# Lasley, Timothy G

**From:** Lasley, Timothy G

Sent:Thursday, June 21, 2018 3:59 PMTo:'stanleyhill@bellsouth.net'Cc:Werner, Jeffrey B; Mess, Camie

**Subject:** BAR Actions - June 19, 2018 - 510 East Main Street

June 21, 2018

# **Certificate of Appropriateness Application**

BAR 18-06-05
510 East Main Street
Tax Parcel 53006700
Bank of America ATM, Owner/ 510 Partners, Applicant/ Stanley Hill
Addition of 24 hour ATM, storefront modifications, new signage

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on May 15, 2018. The following action was taken:

Motion: Mohr moved having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitations, Public Design, and Signs, I move to find that the proposed storefront modifications and signage satisfy the BAR's criteria and guidelines and are compatible with this property and other properties in the Downtown ADC district, and that the BAR approves the application as submitted with the following conditions:

All light fixtures are less than or equal to 3000 color rendering index (CRI)
 [Note: As this is a 24 hour ATM facility, BAR condition applies also to the interior lighting at the ATM lobby relative to its visibility through the glass storefront.]

# Sarafin seconded. Approved (7-0).

This certificate of appropriateness shall expire in 18 months (December 19, 2019), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. You may request an extension of the certificate of appropriateness before this approval expires for one additional year for reasonable cause.

If you have any questions, please contact me at 434-970-3130 or wernerjb@charlottesville.org.

Sincerely yours, Jeff Werner

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# **Tim Lasley**

Intern | Historic Preservation and Design Planning City of Charlottesville | Neighborhood Development Services University of Virginia | Class of 2020 School of Architecture

Phone: (434)970-3185

Email: <a href="mailto:lasleyt@charlottesville.org">lasleyt@charlottesville.org</a>

# CITY OF CHARLOTTESVILLE BOARD OF ARCHITECTURAL REVIEW STAFF REPORT June 19, 2018



# **Certificate of Appropriateness Application**

BAR 18-06-05 510 East Main Street Tax Parcel 53006700

Owner: Bank of America ATM, Owner/ 510 Partners

Applicant/ Stanley Hill

Storefront modifications to accommodate ATM lobby, new signage

# **Background**

The Linney – Gleason/Valentine – Charlie Building was constructed in 1895, and is a two and a half floor commercial building. The brick building features a large glass storefront on the ground level. The façade was reconstructed in 1978, introducing a new recessed storefront with two brick columns on the left and right of the building that act planar to the reaming façade. This building is a contributing structure in the Downtown ADC District. (Historic survey attached)

# **Application**

Draper Aden Association: Topographic survey (dated 4/23/2018).

Architectural Design Collaborative: Cover (dated 5/23/2018), notes (dated 5/23/2018), existing plan (dated 5/23/2018), proposed plan (dated 5/23/2018), ceiling plan (dated 5/23/2018), elevations (dated 5/23/2018), ATM detail (dated 5/23/2018), and current views (dated 5/23/2018). ICON: signage (4 pages).

# Requested the following:

- The renovation of the storefront to accommodate an internal ATM lobby.
- The removal of the brick ramp leading to entry door
- The lower of the entry door
- New lighting and signage

# Criteria, Standards, and Guidelines

# **Review Criteria Generally**

Sec. 34-284(b) of the City Code states that,

In considering a particular application, the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.

# Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of

Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;

- (4) The effect of the proposed change on the historic district neighborhood;
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
- (7) When reviewing any proposed sign as part of an application under consideration, the standards set forth within Article IX, sections 34-1020 et seq shall be applied; and
- (8) Any applicable provisions of the City's Design Guidelines.

# Pertinent Guidelines for Site Design and Elements

D. Lighting

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- 1. In residential areas, use fixtures that are understated and compatible with the residential quality of the surrounding area and the building while providing subdued illumination.
- 2. Choose light levels that provide for adequate safety yet do not overly emphasize the site or building. Often, existing porch lights are sufficient.
- 3. In commercial areas, avoid lights that create a glare. High intensity commercial lighting fixtures must provide full cutoff.
- 4. Do not use numerous "crime" lights or bright floodlights to illuminate a building or site when surrounding lighting is subdued.
- 5. In the downtown and along West Main Street, consider special lighting of key landmarks and facades to provide a focal point in evening hours.
- 6. Encourage merchants to leave their display window lights on in the evening to provide extra illumination at the sidewalk level.
- 7. Consider motion-activated lighting for security.

# **Pertinent Guidelines for Rehabilitation**

# **B. FACADES AND STOREFRONTS**

Over time, commercial buildings are altered or remodeled to reflect current fashions or to eliminate maintenance problems. Often these improvements are misguided and result in a disjointed and unappealing appearance. Other improvements that use good materials and sensitive design may be as attractive as the original building and these changes should be saved. The following guidelines will help to determine what is worth saving and what should be rebuilt.

- 1) Conduct pictorial research to determine the design of the original building or early changes.
- 2) Conduct exploratory demolition to determine what original fabric remains and its condition.
- 3) Remove any inappropriate materials, signs, or canopies covering the façade.
- 4) Retain all elements, materials, and features that are original to the building or are contextual remodelings, and repair as necessary.
- 5) Restore as many original elements as possible, particularly the materials, windows, decorative details, and cornice.
- 6) When designing new building elements, base the design on the "Typical elements of a commercial façade and storefront" (see drawing next page).
- 7) Reconstruct missing or original elements, such as cornices, windows, and storefronts, if documentation is available.
- 8) Design new elements that respect the character, materials, and design of the building, yet are distinguished from the original building.
- 9) Depending on the existing building's age, originality of the design and architectural significance, in some cases there may be an opportunity to create a more contemporary façade design when undertaking a renovation project.

- 10) Avoid using materials that are incompatible with the building or within the specific districts, including textured wood siding, vinyl or aluminum siding, and pressure-treated wood,
- 11) Avoid introducing inappropriate architectural elements where they never previously existed.

# D. ENTRANCES, PORCHES, AND DOORS

Entrances and porches are often the primary focal points of a historic building. Their decoration and articulation help define the style of the structure. Entrances are functional and ceremonial elements for all buildings. Porches have traditionally been a social gathering point as well as a transition area between the exterior and interior of a residence.

The important focal point of an entrance or porch is the door. Doors are often a character-defining feature of the architectural style of a building. The variety of door types in the districts reflects the variety of styles, particularly of residential buildings.

- 1) The original details and shape of porches should be retained including the outline, roof height, and roof pitch.
- 2) Inspect masonry, wood, and metal or porches and entrances for signs of rust, peeling paint, wood deterioration, open joints around frames, deteriorating putty, inadequate caulking, and improper drainage, and correct any of these conditions.
- 3) Repair damaged elements, matching the detail of the existing original fabric.
- 4) Replace an entire porch only if it is too deteriorated to repair or is completely missing, and design to match the original as closely as possible.
- 5) Do not strip entrances and porches of historic material and details.
- 6) Give more importance to front or side porches than to utilitarian back porches.
- 7) Do not remove or radically change entrances and porches important in defining the building's overall historic character.
- 8) Avoid adding decorative elements incompatible with the existing structure.
- 9) In general, avoid adding a new entrance to the primary facade, or facades visible from the street.
- 10) Do not enclose porches on primary elevations and avoid enclosing porches on secondary elevations in a manner that radically changes the historic appearance.
- 11) Provide needed barrier-free access in ways that least alter the features of the building.
  - a) For residential buildings, try to use ramps that are removable or portable rather than permanent.
  - b) On nonresidential buildings, comply with the Americans with Disabilities Act while minimizing the visual impact of ramps that affect the appearance of a building.
- 12) The original size and shape of door openings should be maintained.
- 13) Original door openings should not be filled in.
- 14) When possible, reuse hardware and locks that are original or important to the historical evolution of the building.
- 15) Avoid substituting the original doors with stock size doors that do not fit the opening properly or are not compatible with the style of the building.
- 16) Retain transom windows and sidelights.
- 17) When installing storm or screen doors, ensure that they relate to the character of the existing door.
  - a) They should be a simple design where lock rails and stiles are similar in placement and size.
  - b) Avoid using aluminum colored storm doors.
  - c) If the existing storm door is aluminum, consider painting it to match the existing door.
  - d) Use a zinc chromate primer before painting to ensure adhesion.

#### H. MASONRY

Masonry includes brick, stone, terra cotta, concrete, stucco, and mortar. Masonry is used on cornices, pediments, lintels, sills, and decorative features, as well as for wall surfaces. Color, texture, mortar joint

type, and patterns of the masonry help define the overall character of a building. Brick is used for the construction of building walls, retaining walls, fencing, and chimneys.

- 1) Retain masonry features, such as walls, brackets, railings, cornices, window surrounds, pediments, steps, and columns that are important in defining the overall character of the building.
- 2) When repairing or replacing a masonry feature, respect the size, texture, color, and pattern of masonry units, as well as mortar joint size and tooling.
- 3) When repointing masonry, duplicate mortar strength, composition, color, and texture.
  - a) Do not repoint with mortar that is stronger than the original mortar and the brick itself.
  - b) Do not repoint with a synthetic caulking compound.
- 4) Repoint to match original joints and retain the original joint width.
- 5) Do not paint unpainted masonry.

# Maintenance Tips

- 1) Use knowledgeable contractors and check their references and methods.
- 2) Monitor the effects of weather on the condition of mortar and the masonry units and ensure that improper water drainage is not causing deterioration.
  - a) Prevent water from gathering at the base of a wall by ensuring that the ground slopes away from the wall or by installing drain tiles.
  - b) Prevent rising damp by applying a damp-proof course just above the ground level with slate or other impervious material. This work may require the advice of a historical architect.
  - c) Do not apply waterproof, water repellent or non-historic coatings in an effort to stop moisture problems; they often trap moisture inside the masonry and cause more problems in freeze/thaw cycles.
  - d) Repair leaking roofs, gutters, and downspouts; secure loose flashing.
  - e) Repair cracks which may indicate structural settling or deterioration and also may allow moisture penetration.
  - f) Caulk the joints between masonry and window frame to prevent water penetration.
- 3) Clean masonry only when necessary to halt deterioration or to remove heavy soiling.
- 4) Clean unpainted masonry with the gentlest means possible.
  - a) The best method is low-pressure water wash with detergents and natural bristly brushes.
  - b) Do not use abrasive cleaning methods, such as sandblasting or excessively high-pressure water washes. These methods remove the hard outer shell of a brick and can cause rapid deterioration. Sandblasted masonry buildings cannot receive federal or state tax credits.
  - c) Use chemical cleaners cautiously. Do not clean with chemical methods that damage masonry and do not leave chemical cleaners on the masonry longer than recommended.
  - d) Avoid freezing conditions when using water or water-based chemicals.
- 5) Damage caused by improper cleaning may include chipped or pitted brick, washed-out mortar, rounded edges of brick, or a residue or film.
- 6) Building owners applying for federal or state rehabilitation tax credits must conduct test patches before cleaning masonry.
- 7) Disintegrating mortar, cracks in mortar joints, loose bricks or damaged plaster work may signal the need for repair of masonry.
- 8) Repair damaged masonry features by patching, piecing in or consolidating to match original instead of replacing an entire masonry feature, if possible.
- 9) Repair stucco by removing loose material and patching with a new material that is similar in composition, color, and texture.
- 10) Patch stone in small areas with a cementitious material which, like mortar, should be weaker than the masonry being repaired. This type of work should be done by skilled craftsmen.

- 11) Use epoxies for the repair of broken stone or carved detail. Application of such materials should be undertaken by skilled craftsmen. Contact the Virginia Department of Historic Resources for technical assistance.
- 12) If masonry needs repaints, use an appropriate masonry paint system recommended by a paint manufacturer.
- 13) Use water-repellent coatings that breathe only as a last resort after water penetration has not been arrested by repointing and correcting drainage problems.

# **Pertinent Guidelines for Signs**

# A. SIGNS

Signs are a vital part of commercial areas. A balance should be struck between the need to call attention to individual businesses and the need for a positive image of the entire district. The character of signs shall be harmonious to the character of the structure on which they are placed. Consider the relationship of surrounding buildings, compatible colors, appropriate materials, the style and size of the lettering and graphics, and the type of lighting. Signs can complement or detract from the character of a building depending on their design, placement, number, and condition. Historically significant signs on buildings should be retained if possible, even if the business is no longer in existence. See the Zoning Ordinance for specific sign regulations in each historic district. The following are recommended guidelines.

- 1) Types of Signs and Typical Locations
- 2) Placement
  - a) Place signs so that they do not obstruct architectural elements and details that define the design of the building.
  - b) <u>Projecting signs</u> for commercial buildings are limited to one per storefront. They should be no lower than 7 feet from the sidewalk, and no more than 3 feet from the surface of the building. They should not be placed above the second story sill line. For residential buildings, small projecting signs attached to the wall at the first floor or porch column are appropriate.
  - c) <u>Window signs</u> should be approximately 5.5 feet above the sidewalk at the center point for good pedestrian visibility. Optional locations could include 18 inches from the top or bottom of the display window glass. Window signs are also appropriate on the glazing of doors.
  - d) d. <u>Flat wall signs</u> for commercial buildings can be located above the storefront, within the frieze of the cornice, on covered transoms, or on the pier that frames the display windows or generally on flat, unadorned surfaces of the façade or in areas clearly designed as sign locations. Flat wall signs for residential buildings can be appropriate if attached to the wall at the first floor or between porch columns.
  - e) <u>Awning and canopy signs</u> should be placed on the valance area only. The minimum spacing between the edge of the letter and the top and bottom of the valance should be 1.5 inches.
  - f) Freestanding signs, in general, are not an appropriate sign type in commercial areas of Downtown and the West Main Street corridor except for use in the front yard of a residence that has been converted to commercial or office use on a site where the building is set back deeply on the lot. In this case, freestanding signs should be no higher than 12 feet.
- *3)* Respect the signs of adjacent businesses.
- 4) Number of permanent signs
  - a) The number of signs used should be limited to encourage compatibility with the building and discourage visual clutter.
  - b) In commercial areas, signs should be limited to two total, which can be different types.
  - c) A buildings should have only one wall sign per street frontage.
  - d) In addition to the existing permitted signs, each business in a building with rear entrances may have one small flat mounted sign not to exceed 6 square feet.
- 5) Size
  - a) All the signs on a commercial building should not exceed 50 square feet.

- b) Average height of letters and symbols should be no more than 12 inches on wall signs, 9 inches on awning and canopy signs, and 6 inches on window signs.
- c) <u>Projecting signs</u> should be a maximum of 10 square feet per face.
- d) Window signs should obscure no more than 20 percent of the window glass.
- e) <u>Flat wall signs</u> should not exceed 18 inches in height and should not extend more than 6 inches from the surface of the building.

# 6) Design

a) Signs should be designed and executed by sign professionals who are skilled at lettering and surface preparation.

# 7) Shape

- a) Shape of signs for commercial buildings should conform to the area where the sign is to be located.
- b) Likewise, a sign can take on the shape of the product of service provided, such as a shoe for a shoe store.

#### 8) Materials

- a) Use traditional sign materials, such as wood, glass, gold leaf, raised metal or painted wood letters, and painted wood letters on wood, metal, or glass.
- b) Newer products, such as painted MDO may also be used.
- c) Do not use shiny plastic products.
- d) Window signs should be painted or have decal flat letters and should not be three-dimensional.

#### 9) Color

- a) Use colors that complement the materials and color of the building, including accent and trim colors.
- b) A maximum of three colors are recommended, although more colors can be appropriate.

#### 10) Illumination

- a) Generally, signs should be indirectly lit with a shielded incandescent light source.
- b) Internally lit translucent signs are not permitted.

# 11) Buildings with Multiple Tenants

- a) A comprehensive sign plan should be submitted for multi-tenant buildings.
- b) Upper-floor tenants should be represented at each primary entrance by a flat, wall-mounted directory sign.

# 12) Other Signs

a) Banners should be temporary and wall murals should be carefully reviewed for compatibility with district character.

# 13) Neon Signs

- a) Neon signs are often associated with early- to mid- twentieth century commercial design and are currently prohibited within the historic districts unless mounted inside windows.
- 14) Halo-lit signs with opaque letters may be appropriate.

# 15) Sign Maintenance

- a) Signs that are not properly maintained should be removed.
- b) Signs of a business no longer occupying a building or storefront should be removed unless it is historically significant.

# **Discussion and recommendation**

The removal of a 7" section from the brick planter is a function of ADA space requirements. Additionally, it is staff's opinion that the first floor segment of the brick façade, including the planter, is the result of a 1978 renovation of the building. (Difference in the bricks is noticeable.)

Applicant must provide information on exterior, ceiling-mounted light fixtures to be installed at the entrance.

With BAR acceptable of the lighting, Staff recommends approval of this request.

# **Suggested Motion**

Having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitations, Public Design, and Signs, I move to find that the proposed storefront modifications, and signage satisfy the BAR's criteria and guidelines and is compatible with this property and other properties in the Downtown ADC district, and that the BAR approves the application as submitted (or with the following modifications...).



# **Board of Architectural Review (BAR)** Certificate of Appropriateness Please Return To: City of Charlottesville

MAY 3 U 2018

**NEIGHBORHOOD DEVELOPMENT SERVICES** 

Department of Neighborhood Development Services

P.O. Box 911, City Hall

Charlottesville, Virginia 22902

Telephone (434) 970-3130

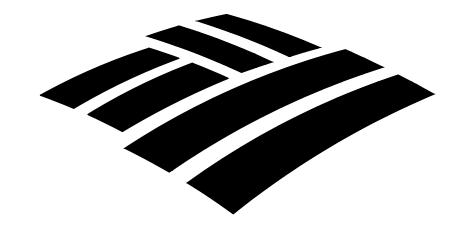
Email scala@charlottesville.org

Please submit ten (10) hard copies and one (1) digital copy of application form and all attachments. Please include application fee as follows: New construction project \$375; Demolition of a contributing structure \$375; Appeal of BAR decision \$125; Additions and other projects requiring BAR approval \$125; Administrative approval \$100. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month. Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p m.

Owner Name 510 Partners Applicant Name Stanley Hill  Project Name/Description Bank of America ATM Parcel Number 53006700  Project Property Address 510 East Main Street, Charlottesville VA 22902  Applicant Information Signature of Applicant	
Project Property Address 510 East Main Street, Charlottesville VA 22902	
Applicant Information Signature of Applicant	
Applicant Information Signature of Applicant	
Address: 9310 Old Kings Rd. S Ste 1001  Jacksonville, FL 32257  Email: stanleyhill@bellsouth.net	the
Phone: (W) 904-312-4900 (C) Signature Date	<b>\$_</b>
Stanley Hill May 23, 2018	
Property Owner Information (if not applicant)  Print Name  Date	with the same
Address: 510 East Main Street Property Owner Permission (if not applicant)	
Chanottesville, VA 22902 I have read this application and hereby give my consent	to
Email: ils submission	
Phone: (W)(C)	10
Signature Date	
Do you intend to apply for Federal or State Tax Credits for this project?	
Print Name Date	
Description of Proposed Work (attach separate narrative if necessary): Interior fit out of an existing tenant spa New 24-hour ATM vestibule. Exterior work to include re-grading of existing excessive sloped ramp at front entrance minor modifications to storefront frame to lower door to meet ADA, new signage and a card reader to existing door.	
List All Attachments (see reverse side for submittal requirements): (1) construction documents showing plans, elevations and photos of proposed work	
(2) photographs of areas of work and existing conditions. (NOTE: existing to be repaired to match existing conditions.	ns)
For Office Use Only  Approved/Disapproved by:	
Received by: S. Barmone Date:	
Fee paid: \$125 cash(Ck. #) 18 649 Conditions of approval:	
Date Received: 5130 2018	
Revised 2016 P18 - 0108	

# Bank of America



Charlottesville CIT ID: (VAW-396)

New 24-Hr. Vestibule ATM

ISSUE FOR MANAGER'S REVIEW: 05-11-2018

ISSUE FOR PERMIT:

05-23-2018

510 E Main Street, Charlottesville, VA 22902 CBRE

3401 COLUMBIA PIKE, SUITE 302

ARLINGTON, VA 22204

CELL: 571.317.44005

PH: 703.302.2529

**CONTACT:** Augie Rios

e-mail: Augie.Rios@CBRE.com

ARCHITECTURAL DESIGN

COLLABORATIVE

201 17th STREET, SUITE 300

ATLANTA, GA 30363

PH: 678.701.1170

CONTACT: Hernan Castro

e-mail: hcastro@adcinternational.net

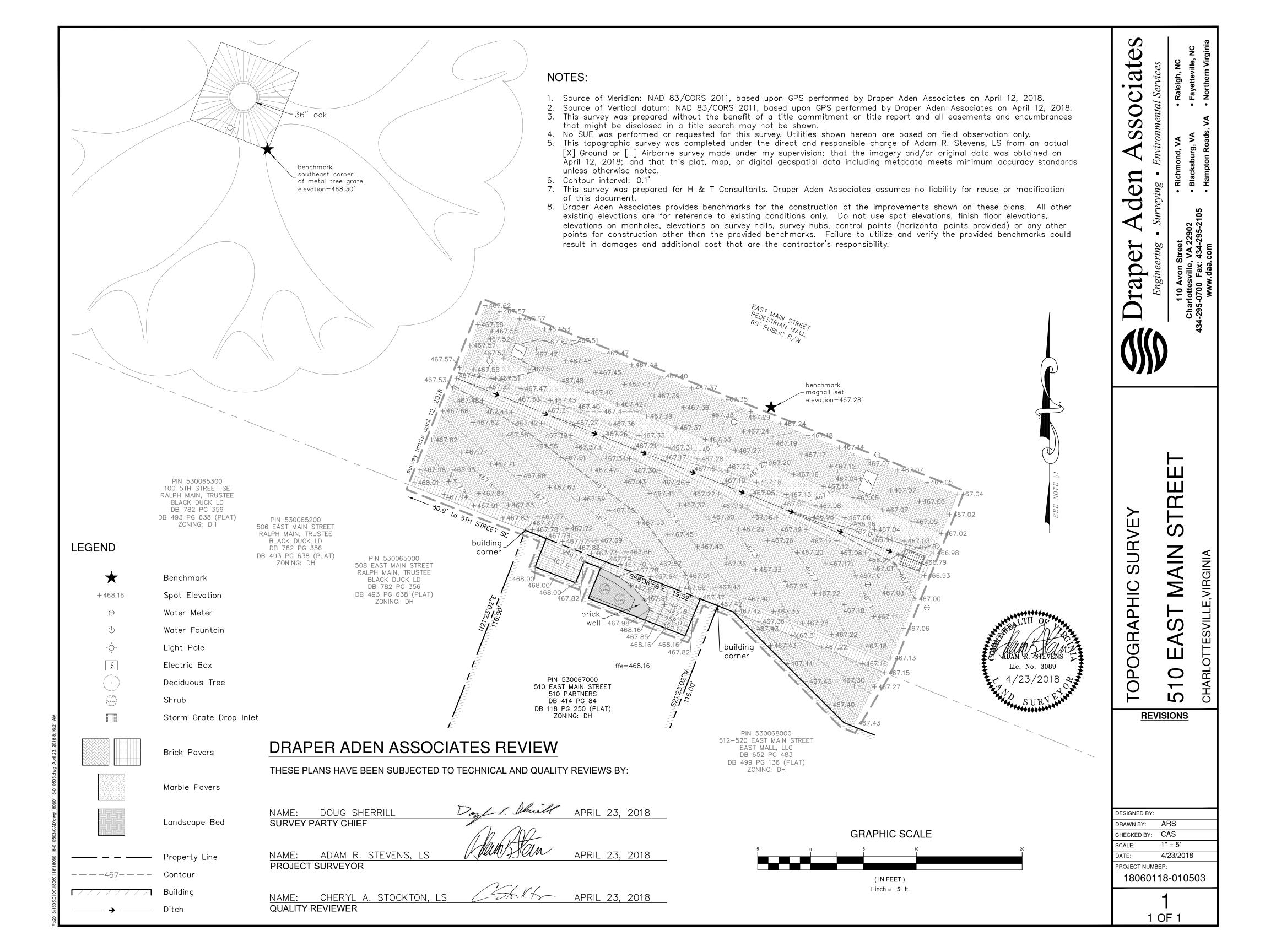
P & G ENGINEERING DESIGN GROUP CORP 21 SW 102nd Court

MIAMI, FL 33174

PH: 786.747.5018

CONTACT: Luis O. Perez, PE

e-mail: lperez@pgengineeringdesign.com



# FINISH SCHEDULE

	PRODUCT ***MATCH EXISTING FINISHES (GC TO COORDINATE WITH ARCHITECT)
CARPET	*** (MATCH EXISTING WHERE APPLICABLE )
CPT-1	EARTHEN BY TANDUS (WITH PREAPPLIED ADHESIVE) CARPET TILES SHALL BE INSTALLED IN
	A QUARTER TURN PATTERN
	NATIONWIDE TANDUS GROUP, TONAY SILVIUS - PHONE: 800.241.4902 EXT. 2622
CERAMIC TI	ILE DALTILE CONTACT; EMAIL: MATIONAL_ACCOUNT@DALTILE.COM; TOLL FREE NUMBER: 877.556.5728:—
CT-1	FIELD TILE: 13" X 20" DALTILE: VERANDA 3/8" THICK TILE, SAND P505 - SKU#P50513201P
	GROUT (G-1): STARQUARTZ QUARTZLOCK2 255 SOLID BUFF - SKU#9999630741-
CT-2	ACCENT TILE: 3" X 20" DAL TILE: VERANDA 3/8" THICK TILE, CRAVEL P501 - SKU#P5013201P1
	CROUT (C 1): STARQUARTZ QUARTZLOCK2 255 SOLID BUFF SKU#9999630741
CT-3	PERIMETER TILE: 13" X 20" DALTILE: VERANDA 3/8" THICK TILE, SUEDE P524 - SKU#P52413201P
	FLOOR TILE: CROSSVILLE " CROSS COLORS" A215, COLOR: EMPRESS WHITE, FINISH: CROSS
CT-4	SHEEN (UPS) - 8X8 UPS, GROUT AS PER SPECIFICATION
	CROUT (C 1): STARQUARTZ QUARTZLOCK2 255 SOLID BUFF SKU#9999630741
CT-7	FIELD TILE: 6"x36" DALTILE: SADDLE BROOK 5/16" THICK TILE, WALNUT CREEK(SD15) -
	SKU#SD15636SAMS1PR. GROUT (G-6): MAPEI CHOCOLATE 07 , GROUT SIZE TO BE MAXIMUM 3/16 ".
VINYL COM	POSITION TILE *** (MATCH EXISTING WHERE APPLICABLE )
VCT-1	MANNINGTON COMMERCIAL, ESSENTIALS, 219 TOFFEE 12X12, 1/8" GAUGE
	ETEVA BALDWIN, CUSTOMER SERVICE REP.
	MANNINGTON COMMERCIAL
	PHONE: 800-241-2262 EXT. 6581
	FAX: 706-625-6210
	EMAIL: ETEVA_BALDWIN@MANNINGTON.COM
WALL BASE	*** (MATCH EXISTING WHERE APPLICABLE )
B-2	JOHNSONITE WALL BASE, RUBBER, 4"X1/8", 283-TOAST
B-3	DALTILE "MATTE" 0799 PEARL WHITE 6" HIGH x 6" WIDE BASE TILE, SKU#0799S3619T1P1, 6" HIGH x 6" WIDE CORNER BASE SKU#0799SCRL3619T1P1 [ALTERNATE BASE IN RESTROOMS WHEN VCT IS NOT ACCEPTABLE BY THE BUILDING OFFICIALS]
B-4A	JOHNSONITE FLEXIBLE WALL BASE, RUBBER, 4 1/2"X 1/8", #68 WHITE SAND.
B-4B	JOHNSONITE FLEXIBLE WALL BASE, RUBBER, 4 1/2"X 1/8", #66 EITHER ORE.
B-4C	JOHNSONITE FLEXIBLE WALL BASE, RUBBER, 4 1/2"X 3/8", #69 STERLING SILVER.
LAMINATES	*** (MATCH EXISTING WHERE APPLICABLE )
PL-3	WILSONART, ASIAN SUN #7951 FINISH #38-
PL-5	WILSONART, GRAPHITE NEBULA LAMINATE #4623 FINISH #7
PL-6	WILSONART, BLACK #1595
PL-6 <b>PAINT</b>	WILSONART, BLACK #1595 -  ★★★ * IF NOT REPAIRING ENTIRE SPACE, MATCH EXISTING ADJACENT WALL PAINT COLOR

# INTERIOR FLAME SPREAD SCHEDULE

PERFECT MAT BY REESE ENTERPRISE INC.

RECESSED MAT. POLYPROPYLENEBRUSH: GRAY:

WALLCOVERING WC-15 (ALT. TO FLM-12)

**WALK-OFF MAT** 

P-4

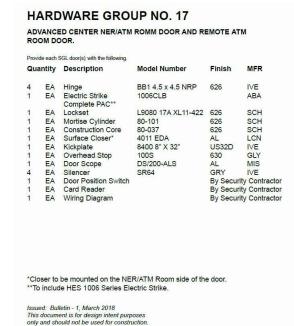
MINIMUM INTERIOR FINISH	I CLASSIFICATIO	GENERAL NOTES:		
BUSINESS OCCUPANCY	EXITS	EXIT ACCESS	OTHER SPACES	
REQUIRED FINISHES	Α	В	С	
PROPOSED FINISHES	A	В	В	

CARNEGIE, METEOR (XOREL), COLOR NAME: 6427W, COLOR: 728

BENJAMIN MOORE-ECO SPEC WB INTERIOR LATEX FLAT FINISH; NO. OC-18 COLOR: DOVE WING.

BENJAMIN MOORE-ECO SPEC WB INTERIOR LATEX EGGSHELL FINISH HC-77; NO. OC-15 COLOR: BABY FAWN

# DOOR SCHEDULE



A.) ENTRY LOCKS TO SUITE SHALL BE KEYALIKE AND KEY TO BUILDING MASTER.

B.) ANY KEY LOCK INSIDE TENANT SPACE SHALL BE KEY TO MASTER.

C.) PROVIDE FLOOR MOUNTED DOME STOPS @ EACH DOOR U.N.O.

D.) HARDWARE SHALL COMPLY WITH ARTICLE 11-4.13 OF F.B.C. 2010 EDITION. E.) ALL HARDWARE SHALL BE PER BANK OF AMERICA STANDARDS

F.) DOOR FRAMES SHALL BE PER BANK OF AMERICA STANDARDS.

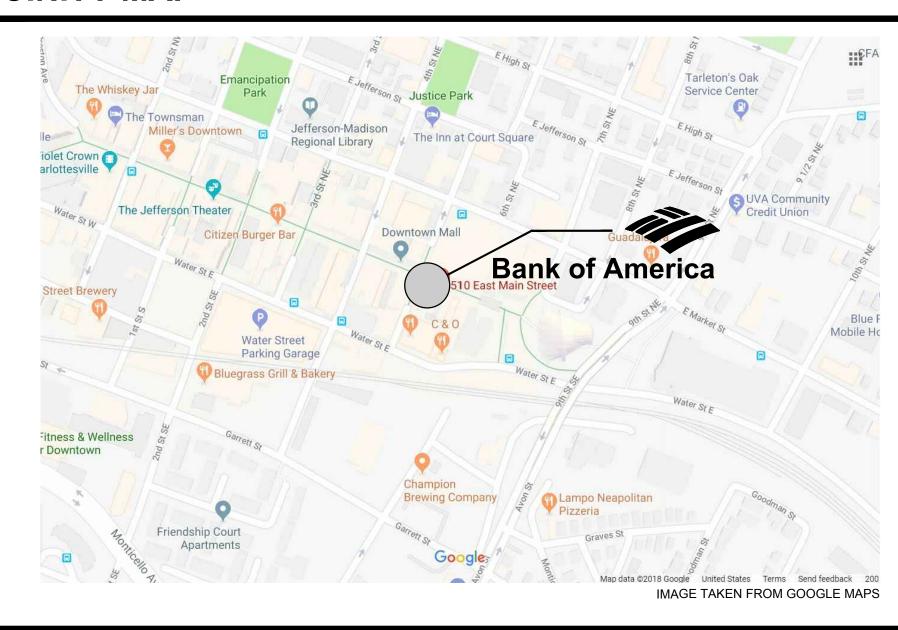
G.) CONTRACTOR SHALL PROVIDE HARDWARE PRODUCT INFO. FOR ARCHITECT REVIEW

PRIOR TO PURCHASE OF HARDWARE.

# **KEY SITE PLAN**



# **VICINITY MAP**



# **CODE DATA**

RENOVATION

ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

**BUILDING CODE:** VIRGINIA EXISTING BUILDING CODE - 2012

VIRGINIA CONSTRUCTION CODE - 2012

ICC / ANSI A 117.1 ACCESSIBILITY CODE - 2009

**MECHANICAL CODE:** VIRGINIA MECHANICAL CODE - 2014

**ELECTRICAL CODE:** NFPA 70 - NATIONAL ELECTRIC CODE - 2011

PLUMBING CODE: VIRGINIA PLUMBING CODE - 2012

FIRE PREVENTION CODE: VIRGINIA FIRE PREVENTION CODE 2012 EDITION

NFPA 101, LIFE SAFETY CODE - 2012 EDITION

**ENERGY CODE** VIRGINIA ENERGY CONSERVATION CODE - 2012 **MAINTENANCE** VIRGINIA PROPERTY MAINTENANCE CODE - 2012

VIRGINIA REHABILITATION CODE - 2012

# **DRAWING INDEX**

# **COVER**

**COVER SHEET** 

# SURVEY

TOPOGRAPHIC SURVEY

# **ARCHITECTURAL**

A00.00 DRAWING INDEX, LOCATION MAP, & PROJECT

INFORMATION. A00.10 GENERAL NOTES.

DEMOLITION PLAN.

CONSTRUCTION PLAN.

REFLECTED CEILING PLAN (DEMO &

PROPOSED)

EXISTING/DEMO & PROPOSED ELEVATIONS.

ENLARGED ATM PLAN, ELEVATION, & DETAILS.

A12.04 KEY PLAN AND PHOTOS

ATLANTA, GA 30363 OFFICE: (678) 701-1170 FAX: (404) 736-3609 WWW. ADCINTERNATIONAL.NET

RAYMUNDO FEITO, R.A. STATE OF VIRGINIA REGISTRATION NUMBER: 401015069

Architect • Seal/Signature

**Construction Documents for:** 

# **BANK OF AMERICA** 24-HR ATM VESTIBULE

CHARLOTTESVILLE 510 East Main Street Charlottesville, Virginia 22902

	Issue	Date & Issue Description	Drawn By	Checked By
	01	05/11/2018	ES	HC
		CD REVIEW SET		
	02	05/23/2018	НС	HC
		ISSUE FOR PERMIT SET		
١.				

Date & Delta Description Drawn By Checked B

**Client Information** 

**AUGIE RIOS** 3401 COLUMBIA PIKE, SUITE 302 ARLINGTON, VA 22204

CELL: (571) 317-4005 DIRECT: (703) 302-2529

**Project Number** 17354 **CAD File Name** 

DRAWING INDEX, LOCATION MAP, & PROJECT INFO.

Scale N.T.S.

Consultant • Seal/Signature

A00.00



PROJECT INFORMATION

PROJECT ADDRESS: 510 E MAIN STREET CHARLOTTESVILLE, VA 22902

CHARLOTTESVILLE- 24hr ATM VESTIBULE

BANK OF AMERICA

LEVEL OF ALTERATION: LEVEL II RENOVATION

PROJECT SCOPE SQ. ±406 SQ. FT. - ATM INSTALLATION APPROX.

FT:

PROJECT NAME:

**PROJECT** 

PARTIAL DEMOLITION OF EXISTING PLANTER. DESCRIPTION:

RELOCATION OF EXISTING EXTERIOR ENTRY DOOR. REPLACEMENT OF EXISTING STOREFRONT SYSTEM AND GLASS WITH NEW STOREFRONT AND GLASS TO MATCH ORIGINAL FINISH. DEMOLITION OF EXISTING INTERIOR WALL MOUNTED MERCHANDISE-DISPLAY PLANKS, PARTIAL DROP CEILING, AND FLOOR FINISH AS REQUIRED TO PROVIDE (2) NEW WALK-UP ATMs AND RELATED BANK EQUIPMENT, INCLUDING SECURITY CAMERAS, AND LIGHTING. SCOPE ALSO INCLUDES STRUCTURAL REINFORCEMENT OF EXISTING INTERIOR FLOOR, NEW INTERIOR ACCESSIBLE RAMP WITH HANDRAILS, NEW INTERIOR STAIR, NEW INTERIOR PARTITIONS, NEW INTERIOR DOORS, AND NEW DROP CEILING AS NOTED IN PLANS. NEW PAINT/FINISHES TO BE PROVIDED WITHIN AFFECTED AREAS. HVAC, PLUMBING,

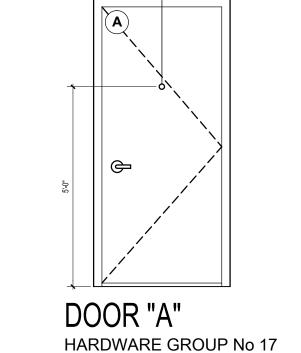
ELECTRICAL, AND STRUCTURAL WORK ARE ALSO INCLUDED IN THIS SET.

PROJECT OCCUPANCY: GROUP B - BUSINESS

PROJECT SCOPE:

PROPOSED 24-HR. REMOTE ATM VESTIBULE IN AN EXISTING GROUND LEVEL RETAIL SPACE.

H.) ALL DOOR HARDWARE SHALL BE A.D.A. APPROVED LEVER HANDLE. CONTRACTOR SHALL REPLACE ALL NON-COMPLIANT HARDWARE. I.) EGRESS CONTROLLED DOORS SHALL COMPLY W/ N.F.P.A. 101, CHAPTER 7.



# **GENERAL NOTES & CONDITIONS** 1.0 TENANT- BAN□ OF AMERICA CIO CB RIC□ARD ELLIS LANDLORD-BUILDING OWNER REPRESENTATIVE GC-GENERAL CONTRACTOR. 1.1 UPON COMPLETION OF THE TOP THE CONTRACTOR PROVIDE T□E OWNER AND ARC□ITECT WIT□: A. AS-BUILT PLANS. B. RELEASE OF LIENS FOR ALL SUB-CONTRACTORS. C. A FINAL RELEASE OF LIENS FROM T□E GENERAL CONTRACTOR. INSPECTOR'S SIGNATURES. ENGINEERING STAFF. WARRANTY REPAIRS OT ER TENANTS. 1.3 T□E CONTRACTOR WILL PERSONAL PROPERTY PLACED OR MOVED INTO OR OUT OF THE BUILDING SHALL BE AT THE RISH OF THE CONTRACTOR OR THE OWNER THEREFORE AND THE OWNERS SHALL NOT BE LIABLE TO T□E CONTRACTOR FOR ANY DAMAGE TO ANY PERSONAL PROPERTY. 1.4 T□E CONTRACTOR WILL CONFINE T□E CONSTRUCTION DEBRIS AND DUST TO THE CONSTRUCTION AREA. AWAY FROM COMPLETED TENANT SPACE OR COMMON AREAS, ALL AREAS OF TOE BUILDING, ESPECIALLY ACCESS AREAS AND COMMON AREAS, ARE TO BE MAINTAINED IN A CLEAN AND ORDERLY FASTION, THE CONTRACTOR IS TO TURN THE IMPROVED PREMISES OVER T□E PROPERTY MANAGER IN A CLEAN CONDITION, READY FOR OCCUPANCY BY TDE TENANT. 1.5 T□E CONTRACTOR WILL REMOVE ALL TRAS□ AND DEBRIS, INCLUDING EDCESS MATERIALS FROM TDE CONSTRUCTION SITE AND TOE BUILDING AND NO UNREASONABLE ACCUMULATION 1.6 T□E CONTRACTOR WILL COORDINATE T□E DELIVERY OF MATERIALS AND T $\square$ E USE OF T $\square$ E FREIG $\square$ T ELEVATOR AND REMOVAL OF DEBRIS WIT TO TO PROPERTY MANAGER 1.7 THE CONTRACTOR IS RESPONSIBLE FOR ALL PARHING C□ARGES OF □IS EMPLOYEES, SUB-CONTRACTORS, AND 1.8 T□E CONTRACTOR WILL SUBMIT ALL C□ANGES ORDERS TO □F ARC□ITECT FOR APPROVAL AND T□F DRAWINGS ARE TO BE REVISED ACCORDINGLY 1.9 THE CONTRACTOR WILL EHERCISE ALL DUE DILIGENCE IN MAINTAINING IN A SAFE WOR ING ENVIRONMENT AND TO ABIDE BY ALL OS A REGULATIONS. 1.10 UPON COMPLETION, T E CONTRACTOR WILL REMOVE ALL FOREIGN MATERIALS FROM WINDOWS, FLOORS, GLASS, □ARDWARE AND RESTROOM FI□TURES 1.11 T□E CONTRACTOR WILL NOT UNDULY DISTURB T□E PEACEFUL ENTOYMENT OF ANY TENANTS IN THE BUILDING. ALL DRILLING TOROUGO TOE CONCRETE FLOOR SLAB IS TO BE SC EDULED WIT TOE PROPERTY MANAGER. ALL PLUMBING INSTALLATIONS REQUIRING ACCESS TO OTGER AREAS OF TGE BUILDING WET COLUMN WILL BE COORDINATED WIT TO TO TO THE PROPERTY MANAGER. 1.12 TOE CONTRACTOR WILL INSTALL CONSTRUCTION AIR CONDITIONING FILTERS IN ALL RETURN AIR DAMPERS IN TDE DEMISING WALLS IN ORDER TO PREVENT CONSTRUCTION DUST FROM ENTERING TOE MAIN AIR CONDITIONING SYSTEM. 1.13 T□E CONTRACTOR IS TO PROVIDE TO ARC□ITECT FIVE COPIES OF ALL SHOP DRAWINGS, PRODUCT INFORMATION SUBMITTALS. AND ALL OT ER SUBMITTALS REQUIRED FOR REVIEW, ETC. AT LEAST TWO (2) OF THE ABOVE COPIES SHALL BE ORIGINALS. 1 14 THE CONTRACTOR SHALL VISIT THE FOR SITE AND VERIEY ALL CONDITIONS OF TOE WORD PRIOR TO SUBMITTING A BID. 1.15 T□E CONTRACTOR S□ALL VERIFY ALL DIMENSIONS IN T□E FIELD. DISCREPANCIES SUALL BE REPORTED TO TUE ARCUITECT PRIOR TO T□E COMMENCING OF T□E WOR□ IN T□E AREA 1.16 ALL WOR S ALL BE DONE IN ACCORDANCE TO T E LATEST EDITION OF TOE INTERNATIONAL BUILDING CODE 2014 AND ANY OT ER APLICABLE CODE. 1.17 IMPACT FEES, WATER AND SEWER CONNECTION FEES AND DEPOSITS FOR PERMANENT UTILITY SERVICES S□ALL BE PAID FOR TOE BY OWNER. TOE CONTRACTOR SOALL NOTIFY TOE ARC ITECT AND OR TOE OWNER WOEN TOESE FEES APPLY PRIOR TO T□E START OF T□E CONSTRUCTION OF T□IS 1.18 T□E CONTRACTOR S□ALL SUBMIT S□OP DRAWINGS FOR ALL PREFABRICATED ITEMS OF TOE WORD INCLUDING BUT NOT LIMITED TO TDE FOLLOWING:

# 20. WHERE EDISTING WALLS, CEILINGS OR FIRTURES ARE SPECIFICATIONS FOR GENERAL CONTRACTORS PERFORMING WOR REMOVED: WALLS CEILINGS AND FLOORS STALL BE PATC□ED, ELECTRIC AND PLUMBING S□ALL BE CAPPED P1 PROVIDE A PORTABI E FIRE ENTINGUISHER WITH A RATING OF NOT LESS TO AN 3-AC40-B. C WITOIN 50 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF TOE BUILDING ON EAC FLOOR, AND ADDITIONAL EDTINGUISDERS AS REDUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR. 22 ANY ITEM OF WORD NECESSARY FOR THE PROPER COMPLETION OF CONSTRUCTION W□IC□ IS NOT

3 NOT USED

**GENERAL NOTES (CONT.)** 

SPECIFICALLY COVERED IN TOESE DOCUMENTS SOALL

24 IF BUILDING □AS A COMPLETE FIRE SPRIN□LER SYSTEM

FOR T□E RELOCATION AND CONDITION OF SPRIN□LER

CONTRACTOR SOALL SUBMIT SOOP DRAWINGS

MOUNTED OR AS PER BASE BUILDING STANDARDS

5 PROVIDE WATER PROOFING MEMBRANE ON ALL NEW

CONTRACTOR S□ALL PREPARE E□ISTING AND NEW

FLOOR SURFACES FOR PROPER LEVELING TO RECEIVE

CONTRACTOR IS TO PROVIDE PROPER BACKING AND

BRACING AT ALL AREAS TO RECEIVE MILLWOR

28 ALL PROPOSED MILLWORD CONSTRUCTION SDALL

FRAMING PRIOR TO INSTALLATION OF GYPSUM

WALL BOARD. ALL PROPOSED CONDUIT TYPES

COMPLY WIT AWI CUSTOM STANDARDS, TYP.

9 CONTRACTOR SUALL COORDINATE AT ROUGE

RUNS AND LOCATIONS WIRANII VENDORS

USE AND INTERPRETATION OF T□IS DRAWING

INTENT OF T□E DRAWINGS. T□E CONTRACT

. GENERAL CONDITIONS OF TOE CONTRACT FOR

CONSTRUCTION, AIA DOCUMENT A201, ARE A PART OF A CONTRACT DOCUMENT AS DESCRIBE USE AND

DOCUMENTS INCLUDE NOT ONLY TOE DRAWINGS

ADDENDA AND MODIFICATIONS ISSUED AFTER

REUIRED BY ANYONE SUALL BE BINDING AS IF

THE SAME MATERIALS AND DETAILED SIMILARLY

AS SOWN MORE COMPLETELY ELSEWOERE IN

RE UIRED BY ALL. WOR NOT COMPLETELY

BUT ALSO T□E OWNER-CONTRACTOR AGREEMENT

E ECUTION OF THE CONTRACT. THESE CONTRACT

DOCUMENTS ARE COMPLEMENTARY. AND W⊟AT IS

DELINEATED DEREON SDALL BE CONSTRUCTED OF

CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS.

□EADS. SPRIN□LER □EADS S□ALL BE FLUS□

RE PERFORMED IN A MATTERS DEEMED GOO

PRACTICE OF TDE TRADE INVOLVED.

CONTRACTOR SUALL COORDINATE.

CONCRETE SLAB ON GRADE POURS

NEW PROPOSED FLOOR FINIS ES.

CABINETS, SIELVING, ETC.

IF USI ADT AND DIFBOLD TYP

D. Toe Original Building Permit Plans Wito Toe Original 1.2 TENANT WILL NOT BE RESPONSIBLE FOR A. SECURITY OF MATERIALS OF WOR IN PLACE B AIR CONDITIONING WOR□ NOT BEING PROPERLY PERFORMED TO ALLOW FOR PROPER COOLING OF THE

LEASED PREMISES UNLESS ALL AIR CONDITIONING WORL IS DONE IN COORDINATION WIT TO BUILDING

D. WINDOW BREADAGE DURING CONSTRUCTION. E. WOR STOPPAGES DUE TO WOR INTERFERING WIT

F. DELAYS DUE TO C ANGE ORDERS G. PAYMENT OF ANY DRAW WILL BE SUB⊡ECT TO T□E ARC□ITECT'S AND TENANT'S REPRESENTATIVES AGREEING TO TOE DEGREE OF COMPLETION. TEN PERCENT (10 ) OF EACH DRAW WILL BE HELD AS A RETAINER UNTIL THE TOB IS COMPLETED. INCLUDING PUNCHLIST ITEMS RELEASES OF LIEN. AND ACCEPTANCE OF T□E SPACE BY BOT TOE TENANT AND ARCOITECT.

SECURE TOE NECESSARY BUILDING PERMITS AND INSPECTIONS. INDEMNIFY AND DEEP DARMLESS TOE OWNER FROM ALL LOSSES, DAMAGES, LIABILITIES, AND E□PENSES W□IC□ MA ARISE OR BE CLAIMED AGAINST TENANT AND BE IN FAVOR OF ANY PERSONS, FIRMS, OR CORPORATIONS FOR ANY INCURIES OR DAMAGES TO TOE PERSON OR PROPERTY OF ANY PERSONS, FIRMS, OR CORPORATION CONSEQUENT UPOR OR ARISING FROM TOE CONSTRUCTION, USE, OR OCCUPANCY OF LEASED PREMISES BY THE CONTRACTOR OR CONSEILUEN JPON OR ARISING FROM ANY ACTS, OMISSIONS, NEGLECT OR FAULT OF T□E CONTRACTOR , □IS AGENTS, SERVANTS, EMPLOYEES, LICENSEES, VISITORS, CUSTOMERS, PATRONS OR INVITEES OR CONSEQUENT UPON OR ARISING FROM TOP CONTRACTOR'S FAILURE TO COMPLY WITH ANY LAW STATUTES, ORDINANCES, CODES, OR REGULATIONS THAT THE OWNERS SUALL NOT BE LIABLE TO TUE CONTRACTOR FOR DAMAGES, LOSSES OR INCURIES TO TOE PERSONS, FIRMS DAMAGE RESULTS FROM NEGLIGENCE OF THE OWNER. HIS AGENTS OR EMPLOYEES AND THAT THE CONTRACTOR WIL IDEMNIFY AND DEEP DARMLESS TOE OWNERS AND BE IN FAVOR OF ANY PERSONS FIRMS OR CORPORATIONS FOR AN INCURIES OR DAMAGES TO TOE PERSON, OR TOE PROPERTY OF ANY PERSONS, FIRMS OR CORPORATIONS WIERE SAID IN□URIES OR DAMAGES AROSE ABOUT OR UPON T□E LEASEI PREMISES AS A RESULT OF T□E □E NEGLIGENCE OF T□E CONTRACTOR, □IS AGENTS, EMPLOYEES, SERVANTS, LICENSEES VISITORS CUSTOMERS PATRONS AND INVITEES ALL

ATM, STOREFRONT DOORS, CABINETS, AIR CONDITIONING

ETC. TOE CONTRACTOR SOALL OBTAIN TOE ENGINEER'S

TO T□EIR FABRICATION. SAMPLES S□ALL BE SUBMITTED

ARCHITECT SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND

SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS

IN ACCORDANCE WITH THE SUBMITTAL SCHEDULE APPROVED BY

SUBMITTAL SCHEDULE, WITH REASONABLE PROMPTNESS AND IN

THE ACTIVITIES OF THE OWNER OR OF SEPARATE CONTRACTORS.

AND SIMILAR SUBMITTALS, THE CONTRACTOR REPRESENTS TO THE OWNER AND ARCHITECT THAT THE CONTRACTOR HAS (1) REVIEWED

AND APPROVED THEM. (2) DETERMINED AND VERIFIED MATERIALS.

FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA RELATED THERETO, OR WILL DO SO AND (3) CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SLICH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS

SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK OR IN

BY SUBMITTING SHOP DRAWINGS, PRODUCT DATA, SAMPLES

1.19 THE CONTRACTOR SHALL REVIEW FOR COMPLIANCE WITH THE

CONTRACT DOCUMENTS, APPROVE AND SUBMIT TO THE

THE ARCHITECT OR, IN THE ABSENCE OF AN APPROVED

BY CONTRACTOR UPON RE□UEST

ARC ITECT S WRITTEN APPROVAL OF SOP DRAWINGS PRIOR

 BY USE OF T□E DRAWINGS FOR CONSTRUCTION OF TOE PROJECT TOE TENANT AND LANDLORD REPRESENTS TO AT TO EY DAVE REVIEWED AND APPROVED THE DRAWINGS AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROFECT IS COMPLETE. TIE CONTRACTOR REPRESENTS  $\mathsf{T} \square \mathsf{AT} \ \square \mathsf{E} \ \square \mathsf{AS} \ \mathsf{VISITED} \ \mathsf{T} \square \mathsf{E} \ \mathsf{SITE}, \ \mathsf{FAMILIARI} \square \mathsf{ED}$ ☐IMSELF WIT☐ T☐E LOCAL CONDITIONS. VERIFIED FIELD DIMENSIONS AND CORRELATED DIS OBSERVATIONS WIT IT TO E REQUIREMENTS OF TOE CONTRACT DOCUMENTS.

TDE CONTRACT DOCUMENTS.

T□E CONTRACT SUM AND T□E CONTRACT TIME MAY BE C□ANGED ONLY BY C□ANGE ORDER TO THE CONTRACTOR SIGNED BY THE TENANT AND THE ARCHITECT ANY WORL PERFORMED IN VARIANCE WITH THE CONTRACT DOCUMENTS AND NOT COVERED BY THE ARCHITECT'S WRITTEN ORDER FOR A MINOR C□ANGE IN T□E WOR□ OR A C□ANGE ORDER, WILL NOT BE ACCEPTED.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS. SPECIFICATIONS AND COPIES THEREOF FURNISHED BY TOE ARCOITECT ARE OIS SPECIFICATIONS AND PROPERTY. TOEY ARE TO BE USED ONLY FOR TOIS PRO□ECT AND ARE NOT TO BE USED ON ANY OT□ER PRO ECT. C□ANGES TO T□E DRAWINGS NOT TO BE USED ON ANY OT□ER PRO□ECT. C□ANGES TO T□E DRAWINGS MAY ONLY BE MADE BY TOE ARCOITECT. ANY SUBMISSION OR DISTRIBUTION WIT OUT TOE EDDRESS WRITTEN CONSENT OF THE ARCHITECT MAY BE CONSTRUED AS DEROGATION OF TOE

ALL WORD SDALL BE CONSTRUCTED IN ACCORDANCE THE INTERNATIONAL BUILDING CODE 2006. THE CONTRACTOR AND SUBCONTRACTORS

ARC□ITECT COPYRIG□T OR OT□ER RESERVED RIG□TS.

WITH ACCESSIBILITY GUIDELINES AS SET FORTHIN SUALL BE RESPONSIBLE FOR TUE IMPLEMENTATION

# **CONSTRUCTION PLAN NOTES** REFLECTED CEILING AND MECHANICAL SYSTEMS NOTES

PRIOR TO START OF CONSTRUCTION, GC S□ALL COORDINATE SC EDULING OF MEETING WITE ROFECT PERSONNEL. T⊟E BUILDING®ANDLOR REP(S), ARC ITECT PRO ECT MANAGER, OT ERS, FOR REVIEW OF PROJECT SCOPE, DESIGN INTENT, CONSTRUCTION | UALITY E | PECTED, | FINAL DISCUSSION OF DRAWINGS DETAILS UESTIONS. DIMENSIONS ON DRAWINGS ARE FINIS FACE TO FACE OF PARTITIONS, COLUMNS, ETC., OR TO

W□ERE S□OWN, UNLESS OT□ERWISE NOTED. DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TA E PRECEDENCE OVER RAP IC REPRESENTATION. DETAIL DIMENSIONS TADE PRECEDENCE OVER PLAN DIMENSION. GC S□ALL BE RESPONSIBLE FOR FIELD MEASURING OF E□ISTING CONDITIONS <u>PRIOR</u> TO START OF WORD AND DURING CONSTRUCTION, AS NECESSARY, TO

ASSURE CONSTRUCTION ADDERENCE TO DRAWINGS. BY ENTERING INTO A CONSTRUCTION CONTRACT FOR T□IS WOR□, GC S□ALL INDICATE □IS FAMILIARITY WIT TO SITE FIELD. CONDITIONS A. ALL OLDOR CLEAR DIMENSIONS SOALL BE MONITORED TO ASSURE CORRECTNESS B. ANY DIMENSION REVISIONS MODIFICATIONS ARE TO BE BROUG TO ATTENTION OF ARC ITECT PROJECT MANAGER FOR REVIEW APPROVAL

ALL VERTICAL DIMENSIONS SUALL BE TAUEN FROM "BENC MAR " OR OT ER SIMILAR GUIDE ESTABLIS ED PRIOR TO START OF CONSTRUCTION. DIG POINTS, PARTICULARLY, WICE COULD IN ANY WAY AFFECT FABRICATION INSTALLATION WORE OF OTHER TRADES OR VENDORS (E.G., CABINET CONTRACTORS), SUALL BE BROUGUT TO ATTENTION OF ARCUITECT. A. VARIATIONS IN FLOOR LEVEL IN EDCESS OF 112" FOR EVERY 10 €0" IN EVERY DIRECTION WILL REUIRED LEVELING OF SLAB BY G.C. OR LANDLORD AS PREDICATED BY FINAL LEASE AGREEMENT, LEVELING OF SLAB TO BE DONE READY TO RECIEVE ARC ITECT FLOOR FINIS ES, I.E. VYNIL TILE, CARPETING, ETC. GENERAL ONTRACTORS TO VERIFY SLAB CONDITION PRIOR TO BID SUBMISSION

5 GC SHALL DEMOLISH FRISTING PARTITIONS AND VARIOUS OT□ER ELEMENTS AS INDICATED ON T□E PLAN AND COORDINATE T□E REMOVAL OF ALL RELATED ELECTRICAL SERVICE, PLUMBING AND ALL OT EF APPURTENANCES INCLUDED TIEREIN, REFER TO GENERAL DEMOLITION NOTES.

GC S□ALL BE RESPONSIBLE FOR T□E REMOVAL OF ALL CONSTRUCTION DEBRIS AND FOR T□E RETURN REDUESTED BY TOE BUILDING MANAGEMENT UNLESS OT ERWISE NOTED ON CDS

3 ALL CONVENTIONAL DRYWALL CONSTRUCTION FURRING, SEATEING, TEIS CONTRACT, SEALL BE AS DETAILED (REFER TO LEGEND ENTRIES, ON CONSTRUCTION PLAN), DRYWALL COINTS SCALL BE SHALL RECEIVE METAL CORNER REINFORCING BEAD AND BE SPAC LED IN CONVENTIONAL MANNER. NO ORICONTAL DRYWALL COINT TO THE MAINTLE. NO UNITES SAPEROVED BY ARCCITECT. BUTTED, UNTAPED DRYWALL COINTS ARE NOT ACCEPTABLE. FULL DEIG T GYPSUM BOARD SCEETS SCALL BE USED

CONSTRUCTION PLAN NOTES(CONT.

T\_ROUG\_OUT FOR FULL \_EIG\_T CONSTRUCTION A ALL NEW DRYWALL CONSTRUCTION SHALL BE PROPERLY PREPARED TO RECEIVE SPECIFIED FINIS MATERIAL(S) IN MANNER FULLY

ACCEPTABLE TO ARCHITECT. B. TAPED COINTS, CORNERS, DIMPLES OR SCREW □EADS S□ALL BE SPAC□LED SMOOT□ AND LEVEL WIT□ AD□ACENT GYPSUM BOARD SURFACE. NO BULGING OR UNEVEN FINIS ED DRYWALL WILL BE ACCEPTED.

> ALL EDISTING DOLESICRACDS IN SLAB AND TOOSE RESULTING FROM T□E CONSTRUCTION PROCESS S□ALL BE FILLED REPAIRED AND T□E SURFACE PATC DED SMOOT DAND LEVEL WIT DAD ACENT FLOOR SURFACE. IN A MANNER ACCEPTABLE T TOE ARCOITECT. CONTRACTOR SOALL MAINTAIN FIRE RATING WOEN FILING OOLES, ETC.

O ALL NECESSARY WOOD BLOC□ING™GROUNDS ETC ARE TO BE SUPPLIED AS FACTORY TREATED FIRE-PROOFED ELEMENTS. GC S□ALL FULLY COORDINATE SETTING PLACEMENT OF T□ESE ELEMENTS AS RE□D BY LOCAL CODE BUILDING OR SURROUNDING CONSTRUCTION CONDITIONS A GROUNDS/BLOCHING MAY NOT BE WHOLLY SHOWN ON DRAWINGS AND GOOD CONSTRUCTION PRACTICE SUALL GOVERNUDETERMINE SAID

USE WIERE A IUESTION ARISES. B GC TO PAY PARTICULAR ATTENTION TO ALL OCATIONS OF DRYWALL PARTITION CONSTRUCTION THAT ABUT OR RECEIVE MILLWOR OR CABINETWOR CONSTRUCTION INTERNAL WOOD BLOC□ING S□ALL BE SUPPLIED FOR STURDY ANC ORAGE AT LIG□T PARTITIONS AND AD□ACENT DRYWALL CONSTRUCTION AS REPUIRED

C. BLOC ING FOR ALL MILLWOR INSTALLATIONS. BUILT-IN FURNITURE DRAPERY TRACTS AND PRESENTATION BOARDS SUALL BE PROVIDED Y GC. REFER TO FURNITURE PLAN ND FINIS□ PLAN FOR COMPLETE SCOPE. REFER TO MECHANICAL PLAN FOR BLOC UIREMENTS FOR WALL MOUNTED VAC E□UIPMENT IN TELEP□ONE E□UIPMENT ROOM 11 GC SHALL PROVIDE GENERAL CARPENTRY AS

ISDICTION OF A SPECIFIC TRADE, BUT □UIRED FOR PROPER □OB E□ECUTION AND COMPLETION OF CONSTRUCTION. 2 12 INSTALL ALL PLUMBING NECESSARY FOR THE INDICATED PLUMBING FIGTURES APPURTENANCES

REQUIRED FOR WORD WOICD MAY NOT FALL INTO

SAID UNITS SUALL BE AS SPECIFIED. 13 ANY ACCESS PANELS REQUIRED IN ANY CONSTRUCTION TOIS CONTRACT SOALL BE APPROVED AS TO SPECIFIC SI□E, LOCATION, FINIS□ ETC., BY ARC□ITECT.

14 GC, SUBCONTRACTORS, AND ALL VENDORS ARE TO VERIFY ALL CLEARANCES (CORRIDORS, STAIRS, ELEVATORS, ETC.) REQUIRED FOR DELIVERIES PASSAGE OF ALL OB MATERIALS © UIPMENT A. GC SUALL SCUEDULE FOR AND INCLUDE COSTSU ES NECESSARY FOR USE OF BUILDING ELEVATOR OR ANY SPECIAL CARTAGE, RIGGING CONNECTED WITH CONTRACT WORLD B GC SHALL COORDINATE CLOSELY WITH VARIOUS

C□ITECT VENDORS OR CONTRACTORS, RDING INFORMATION IN PART "A" TIS NOTE. ABOVE. 15 E⊓ISTING DRYWALL IN. ANY AREA OF S PROECT (TO INCLUDE CORE AND PERIMETER COLUMNS AND WALLS) S□ALL BE PATC□ED, SPAC□LED, AS RE□UIRED, IF DAMAGED IN ANY

LUCTION TO SATISFACTION OF ARC ITECT | TOE BUILDING .16 □ARDWARE S□ALL BE PROVIDED BY GC AS SPECIFIED. SEE MILLWOR DETAILS AND NOTES FOR SCOPE OF WOODWOR□ING AND □AI 17 ALL SUBSTITUTIONS. I.E., "E UALS" MUST BE WRITTEN APPROVAL PRIOR TO SUBSTITUTION BEING

.18 GC S ALL REMOVE E ISTING FLOOR COVERING WENEVER DESIGNATED FOR REMOVAL. .19 DEMISING PARTITIONS S□ALL BE SPECIFIED WIT SOUND ATTENUATION BATTING

UNLESS NOTED IN CDS. .20 SOUND ATTENUATION BATTING S□ALL BE SPECIFIED

SCOPE: GC S□ALL FURNIS□ AND INSTALL

ONTINUOUS GRID SUSPENDED ACOUSTICAL TILE

CFILING MATERIAL AS SPECIFIED AND AS INDICATED

2 CEILING GRID SYSTEM S□ALL BE IN CONFORMANCE

WIT ASTM C 635 AND WIT GENERAL PRACTICES AND APPLICABLE STATE AND LOCAL ORDINANCES

NSTALLATION S ALL BE IN CONFORMANCE WIT

3 GC S□ALL VERIFY CONFORMANCE WIT□ LOCAL AND

4 CEILING PLANE S□ALL BE LEVEL AND TRUE, AND IN

ALIGNMENT WITH ALL LIGHTING, SPRINGLER, HVAC

OT ER ELEMENTS INCORPORATED IN ITS

CONST. GRID SHALL BE CONTINUOUS THROUGHOUT

TUE DEMISED AREA EUCEPT WUERE NOTED ON CDs.

WOR□ WIT□ CARPENTRY TRADES TO PROVIDE FOR A

NEAT, LEVEL VISUAL LINE AT T□E INTERSECTION OF

6 FASCIAS SOFFITS S□ALL BE LEVEL AND TRUE, FREE

S ALL AT NO TIME COME IN CONTACT WIT CEILING

B ACCESS S□ALL BE PROVIDED BY GC AS RE□UIRED

MECHANICAL, ELECTRICAL AND OTHER ELEMENTS

VIT□IN CEILING PLENUM AND AS RE□UIRED BY

OT⊓ER TRADES AND APPROVED BY ARC⊓ITECT

O ARC ITECT. REFERENCE PLANS SUALL BE

10 S□OP DRAWINGS FOR ALL RELATED TRADES

CEILING ELEMENTS S□ALL BE SUBMITTED.

AS-BUILT REFERENCE PLANS S□ALL BE PROVIDED

INSPECTIONS, AS REQUIRED BY LOCAL AUTORITIES

SALL BE COORDINATED BY GC PRIOR TO CLOSING

(PLUMBING, SPRINGLER, GVAC) (5 SETS) SGALL BE SUBMITTED TO ARCGITECT FOR REVIEW APPROVAL

PRIOR TO MANUFACTURING AND INSTALLATION. A

COORDINATED SOOP DRAWING FOR ALL VISIBLE

CODE LOCATIONS FOR SPECIAL ACCESS DOORS

OF SURFACE DISTORTION AND DIMENSIONED

7 MECHANICAL INVACIAND PLUMBING FLEMENTS

ONSTRUCTION E CEPT AS NECESSARY

FOR INSTALLATION AND MAINTENANCE OF

5 ACOUSTICAL CONTRACTOR SUALL COORDINATE

MANUF. RECOMENDATIONS AND ASTM C 636.

SUBMITTING FINAL PRICING.

CEILING AND PARTITIONS

ACCORDING TO DETAILS S□OWN.

PENETRATIONS MAY REDUIRE.

PROVIDED TO ARC ITECT.

PROVISIONS FOR OT ER TRADES AS REUIRED.

E□UIPMENT: TELEP□ONE AND DATA E□UIPMENT, TERMINALS, ETC., E□CEPT AS SPECIFICALLY CALLED FOR, S□ALL BE 21 SOUND ATTENUATION BATTING S□ALL BE SPECIFIED AT ALL PARTITIONS AND CEILING FOR NEW COORDINATION WIT | VENDORS | INSTALLERS

EGARDING DELIVERIES, SC□EDULES, AS DIRECTED BY ARCHITECT 3 LOCATIONS AND DIMENSIONS S□ALL BE PER ARC□ITECTURAL DRAWINGS□ENGINEERING DOCUMENTS (IF ANY) S ALL PREVAIL IN CASE OF VARIATION IN SPECIFICATIONS DISCREPANCIES MUST BE BROUG T TO TO E ATTENTION OF ARCUITECT

REFLECTED CEILING AND MECH.

I1 □VAC SUPPLY. RETURN. E□□AUST GRILLES S□ALL

E AS SPECIFIED IN MECHANICAL DRAWINGS (

VERIFY CONFORMANCE OF SPEC WIT□ BUILDII STANDARDS. ALL □VAC ELEMENTS S□ALL BE

"BUILDING STANDARD" IF NOT SPECIFIED. GC TO

OFF-Waite (TO MATC a Ceiling) INSTALLED FLUS

C□ANICAL PLANS,UNLESS OT□ERWISE NOTED ON CD\\$,

AND TRUE AND CENTERED WITHIN THE CEILING

GRID. LOCATIONS S□ALL BE PER APPROVE

GOVERN WITH RESPECT TO LOCATIONS FOR

CEILING PENETRATIONS AS AEST ETIC AND

PRECEDENCE WIT RESPECT TO OVERALL SCOPE

 $\mathsf{T} □ \mathsf{AN}$  ONE ROOM,  $\mathsf{S} □ \mathsf{ALL}$  BE ACOUSTICALLY LINED

13 DUCTWOR, WEN CONTINUOUS TOROUG MORE

O DIMINIS SOUND TRANSMISSION TOROUG

.14 CLEARANCES FOR ALL RELATED CEILING PLENUM TOAN ONE ROOM, SOALL BE ACOUSTICALLY LINED

15 SPECIAL COOLING REQUIREMENTS SUPPLENMENTAL

16 WATER □EATER S□ALL BE SPECIFIED ON RELATED

ACCESSORIES AND SAFETY FEATURES.

17 FIRE PROTECTION SYSTEMS AS SPECIFIED OR

B. ALL □OT WATER PIPES S□ALL BE INSULATED.

RE□UIRED BY CODE, S□ALL BE PROVIDED BY G

MINIMUM SPRINTLER INSTALLATION MUST MEET

WITH OTHER TRADES BY GC AND SHALL BE AS

OR BUILDING STANDARD IF E□UAL OR BETTER

B.19 LIGHTING FIRTURES, ERIT LIGHTS, SWITCHING, ETC

3.20 CUT SIJEETS FOR ALL FIITURES SIJALL BE

SIALL BE PROVIDED BY GC. ENGINEERING PLANS SIALL GOVERN LOCATION, AND SIALL

PREVAIL IN UESTIONS OF CIRCUITING AND SCOPE

SUBSTITUTIONS MUST BE APPROVED BY ARC ITECT

CTRICAL CODE" AND ANY AND ALL APPLICABLE

3.24 CLEANING: BEFORE □OB COMPLETION, T□E FOLLOWING

A. ALL LIG T FI TURE INTERIORS AND LENSES SUALL

BE WIPED CLEAN OF ALL CONSTRUCTION DUST,

FUNCTIONING. MEC ANICALLY AND ELECTRICALLY

 $S\square ALL$  BE AIMED, IF CALLED FOR, PER REFLECTED

GRIME, FINGERMAR□S, ETC., AND BE FULLY

B. ALL LAMPING WILL BE NEW AND FUNCTIONAL

3.25 PROTECTION: ALL ELECTRICAL ELEMENTS, WILEN

3.26 MAINTENANCE CONTRACT FOR SUPPLEMENTAL AIR

CONTRACTOR FOR REVIEW. SERVICES TO BE

MANUFACTURER. CONTRACT TO BE ONE-YEAR

NCLUDED S□ALL BE AS RECOMMENDED BY

TERM, RENEWABLE FOR ONE YEAR

**ELECTRICAL PLAN NOTES** 

WOR□ AS S□OWN OR IMPLIED IN T□ESE

DRAWINGS AND RELATED ENGINEE

AS REQUIRED BY CODE OR BUILDING

4.1 SCOPE: GC S□ALL PROVIDE ALL ELECTRICAL

DRAWINGS (IF ANY) INCLUDING ALL CONDUIT

RUNS FOR POWER AND SIGNAL □DRAG LINES

 ${\sf PATC} {\it \square} {\sf ING} {\it \square} {\sf ETC}. {\it \square} {\sf AS} \; {\sf SPECIFIED} \; {\sf OR} \; {\sf IMPLIED} \; {\sf OR} \;$ 

PULL BODES WIRING RECEPTACIES AND

SWITC ING DEVICES CORE DRILLING AND

CONDITIONING SYSTEMS INSTALLED UNDER TOIS

CONTRACT S□ALL BE SUBMITTED TO ARC□ITECT BY MEC

NSTALLED, S□ALL BE PROTECTED FROM DA

OT ER TRADES. COVER PLATES SUALL BE

C. RECESSED INCANDESCENT FIGTURES SGALL BE

SIMILARLY CLEANED AND BE FUNCTIONAL AN

3.21 EMERGENCY LIG□TING AND ANNUNCIATOR □ALARM

SYSTEMS S□ALL BE SPECIFIED BY ENGINEER.

3.23 ELECTRICAL WOR□ S□ALL BE PERFORMED IN

STATE AND LOCAL CODES ORDINANCES.

S⊟ALL BE SATISFIED

CEILING PLAN.

ACCORDANCE WITH THE LATEST "NATIONAL

SPECIFIED BY ENGINEER OR AS RE D BY CODE.

.18 SPRIN□LER □EAD LOCATION S□ALL BE COORDINATED

SPRINGLERS SCALL BE CENTERED WITCIN EACO CEILING TILE TO PROVIDE A UNIFIED, CONSISTENT AND AESTORIC

ARRANGEMENT. □EADS S□ÁLL BE W□ITE FLUS□ TYPE

A. DEATER SDALL BE, STORAGE

REUIREMENTS OF NFPA 13.

SYSTEM SOALL BE DESIGNED AND SPECIFIED IN TOE

MECHANICAL CDIS CONTRACTOR SHALL COORDINAT

ABOVE CEILING CONDITIONS FOR T□IS INSTALLATION.

MEC ANICAL PLANS, UNLESS OT ERWISE NOTED IN CDIS

□ TYPE INCLUDING ALL NECESSARY PIPING

FUNCTIONAL CONSIDERATIONS DICTATE

MEC ANICAL DOCUMENTS SALL TARE

OR AS DIRECTED BY ARCUITECT

12 ARC ITECTURAL CEILING PLAN SUALL

SYSTEMS NOTES CONT

REFORE START OF WORD FURNITURE INDICATED ON PLANS IS FOR REFERENCE ONLY 4.4 VARIATIONS FROM WORD SPECIFIED DUE TO AVAILABILITY OF MATERIALS FIELD CONDITIONS MADE WIT□ T□E APPROVAL OF ARC□ITECT. .5 FIELD VERIFICATIONS: G.C. AND

SUBCONTRACTORS S ALL BE RESPONSIBLE TO VERIEY FIELD CONDITIONS AND DIMENSIONS BEFORE BEGINNING WOR ... SIDES OF CONDUITS AND PULL BOOES SOALL BE ADEQUATE FOR CABLES SERVICE SPECIFIED. 4.6 AD□ACENT TENANTS: GC S□ALL INCLUDE REPAIRS TO AD ACENT TENANT SPACES AND COMMON AREAS W□EN WOR□ AFFECTS T□OSE AREAS. WOR□ IN
AD□ACENT TENANT SPACES S□ALL NOT BE SC□EDULED DURING NORMAL WOR□ING □OURS. 7 COMPLIANCE: ALL WOR SALL BE PERFORMED IN COMPLETE COMPLIANCE WITH THE NATIONAL

ELECTRICAL CODE AND ALL STATE OR LOCAL CODES AND ORDINANCES AVING URISDICTION 1.8 COMPATIBILITY: ALL DEVICES, WIRING, ETC. S ALL BE COMPATIBLE, EAC WIT ONE ANOTHER AND WIT EDISTING WOR AND **BUILDING STANDARDS** 

4.9 CIRCUITING S□ALL BE AS S□OWN ON ENGINEERING DOCUMENTS. 4.10 PROTECTION: ALL ELECTRICAL DEVICES, WIEN INSTALLED, S□ALL BE PROTECTED FROM DAMAGE BY OT□ER TRADES. COVER PLATES S□ALL BE <u>INSTALLED</u> AFTER FINIS□ MATERIALS □AVE BEEN APPLIED. SEE FINIS□ PLAN. 4.11 FLOOR OUTLETS S□ALL BE FLUS□ TYPE UNLESS PRO BITED BY BUILDING MANAGEMENT.

S ALL FURNIS CUT SAMPLE TO ARC ITECT FOR APPROVAL. UNDER CARPET WIRING MAY NOT BE USED E□CEPT AS SPECIFIED AND AS LOCAL CODES AND BUILDING MANAGEMENT PERMITS. 4.12 SURFACE MOUNTED WIRING DEVICES SUALL NOT BE USED BY GC, □IS SUBS OR ANY ELECTRICAL VENDOR OR INSTALLER, E□CEPT AS SPECIFIED TO COORDINATE WIT | FURNITURE MILLWOR□ INSTALLATION.

**ELECTRICAL PLAN NOTES CONT.** 

□VAC, CABINET WOR□, CARPENTRY, FURNITURE, S□ALL BE ASSURED BY GC. 1.14 RACEWAYS PROVIDED BY OT□ERS WIT□IN CUSTOM CABINETRY AND MILLWOR OR OFFICE ANDSCAPE PARTITION SYSTEMS S□ALL BE USED FOR ELECTRICAL INSTALLATIONS. 1 15 OFFICE LANDSCAPE PARTITIONS: MODULAR POWER WAYS AND RECEPTACLE DEVICES FOR ELECTRICAL SERVICE IN LANDSCAPE PARTITION SUALL BE PROVIDED BY FURNITURE VENDOR ELECTRICAL SUBCONTRACTOR TO PROVIDE FOR SERVICE TO POINT OF INTERFACE WIT LANDSCAPE PANELS AND TO INSTALL DEVICES IN ACCORDANCE WIT MANUFACTURERS

4.13 COORDINATION OF ELECTRICAL WOR WIT

SPECIFICATIONS. 4 16 AVAII ARII ITY OF ADE⊓UATE POWER SERVICE SOALL BE VERIFIED BY ELECTRICAL CONTRACTOR. COSTS FOR ADDITIONAL CIRCUIT PANELS, TRANSFORMERS, ETC., I REDUIRED, SDALL BE INCLUDED IN BASE BID 4.17 CONNECTION OF SERVICES: ELECTRICAL CONTRACTOR S□ALL PROVIDE FOR CONNECTION OF TENANT TELEP□ONE ROOM VIT□ BUILDING TELEP□ONE CLOSET AS RE□ D I.18 E□ISTING SIGNAL CABLES. IF IN USE BY RESIDING ENANTS, MAY NOT BE DISTÚRBED OR CUT. G SUALL BE RESPONSIBLE TO RESTORE ANY SERVICES W□IC□ ARE INADVERTENTLY INTERRUPTED.

4.20 REFER TO SCOPE OF MEC□ANICAL AND □VAC INSTALLATIONS FOR RELATED ELECTRICAL WORL TO BE INCLUDED. I.21 BAC □-TO-BAC □ ELECTRICAL OUTLETS MAY S□ARE CONDUIT SITED FOR DOUBLE USE. (USE 2-114" □TENSION COLLAR WIT□ MUD-RINĠS BOT□ SIDES.) 1.22 SLEEVES S□ALL BE PROVIDED BY GC TO ALLOW DATA ITELEPHONE CABLES TO PASS THROUGH FIRE

5.1 SCOPE: ALL FURNITURE S⊟OWN IS TO BE PROVIDED BY VENDORS OT ER TEAN GC. SCOPE OF WORE BY GC IS RELATED TO COORDINATION OF INSTALLATION

RATED PARTITIONS AND SUALL BE FIRESTOPPED BY G.C.

5.2 ALL FURNITURE AND EQUIPMENT IS NEW EQCEPT AS 5.3 FURNITURE SUPPLIER IS TO PROVIDE AND INSTALL ALL FURNISCINGS SPECIFIED AS SCOWN WITCH NO SUBSTITUTIONS. PRICES ARE TO INCLUDE SCIPPING AND FREIG□T C□ARGES AND FEES, LICENSE PERMITS AND INSTALLATION BY DUALIFIED LABOR

WIT | VENDORS.

DURING NORMAL BUSINESS DOURS. OVERTIME DELIVERIES, IF REQUIRED BY BUILDING MANAGEMENT ARE TO BE COORDINATED WIT AND APPROVED BY ARC□ITECT. 5.4 VENDOR S ALL ALLOW FOR ANY BUILDING ELEVATOR USE FEES, LOADING DOC FEES, ETC AND SUALL COORDINATE DELIVERY SCUEDULES WIT BUILDING MANAGEMENT AND ARC ITECT

FREIG□T ELEVATORS AND DELIVERY PAT□ TO 5.6 COMPLIANCE WIT LOCAL CODES AND ORDINANCES SUALL BE TUE RESPONSIBILITY OF FURNITURE VENDOR (INCLUDING PAYMENT OF ANY FINES FOR NON-COMPLIANCE). 5.7 PROTECTION SHALL BE PROVIDED BY VENDOR FOR

ALL SURFACES SUSCEPTIBLE TO DAMAGE DURING

5.5 VENDOR TO VERIFY CAPACITIES, DIMENSIONS OF

ELIVERY. VENDOR S ALL BE RESPONSIBLE TO CORRECT ANY DAMAGES CAUSED BY DELIVERY 5.8 BUILT-IN FILES AND CABINETS RE□UIRE COORDINATION WIT GC AND WOR BY OT ER TRADES SPECIFIED IN OTHER SECTIONS FURNITURE VENDOR SDALL ASSEMBLE, PLACE AND LEVEL CABINETS WIT IN ENCLOSURES PROV

(PLATFORMS, REVEAL STRIPS WOR TOPS. ETC.. BY 5.9 FREESTANDING FILE BAN S SALL BE LEVELED AND BOLTED TOGET ER BY VENDOR. 5.10 LOC S ARE SPECIFIED FOR ALL FILE CABINETS

CABINETS WIT□IN ONE BAN□ S□ALL BE □EYED ALI□E 5.11 LOC S WEEN SPECIFIED FOR OFFICE SUITES AND COMPONENT ASSEMBLIES SUALL BE DEYED ALIDE REFER TO DARDWARE REQUIREMENT

5.12 CONTRACTOR SOALL COORDINATE ALL CARDWARE

# FINISH PLAN NOTES

6.1 ALL FINIST MATERIAL INDICATED TO BE PROVIDED AND INSTALLED BY G.C. UNLESS OT ERWISE NOTED IN FINIS SC□EDULES, ON FINIS□ PLAN.

6.2 GC AND VENDORS SALL DETERMINE AVAILABILITY OF ALL FINIS MATERIALS ANY DELIVERY SCHEDULE T□AT POTENTIALLY MAY CAUSE COORDINATION PROBLEMS DURING THE FINAL STAGES OF CONSTRUCTION INSTALLATION S□ALL BE BROUG□ O ATTENTION OF ARCUITECT , EARLY ON, FOR POSSIBLE REEVALUATION OF MATERIAL DESIGNATION. 6.3 A MINIMUM QUANTITY OF TWO (2) 1E0" Q 1E0" FINIS SAMPLES OF ALL SPECIFIED FINIS ES AND CURRENT STOC□ CUTTINGS OF ALL SPECIFIED WALL COVERINGS S□ALL BE PROVIDED FOR APPROVAL

PRIOR TO ORDERING 6.4 PAINT FOR WALL FINIS ES S ALL BE PROVIDED AS A TOREE (3) COAT EGGSOELL LATEO ENAMEL PAINT INSTALLATION (ONE (1) PRIME AND TWO (2) FINISOED COAT COLORS AS SPECIFIED. METAL ELEMENTS AND DOOR AND WINDOW FRAMES SUALL DAVE A TUREE

COAT SEMI-GLOSS AL TO ENAMEL FINIS 6.5 GC S□ALL ASSURE T□AT NO ELECTRIC RECEPTACLE AVE BEEN INSTALLED PRIOR TO COMPLETION OF APPLICATION OF ANY WALL FINIS MATERIALS

6.6 UPON COMPLETION OF FINIS□ P□ASE OF □OB. GC S□ALL REMOVE ALL PAINT, WALLCOVERING PASTI ETC., FROM W□ERE IT □AS SPILLED, SPLAS□ED, OR SPATTERED

5.7 GC S ALL INSTALL ALL WALLCOVERINGS W ERE DESIGNATED. ALL WALLCOVERING STALL BE SMOOT WITD NO WRINDLES, BUBBLES, BLISTERS, OR LOOSE EDGES. ALL ECCESS PASTE SCALL BE TOROUGCLY REMOVED. WALLCOVERING ADCOINING WOOD OR METAL WALLCOVERING AT ALL REVEALS SHALL RETURN INTO REVEAL. ALL WOR MANS IP WICE IS NOT UDGED ACCEPTED. NO WALLCOVERING S□ALL TERMINATE ON A FLAT SURFACE OR ON AN OUTSIDE CORNER. ALL WALL-COVERING SHALL TERMINATE AT AN APPROPRIATE REVEAL BREAD OR INSIDE CORNER.

6.8 ALL WALL SURFACES RECEIVING WALLCOVERING SOALL BE PRIMED WITO A SUITABLE STRIPPABLE PRIMING MATERIAL NO "ONE STEP" PRIMER ADDESIVE SDALL BE USED. SAID PRIMER SOALL BE COMPATIBLE WITO TOE RECOMMENDED ADDESIVE FOR RESPECTIVE WALL **COVERING BEING USED** 

**FINISH PLAN NOTES GENERAL DEMOLITION NOTES** 

PRIOR TO CARPET INSTALLATION.

3.10 VINYL COMPOSITION TILE INSTALLATION SUALL BE

ADE UATE PROTECTION FOR ALL NEW INSTALLED VINYI

OF ALL ADDESIVE CONSTRUCTION STAINS AND RECEIVE

WILCO IS TO BE THOROUGHLY MACHINE BUFFED TO

SATISFACTION OF ARC ITECT. (CLEAN WA BY G.C.)

A. GC TO SUPPLY AND INSTALL VINYL ALL FINIS ES

B. GC IS RESPONSIBLE FOR ALL FLAS PATC ING

AND TO DAVE FLOOR IN CONDITION TO RECEIVE EITDER CARPET AND OR VINYL COMPOSITION TILE.

5.11 GC SOALL PROVIDE AND MAINTAIN COMPLETE
PROTECTION FOR ALL NEW INSTALLED FLOOR FINISOES

(INCLUDING CARPET) UNTIL ALL CONSTRUCTION WORD IS COMPLETE. PROTECTION SUALL BE REMOVED ONLY

3.12 CARPET SUPPLIER⊞NSTALLER S□ALL PROVIDE CURRENT

STOC SAMPLES OF SPECIFIED CARPET FINIS ES FOR

SITION STRIPS AS SPECIFIED OR NECESSARY

3.13 GC. ALL VENDORS/SUBCONTRACTORS ARE RESPONSIBLE

6.14GC STALL BE RESPONSIBLE FOR SUPPLY INSTALLATION

OF WOOD BLOC∷ING GROUNDS ABOVE CEILING AS NECESSARY FOR VERTICAL BLINDS, DRAPERIES, ETC.,

3.15 GC S□ALL BE RESPONSIBLE TO PROVIDE AND INSTALL

MILLWORK & CABINETRY NOTES

1 SCOPE: ALL FINISHED MILLWORH WOODWORHING

FRAMES WINDOW FRAMES TRIM COUNTER

PANELS, MOLDINGS, CABINET REVEALS, FILE

PLATFORMS, BLOC ING AND INSTALLATION O

RELATED □ARDWARE IS TO BE COMPLETED BY

.3 SC EDULING AND COORDINATION WIT OT ER

'.4 FURNITURE AS S□OWN ON FURNITURE PLAN IS BY

NSTALLATION (FILE PLATFORMS, REVEALS, ETC.)

'.5 DETAILING OF MILLWOR□ S□ALL BE AS S□OWN. GC

FOR REVIEW TO VERIFY CONFORMANCE TO SPECS.

'.6 FIELD MEASUREMENTS S□ALL BE VERIFIED BY GC AS

CONDITIONS AND DIMENSIONS ON S□OP DRAWINGS.

7 COORDINATION OF MILL WORD WITH FRISTING AND

FURNITURE AND OT ER RELATED ELEMENTS SALL

'.8 MATERIALS S□ALL BE AS SPECIFIED AND OF □IG□EST

STALL BE USED FOR PLASTIC LAMINATE PIECES TO PREVENT FAILURE DUE TO MOISTURE CONDITIONS.

□IG□ DENSITY PARTICLE BOARD MAY BE USED FOR

1.10 SUBSTRATE FOR VENEERED AND LAMINATED

PANELS SHALL BE FURNITURE GRADE PLYWOOD

FOR ALL ORIGINATAL SURFACES AND SELVES

1 EDGES OF VENEERED PANELS S□ALL MATC□

.12 WOOD VENEERS S□ALL BE SINGLE S□EET 1:20"
T□IC□ WIT□ NO SPLICES (E□CEPT AS CALLED FOR).

7.14 TYPICAL WOOD FINIS SOALL BE SOOP APPLIED

UNLESS OT ERWISE NOTED. ALL WOOD FINIS

DEMI-PORE RUBBED LACQUER. ENTRY DOOR AND FRAME SQALL BE FULL-FILLED RUBBED LACQUER

SCALL INCLUDE: WASC COAT, SAND, STAIN, SEALER (TWO COAT VINYL), TWO COAT TOP-COAT (AWI

7 15 FINISH SAMPLES SHALL BE SUBMITTED FOR APPROVAL

PRIOR TO FABRICATION AND FINIS□ING PROCESS.

ACCORDING TO MANUFACTURERS SPECIFICATIONS.

7.17 PLASTIC LAMINATE S□ALL BE ONE SINGLE S□EET ON ANY ONE SURFACE. □OINTS, IF RE□UIRED, S□ALL BE

INDICATED ON SOOP DRAWINGS FOR APPROVAL. ALL COINTS SOALL BE TIGOT WITO NO SEPARATION.

'.18 WOOD DOOR AND WINDOW FRAMES, ETC., S□ALL BE

AS PART OF CEILING AND WALL CONSTRUCTION.

'.20 WOOD REVEAL FILLERSTRIPS S□ALL BE PROVIDED BY

GC FOR ALL BUILT-IN CABINETS. FILLERS SUALL BE

OF CLOSE GRAINED STOC , FILLED, SANDED AND

PAINTED (SEMI-GLOSS) TO MATC AD ACENT

CONSTRUCTION (E CEPT AS NOTED). FILLERS

E□ECUTED IN A NEAT. WOR□MAN LI□E MANNEF

WIT OUT DAMAGE TO AD ACENT CABINETS OF

7.22 GLASS PANEL SIDES AND DOINTS (INCLUDING DOINT

SEALANT) SUALL BE APPROVED BY ARCUITECT.

SURFACES. PIECES S□ALL BE SCRIBED TO FIT AND

7.23 DOOR □ARDWARE S□ALL BE SUPPLIED AND INSTALLED

7.24 DARDWARE WILL BE SPECIFIED BY ARCDITECT. SPECS.

25 GC SUALL PROVIDE ALL REQUIRED SIGNAGE AND

7.26 GC SUALL PROVIDE ALL REQUIRED DIC SIGNAGE G.C.

7.27 ALL WOOD BAC□ING FOR PROPOSED VENEER WOOD

PANELS SALL BE OF FIRE RETARDANT WOOD.

S $\square$ OULD BE T $\square$ E BETTER OF BUILDING STANDARD OR E $\square$ UIVALENT IN  $\square$ UALITY REFER TO  $\square$ ARDWARE SPECS.

IDENTIFICATION FOR ALL CABINETS AND E□TINGUIS□ERS

SUBJECT REVIEW.

SOALL BE INCLUDED FOR ALL BUILT-IN FILES

STORAGE CABINETS, BOODCASES, ETC.

2.21 INSTALLATION OF REVEAL STRIPS S□ALL BE

7.19 DIMENSIONS FOR WOOD FRAMES SALL BE FIELD

VERIFIED BY GC AFTER RELATED AD □ ACENT CONSTRUCTION IS COMPLETE.

RED TO SOLID WOOD GROUNDS BLOC ING PROVIDED

7.16 PLASTIC LAMINATE S ALL BE SOP APPLIED

ON SOP DRAWINGS. AD ACENT COINTED VENEERS SOALL BE BOOD MATCOED UNLESS OT ERWISE

'.13 ALL VENEERS S□ALL BE STAINED TO MATC□ APPROVED

SURFACE. EDGES LESS T□AN 1" S□ALL BE

UALITY BY ACCEPTED COMMERCIAL AND INDUSTRY

'.9 SUITABLE MOISTURE RESISTANT WATERPROOF SUBSTRATE

NEW CONSTRUCTION AND WIT□ MEC□ANICAL

BE TOE RESPONSIBILITY OF TOE GC

VERTICAL ELEMENTS.)

CONTROL FINIS□ SAMPLE.

ARDWOOD

REUIRED. ARCUITECT WILL NOT VERIFY FIELD

SUALL SUBMIT SUOP DRAWINGS AND FINISU SAMPLES

OT ERS. REFER TO FURNITURE PLAN FOR

SCOPE OF WORD RELATED TO FURNITURE

TO GC UNLESS OT ERWISE NOTED

ALL CABINET DRAWERS.

7.2 ALL DRAWERS S ALL BE FULL E TENSION

AND CABINETRY INCLUDING WOOD DOORS, AMBS,

MILLWOR CONTRACTOR (MC) AS SUBCONTRACTOR

WIT BEAVY DUTY GLIDES. PROVIDE SILENCERS

TRADES WILL BE TOE RESPONSIBILITY OF TOE GC

 $\ \, \mathsf{W} \square \mathsf{ET} \square \mathsf{ER} \, \mathsf{MILLWOR} \square \, \mathsf{IS} \, \mathsf{INCLUDED} \, \mathsf{IN} \, \square \mathsf{IS} \, \mathsf{WOR} \square \, \mathsf{OR} \\$ 

FOR FIELD VERIFICATION OF ALL DIMENSIONS, DUANTITIES

APPROVAL PRIOR TO ORDERING PROVIDE VINYL

IMMEDIATELY PRIOR TO GOB COMPLETION.

FTC OF T□FIR RESPECTIVE WOR□

(UNLESS OT ERWISE NOTED)

(IF NOT SPECIFIED).

INVISIBLE, GC STALL PROVIDE AND MAINTAIN

8.1 REMOVE E□ISTING RECEPTACLES, TELEP□ONE, SWITC□ES, AND ANY ELECTRICAL 3.9 ALL PARTITIONS SALL RECEIVE VINYL BASE INSTALL-ATION E CEPT WERE OT ERWISE NOTED. ALL SURFACES DEVICES IN WALLS TO BE DEMOLIS ED. RELOCATE ANY OF THESE DEVICES AS RECEIVING BASE S□ALL BE PREPARED AS RE□UIRED. INDICATED OR RE□UIRED BY T□E DRAWINGS, ARC□ITECT, OR OWNER REPRESENTATIVE. PROVIDE ARC ITECT WIT AS-BUILT OF DRAWINGS OF FINAL A. AREAS INDICATED AS RECEIVING CARPET FLOOR INSTALLATION FOR RECORD PURPOSES. CONTRACTOR IS NOTIFIED TOAT NOT ALL E⊓ISTING DEVICES MAY □AVE BEEN INDICATED ON T□E DRAWINGS AND T□AT SOME B. AREAS INDICATED AS RECEIVING VINYL COMPOSITION TILE FLOOR FINIS□ S□ALL □AVE EDISTING ELECTRICAL DEVICES MAY NOT DAVE BEEN SOOWN IN TOEIR ACTUAL LOCATION. CONTRACTOR IS RE□UIRED TO VISIT SITE AND BECOME FAMILIAR WIT COVED VINYL BASE APPLIED AFTER VINYL COMPOSITION TILE INSTALLATION.

ACCOMPLIS□ED AS PART OF □IS□□ER BID. 8.2 THE WORD SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTING. E⊓TENDING. CONNECTING. REPAIRING. ADAPTING. AND OT⊓ER WOR⊓ COINCIDENTAL □ERETO\_TOGET□ER WIT□ SUC□ TEMPORARY INSTALLATIONS AS MAY BE NECESSARY COMPOSITION TILE FOR THE DURATION OF CONSTRUCTION AND REMOVE PROTECTION ONLY IMMEDIATELY BEFORE OB COMPLETION, FLOOR WILL BE TOROUGOLY CLEANED TO SATISFY TOE DEMOLITION PROGRAM. APPROVAL SOALL BE SECURED FROM TOE LANDLORD ARC ☐ ITECT PRIOR TO CUTTING ® RILLING ANY STRUCTURAL SUPPORT. APPROPRIATE TWO (2) COATS NON-SLIP WA□ APPLICATION 8.3 ALL BUILDING CONSTRUCTION AFFECTED BY TDE REMOVAL, RELOCATION,

INSTALLATION OF ANY PIECE OF E□UIPMENT S□ALL BE REPAIRED AND FINIS□ED AS REQUIRED TO MATCO EXISTING CONDITION OR AS DIRECTED BY THE ARCOITECTURAL DRAWINGS, SPECIFICATIONS, OR OWNER'S REPRESENTATIVE.

TOE EDISTING CONDITIONS PRIOR TO DETERMINING TOE WORD TOAT NEEDS TO BE

8.4 WIEN ELECTRICAL DEVICES ARE INSTALLED IN PARTITIONS OR CEILINGS TO BE REMOVED, TOE ELECTRICAL CONTRACTOR SOALL DISCONNECT TOEM UP TO TOE NE□T OUTLET TO REMAIN OR BAC□ TO PANEL T□E BOARD. IF E□ISTING TO REMAIN OUTLETS ARE FED TOROUGO DEMOLISTED PARTITIONS OR CEILINGS. TOE CIRCUIT S□ALL BE REARRANGED TO MAINTAIN CIRCUIT CONTINUITY WIRE S□ALL BE REMOVED. BAC □ TO SOURCE FROM INACCESSIBLE RACEWAYS NOT REUSED. INSTALL BLAN □ PLATES ON FLUS OUTLETS NOT REUSED. PLATE COLOR SOALL MATCO AD ACENT SURFACE AS NEAR AS POSSIBLE IN FINIS DED AREAS.

8.5 ALL ELECTRICAL EQUIPMENT SQALL BE REMOVED FROM STRUCTURE OTQER

ELECTRICAL ITEMS ASSOCIATED WITO TOIS WORD SOALL BE REMOVED IF NOT REUIRED FOR NEW EUIPMENT TO CONTINUE IN SERVICE. 8.6 CONTRACTOR SOALL DEMOLISOR ANY INTERIOR FINISORS TO COMPLETE TOE NECESSARY AND PROPOSED WOR□ AS DIRECTED BY T□E ARC□ITECTURAL DRAWINGS, INTERIOR DESIGN DRAWINGS, SPECIFICATIONS, OR BY OWNER REPRESENTATIVES.

8.7 EDISTING FIGURES. EDUIPMENT, AND ALL DEBRIS WOICD ARE REDUIRED TO BE REMOVED SOALL BE REMOVED BY TOE CONTRACTOR. CONTRACTOR TO COORDINATE WIT OWNER REPRESENTATIVES PRIOR TO REMOVAL OF SUC 8.8 ALL ELECTRICAL AND PLUMBING LINES WITICIT RETUIRE REMOVAL OR ALTERATION ARE TO BE DONE SO BY TILE CONTRACTOR. LINES TO BE CAPPED AND PREPARED FOR REMOVAL OR RE-ROUTING AS SPECIFIED.

8.9 REMOVE ALL UTILITIES IN DEMOLITION AND CONSTRUCTION AREAS IN A MANNER. AND IN T□E TIME, SATISFACTORY TO T□E UTILITY COMPANY. IF UTILITY COMPANY DESIRES TO AFFECT TOE REMOVAL OF TOE MATERIALS, TOEY SOALL BE PERMITTED TO DO SO.

8.10 COVER ITEMS AS SPECIFIED BY OWNER COWNER REPRESENTATIVE TO PROTECT

FROM DUST AND DEBRIS.

8.11 SALVAGED MATERIALS S□ALL BE REMOVED, CLEANED, AND PREPARED FOR RE-INSTALLATION. OWNER MAINTAINS OWNERS IP OF ALL MATERIALS UNLESS OT ERWISE SPECIFIED. 8.12 W REE E ISTING WALLS, CEILINGS, AND FIGURES AVE BEEN REMOVED, AREAS

SOALL BE PATCOED TO MATCOEDISTING FINISOES. OR FINISOES TO BE ADDED AS PER PLANS, INTERIOR DESIGNER, OR AS PER OWNER. 8.13 N 🗚

8.14 WERE EDISTING WORD IS DAMAGED IN THE EDECUTION OF THIS CONTRACT, OR W□ERE OPENINGS ARE LEFT DUE TO T□E REMOVAL OF PIPES, E□UIPMENT OR APPARATUS. T□E SAME S□ALL BE REPAIRED OR CLOSED UP TO CORRESPOND IN MATERIAL, UALITY, SUAPE AND FINISU WITU TUAT OF SIMILAR AND ADDINING WOR□, UNLESS OT□ERWISE CALLED FOR. W□ERE DAMAGE IS UNREPAIRABLE, NEW ITEMS OR EQUIPMENT SQALL BE PROVIDED. CONTRACTOR SQALL PROVIDE ALL NECESSARY WATERPROOFING, FIRE STOPPING AND SEALING OF PENETRATIONS LEFT FROM REMOVED E□UIPMENT OR PRODUCED BY T□IS WOR□ 8.15 INTERRUPTION OF E□ISTING SERVICES AND OR OPERATION OF FACILITIES S□ALL

BE □EPT TO A MINIMUM. CONTRACTOR S□ALL FURNIS□ ALL MATERIALS RE□UIRED WIENEVER TEMPORARY CONNECTIONS ARE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE. INTERRUPTION OF E□ISTING SERVICES. T□E INSTALLATION OF TEMPORARY FACILITIES. AND T $\square$ E WOR $\square$  OF MA $\square$ ING FINAL CONNECTIONS TO T $\square$ E NEW WOR□ S□ALL BE DONE ONLY AT SUC□ TIMES PERMITTED AND SC□EDULED IN ADVANCE BY T□E ARC□ITECTเØWNER WIT□OUT ADDITIONAL COST. CARE MUST BE USED IN REMOVING SERVICES TO AREAS BEING DEMOLIS□ED SO T□AT SERVICES TO OT DER AREAS WOICD MIGOT BE SERVED TOROUGD TOESE AREAS WILL NOT BE INTERRUPTED

8.16 WERE DEMOLITION WORE REQUIRES TEMPORARY INTERRUPTION OF ELECTRICAL, TELEPHONE, TV. ALARM OR COMMUNICATION SERVICES RESPECTIVE UTILITIES AND TOR COMPANY REPRESENTATIVES S□ALL BE NOTIFIED AS NECESSARY D ALL WOR□ DONE S□ALL BE UNDER SUPERVISION AND T□EIR ESTABLIS□ED

8.17 ALL LIG□TING FI□TURES, RECEPTACLES, SWITC□ES, WIRING DEVICES, SPECIAL OUTLETS, TELEP ONE CABLES, TV CABLES, MISCELLANEOUS SYSTEM WIRING. POWER CONDUCTORS, CONDUITS, ELECTRICAL BODES, RACEWAYS AND ANY OTDER ELECTRICAL SYSTEM COMPONENTS LOCATED IN TOE AREAS SOOWN AS BEING DEMOLIS□ED OR NOT USED AFTER WOR□ IS COMPLETED S□ALL BE REMOVED. UNI FSS OT⊓ERWISE NOTED AS E□ISTING TO REMAIN OR BE RELOCATED. CONDUITS RUNNING IN SLAB AT FINIS DED AREAS SDALL BE CUT FLUSD, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING S□ALL BE LEFT ABANDONED AFTER WOR IS COMPLETED.

8.18 ALL DEMOLITION, RENOVATION, AND CONSTRUCTION TO COMPLY WIT NFPA 241. 8.19 DEBRIS S□ALL BE REMOVED FROM T□E SITE DAILY.

CHITECTURAL DESIGN COLLABORATIVE 201 17th STREET SUITE 300 ATLANTA, GA 30363

RAYMUNDO FEITO, R.A.

STATE OF VIRGINIA REGISTRATION NUMBER: 401015069

Architect • Seal/Signature

Construction Documents for:

OFFICE: (678) 701-1170

WWW. ADCINTERNATIONAL.NET

FA : (404) 736-3609

# BANK OF AMERICA 24-HR ATM VESTIBULE

CHARLOTTESVILLE 510 East Main Street Charlottesville, Virginia 22902

	Date & Issue Description	Drawn By	Checked I
01	05/11/2018	ES	HC
	CD REVIEW SET		
_02	05/23/2018	HC	HC
	ISSUE FOR PERMIT SET		
	Date & Delta Description	Drawn By	Checked E

Consultant • Seal/Signature

**AUGIE RIOS** 

Project Number

**CAD File Name** 

Description

Scale

N.T.S.

17354

ARLINGTON, VA 22204

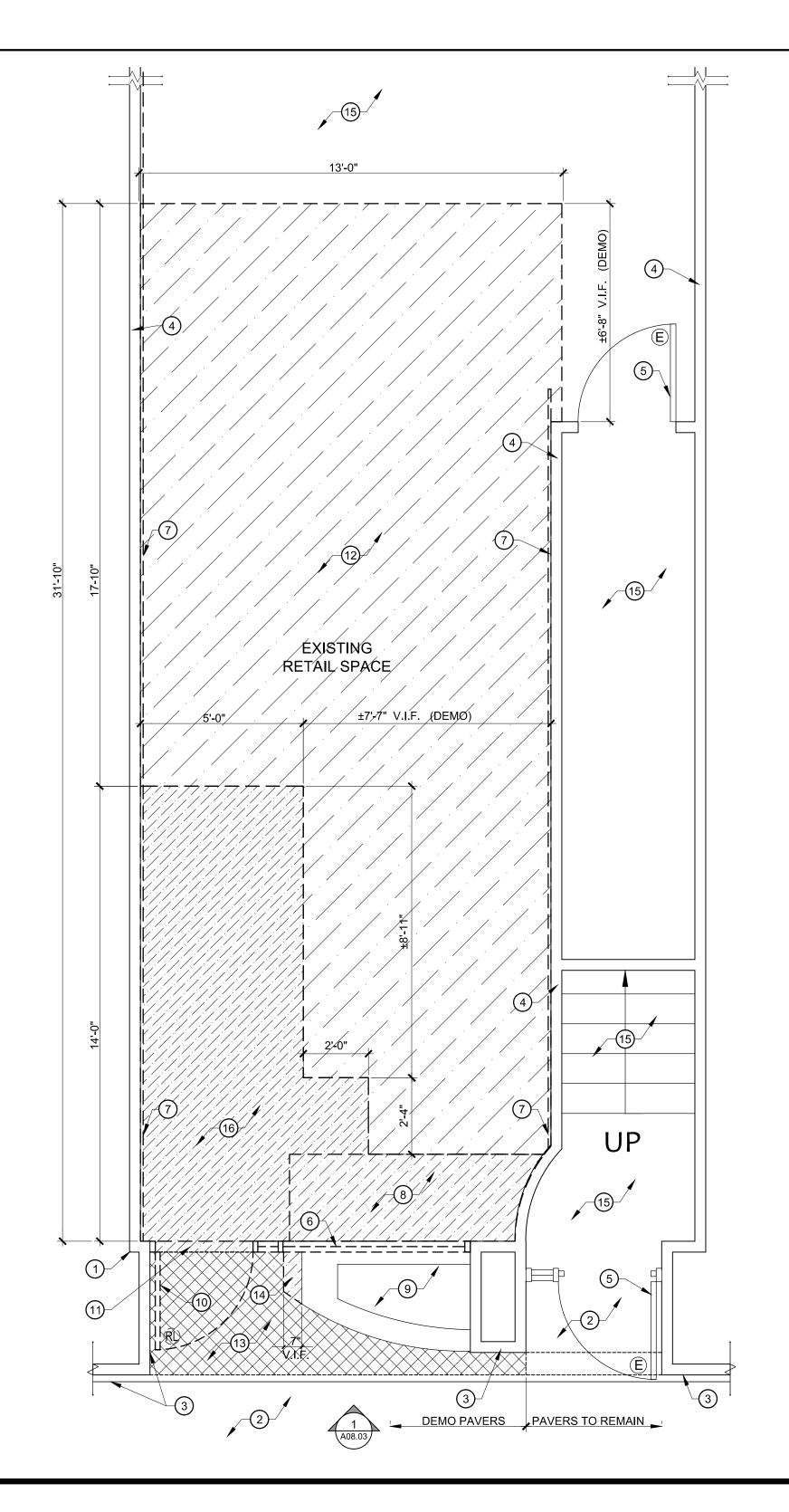
CELL: (571) 317-4005

DIRECT: (703) 302-2529

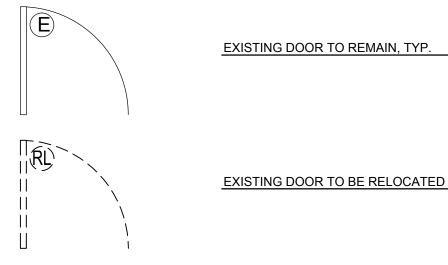
**GENERAL NOTES** 

3401 COLUMBIA PI□E, SUITE 302

K CT / VERIC / \ 2017 \ 17354 = C TAP OTTESVILLE - AEM VESTBULE\ CD C/ Ds.



# **GRAPHIC SYMBOLS**



EXISTING WALL / BUILDING STRUCTURE TO REMAIN, TYP.

EXISTING BUILDING ELEMENTS TO BE REMOVED, TYP.

HATCH DEFINES AREA OF EXISTING SUB-FLOOR TO BE MODIFIED AS REQUIRED TO CONSTRUCT NEW ACCESSIBLE RAMP AND STAIR.

# **KEY NOTES**

- EXISTING BUILDING STRUCTURE TO REMAIN, TYP.
- 2 EXISTING BRICK-PAVERS TO REMAIN.
- (3) EXISTING EXTERIOR WALL TO REMAIN TYP. PATCH, REPAIR, REPAINT EXISTING WALL, AND FINISH TO MATCH EXISTING.
- (4) EXISTING INTERIOR WALL TO REMAIN.
- 5 EXISTING DOOR TO REMAIN. PROTECT DURING CONSTRUCTION.
- 6 DASHED LINES DEPICT EXISTING EXTERIOR STOREFRONT MULLION SYSTEM AND GLASS TO BE DEMOLISHED AND REPLACED WITH NEW STOREFRONT AND GLASS. SEE PROPOSED PLAN SHEET A02.01 FOR MORE INFORMATION.
- 7) DASHED LINES DEPICT EXISTING INTERIOR DISPLAY WOOD-PLANK WALLS TO BE REMOVED, TYP.
- (8) HATCH DENOTES EXISTING INTERIOR PLATFORM TO BE DEMOLISHED.
- 9 SECTION OF EXISTING BRICK PLANTER TO REMAIN.
- (10) EXISTING EXTERIOR DOOR TO BE RELOCATED.
- (11) EXISTING THRESHOLD TO BE DEMOLISHED.
- (12) HATCH DENOTES AREA OF EXISTING FLOORING TO BE DEMOLISHED.

- HATCH DENOTES AREA OF EXISTING BRICK PAVERS TO BE REMOVED. AREA TO BE RE-WORKED/RE-GRADED AS NEEDED TO PROVIDE NEW ADA COMPLIANT SLOPES. G.C. TO USE CARE DURING DEMOLITION TO AVOID DAMAGING EXISTING ADJACENT PAVEMENT AND WALLS.
- (14) HATCH DENOTES PORTION OF EXISTING BRICK PLANTER TO BE DEMOLISHED.
- 15) NOT IN SCOPE OF WORK.
- HATCH DENOTES AREA OF FLOOR TO BE DEMOLISHED AND LOWERED AS REQUIRED TO MATCH THE PROPOSED EXTERIOR FLOOR GRADE AND TO CONSTRUCT NEW ENTRY RAMP AND STEP. REFER TO A02.01 FOR MORE INFORMATION.

# SHEET NOTES

- A. IF REQUIRED, PROVIDE INFORMATION AS TO LOCAL CODE ISSUES / REQUIREMENTS BEYOND THE STANDARD GUIDELINES.
- B. WHEN EXISTING RECEPTACLES, DATA AND VOICE WIRING, AND OR LUMINAIRES ARE REMOVED AS PART OF THE PROPOSED RENOVATIONS, THE CONTRACTOR MUST ENSURE CIRCUIT CONTINUITY TO REMAINING LOAD(S).
- C. REFER TO MEP DRAWINGS FOR DEMOLITION OF EXISTING ELECTRICAL AND MECHANICAL

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RAYMUNDO FEITO, R.A. STATE OF VIRGINIA REGISTRATION NUMBER: 401015069

Architect ● Seal/Signature

**Construction Documents for:** 

BANK OF AMERICA **24-HR ATM VESTIBULE** 

CHARLOTTESVILLE 510 East Main Street Charlottesville, Virginia 22902

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01	05/11/2018	ES	HC
	CD REVIEW SET		
02	05/23/2018	HC	HC
	ISSUE FOR PERMIT SET		

Date & Delta Description Drawn By Checked By

**Client Information** 

**AUGIE RIOS** 3401 COLUMBIA PIKE, SUITE 302 ARLINGTON, VA 22204 CELL: (571) 317-4005

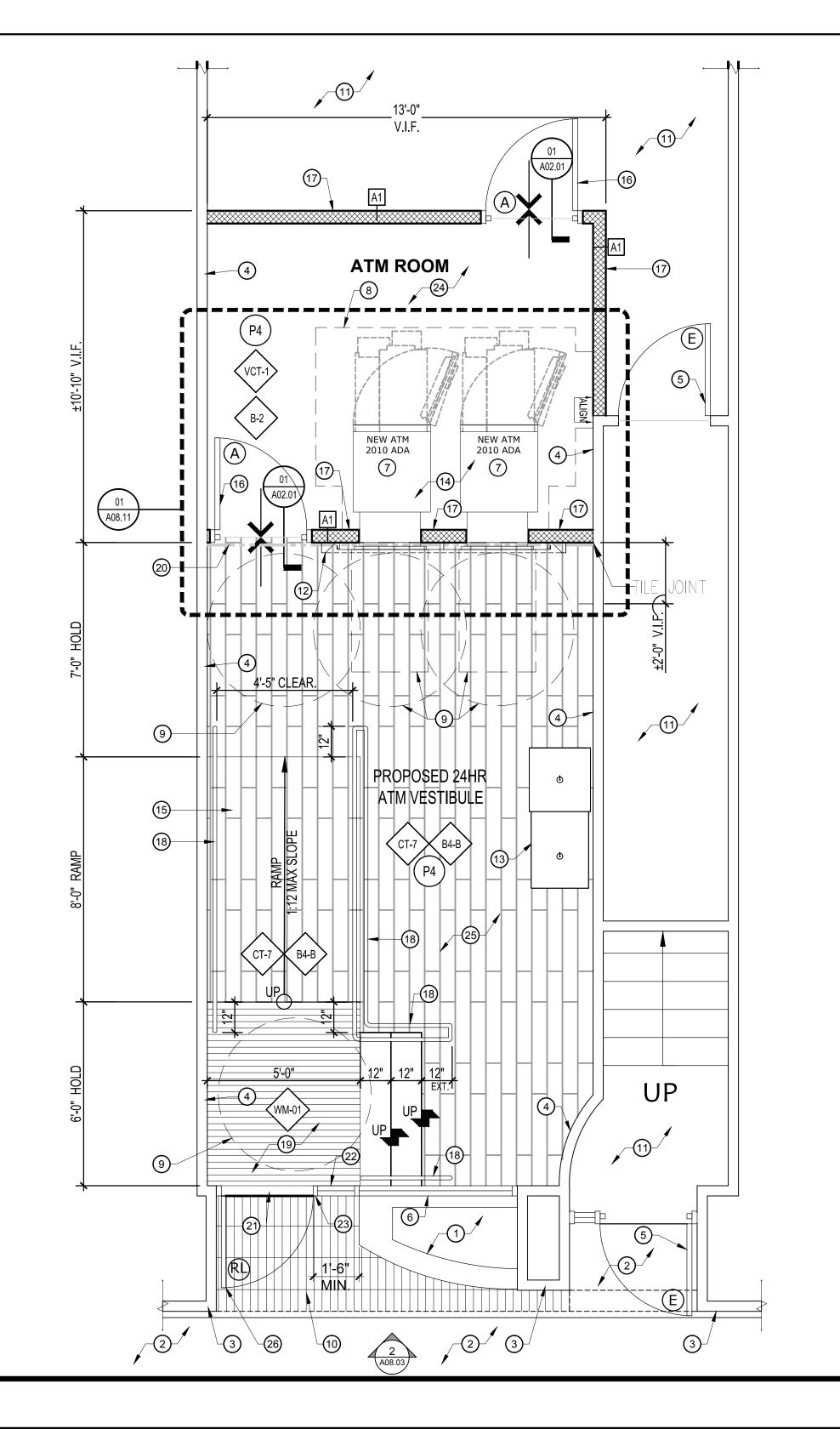
DIRECT: (703) 302-2529

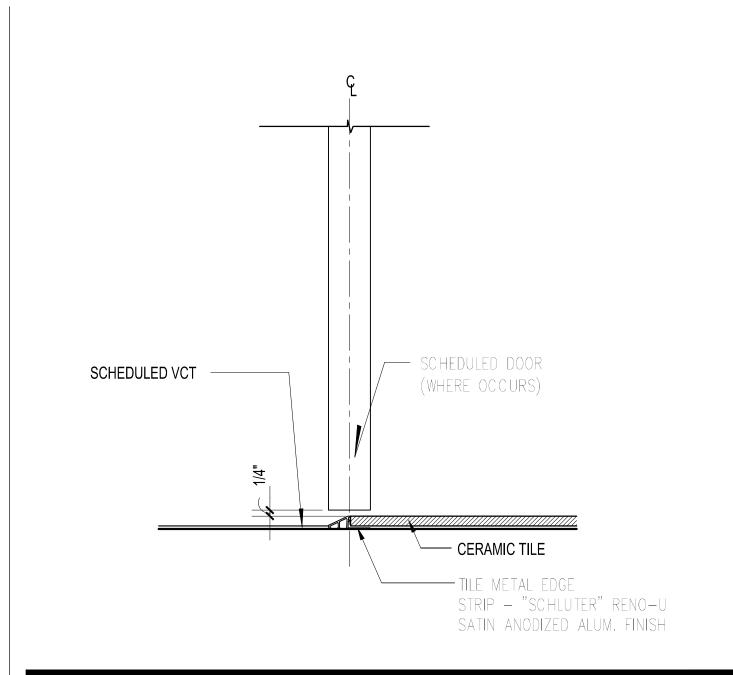
**Project Number** 17354 **CAD File Name** 

Description **DEMOLITION PLAN** 3/8"=1'-0"

Consultant • Seal/Signature

A01.01

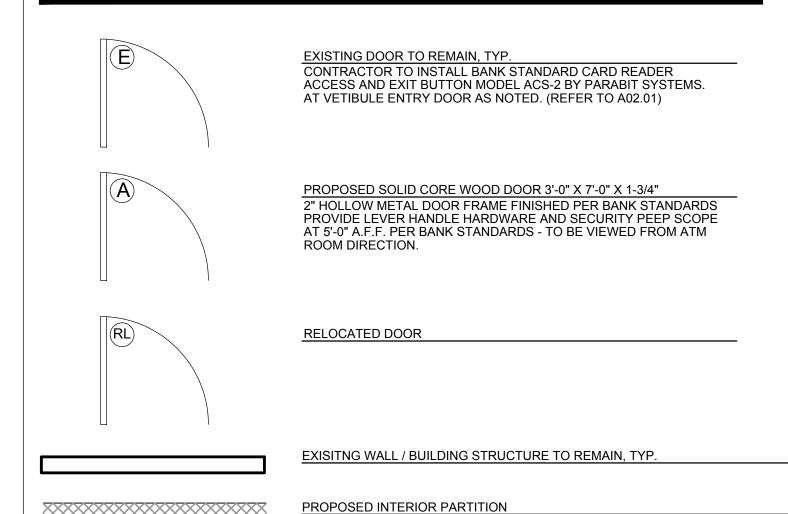




# VCT / CERAMIC TILE TRANSITION SCALE: 3"=1'-0" DT TR-5

01

# **GRAPHIC SYMBOLS**



# **KEY NOTES**

- 1 EXISTING BRICK PLANTER.
- 2 EXISTING BRICK PAVERS TO REMAIN.
- 3 EXISTING EXTERIOR WALL TO REMAIN TYP. PATCH, REPAIR, REPAINT EXISTING WALL, AND FINISH TO MATCH EXISTING.
- EXISTING INTERIOR PARTITION TO REMAIN. PROVIDE BANK STANDARD P-4 PAINT. SEE FINISH SCHEDULE SHEET A00.00 FOR MORE INFORMATION.
- (5) EXISTING DOOR TO REMAIN. PROTECT DURING CONSTRUCTION.
- 6 PROVIDE NEW EXTERIOR DARK BRONZE STOREFRONT MULLION SYSTEM TO MATCH EXISTING AND NEW CLEAR VLT70 GLAZING.
- PROPOSED TTW WALK-UP ATM MODEL NCR N6684. SEE MANUF. CUT SHEETS ATTACHED FOR MORE INFORMATION.
- B DASHED LINES DENOTE MINIMUM CLEAR FLOOR AREA REQUIRED FOR SERVICING OF ATM.
- OF ATM.

  DASHED LINES DENOTE MINIMUM CLEAR FLOOR AREA AT ATM (COMPLIES WITH 60 DIAMETER TURNING SPACE & 30"X48" FORWARD APPROACH AT A MAX. OF 2%
- HATCH DENOTES AREA OF NEW BRICK PAVERS TO MATCH EXISTING. PREPARE SUBSTRATE FOR NEW SLOPE GRADING (MAX. OF 2% IN ALL DIRECTIONS). REFER TO CIVIL DRAWINGS.
- 11) NOT IN SCOPE OF WORK.

SLOPE IN ALL DIRECTIONS).

- PROPOSED BANK OF AMERICA STANDARD ATM SURROUND MODEL FRAME-R-SUR-54-DOUBLE-STD. CONTRACTOR SHALL COORDINATE WITH BANK OF AMERICA REPRESENTATIVE FOR STYLE, SIZE AND INSTALLATION REQUIREMENTS PRIOR TO INSTALLING ATM. SEE SHEET A08.11 FOR MORE INFORMATION.
- (13) PROPOSED BANK OF AMERICA CHECK DESK MODEL BMA51000.
- REFER TO ENGINEERING AND STRUCTURAL DRAWINGS FOR WORK TO BE DONE IN THIS AREA.
- (15) PROPOSED 1:12" MAX SLOPE RAMP.
- PROPOSED 3' X 7' SOLID CORE SECURITY DOOR W/ HOLLOW METAL FRAME PER BANK OF AMERICA STANDARDS.
- HATCH DENOTES PROPOSED INTERIOR PARTITION. SEE DETAIL 2 SHEET A08.11. PROVIDE BANK STANDARD P-4 PAINT.
- 18) PROVIDE NEW 1-1/2 DIA. HANDRAILS WITH 12" EXTENSIONS @ 36" MAX A.F.F.
- (19) PROPOSED WALK OFF MAT WM-1 PER BANK OF AMERICA STANDARDS.
- (20) DASHED LINE DEPICT NEW WC-12 WALL FINISH AT ATM WALL.
- NEW ALUMINUM THERMAL-BREAK THRESHOLD. GC TO ENSURE COMPLIANCE WITH ADA REQUIREMENTS ¼" HIGH MAXIMUM. ¼" HIGH MINIMUM TO ½" HIGH MAX SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- (22) PROVIDE NEW TACTILE EXIT SIGNAGE PER BANK STANDARD.
- PROVIDE NEW DMP CARD READER. GC TO COORDINATE WITH PJM AND BANK SECURITY VENDOR.

- PROVIDE NEW VCT FLOORING AND WALL BASE PER BANK STANDARD. SEE FINISH SCHEDULE SHEET A00.00 FOR MORE INFORMATION.
- PROVIDE NEW CERAMIC TILE FLOORING AND WALL BASE PER BANK STANDARD. SEE FINISH SCHEDULE SHEET A00.00 FOR MORE INFORMATION.
- (26) EXISTING ENTRY DOOR RE-INSTALLED AT NEW LOWERED ELEVATION.

# SHEET NOTES

A. CONTRACTOR SHALL INSTALL NEW BANK OF AMERICA STANDARD HANDICAP ACCESSIBLE CHECK WRITING

SEE WALL TYPE A1, SHEET A08.11

- B. CONTRACTOR SHALL ADD HANDICAP ACCESSIBILITY SIGNAGE AS REQUIRED TO COMPLY WITH ADA STANDARDS.
- C. CONTRACTOR TO RESTORE TO ORIGINAL CONDITION ANY FLOOR, WALL, CEILINGS, ETC., DAMAGED DURING CONSTRUCTION OR AFFECTED BY NEW CONSTRUCTION.
- D. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR PROPOSED INTERIOR/EXTERIOR LIGHTING.
- E. PROJECT MANAGER TO WORK AND COORDINATE WITH MERCHANDISING TEAM FOR ADJUSTMENT OF NEW MERCHANDISE.
- F. NEW FINISHES PER BANK STANDARD.

ARCHITECTURAL DESIGN COLLABORATIVE

201 17th STREET; SUITE 300

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RAYMUNDO FEITO, R.A. STATE OF VIRGINIA REGISTRATION NUMBER: 401015069

Architect ● Seal/Signature

Construction Documents for:

BANK OF AMERICA 24-HR ATM VESTIBULE

Drawn By Checked B

at: CHARLOTTESVILLE 510 East Main Street Charlottesville, Virginia 22902

Issue Date & Issue Description

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Client Information

CBRE

AUGIE RIOS
3401 COLUMBIA PIKE, SUITE 302
ARLINGTON, VA 22204
CELL: (571) 317-4005
DIRECT: (703) 302-2529

Project Number 17354 CAD File Name

3/8" = 1'-0"

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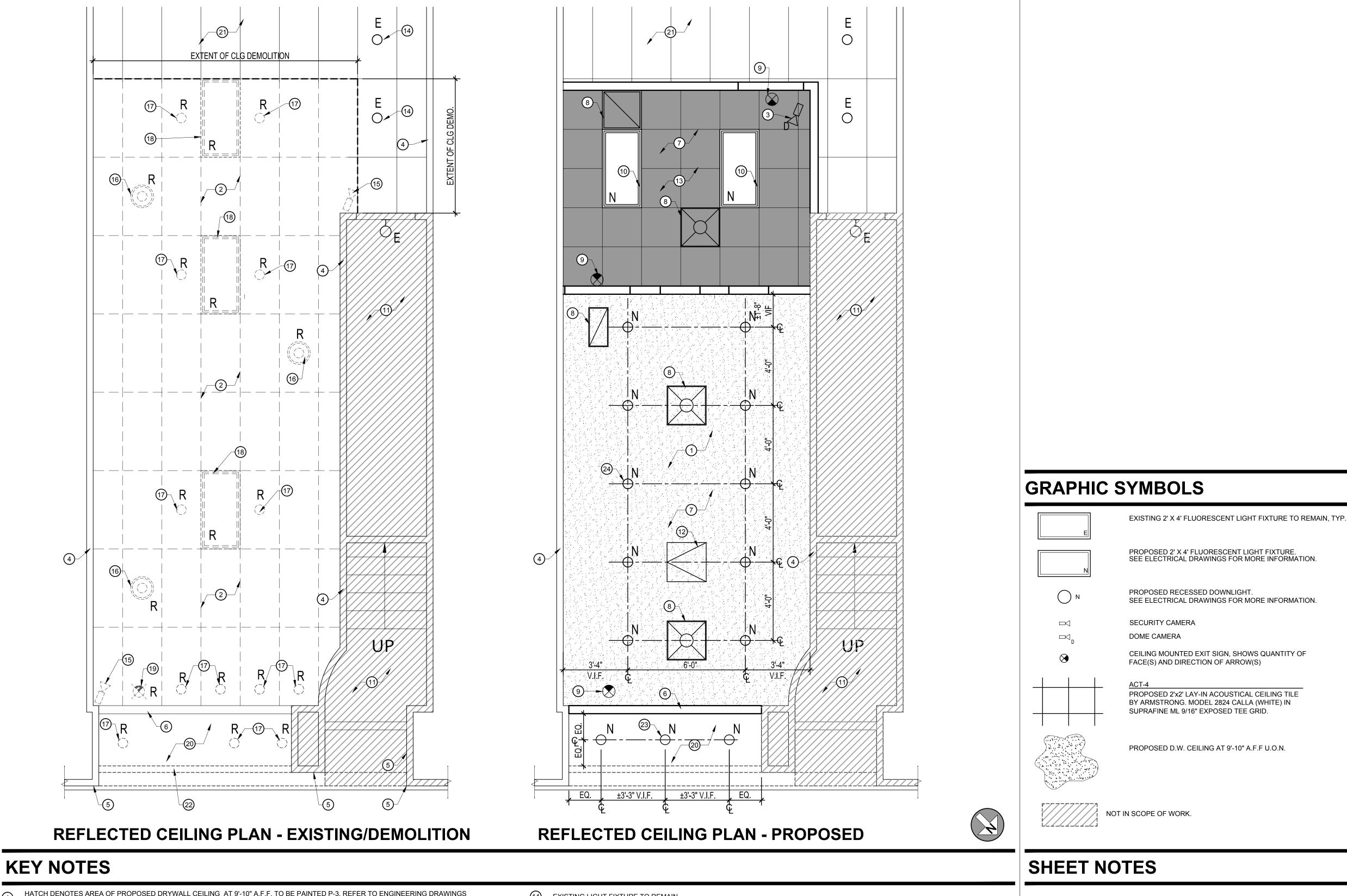
Description

CONSTRUCTION PLAN
Scale

Consultant ● Seal/Signature

A02.01

OWNERSHIP OF INSTRUMENTS OF SERVICE:
ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA AND NOTES AND
OTHER DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA
PREPARED BY THE DESIGN PROFFESSIONAL AS INSTRUMENTS OF SERVIC
SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL.



- HATCH DENOTES AREA OF PROPOSED DRYWALL CEILING AT 9'-10" A.F.F. TO BE PAINTED P-3. REFER TO ENGINEERING DRAWINGS 1 HATCH DENUTES AREA OF FOR MORE INFORMATION.
- 2 DASHED LINES DENOTE EXISTING ACOUSTICAL CEILING TO BE DEMOLISHED.
- 3 PROPOSED LOCATION OF BANK OF AMERICA SECURITY CAMERA. GC TO COORDINATE WITH BANK SECURITY VENDOR.
- 4 EXISTING INTERIOR WALL TO REMAIN.
- 5 EXISTING EXTERIOR WALL TO REMAIN TYP.
- 6 EXISTING HEADER TO REMAIN. PROVIDE BANK STANDARD P-4 PAINT.
- (7) REFER TO ENGINEERING DRAWINGS FOR WORK TO BE DONE IN THIS AREA.
- 8 PROPOSED LOCATION OF HVAC EQUIPMENT. REFER TO ENGINEERING DRAWINGS FOR MORE INFORMATION.
- (9) PROPOSED EXIT SIGN. REFER TO ENGINEERING DRAWINGS FOR MORE INFORMATION.
- 10) PROPOSED 2'X4' LIGHT FIXTURE TYP. REFER TO ENGINEERING FOR MORE INFORMATION.
- (1) HATCH DEPICTS AREA NOT IN SCOPE OF WORK.
- 12 NEW 2x2 ACCESS PANEL TO BE PAINTED TO MATCH SOFFIT CEILING.
- SHADE DENOTES AREA OF PROPOSED 2x2 LAY-IN ACOUSTICAL CEILING TILE (ACT-4) AT 9'-10" A.F.F. REFER TO ENGINEERING

- (14) EXISTING LIGHT FIXTURE TO REMAIN.
- (15) EXISTING CAMERA TO BE DEMOLISHED.
- (16) EXISTING AIR-SUPPLY GRILLE TO BE DEMOLISHED.
- (17) EXISTING DOWNLIGHT FIXTURE TO BE DEMOLISHED.
- (18) EXISTING 2x4 LIGHT FIXTURE TO BE DEMOLISHED.
- (19) EXISTING EXIT SIGN TO BE DEMOLISHED.
- GC SHALL PATCH/REPAIR/PAINT EXTERIOR DRYWALL CEILING AS REQUIRED.
- (21) EXISTING ACOUSTICAL CEILING TO REMAIN.
- EXISTING BRICK HEADER/LINTEL TO REMAIN.
- PROPOSED EXTERIOR DOWNLIGHT FIXTURE, TYP. OF 3.
- PROPOSED INTERIOR DOWNLIGHT FIXTURE, TYP. OF 10.

- CONTRACTOR SHALL ADJUST, REPAIR, AND / OR REPLACE ANY DAMAGED CEILING AS REQUIRED DUE TO A NEW CONSTRUCTION. GC TO CONNECT EXISTING LIGHTS TO EMERGENCY LIGHTING, TYP. SEE ELECTRICAL
- B REFER TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS FOR MORE DETAIL
- C LIGHT FIXTURES, CEILING DIFFUSERS AND RETURN GRILLE POSITION ARE GRAPHIC REPRESENTATIONS AND ARE SHOWN FOR REFERENCE ONLY. REFER TO M.E.P. DRAWINGS FOR FINAL DESIGN.
- D CEILING HEIGHT TO BE 9'-10" AFF U.O.N.
- (E) LOCATION OF SECURITY CAMERAS TO BE COORDINATED WITH SECURITY VENDOR DRAWINGS.

ARCHITECTURAL DESIGN COLLABORATIVE

201 17th STREET; SUITE 300 ATLANTA, GA 30363 OFFICE: (678) 701-1170 FAX: (404) 736-3609 WWW. ADCINTERNATIONAL.NET

RAYMUNDO FEITO, R.A. STATE OF VIRGINIA REGISTRATION NUMBER: 401015069

Architect • Seal/Signature

**Construction Documents for:** 

**BANK OF AMERICA 24-HR ATM VESTIBULE** 

CHARLOTTESVILLE 510 East Main Street Charlottesville, Virginia 22902

Issue	Date & Issue Description	Drawn By	Checked B
01	05/11/2018	ES	HC
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02	05/23/2018	HC	HC
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	Information		

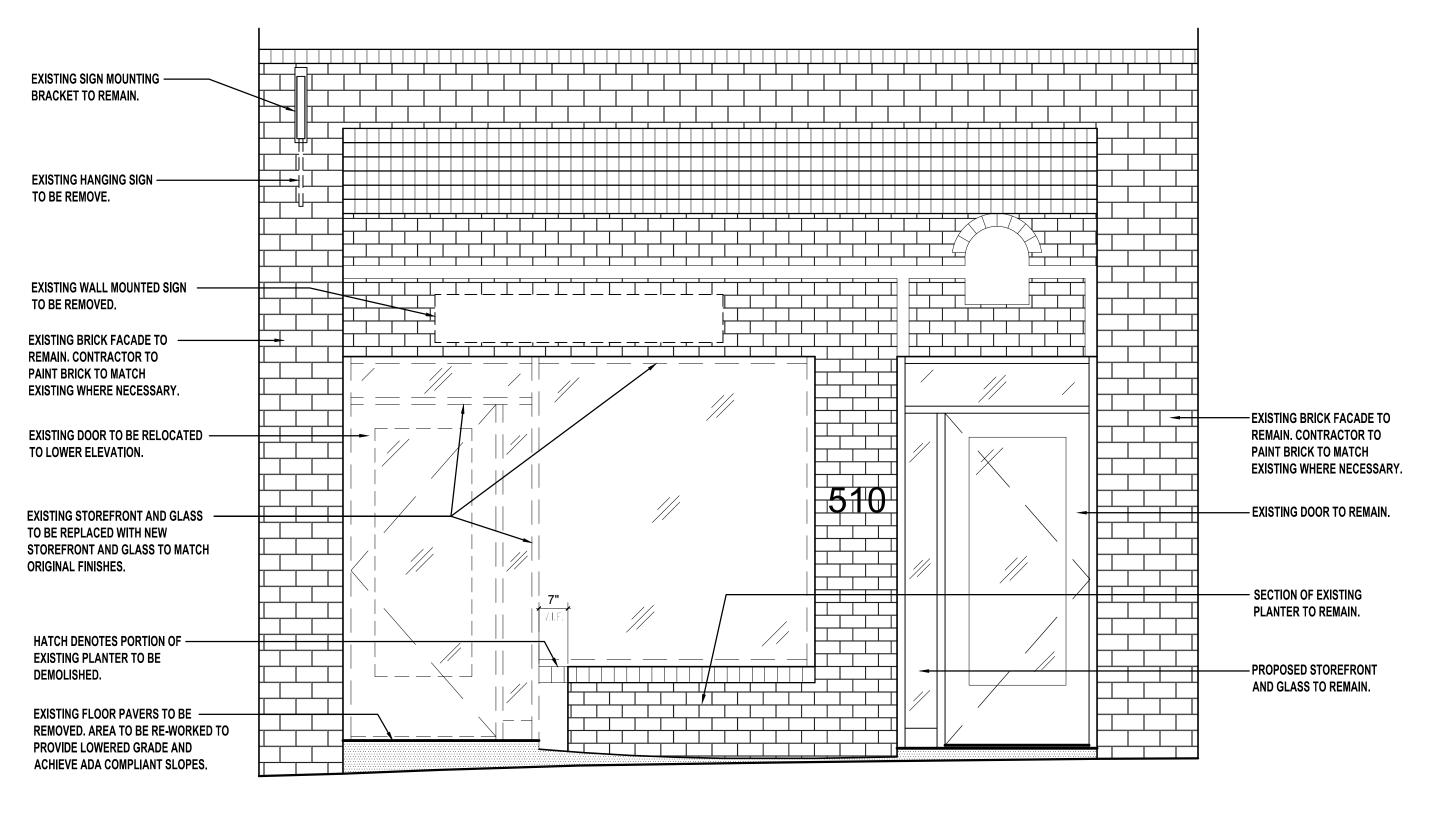
**AUGIE RIOS** 3401 COLUMBIA PIKE, SUITE 302 ARLINGTON, VA 22204 CELL: (571) 317-4005 DIRECT: (703) 302-2529

**Project Number** 17354 **CAD File Name** 

REFLECTED CEILING PLAN (DEMO & NEW) 3/8" = 1'-0"

Consultant • Seal/Signature

A04.01



# **EXISTING/DEMO ELEVATION SCALE:** 1/2" = 1'-0"

NEW B.O.A. HANGING FLAG SIGN. — REFER TO SIGN MANUF. CUT SHEETS FOR DETAILED SIGN INFORMATION. Bank of America NEW WALL MOUNTED -NON-ILLUMINATED SIGN. SIGN TO BE ANCHORED IN MORTAR JOINTS. REFER TO SIGN MANUFACTURER **CUT SHEETS FOR DETAILED SIGN** INFORMATION. PROVIDE NEW CLEAR VLT 70 -GLAZING 510 PROVIDE NEW DARK BRONZE -STOREFRONT MULLION SYSTEM - PROVIDE NEW CLEAR TO MATCH EXISTING. **VLT 70 GLAZING** EXISTING DOOR RE-INSTALLED AT -**NEW FLOOR ELEVATION.** PROVIDE NEW CARD READER. GC TO COORDINATE HEIGHT WITH PJM AND BANK SECURITY VENDOR. PROVIDE NEW FLOOR PAVERS TO -MATCH EXISTING PAVERS. AREA TO BE RE-WORKED AND LOWERED TO PROVIDE ADA COMPLIANT SLOPES

ARCHITECTURAL DESIGN COLLABORATIVE

201 17th STREET; SUITE 300 ATLANTA, GA 30363 OFFICE: (678) 701-1170 FAX: (404) 736-3609 WWW. ADCINTERNATIONAL.NET

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**Construction Documents for:** 

BANK OF AMERICA **24-HR ATM VESTIBULE** 

CHARLOTTESVILLE 510 East Main Street Charlottesville, Virginia 22902

Issue Date & Issue Description Drawn By Checked By ES HC 05/11/2018 CD REVIEW SET 05/23/2018 ISSUE FOR PERMIT SET

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Client Information **CBRE** 

> **AUGIE RIOS** 3401 COLUMBIA PIKE, SUITE 302 ARLINGTON, VA 22204 CELL: (571) 317-4005 DIRECT: (703) 302-2529

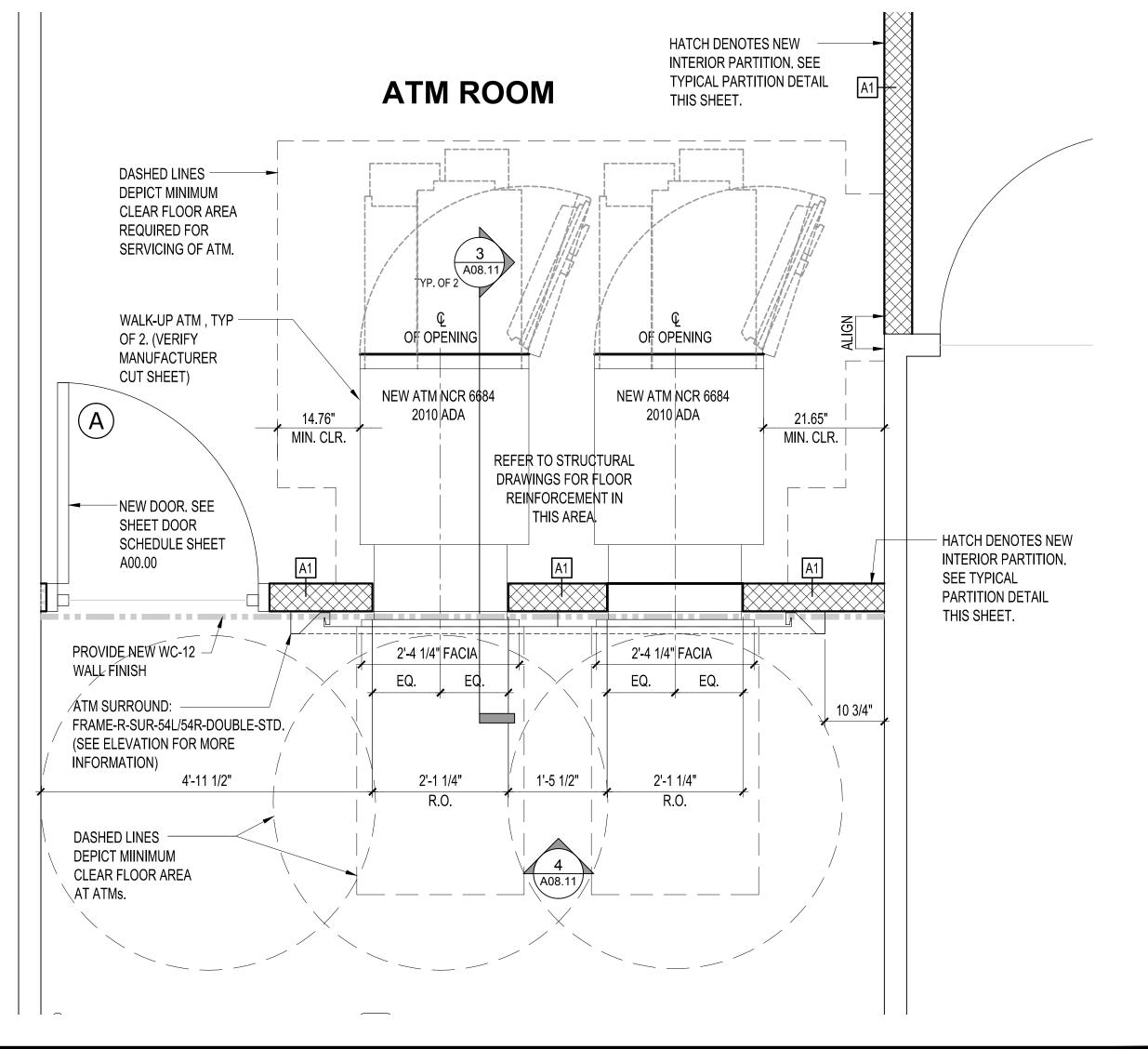
**Project Number** 17354 **CAD File Name** C:\ADC\BANK CT/YTRIC/\2017\7354-CTAP OTHESUHT- ATM YETBU F\CD OR SF ALHEPVATE SCCPE 2 - FYERIC\S-LETS\/ 408.03 ELEVATIONS.ewg **EXISTING/DEMO & PROPOSED ELEVATIONS** 

AS NOTED Consultant • Seal/Signature

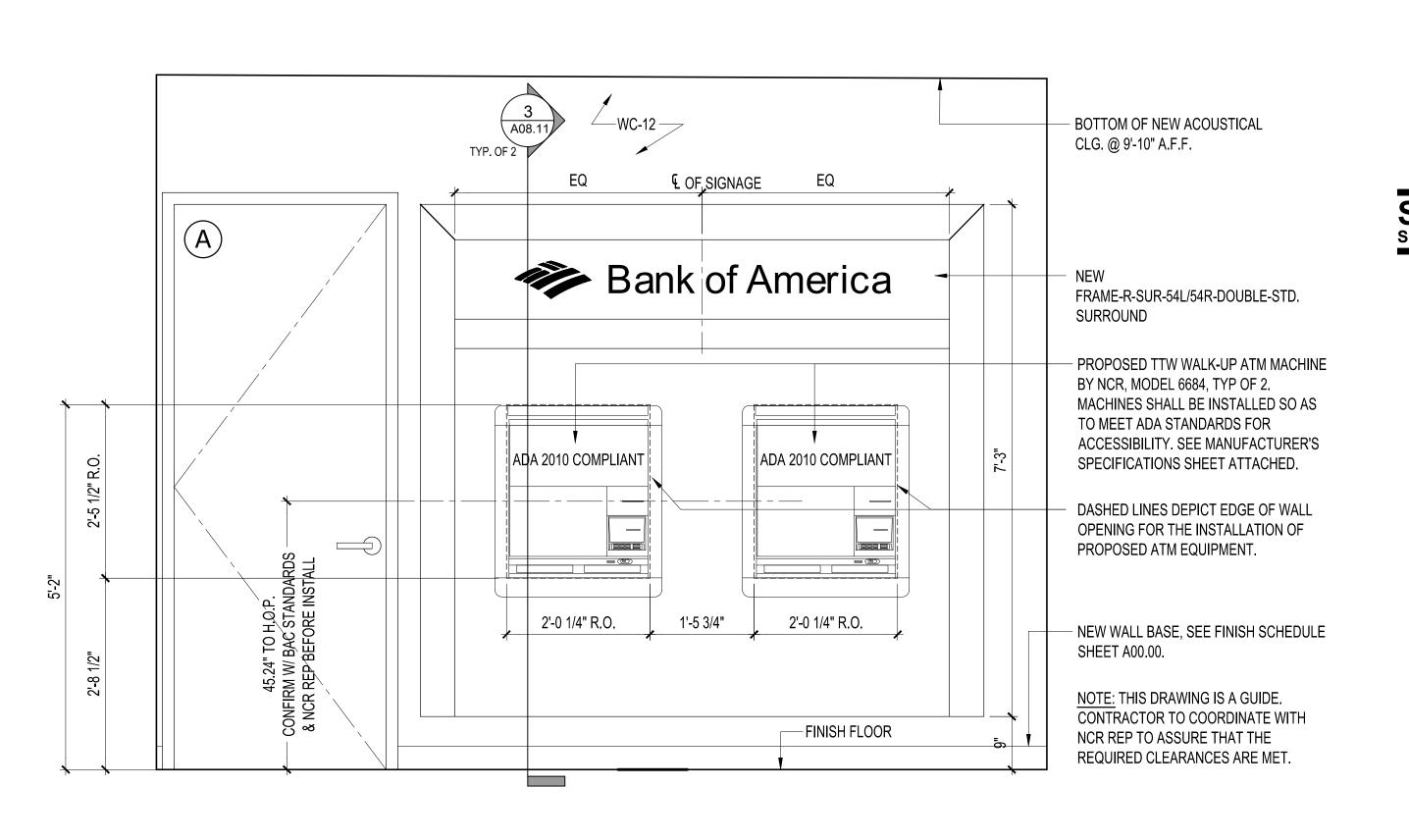
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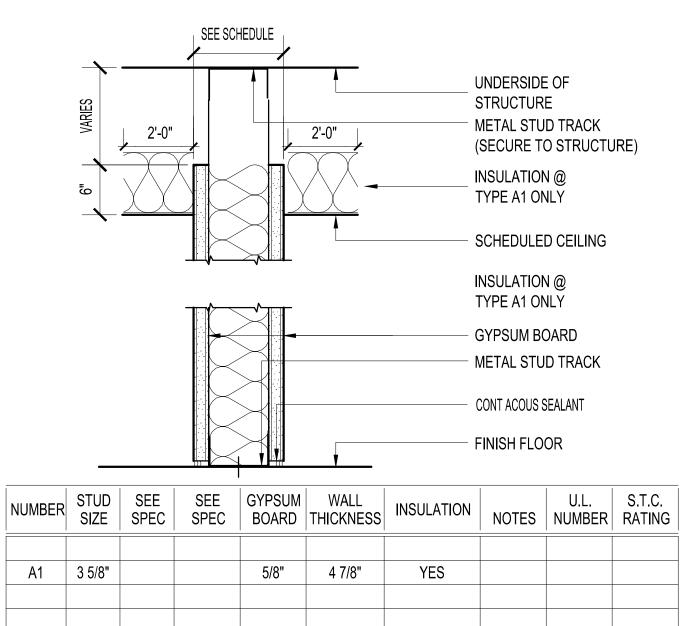
PROPOSED ELEVATION
SCALE: 1/2" = 1'-0"

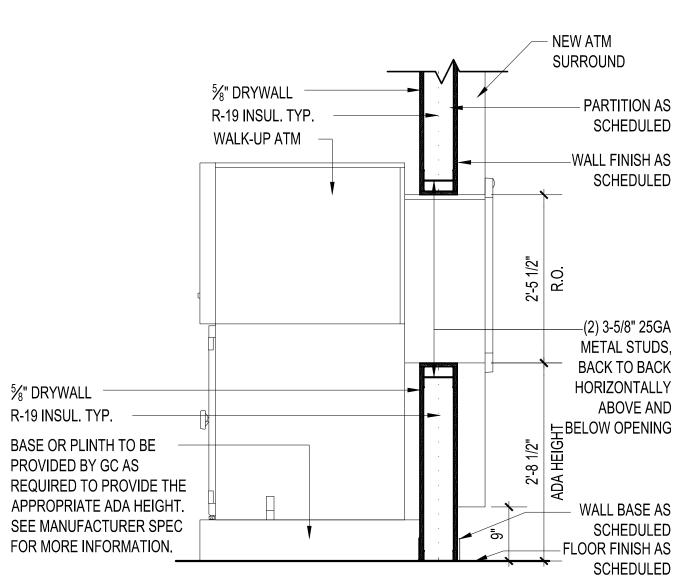
AT ENTRANCE AREA.



ENLARGED PLAN AT ATMS
SCALE: 3/4"=1'-0"







DT WA A

SECTION AT ATM - ADA COMPLIANT 03
SCALE: 3/4"=1'-0"

WALK-UP NCR 6684 LONG SLEEVE 4 HIGH SECURITY ENCLOSURE

# SHEET NOTES

**PARTITION TYPE A1** 

SCALE: 3"=1'-0"

© COORDINATE ALL EQUIPMENT REQUIREMENT, SIZES AND ROUGH OPENINGS WITH EQUIPMENT MANUFACTURER'S DRAWINGS.

ARCHITECTURAL DESIGN COLLABORATIVE

201 17th STREET; SUITE 300
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Architect ● Seal/Signature

# Construction Documents for: BANK OF AMERICA 24-HR ATM VESTIBULE

at:
CHARLOTTESVILLE
510 East Main Street
Charlottesville, Virginia 22902

02

Issue	Date & Issue Description	Drawn By	Checked
01	05/11/2018	ES	HC
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	Information		
	BRE e rios		
3401	COLUMBIA PIKE, SUITE 302 NGTON, VA 22204		
CELL	: (571) 317-4005		
DIRE	CT: (703) 302-2529		

A08.11

ENLARGED ATM PLAN, ELEVATION, & DETAILS

**Project Number** 

**CAD File Name** 

AS NOTED

Consultant • Seal/Signature

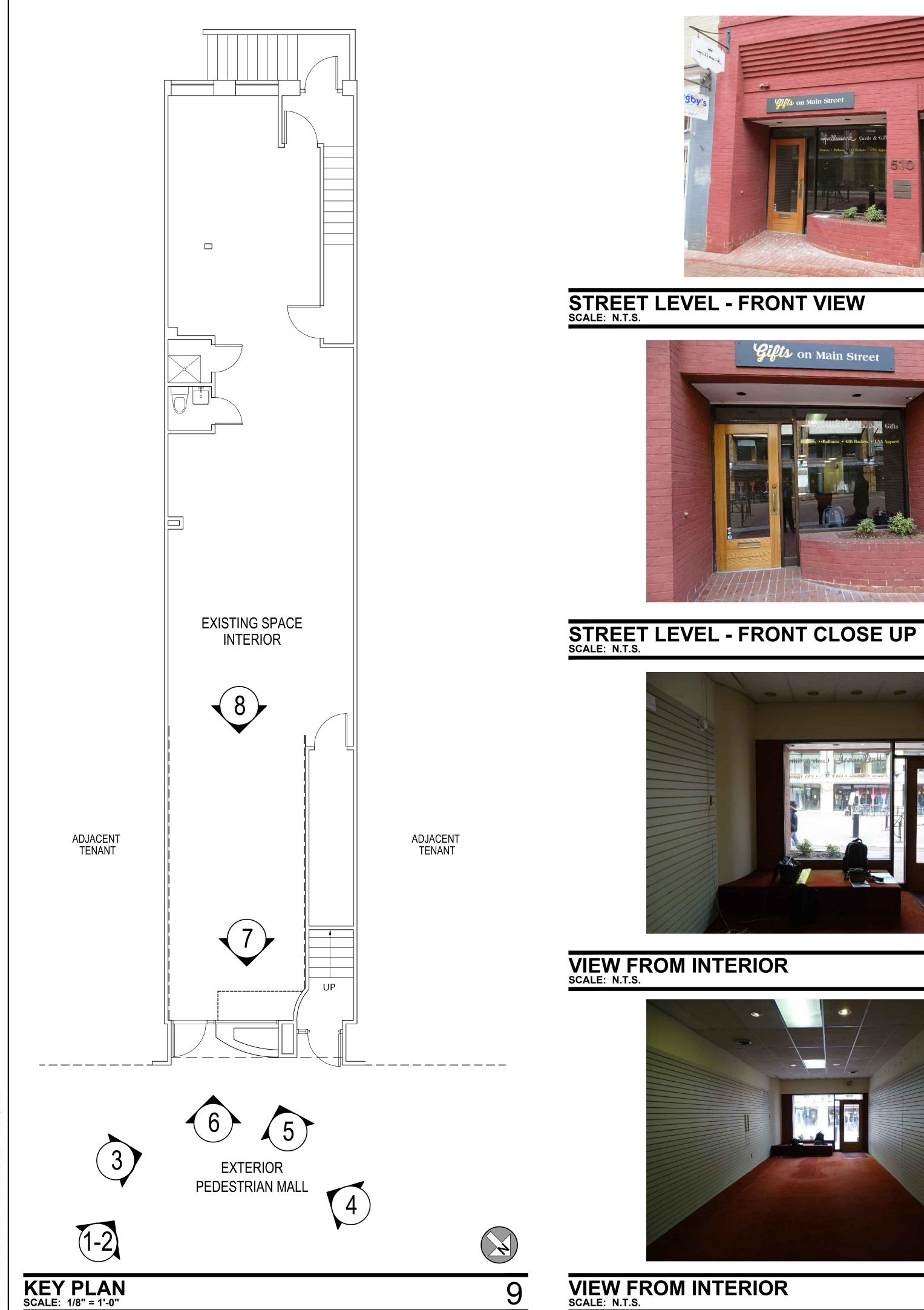
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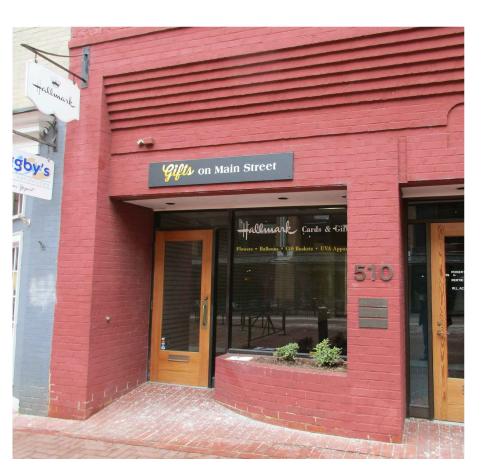
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ELEVATION@ATM SCALE: 3/4"=1'-0"

DT\_ATM\_ELEV

04



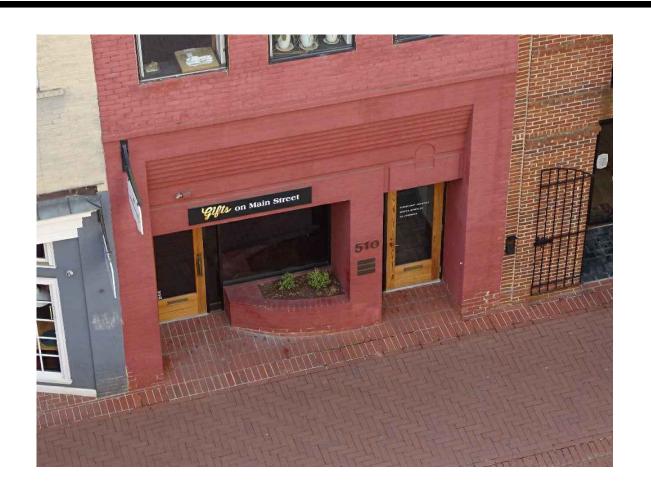


Gifts on Main Street

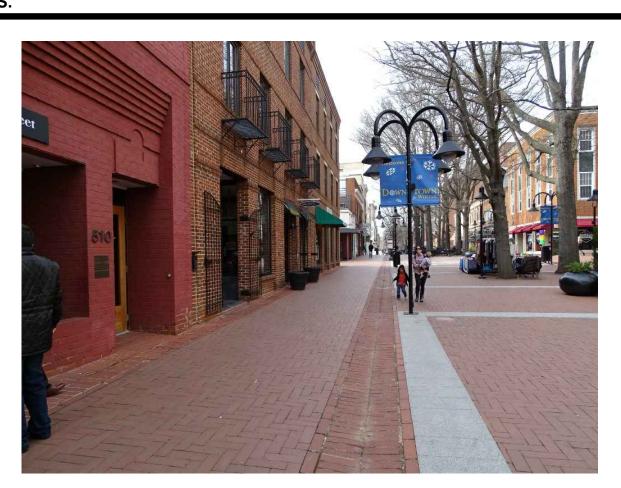
STREET LEVEL - FRONT VIEW SCALE: N.T.S.



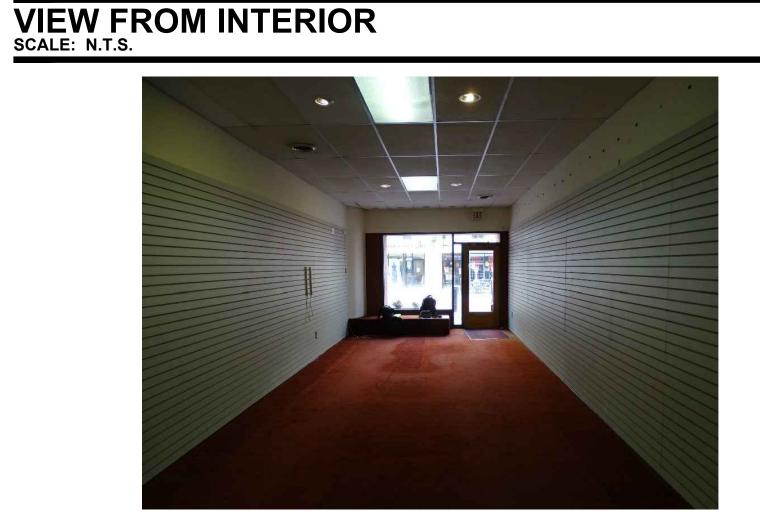
SITE - AERIAL VIEW SCALE: N.T.S.



CLOSE-UP AERIAL VIEW SCALE: N.T.S.



STREET LEVEL VIEW - LOOKING NORTHWEST 3



VIEW FROM INTERIOR SCALE: N.T.S.



STREET LEVEL VIEW - LOOKING SOUTHEAST SCALE: N.T.S.

201 17th STREET SUITE 300
ATLANTA, GA 30363
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Architect • Seal/Signature

**Construction Documents for:** BANK OF AMERICA 24-HR ATM VESTIBULE

CHARLOTTESVILLE 510 East Main Street Charlottesville, Virginia 22902

Issue	Date & Issue Description	Drawn By	Chec
01	05/11/2018	ES	
	CD REVIEW SET		
02	05/23/2018	HC	
	ISSUE FOR PERMIT SET		
$\triangle$	Date & Delta Description	Drawn By	Chec
	Information 		
	BRE		
	E RIOS COLUMBIA PI□E, SUITE 302		
	NGTON, VA 22204		
	: (571) 317-4005		
DIRE	CT: (703) 302-2529		
Project	Number		
17354			
	le Name	H (6630) 6/65 6/5	
	MK CT / VTRIC/\2017\T7354-CTIVE OTTENHTF \T SCCPE\SHEEIS\9 412.04 KEY FLAN & PHOTOSENG ofton	M	5
-			
Scale			
Scale			

A12.04

**KEY PLAN & PHOTOS** 





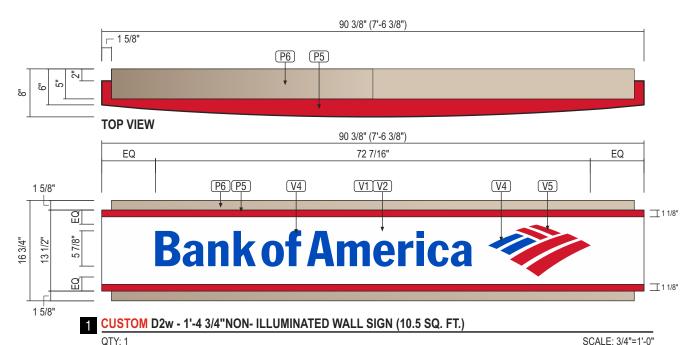
# **Bank of America**



Loc#: 5109



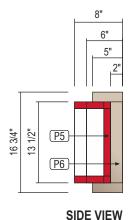
510 E Main St Charlottesville, VA 22902



**EXISTING** 

WALL TYPE CMU, BRICK PRE-CAST CONCRETE, WOOD BLOCKING, PLYWOOD EIGHT WALL BYSTEMS FOAM INSULATION SHEATHING, PLYWOOD

SECTION SECTION SHOW THE PROPERTY OF THE



STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

	V	<u> </u>		1 1227/622	111111111111111111111111111111111111111	<del></del> /
ANCHOR TYPE	ø1/2" SLEEV ANCHOR (ø3/8" BOLT), 2" MIN. EMBEDMENT	ø3/8" EXPANSION ANCHOR, 2 1/2" MIN. EMBEDMENT	ø3/8" LAG BOLT	ø3/8" THREADED ROD	ø3/8" THREADED ROD W/ ALUMINUM OR PVC COMPRESSION SLEEVE	ø3/8" TOG (WING OR I
		Propos	sed Sign Sc	hedule		
		Item	Descri	iption	Qty Pa	ge#
		1 CUS	STOM D2w -NON- I	LLUM WALL SIGN	1	2
		2 0110	TOM 4" DEED IIA	NOINO EL AO CIO	NI 1	

DOOR VINYL - 24 HOUR ATM

SECURITY CAMERA VINYL
ADDRESS VINYL "510"



**PROPOSED** 

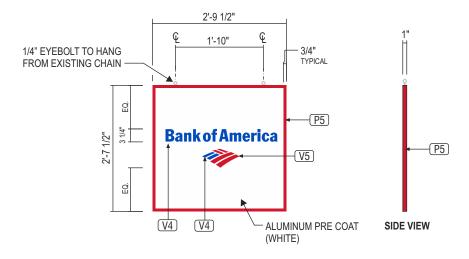
5

5

Drawing prepared by:	RECOMMENDATION		by: RECOMMENDATION		Drawing prepared for:	
	Location:	Proj #:	<ul><li>Bank of America</li></ul>			
ICON	510 E Main St	4305	- Dalikul Allielica	ľ		
	Charlottesville, VA 22902	Loc #:				
	File Path:	5109		Ц		

Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive propert	y of ICON,. A	ny unauthorize	ed use or duplic	cation is not	permitted.
Original	270544	03/29/18	MH	BW							
Rev 1	270909	04/06/18	MH	BW	change sign 2 to 1" thick		Rev #:	Req#:	Date:	Req. By:	Drawn By:
Rev 2		00/00/00	XXX	XXX			Rev 7	000000	00/00/00	XXX	XXX
Rev 3	000000	00/00/00	XXX	XXX			Rev 8		00/00/00		XXX
Rev 4	000000	00/00/00	XXX	XXX			Rev 9	000000	00/00/00	XXX	XXX
Rev 5		00/00/00	XXX	XXX			Rev 10	000000	00/00/00	XXX	XXX
Rev 6	000000	00/00/00	XXX	XXX							Pg. 2





# 2 CUSTOM 1" DEEP NON-ILLUMINATED HANGING FLAG SIGN

QTY: 1 SCALE: 1/2"=1'-0" STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

ALUMINUM HANGING SIGN W/ VINYL COPY AND PAINTED RED RETAINER & BORDER PANEL TO BE HUNG FROM EXISTING MOUNTING BRACKET



**EXISTING** 



**PROPOSED** 



Drawing prepared by:

RECOMMEND	ATION	Drawing prepared for:
Location:	Proj #:	<ul> <li>Bank of America</li> </ul>
510 E Main St	4305	- Dalikul Allielica
Charlottesville, VA 22902	Loc #:	
File Path:	5109	
Active\BANKS\B\Bank Of America\2	2018\Locations\4305_5	109_Charlottesville_VA_R1.cdr

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Original	270544	03/29/18	MH	BW							
Rev 1	270909	04/06/18	MH	BW	change sign 2 to 1" thick		Rev #:	Req#:	Date:	Req. By:	Drawn By:
Rev 2	000000	00/00/00	XXX	XXX			Rev 7	000000	00/00/00	XXX	XXX
Rev 3	000000	00/00/00	XXX	XXX			Rev 8		00/00/00		XXX
Rev 4	000000	00/00/00	XXX	XXX			Rev 9		00/00/00		XXX
Rev 5	000000	00/00/00	XXX	XXX			Rev 10	000000	00/00/00	XXX	XXX
Rev 6	000000	00/00/00	XXX	XXX							Pg. 3

#### MATERIALS/APPLICATION

from technical audit

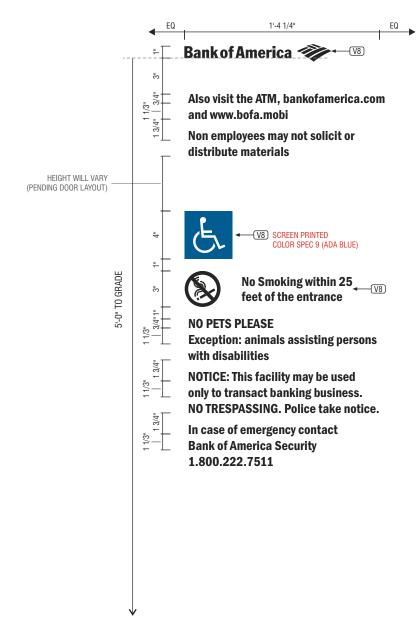
- A WHITE 3M #7725-10 vinyl graphics.
- B. Apply all vinyl with the exception of the handicap symbol of accessibility on second surface when glass is clear to medium tint
- C. Apply vinyls on first surface when glass is dark tinted.
- ${\sf D}.$  Typeface is to be Franklin-Gothic-Demi-Condensed. Use only this font. Substitute fonts are not allowed.
- E. Note: Hours information to be verified with the Branch Manager. All optional information must be provided through inspection of site
- F. Preferred position of 13' x 12' Acrylic Holder.
- Holder by others on second surface of opposite door across from hours decals, as shown
- G. Handicap symbol to be reverse silkscreened blue field on white 3M #7725-10 vinyl. Symbol of accessibility to reverse out white. Use UV inks manufactured by Sericol or approved equal. Blue field to match PMS 7462C, finish to meet 70% gloss ADA compliance requirements. When required, always apply handicap vinyl to exterior of plass

# VINYLS: (Always refer to State-specific pages to check for regional layouts or copy.)

- 1. Inline Signature format Always use Master Brand.
- 2. Lobby Hours Always use. Maintain flush left alignment of days and flush right alignment of hours information as shown.

- 3. ATA Copy Always use if applicable. Maintain flush left alignment
- of days and flush right alignment of hours information as shown.
- 4. 'Also visit the ATM, bankofamerica.com and www.bofa.mobi'- Always use.
- 5. Non-employees may not solicit or distribute materials Always use.
- Handicap symbol Use only on accessible entrance doors. For non accessible entrances see sheets 19 and 20. Single handicap symbol alone should be used to denote a handicap entrance.
- 7. No Smoking symbol -Always use.
- 8. 'NO PETS PLEASE' Always use.
- 9. ATM location information If ATM redirect copy exists remove only- do not replace
- 10. 'NOTICE: This facility may be used only to transact banking business.
- NO TRESPASSING. Police take notice.' Always use.
- 11. 'In case of emergency, contact Bank of America Security 1-800-222-7511' Always use

NOTE: If entry door crash bar or other obstructions are on the front of the door, space copy above or below as required. Provide a minimum space of 1" above and 2" below the obstruction or crash bar. Maintain a minimum of 4' above bottom mullion. If there is not enough space to apply necessary copy, convert to a door plaque. Placement of crash bar and dimensions of bottom mullion are shown in example only, field verify exact conditions prior to fabrication.



3 DOOR VINYL - 24 HOUR ATM

FIRST SURFACE APPLICATION

SCALE: 1 1/2"=1'-0"



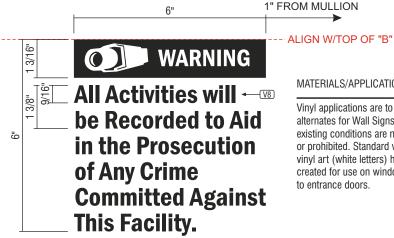
Drawing prepared by:

RECOMMENDATION

Location:
510 E Main St
Charlottesville, VA 22902
File Path:

Active\BANKS\B\Bank Of America\2018\Locations\4305\_5109\_Charlottesville\_VA\_R1.cdr

Rev #:	Req#:	Date:	Req. by:	Drawn by:	Revision Description:	Drawings are the exclusive property	/ of ICON,. A	ny unauthorize	ed use or duplic	cation is not	permitted.
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Rev 2	000000	00/00/00	XXX	XXX			Rev 7	000000	00/00/00	XXX	XXX
Rev 3		00/00/00		XXX			Rev 8		00/00/00		XXX
Rev 4	000000	00/00/00	XXX	XXX			Rev 9		00/00/00		XXX
Rev 5		00/00/00		XXX			Rev 10	000000	00/00/00	XXX	XXX
Rev 6	000000	00/00/00	XXX	XXX							Pg. 4



# MATERIALS/APPLICATION

Vinyl applications are to serve as alternates for Wall Signs where existing conditions are not ideal or prohibited. Standard window vinyl art (white letters) have been created for use on windows next to entrance doors.



QTY: 1 VINYL SHOULD BE MOUNTED 1" FROM MULLION FIRST SURFACE APPLICATION

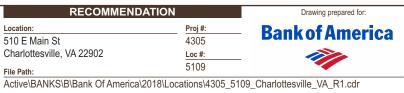
SCALE: 1:3



WHITE ADDRESS NUMERALS

QTY: 1 FIRST SURFACE APPLICATION SCALE: 1 1/2"=1'-0"





Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive propert	y of ICON,. A	ny unauthorize	ed use or duplic	cation is not	permitted.
Original	270544	03/29/18	MH	BW							
Rev 1		04/06/18		BW	change sign 2 to 1" thick		Rev #:	Req#:		Req. By:	Drawn By
Rev 2	000000	00/00/00	XXX	XXX			Rev 7	000000	00/00/00	XXX	XXX
Rev 3	000000	00/00/00	XXX	XXX			Rev 8	000000	00/00/00	XXX	XXX
Rev 4	000000	00/00/00	XXX	XXX			Rev 9		00/00/00		XXX
Rev 5	000000	00/00/00	XXX	XXX			Rev 10	000000	00/00/00	XXX	XXX
Rev 6	000000	00/00/00	XXX	XXX							Pg. 5

# **KR** Series

KR6™ LED Specification Downlight – Round 6"

#### **Product Description**

The KR6 $^{\text{TM}}$  LED specification downlight features Cree TrueWhite $^{\otimes}$  Technology and delivers beautiful, high-quality light with efficacy up to 76 lumens per watt. Designed for new construction applications, the KR Series is available in a variety of color temperatures, round and square trims with high-quality anodized aluminum reflector finishes, a sloped ceiling adaptor accessory, and a variety of dimming options including Cree Sunset Dimming Technology which provides rich, warm light that transitions from 2700K to 1800K as naturally as an incandescent source.

#### **Performance Summary**

Utilizes Cree TrueWhite® Technology

 $\textbf{Initial Delivered Lumens:}\ 700-5,\!300\ \text{lumens:}\ \text{Delivered lumen output is typical when using a SSGC}\ \text{type reflector}$ 

Input Power: 13-87 watts

Emergency Performance: Up to 1,210 Lumens; 10W; Minimum 90 Minutes

**CRI:** 90

CCT: 2700K, 3000K, 3500K, 4000K, 5000K

Controls: Triac, 0/1-10V; See control availability chart on page 3

Limited Warranty†: 10 years on KR6™ luminaire

**Limited Warranty Emergency Back Up (EB) Battery**: 1 Year Battery Back Up. Test regularly in accordance with local codes

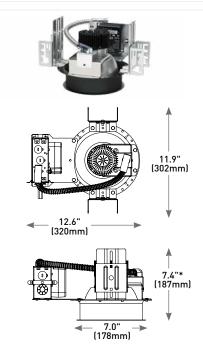
#### Accessories

Field-Installed								
Sloped Ceiling Adaptor	C-Channel Hanger Bars	T-Bar Clips						
KRKS6**WW	RBH30C	RARC7						
** 0-35 (order in 5 degree increments)	<ul> <li>Pair of 30" (762mm) rigid 3/4" x 1/2"</li> <li>(19mm x 13mm) C-Channel bars</li> </ul>	- Set of four - For use with RBH24C-1 hanger bars						
	RBH24C-1 - Pair of 24" (610mm) x 1-1/2" (38mm) x 1/2" (13mm) standard C-Channel bars	Trim Ring KR6TA - White beauty ring to cover pan head fasteners on KR6T reflector						

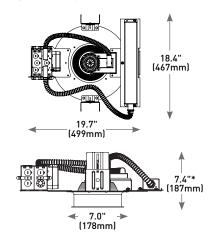
# **Ordering Information**

Fully assembled luminaire is composed of two components that must be ordered separately: Example: **Housing:** KR6-20L-35K-120V-10V + **Reflector:** KR6T-SSGC-FF

Reflector (Housing must be ordered separately)								
KR6T								
Series	Reflector Finish	Flange Finish	Options					
KR6T Standard Trim - Reflector attaches to housing with pan head fasteners and keyhole slots	SSGC Soft Satin Glow, Clear	FF Matches Reflector WF White Paint	<b>WW</b> Wall Wash					



#### **Emergency Backup**



\* Add 1.5" (38mm) for 60L Initial Delivered Lumens

KR6								
Series	Size	Reflector	Initial Delivered Lumens	Optic	сст	Voltage	Controls	Options
KR	6 6 inch	<b>Blank</b> Round	9L 13W, 700 Lumens – 54 LPW 13L 18W, 1,100 Lumens – 61 LPW 20L 30W, 1,700 Lumens – 57 LPW 30L 39W, 2,550 Lumens – 65 LPW 40L 44W, 3,350 Lumens – 76 LPW 60L 87W, 5,300 Lumens – 61 LPW - Available on 120V and 277V only	Blank 70° Beam Angle	27K - 2700K - 9L thru 40L only 30K 3000K 35K 3500K 40K 4000K 50K 5000K - Available on 40L and 60L only	120V 120 Volts 277V 277 Volts 347 Volts	Blank  - For standard control offering refer to control availability chart on page 3  10V 0/1-10V Dimming  - Refer to control availability chart on page 3	WD Sunset Dim  - 9L and 13L @ 27K with Triac Dimming only  EB7 Emergency Backup  - Minimum 90 minutes  - 120V, 277V only  - Minimum operating temperature 0°C (32°F)







Rev. Date: V13 02/13/2018



<sup>\*</sup>See http://lighting.cree.com/warranty for warranty terms

#### **Product Specifications**

#### **CREE TRUEWHITE® TECHNOLOGY**

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics, and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.

#### **CONSTRUCTION & MATERIAL**

- Low brightness parabolic spun Alzak aluminum cone, 0.06" (2mm) thick with polished radius and continuous self-flange
- · Soft Satin Glow Clear finish, standard
- 2" (51mm) aperture throat to accommodate all standard and up to 3" (76mm) thick ceilings and provide flexibility in mounting within grid
- Provided with guick mounting brackets for optional carrying channels
- · Light engine, optics, and driver accessible from below ceiling

#### **ELECTRICAL SYSTEM**

- Power Factor: > 0.9 for 120V and 277V
- Total Harmonic Distortion: < 20% at full load
- Input Power: 120, 277V, or 347V, 50/60Hz
- Operating Temperature Range: -18°C +40°C (0°F +104°F); minimum operating temperature with EB7 option is 0°C (32°F)
- 10V Source Current: 9L & 13L: 0.15mA; 20L-40L: 2.2mA; 60L: 0.11mA

#### CONTROLS

- For standard control offering refer to control availability chart on page 3
- For use with Class 2 dimming systems only. Reference http://lighting.cree.com/products/indoor/new-construction-downlights/ kr-series for recommended dimming controls and wiring diagrams

#### **REGULATORY & VOLUNTARY QUALIFICATIONS**

- · cULus Listed
- Suitable for thru-wiring 8#12AWG-90°C
- Suitable for damp locations
- Designed for indoor use
- Thermally protected Type NON-IC in accordance with Article 410 of the NEC and UL 1598
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- EnergyStar® certified with the exception of 9L and 13L. Please refer to https://www.energystar.gov/productfinder/product/certified-light-fixtures/ results for most current information
- RoHS compliant. Consult factory for additional details

KR Serie	s Ambient Adj	usted Lum	en Maintena	nce¹		
Ambient	Initial Delivered Lumens	Initial LMF	25K hr Projected <sup>2</sup> LMF	50K hr Projected <sup>2</sup> LMF	75K hr Calculated <sup>3</sup> LMF	100K hr Calculated <sup>3</sup> LMF
	9L and 13L	1.05	1.04	1.03	1.03	1.02
5°C (41°F)	20L and 30L	1.03	0.99	0.94	0.90	0.86
(41 1)	40L and 60L	1.03	0.96	0.90	0.83	0.77
	9L and 13L	1.04	1.03	1.03	1.02	1.02
10°C (50°F)	20L and 30L	1.02	0.97	0.93	0.89	0.85
(50 1)	40L and 60L	1.03	0.95	0.88	0.82	0.76
	9L and 13L	1.03	1.02	1.02	1.01	1.01
15°C (59°F)	20L and 30L	1.01	0.96	0.91	0.88	0.84
(07 1)	40L and 60L	1.02	0.94	0.87	0.81	0.75
	9L and 13L	1.02	1.01	1.00	1.00	0.99
20°C [68°F]	20L and 30L	1.01	0.95	0.90	0.87	0.83
(00 1)	40L and 60L	1.01	0.93	0.86	0.80	0.74
	9L and 13L	1.00	1.00	0.99	0.99	0.99
25°C (77°F)	20L and 30L	1.00	0.94	0.89	0.86	0.82
(// 1)	40L and 60L	1.00	0.92	0.85	0.79	0.74
	9L and 13L	0.99	0.99	0.98	0.98	0.98
30°C [86°F]	20L and 30L	0.97	0.93	0.88	0.85	0.81
(00 1)	40L and 60L	0.98	0.91	0.84	0.78	0.73
	9L and 13L	0.98	0.97	0.97	0.97	0.97
35°C (95°F)	20L and 30L	0.96	0.92	0.87	0.84	0.80
(75 1)	40L and 60L	0.96	0.90	0.83	0.77	0.72
	9L and 13L	0.97	0.96	0.96	0.96	0.95
40°C (104°F)	20L and 30L	0.95	0.90	0.86	0.83	0.79
(1041)	40L and 60L	0.95	0.88	0.82	0.76	0.71

<sup>1</sup>Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors <sup>2</sup>In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are

In accordance with IESNA IM-21-11, Projected Values represent interpolated value based on time durations that are within six times [6X] the IESNA LM-80-08 total test duration (in hours) for the device under testing [[DUT] i.e. the packaged LED chip]

In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times [6X] the IESNA

LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip)

#### Installation

• Recommended ceiling cutout 6.5" (165mm)



Note: 30L and 40L versions require marked spacing: 24" [600mm] x 12" [300mm] x ½" [12mm]. 24" [600mm] luminaire to luminaire, 12" [300mm] luminaire to side wall, ½" [12mm] above luminaire

60L versions require marked spacing: 48" [1219mm] x 24" [600mm] x 1" [25mm]. 48" [1219mm] luminaire to luminaire, 24" (600mm) luminaire to side wall, 1" [25mm] above luminaire

#### Wall Wash

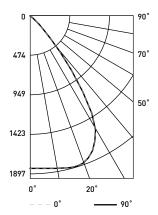
Based on KR6-30L-27K-120V W/KR6T-SSGC-FF-WW Luminaire

	2' from Wal	ı			3' from Wall				4' from Wall			
Down from	3' Centers		4' Centers		3' Centers 4' Centers		3' Centers			4' Centers		
Ceiling	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)
1'	20	20	25	11	10	10	10	7	6	6	5	5
2'	49	40	44	23	27	28	24	19	16	17	13	13
3'	49	44	43	28	29	31	24	22	23	24	18	19
4'	49	51	39	36	30	31	24	23	22	24	18	19
5'	42	44	29	36	34	35	28	27	22	23	18	18
6'	36	36	23	28	34	35	26	28	25	26	20	21
7'	29	30	19	23	31	32	25	26	27	28	22	23
8'	24	25	16	18	27	28	23	23	26	27	21	22
9'	20	22	13	16	24	25	20	20	24	25	20	20
10'	17	18	11	13	20	22	18	18	21	23	18	18

#### **Photometry**

#### KR6-30L-27K-120V W/KR6T-SSGC-FF BASED ON UL REPORT TEST #: 157473

Luminaire photometry has been conducted in accordance with IESNA LM-79-08. IESNA LM-79-08 specifies the entire luminaire as the source resulting in a luminaire efficiency of 100%.



UL Test Report #: 157473 KR6-30L-27K-120V w/KR6T-SSGC-FF

Initial Delivered Lumens: 2,479

Efficacy: 66 LPW

**S/M:** 1.2

		nts Of Utilization – rity Method					
RC %:	80						
RW %:	70	50	30	10			
RCR: 0	119	119	119	119			
1	113	110	108	105			
2	107	102	97	94			
3	101	94	89	84			
4	95	87	81	77			
5	90	81	75	70			
6	85	75	69	64			
7	80	70	64	59			
8	76	66	59	55			
9	72	61	55	51			
10	68	58	51	47			

Effective Floor Cavity Reflectance: 20%

Ave	Average Luminance Table (cd/m²)									
		Horizon	ital Angle	:						
		0°	45°	90°						
ngle	45°	19,317	19,317	19,317						
Vertical Angle	55°	4,459	4,459	4,459						
Verti	65°	2,074	2,074	2,074						
	75°	931	931	931						
	85°	0	0	0						

Zonal Lumen Summary							
Zone	Lumens	% Lamp	Luminaire				
0-30	1,527	N/A	61.5%				
0-40	2,206	N/A	88.8%				
0-60	2,462	N/A	99.1%				
0-90	2,483	N/A	100.0%				
0-180	2,483	N/A	100.0%				

Cone of Light						
Distance from Workplane	Footcandles	Beam Diameter				
6' (1.8m)	51	7.3' (2.2m)				
8' (2.4m)	29	9.7' (3.0m)				
10' (3.0m)	18	12.3' (3.7m)				
12' (3.7m)	13	14.5' (4.4m)				
14' (4.3m)	9	17.4' (5.3m)				

For exact photometric data, please reference our available IES and LM-79 test results at http://lighting.cree.com/products/indoor/new-construction-downlights/kr-series

# **Application Reference**

Based on KR6-30L-27K-120V W/KR6T-SSGC-FF Luminaire

Open Space							
Spacing	Lumens	Wattage	LPW	w/ft²	Average FC		
4 x 4	2,550	39	65	2.34	155		
6 x 6				1.09	74		
8 x 8				0.59	42		
10 x 10				0.39	27		

10' Ceiling, 80/50/20 Reflectances, 2.5' workplane. LLF: 1.0 Initial. Open Space: 50' x 40' x 10'  $\,$ 

Corridor							
Spacing	Lumens	Wattage	LPW	w/ft²	Average FC		
4' on Center	2,550	39	65	1.63	77		
6' on Center				1.11	52		
8' on Center				0.78	37		
10' on Center				0.65	31		

 $10^{\circ}\,\text{Ceiling},\,80/20/50\,\text{Reflectances},\,\text{Light levels on the ground}.\,\,\text{LLF: 1.0 Initial. Corridor: 6'\,Wide\,x\,100'\,Long}$ 

# **Control Availability Chart**

Initial Delivered Lumens	Non Dimming			Triac Dimming to 5%			0/1-10V Dimming to 10%		
	120V	277V	347V	120V	277V	347V	120V	277V	347V
9L	N/A	S - Leave control Blank when ordering	N/A	S - Leave control Blank when ordering	N/A	N/A	0 - Order w/10V	0 - Order w/10V	0 - Order w/10V
13L	N/A	S - Leave control Blank when ordering	N/A	S - Leave control Blank when ordering	N/A	N/A	0 - Order w/10V	0 - Order w/10V	0 - Order w/10V
20L	N/A	N/A	N/A	N/A	N/A	N/A	S - Order w/10V	S - Order w/10V	S - Order w/10V
30L	N/A	N/A	N/A	N/A	N/A	N/A	S - Order w/10V	S - Order w/10V	S - Order w/10V
40L	N/A	N/A	N/A	N/A	N/A	N/A	S - Order w/10V	S - Order w/10V	S - Order w/10V
60L	N/A	N/A	N/A	N/A	N/A	N/A	S - Order w/10V	S - Order w/10V	N/A

S = Standard Offering O = Optional Offering

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