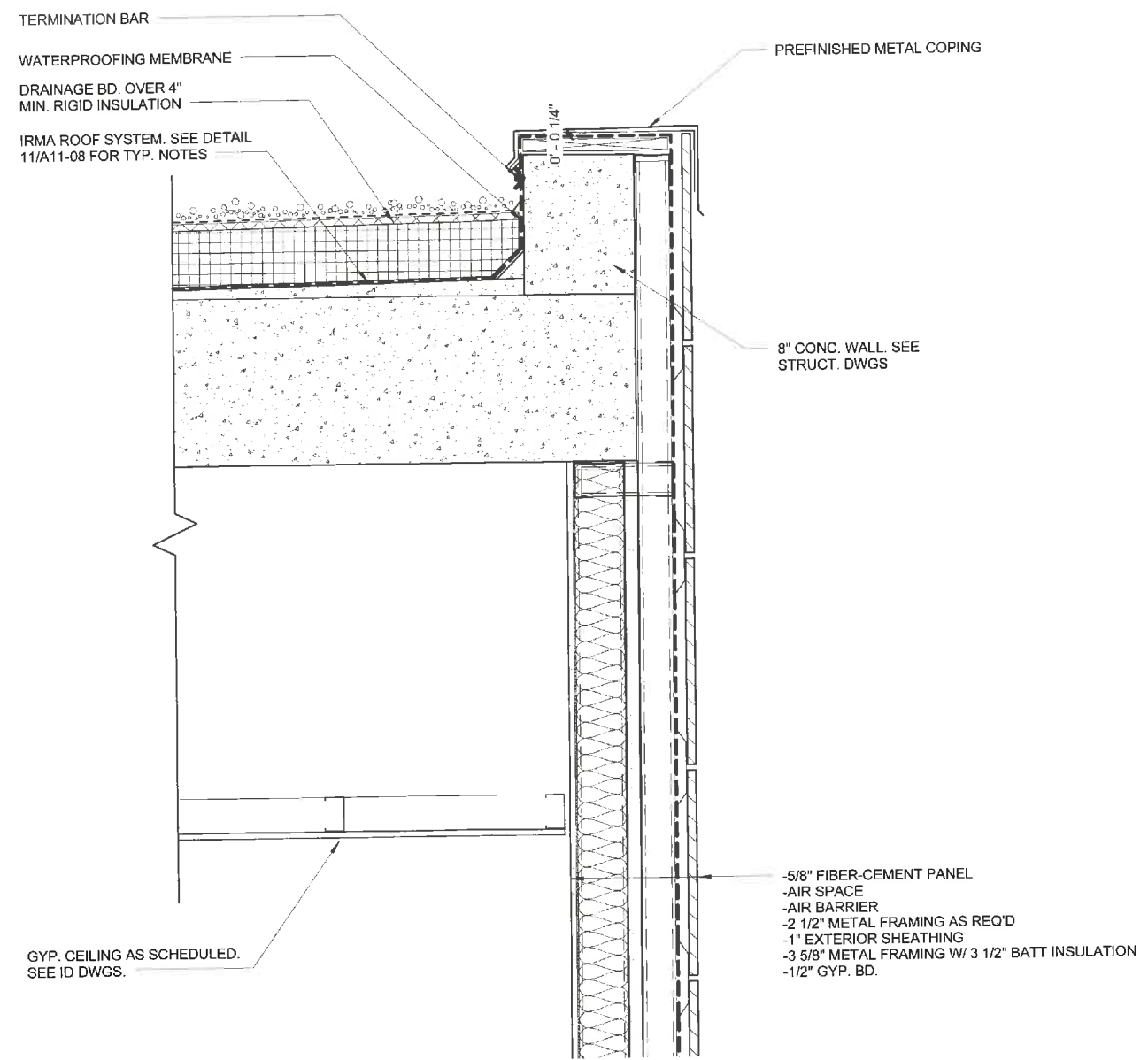
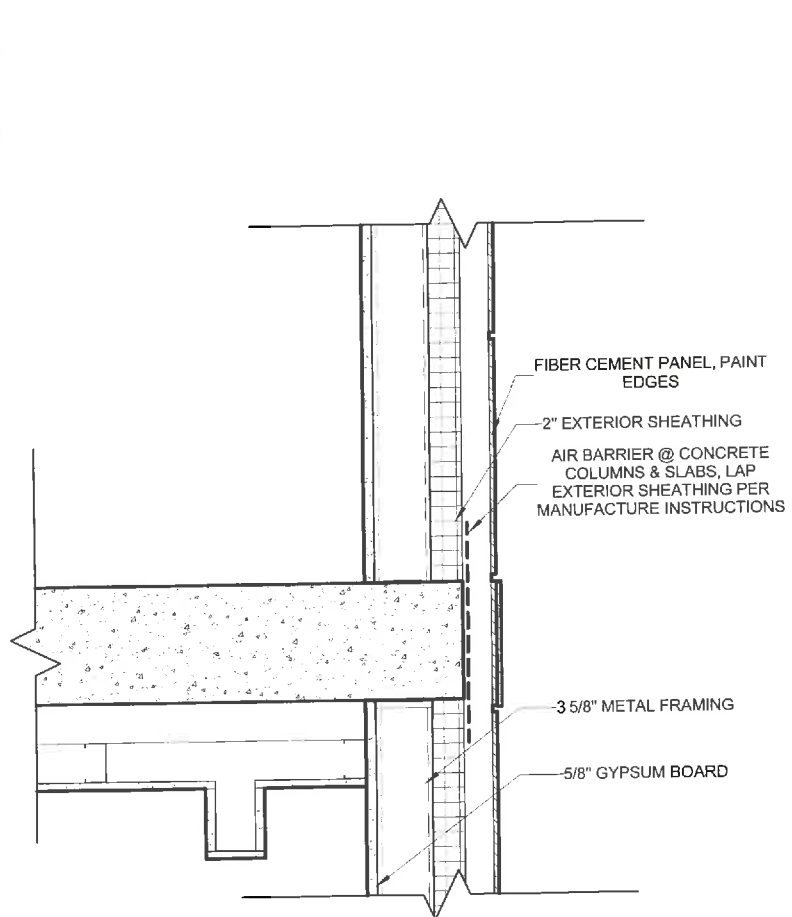
GLASS
 VISION GLASS
 NEUTRAL 61 ON CLEAR



FIBER CEMENT BOARD
 COLOR
 JUPITER



CEMENTITIOUS MATERIAL
 COLOR
 TO MATCH JUPITER





October Glory Red maple



Japanese Maple

October Glory Red maple

‘October Glory’ is one of two very popular selections of our native red maple chosen for outstanding fall color. The other is ‘Red Sunset.’ Both grow rather quickly, reaching 50-60 feet tall with an oval to pyramidal shape. They make excellent lawn and street trees, due to their ascending branches and lack of problematic surface roots. Both feature handsome, silvery bark.

Japanese Maple

Native to Japan and Korea. Slow growing to 20 ft. with equal or greater spread. Normally many-stemmed. Most airy and delicate of all maples. Leaves 2-4 in. long, deeply cut into five to nine toothed lobes. All-year interest: young spring growth is glowing red; summer leaves are soft green; fall foliage is scarlet, orange, or yellow; slender leafless branches in greens and reds provide winter pattern.



Big Blue Liriope



Firepower Nandina

Big Blue Liriope

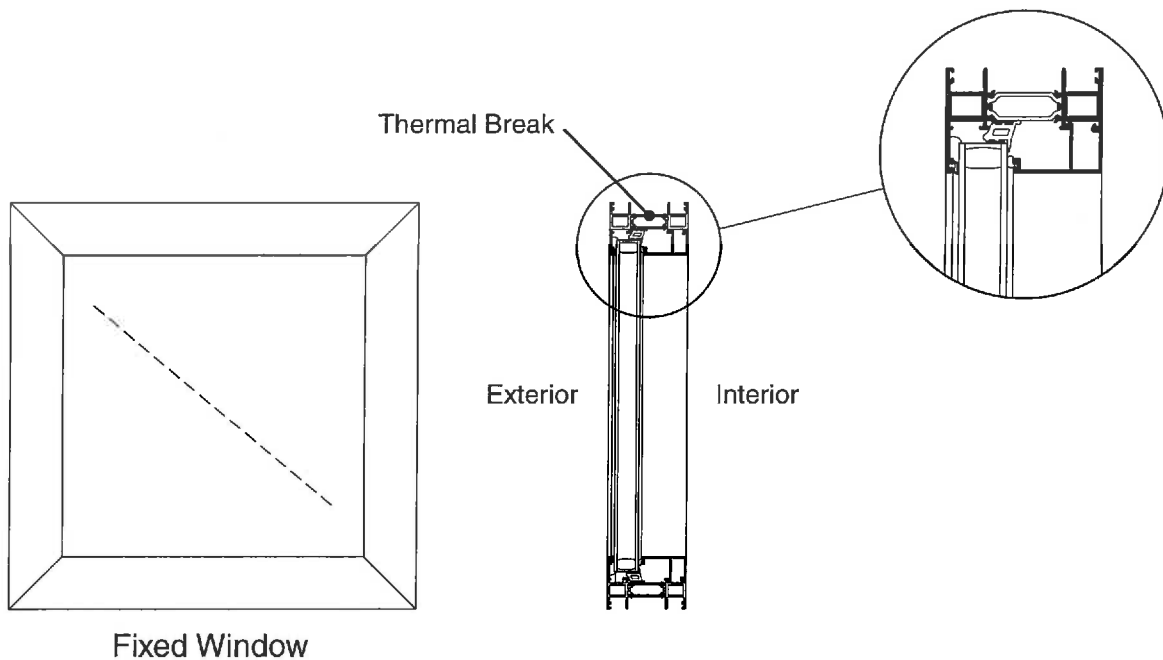
This lilyturf cultivar is a tufted, grass-like perennial which typically grows 12-18" high and features a clump of strap-like, arching, glossy, dark green leaves (1" wide). Erect, showy flower spikes with tiered whorls of dense, lavender flowers rise just above the leaves in late summer. Flowers give way in fall to blackish berries which often persist into winter. Evergreen in the South.

Firepower Nandina

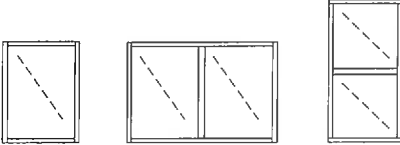
One of the best coloring Nandinas! Brilliant red foliage, fall through winter. Neat mounds are terrific for borders, massing and containers. Requires little care and no pruning. Evergreen. It is a low-growing shrub, reaching 2 feet tall. It works well as a ground cover or as a border plant. "Firepower" has bushy foliage that changes color with the seasons. Its leaves are lime green during warmer months, turning brilliant red or burgundy as the weather becomes cooler.

Standard Features

- Architectural Grade Window
- Tested to US and Canadian Standards
- Polyamide Thermal Break
- Tubular Profiles
- 45° Mitered Frame Corners
- Staked Corner Joinery
- Factory Silicone Glazed
- Interior Applied Glazing Bead
- Architectural Anodized Finishes and Applied Coatings
- Interior and Exterior Dual Finish Options



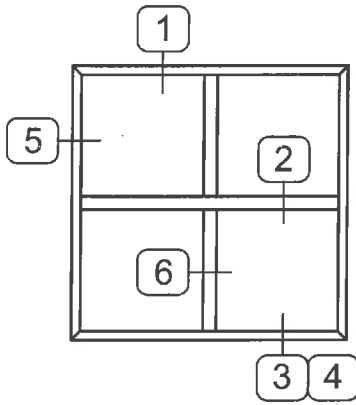
For specific product applications,
Consult your Traco representative.

CLASS and GRADE	Architectural Class AW-PG80-FW
TESTING STANDARD	AAMA / WDMA CSA 101 / I.S.2 / A440-05 / A440-08
FRAME DEPTH	3-1/4" Overall Frame Depth
TYPICAL WALL THICKNESS	.080 Nominal Frame
TYPICAL MAXIMUM SIZE	60" x 99"
TYPICAL MINIMUM SIZE	17" x 17"
TYPICAL CONFIGURATIONS	
INFILL OPTIONS	1" and 1-3/4" (Other infill options available upon request.)
STANDARD HARDWARE	Not Applicable
OPTIONAL HARDWARE	Not Applicable
OTHER OPTIONS	Structural Mullions Vertically or Horizontally Stacked Receptor and Sub Sill Panning Internal Blinds Exterior or Interior Muntins

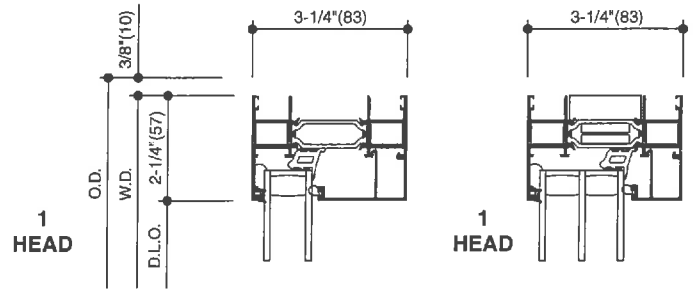
Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
 © Kawneer Company, Inc., 2012

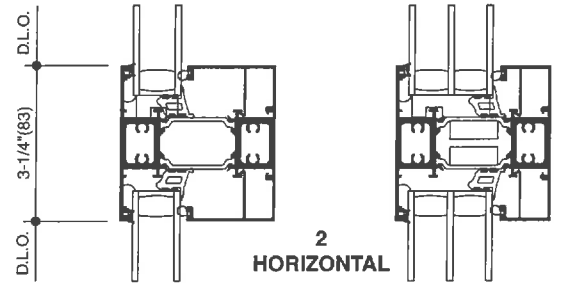
SCALE : 3" = 1'-0"
(Nominal Dimensions Shown)



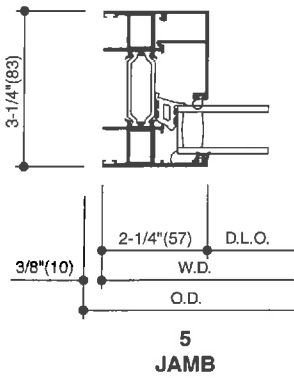
TYPICAL ELEVATION



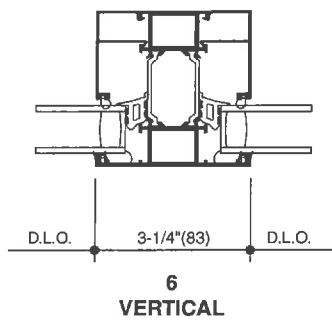
2 HORIZONTAL



2 HORIZONTAL

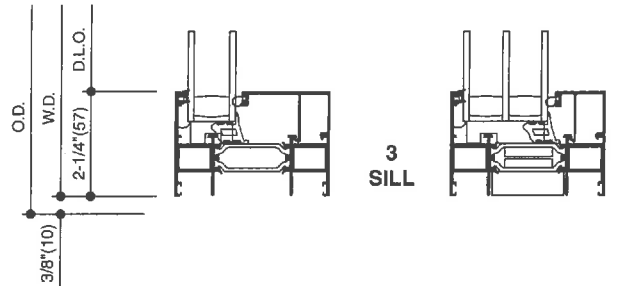


5 JAMB

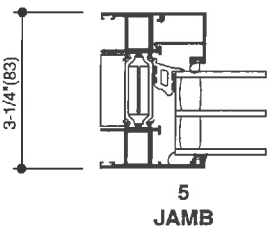


6 VERTICAL

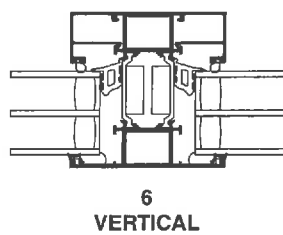
3 SILL



3 SILL

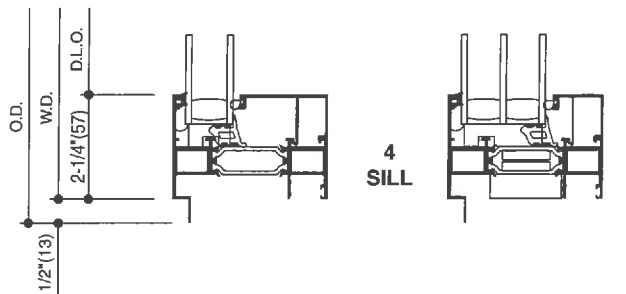


5 JAMB



6 VERTICAL

4 SILL

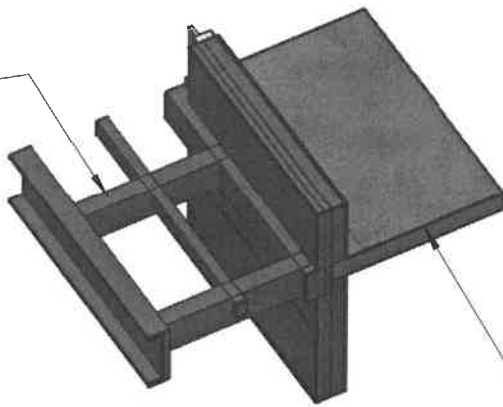


4 SILL

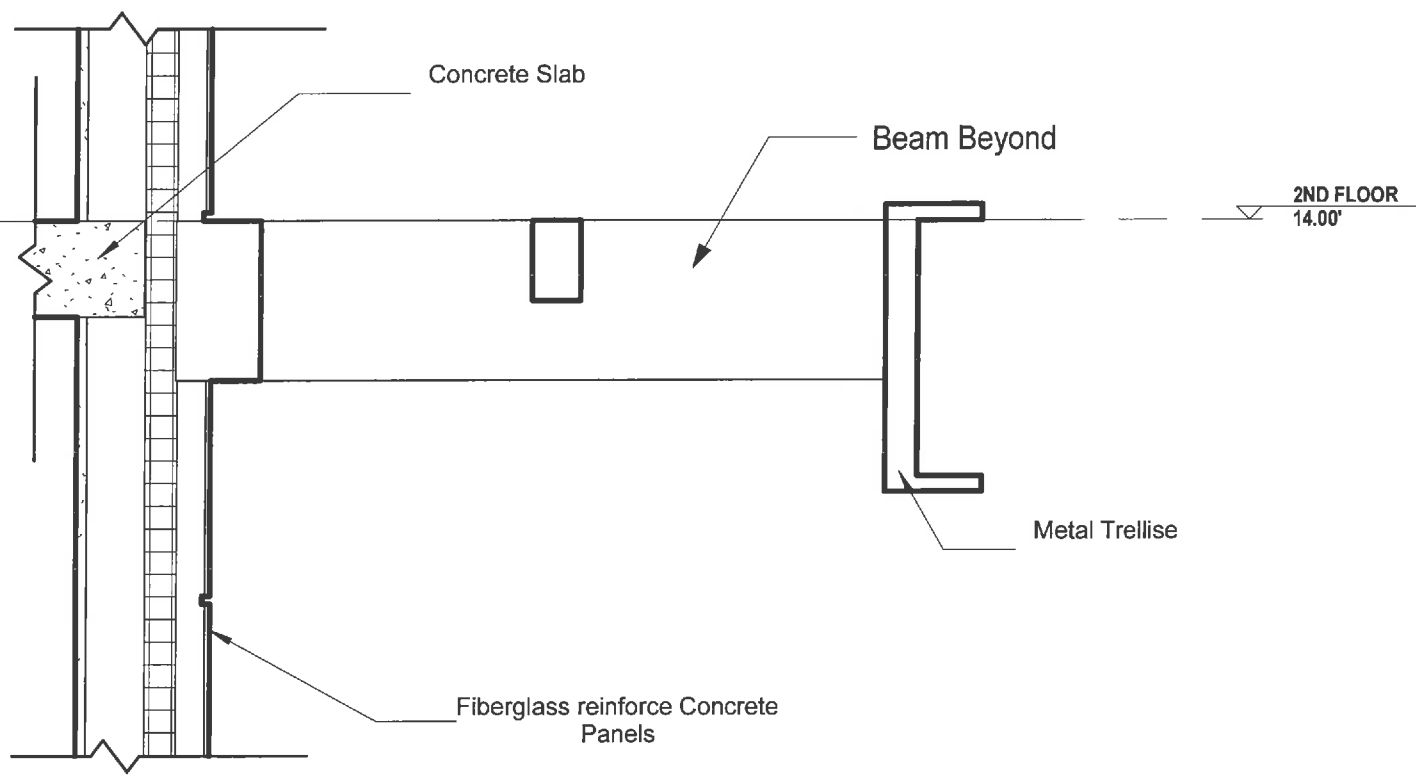
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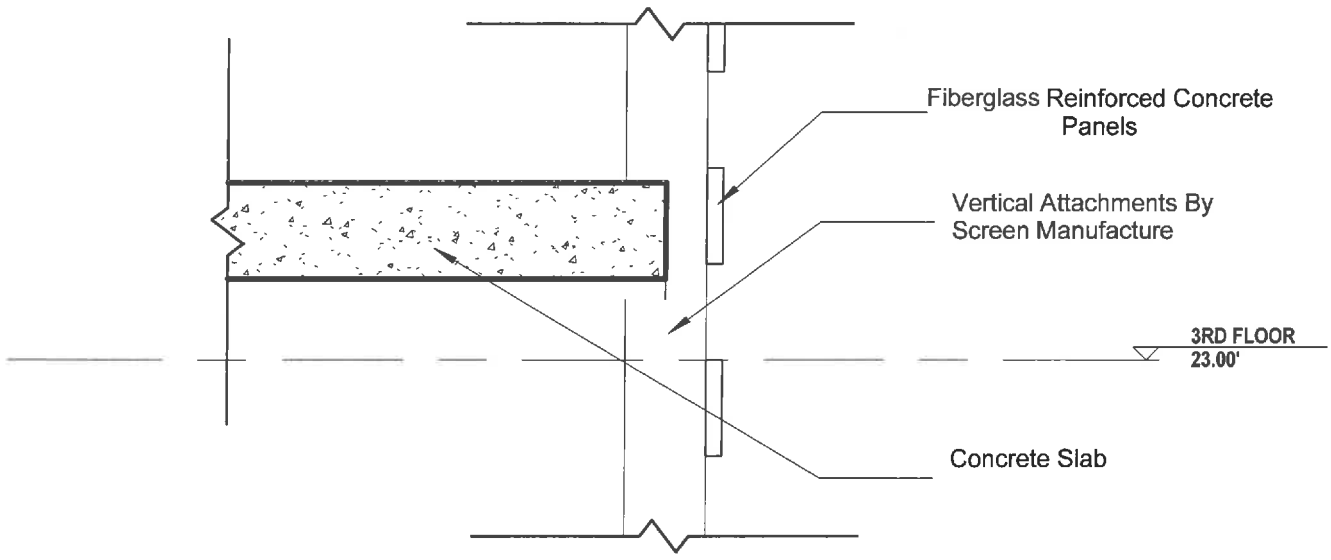
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Metal Trellise



Concrete Slab



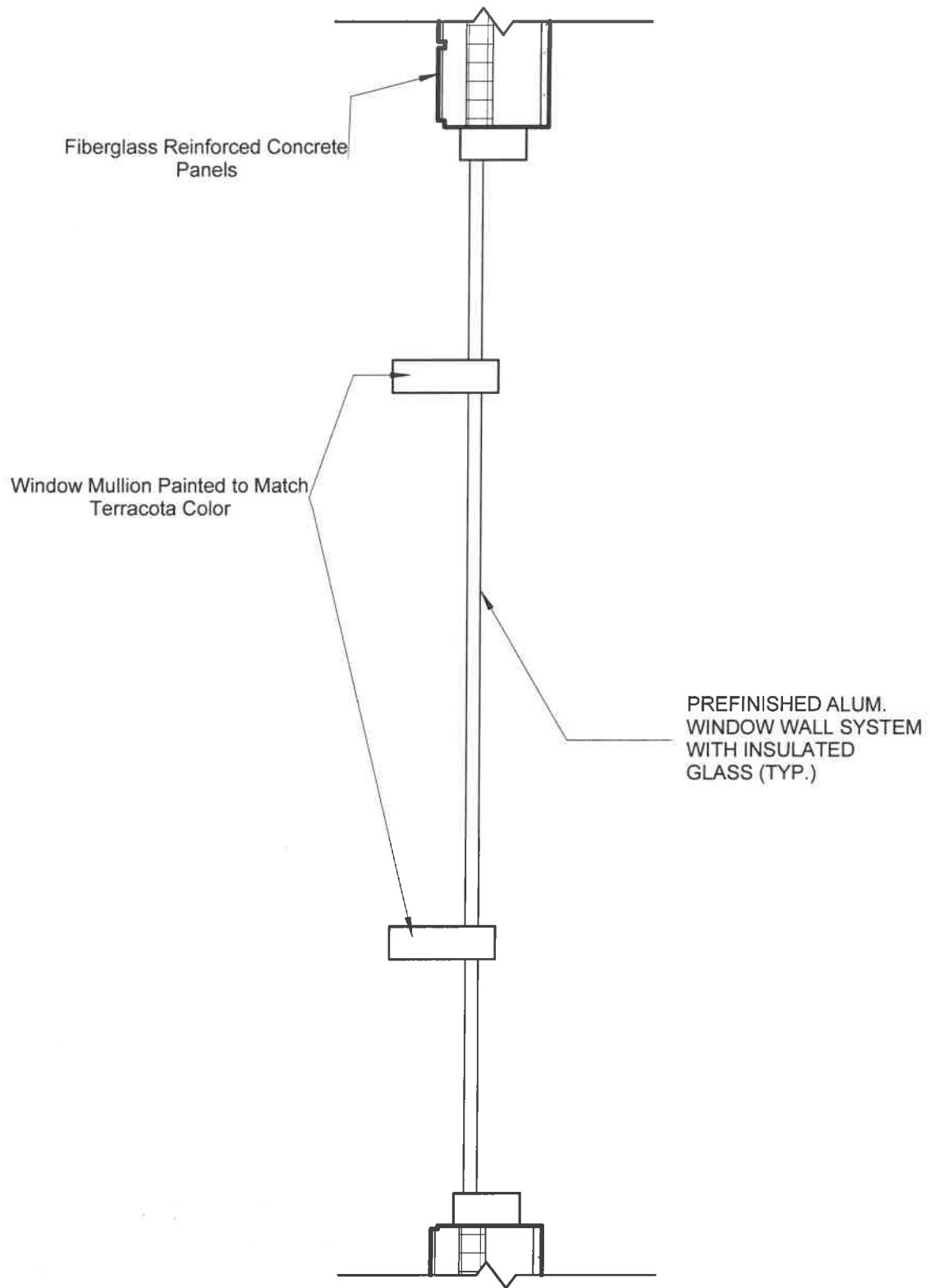


Fiberglass Reinforced Concrete Panels

Vertical Attachments By Screen Manufacture

Concrete Slab

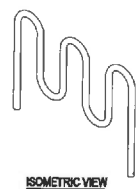
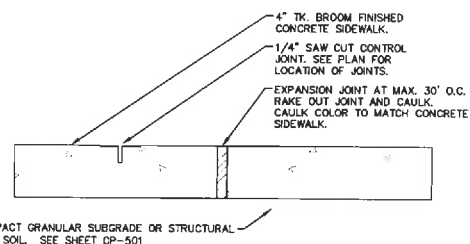
3RD FLOOR
23.00'



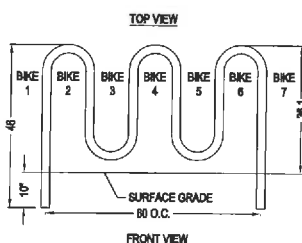
SIDWALK PAVES NOTES

SYMBOL	MATERIAL	SIZE	COLOR / TYPE	MANUFACTURER	PATTERN
P1	CONCRETE	4" T	MATCH CITY STANDARD		BROOM FINISH
P2	PLANTER				
P3	3/8" EXPANSION JOINT (E.J.), TYP. CONTINUOUS ALONG FACE OF BUILDING WALL, PLANTER WALL, BACK OF CURB, TYPICAL. SEE DETAIL THIS SHEET.				
P4	1/4" SAW CUT CONTROL JOINT (C.J.), SEE DETAIL THIS SHEET				
P5	PEDESTRIAN LIGHT AND POLE TO MATCH CITY STANDARD.				
P6	TREE GRATE				
P7	4" CONC. WALK OVER STRUCTURAL "CU" SOIL				
P8	BIKE RACK - MODEL EC2-07; ECHO, SERPENTINE STYLE BIKE RACK - SEVEN SPACE RACK, EMBEDDED MOUNT OR AS REQUIRED BY THE CITY OF CHARLOTTEVILLE.				

- NOTES:**
- PAVING MATERIALS SHALL BE SIMILAR IN COLOR TO EXISTING CONCRETE PAVING MATERIALS USED ELSEWHERE FOR STREETSCAPE AND SHALL BE APPROVED BY THE CITY AND OWNER PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL VERIFY ALL LAYOUT DIMENSIONS, PAVEMENT JOINT PATTERNS AND CUTS PRIOR TO INSTALLATION AND SHALL NOTIFY THE ENGINEER OF RECORD IN WRITING OF ANY DISCREPANCIES FROM CONTRACT DOCUMENTS.
 - SCORE ALL CONCRETE SIDEWALKS AND DRIVEWAYS AS SHOWN. ALL CONTROL JOINTS SHALL BE SAW CUT.
 - PROVIDE EXPANSION JOINTS WHERE CONCRETE SIDEWALK ABUTS FACE OF BUILDING BACK OF CURB AND AS INDICATED.
 - CONTRACTOR SHALL PROVIDE ELECTRICAL HAND HOLES AS REQUIRED AND SHALL COORDINATE HAND HOLE LOCATIONS WITH ELECTRICAL / LIGHTING ENGINEER.
 - REFER TO SHEETS CS-100, FOR TYPE AND DETAIL OF STREET SIGNAGE, PAVEMENT MARKINGS, ETC.
 - ALL EXISTING ITEMS TO BE MOVED AND RELOCATED SHALL BE REINSTALLED TO MEET OR EXCEED THE SPECIFICATIONS OF THE CITY OF CHARLOTTEVILLE.
 - ITEMS THAT ARE DAMAGED DURING RELOCATION AND OR STORAGE PROCEDURES SHALL BE REPLACED WITH NEW ITEMS MATCHING THE ORIGINAL MAKE, MODEL, COLOR AND MANUFACTURER OF THE ORIGINAL ITEM BEING REPLACED.
 - PAVING WORK WILL BE PLUMB AND TRUE TO LINE AND GRADE AND SHALL BE INSTALLED TO PROPERLY CONFORM WITH ADJACENT WORK AND ELEVATIONS. THE CUTTING OF THE PAVEMENT SHALL BE CLEAN WITH NO APPARENT SPALLS OR BREAKS.
 - CONSTRUCTION JOINTS IN THE HYDRAULIC CEMENT CONCRETE SHALL BE FORMED AROUND ALL APPURTENANCES SUCH AS MANHOLES AND WATER METERS THAT EXTEND INTO OR THROUGH THE SIDEWALK. THESE JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALED WITH SILICONE JOINT SEALANT TO MATCH THE COLOR OF THE SIDEWALK.
 - THE PATTERN FOR THE PAVING MATERIALS AND JOINTS IS SHOWN ON THE PLANS AND SHALL BE APPROVED BY THE OWNER AND CITY OF CHARLOTTEVILLE PRIOR TO INSTALLATION.



ISOMETRIC VIEW



TOP VIEW

RIGHT SIDE VIEW

FRONT VIEW

- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES AND ARE FOR INFORMATION PURPOSES ONLY. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 - CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetail.com/info REFERENCE NUMBER 4296-128.

ECHO

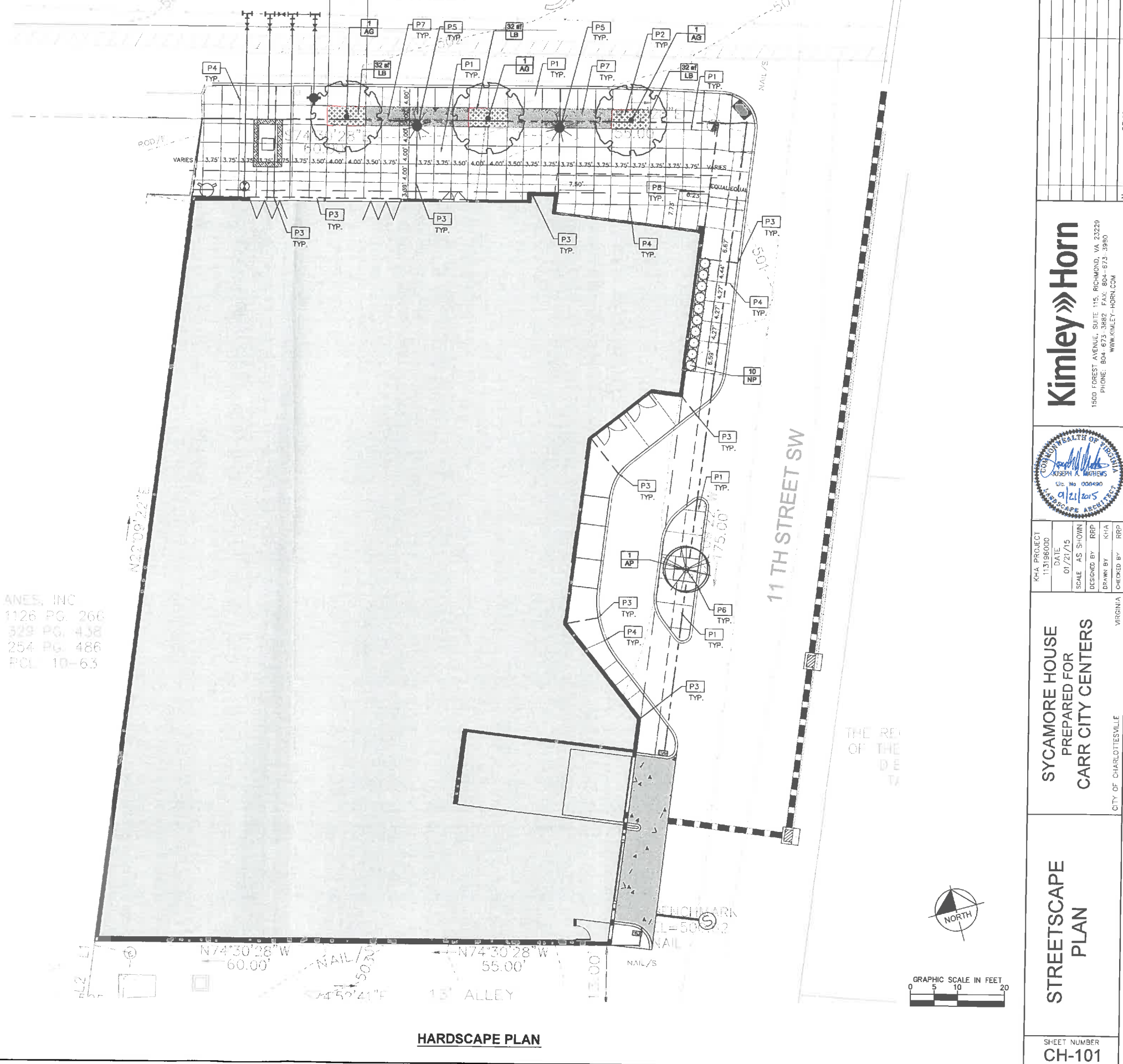
MODEL EC2-07-EM; ECHO, SERPENTINE STYLE BIKE RACK - SEVEN SPACE RACK, EMBEDDED MOUNT

TREE CANOPY CALCULATIONS

Category	Value	Unit
SITE AREA	19989	SF
BUILDING AREA	16987.6	SF
DRIVEWAY AREA	346.883	SF
NET CALCULATION AREA	2654.57	SF
PERCENT TREE CANOPY REQUIRED =	10	percent
TOTAL CANOPY REQUIRED	265	SF
TREE CANOPY PROVIDED		
3 RED MAPLES AT 2" CAL. = 397 SF EACH	3	1,191 SF

ANES, INC
 1126 PG. 266
 329 PG. 438
 254 PG. 486
 PCL 10-63

WEST MAIN STREET



HARDSCAPE PLAN

NO.	REVISIONS	DATE	BY

Kimley»Horn
 1500 FOREST AVENUE, SUITE 115, RICHMOND, VA 23229
 PHONE: 804-673-3862 FAX: 804-673-3860
WWW.KIMLEY-HORN.COM



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
113196000	01/21/15	AS SHOWN	RRP	KHA	RRP

**SYCAMORE HOUSE
 PREPARED FOR
 CARR CITY CENTERS**

**STREETSCAPE
 PLAN**

SHEET NUMBER
CH-101

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GENERAL LANDSCAPE NOTES:

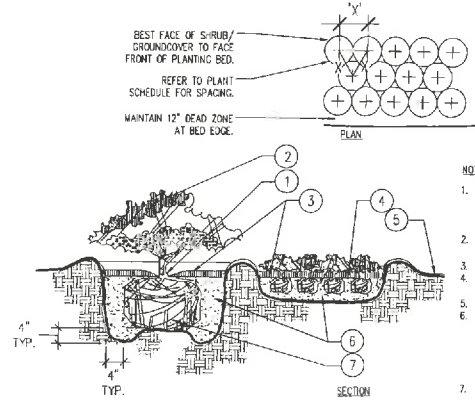
- A. CONTRACTOR SHALL REVIEW ALL DRAWINGS, SPECIFICATIONS, PERMITS, AND REGULATORY REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- C. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS PROVIDED BY OTHERS.
- D. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" OF VIRGINIA @ 1-800-552-7001 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- E. FINAL LOCATION OF ALL PLANTINGS SHALL BE DETERMINED IN THE FIELD BY THE OWNERS CHOSEN REPRESENTATIVE.
- F. SUBSTITUTIONS AND/OR MODIFICATIONS TO PLANTING LAYOUT, PLANT MATERIALS, ETC. SHALL NOT BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNERS REPRESENTATIVE.
- G. CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS AS SHOWN IN THE DETAILS, AND AS INDICATED IN THE LANDSCAPE SPECIFICATIONS.
- H. THE PLANTING OF TREES SHALL BE DONE IN ACCORDANCE WITH THE STANDARDIZED LANDSCAPE SPECIFICATIONS JOINTLY ADOPTED BY THE VIRGINIA NURSERYMEN ASSOCIATION, THE VIRGINIA SOCIETY OF LANDSCAPE DESIGNERS AND THE VIRGINIA CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.
- I. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST ADDITION OF ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- J. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE OF ANY DEFORMITIES, DISEASES, OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR DISFIGURED BROOKED LEAVES, BARK ABRASIONS, SUNSCALD, INSECT DAMAGE, ETC., ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- K. TREES NOT EXHIBITING A CENTRAL LEADER WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT LIST AS MULTI-STEM.
- L. PLANTING BEDS SHALL RECEIVE 3" OF DARK, SHREDDED HARDWOOD MULCH THROUGHOUT. ORANGE AND/OR RED MULCH IS NOT ACCEPTABLE.
- M. PLANT MATERIALS SHOWN ON PLANS ARE A GRAPHIC REPRESENTATION ONLY. CONTRACTOR SHALL PERFORM ALL LANDSCAPE INSTALLATION ON THE SUBJECT PROPERTY, AND NOT ON ADJACENT PROPERTIES, UNLESS OTHERWISE DIRECTED BY THE OWNER OR THE OWNERS REPRESENTATIVE. ROOTBALLS OF SHRUBS AND TREES SHALL BE PLANTED, IN THEIR ENTIRETY, WITHIN THE BOUNDARIES OF THE SUBJECT PROPERTY.
- N. QUANTITY TAKE-OFFS INDICATED ON THE PLANTING SCHEDULE ARE FOR CONVENIENCE ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE SCHEDULE, THE GRAPHIC REPRESENTATION IN THE PLANS SHALL DICTATE.

STANDARD LANDSCAPING SPECIFICATIONS:

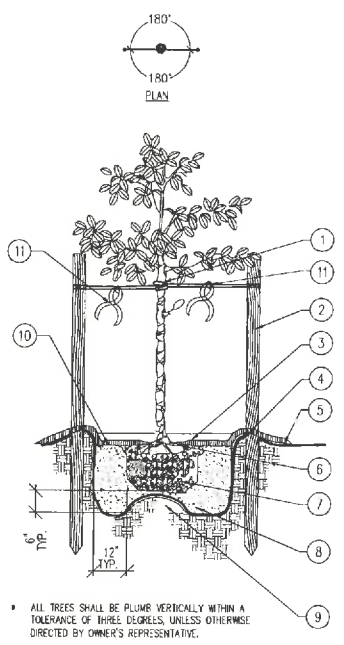
- 1. ALL TOPSOIL SHALL BE A MINIMUM OF 6" IN TREE, SHRUB AND GROUND COVER BEDS.
- 2. ALL LANDSCAPE AND GRASS AREAS ARE TO BE HAND RAKED AND LEFT CLEAR OF ALL STONES, ROCK, CONSTRUCTION DEBRIS AND ANY UNSUITABLE MATERIALS.
- 3. LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
- 4. ALL AREAS TO BE LANDSCAPED OR COVERED WITH MULCH MUST BE TREATED WITH A PRE-EMERGENCE HERBICIDE (SURFLAN, DACAL OR APPROVED EQUAL) IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE REGULATIONS AND THE MANUFACTURER'S INSTRUCTIONS.
- 5. ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY. THEY ARE TO HAVE NORMAL, VIGOROUS ROOT SYSTEMS, FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1.
- 6. ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND STATE NURSERYLANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUYING.
- 7. ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMB AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR MATCHES, OR IS NO MORE THAN TWO (2) INCHES ABOVE, FINISHED GRADE. REPLACE AMENDED BACKFILL IN 8-INCH LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR-INCH HIGH EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING PIT. CONTRACTOR SHALL WATER NEWLY PLANTED VEGETATION PRIOR TO MULCHING PLANTING PIT. ALL VOIDS SHALL BE FILLED AND SETTLING MITIGATED AS REQUIRED. ALUMINUM EDGING SHALL BE INSTALLED AROUND ALL PLANTING AREAS TO DELINEATE BETWEEN DIFFERENT LANDSCAPE MATERIALS.
- 8. AFTER INITIAL WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENT HERBICIDES AS REQUIRED TO ELIMINATE ANY WEED SEEDS OR PLANTS PRESENT ON ROOT BALL.
- 9. ALL PLANTING BEDS AND PITS SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH AT A MINIMUM DEPTH OF 3".
- 10. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGH LOSS OF BRANCHES AND/OR FOLIAGE. LAWNS THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETION.

PLANT SCHEDULE

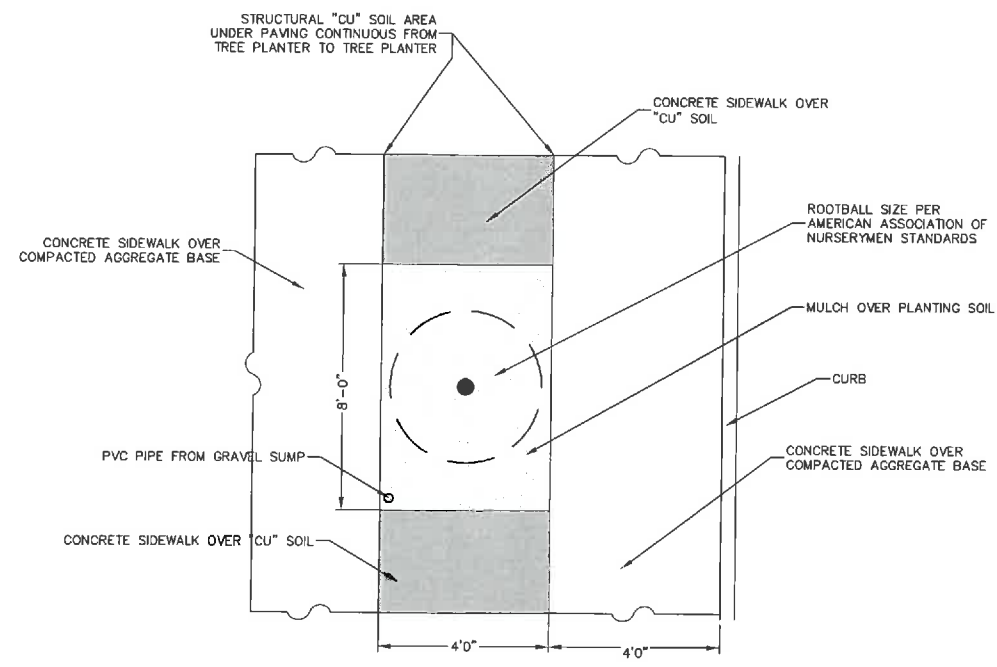
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS	
	AP	1	ACER PALMATUM	JAPANESE MAPLE	B&B OR CONT.		4'-6" HT. MIN.		
	AG	3	ACER RUBRUM 'OCTOBER GLORY' TM	OCTOBER GLORY MAPLE	B & B	3.6" CAL.	10' HT. MIN.	LIMBED TO 6' H	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS	
	NP	10	NANDINA DOMESTICA 'FIRE POWER'	FIREPOWER NANDINA	CONT.		12"-16" SP.		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	FIELD2	FIELD3	SPACING	REMARKS
	LB	96 SF	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	6" POT				SPACE AT 18" C



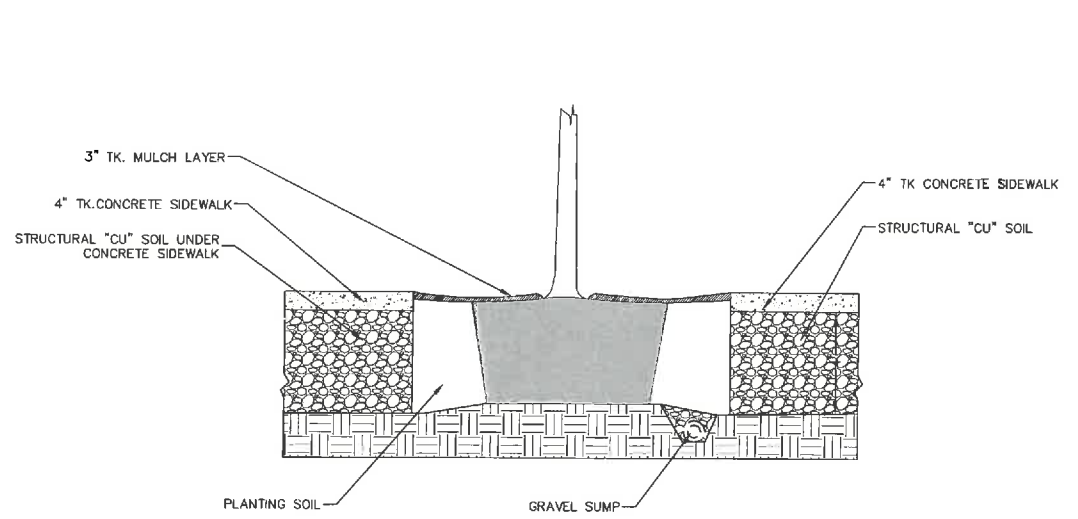
Shrub/Groundcover Planting
PLAN/SECTION



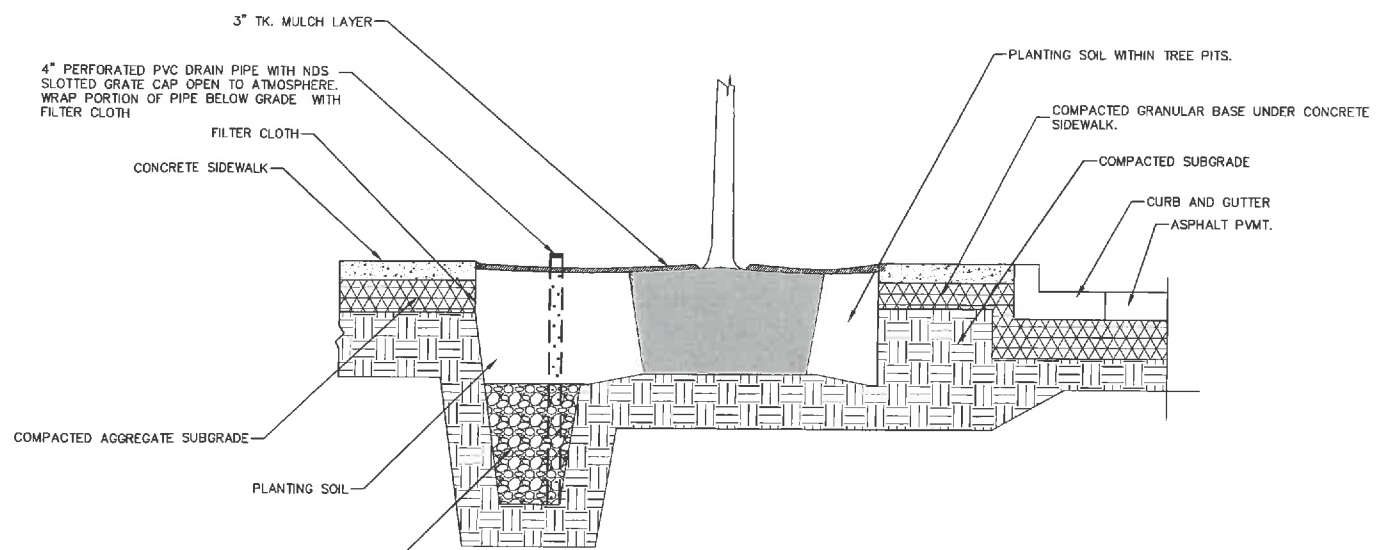
Small Tree Planting
SECTION (TREES UNDER 3" CAL. OR 14' IN HEIGHT)



TREE PLANTING PLAN DIAGRAM FOR MIDDLE TREE PLANTER



TREE PLANTING PARALLEL TO CURB



TREE PLANTING PARALLEL TO CURB

Kimley & Horn
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WWW.KIMLEY-HORN.COM

SEAL OF THE PROFESSION
JOSEPH A. MATHEWS
Lic. No. 000490
LANDSCAPE ARCHITECT

KHA PROJECT: 13196000
DATE: 01/27/15
SCALE: AS SHOWN
DESIGNED BY: RRP
DRAWN BY: KHA
CHECKED BY: RRP

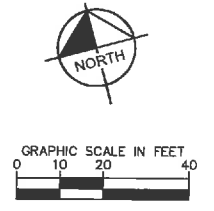
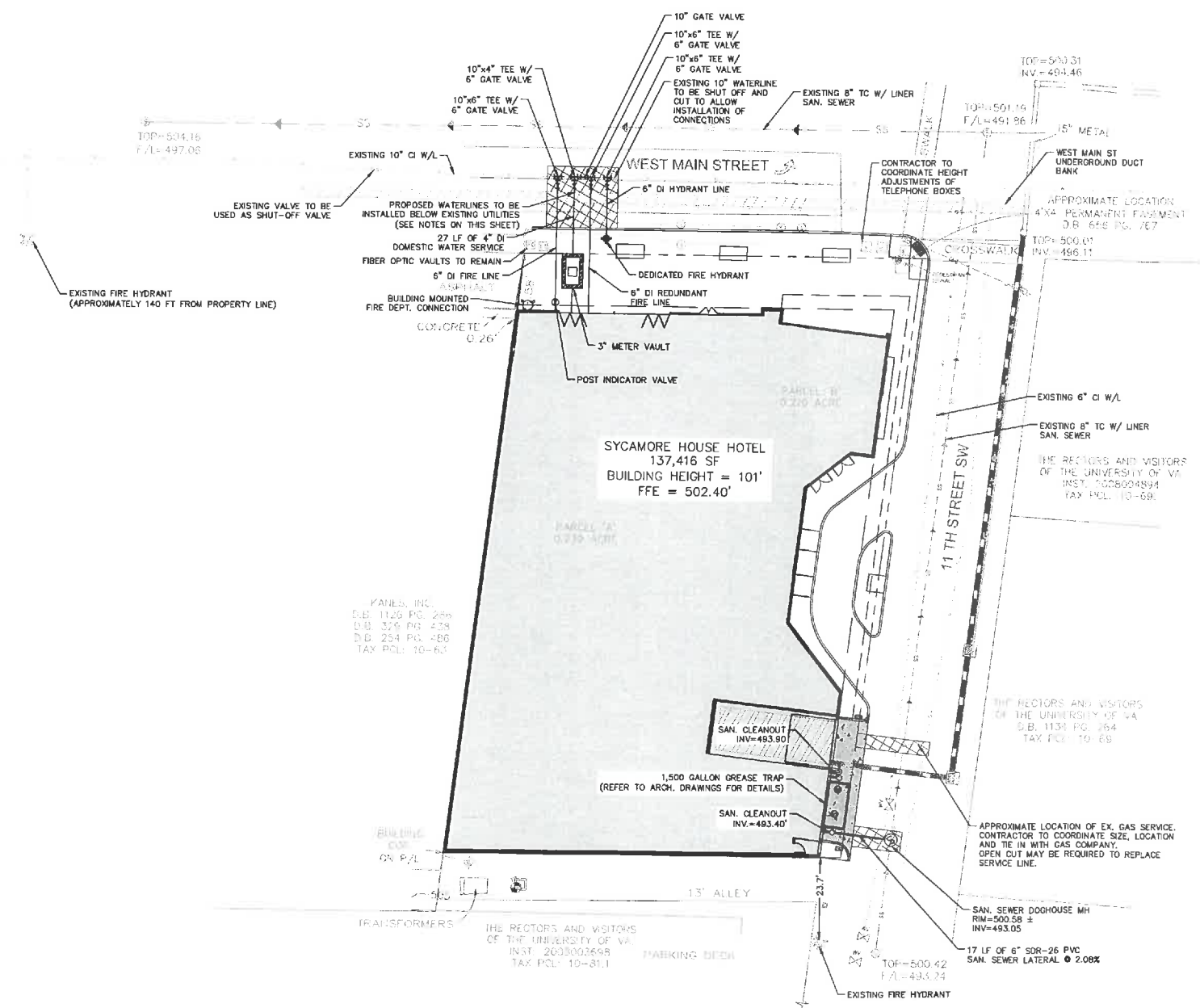
SYCAMORE HOUSE
PREPARED FOR
CARR CITY CENTERS

PLANTING NOTES
AND DETAILS

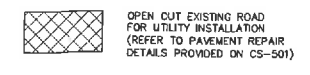
SHEET NUMBER
CH-501

NO.	REVISIONS	DATE	BY

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LEGEND



UTILITY NOTES

- SEE SHEET CU-501 & CU-502 FOR UTILITY NOTES AND DETAILS.
- DOMESTIC WATER SERVICE PIPE SHALL BE C-900 PVC PIPE ON THE PROPERTY SIDE OF THE METER.
- RPZ BACKFLOW PREVENTERS FOR FIRE SPRINKLER, DOMESTIC, AND IRRIGATION SERVICE LINES SHALL BE PROVIDED WITHIN BUILDING MECHANICAL ROOM.
- CONTRACTOR SHALL CONTACT THE CITY OF CHARLOTTESVILLE AT LEAST 48 HOURS PRIOR TO THE ABANDONMENT OF ANY WATER OR FIRE SERVICE LINES. EXISTING WATER METERS ARE TO BE REMOVED BY THE CITY.
- DOORHOUSE TYPE SANITARY SEWER MANHOLES REQUIRE BENCHES SHAPED PER DETAIL WW2.6 ON SHEET CU-501.
- CONTRACTOR TO COORDINATE LANE CLOSURES FOR UTILITY INSTALLATION WITH THE CITY OF CHARLOTTESVILLE.
- PRIOR TO SHUTTING DOWN EXISTING 10" WATERLINE IN WEST MAIN STREET, CONTRACTOR SHALL LOCATE EXISTING DUCT BANK AND GAS LINE. CONTRACTOR SHOULD COORDINATE THESE LOCATIONS WITH CITY DPW INSPECTOR TO ENSURE ADEQUATE SEPARATION IS MAINTAINED AT CROSSINGS.
- ALL NON-METALLIC PIPE SHALL BE INSTALLED WITH TRACER WIRE.
- ALL MATERIALS USED ON PUBLIC WATER OR SEWER LINES SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTESVILLE STANDARDS AND DESIGN MANUAL (SDM). IN THE EVENT OF DISCREPANCIES BETWEEN THESE PLANS AND THE SDM, THE SDM SHALL GOVERN.
- ALL DUCTILE WATER PIPE FOR PUBLIC USE SHALL BE CLASS 52.
- COORDINATE WITH PUBLIC UTILITIES (970-3800) A MINIMUM OF 10 DAYS PRIOR TO PLANNED SHUTDOWN OF 10" WATER MAIN. UTILITY OWNER SHALL OPERATE ALL VALVES. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF ALL IMPACTED BUSINESSES AND RESIDENTS.
- THE BUILDING STREET NUMBER TO BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS.
- AN APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTESVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY. A KNOX BOX KEY BOX CAN BE ORDERED BY GOING ON-LINE TO WWW.KNOXBOX.COM. THE KNOX BOX ALLOWS ENTRY TO THE BUILDING WITHOUT DAMAGING THE LOCK AND DOOR SYSTEM.
- AN ELEVATOR KEY BOX WILL BE REQUIRED.
- FIRE LANES WILL BE REQUIRED BEFORE FINAL CERTIFICATE OF OCCUPANCY IS APPROVED BY THE FIRE MARSHAL. CONTRACTOR IS TO COORDINATE REQUIREMENTS WITH FIRE MARSHAL.

FIRE FLOW ESTIMATE FORM
ISO (Insurance Service Office) Method of Calculating Needed Fire Flow NFF (Needed Fire Flow)

ENGINEER: Kimley-Horn and Associates DATE: 10/19/2014
PROJECT NAME: Sycamore House CALC. BY: MRB

TYPE OF CONSTRUCTION: NONCOMBUSTIBLE C-3
Class of Construction Coefficient = F 0.8

GROUND FLOOR AREA: 17,305 # OF STORES: 10
Total Floor Area = A_f (effective area) 77,361

FIRE AREA CONSIDERED
Construction Factor C_i = 18 (F) (A_f)^{0.5} C_i: 4,000
(ROUNDED TO NEAREST 250 000)

TYPE OF OCCUPANCY: LIMITED COMBUSTIBLE C-2
(Worst-Case) Occupancy Factor = O_i: 0.85

EXPOSURE (X) AND COMMUNICATION (P):
X₁ + P₁ = 0.00 X₂ + P₂ = _____
X₃ + P₃ = _____ X₄ + P₄ = _____
X₅ + P₅ = _____ X₆ + P₆ = _____

(X+P) = 1.0 + Σ(X_i+P_i) = _____
(Max X+P) = 1.75 1.00
(n = NUMBER OF SIDES OF SUBJECT BUILDING)

NEEDED FIRE FLOW
NFF = (C_i) (O_i) (X+P) NFF = 3,400

Automatic Sprinklers: YES Reduction Factor: 50% % X NFF = 1,700

TOTAL: 1,700

Required Fire Flow - Rounded: 1,750 gpm
Fire Hydrants Required*: 2

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT

SIGNATURE: [Signature] P.E.

* COMMERCIAL AREA REQUIRES 150 FT. MAXIMUM HOSE LAY

References: NFF calculation procedure described in A.W.W.A. M-91, I.S.O.'s 1989 Commercial Fire Rating Schedule and I.S.O.'s 1989 Fire Suppression Rating Schedule

Form P-9

Kimley-Horn
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WWW.KIMLEY-HORN.COM

COMMONWEALTH OF VIRGINIA
RYAN PERKINS
Lic. No. 048555
12/15
PROFESSIONAL ENGINEER

KHA PROJECT	113196000	DATE	1/21/15
SCALE	AS SHOWN	DESIGNED BY	RRP
DRAWN BY	KHA	CHECKED BY	RRP

**SYCAMORE HOUSE HOTEL
PREPARED FOR
CARR CITY CENTERS**

VIRGINIA
CITY OF CHARLOTTESVILLE

UTILITY PLAN

SHEET NUMBER
CU-101

No.	REVISIONS	DATE	BY