

From: Rourke, Kristin
Sent: Tuesday, November 27, 2012 12:48 PM
To: cgathright@dgarchs.com
Subject: November BAR - 315 West Main Street

November 27, 2012

Clark Gathright
100 10th Street NE Suite 200
Charlottesville, VA 22902

Certificate of Appropriateness Application (Deferred from August 2012)

BAR 12-05-03
315 W Main Street
Tax Map 32 Parcels 197 and 198
Clark Gathright, Applicant/VIM, Inc., Owner
New 7-story hotel

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on November 20, 2012. The following action was taken:

Approved (7-0) with the following conditions and information to come back to the BAR for final approval:

- 1. Color of stucco on C building;**
- 2. Courtyard furnishings and plantings;**
- 3. Comprehensive sign package [requires BAR recommendation and City Council approval];**
- 4. Further investigation whether planting is possible on the north side of the property in association with the parking deck;**
- 5. Banding on A & B buildings: approve either brick soldier course or precast options;**
- 6. Exclude approval of final lighting and mechanical package until later date.**

A friendly suggestion was made to look at further articulation of windows on south elevations.

Note that the BAR's intent was to allow the preliminary site plan approval to occur.

If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
November 20, 2012**



Certificate of Appropriateness Application (Deferred from August 2012)

BAR 12-05-03

315 W Main Street

Tax Map 32 Parcels 197 and 198

Clark Gathright, Applicant/VIM, Inc., Owner

New 7-story hotel

Background

301 West Main Street (c. 1957) and 315 West Main Street (c. 1938; 1947; 1951) are located in the Downtown ADC District.

October 18, 2005 - BAR approves (8-0) demolition of 301 West Main Street. The applicant requested deferral of the 315 West Main Street application in order to have prepared a structural report.

November 15, 2005 - BAR approves (7-2) demolition of 315 West Main Street

September 18, 2006 - The Director of Neighborhood Development Services agreed to extend both certificates of appropriateness for one year as permitted by Sec. 34- 280 because the building tenant (RSC equipment rental) exercised their option to renew their lease for another year.

November 28, 2006 - BAR denied (9-0) CVS project based on standards and guidelines especially site plan, massing, scale, and materials.

October 16, 2007 - BAR approves (7-0) demolition of both buildings on consent agenda.

July 15, 2008 - BAR approved (6-2) a new mixed-use project including the concept of the massing, general articulation, and disposition of materials, but required the details to be re-studied and returned to the BAR for further approval.

September 25, 2008 - The Director of Neighborhood Development Services agreed to extend both demolition approvals for one year, until October 16, 2009.

May 19, 2009 - The BAR approved (8-1) the application for demolition of 301 and 315 West Main Street and asked staff to report back next month regarding the City Attorney's opinion as to when the permit will expire. (The applicant asked the BAR if the one-year approval could begin in October 2009, when the previous permit would expire, rather than the meeting date.) The City Attorney's opinion was that the permit would expire one year from the meeting date, or May 19, 2010.

June 15, 2010 - The BAR approved demolition of 301 W Main (8-0); approved demolition of 315 W Main (6-2 with Brennan and Schoenthal opposed).

June 15, 2011 - The Director of Neighborhood Development Services agreed to extend the validity of the COA for one year, or until June 15, 2012.

Current project

February 21, 2012 - The BAR was generally supportive of the preliminary proposal. Suggestions made were to wrap the corner of Building C with Building B; landscaping and screening parking are important; pedestrian access to Main Street is important; give thought to courtyard (trees, access to hotel).

May 15, 2012 - The BAR approved (4-2-1) the application as submitted to demolish 301 and 315 W Main Street.

May 15, 2012 - The BAR accepted (6-0-1) the applicant's request for deferral. The BAR requested further details on: the materials, wall sections, windows details, cornices, articulation of façades, lighting (cut sheets and photometrics), paving materials. Look at the plans along West Main Street. Do not necessarily propose white windows; part of the building may want to be monochromatic.

June 19, 2012 – The BAR approved (5-1-1 with Adams opposed and Hogg abstaining) the massing, conceptual landscape plan, and conceptual use of manufactured stone and brick on the A & B structures with full detailing of those elements, samples, manufacturer’s product information and all things requested at the last meeting (building section, window details, etc.) to come back to the BAR for final approval.

The BAR approved (5-1-1 with Adams opposed and Hogg abstaining) the conceptual use of stucco on the C structure subject to all detailing and color studies as discussed coming back to the BAR for final approval.

August 21, 2012 – The applicant requested deferral before the meeting.

This property is located in the Downtown ADC District. The Guidelines describe the West Main Street sub-area as: *increasingly vital commercial district with strong definition of the street edge and moderate pedestrian activity typically medium scaled, turn of the century masonry structures, generally mixed use with commercial/service below and residential above, street parking with small off street lots.*

The current zoning is *Downtown Corridor Mixed Use District*, which requires a minimum height of 45 feet and allows a maximum height of 70 feet with stepback requirements. Up to 101 feet may be permitted with a special use permit. The parking zone is “Parking Modified Zone”

The minimum height of the streetwall must be 40 feet, and the maximum height of the streetwall must be 45 feet, containing **exactly 3 interior floors**. After 45 feet, there shall be a minimum stepback of 25 feet. At least 75% of the streetwall must be built to the property line adjacent a primary street (both Ridge-McIntire and West Main are primary streets). Up to 25% of the streetwall may be set back a maximum of 20 feet, except up to 50% may be set back up to 20 feet if streetscape trees are provided, or if City Council approves a special use permit.

Application

The applicant seeks final approval for a seven-story hotel with 124 rooms and parking for 119 vehicles, including one level of structured parking (82 spaces) and a surface parking lot (37 spaces). The surface parking lot and the drive-up lobby entrance are accessed from both Ridge-McIntire and 4th Street NW entrance/exits.

The attached email outlines two major design changes:

1. The arrival level has been raised, eliminating the need for a two-level lobby.
2. Building A now has mezzanine guest rooms, rather than double height meeting rooms. (See Discussion and Recommendations – this change conflicts with zoning, which requires exactly three floors not four.)

The West Main Street frontage includes two sections of hotel buildings (referred to as buildings A and B) separated by a terrace/courtyard. The top two/three floors of these three-story buildings are hotel rooms. On the Ridge-McIntire frontage there are windows that look into the flex space and the pool area. The top three floors along Ridge-McIntire are hotel rooms.

One main entrance to the hotel is proposed along West Main Street, in building B. There are two (minor) entrances to the hotel from the courtyard, one accessing the lobby and one accessing meeting rooms in building A. The terrace/courtyard has been reduced in size since the last submittal, and it is not landscaped. There are no pedestrian entrances along Ridge-McIntire.

Building C, the main part of the hotel, is 7 stories in height. There is a drive-up/pedestrian entrance under a porte-cochere in the parking lot.

The building materials on buildings A and B are:

Manufactured stone veneer Arriscraft Renaissance base and cornice,
Brick veneer Old Virginia Brick wood mould Colonial Red Range, and
Aluminum/Quaker SH 8050 historical windows dark bronze.

The building materials on building C are:

¾" stucco smooth finish Cloud White walls,
Stucco cornice (new addition), and
Aluminum/Quaker 8050 windows dark bronze.

Consistently used materials include:

Aluminum Kawneer storefront dark bronze,
Clear low-e glazing,
Metal clad marquee/canopy, and
Canvas burgundy awnings.

A 6-foot high bronze equipment screen is shown on building B but no screens are shown around equipment on the roofs of buildings A and C.

The streetscape includes Zelcovas in tree wells with brick pavers and concrete used for sidewalks and the courtyard. Brick pavers are also used in the surface parking lot.

Criteria, Standards, and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Design Review Guidelines for New Construction

A. Introduction

3. Building Types

e. Multi-lot

Often new commercial, office, or multiuse buildings will be constructed on sites much larger than the traditionally sized lots 25 to 40 feet wide. Many sites for such structures are located on West Main Street and in the 14th and 15th Street area of Venable neighborhood. These assembled parcels can translate into new structures whose scale and mass may overwhelm neighboring existing structures. Therefore, while this building type may need to respond to the various building conditions of the site, it also should employ design techniques to reduce its visual presence. These could include varying façade wall planes, differing materials, stepped-back upper levels, and irregular massing.

B.Setback

- 1. Construct new commercial buildings with a minimal or no setback in order to reinforce the traditional street wall.*
- 2. Use a minimal setback if the desire is to create a strong street wall or setback consistent with the surrounding area.*
- 3. Modify setback as necessary for sub-areas that do not have well-defined street walls.*
- 4. Avoid deep setbacks or open corner plazas on corner buildings in the downtown in order to maintain the traditional grid of the commercial district.*
- 5. In the West Main Street corridor, construct new buildings with a minimal (up to 15 feet according to the zoning ordinance) or no setback in order to reinforce the street wall. If the site adjoins historic buildings, consider a setback consistent with these buildings.*
- 6. On corners of the West Main Street corridor, avoid deep setbacks or open corner plazas unless the design contributes to the pedestrian experience or improves the transition to an adjacent residential area.*
- 7. New buildings, particularly in the West Main Street corridor, should relate to any neighborhoods adjoining them. Buffer areas should be considered to include any screening and landscaping requirements of the zoning ordinance.*
- 8. At transitional sites between two distinctive areas of setback, for instance between new commercial and historic commercial, consider using setbacks in the new construction that reinforce and relate to*

C. Spacing

- 2. Commercial and office buildings in areas that have a well-defined street wall should have minimal spacing between them.*
- 3. In areas that do not have consistent spacing, consider limiting or creating a more uniform spacing in order to establish an overall rhythm.*
- 4. Multi-lot buildings should be designed using techniques to incorporate and respect the existing spacing on a residential street.*

P. 3.6 Massing & Footprint

- 1. New commercial infill buildings' footprints will be limited by the size of the existing lot in the downtown or along the West Main Street corridor. Their massing in most cases should be simple rectangles like neighboring buildings.*
- 2. New infill construction in residential sub-areas should relate in footprint and massing to the majority of surrounding historic dwellings.*
- 3. Neighborhood transitional buildings should have small building footprints similar to nearby dwellings.*
 - a. If the footprint is larger, their massing should be reduced to relate to the smaller-scaled forms of residential structures.*
 - b. Techniques to reduce massing could include stepping back upper levels, adding residential roof and porch forms, and using sympathetic materials.*
- 4. Institutional and multi-lot buildings by their nature will have large footprints, particularly along the West Main Street corridor and in the 14th and 15th Street area of the Venable neighborhood.*
 - a. The massing of such a large scale structure should not overpower the traditional scale of the majority of nearby buildings in the district in which it is located.*
 - b. Techniques could include varying the surface planes of the buildings, stepping back the buildings as the structure increases in height, and breaking up the roof line with different elements to create smaller compositions.*

E. Height and Width

- 1. Respect the directional expression of the majority of surrounding buildings. In commercial areas, respect the expression of any adjacent historic buildings, which generally will have a more vertical expression.*

2. Attempt to keep the height and width of new buildings within a maximum of 200 percent of the prevailing height and width in the surrounding sub-area.
3. In commercial areas at street front, the height should be within 130 percent of the prevailing average of both sides of the block. Along West Main Street, heights should relate to any adjacent contributing buildings. Additional stories should be stepped back so that the additional height is not readily visible from the street.
4. When the primary façade of a new building in a commercial area, such as downtown, West Main Street, or the Corner, is wider than the surrounding historic buildings or the traditional lot size, consider modulating it with bays or varying planes.
5. Reinforce the human scale of the historic districts by including elements such as porches, entrances, storefronts, and decorative features depending on the character of the particular sub-area.
6. In the West Main Street corridor, regardless of surrounding buildings, new construction should use elements at the street level, such as cornices, entrances, and display windows, to reinforce the human scale.

F. Scale

1. Provide features on new construction that reinforce the scale and character of the surrounding area, whether human or monumental. Include elements such as storefronts, vertical and horizontal divisions, upper story windows, and decorative features.
2. As an exception, new institutional or governmental buildings may be more appropriate on a monumental scale depending on their function and their site conditions.

H. Orientation

1. New commercial construction should orient its façade in the same direction as adjacent historic buildings, that is, to the street.
2. Front elevations oriented to side streets or to the interior of lots should be discouraged.

I. Windows and Doors

1. The rhythm, patterns, and ratio of solids (walls) and voids (windows and doors) of new buildings should relate to and be compatible with adjacent historic façades.
 - a. The majority of existing buildings in Charlottesville's historic districts have a higher proportion of wall area than void area except at the storefront level.
 - b. In the West Main Street corridor in particular, new buildings should reinforce this traditional proportion.
2. The size and proportion, or the ratio of width to height, of window and door openings on new buildings' primary façades should be similar and compatible with those on surrounding historic façades.
 - a. The proportions of the upper floor windows of most of Charlottesville's historic buildings are more vertical than horizontal.
 - b. Glass storefronts would generally have more horizontal proportions than upper floor openings.
3. Traditionally designed openings generally are recessed on masonry buildings and have a raised surround on frame buildings. New construction should follow these methods in the historic districts as opposed to designing openings that are flush with the rest of the wall.
4. Many entrances of Charlottesville's historic buildings have special features such as transoms, sidelights, and decorative elements framing the openings. Consideration should be given to incorporating such elements in new construction.
5. Darkly tinted mirrored glass is not an appropriate material for windows in new buildings within the historic districts.
6. If small-paned windows are used, they should have true divided lights or simulated divided lights with permanently affixed interior and exterior muntin bars and integral spacer bars between the panes of glass.
7. Avoid designing false windows in new construction.
8. Appropriate material for new windows depends upon the context of the building within a historic district, and the design of the proposed building. Sustainable materials such as wood, aluminum-clad wood, solid fiberglass, and metal windows are preferred for new construction. Vinyl windows are discouraged.
9. Glass shall be clear. Opaque spandrel glass or translucent glass may be approved by the BAR for specific applications.

K. Street level Design

1. Street level façades of all building types, whether commercial, office, or institutional, should not have blank walls; they should provide visual interest to the passing pedestrian.

2. When designing new storefronts or elements for storefronts, conform to the general configuration of traditional storefronts depending on the context of the sub-area. New structures do offer the opportunity for more contemporary storefront designs.
3. Keep the ground level facades(s) of new retail commercial buildings at least eighty percent transparent up to a level of ten feet.
4. Include doors in all storefronts to reinforce street level vitality.
5. Articulate the bays of institutional or office buildings to provide visual interest.
6. Institutional buildings, such as city halls, libraries, and post offices, generally do not have storefronts, but their street levels should provide visual interest and display space or first floor windows should be integrated into the design.
7. Office buildings should provide windows or other visual interest at street level.
8. Neighborhood transitional buildings in general should not have transparent first floors, and the design and size of their façade openings should relate more to neighboring residential structures.
9. Along West Main Street, secondary (rear) facades should also include features to relate appropriately to any adjacent residential areas.
10. Any parking structures facing on important streets or on pedestrian routes must have storefronts, display windows, or other forms of visual relief on the first floors of these elevations.
11. A parking garage vehicular entrance/exit opening should be diminished in scale, and located off to the side to the degree possible.

L. Foundation and Cornice

1. Distinguish the foundation from the rest of the structure through the use of different materials, patterns, or textures.
2. Respect the height, contrast of materials, and textures of foundations on surrounding historic buildings.
3. If used, cornices should be in proportion to the rest of the building.
4. Wood or metal cornices are preferred. The use of fypon may be appropriate where the location is not immediately adjacent to pedestrians.

M. Materials and Textures

1. The selection of materials and textures for a new building should be compatible with and complementary to neighboring buildings.
2. In order to strengthen the traditional image of the residential areas of the historic districts, brick, stucco, and wood siding are the most appropriate materials for new buildings.
3. In commercial/office areas, brick is generally the most appropriate material for new structures. "Thin set" brick is not permitted. Stone is more commonly used for site walls than buildings.
4. Large-scale, multi-lot buildings, whose primary facades have been divided into different bays and planes to relate to existing neighboring buildings, can have varied materials, shades, and textures.
5. Synthetic siding and trim, including, vinyl and aluminum, are not historic cladding materials in the historic districts, and their use should be avoided.
6. Cementitious siding, such as HardiPlank boards and panels, are appropriate.
7. Concrete or metal panels may be appropriate.
8. Metal storefronts in clear or bronze are appropriate.
9. The use of Exterior Insulation and Finish Systems (EIFS) is discouraged but may be approved on items such as gables where it cannot be seen or damaged. It requires careful design of the location of control joints.
10. The use of fiberglass-reinforced plastic is discouraged. If used, it must be painted.
11. All exterior trim woodwork, decking and flooring must be painted, or may be stained solid if not visible from public right-of-way.

O. Details and Decorations

1. Building detail and ornamentation should be consistent with and related to the architecture of the surrounding context and district.
2. The mass of larger buildings may be reduced using articulated design details.
3. Pedestrian scale may be reinforced with details.

Discussion and Recommendations

Downtown Corridor zoning requires exactly three floors within the 40-45 foot high streetwall portion of the building. Building A incorrectly contains four floors.

Zoning requires that all the rooftop mechanical units must be screened.

The BAR may also wish to comment on the landscaping/site plan and articulation details of the building facades (sections, window and stucco details), specific materials, stucco color, and lighting.

Signage

The BAR must review signage for new construction. Three signs are permitted on a corner property. The signage as shown does not comply with zoning requirements as follows:

1. Signs are not permitted anywhere above the second floor window sills.
2. In the Downtown ADC District:
 - Freestanding and monument signs are not permitted;
 - Internally lit signs (including channel letters) are not permitted;
 - Projecting signs may be 10 square feet; the aggregate signage area permitted is 50 square feet.

The BAR may wish to comment on the proposed signage in relation to the following Downtown ADC District zoning requirement for signage: “The character of all signs shall be harmonious to the character of the structure on which they are placed. Among other things, consideration shall be given to the **location of signs** on the structure in relation to the surrounding buildings; the use of **compatible colors**; the use of **appropriate materials**; the size and style of **lettering and graphics**; and the type of **lighting**.”

The applicant may choose to apply for a Comprehensive Signage Plan, which allows modifications from existing regulations for good reason, to be recommended by the BAR and approved by City Council. Staff could recommend four hotel signs, including one canopy sign at each main hotel entrance, and a monument sign at each car entrance to the parking lot. Staff would not recommend signage above the second floor window sills, and would not recommend internally lit signage. In the Downtown ADC district, externally lit signage or halo-lit letters are most appropriate.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for New Construction, I move to find that the proposed hotel satisfies the BAR’s criteria and is compatible with this property and other properties in the Downtown ADC district, and that the BAR approves the proposal with the following modifications....

Scala, Mary Joy

From: Clark Gathright <cgathright@dgarchs.com>
Sent: Wednesday, August 15, 2012 2:54 PM
To: Scala, Mary Joy
Subject: West Main Residence Inn

Mary Joy:

We are going through a number of internal space re-design issues on the hotel which are likely to affect the exterior of the hotel.

I've been asked to request a deferral for next week's meeting.

Clark Gathright

Daggett + Grigg Architects
100 10th Street NE, Suite 200
Charlottesville, VA 22902
434.971.8848

Scala, Mary Joy

From: Kathy Brown <kathy@viriniapregnancy.org>
Sent: Wednesday, August 15, 2012 10:49 AM
To: Scala, Mary Joy
Subject: Comments for BAR

Dear Ms. Mary Joy Scala,

We received the notice dated Aug 7, 2012, about a 7 story hotel being proposed across the street from The Pregnancy Centers of Central Virginia on West Main St. I am the Executive Director of The Pregnancy Centers and our largest Center is located at 320 West Main St. It sees on average 90-140 women each month.

A hotel in the neighborhood will change the character of the street dramatically. It will add more traffic and on-street parking needs for events and patrons of the hotel. Have these needs been addressed while still preserving the businesses and service organizations on the same block?

We also would ask that the handicapped parking space in front of our Center be moved to in front of the hotel, and this space revert back to a regular parking spot. This handicapped parking spot used to be in front of the bus station, but was moved to in front of our center several years ago. We only have this one parking spot in front of our building on the street. We do have a private parking lot behind our building, but many clients as well as people donating baby furniture & maternity items to us are not comfortable driving the narrow alley to our parking area. The parking spot would be very useful and helpful. I believe most of the handicapped drivers needing a parking spot would be patrons of the hotel and thus it makes sense that the handicapped spot be on the same side of the street as the hotel.

Thank you for your consideration of my comments.

Sincerely,
Kathy

Kathy Brown
Executive Director
The Pregnancy Centers of Central Virginia
1420 Greenbrier Place
Charlottesville, VA 2901
434-979-4516, ext 107
www.viriniapregnancy.org

"Do not be overcome by evil, but overcome evil with good."



CHARLOTTESVILLE, VIRGINIA

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ELECTRICAL

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| E1.0 | Site Photometric Plan |
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Project Data

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|--------------------|--|
| SITE ACREAGE: | 48,914 SQ. FT. (112 ACRES) |
| GUEST ROOMS: | 124 |
| PARKING SPACES: | GARAGE PARKING: 82 SPACES GRADE PARKING: 31 SPACES TOTAL PARKING: 113 SPACES |
| CONSTRUCTION TYPE: | 1 B |
| FLOORS: | 7 FLOORS |
| BUILDING HEIGHT: | 68'-4" TO TOP OF STRUCTURAL ROOF 7'-4" TO TOP OF PARAPET |

SQUARE FOOTAGE:

| FLOOR | GROSS SQ. FOOTAGE | |
|-------------------------------|-------------------|-----------------|
| LOWER LEVEL PARKING PLAN | 31,498 SQ. FT. | |
| LOWER LEVEL PLAN | | 6,219 SQ. FT. |
| ELEVATED PARKING STRUCTURE | 18,201 SQ. FT. | |
| GROUND FLOOR PLAN | | 21,032 SQ. FT. |
| SECOND FLOOR / MEZZANINE PLAN | | 15,520 SQ. FT. |
| THIRD FLOOR PLAN | | 19,976 SQ. FT. |
| FOURTH FLOOR PLAN | | 19,976 SQ. FT. |
| FIFTH FLOOR PLAN | | 12,080 SQ. FT. |
| SIXTH FLOOR PLAN | | 12,080 SQ. FT. |
| SEVENTH FLOOR PLAN | | 11,811 SQ. FT. |
| TOTAL | 49,698 SQ. FT. | 118,694 SQ. FT. |



803 S. MOUNT MORIAH
SUITE 100B
MEMPHIS, TN 38117
(901) 883-7175 p.
(901) 883-2385 f.
lw@lwarchitects.com

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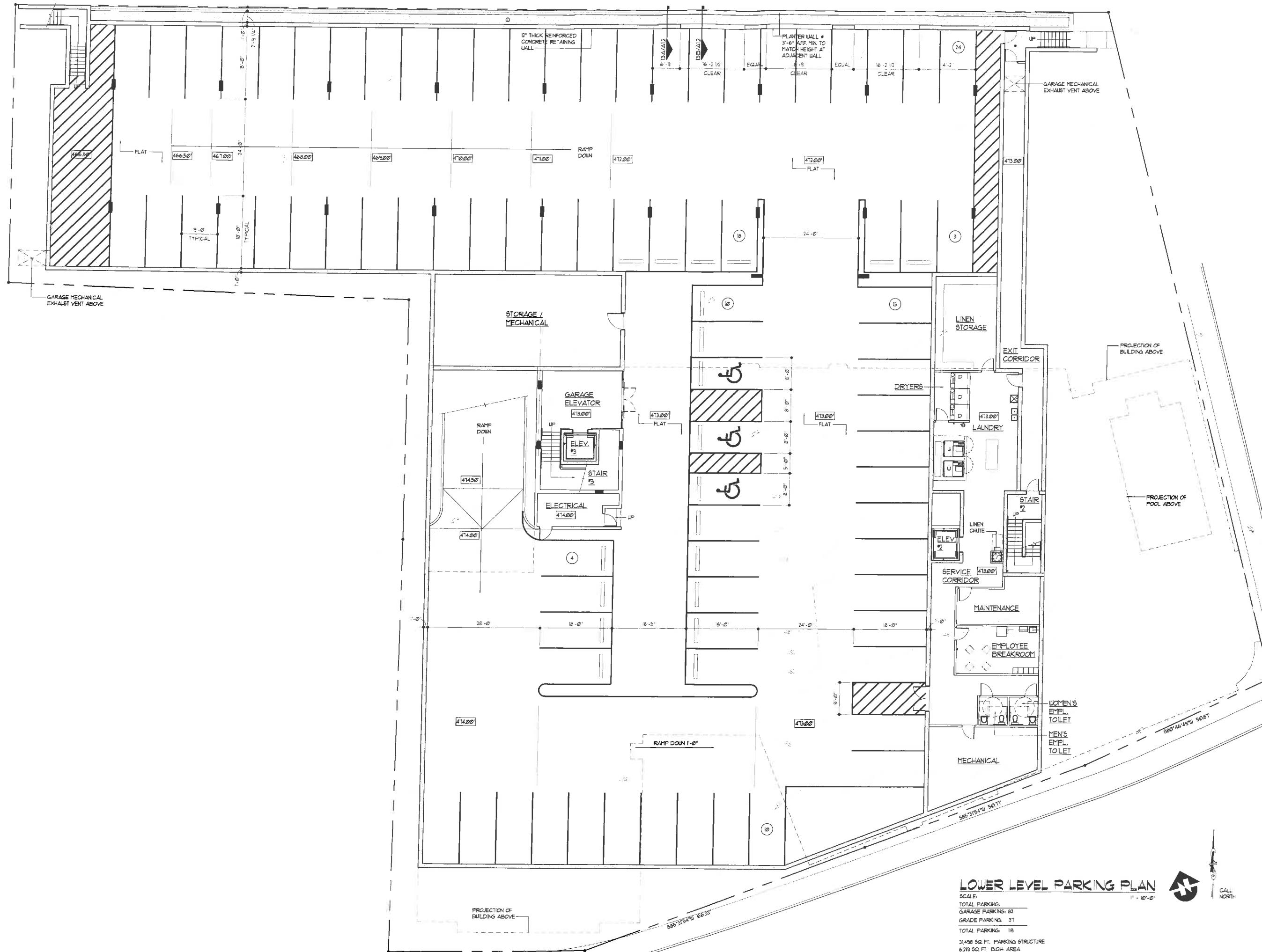
CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

COVER SHEET
WITH PROJECT
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| CHECKED BY | PEL |
| FILE NAME | 1611-A000 |
| SCALE | NONE |
| PROJECT NO. | 1611 |
| DRAWING | |

A0.0



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CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

LOWER LEVEL
PARKING PLAN

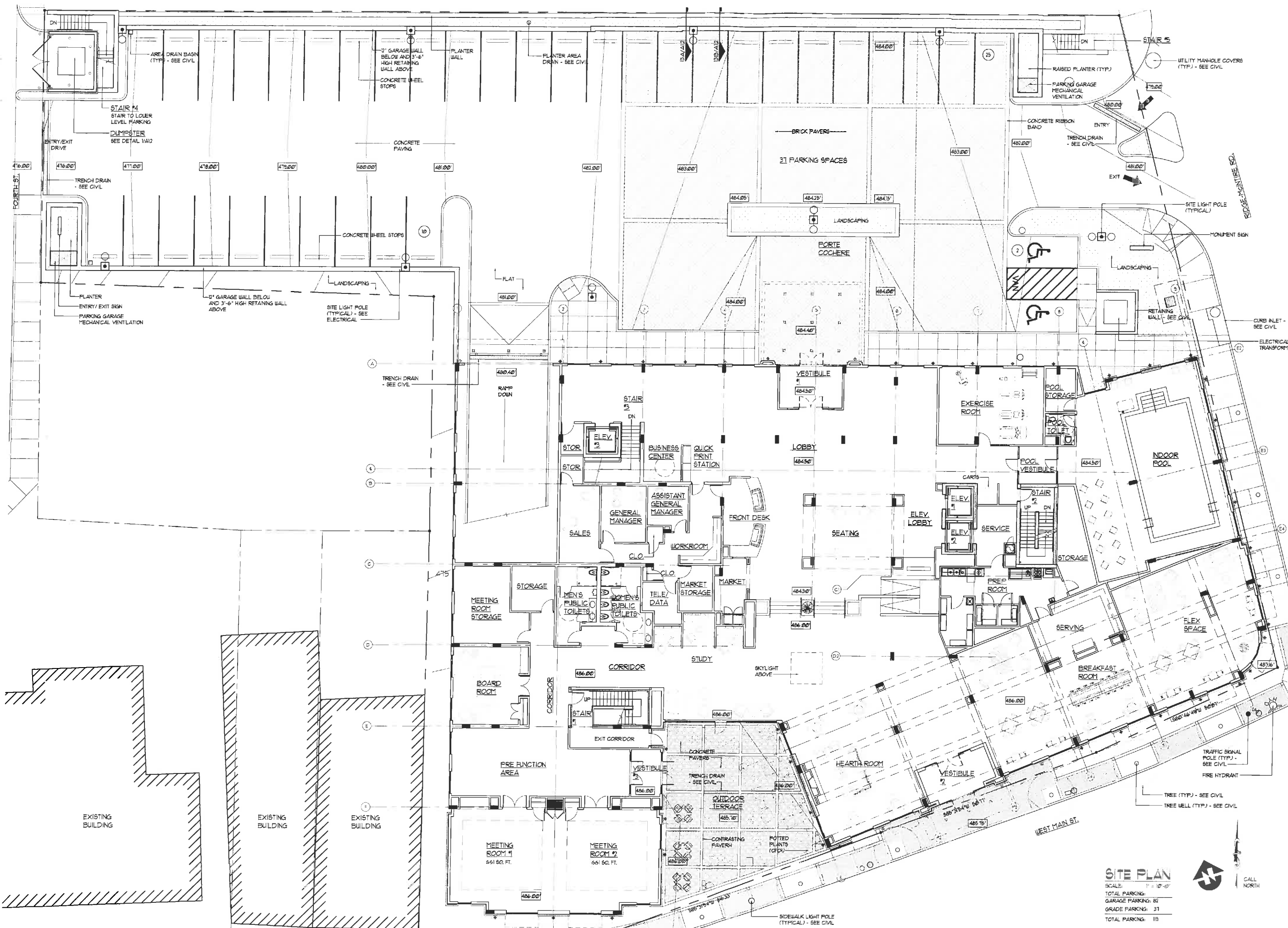
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| DATE | 7/31/12 |
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| FILE NAME | 1611-A100 |
| SCALE | AS NOTED |
| PROJECT NO. | 1611 |
| DRAWING | |

LOWER LEVEL PARKING PLAN

SCALE:
TOTAL PARKING:
GARAGE PARKING: 82
GRADE PARKING: 31
TOTAL PARKING: 113
31,498 SQ. FT. PARKING STRUCTURE
6,219 SQ. FT. B.O.H. AREA



A1.0



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SUITE 100B
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(901) 683-2385 f.
lw@lwarchitects.com

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SHEET NAME

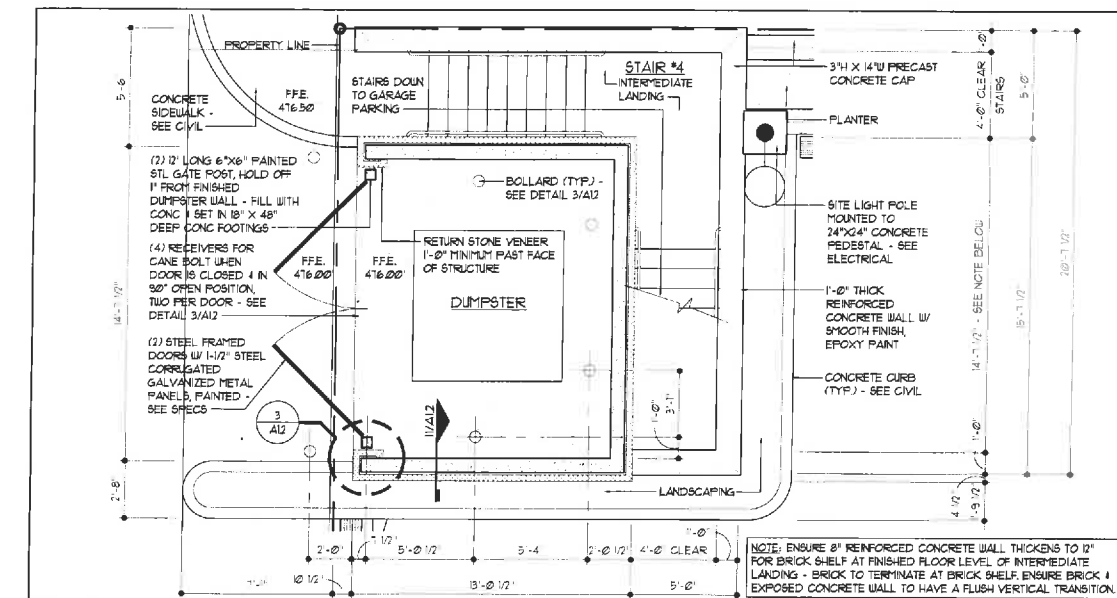
SITE PLAN

| | |
|-------------|-----------|
| DATE | 7/31/12 |
| DRAWN BY | AM |
| CHECKED BY | PEL |
| FILE NAME | 1611-A101 |
| SCALE | AS NOTED |
| PROJECT NO. | 1611 |
| DRAWING | |

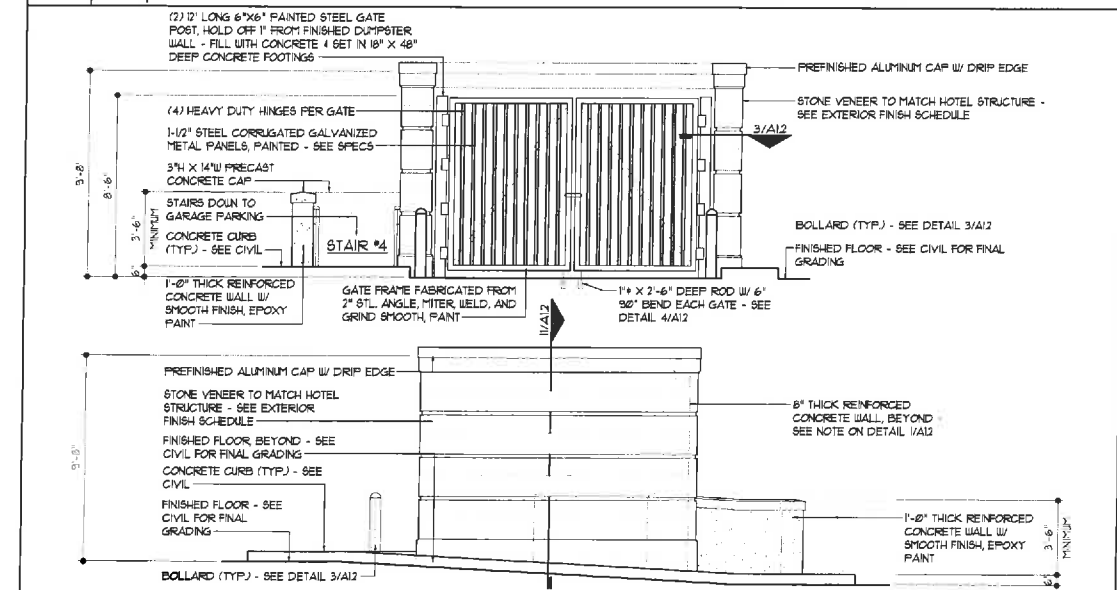
A1.1

SITE PLAN
SCALE: 1" = 10'-0"
TOTAL PARKING: 113
GARAGE PARKING: 82
GRADE PARKING: 31
TOTAL PARKING: 113
21,032 SQ. FT.

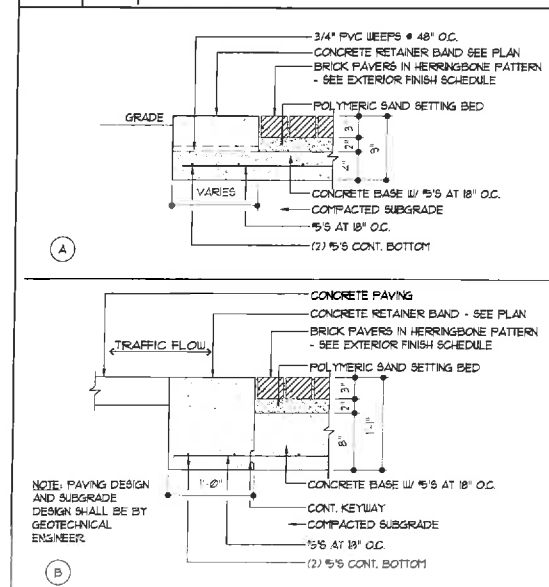




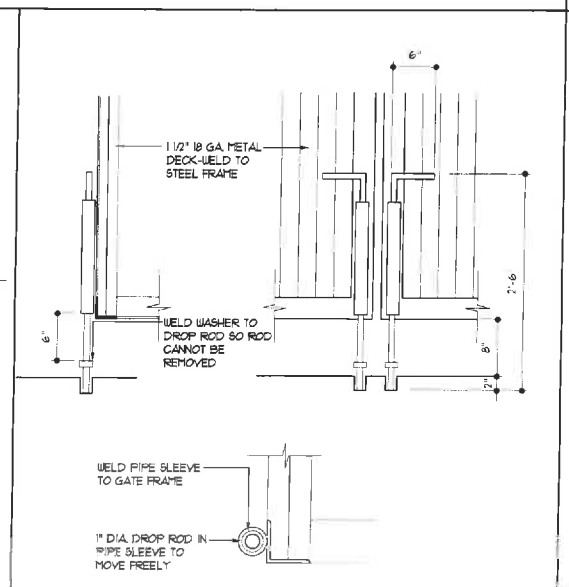
1 Plan Detail
Dumpster & Stair #4
SCALE: 1/4" = 1'-0"



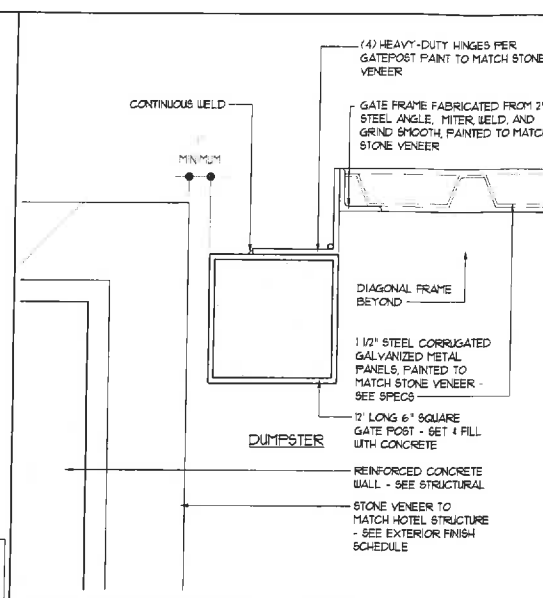
6 Elevation Detail
Dumpster & Stair #4
SCALE: 1/4" = 1'-0"



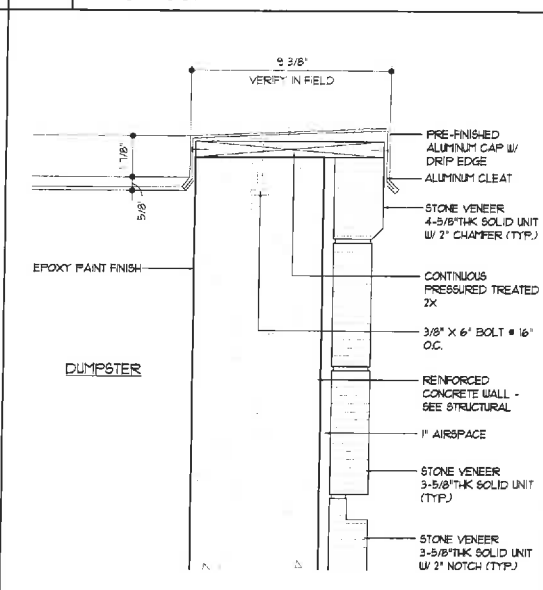
11 Section Detail
Brick Pavers
SCALE: 1-1/2" = 1'-0"



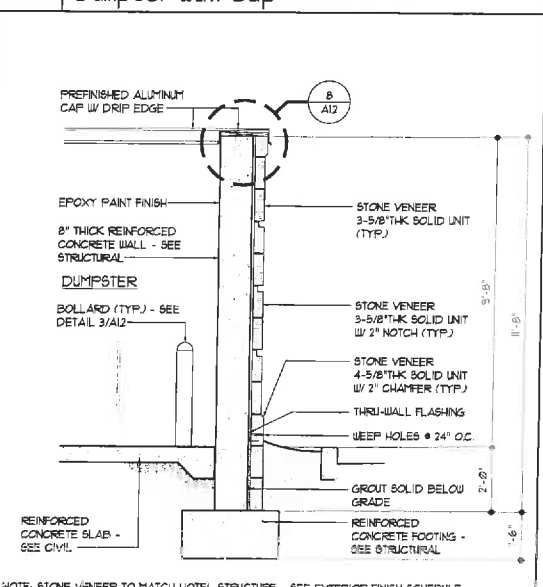
12 Elevation Detail
Dumpster Gate Bolts
SCALE: 1" = 1'-0"



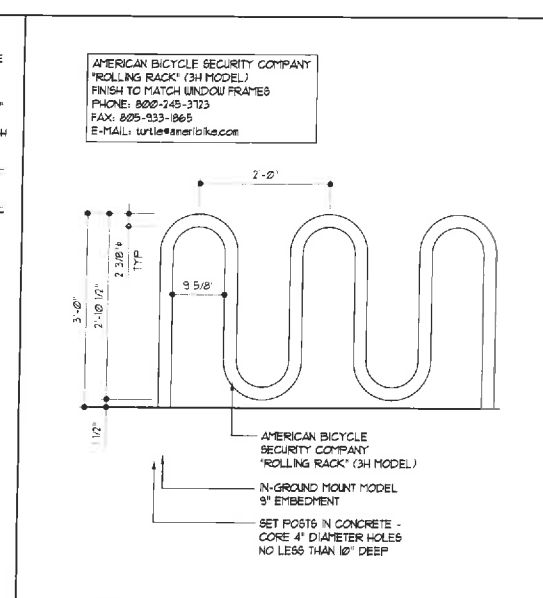
3 Elevation Detail
Bike Rack
SCALE: 3/4" = 1'-0"



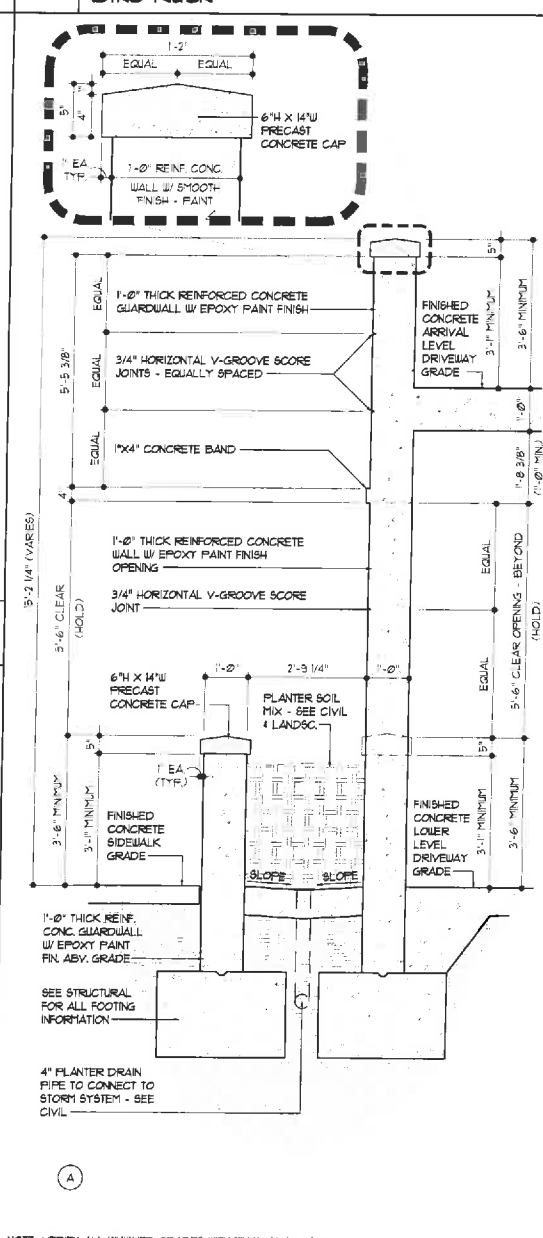
8 Section Detail
Dumpster Wall Cap
SCALE: 1-1/2" = 1'-0"



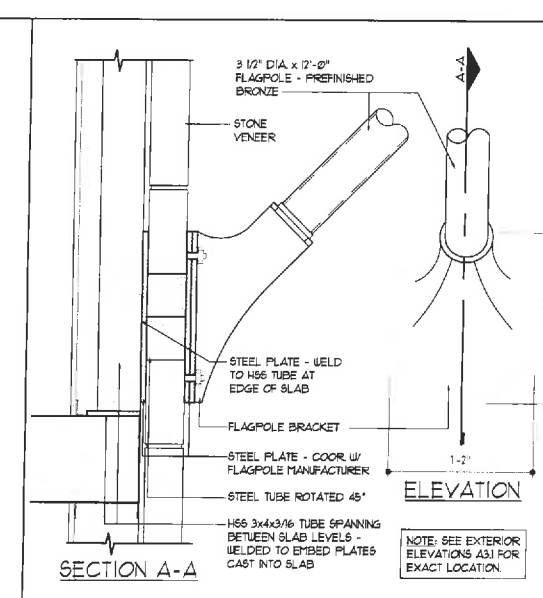
13 Section Detail
Dumpster Wall
SCALE: 3/8" = 1'-0"



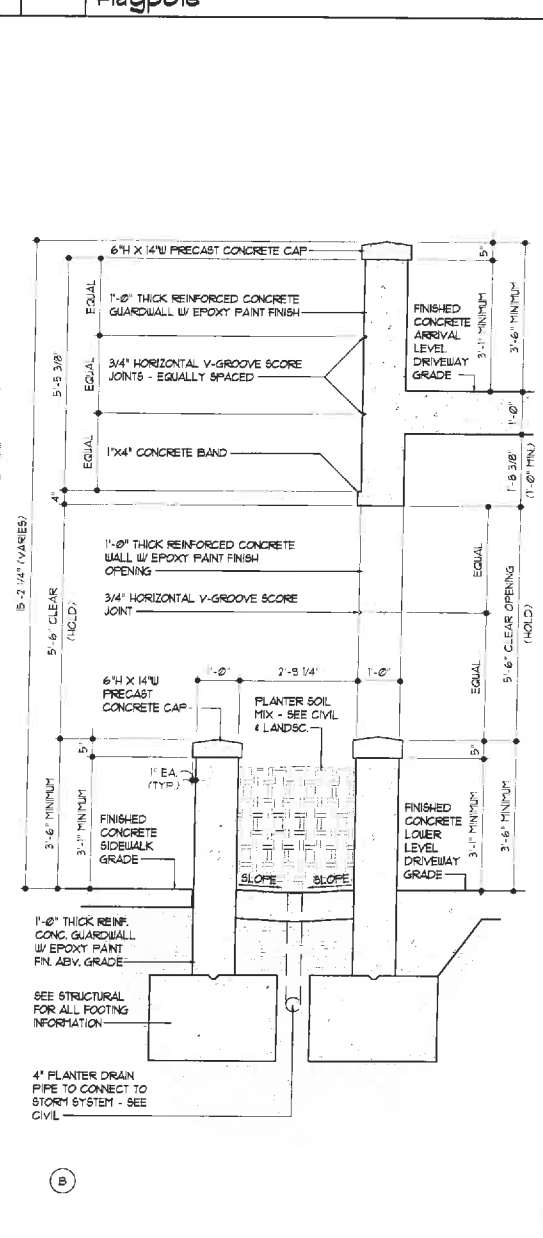
4 Elevation Detail
Bike Rack
SCALE: 3/4" = 1'-0"



13 Section Detail
Concrete Planter & Focal Retaining Wall @ North Parking Elevation
SCALE: 1/2" = 1'-0"



5 Elev. & Sec. Details
Flagpole
SCALE: 1-1/2" = 1'-0"



13 Section Detail
Concrete Planter & Focal Retaining Wall @ North Parking Elevation
SCALE: 1/2" = 1'-0"



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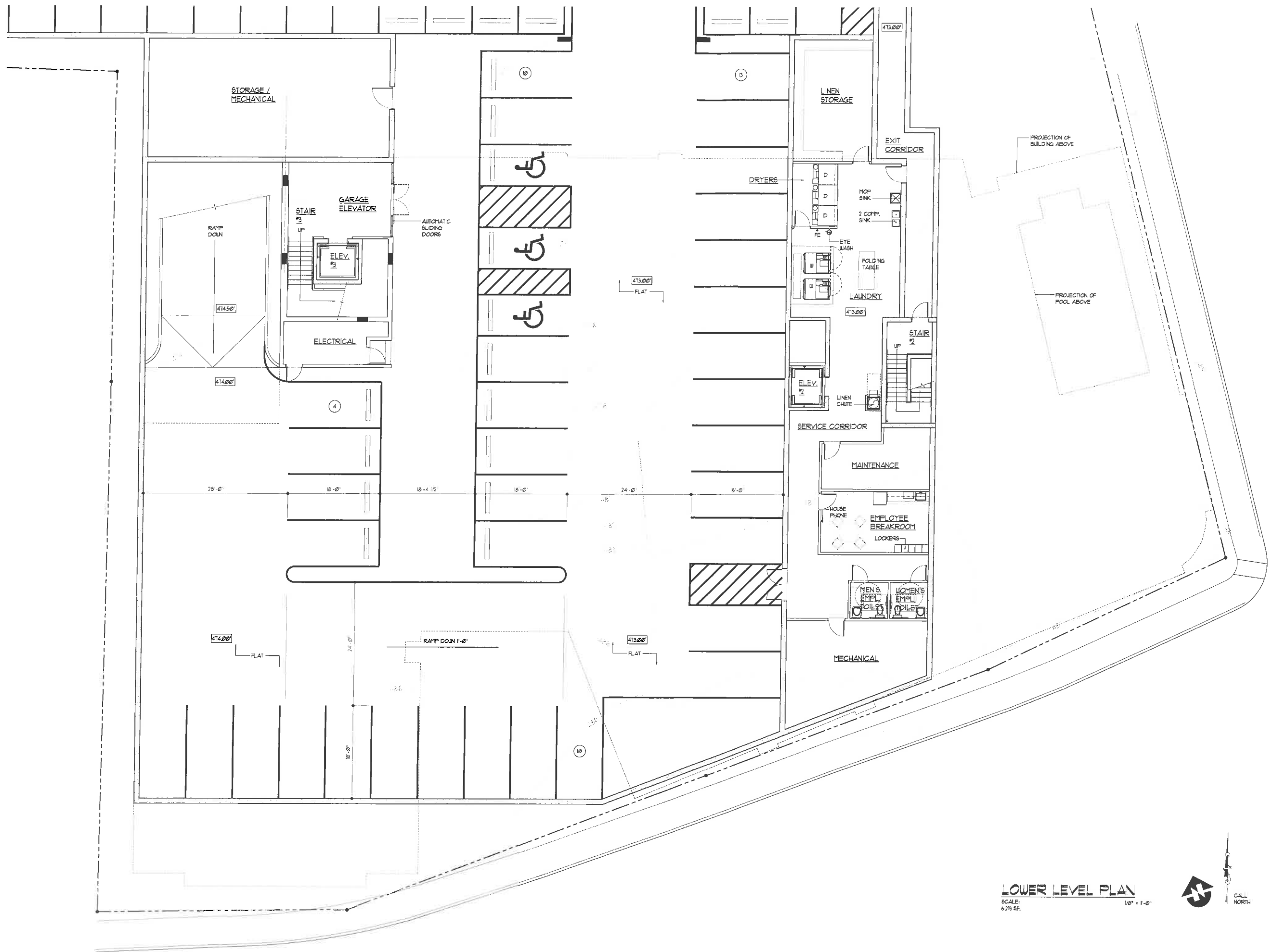
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VIRGINIA

SHEET NAME

SITE DETAILS

DATE 7/31/12
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CHECKED BY PEL
FILE NAME 1611-A102
SCALE AS NOTED
PROJECT NO. 1611
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A1.2



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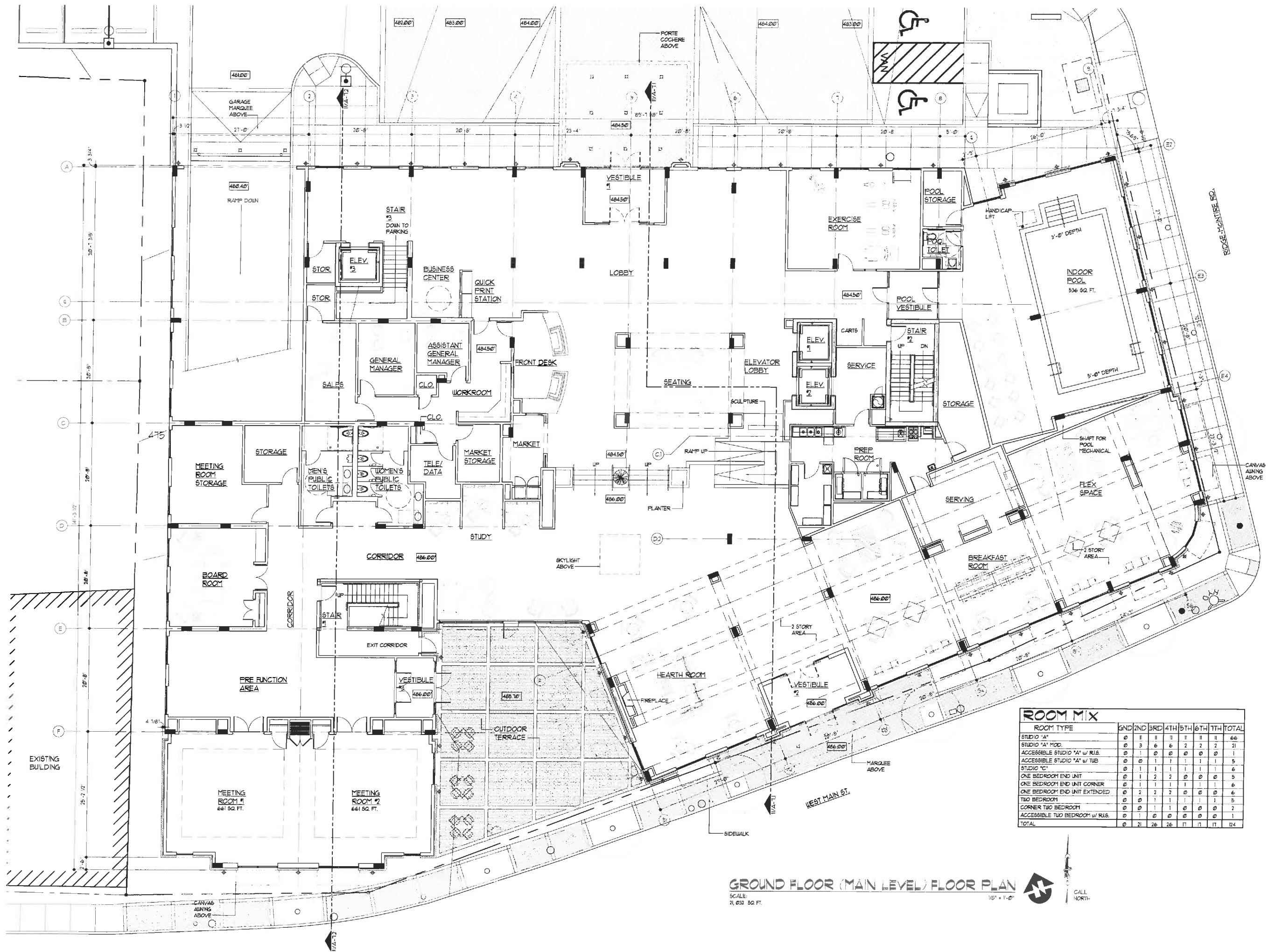
LOWER LEVEL
PLAN

| | |
|-------------|-----------|
| DATE | 7/31/12 |
| DRAWN BY | ICB |
| CHECKED BY | PEL |
| FILE NAME | 1611-A200 |
| SCALE | AS NOTED |
| PROJECT NO. | 1611 |
| DRAWING | |



LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"
6/29/12

A2.0



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CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

GROUND FLOOR
(MAIN LEVEL)
FLOOR PLAN

DATE
7/31/12

DRAWN BY
ICB

CHECKED BY
PEL

FILE NAME
1611-A201

SCALE
AS NOTED

PROJECT NO.
1611

DRAWING

| ROOM MIX | | | | | | | | | |
|-------------------------------|--|-----|-----|-----|-----|-----|-----|-----|-------|
| ROOM TYPE | | GND | 2ND | 3RD | 4TH | 5TH | 6TH | 7TH | TOTAL |
| STUDIO "A" | | 0 | 11 | 11 | 11 | 11 | 11 | 11 | 66 |
| STUDIO "A" MOD. | | 0 | 3 | 6 | 6 | 2 | 2 | 2 | 21 |
| ACCESSIBLE STUDIO "A" w/ R/L | | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 1 |
| ACCESSIBLE STUDIO "A" w/ TUB | | 0 | 0 | 1 | 1 | 1 | 1 | 1 | 5 |
| STUDIO "C" | | 0 | 1 | 1 | 1 | 1 | 1 | 1 | 6 |
| ONE BEDROOM END UNIT | | 0 | 1 | 2 | 2 | 0 | 0 | 0 | 5 |
| ONE BEDROOM END UNIT CORNER | | 0 | 1 | 1 | 1 | 1 | 1 | 1 | 6 |
| ONE BEDROOM END UNIT EXTENDED | | 0 | 2 | 2 | 2 | 0 | 0 | 0 | 6 |
| TWO BEDROOM | | 0 | 0 | 1 | 1 | 1 | 1 | 1 | 5 |
| CORNER TWO BEDROOM | | 0 | 0 | 1 | 1 | 0 | 0 | 0 | 2 |
| ACCESSIBLE TWO BEDROOM w/ R/L | | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 1 |
| TOTAL | | 0 | 21 | 26 | 26 | 11 | 11 | 11 | 124 |

GROUND FLOOR (MAIN LEVEL) FLOOR PLAN

SCALE:
1/8" = 1'-0"



CALL NORTH

A2.1



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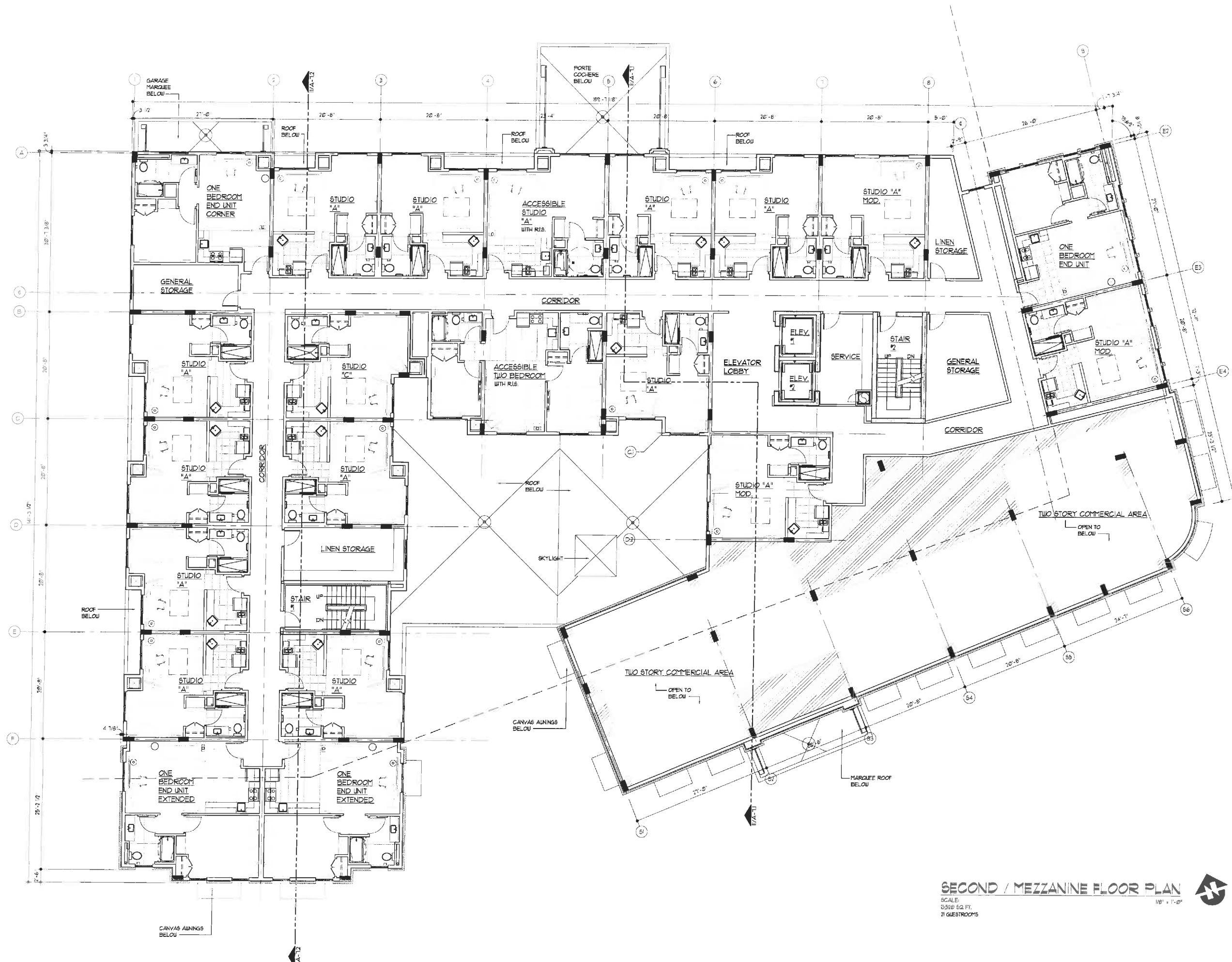
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VIRGINIA

SHEET NAME

SECOND / MEZZANINE
FLOOR PLAN

| | |
|-------------|-----------|
| DATE | 7/31/12 |
| DRAWN BY | ICB |
| CHECKED BY | PEL |
| FILE NAME | 1611-A202 |
| SCALE | AS NOTED |
| PROJECT NO. | 1611 |
| DRAWING | |

A2.2



SECOND / MEZZANINE FLOOR PLAN

SCALE:
0.500" EQ. FT.
71 GUESTROOMS

1/8" = 1'-0"



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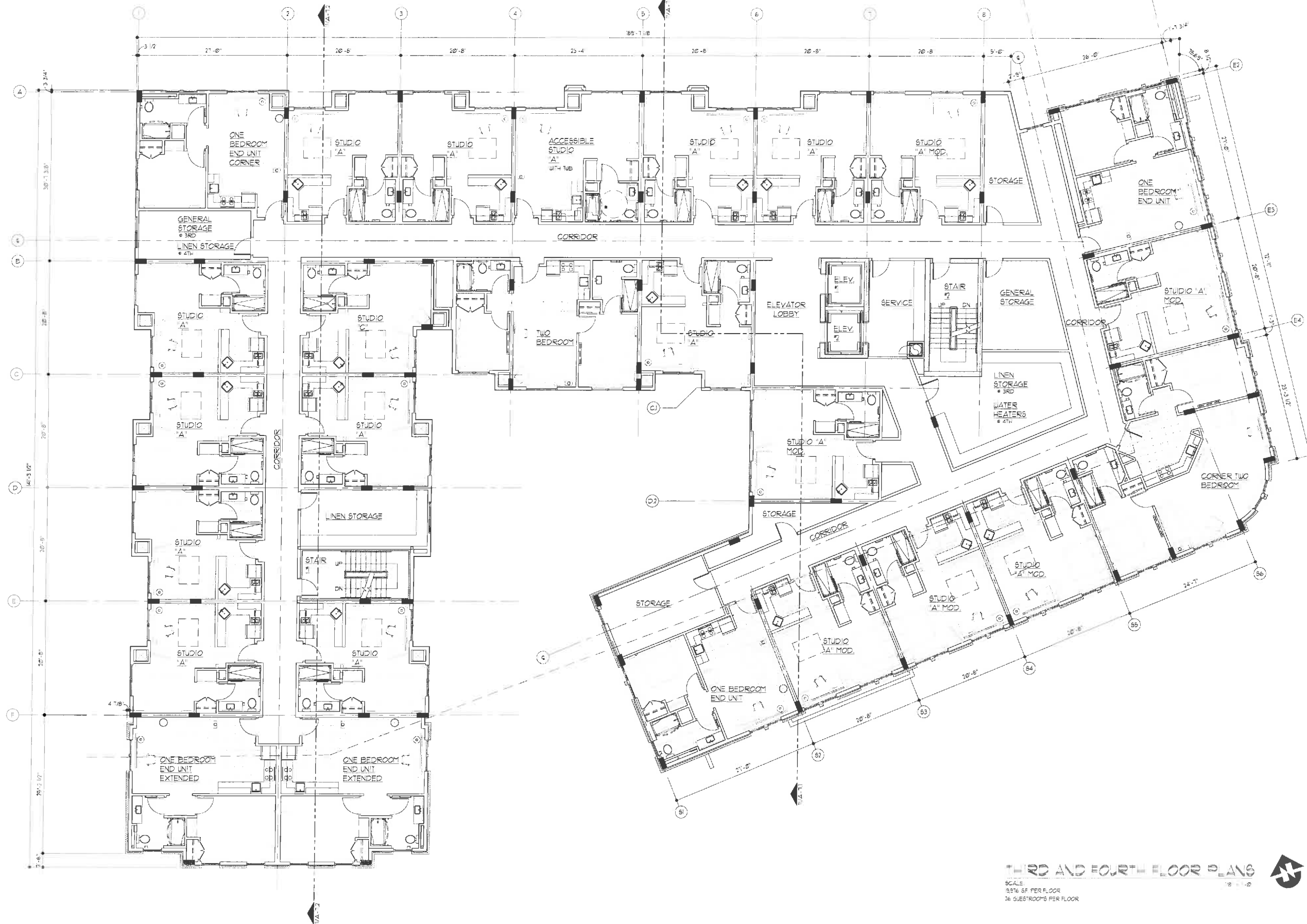
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VIRGINIA

SHEET NAME

THIRD AND FOURTH
FLOOR PLANS

| | |
|-------------|-----------|
| DATE | 7/31/12 |
| DRAWN BY | ICB |
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| FILE NAME | 1611-A203 |
| SCALE | AS NOTED |
| PROJECT NO. | 1611 |
| DRAWING | |

A2.3





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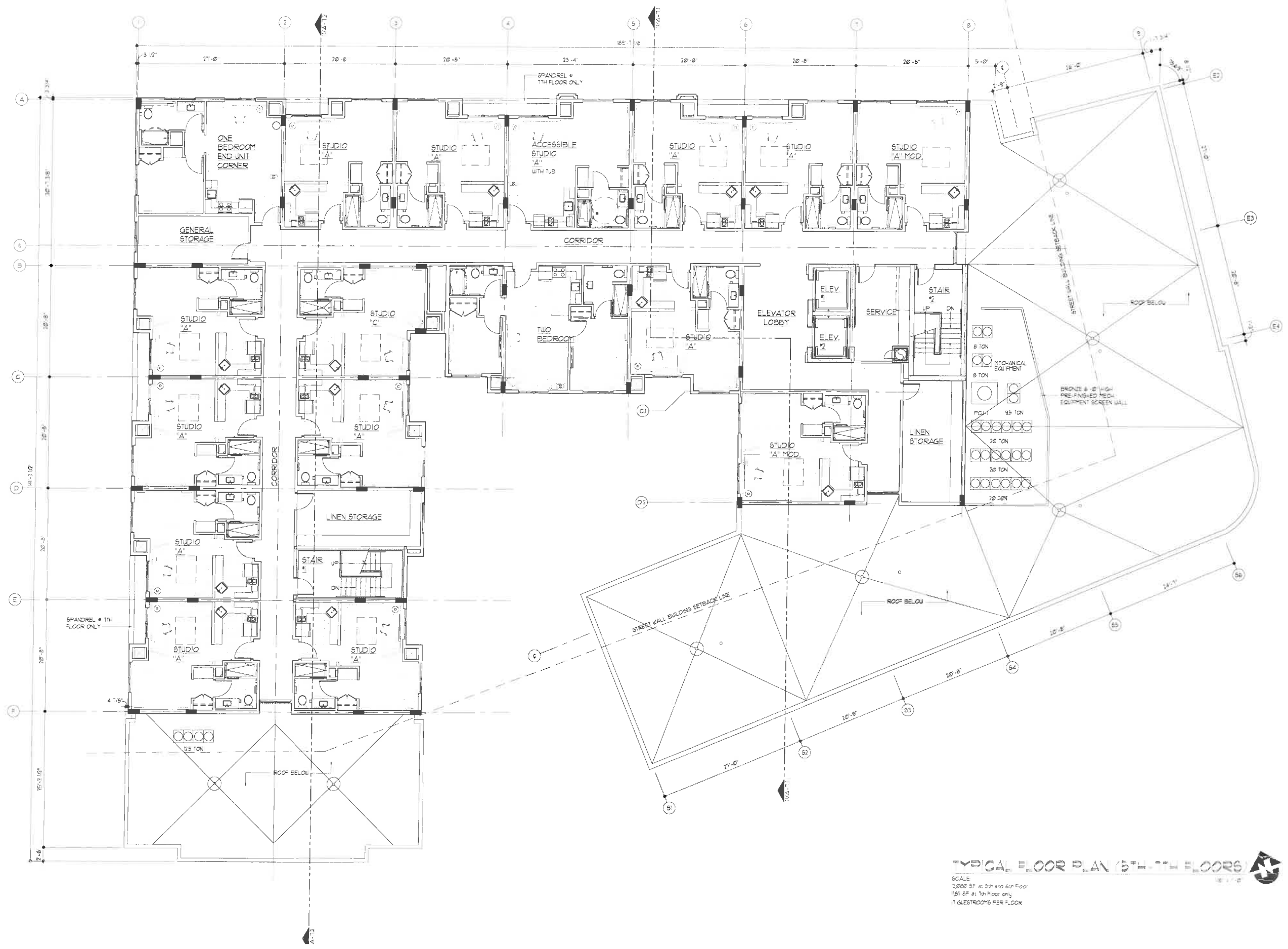
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SHEET NAME

TYPICAL FLOOR
PLAN (5TH-7TH)
FLOORS

| | |
|-------------|-----------|
| DATE | 7/31/12 |
| DRAWN BY | ICB |
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| FILE NAME | 1611-A204 |
| SCALE | AS NOTED |
| PROJECT NO. | 1611 |
| DRAWING | |

A2.4



TYPICAL FLOOR PLAN (5TH-7TH FLOORS)
SCALE
2,000 SF at 5th and 6th Floor
1,800 SF at 7th Floor only
11 GUESTROOMS PER FLOOR



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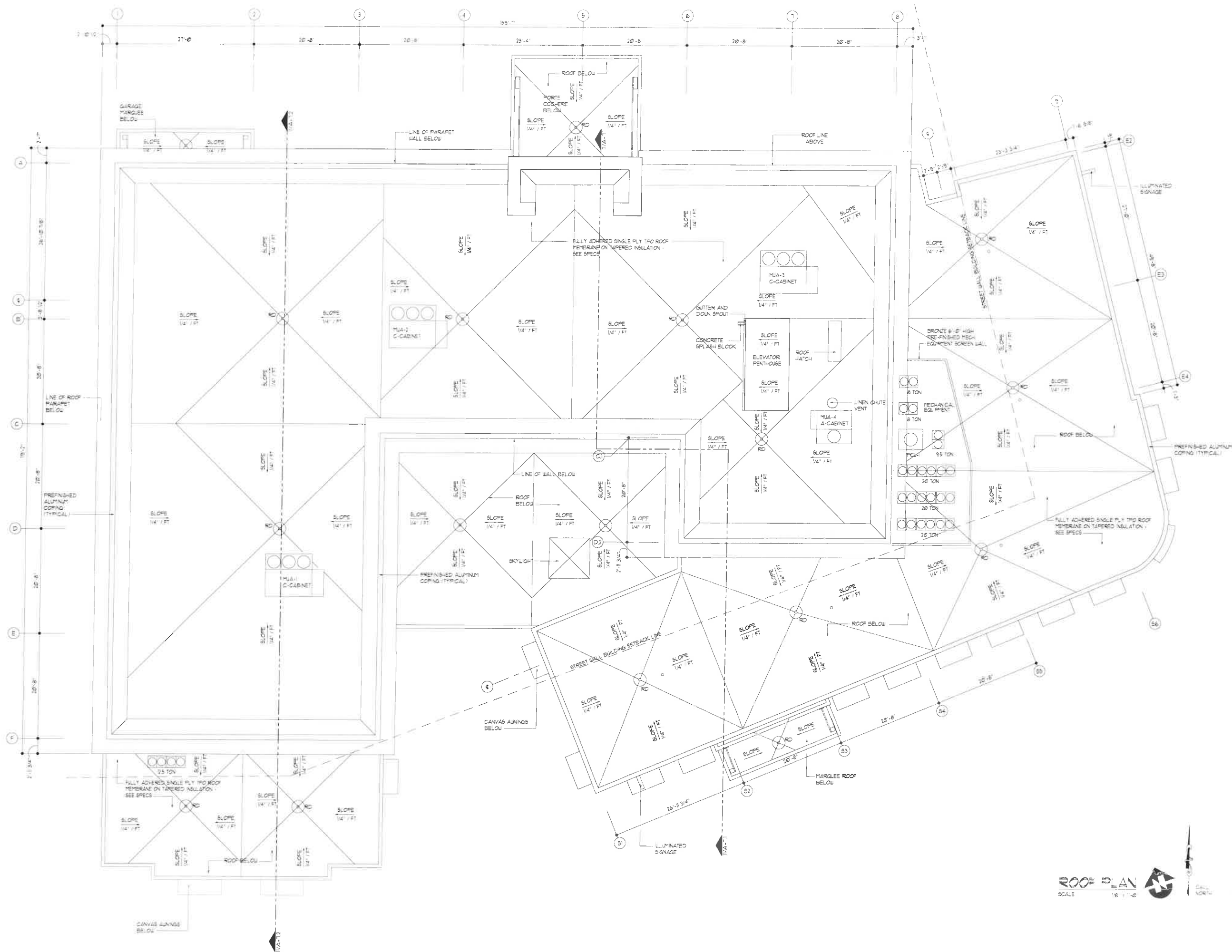


SHEET NAME

ROOF
PLAN

| | |
|-------------|-----------|
| DATE | 7/31/12 |
| DRAWN BY | AP |
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| FILE NAME | 1611-A205 |
| SCALE | AS NOTED |
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A2.5





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CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

EXTERIOR
ELEVATIONS
(ROTATED)

| | |
|-------------|-----------|
| DATE | 7/31/12 |
| DRAWN BY | AP |
| CHECKED BY | PEL |
| FILE NAME | 1611-A301 |
| SCALE | AS NOTED |
| PROJECT NO. | 1611 |
| DRAWING | |

A3.1



| EXTERIOR FINISH SCHEDULE | | | |
|----------------------------|---|-------------------|-----------------------------------|
| BUILDING ELEMENT | MATERIAL | FINISH | COLOR |
| BUILDING SKIN | ARRISCAFT RENAISSANCE STONE | SMOOTH | TAN |
| BUILDING SKIN | OLD VIRGINIA BRICK MODULAR | WOOD MOLD | COLONIAL RED RANGE |
| BUILDING SKIN | CEMENT STUCCO | SMOOTH | 1961 CLOUD WHITE - BENJAMIN MOORE |
| MORTAR | CEMENT | CONCAVE | IVORY BUFF - ARGOS MASONRY CEMENT |
| WINDOWS | ALUMINUM/QUAKER 8050 SH 8050 HISTORICAL | PRE-FIN | DARK BRONZE |
| STOREFRONT | ALUMINUM/KALNEER | PRE-FIN | DARK BRONZE |
| GLAZING | ANNEALED OR TEMPERED | LOW-E | CLEAR |
| MARQUEE | ALUMINUM | PRE-FIN | DARK BRONZE |
| CANVAS AWNINGS | CANVAS | SMOOTH | BURGANDY |
| CEILING & RECESSED ENTRIES | STUCCO | SMOOTH | T.B.D. |
| MECHANICAL LOUVERS | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| HOLLOW METAL DOORS | HOLLOW METAL | PAINT | COLOR TO MATCH ADJACENT SURFACE |
| COPING, EXPOSED FLASHING | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| LIGHT FIXTURES | ALUMINUM | PRE-FIN | DARK BRONZE |
| FLAG POLES | ALUMINUM | PRE-FIN | DARK BRONZE |
| TRELLIS & COURTYARD | ALUMINUM | PRE-FIN | DARK BRONZE |
| BRICK PAVERS | OLD VIRGINIA BRICK | TAYLOR CLAY 4"x8" | 517 DARK RED LUGGED ITEM #1R3 |

| GRAPHIC SCHEDULE | |
|------------------|---|
| | BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOLD |
| | STONE : ARRISCAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH |
| | MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF |
| | STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE #361 |

| KEY LEGEND | |
|------------|---|
| | WINDOW KEY (SEE SHEET A34) |
| | DOOR KEY (SEE SHEET A32) |
| | SECTION KEY (SEE SHEET NUM. INSIDE OF KEY) |
| | INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.) |

SOUTH ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"



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VIRGINIA

SHEET NAME

EXTERIOR
ELEVATIONS

DATE 7/31/12
DRAWN BY AP
CHECKED BY PEL
FILE NAME 1611-A302
SCALE AS NOTED
PROJECT NO. 1611
DRAWING

| EXTERIOR FINISH SCHEDULE | | | |
|----------------------------|---|-------------------|-----------------------------------|
| BUILDING ELEMENT | MATERIAL | FINISH | COLOR |
| BUILDING SKIN | ARRISCRAFT RENAISSANCE STONE | SMOOTH | TAN |
| BUILDING SKIN | OLD VIRGINIA BRICK MODULAR | WOOD MOULD | COLONIAL RED RANGE |
| BUILDING SKIN | CEMENT STUCCO | SMOOTH | 1961 CLOUD WHITE - BENJAMIN MOORE |
| MORTAR | CEMENT | CONCAVE | IVORY BUFF - ARGOS MASONRY CEMENT |
| WINDOWS | ALUMINUM/QUAKER 8050 SH 8050 HISTORICAL | PRE-FIN | DARK BRONZE |
| STOREFRONT | ALUMINUM KALNEER | PRE-FIN | DARK BRONZE |
| GLAZING | ANNEALED OR TEMPERED | LOW-E | CLEAR |
| MARQUEE | ALUMINUM | PRE-FIN | DARK BRONZE |
| CANVAS AWNINGS | CANVAS | SMOOTH | BURGANDY |
| CEILING & RECESSED ENTRIES | STUCCO | SMOOTH | T.B.D. |
| MECHANICAL LOUVERS | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| HOLLOW METAL DOORS | HOLLOW METAL | PAINT | COLOR TO MATCH ADJACENT SURFACE |
| COPING, EXPOSED FLASHING | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| LIGHT FIXTURES | ALUMINUM | PRE-FIN | DARK BRONZE |
| FLAG POLES | ALUMINUM | PRE-FIN | DARK BRONZE |
| TRELLIS & COURTYARD | ALUMINUM | PRE-FIN | DARK BRONZE |
| BRICK PAVERS | OLD VIRGINIA BRICK | TAYLOR CLAY 4'x8" | 911 DARK RED LUGGED ITEM #1R3 |

| GRAPHIC SCHEDULE | |
|------------------|--|
| | BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOULD |
| | STONE : ARRISCRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH |
| | MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF |
| | STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE 1961 |

| KEY LEGEND | |
|------------|--|
| | WINDOW KEY (SEE SHEET A94) |
| | DOOR KEY (SEE SHEET A32) |
| | SECTION KEY (SEE SHEET M.M. INSIDE OF KEY) |
| | INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.) |

EAST ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

A3.2



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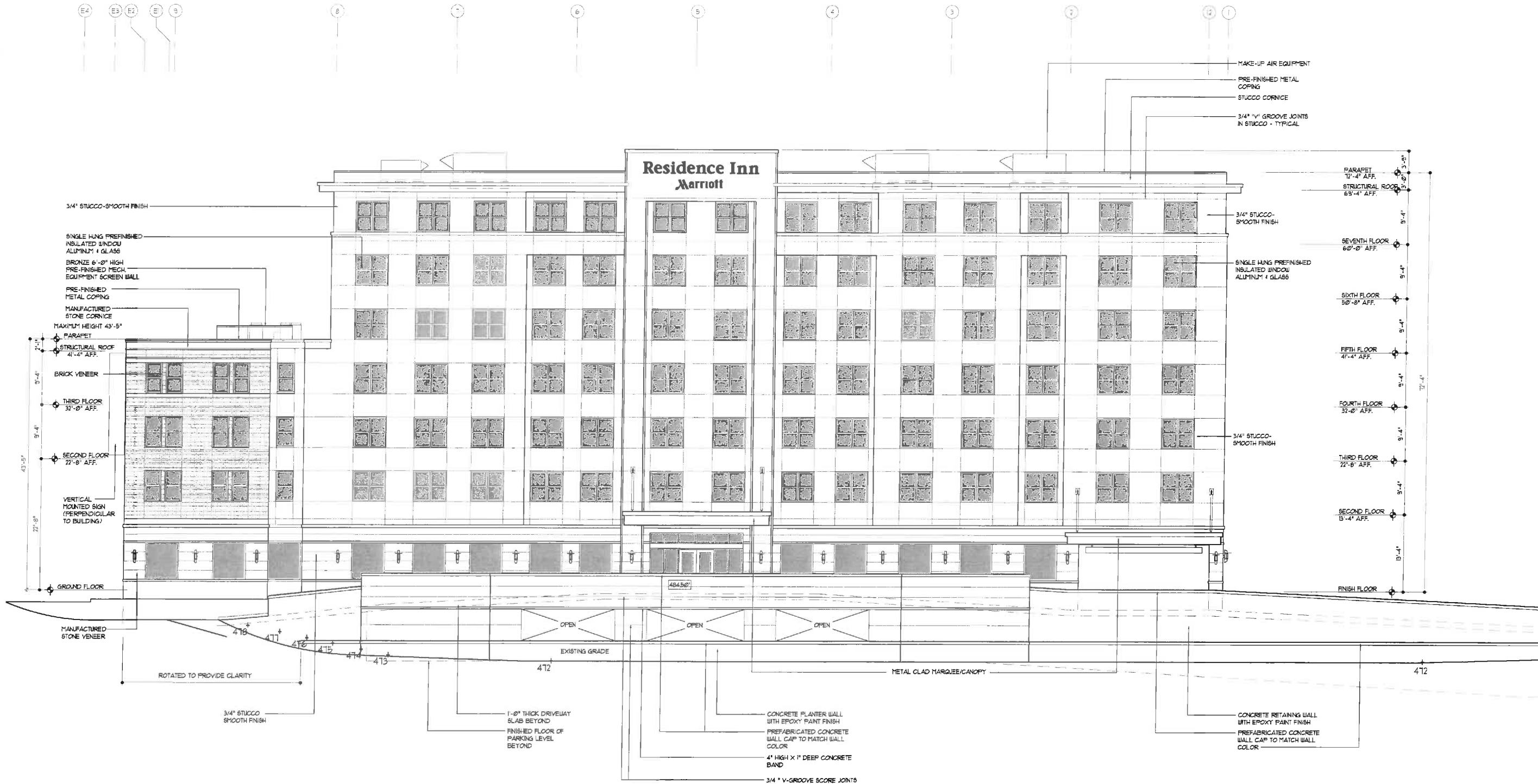
CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

EXTERIOR
ELEVATIONS

| | |
|-------------|-----------|
| DATE | 7/31/12 |
| DRAWN BY | AP |
| CHECKED BY | PEL |
| FILE NAME | 1611-A303 |
| SCALE | AS NOTED |
| PROJECT NO. | 1611 |
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A3.3



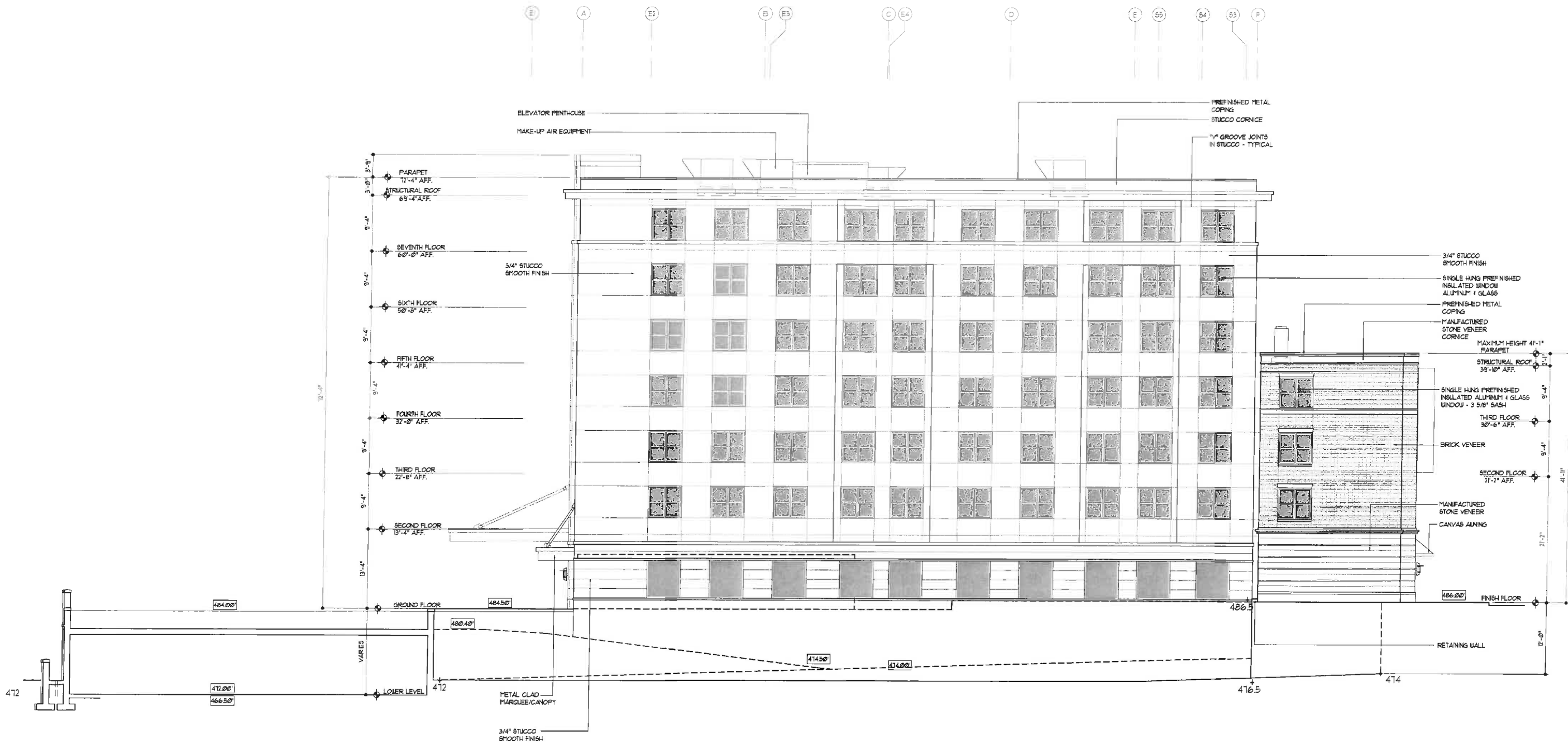
| EXTERIOR FINISH SCHEDULE | | | |
|----------------------------|---|---------------------|-----------------------------------|
| BUILDING ELEMENT | MATERIAL | FINISH | COLOR |
| BUILDING SKIN | ARRISCRAFT RENAISSANCE STONE | SMOOTH | TAN |
| BUILDING SKIN | OLD VIRGINIA BRICK MODULAR | WOOD MOLD | COLONIAL RED RANGE |
| BUILDING SKIN | CEMENT STUCCO | SMOOTH | 1/2\" CLOUD WHITE- BENJAMIN MOORE |
| MORTAR | CEMENT | CONCAVE | IVORY BUFF- ARGOS MASONRY CEMENT |
| WINDOW | ALUMINUM/QUAKER 8850 54 8850 HISTORICAL | PRE-FIN | DARK BRONZE |
| STOREFRONT | ALUMINUM KALNEER | PRE-FIN | DARK BRONZE |
| GLAZING | ANNEALED OR TEMPERED | LOW-E | CLEAR |
| MARQUEE | ALUMINUM | PRE-FIN | DARK BRONZE |
| CANVAS AWNINGS | CANVAS | SMOOTH | BURGANDY |
| CEILING - RECESSED ENTRIES | STUCCO | SMOOTH | T.B.D. |
| MECHANICAL LOUVERS | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| HOLLOW METAL DOORS | HOLLOW METAL | PAINT | COLOR TO MATCH ADJACENT SURFACE |
| COPING EXPOSED FLASHING | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| LIGHT FIXTURES | ALUMINUM | PRE-FIN | DARK BRONZE |
| FLAG POLES | ALUMINUM | PRE-FIN | DARK BRONZE |
| TRELLIS - COURTYARD | ALUMINUM | PRE-FIN | DARK BRONZE |
| BRICK PAVERS | OLD VIRGINIA BRICK | TAYLOR CLAY 4\"x8\" | 9\"T DARK RED LOGGED ITEM #1RS |

| GRAPHIC SCHEDULE | |
|------------------|---|
| | BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOLD |
| | STONE : ARRISCRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH |
| | MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF |
| | STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE 1961 |

| KEY LEGEND | |
|------------|--|
| | WINDOW KEY (SEE SHEET A34) |
| | DOOR KEY (SEE SHEET A31) |
| | SECTION KEY (SEE FINISH N.M. INSIDE OF KEY) |
| | INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.) |

NORTH ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8\" = 1'-0\"



WEST ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"



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VIRGINIA

SHEET NAME

EXTERIOR
ELEVATIONS

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| DATE | 7/31/12 |
| DRAWN BY | AP |
| CHECKED BY | PEL |
| FILE NAME | 1611-A304 |
| SCALE | AS NOTED |
| PROJECT NO. | 1611 |
| DRAWING | |

A3.4



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SHEET NAME

EXTERIOR ELEVATIONS

7/31/12

AWN BY **AP**

HECKED BY PEL

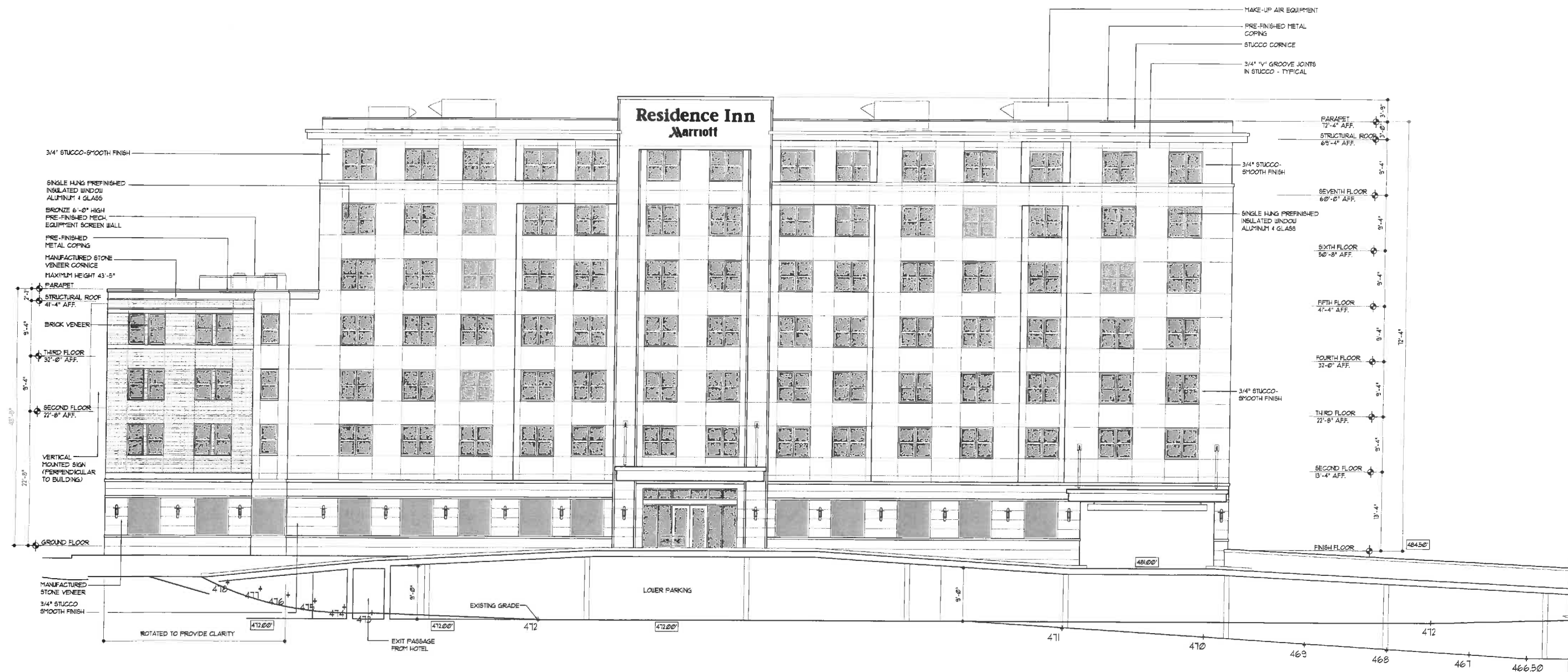
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AS NOTED

PROJECT NO. 1611





DRAWING





A3.5

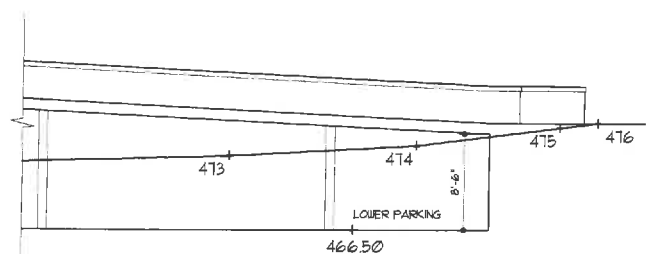


| EXTERIOR FINISH SCHEDULE | | | |
|-----------------------------|---|-------------------|----------------------------------|
| BUILDING ELEMENT | MATERIAL | FINISH | COLOR |
| BUILDING SKIN | ARRISCRIFT RENAISSANCE STONE | SMOOTH | TAN |
| BUILDING SKIN | OLD VIRGINIA BRICK MODULAR | WOOD MOULD | COLONIAL RED RANGE |
| BUILDING SKIN | CEMENT STUCCO | SMOOTH | #667 CLOUD WHITE- BENJAMIN MOORE |
| MORTAR | CEMENT | CONCAVE | IVORY BUFF- ARGOS MASONRY CEMENT |
| WINDOES | ALUMINUM/QUAKER 2050 5H 2050 HISTORICAL | DARK BRONZE | |
| STOREFRONT | ALUMINUM KAUKEER | PRE-FIN | DARK BRONZE |
| GLAZING | ANNEALED OR TEMPERED | GLASS | GLASS |
| MARQUEE | ALUMINUM | PRE-FIN | DARK BRONZE |
| CANVAS AWNINGS | CANVAS | SMOOTH | BURGANDY |
| CEILINGS • RECESSED ENTRIES | STUCCO | SMOOTH | T.B.D. |
| MECHANICAL LOUVERS | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| HOLLOW METAL DOORS | HOLLOW METAL | PAINT | COLOR TO MATCH ADJACENT SURFACE |
| COPING, EXPOSED FLASHING | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| LIGHT FIXTURES | ALUMINUM | PRE-FIN | DARK BRONZE |
| FLAG POLES | ALUMINUM | PRE-FIN | DARK BRONZE |
| TRAILING • COUNTRYARD | ALUMINUM | PRE-FIN | DARK BRONZE |
| BRICK PAVERS | OLD VIRGINIA BRICK | TAYLOR CLAYTON | #11 DARK RED LUGGED ITEM #11R3 |

GRAPHIC SCHEDULE

| | |
|---|--|
|  | BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOULD |
|  | STONE : ARRISCRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH |
|  | MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF |
|  | STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE #961 |

| KEY LEGEND | |
|---|--|
|  | WINDOW KEY (SEE SHEET A9.4) |
|  | DOOR KEY (SEE SHEET A9.2) |
|  | SECTION KEY (SEE SHEET NUM. INSIDE OF KEY) |
|  | INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.) |



NORTH ELEVATION

EXTERIOR ELEVATIONS



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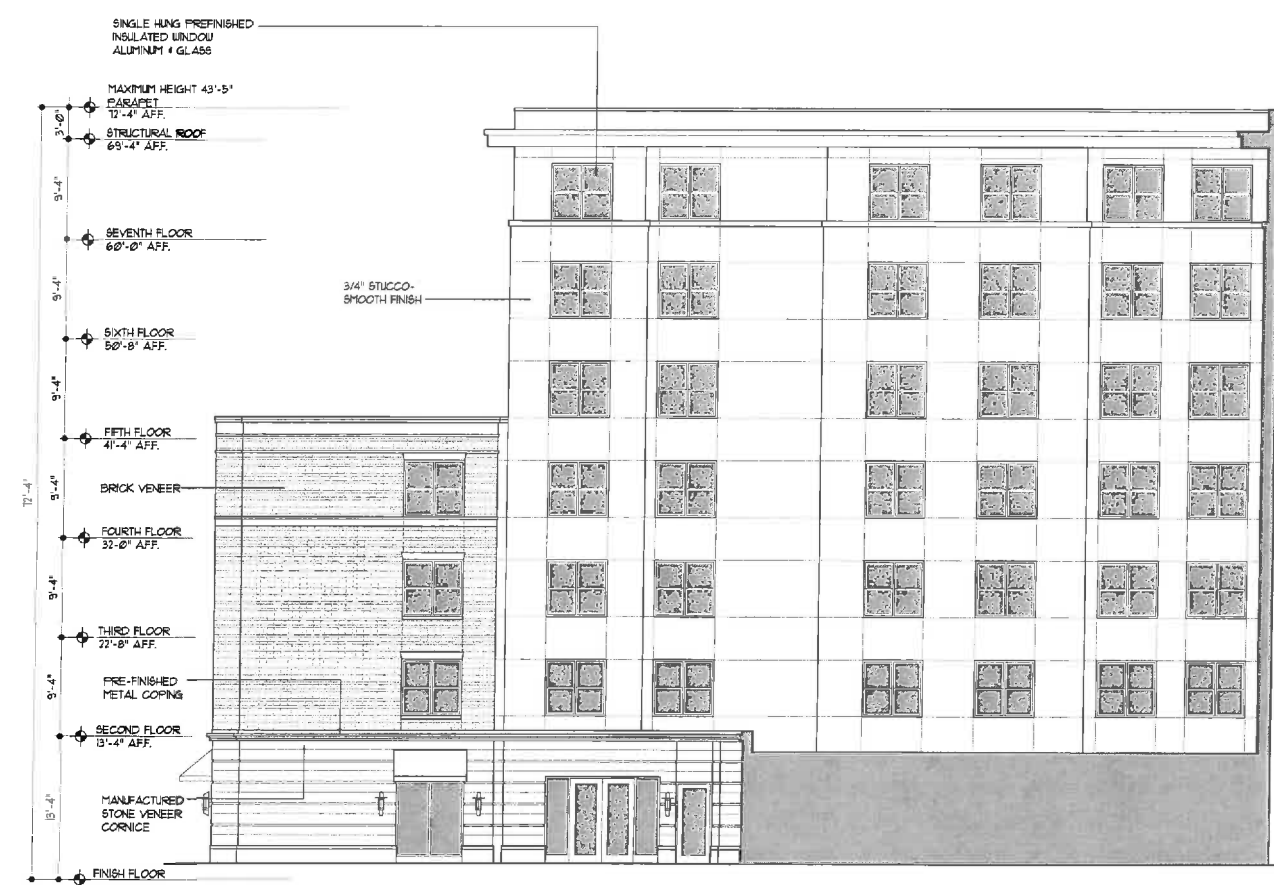
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VIRGINIA

SHEET NAME

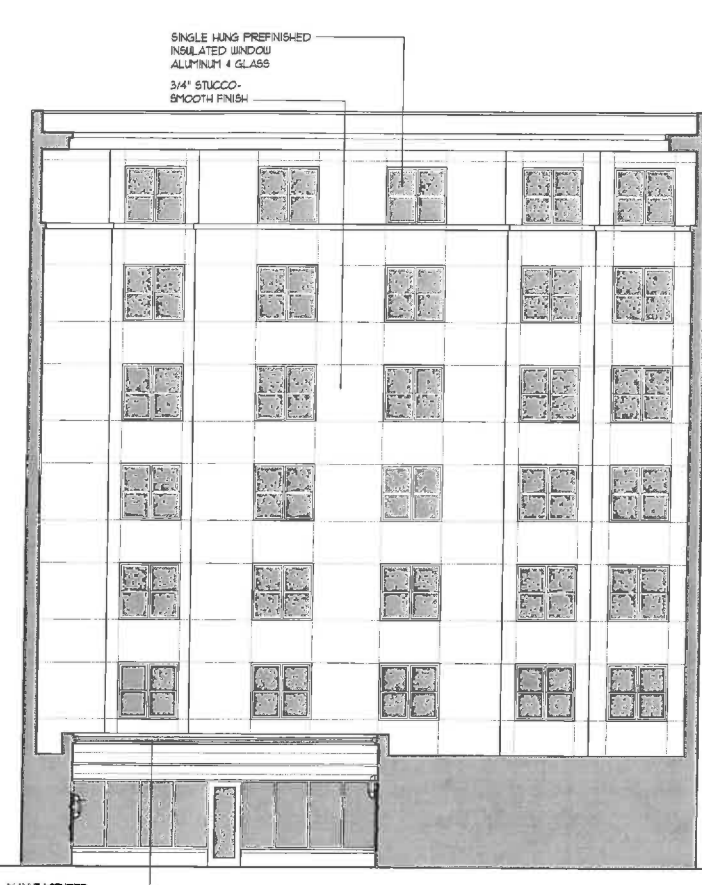
EXTERIOR
ELEVATIONS

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FILE NAME 1611-A306
SCALE AS NOTED
PROJECT NO. 1611
DRAWING

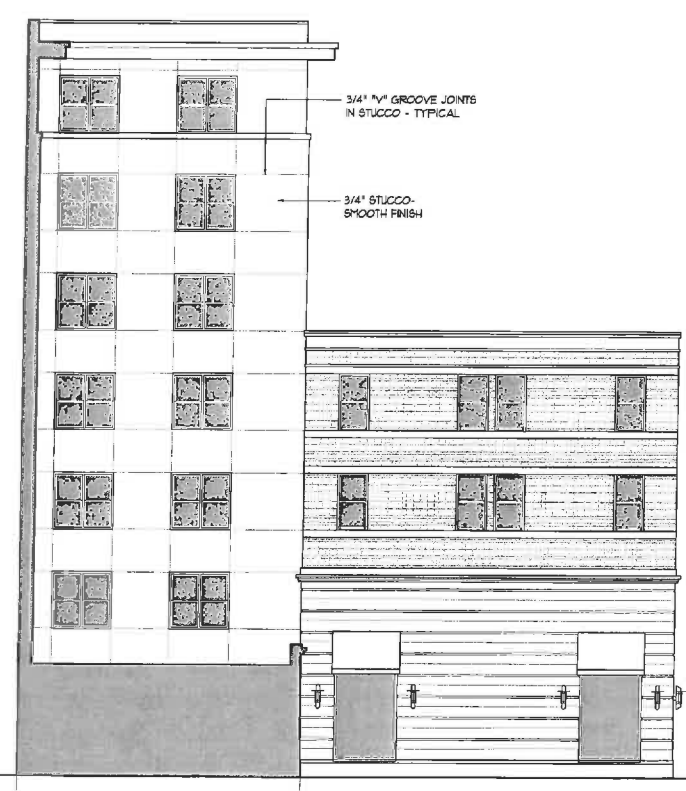
A3.6



COURTYARD ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



COURTYARD ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



COURTYARD ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

| EXTERIOR FINISH SCHEDULE | | | |
|----------------------------|---|------------|-----------------------------------|
| BUILDING ELEMENT | MATERIAL | FINISH | COLOR |
| BUILDING SKIN | ARRISCRRAFT RENAISSANCE STONE | SMOOTH | TAN |
| BUILDING SKIN | OLD VIRGINIA BRICK MODULAR | WOOD MOULD | COLONIAL RED RANGE |
| BUILDING SKIN | CEMENT STUCCO | SMOOTH | 1961 CLOUD WHITE - BENJAMIN MOORE |
| MORTAR | CEMENT | CONCAVE | IVORY BUFF - ARGOS MASONRY CEMENT |
| WINDOWS | ALUMINUM/QUAKER 8050 SH 8050 HISTORICAL | PRE-FIN | DARK BRONZE |
| STOREFRONT | ALUMINUM/KAINEER | PRE-FIN | DARK BRONZE |
| GLAZING | ANNEALED OR TEMPERED | LOW-E | CLEAR |
| MARQUEE | ALUMINUM | PRE-FIN | DARK BRONZE |
| CANVAS AWNINGS | CANVAS | SMOOTH | BURGANDY |
| CEILING & RECESSED ENTRIES | STUCCO | SMOOTH | T.B.D. |
| MECHANICAL LOUVERS | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| HOLLOW METAL DOORS | HOLLOW METAL | PAINT | COLOR TO MATCH ADJACENT SURFACE |
| COPING, EXPOSED FLASHING | ALUMINUM | PRE-FIN | COLOR TO MATCH ADJACENT SURFACE |
| LIGHT FIXTURES | ALUMINUM | PRE-FIN | DARK BRONZE |
| FLAG POLES | ALUMINUM | PRE-FIN | DARK BRONZE |
| TRAILLIS & COURTYARD | ALUMINUM | PRE-FIN | DARK BRONZE |
| BRICK PAVERS | OLD VIRGINIA BRICK | TAYLOR | 5\"/> |

| GRAPHIC SCHEDULE | |
|------------------|--|
| | BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOULD |
| | STONE : ARRISCRRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH |
| | MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF |
| | STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE 1961 |

| KEY LEGEND | |
|------------|--|
| | WINDOW KEY (SEE SHEET A34) |
| | DOOR KEY (SEE SHEET A32) |
| | SECTION KEY (SEE SHEET NUM. INSIDE OF KEY) |
| | INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.) |



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BUILDING
SECTION

DATE

7/31/12

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DOH

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FILE NAME

1611-A701

SCALE

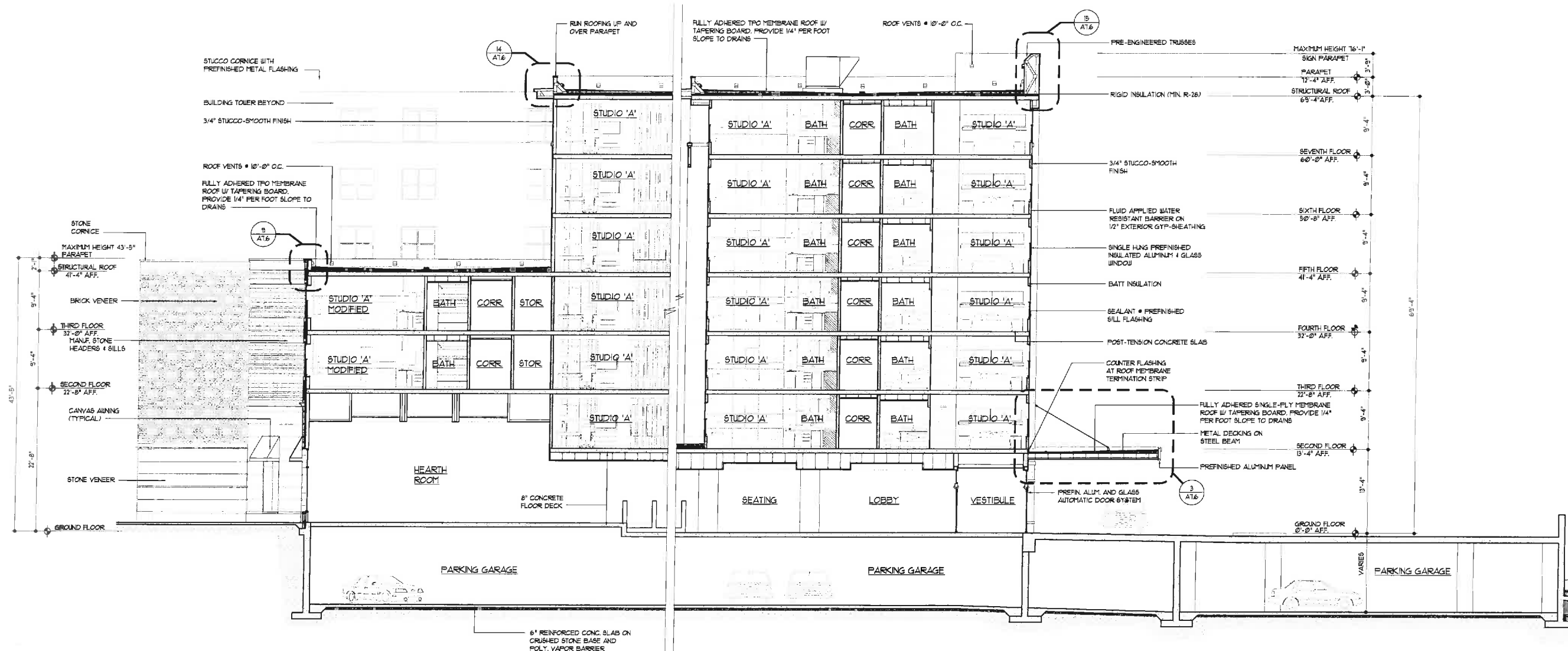
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BUILDING SECTION
SCALE: 1/8" = 1'-0"



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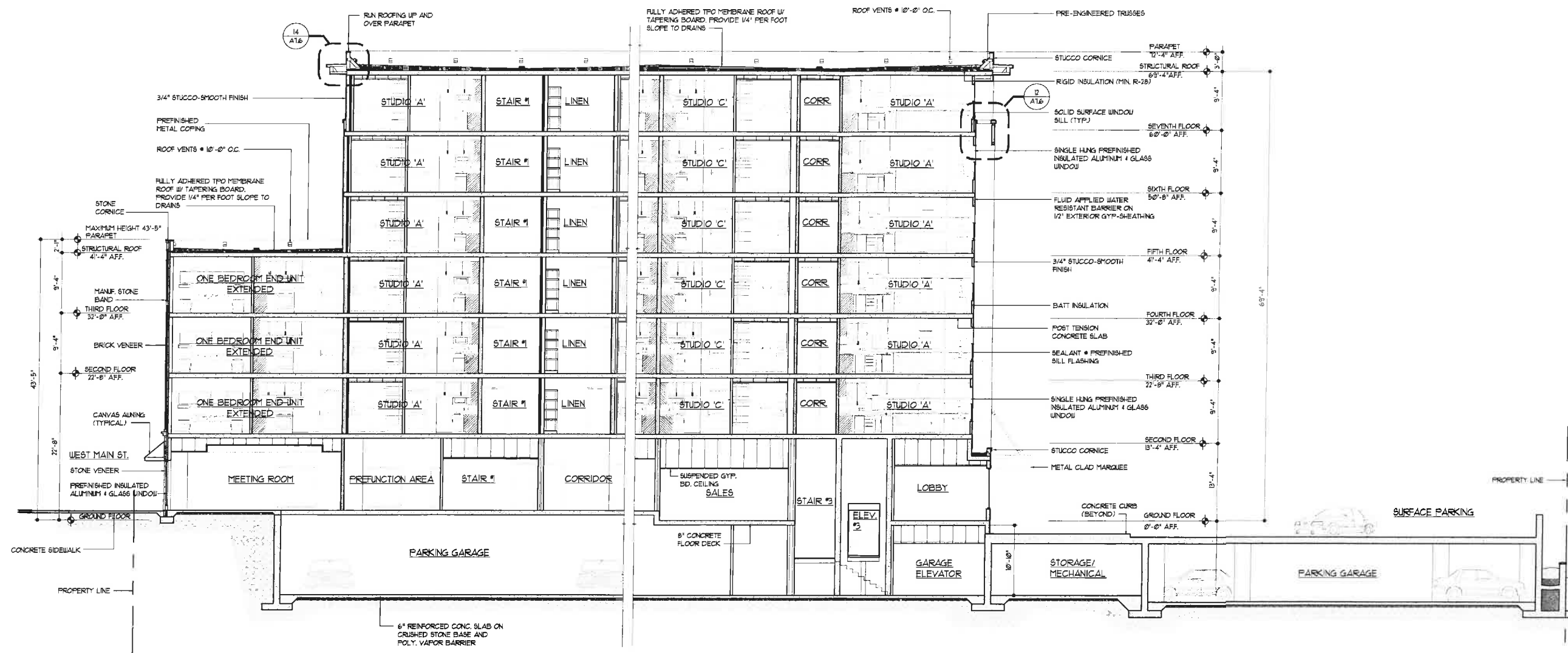
CHARLOTTESVILLE,
VIRGINIA

SHEET NAME
BUILDING
SECTION

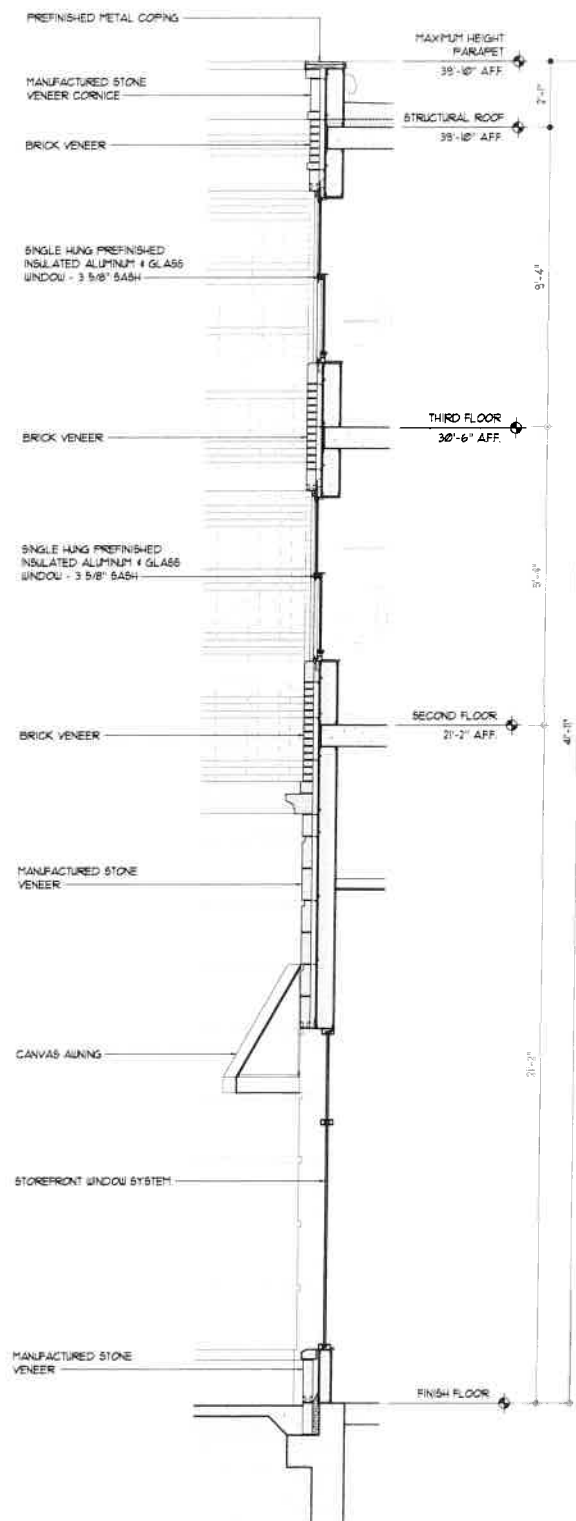
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| FILE NAME | 1611-A702 |
| SCALE | AS NOTED |

PROJECT NO. 1611
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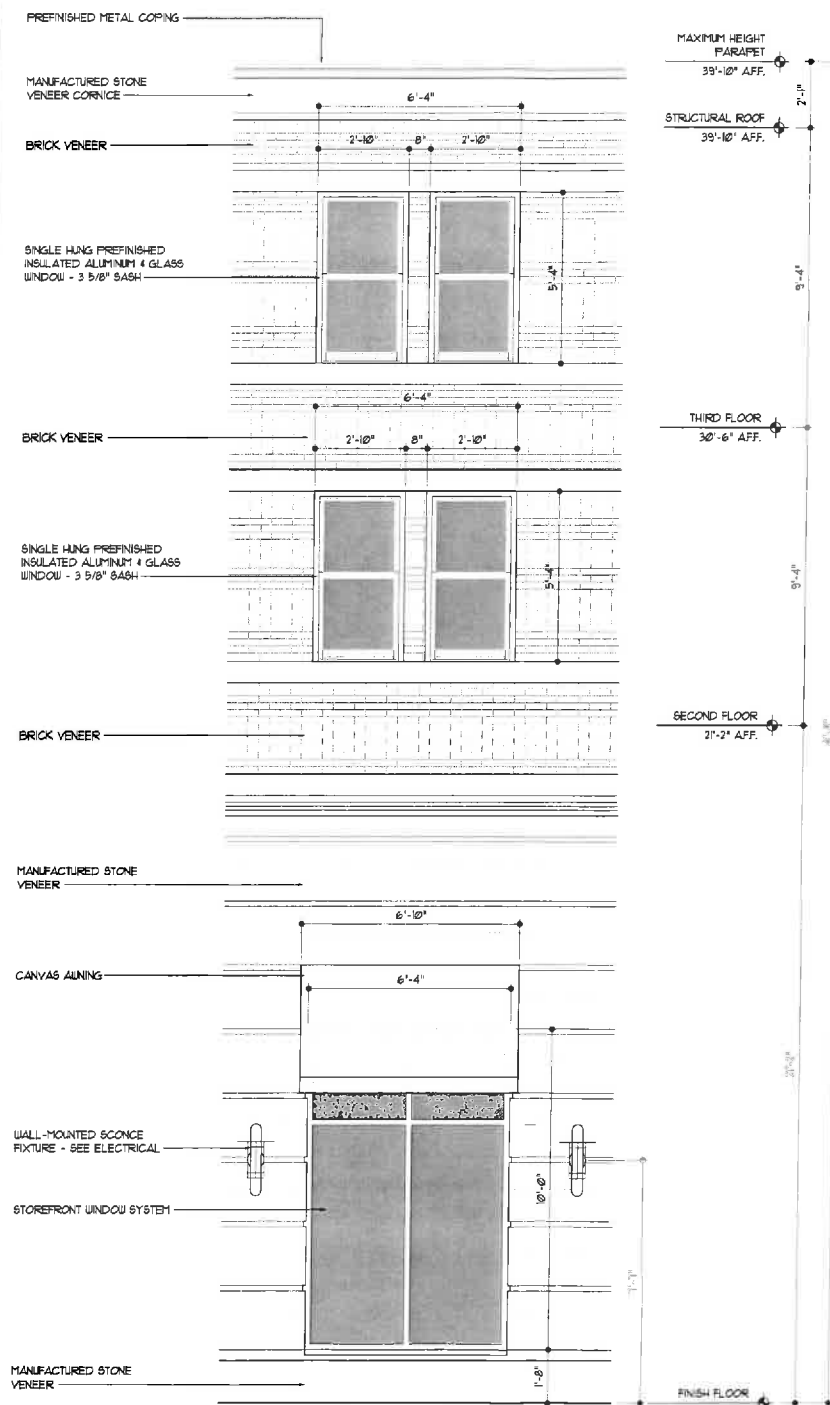
A7.2



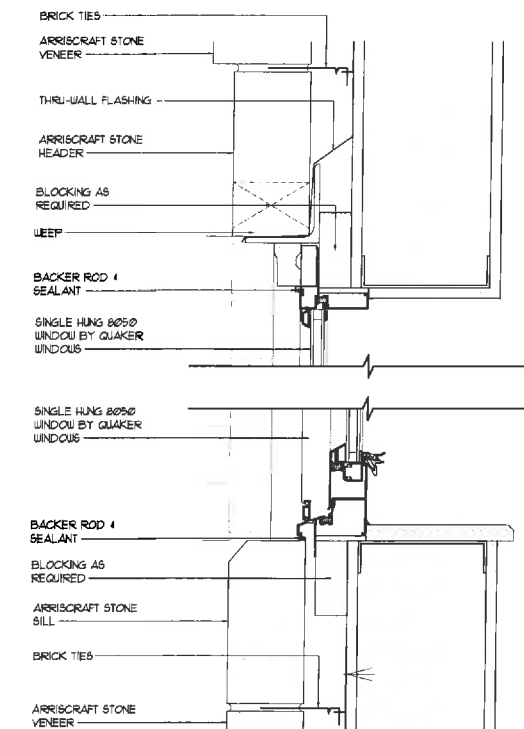
BUILDING SECTION
SCALE: 1/8" = 1'-0"



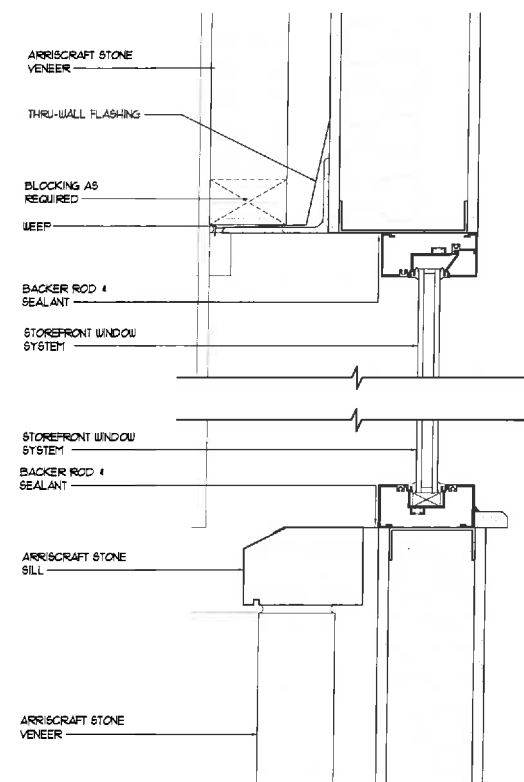
STOREFRONT & HISTORIC WINDOW WALL SECTION



STOREFRONT & HISTORIC WINDOW ELEVATION



HISTORIC WINDOW SECTION @ STONE BANDING



STOREFRONT WINDOW SECTION @ STONE BANDING



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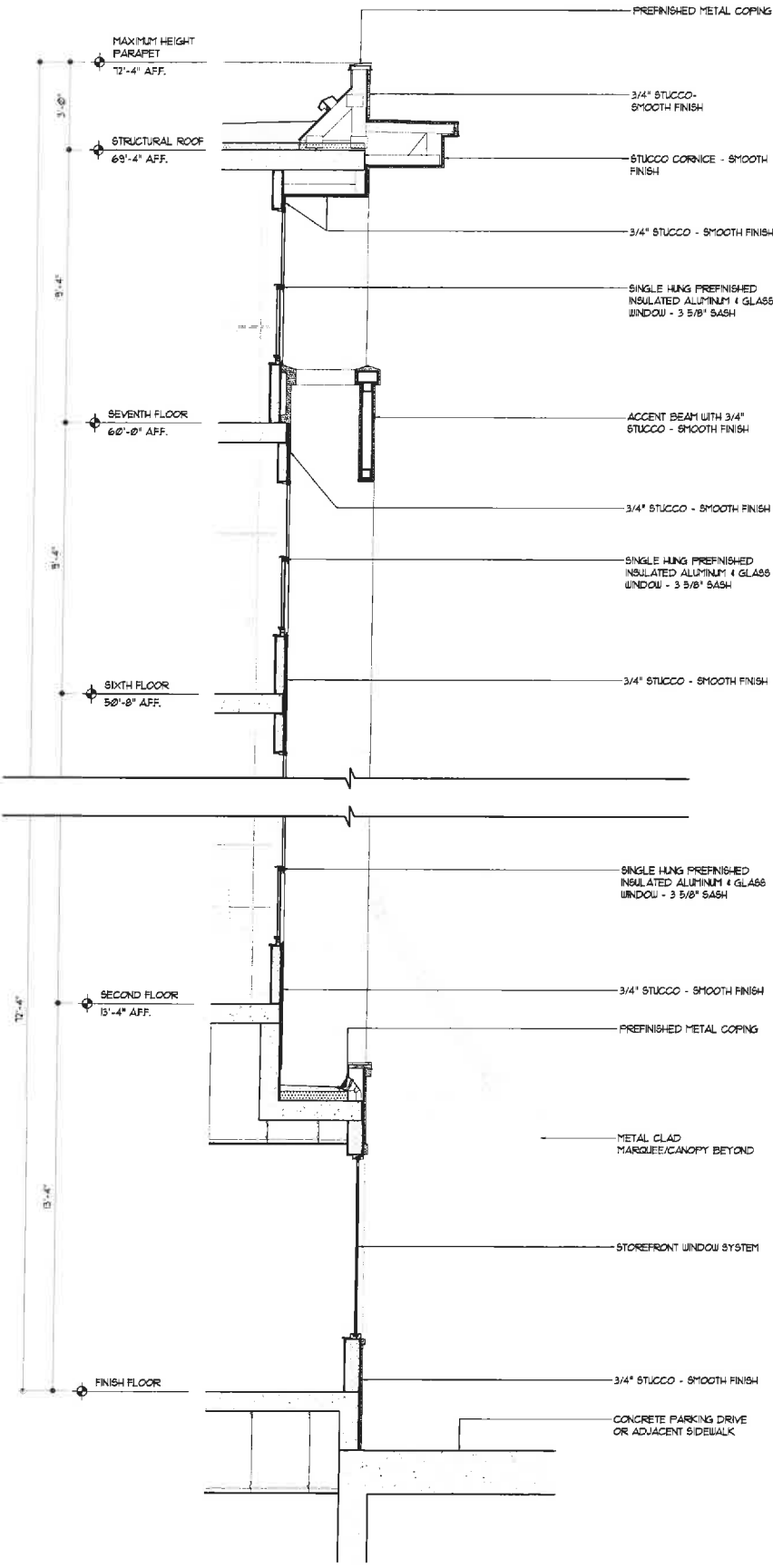


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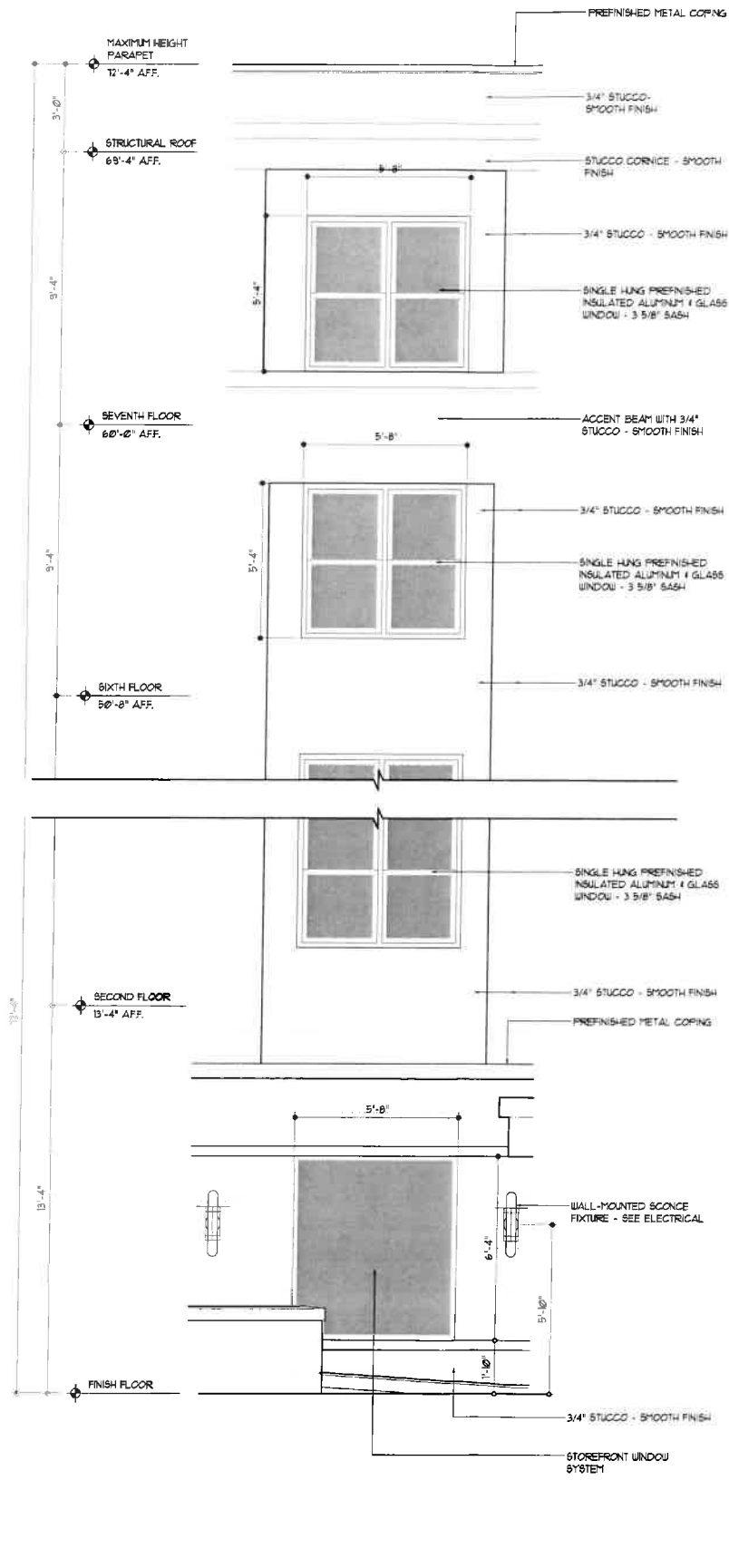
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DETAILS

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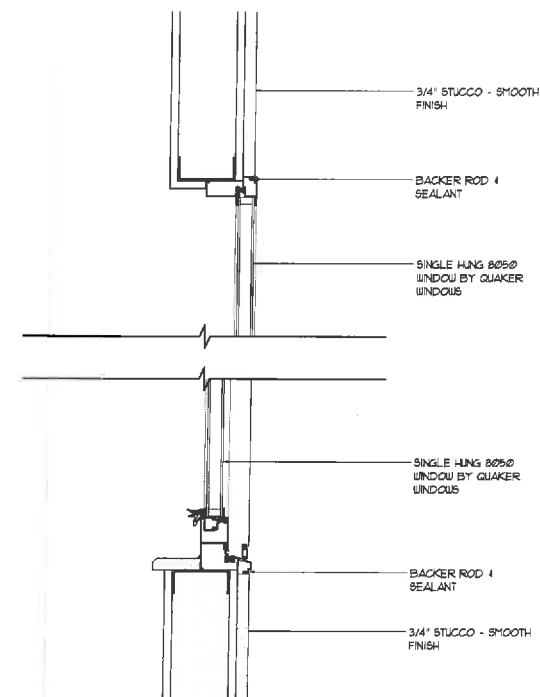
A7.5



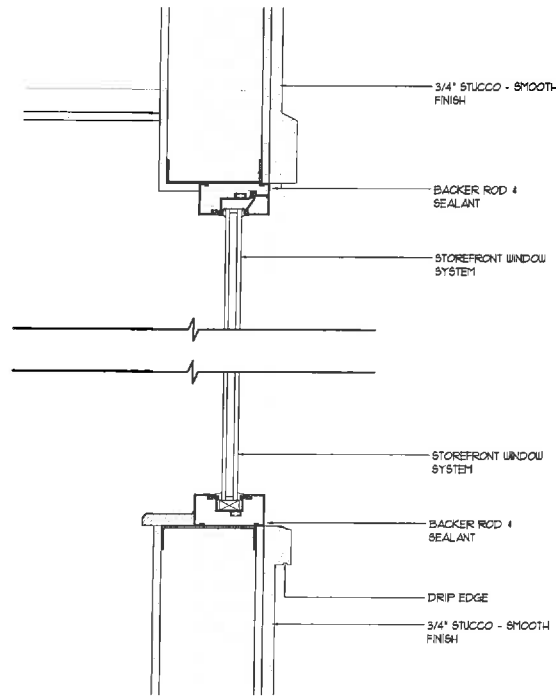
STOREFRONT & HISTORIC WINDOW WALL SECTION



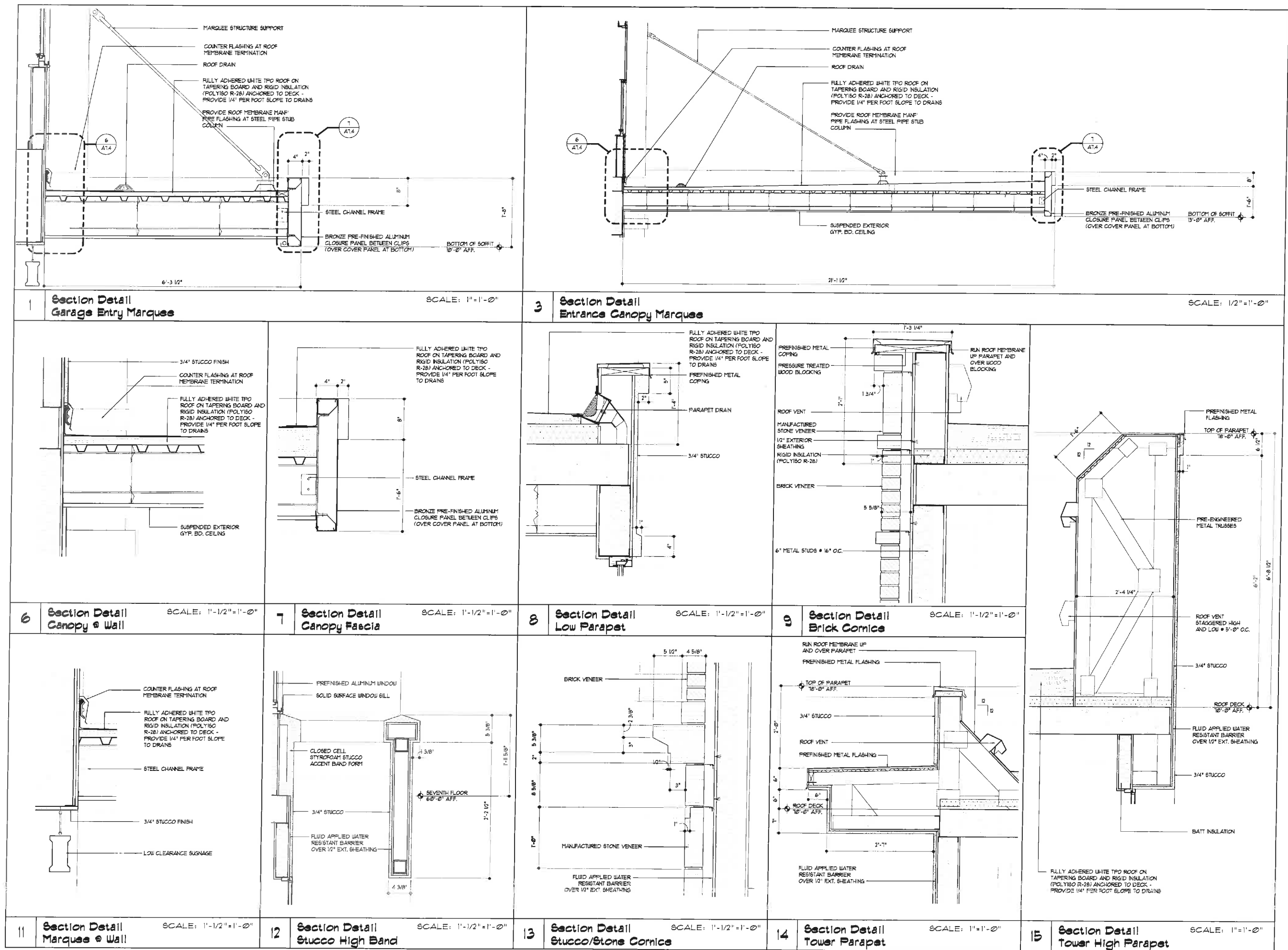
STOREFRONT & HISTORIC WINDOW ELEVATION



HISTORIC WINDOW SECTION @ STUCCO



STOREFRONT WINDOW SECTION @ STUCCO



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FILE NAME

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SCALE

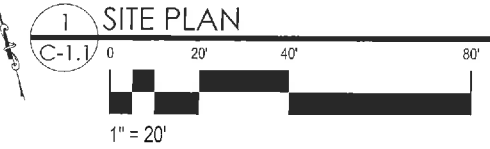
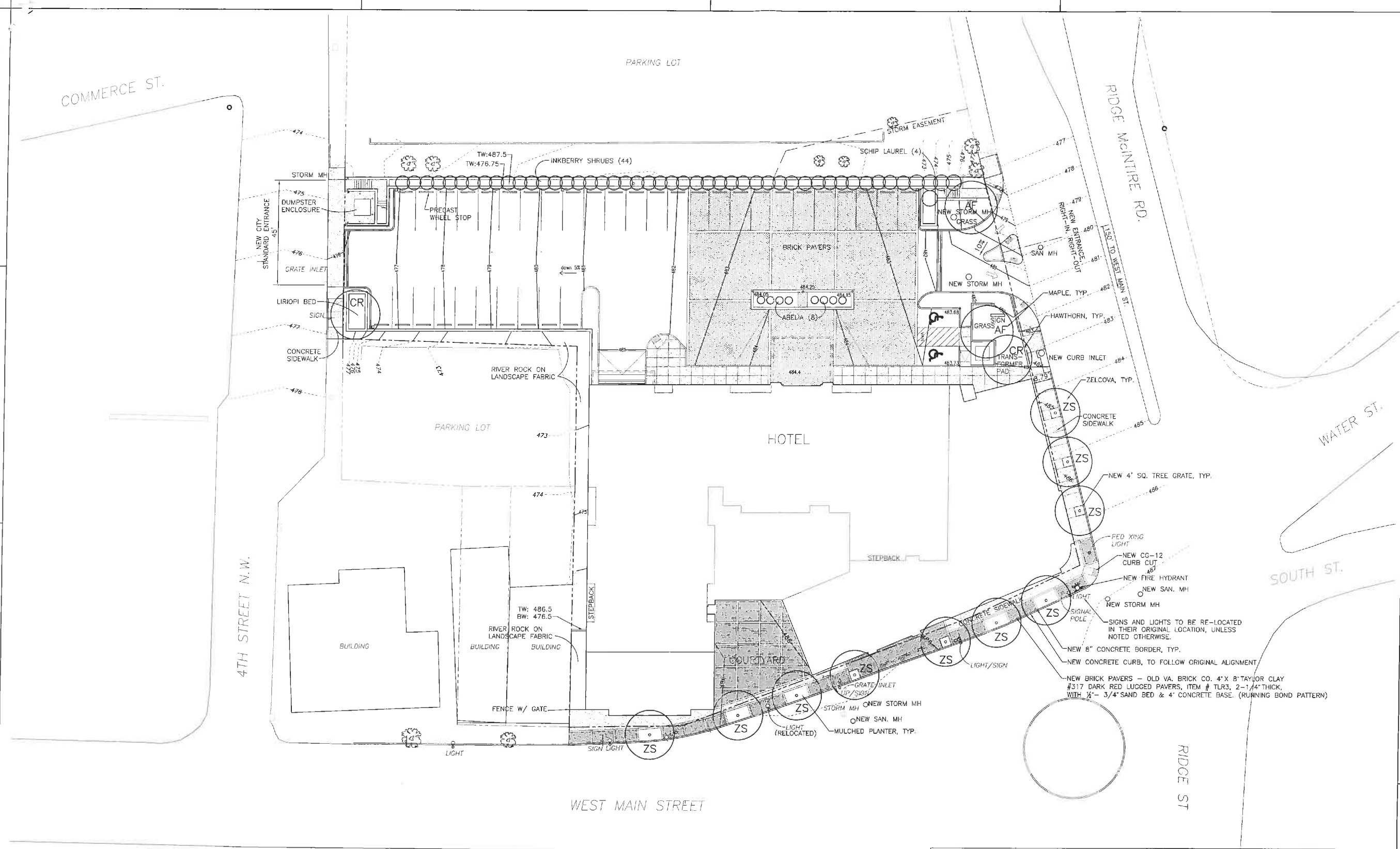
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PROJECT NO.

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| LANDSCAPING SCHEDULE | | | | | | | | | | |
|--|--|--------|----------|---------------|--------------|------------------------------------|--|---------------|----------------|--------------------|
| TREES | | SYMBOL | QUANTITY | PLANTING SIZE | PLANTING HT. | 10 YEAR HT. | 10 YEAR COVERAGE | EXISTING x1.5 | TOTAL COVERAGE | TYPE |
| | ZELKOVA SERRATA GREEN VASE | ZS | 10 | 2" C | 12' | 20' | 350 | | 3,500 | LARGE SHADE/STREET |
| | ACER x freemanii AUTUMN BLAZE MAPLE | AF | 2 | 2 1/2" C | 10' | 20' | 397 | | 794 | LARGE SHADE/STREET |
| | CRATAEGUS VIRIDIS WINTER KING HAWTHORN | CR | 2 | 6'-8' | 7' | 17' | 184 | | - | ORNAMENTAL |
| REQUIRED CANOPY: 10% OF SITE AREA, EXCLUDING BUILDING FOOTPRINT & SITE ACCESS | | | | | | | TOTAL CANOPY: 4,294 S.F. PROVIDED | | | |
| 48,974 S.F. - 21,813 S.F. = 16,715 S.F. = 10,446 S.F. | | | | | | | 10% OF 10,446 SF = 1,044 S.F. REQUIRED | | | |
| SHRUBS | | | | | | | | | | |
| | ILEX GLABRA "NIGRA" INKBERRY | IG | 44 | #3 | 18"-24" | PLANT AT 3 FT SPACING IN MULCH BED | | | | |
| | Prunus Laurocerasus "Schipkaensis" Schip. Laurel | PL | 4 | 2" | 3' | PLANT AT 5 FT SPACING IN MULCH BED | | | | |
| | Abelia x Edward Goucher Edward Goucher Abelia | EG | 8 | #3 | 18"-24" | PLANT AT 4 FT SPACING IN MULCH BED | | | | |

Note: Streetscape trees shown in the right-of-way shall be maintained by the owner and if deemed necessary by the City's arborist, shall be replaced by the owner.

daggett + grigg architects
100 10TH STREET, NE, SUITE 200
CHARLOTTESVILLE, VA 22902
T 434.971.8848
F 434.296.3040
www.daggettgrigg.com



Residence Inn Site Plan

T.M. 32 PARCELS 197-199
CHARLOTTESVILLE, VIRGINIA

SITE PLAN

REVISIONS:
06-04-12
07-25-12

PROJECT #

DATE:
03.27.12

DRAWING NUMBER:
C-1.1
SHEET 4 OF 12

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CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

SITE
PHOTOMETRIC
PLAN

DATE 2/3/12
DRAWN BY CS
CHECKED BY CHS
FILE NAME 1611-E101
SCALE AS NOTED
PROJECT NO. 1611
DRAWING

E1.0

| LUMINAIRE SCHEDULE | | | | | | | | |
|--------------------|-------|------|--|--|--|-------------------------|----------|-----------|
| Symbol | Label | Qty | Catalog Number | Description | Lamp | File | Lumens | LLF Watts |
| ○ | 6 | EMCO | AVR-F-250PSMH-EHS | AVAROUND | CLEAR HORIZONTAL 250PSMH RATED FOR 22000 LUMENS | AVR-F-250P-EHS IES | 22000 | 0.75 291 |
| ○ | A1 | EMCO | AVR-F-350PSMH | AVAROUND | CLEAR HORIZONTAL 250PSMH RATED FOR 22000 LUMENS | AVR-F-250P IES | 22000 | 0.75 291 |
| ○ | B | EMCO | AVR-S-250PSMH | AVAROUND | CLEAR HORIZONTAL 250PSMH RATED FOR 22000 LUMENS | AVR-S-250P IES | 22000 | 0.75 582 |
| □ | C | 0 | SELUX SACL-1-LG3700-R3-50_VMM | CAST ALUMINUM HOUSING FORMED SPECULAR ALUMINUM REFLECTOR. LAMINATED GLASS ENCLOSURE WITH CLEAR SECTION BELOW LENS. | 30 WHITE LEDS WITH CLEAR PATTERNED PLASTIC OPTICS BELOW EACH | SACL-1-LG3700-R3-50 IES | Absolute | 0.85 65 |
| □ | D | 0 | SELUX SACL-1-LG3700-R3-50_PM | CAST ALUMINUM HOUSING FORMED SPECULAR ALUMINUM REFLECTOR. LAMINATED GLASS ENCLOSURE WITH CLEAR SECTION BELOW LENS. | 30 WHITE LEDS WITH CLEAR PATTERNED PLASTIC OPTICS BELOW EACH | SACL-1-LG3700-R3-50 IES | Absolute | 0.85 65 |
| ○ | E | 45 | SELUX S450MR-Q25 (SATURN 90 WALL) | FORMED ALUMINUM SHADES WITH INJECTION MOLDED ACRYLIC MULTI PRISM FOR TOTAL REFLECTION OF LIGHT (MTR) (US PATENT) TOTAL INPUT WATTS = 44 AT 120.0 VOLTS | TESTED WITH TWO 28 WATT COMPACT FLUORESCENT LAMPS (QUAD) EACH RATED 3000 INITIAL LUMEN | S450MRQ25 IES | 3600 | 0.81 44 |
| ○ | F | 16 | BETALED ESAADR414CMDS GCF12035K (625mA) WL | FABRICATED METAL FRAME, FABRICATED FINNED METAL HEAT SINK, PLAT METAL CIRCUIT BOARD MOUNTING PLATE, ONE CIRCUIT BOARD WITH 14 LEDS, ONE CLEAR PLASTIC NON-INTEGRAL LENS BELOW EACH LED, CAST BLACK PAINTED METAL LED LENS TRIM PLATE, FABRICATED BLACK PAINTED METAL UPPER SURROUND, SPUN SEMI-DIFFUSE METAL REFLECTOR AND TRIM WITH BLACK PAINTED TOP SECTION, OPEN BOTTOM. | FOURTEEN WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP POSITION. | ITL65312 IES | Absolute | 0.95 28.4 |

| STATISTICS | | | | | |
|---------------|--------|---------|---------|--------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min |
| Courtyard | ○ | 1.4 fc | 17.2 fc | 0.5:1 | 34.4:1 |
| ENTRY, CANOPY | ○ | 15.7 fc | 28.6 fc | 2.4 fc | 11.9:1 |
| Parking | ○ | 4.9 fc | 11.1 fc | 1.0 fc | 11.1:1 |

1 PHOTOMETRIC SITE PLAN
SCALE:

NOT TO SCALE

RECEIVED

OCT 30 2012

NEIGHBORHOOD DEVELOPMENT SERVICES



CHARLOTTESVILLE, VIRGINIA

BAR SUBMITTAL PACKAGE

October 30, 2012

100 10TH STREET NE, SUITE 200
CHARLOTTESVILLE, VA 22902
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F 434.296.3040

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Aerial view looking north from Ridge St.

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View from West Main/Ridge St. intersection

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View from West Main St.

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Courtyard View from West Main St.

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View looking south on Fourth St.

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View from northeast



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View looking south on Ridge St.



View looking west from Water St.

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