

Lasley, Timothy G

From: Lasley, Timothy G
Sent: Thursday, June 21, 2018 3:59 PM
To: 'stanleyhill@bellsouth.net'
Cc: Werner, Jeffrey B; Mess, Camie
Subject: BAR Actions - June 19, 2018 - 510 East Main Street

June 21, 2018

Certificate of Appropriateness Application

BAR 18-06-05
510 East Main Street
Tax Parcel 53006700
Bank of America ATM, Owner/ 510 Partners, Applicant/ Stanley Hill
Addition of 24 hour ATM, storefront modifications, new signage

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on May 15, 2018. The following action was taken:

Motion: Mohr moved having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitations, Public Design, and Signs, I move to find that the proposed storefront modifications and signage satisfy the BAR's criteria and guidelines and are compatible with this property and other properties in the Downtown ADC district, and that the BAR approves the application as submitted with the following conditions:

- **All light fixtures are less than or equal to 3000 color rendering index (CRI)**
[Note: As this is a 24 hour ATM facility, BAR condition applies also to the interior lighting at the ATM lobby relative to its visibility through the glass storefront.]

Sarafin seconded. Approved (7-0).

This certificate of appropriateness shall expire in 18 months (December 19, 2019), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. You may request an extension of the certificate of appropriateness before this approval expires for one additional year for reasonable cause.

If you have any questions, please contact me at 434-970-3130 or wernerjb@charlottesville.org.

Sincerely yours,
Jeff Werner

--

Tim Lasley
Intern | Historic Preservation and Design Planning
City of Charlottesville | Neighborhood Development Services
University of Virginia | Class of 2020
School of Architecture

Phone: (434)970-3185

Email: lasleyt@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
June 19, 2018**



Certificate of Appropriateness Application

BAR 18-06-05

510 East Main Street

Tax Parcel 53006700

Owner: Bank of America ATM, Owner/ 510 Partners

Applicant/ Stanley Hill

Storefront modifications to accommodate ATM lobby, new signage

Background

The Linney – Gleason/Valentine – Charlie Building was constructed in 1895, and is a two and a half floor commercial building. The brick building features a large glass storefront on the ground level. The façade was reconstructed in 1978, introducing a new recessed storefront with two brick columns on the left and right of the building that act planar to the remaining façade. This building is a contributing structure in the Downtown ADC District. (Historic survey attached)

Application

Draper Aden Association: Topographic survey (dated 4/23/2018).

Architectural Design Collaborative: Cover (dated 5/23/2018), notes (dated 5/23/2018), existing plan (dated 5/23/2018), proposed plan (dated 5/23/2018), ceiling plan (dated 5/23/2018), elevations (dated 5/23/2018), ATM detail (dated 5/23/2018), and current views (dated 5/23/2018).

ICON: signage (4 pages).

Requested the following:

- The renovation of the storefront to accommodate an internal ATM lobby.
- The removal of the brick ramp leading to entry door
- The lower of the entry door
- New lighting and signage

Criteria, Standards, and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application, the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of*

- Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
 - (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
 - (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
 - (7) When reviewing any proposed sign as part of an application under consideration, the standards set forth within Article IX, sections 34-1020 et seq shall be applied; and*
 - (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Guidelines for Site Design and Elements

D. Lighting

...

- 1. In residential areas, use fixtures that are understated and compatible with the residential quality of the surrounding area and the building while providing subdued illumination.*
- 2. Choose light levels that provide for adequate safety yet do not overly emphasize the site or building. Often, existing porch lights are sufficient.*
- 3. In commercial areas, avoid lights that create a glare. High intensity commercial lighting fixtures must provide full cutoff.*
- 4. Do not use numerous "crime" lights or bright floodlights to illuminate a building or site when surrounding lighting is subdued.*
- 5. In the downtown and along West Main Street, consider special lighting of key landmarks and facades to provide a focal point in evening hours.*
- 6. Encourage merchants to leave their display window lights on in the evening to provide extra illumination at the sidewalk level.*
- 7. Consider motion-activated lighting for security.*

Pertinent Guidelines for Rehabilitation

B. FACADES AND STOREFRONTS

Over time, commercial buildings are altered or remodeled to reflect current fashions or to eliminate maintenance problems. Often these improvements are misguided and result in a disjointed and unappealing appearance. Other improvements that use good materials and sensitive design may be as attractive as the original building and these changes should be saved. The following guidelines will help to determine what is worth saving and what should be rebuilt.

- 1) Conduct pictorial research to determine the design of the original building or early changes.*
- 2) Conduct exploratory demolition to determine what original fabric remains and its condition.*
- 3) Remove any inappropriate materials, signs, or canopies covering the façade.*
- 4) Retain all elements, materials, and features that are original to the building or are contextual remodelings, and repair as necessary.*
- 5) Restore as many original elements as possible, particularly the materials, windows, decorative details, and cornice.*
- 6) When designing new building elements, base the design on the "Typical elements of a commercial façade and storefront" (see drawing next page).*
- 7) Reconstruct missing or original elements, such as cornices, windows, and storefronts, if documentation is available.*
- 8) Design new elements that respect the character, materials, and design of the building, yet are distinguished from the original building.*
- 9) Depending on the existing building's age, originality of the design and architectural significance, in some cases there may be an opportunity to create a more contemporary façade design when undertaking a renovation project.*

- 10) *Avoid using materials that are incompatible with the building or within the specific districts, including textured wood siding, vinyl or aluminum siding, and pressure-treated wood,*
- 11) *Avoid introducing inappropriate architectural elements where they never previously existed.*

D. ENTRANCES, PORCHES, AND DOORS

Entrances and porches are often the primary focal points of a historic building. Their decoration and articulation help define the style of the structure. Entrances are functional and ceremonial elements for all buildings. Porches have traditionally been a social gathering point as well as a transition area between the exterior and interior of a residence.

The important focal point of an entrance or porch is the door. Doors are often a character-defining feature of the architectural style of a building. The variety of door types in the districts reflects the variety of styles, particularly of residential buildings.

- 1) *The original details and shape of porches should be retained including the outline, roof height, and roof pitch.*
- 2) *Inspect masonry, wood, and metal on porches and entrances for signs of rust, peeling paint, wood deterioration, open joints around frames, deteriorating putty, inadequate caulking, and improper drainage, and correct any of these conditions.*
- 3) *Repair damaged elements, matching the detail of the existing original fabric.*
- 4) *Replace an entire porch only if it is too deteriorated to repair or is completely missing, and design to match the original as closely as possible.*
- 5) *Do not strip entrances and porches of historic material and details.*
- 6) *Give more importance to front or side porches than to utilitarian back porches.*
- 7) *Do not remove or radically change entrances and porches important in defining the building's overall historic character.*
- 8) *Avoid adding decorative elements incompatible with the existing structure.*
- 9) *In general, avoid adding a new entrance to the primary facade, or facades visible from the street.*
- 10) *Do not enclose porches on primary elevations and avoid enclosing porches on secondary elevations in a manner that radically changes the historic appearance.*
- 11) *Provide needed barrier-free access in ways that least alter the features of the building.*
 - a) *For residential buildings, try to use ramps that are removable or portable rather than permanent.*
 - b) *On nonresidential buildings, comply with the Americans with Disabilities Act while minimizing the visual impact of ramps that affect the appearance of a building.*
- 12) *The original size and shape of door openings should be maintained.*
- 13) *Original door openings should not be filled in.*
- 14) *When possible, reuse hardware and locks that are original or important to the historical evolution of the building.*
- 15) *Avoid substituting the original doors with stock size doors that do not fit the opening properly or are not compatible with the style of the building.*
- 16) *Retain transom windows and sidelights.*
- 17) *When installing storm or screen doors, ensure that they relate to the character of the existing door.*
 - a) *They should be a simple design where lock rails and stiles are similar in placement and size.*
 - b) *Avoid using aluminum colored storm doors.*
 - c) *If the existing storm door is aluminum, consider painting it to match the existing door.*
 - d) *Use a zinc chromate primer before painting to ensure adhesion.*

H. MASONRY

Masonry includes brick, stone, terra cotta, concrete, stucco, and mortar. Masonry is used on cornices, pediments, lintels, sills, and decorative features, as well as for wall surfaces. Color, texture, mortar joint

type, and patterns of the masonry help define the overall character of a building. Brick is used for the construction of building walls, retaining walls, fencing, and chimneys.

- 1) Retain masonry features, such as walls, brackets, railings, cornices, window surrounds, pediments, steps, and columns that are important in defining the overall character of the building.*
- 2) When repairing or replacing a masonry feature, respect the size, texture, color, and pattern of masonry units, as well as mortar joint size and tooling.*
- 3) When repointing masonry, duplicate mortar strength, composition, color, and texture.*
 - a) Do not repoint with mortar that is stronger than the original mortar and the brick itself.*
 - b) Do not repoint with a synthetic caulking compound.*
- 4) Repoint to match original joints and retain the original joint width.*
- 5) Do not paint unpainted masonry.*

Maintenance Tips

- 1) Use knowledgeable contractors and check their references and methods.*
- 2) Monitor the effects of weather on the condition of mortar and the masonry units and ensure that improper water drainage is not causing deterioration.*
 - a) Prevent water from gathering at the base of a wall by ensuring that the ground slopes away from the wall or by installing drain tiles.*
 - b) Prevent rising damp by applying a damp-proof course just above the ground level with slate or other impervious material. This work may require the advice of a historical architect.*
 - c) Do not apply waterproof, water repellent or non-historic coatings in an effort to stop moisture problems; they often trap moisture inside the masonry and cause more problems in freeze/thaw cycles.*
 - d) Repair leaking roofs, gutters, and downspouts; secure loose flashing.*
 - e) Repair cracks which may indicate structural settling or deterioration and also may allow moisture penetration.*
 - f) Caulk the joints between masonry and window frame to prevent water penetration.*
- 3) Clean masonry only when necessary to halt deterioration or to remove heavy soiling.*
- 4) Clean unpainted masonry with the gentlest means possible.*
 - a) The best method is low-pressure water wash with detergents and natural bristly brushes.*
 - b) Do not use abrasive cleaning methods, such as sandblasting or excessively high-pressure water washes. These methods remove the hard outer shell of a brick and can cause rapid deterioration. Sandblasted masonry buildings cannot receive federal or state tax credits.*
 - c) Use chemical cleaners cautiously. Do not clean with chemical methods that damage masonry and do not leave chemical cleaners on the masonry longer than recommended.*
 - d) Avoid freezing conditions when using water or water-based chemicals.*
- 5) Damage caused by improper cleaning may include chipped or pitted brick, washed-out mortar, rounded edges of brick, or a residue or film.*
- 6) Building owners applying for federal or state rehabilitation tax credits must conduct test patches before cleaning masonry.*
- 7) Disintegrating mortar, cracks in mortar joints, loose bricks or damaged plaster work may signal the need for repair of masonry.*
- 8) Repair damaged masonry features by patching, piecing in or consolidating to match original instead of replacing an entire masonry feature, if possible.*
- 9) Repair stucco by removing loose material and patching with a new material that is similar in composition, color, and texture.*
- 10) Patch stone in small areas with a cementitious material which, like mortar, should be weaker than the masonry being repaired. This type of work should be done by skilled craftsmen.*

- 11) *Use epoxies for the repair of broken stone or carved detail. Application of such materials should be undertaken by skilled craftsmen. Contact the Virginia Department of Historic Resources for technical assistance.*
- 12) *If masonry needs repaints, use an appropriate masonry paint system recommended by a paint manufacturer.*
- 13) *Use water-repellent coatings that breathe only as a last resort after water penetration has not been arrested by repointing and correcting drainage problems.*

Pertinent Guidelines for Signs

A. SIGNS

Signs are a vital part of commercial areas. A balance should be struck between the need to call attention to individual businesses and the need for a positive image of the entire district. The character of signs shall be harmonious to the character of the structure on which they are placed. Consider the relationship of surrounding buildings, compatible colors, appropriate materials, the style and size of the lettering and graphics, and the type of lighting. Signs can complement or detract from the character of a building depending on their design, placement, number, and condition. Historically significant signs on buildings should be retained if possible, even if the business is no longer in existence. See the Zoning Ordinance for specific sign regulations in each historic district. The following are recommended guidelines.

1) Types of Signs and Typical Locations

2) Placement

- a) *Place signs so that they do not obstruct architectural elements and details that define the design of the building.*
- b) *Projecting signs for commercial buildings are limited to one per storefront. They should be no lower than 7 feet from the sidewalk, and no more than 3 feet from the surface of the building. They should not be placed above the second story sill line. For residential buildings, small projecting signs attached to the wall at the first floor or porch column are appropriate.*
- c) *Window signs should be approximately 5.5 feet above the sidewalk at the center point for good pedestrian visibility. Optional locations could include 18 inches from the top or bottom of the display window glass. Window signs are also appropriate on the glazing of doors.*
- d) *Flat wall signs for commercial buildings can be located above the storefront, within the frieze of the cornice, on covered transoms, or on the pier that frames the display windows or generally on flat, unadorned surfaces of the façade or in areas clearly designed as sign locations. Flat wall signs for residential buildings can be appropriate if attached to the wall at the first floor or between porch columns.*
- e) *Awning and canopy signs should be placed on the valance area only. The minimum spacing between the edge of the letter and the top and bottom of the valance should be 1.5 inches.*
- f) *Freestanding signs, in general, are not an appropriate sign type in commercial areas of Downtown and the West Main Street corridor except for use in the front yard of a residence that has been converted to commercial or office use on a site where the building is set back deeply on the lot. In this case, freestanding signs should be no higher than 12 feet.*

3) Respect the signs of adjacent businesses.

4) Number of permanent signs

- a) *The number of signs used should be limited to encourage compatibility with the building and discourage visual clutter.*
- b) *In commercial areas, signs should be limited to two total, which can be different types.*
- c) *A buildings should have only one wall sign per street frontage.*
- d) *In addition to the existing permitted signs, each business in a building with rear entrances may have one small flat mounted sign not to exceed 6 square feet.*

5) Size

- a) *All the signs on a commercial building should not exceed 50 square feet.*

- b) *Average height of letters and symbols should be no more than 12 inches on wall signs, 9 inches on awning and canopy signs, and 6 inches on window signs.*
- c) *Projecting signs should be a maximum of 10 square feet per face.*
- d) *Window signs should obscure no more than 20 percent of the window glass.*
- e) *Flat wall signs should not exceed 18 inches in height and should not extend more than 6 inches from the surface of the building.*
- 6) *Design*
 - a) *Signs should be designed and executed by sign professionals who are skilled at lettering and surface preparation.*
- 7) *Shape*
 - a) *Shape of signs for commercial buildings should conform to the area where the sign is to be located.*
 - b) *Likewise, a sign can take on the shape of the product of service provided, such as a shoe for a shoe store.*
- 8) *Materials*
 - a) *Use traditional sign materials, such as wood, glass, gold leaf, raised metal or painted wood letters, and painted wood letters on wood, metal, or glass.*
 - b) *Newer products, such as painted MDO may also be used.*
 - c) *Do not use shiny plastic products.*
 - d) *Window signs should be painted or have decal flat letters and should not be three-dimensional.*
- 9) *Color*
 - a) *Use colors that complement the materials and color of the building, including accent and trim colors.*
 - b) *A maximum of three colors are recommended, although more colors can be appropriate.*
- 10) *Illumination*
 - a) *Generally, signs should be indirectly lit with a shielded incandescent light source.*
 - b) *Internally lit translucent signs are not permitted.*
- 11) *Buildings with Multiple Tenants*
 - a) *A comprehensive sign plan should be submitted for multi-tenant buildings.*
 - b) *Upper-floor tenants should be represented at each primary entrance by a flat, wall-mounted directory sign.*
- 12) *Other Signs*
 - a) *Banners should be temporary and wall murals should be carefully reviewed for compatibility with district character.*
- 13) *Neon Signs*
 - a) *Neon signs are often associated with early- to mid- twentieth century commercial design and are currently prohibited within the historic districts unless mounted inside windows.*
- 14) *Halo-lit signs with opaque letters may be appropriate.*
- 15) *Sign Maintenance*
 - a) *Signs that are not properly maintained should be removed.*
 - b) *Signs of a business no longer occupying a building or storefront should be removed unless it is historically significant.*

Discussion and recommendation

The removal of a 7” section from the brick planter is a function of ADA space requirements. Additionally, it is staff’s opinion that the first floor segment of the brick façade, including the planter, is the result of a 1978 renovation of the building. (Difference in the bricks is noticeable.)

Applicant must provide information on exterior, ceiling-mounted light fixtures to be installed at the entrance.

With BAR acceptable of the lighting, Staff recommends approval of this request.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for Rehabilitations, Public Design, and Signs, I move to find that the proposed storefront modifications, and signage satisfy the BAR’s criteria and guidelines and is compatible with this property and other properties in the Downtown ADC district, and that the BAR approves the application as submitted (or with the following modifications...).



**Board of Architectural Review (BAR)
Certificate of Appropriateness**

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Email scala@charlottesville.org

RECEIVED

MAY 30 2018

NEIGHBORHOOD DEVELOPMENT SERVICES

Please submit ten (10) hard copies and one (1) digital copy of application form and all attachments.
Please include application fee as follows: New construction project \$375; Demolition of a contributing structure \$375;
Appeal of BAR decision \$125; Additions and other projects requiring BAR approval \$125; Administrative approval \$100.
Make checks payable to the City of Charlottesville.
The BAR meets the third Tuesday of the month.
Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 3:30 p.m.

Owner Name 510 Partners Applicant Name Stanley Hill
Project Name/Description Bank of America ATM Parcel Number 53006700
Project Property Address 510 East Main Street, Charlottesville VA 22902

Applicant Information

Address: 9310 Old Kings Rd. S Ste 1001
Jacksonville, FL 32257
Email: stanleyhill@bellsouth.net
Phone: (W) 904-312-4900 (C) _____

Property Owner Information (if not applicant)

Address: 510 East Main Street
Charlottesville, VA 22902
Email: _____
Phone: (W) _____ (C) _____

Do you intend to apply for Federal or State Tax Credits
for this project? No

Signature of Applicant

I hereby attest that the information I have provided is, to the
best of my knowledge, correct.

[Signature] 5-25-18
Signature Date

Stanley Hill May 23, 2018
Print Name Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to
its submission.

[Signature] 25 MAY 18
Signature Date

RICHARD SHANK
Print Name Date

Description of Proposed Work (attach separate narrative if necessary): Interior fit out of an existing tenant space.
New 24-hour ATM vestibule. Exterior work to include re-grading of existing excessive sloped ramp at front entrance,
minor modifications to storefront frame to lower door to meet ADA, new signage and a card reader to existing door.

List All Attachments (see reverse side for submittal requirements):

- (1) construction documents showing plans, elevations and photos of proposed work
(2) photographs of areas of work and existing conditions. (NOTE: existing to be repaired to match existing conditions)

For Office Use Only

Received by: A. Barnow
Fee paid: \$125.00 Cash/Ck. # 18649
Date Received: 5/30/2018

Revised 2016

P18-0108

Approved/Disapproved by: _____
Date: _____
Conditions of approval: _____

Bank of America



Charlottesville CIT ID: (VAW-396)
New 24-Hr. Vestibule ATM

ISSUE FOR MANAGER'S REVIEW:
ISSUE FOR PERMIT:

05-11-2018
05-23-2018

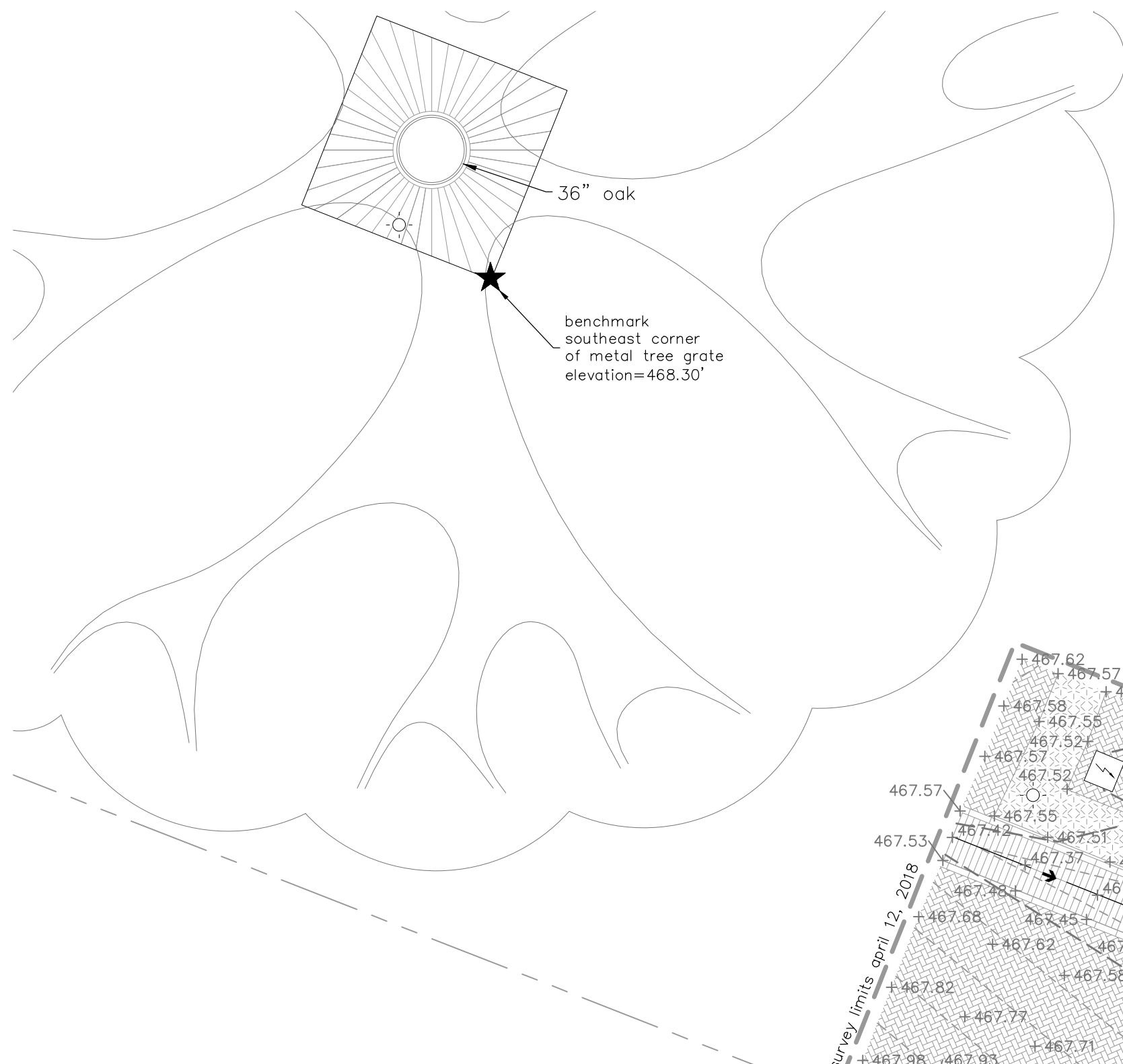
510 E Main Street,
Charlottesville, VA 22902

CBRE
3401 COLUMBIA PIKE, SUITE 302
ARLINGTON, VA 22204
CELL: 571.317.44005
PH: 703.302.2529
CONTACT: Augie Rios
e-mail: Augie.Rios@CBRE.com

ARCHITECTURAL DESIGN
COLLABORATIVE
201 17th STREET, SUITE 300
ATLANTA, GA 30363
PH: 678.701.1170
CONTACT: Hernan Castro
e-mail: hcastro@adcinternational.net

P & G ENGINEERING
DESIGN GROUP CORP
21 SW 102nd Court
MIAMI, FL 33174
PH: 786.747.5018
CONTACT: Luis O. Perez, PE
e-mail: lperez@pgengineeringdesign.com

P:\2018\18060118-010503\CAD\dwg\18060118-010503.dwg, April 23, 2018 8:16:21 AM



NOTES:

1. Source of Meridian: NAD 83/CORS 2011, based upon GPS performed by Draper Aden Associates on April 12, 2018.
2. Source of Vertical datum: NAD 83/CORS 2011, based upon GPS performed by Draper Aden Associates on April 12, 2018.
3. This survey was prepared without the benefit of a title commitment or title report and all easements and encumbrances that might be disclosed in a title search may not be shown.
4. No SUE was performed or requested for this survey. Utilities shown hereon are based on field observation only.
5. This topographic survey was completed under the direct and responsible charge of Adam R. Stevens, LS from an actual [X] Ground or [] Airborne survey made under my supervision; that the imagery and/or original data was obtained on April 12, 2018; and that this plat, map, or digital geospatial data including metadata meets minimum accuracy standards unless otherwise noted.
6. Contour interval: 0.1'
7. This survey was prepared for H & T Consultants. Draper Aden Associates assumes no liability for reuse or modification of this document.
8. Draper Aden Associates provides benchmarks for the construction of the improvements shown on these plans. All other existing elevations are for reference to existing conditions only. Do not use spot elevations, finish floor elevations, elevations on manholes, elevations on survey nails, survey hubs, control points (horizontal points provided) or any other points for construction other than the provided benchmarks. Failure to utilize and verify the provided benchmarks could result in damages and additional cost that are the contractor's responsibility.

PIN 530065300
100 5TH STREET SE
RALPH MAIN, TRUSTEE
BLACK DUCK LD
DB 782 PG 356
DB 493 PG 638 (PLAT)
ZONING: DH

PIN 530065200
506 EAST MAIN STREET
RALPH MAIN, TRUSTEE
BLACK DUCK LD
DB 782 PG 356
DB 493 PG 638 (PLAT)
ZONING: DH

PIN 530065000
508 EAST MAIN STREET
RALPH MAIN, TRUSTEE
BLACK DUCK LD
DB 782 PG 356
DB 493 PG 638 (PLAT)
ZONING: DH

PIN 530067000
510 EAST MAIN STREET
510 PARTNERS
DB 414 PG 84
DB 118 PG 250 (PLAT)
ZONING: DH

PIN 530068000
512-520 EAST MAIN STREET
EAST MALL, LLC
DB 652 PG 483
DB 499 PG 136 (PLAT)
ZONING: DH

LEGEND

- ★ Benchmark
- +468.16 Spot Elevation
- ⊖ Water Meter
- ⊕ Water Fountain
- ⊙ Light Pole
- ⚡ Electric Box
- ⊙ Deciduous Tree
- ⊙ Shrub
- ⊙ Storm Grate Drop Inlet
- Brick Pavers
- Marble Pavers
- Landscape Bed
- Property Line
- 467- Contour
- Building
- Ditch

DRAPER ADEN ASSOCIATES REVIEW

THESE PLANS HAVE BEEN SUBJECTED TO TECHNICAL AND QUALITY REVIEWS BY:

NAME: DOUG SHERRILL
SURVEY PARTY CHIEF
APRIL 23, 2018

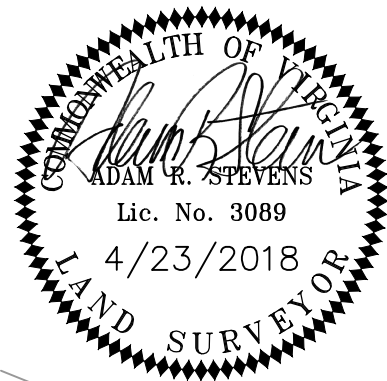
NAME: ADAM R. STEVENS, LS
PROJECT SURVEYOR
APRIL 23, 2018

NAME: CHERYL A. STOCKTON, LS
QUALITY REVIEWER
APRIL 23, 2018

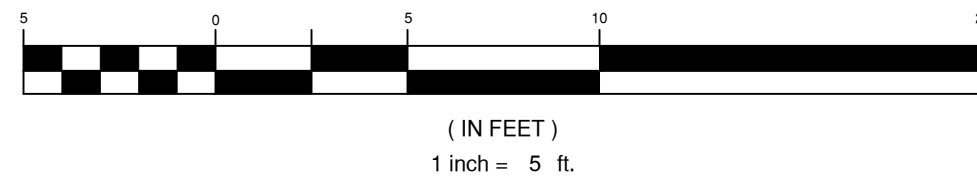
EAST MAIN STREET
PEDESTRIAN MALL
60' PUBLIC R/W

benchmark
magnail set
elevation=467.28'

SEE NOTE #1



GRAPHIC SCALE



Draper Aden Associates

Engineering • Surveying • Environmental Services

110 Avon Street
Charlottesville, VA 22902
434-295-0700 Fax: 434-295-2105
www.daa.com

• Raleigh, NC
• Fayetteville, NC
• Richmond, VA
• Blacksburg, VA
• Hampton Roads, VA
• Northern Virginia

TOPOGRAPHIC SURVEY

510 EAST MAIN STREET

CHARLOTTEVILLE, VIRGINIA

REVISIONS

DESIGNED BY:

DRAWN BY: ARS

CHECKED BY: CAS

SCALE: 1" = 5'

DATE: 4/23/2018

PROJECT NUMBER:
18060118-010503

1
1 OF 1

OWNERSHIP OF INSTRUMENTS OF SERVITUDE
ALL REPORTS, PLANS, SPECIFICATIONS, RECORDS, AND NOTES AND
OTHER DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA,
PREPARED BY THE FIRM, OR INSTRUMENTS OF SERVITUDE, SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL.

FINISH SCHEDULE

	PRODUCT ***MATCH EXISTING FINISHES (GC TO COORDINATE WITH ARCHITECT)***
CARPET	*** (MATCH EXISTING WHERE APPLICABLE) -
CPT-1	EARTHEN BY TANDUS (WITH PREAPPLIED ADHESIVE). CARPET TILES SHALL BE INSTALLED IN
	A QUARTER TURN PATTERN
	NATIONWIDE TANDUS GROUP, TONAY SILVIUS - PHONE: 800-241-4992 EXT. 2022
CERAMIC TILE	DALTILE CONTACT: EMAIL: NATIONAL_ACCOUNT@DAL.TILE.COM, TOLL FREE NUMBER: 877-556-5729;
CT-1	FIELD TILE: 12" X 24" DALTILE-VERANDA 3/8" THICK TILE, SAND P505 - SKU#P50513204P
	GROUT (G-1): STARQUARTZ QUARTZLOCK2 255 SOLID BUFF - SKU#0909030741
CT-2	ACCENT TILE: 3" X 24" DALTILE-VERANDA 3/8" THICK TILE, GRAVEL P501 - SKU#P50113204P1
	GROUT (G-1): STARQUARTZ QUARTZLOCK2 255 SOLID BUFF - SKU#0909030741
CT-3	PERIMETER TILE: 12" X 24" DALTILE-VERANDA 3/8" THICK TILE, SUEDE P524 - SKU#P52413204P
	FLOOR TILE: CROSSVILLE "CROSS COLORS" A245, COLOR: EMPRESS WHITE, FINISH: CROSS
CT-4	GREEN (UPS) - 6X8 UPS, GROUT AS PER SPECIFICATION
	GROUT (G-1): STARQUARTZ QUARTZLOCK2 255 SOLID BUFF - SKU#0909030741
CT-7	FIELD TILE: 6"X36" DALTILE- SADDLE BROOK 5/16" THICK TILE, WALNUT CREEK(SD15) -
	SKU#SD15636SAMS1PR, GROUT (G-6): MAPEI CHOCOLATE 07, GROUT SIZE TO BE MAXIMUM 3/16" .
VINYL COMPOSITION TILE	*** (MATCH EXISTING WHERE APPLICABLE) -
VCT-1	MANNINGTON COMMERCIAL, ESSENTIALS, 219 TOFFEE 12X12, 1/8" GAUGE
	ETEVA BALDWIN, CUSTOMER SERVICE REP.
	MANNINGTON COMMERCIAL
	PHONE: 800-241-2262 EXT. 6581
	FAX: 706-625-6210
	EMAIL: ETEVA_BALDWIN@MANNINGTON.COM
WALL BASE	*** (MATCH EXISTING WHERE APPLICABLE) -
B-2	JOHNSONITE WALL BASE, RUBBER, 4"X1/8", 283-TOAST
B-3	DALTILE "MATTE" 6799 PEARL WHITE 0" HIGH x 0" WIDE BASE TILE, SKU#679933019TF1, 0" HIGH x 0"
	WIDE CORNER BASE, SKU#679933019TF1 (ALTERNATE BASE IN RESTROOMS WHEN VOT IS NOT
	ACCEPTABLE BY THE BUILDING OFFICIALS)
B-4A	JOHNSONITE FLEXIBLE WALL BASE, RUBBER, 4 1/2"X 1/8", #68 WHITE SAND
B-4B	JOHNSONITE FLEXIBLE WALL BASE, RUBBER, 4 1/2"X 1/8", #66 EITHER ORE.
B-4C	JOHNSONITE FLEXIBLE WALL BASE, RUBBER, 4 1/2"X 3/8", #66 STERLING SILVER.
LAMINATES	*** (MATCH EXISTING WHERE APPLICABLE) -
PL-3	WILSONART, ASIAN SUN #7551 FINISH #66
PL-5	WILSONART, GRAPHITE NEBULA LAMINATE #4623 FINISH #7
PL-6	WILSONART, BLACK #4595
PAINT	*** * IF NOT REPAIRING ENTIRE SPACE, MATCH EXISTING ADJACENT WALL PAINT COLOR
P-1	BENJAMIN MOORE- ECO SPEC WB INTERIOR LATEX EGGSHELL ENAMEL OC-122, COTTON BALLS.
P-3	BENJAMIN MOORE-ECO SPEC WB INTERIOR LATEX FLAT FINISH; NO. OC-18 COLOR: DOVE WING.
P-4	BENJAMIN MOORE-ECO SPEC WB INTERIOR LATEX EGGSHELL FINISH HC-77; NO. OC-15 COLOR: BABY FAWN
P-7	BENJAMIN MOORE-ECO SPEC WB INTERIOR LATEX EGGSHELL FINISH HC-77, ALEXANDRIA BEIGE.
WALLCOVERING	
WC-15 (ALT. TO FLM-12)	CARNEGIE, METEOR (XOREL), COLOR NAME: 6427W, COLOR: 728
WALK-OFF MAT	
WM-1	PERFECT MAT BY REESE ENTERPRISE INC.
	RECESSED MAT, POLYPROPYLENEBRUSH: GRAY:

INTERIOR FLAME SPREAD SCHEDULE

TABLE 803.9 FBC / NFPA -101:39.3.3 2009

MINIMUM INTERIOR FINISH CLASSIFICATION				GENERAL NOTES:
BUSINESS OCCUPANCY	EXITS	EXIT ACCESS	OTHER SPACES	
REQUIRED FINISHES	A	B	C	
PROPOSED FINISHES	A	B	B	

DOOR SCHEDULE

HARDWARE GROUP NO. 17

ADVANCED CENTER HERRATH ROOM DOOR AND REMOTE ATM ROOM DOOR.

Provide each HES device with the following:

Quantity	Description	Model Number	Finish	MFR
4	Hinge	B81-A 2 x 4 x 5 NRP	625	FVE
1	EA Electric Strike	1000CLB		ABA
1	EA Lockset	L0600 17A XL 11-422	625	SCH
1	EA Mortise Cylinder	SD-101	625	SCH
1	EA Construction Core	SD-102	625	SCH
1	EA Surface Closer	4011 EDA	AL	LCN
1	EA Kickplate	8400 8" X 32"	US3SD	FVE
1	EA Door Sill	SD-101	625	GRAY
1	EA Door Scope	DS/200-ALS	AL	MIS
1	EA Silence	SR64	GRAY	FVE
1	EA Door Position Switch			By Security Contractor
1	EA Card Reader			By Security Contractor
1	EA Wiring Diagram			By Security Contractor

Issue	Date & Issue Description	Drawn By	Checked By
01	05/11/2018 CD REVIEW SET	ES	HC
02	05/23/2018 ISSUE FOR PERMIT SET	HC	HC

 Date & Delta Description Drawn By Checked By

Client Information

[illegible]

Architect • Seal/Signature

BANK OF AMERICA
24-HR ATM VESTIBULE

Issue	Date & Issue Description	Drawn By	Checked By
01	05/11/2018 CD REVIEW SET	ES	HC
02	05/23/2018 ISSUE FOR PERMIT SET	HC	HC

[illegible]

	Date & Delta Description	Drawn By	Checked By
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[illegible]

Client Information

CBRE
AUGIE RIOS
3401 COLUMBIA PIKE, SUITE 302
ARLINGTON, VA 22204
CELL: (571) 317-4005
DIRECT: (703) 302-2529

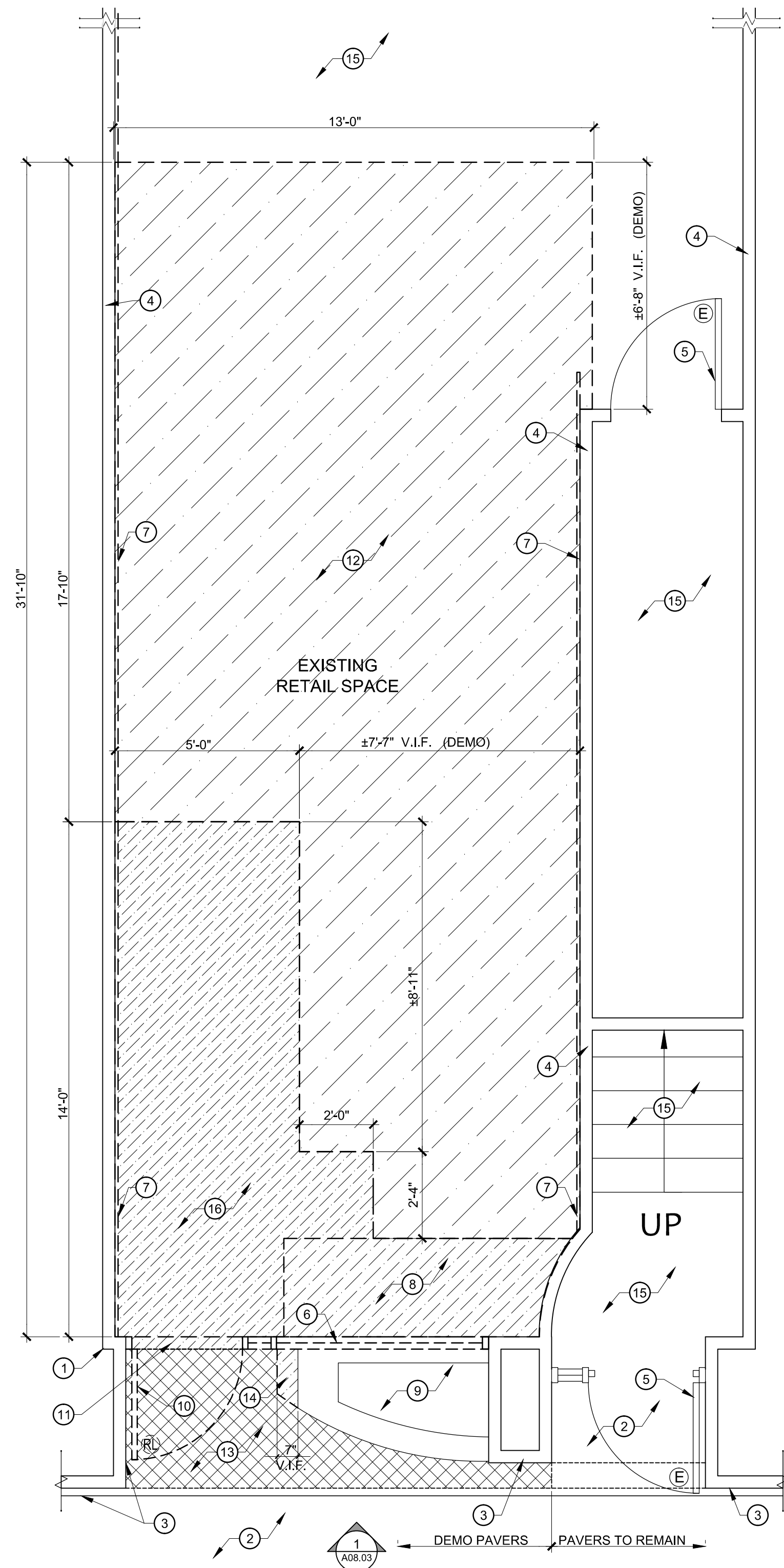
Project Number
17354

CAD File Name

Description
DEMOLITION PLAN
Scale
3/8"=1'-0"

Consultant • Seal/Signature

OF



- ① EXISTING BUILDING STRUCTURE TO REMAIN, TYP.
- ② EXISTING BRICK-PAVERS TO REMAIN.
- ③ EXISTING EXTERIOR WALL TO REMAIN TYP. PATCH, REPAIR, REPAINT EXISTING WALL, AND FINISH TO MATCH EXISTING.
- ④ EXISTING INTERIOR WALL TO REMAIN.
- ⑤ EXISTING DOOR TO REMAIN. PROTECT DURING CONSTRUCTION.
- ⑥ DASHED LINES DEPICT EXISTING EXTERIOR STOREFRONT MULLION SYSTEM AND GLASS TO BE DEMOLISHED AND REPLACED WITH NEW STOREFRONT AND GLASS. SEE PROPOSED PLAN SHEET A02.01 FOR MORE INFORMATION.
- ⑦ DASHED LINES DEPICT EXISTING INTERIOR DISPLAY WOOD-PLANK WALLS TO BE REMOVED, TYP.
- ⑧ HATCH DENOTES EXISTING INTERIOR PLATFORM TO BE DEMOLISHED.
- ⑨ SECTION OF EXISTING BRICK PLANTER TO REMAIN.
- ⑩ EXISTING EXTERIOR DOOR TO BE RELOCATED.
- ⑪ EXISTING THRESHOLD TO BE DEMOLISHED.
- ⑫ HATCH DENOTES AREA OF EXISTING FLOORING TO BE DEMOLISHED.

- (13) HATCH DENOTES AREA OF EXISTING BRICK PAVERS TO BE REMOVED. AREA TO BE RE-WORKED/RE-GRADED AS NEEDED TO PROVIDE NEW ADA COMPLIANT SLOPES. G.C. TO USE CARE DURING DEMOLITION TO AVOID DAMAGING EXISTING ADJACENT PAVEMENT AND WALLS.
- (14) HATCH DENOTES PORTION OF EXISTING BRICK PLANTER TO BE DEMOLISHED.
- (15) NOT IN SCOPE OF WORK.
- (16) HATCH DENOTES AREA OF FLOOR TO BE DEMOLISHED AND LOWERED AS REQUIRED TO MATCH THE PROPOSED EXTERIOR FLOOR GRADE AND TO CONSTRUCT NEW ENTRY RAMP AND STEP. REFER TO A02.01 FOR MORE INFORMATION.

The diagram illustrates the scope of work for a new accessible ramp and stair. It includes a legend with three types of hatching: diagonal lines for 'EXISTING BUILDING ELEMENTS TO REMAIN, TYP.', dashed lines for 'EXISTING BUILDING ELEMENTS TO BE REMOVED, TYP.', and a cross-hatch pattern for 'HATCH DEFINES AREA OF EXISTING SUB-FLOOR TO BE MODIFIED AS REQUIRED TO CONSTRUCT NEW ACCESSIBLE RAMP AND STAIR.' The main drawing shows a corner of a building. A solid line with a circle 'E' indicates an existing door to remain. A dashed line with a circle 'R' indicates an existing door to be relocated. A cross-hatched area in the corner indicates the sub-floor to be modified for the new ramp and stair. The text 'EXISTING DOOR TO REMAIN, TYP.' is written below the 'E' door. The text 'EXISTING DOOR TO BE RELOCATED' is written below the 'R' door. The text 'EXISTING WALL / BUILDING STRUCTURE TO REMAIN, TYP.' is written below the solid wall line. The text 'EXISTING BUILDING ELEMENTS TO BE REMOVED, TYP.' is written below the dashed wall line.

EXISTING DOOR TO REMAIN, TYP.

EXISTING DOOR TO BE RELOCATED

EXISTING WALL / BUILDING STRUCTURE TO REMAIN, TYP.

EXISTING BUILDING ELEMENTS TO BE REMOVED, TYP.

HATCH DEFINES AREA OF EXISTING SUB-FLOOR TO BE MODIFIED AS REQUIRED TO CONSTRUCT NEW ACCESSIBLE RAMP AND STAIR.

A. IF REQUIRED, PROVIDE INFORMATION AS TO LOCAL CODE ISSUES / REQUIREMENTS BEYOND THE STANDARD GUIDELINES.

B. WHEN EXISTING RECEPTACLES, DATA AND VOICE WIRING, AND/OR LUMINAIRES ARE REMOVED AS PART OF THE PROPOSED RENOVATIONS, THE CONTRACTOR MUST ENSURE CIRCUIT CONTINUITY TO REMAINING LOAD(S).

C. REFER TO MEP DRAWINGS FOR DEMOLITION OF EXISTING ELECTRICAL AND MECHANICAL CONDITIONS.

Architect • Seal/Signature

BANK OF AMERICA
24-HR ATM VESTIBULE

Issue	Date & Issue Description	Drawn By	Checked By
01	05/11/2018 CD REVIEW SET	ES	HC
02	05/23/2018 ISSUE FOR PERMIT SET	HC	HC

[illegible][illegible]

AUGIE RIOS
3401 COLUMBIA PIKE, SUITE 302
ARLINGTON, VA 22204
CELL: (571) 317-4005
DIRECT: (703) 302-2529

Description
CONSTRUCTION PLAN

Consultant • Seal/Signature

OF



EXISTING WALL TO REMAIN, TYP.

CONTRACTOR TO INSTALL BANK STANDARD CARD READER
ACCESS AND EXIT BUTTON MODEL ACS-2 BY PARABIT SYSTEMS.
AT VETIBULE ENTRY DOOR AS NOTED. (REFER TO A02.01)

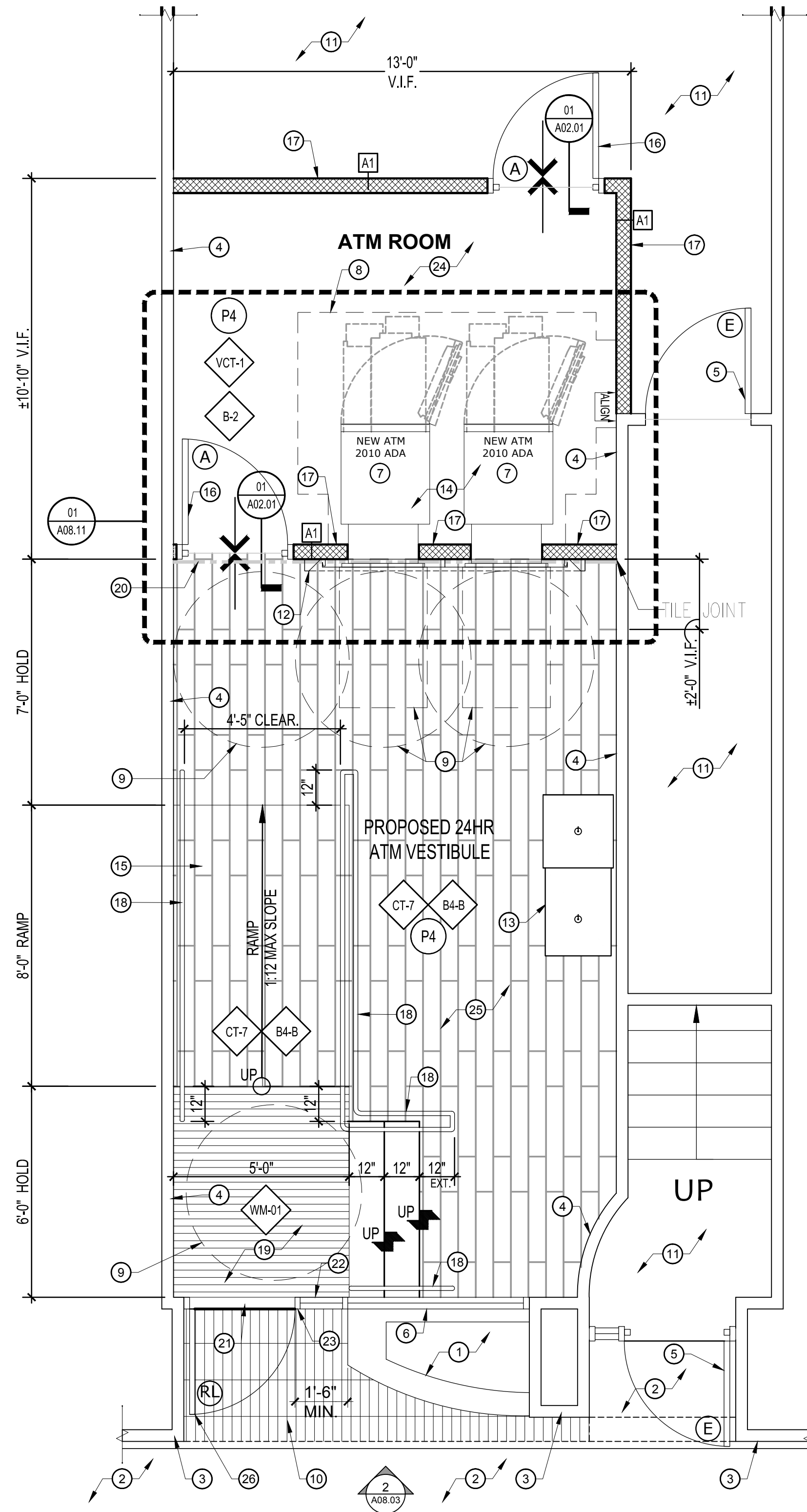
PROPOSED SOLID CORE WOOD DOOR 3'-0" X 7'-0" X 1-3/4"
2" HOLLOW METAL DOOR FRAME FINISHED PER BANK STANDARDS
PROVIDE LEVER HANDLE HARDWARE AND SECURITY PEEP SCOPE
AT 5'-0" A.F.F. PER BANK STANDARDS - TO BE VIEWED FROM ATM
ROOM DIRECTION.

RELOCATED DOOR

EXISTING WALL / BUILDING STRUCTURE TO REMAIN, TYP.

PROPOSED INTERIOR PARTITION
SEE WALL TYPE A1, SHEET A08.11

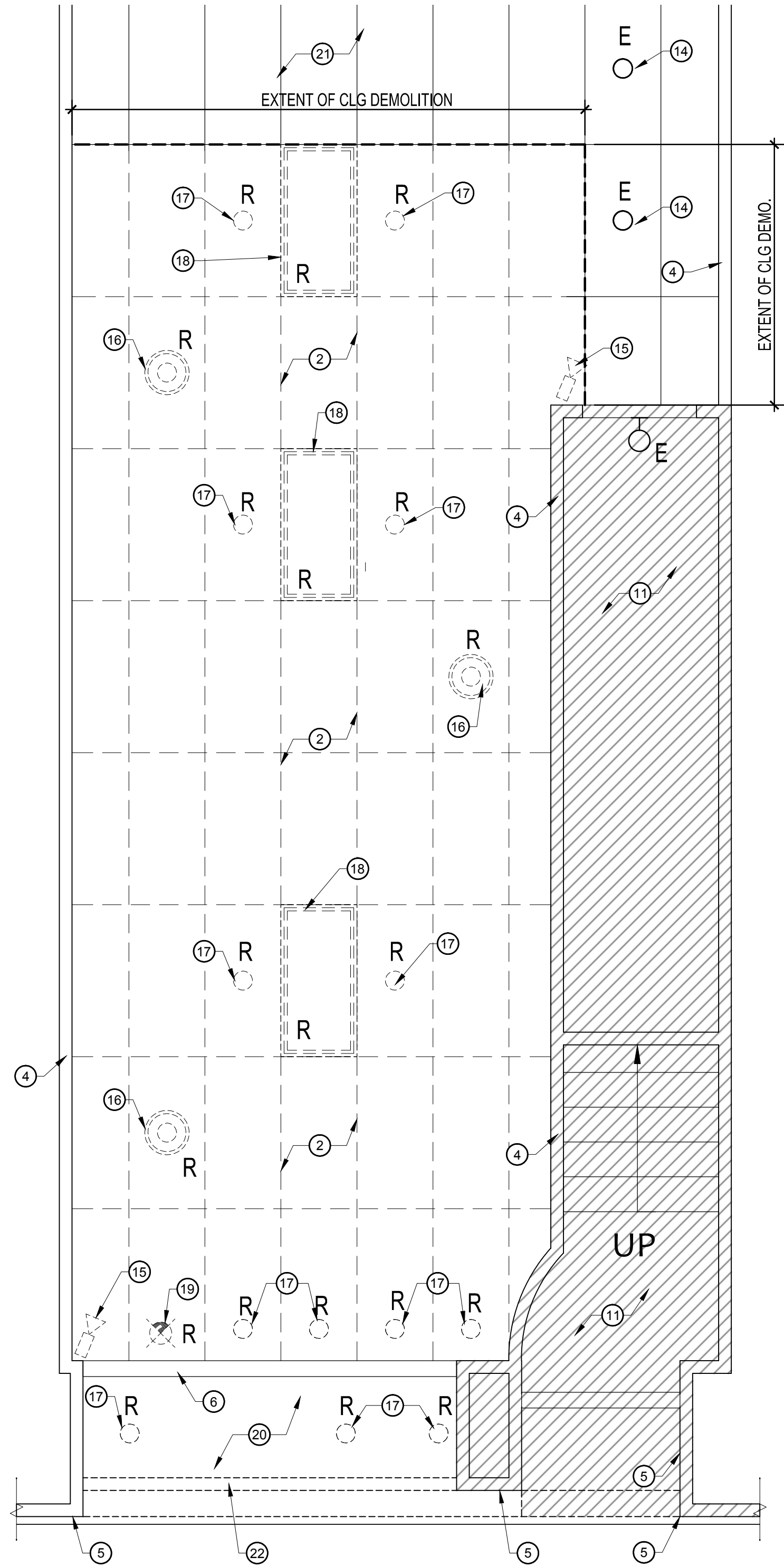
- A. CONTRACTOR SHALL INSTALL NEW BANK OF AMERICA STANDARD HANDICAP ACCESSIBLE CHECK WRITING DESK.
- B. CONTRACTOR SHALL ADD HANDICAP ACCESSIBILITY SIGNAGE AS REQUIRED TO COMPLY WITH ADA STANDARDS.
- C. CONTRACTOR TO RESTORE TO ORIGINAL CONDITION ANY FLOOR, WALL, CEILINGS, ETC., DAMAGED DURING CONSTRUCTION OR AFFECTED BY NEW CONSTRUCTION.
- D. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR PROPOSED INTERIOR/EXTERIOR LIGHTING.
- E. PROJECT MANAGER TO WORK AND COORDINATE WITH MERCHANDISING TEAM FOR ADJUSTMENT OF NEW MERCHANDISE.
- F. NEW FINISHES PER BANK STANDARD.



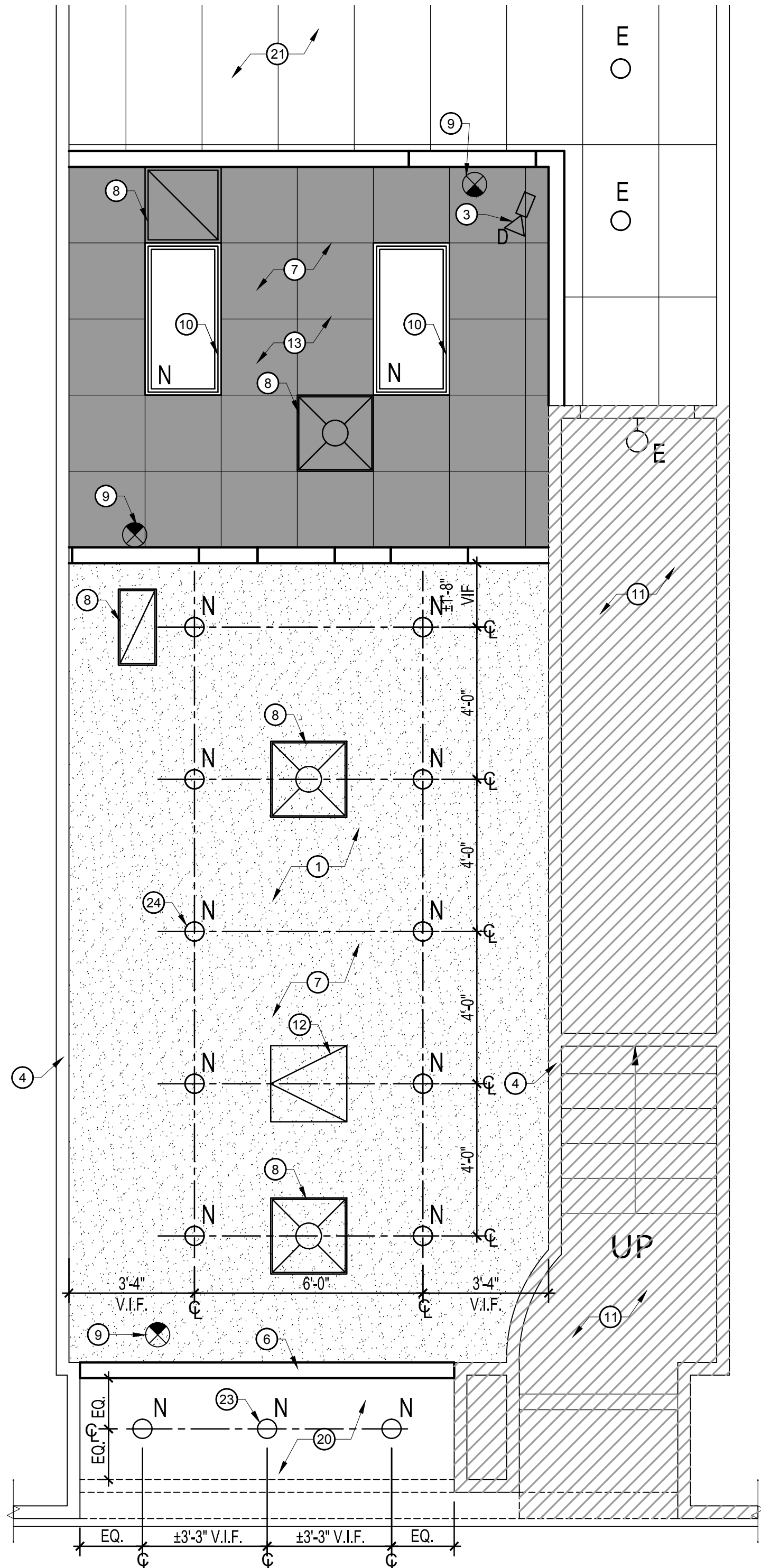
1	EXISTING BRICK PLANTER.	12	PROPOSED BANK OF AMERICA STANDARD ATM SURROUND MODEL FRAME-R-SUR-54-DOUBLE-STD. CONTRACTOR SHALL COORDINATE WITH BANK OF AMERICA REPRESENTATIVE FOR STYLE, SIZE AND INSTALLATION REQUIREMENTS PRIOR TO INSTALLING ATM. SEE SHEET A08.11 FOR MORE INFORMATION.	24	PROVIDE NEW VCT FLOORING AND WALL BASE PER BANK STANDARD. SEE FINISH SCHEDULE SHEET A00.00 FOR MORE INFORMATION.
2	EXISTING BRICK PAVERS TO REMAIN.	13	PROPOSED BANK OF AMERICA CHECK DESK MODEL BMA51000.	25	PROVIDE NEW CERAMIC TILE FLOORING AND WALL BASE PER BANK STANDARD. SEE FINISH SCHEDULE SHEET A00.00 FOR MORE INFORMATION.
3	EXISTING EXTERIOR WALL TO REMAIN TYP. PATCH, REPAIR, REPAINT EXISTING WALL, AND FINISH TO MATCH EXISTING.	14	REFER TO ENGINEERING AND STRUCTURAL DRAWINGS FOR WORK TO BE DONE IN THIS AREA.	26	EXISTING ENTRY DOOR RE-INSTALLED AT NEW LOWERED ELEVATION.
4	EXISTING INTERIOR PARTITION TO REMAIN. PROVIDE BANK STANDARD P-4 PAINT. SEE FINISH SCHEDULE SHEET A00.00 FOR MORE INFORMATION.	15	PROPOSED 1:12" MAX SLOPE RAMP.		
5	EXISTING DOOR TO REMAIN. PROTECT DURING CONSTRUCTION.	16	PROPOSED 3' X 7' SOLID CORE SECURITY DOOR W/ HOLLOW METAL FRAME PER BANK OF AMERICA STANDARDS.		
6	PROVIDE NEW EXTERIOR DARK BRONZE STOREFRONT MULLION SYSTEM TO MATCH EXISTING AND NEW CLEAR VL770 GLAZING.	17	HATCH DENOTES PROPOSED INTERIOR PARTITION. SEE DETAIL 2 SHEET A08.11. PROVIDE BANK STANDARD P-4 PAINT.		
7	PROPOSED TTW WALK-UP ATM MODEL NCR N6684. SEE MANUF. CUT SHEETS ATTACHED FOR MORE INFORMATION.	18	PROVIDE NEW 1-1/2 DIA. HANDRAILS WITH 12" EXTENSIONS @ 36" MAX A.F.F.		
8	DASHED LINES DENOTE MINIMUM CLEAR FLOOR AREA REQUIRED FOR SERVICING OF ATM.	19	PROPOSED WALK OFF MAT WM-1 PER BANK OF AMERICA STANDARDS.		
9	DASHED LINES DENOTE MINIMUM CLEAR FLOOR AREA AT ATM (COMPLIES WITH 60 DIAMETER TURNING SPACE & 30"x48" FORWARD APPROACH AT A MAX. OF 2% SLOPE IN ALL DIRECTIONS).	20	DASHED LINE DEPICT NEW WC-12 WALL FINISH AT ATM WALL.		
10	HATCH DENOTES AREA OF NEW BRICK PAVERS TO MATCH EXISTING. PREPARE SUBSTRATE FOR NEW SLOPE GRADING (MAX. OF 2% IN ALL DIRECTIONS). REFER TO CIVIL DRAWINGS.	21	NEW ALUMINUM THERMAL-BREAK THRESHOLD. GC TO ENSURE COMPLIANCE WITH ADA REQUIREMENTS - 1/4" HIGH MAXIMUM. 1/2" HIGH MINIMUM TO 1/2" HIGH MAX SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.		
11	NOT IN SCOPE OF WORK.	22	PROVIDE NEW TACTILE EXIT SIGNAGE PER BANK STANDARD.		
		23	PROVIDE NEW DMP CARD READER. GC TO COORDINATE WITH P/JM AND BANK SECURITY VENDOR.		

OWNERSHIP OF INSTRUMENTS OF SERVICE: ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA AND NOTES, AND OTHER DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA, PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL.

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ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA AND NOTES AND
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PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE
SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL



REFLECTED CEILING PLAN - EXISTING/DEMOLITION



REFLECTED CEILING PLAN - PROPOSED

KEY NOTES

- 1 HATCH DENOTES AREA OF PROPOSED DRYWALL CEILING AT 9'-10" A.F.F. TO BE PAINTED P-3. REFER TO ENGINEERING DRAWINGS FOR MORE INFORMATION.
- 2 DASHED LINES DENOTE EXISTING ACOUSTICAL CEILING TO BE DEMOLISHED.
- 3 PROPOSED LOCATION OF BANK OF AMERICA SECURITY CAMERA. GC TO COORDINATE WITH BANK SECURITY VENDOR.
- 4 EXISTING INTERIOR WALL TO REMAIN.
- 5 EXISTING EXTERIOR WALL TO REMAIN TYP.
- 6 EXISTING HEADER TO REMAIN. PROVIDE BANK STANDARD P-4 PAINT.
- 7 REFER TO ENGINEERING DRAWINGS FOR WORK TO BE DONE IN THIS AREA.
- 8 PROPOSED LOCATION OF HVAC EQUIPMENT. REFER TO ENGINEERING DRAWINGS FOR MORE INFORMATION.
- 9 PROPOSED EXIT SIGN. REFER TO ENGINEERING DRAWINGS FOR MORE INFORMATION.
- 10 PROPOSED 2'X4' LIGHT FIXTURE TYP. REFER TO ENGINEERING FOR MORE INFORMATION.
- 11 HATCH DEPICTS AREA NOT IN SCOPE OF WORK.
- 12 NEW 2x2 ACCESS PANEL TO BE PAINTED TO MATCH SOFFIT CEILING.
- 13 SHADE DENOTES AREA OF PROPOSED 2x2 LAY-IN ACOUSTICAL CEILING TILE (ACT-4) AT 9'-10" A.F.F. REFER TO ENGINEERING DRAWINGS FOR LIGHTING AND MECHANICAL SCOPE.

- 14 EXISTING LIGHT FIXTURE TO REMAIN.
- 15 EXISTING CAMERA TO BE DEMOLISHED.
- 16 EXISTING AIR-SUPPLY GRILLE TO BE DEMOLISHED.
- 17 EXISTING DOWNLIGHT FIXTURE TO BE DEMOLISHED.
- 18 EXISTING 2x4 LIGHT FIXTURE TO BE DEMOLISHED.
- 19 EXISTING EXIT SIGN TO BE DEMOLISHED.
- 20 GC SHALL PATCH/REPAIR/PAINT EXTERIOR DRYWALL CEILING AS REQUIRED.
- 21 EXISTING ACOUSTICAL CEILING TO REMAIN.
- 22 EXISTING BRICK HEADER/INTEL TO REMAIN.
- 23 PROPOSED EXTERIOR DOWNLIGHT FIXTURE, TYP. OF 3.
- 24 PROPOSED INTERIOR DOWNLIGHT FIXTURE, TYP. OF 10.

GRAPHIC SYMBOLS

- EXISTING 2' X 4' FLUORESCENT LIGHT FIXTURE TO REMAIN, TYP.
- PROPOSED 2' X 4' FLUORESCENT LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- PROPOSED RECESSED DOWNLIGHT. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- SECURITY CAMERA
DOME CAMERA
- CEILING MOUNTED EXIT SIGN, SHOWS QUANTITY OF FACE(S) AND DIRECTION OF ARROW(S)
- ACT-4
PROPOSED 2'X2' LAY-IN ACOUSTICAL CEILING TILE BY ARMSTRONG, MODEL 2824 CALLA (WHITE) IN SUPRAFINE ML 9/16" EXPOSED TEE GRID.
- PROPOSED D.W. CEILING AT 9'-10" A.F.F. U.O.N.
- NOT IN SCOPE OF WORK.

SHEET NOTES

- CONTRACTOR SHALL ADJUST, REPAIR, AND / OR REPLACE ANY DAMAGED CEILING AS REQUIRED DUE TO NEW CONSTRUCTION. GC TO CONNECT EXISTING LIGHTS TO EMERGENCY LIGHTING, TYP. SEE ELECTRICAL DRAWINGS.
- REFER TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS FOR MORE DETAIL.
- LIGHT FIXTURES, CEILING DIFFUSERS AND RETURN GRILLE POSITION ARE GRAPHIC REPRESENTATIONS AND ARE SHOWN FOR REFERENCE ONLY. REFER TO M.E.P. DRAWINGS FOR FINAL DESIGN.
- CEILING HEIGHT TO BE 9'-10" AFF U.O.N.
- LOCATION OF SECURITY CAMERAS TO BE COORDINATED WITH SECURITY VENDOR DRAWINGS.

BANK OF AMERICA 24-HR ATM VESTIBULE

at:
CHARLOTTESVILLE
510 East Main Street
Charlottesville, Virginia 22902

Issue	Date & Issue Description	Drawn By	Checked By
01	05/11/2018	ES	HC
	CD REVIEW SET		
02	05/23/2018	HC	HC
	ISSUE FOR PERMIT SET		

Date & Delta Description	Drawn By	Checked By
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Client Information

CBRE
AUGIE RIOS
3401 COLUMBIA PIKE, SUITE 302
ARLINGTON, VA 22204
CELL: (571) 317-4005
DIRECT: (703) 302-2529

Project Number
17354

CAD File Name

C:\Users\rayf\OneDrive\Documents\2017-2018\17354-17354.dwg

Description
REFLECTED CEILING PLAN (DEMO & NEW)
Scale
3/8" = 1'-0"

Consultant • Seal/Signature

OWNERSHIP OF INSTRUMENTS OF SERVICE.
ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA AND NOTES AND
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SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL.



EXISTING/DEMO ELEVATION
SCALE: 1/2" = 1'-0"

01



PROPOSED ELEVATION
SCALE: 1/2" = 1'-0"

02

ADC
ARCHITECTURAL DESIGN COLLABORATIVE

201 17th STREET, SUITE 300
ATLANTA, GA 30363
OFFICE: (678) 701-1170
FAX: (404) 736-3609
WWW.ADCINTERNATIONAL.NET

RAYMUNDO FEITO, R.A.
STATE OF VIRGINIA REGISTRATION NUMBER: 401015069

Architect • Seal/Signature

Construction Documents for:

BANK OF AMERICA
24-HR ATM VESTIBULE

at:
CHARLOTTESVILLE
510 East Main Street
Charlottesville, Virginia 22902

Issue	Date & Issue Description	Drawn By	Checked By
01	05/11/2018	ES	HC
CD REVIEW SET			
02	05/23/2018	HC	HC
ISSUE FOR PERMIT SET			

Date & Delta Description	Drawn By	Checked By
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Client Information

CBRE

AUGIE RIOS
3401 COLUMBIA PIKE, SUITE 302
ARLINGTON, VA 22204
CELL: (571) 317-4005
DIRECT: (703) 302-2529

Project Number
17354

CAD File Name

C:\Users\rios\OneDrive\Documents\2017\17354-17354.dwg

Description

EXISTING/DEMO & PROPOSED ELEVATIONS

Scale

AS NOTED

Consultant • Seal/Signature

A08.03

OF

Architect • Seal/Signature

at:
CHARLOTTESVILLE
510 East Main Street
Charlottesville, Virginia 22902

	Date & Delta Description	Drawn By	Checked By
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CBRE
AUGIE RIOS
3401 COLUMBIA PI^{CE}, SUITE 302
ARLINGTON, VA 22204
CELL: (571) 317-4005
DIRECT: (703) 302-2529

Scale

A12.04

OF





SIGN MOUNTING
BRACKET TO REMAIN

EXISTING WALL MOUNTED SIGN
TO BE REPLACED WITH NEW WALL
MOUNTED B.O.A. SIGN.

REPLACE EXISTING STOREFRONT SYSTEM
AND GLASS WITH NEW STOREFRONT SYSTEM
AND GLASS. NEW STOREFRONT MULLION
SYSTEM TO BE DARK BRONZE FINISH.
PROVIDE VLT 70 CLEAR GLASS.

EXISTING HANGING
SIGN TO BE
REPLACED WITH
NEW B.O.A. SIGN

EXISTING BRICK
FACADE TO REMAIN

Gifts on Main Street

510

ROBERT GARY ARCHITECT
MARK & JENNIFER LTD.
W. JACOBSEN

SECTION OF EXISTING
PLANTER TO REMAIN.

HATCH DENOTES EXISTING FLOOR
BRICKS AND BUILT UP RAMP TO BE
REMOVED. AREA TO BE LOWERED
AND RE-SLOPED TO ACHIEVE ADA
COMPLIANT SLOPES.

EXISTING BRICK
FACADE TO REMAIN

EXISTING DOOR TO BE
RELOCATED AT A
LOWER LEVEL.

PORTION OF EXISTING PLANTER
TO BE REMOVED TO PROVIDE THE
REQUIRED 18" DOOR PULL SIDE
CLEARANCE PER ADA.

EXISTING EXTERIOR LIGHT
FIXTURES UNDER THE CANOPY TO
BE REPLACED WITH NEW LIGHT
FIXTURES. TYP. OF 3.

Gifts on Main Street

EXISTING WALL MOUNTED SIGN
TO BE REPLACED WITH NEW
B.O.A. WALL MOUNTED SIGN

EXISTING DOOR TO BE RE-
INSTALLED AT A LOWERED
ELEVATION.

EXISTING BRICK
FACADE TO REMAIN

EXISTING BRICK
FACADE TO REMAIN

REPLACE EXISTING
STOREFRONT SYSTEM
AND GLASS

AREA OF EXISTING FLOOR BRICKS AND
BUILT-UP RAMP TO BE REMOVED.
AREA TO BE LOWERED AND RE-SLOPED
TO ACHIEVE ADA-COMPLIANT SLOPES.

SECTION OF EXISTING PLANTER TO BE DEMOLISHED

510

VERT GRAY -
TIE D. HEINE
ACHENBAC

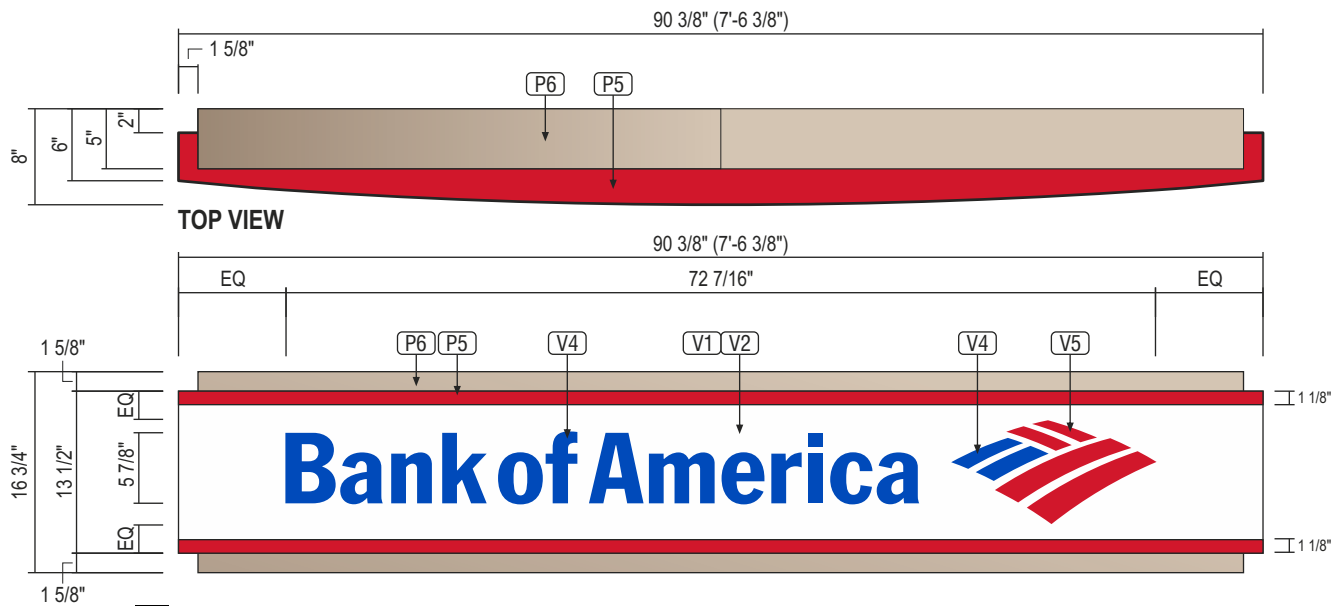
Bank of America



Loc#: 5109

510 E Main St
Charlottesville, VA 22902

icon



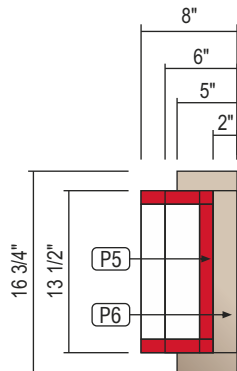
1 CUSTOM D2w - 1'-4 3/4"NON- ILLUMINATED WALL SIGN (10.5 SQ. FT.)

QTY: 1

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

SCALE: 3/4"=1'-0"

WALL TYPE	CMU, BRICK	PRE-CAST CONCRETE, CONCRETE	WOOD BLOCKING, PLYWOOD	WOOD, CONCRETE BLOCK, EIFS WALL SYSTEMS	EIFS WALL W/ FOAM INSULATION	GLASS MATTE SHEATHING, PLYWOOD
SECTION						
ANCHOR TYPE	ø1/2" SLEEVE ANCHOR (ø3/8" BOLT), 2" MIN. EMBEDMENT	ø3/8" EXPANSION ANCHOR, 2 1/2" MIN. EMBEDMENT	ø3/8" LAG BOLT	ø3/8" THREADED ROD	ø3/8" THREADED ROD W/ ALUMINUM OR PVC COMPRESSION SLEEVE	ø3/8" TOGGLE BOLT (WING OR PIVOT ROD)



SIDE VIEW

Proposed Sign Schedule

Item	Description	Qty	Page #
1	CUSTOM D2w -NON- ILLUM WALL SIGN	1	2
2	CUSTOM 1" DEEP HANGING FLAG SIGN	1	3
3	DOOR VINYL - 24 HOUR ATM	1	4
4	SECURITY CAMERA VINYL	1	5
5	ADDRESS VINYL "510"	1	5



EXISTING



PROPOSED

Drawing prepared by:

RECOMMENDATION

Location: 510 E Main St
Charlottesville, VA 22902

Proj #: 4305

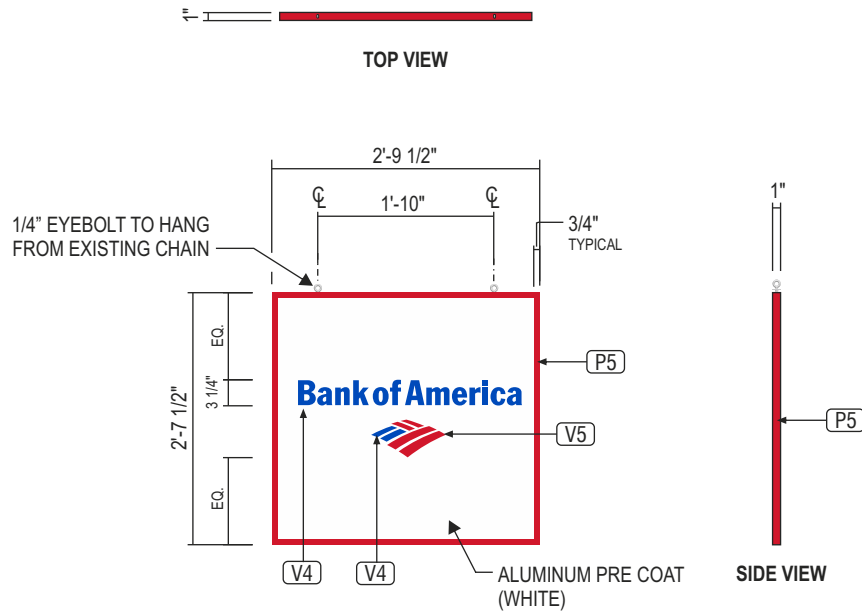
Loc #: 5109

File Path: Active\BANKS\B\Bank Of America\2018\Locations\4305_5109_Charlottesville_VA_R1.cdr

Drawing prepared for:

Bank of America

Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.
Original	270544	03/29/18	MH	BW		
Rev 1	270909	04/06/18	MH	BW	change sign 2 to 1" thick	
Rev 2	000000	00/00/00	XXX	XXX		
Rev 3	000000	00/00/00	XXX	XXX		
Rev 4	000000	00/00/00	XXX	XXX		
Rev 5	000000	00/00/00	XXX	XXX		
Rev 6	000000	00/00/00	XXX	XXX		
Rev #:	Req#:	Date:	Req. By:	Drawn By:		
Rev 7	000000	00/00/00	XXX	XXX		
Rev 8	000000	00/00/00	XXX	XXX		
Rev 9	000000	00/00/00	XXX	XXX		
Rev 10	000000	00/00/00	XXX	XXX		



2 CUSTOM 1" DEEP NON-ILLUMINATED HANGING FLAG SIGN

QTY: 1
STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

SCALE: 1/2"=1'-0"

ALUMINUM HANGING SIGN W/ VINYL COPY
AND PAINTED RED RETAINER & BORDER
PANEL TO BE HUNG FROM EXISTING MOUNTING BRACKET



EXISTING



PROPOSED

Drawing prepared by:

RECOMMENDATION

ICON

Location: 510 E Main St
Charlottesville, VA 22902
File Path: Active\BANKS\B\Bank Of America\2018\Locations\4305_5109_Charlottesville_VA_R1.cdr

Proj #: 4305
Loc #: 5109

Drawing prepared for:

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Rev 5	000000	00/00/00	XXX	XXX		
Rev 6	000000	00/00/00	XXX	XXX		
Rev #:	Req#:	Date:	Req. By:	Drawn By:		
Rev 7	000000	00/00/00	XXX	XXX		
Rev 8	000000	00/00/00	XXX	XXX		
Rev 9	000000	00/00/00	XXX	XXX		
Rev 10	000000	00/00/00	XXX	XXX		

A. WHITE 3M #7725-10 vinyl graphics.

B. Apply all vinyl with the exception of the handicap symbol of accessibility on second surface when glass is clear to medium tint

C. **Apply vinyls on first surface when glass is dark tinted.**

D. Typeface to be for Franklin-Gothic-Demi-Condensed. Use only this font. Substitute fonts are not allowed.

E. Note: Hours information to be verified with the Branch Manager.

All optional information must be provided through inspection of site from technical audit

F. Preferred position of 13' x 12' Acrylic Holder.

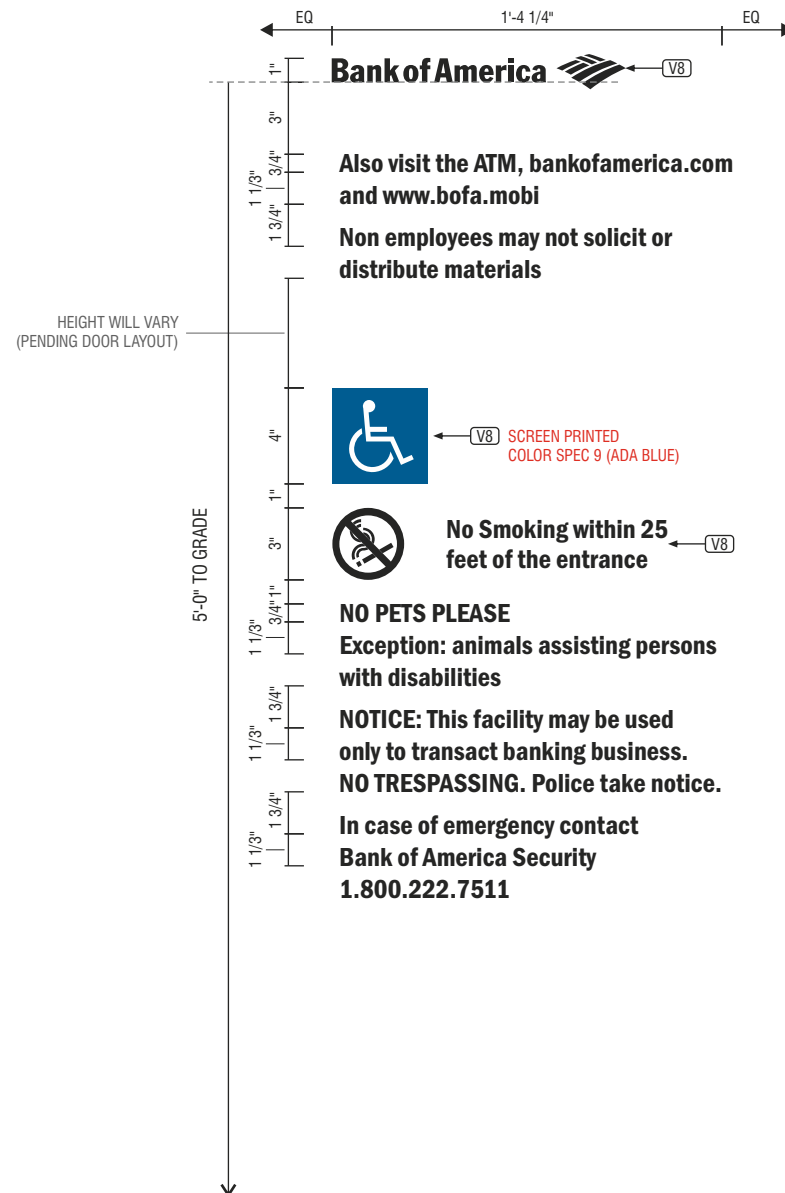
Holder by others on second surface of opposite door across from hours decals, as shown

G. Handicap symbol to be reverse silkscreened blue field on white 3M #7725-10 vinyl. Symbol of accessibility to reverse out white. Use UV inks manufactured by Sericol or approved equal. Blue field to match PMS 7462C, finish to meet 70% gloss ADA compliance requirements. When required, always apply handicap vinyl to exterior of glass.

VINYLS: (Always refer to State-specific pages to check for regional layouts or copy.)

1. Inline Signature format - Always use Master Brand.
2. Lobby Hours - Always use. Maintain flush left alignment of days and flush right alignment of hours information as shown.

3. ATA Copy - Always use if applicable. Maintain flush left alignment of days and flush right alignment of hours information as shown.
 4. 'Also visit the ATM, bankofamerica.com and www.bofa.mobi'- Always use.
 5. Non-employees may not solicit or distribute materials - Always use.
 6. Handicap symbol - Use only on accessible entrance doors. For non accessible entrances see sheets 19 and 20. Single handicap symbol alone should be used to denote a handicap entrance.
 7. No Smoking symbol -Always use.
 8. 'NO PETS PLEASE' - Always use.
 9. ATM location information - If ATM redirect copy exists remove only- do not replace.
 10. 'NOTICE: This facility may be used only to transact banking business. NO TRESPASSING. Police take notice.' - Always use.
 11. 'In case of emergency, contact Bank of America Security 1-800-222-7511' - Always use
- NOTE: If entry door crash bar or other obstructions are on the front of the door, space copy above or below as required. Provide a minimum space of 1" above and 2" below the obstruction or crash bar. Maintain a minimum of 4' above bottom mullion. If there is not enough space to apply necessary copy, convert to a door plaque. Placement of crash bar and dimensions of bottom mullion are shown in example only. field verify exact conditions prior to fabrication .

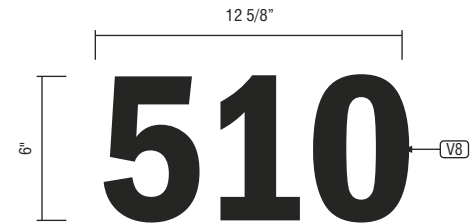


QTY: 1
FIRST SURFACE APPLICATION

Location:	Proj #:
510 E Main St	4305
Charlottesville, VA 22902	Loc #:
	5109
File Path:	
Active\BANKS\B\Bank Of America\2018\Locations\4305 5109	

Bank of America

Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive property of ICON., Any unauthorized use or duplication is not permitted.				
Original	270544	03/29/18	MH	BW	change sign 2 to 1" thick	Rev #:	Req#:	Date:	Req. By:	Drawn By
Rev 1	270909	04/06/18	MH	BW		Rev 7	000000	00/00/00	XXX	XXX
Rev 2	000000	00/00/00	XXX	XXX		Rev 8	000000	00/00/00	XXX	XXX
Rev 3	000000	00/00/00	XXX	XXX		Rev 9	000000	00/00/00	XXX	XXX
Rev 4	000000	00/00/00	XXX	XXX		Rev 10	000000	00/00/00	XXX	XXX
Rev 5	000000	00/00/00	XXX	XXX						
Rev 6	000000	00/00/00	XXX	XXX						
Pg. 4										



KR Series

KR6™ LED Specification Downlight – Round 6"

Product Description

The KR6™ LED specification downlight features Cree TrueWhite® Technology and delivers beautiful, high-quality light with efficacy up to 76 lumens per watt. Designed for new construction applications, the KR Series is available in a variety of color temperatures, round and square trims with high-quality anodized aluminum reflector finishes, a sloped ceiling adaptor accessory, and a variety of dimming options including Cree Sunset Dimming Technology which provides rich, warm light that transitions from 2700K to 1800K as naturally as an incandescent source.

Performance Summary

Utilizes Cree TrueWhite® Technology

Initial Delivered Lumens: 700-5,300 lumens; Delivered lumen output is typical when using a SSGC type reflector

Input Power: 13-87 watts

Emergency Performance: Up to 1,210 Lumens; 10W; Minimum 90 Minutes

CRI: 90

CCT: 2700K, 3000K, 3500K, 4000K, 5000K

Controls: Triac, 0/1-10V; See control availability chart on page 3

Limited Warranty¹: 10 years on KR6™ luminaire

Limited Warranty Emergency Back Up (EB) Battery: 1 Year Battery Back Up. Test regularly in accordance with local codes

¹ See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed		
Sloped Ceiling Adaptor KRKS6**WW ** 0-35 [order in 5 degree increments]	C-Channel Hanger Bars RBH30C - Pair of 30" [762mm] rigid 3/4" x 1/2" [19mm x 13mm] C-Channel bars RBH24C-1 - Pair of 24" [610mm] x 1-1/2" [38mm] x 1/2" [13mm] standard C-Channel bars	T-Bar Clips RARC7 - Set of four - For use with RBH24C-1 hanger bars Trim Ring KR6TA - White beauty ring to cover pan head fasteners on KR6T reflector

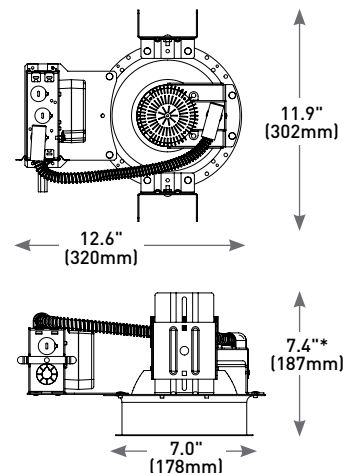
Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately:

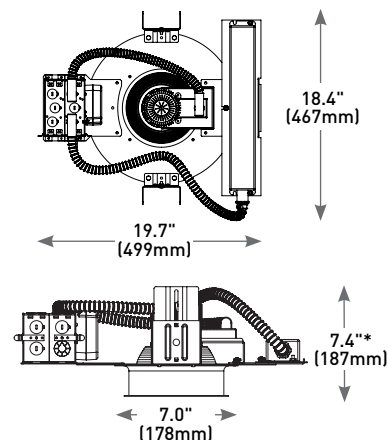
Example: **Housing:** KR6-20L-35K-120V-10V + **Reflector:** KR6T-SSGC-FF

Reflector (Housing must be ordered separately)			
KR6T			
Series	Reflector Finish	Flange Finish	Options
KR6T Standard Trim - Reflector attaches to housing with pan head fasteners and keyhole slots	SSGC Soft Satin Glow, Clear	FF Matches Reflector WF White Paint	WW Wall Wash

Housing (Reflector must be ordered separately)								
Series	Size	Reflector	Initial Delivered Lumens	Optic	CCT	Voltage	Controls	Options
KR	6 6 inch	Blank Round	9L 13W, 700 Lumens – 54 LPW 13L 18W, 1,100 Lumens – 61 LPW 20L 30W, 1,700 Lumens – 57 LPW 30L 39W, 2,550 Lumens – 65 LPW 40L 44W, 3,350 Lumens – 76 LPW 60L 87W, 5,300 Lumens – 61 LPW - Available on 120V and 277V only	Blank 70° Beam Angle	27K - 2700K - 9L thru 40L only 30K 3000K 35K 3500K 40K 4000K 50K 5000K - Available on 40L and 60L only	120V 120 Volts 277V 277 Volts 347V 347 Volts	Blank - For standard control offering refer to control availability chart on page 3 10V 0/1-10V Dimming - Refer to control availability chart on page 3	WD Sunset Dim - 9L and 13L @ 27K with Triac Dimming only EB7 Emergency Backup - Minimum 90 minutes - 120V, 277V only - Minimum operating temperature: 0°C (32°F)



Emergency Backup



* Add 1.5" (38mm) for 60L Initial Delivered Lumens



US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

Rev. Date: V13 02/13/2018

Canada: www.cree.com/canada



T (800) 473-1234 F (800) 890-7507

KR6™ LED Specification Downlight – Round 6"

Product Specifications

CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics, and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.

CONSTRUCTION & MATERIAL

- Low brightness parabolic spun Alzak aluminum cone, 0.06" (2mm) thick with polished radius and continuous self-flange
- Soft Satin Glow Clear finish, standard
- 2" (51mm) aperture throat to accommodate all standard and up to 3" (76mm) thick ceilings and provide flexibility in mounting within grid
- Provided with quick mounting brackets for optional carrying channels
- Light engine, optics, and driver accessible from below ceiling

ELECTRICAL SYSTEM

- **Power Factor:** > 0.9 for 120V and 277V
- **Total Harmonic Distortion:** < 20% at full load
- **Input Power:** 120, 277V, or 347V, 50/60Hz
- **Operating Temperature Range:** -18°C - +40°C (0°F - +104°F); minimum operating temperature with EB7 option is 0°C (32°F)
- **10V Source Current:** 9L & 13L: 0.15mA; 20L-40L: 2.2mA; 60L: 0.11mA

CONTROLS

- For standard control offering refer to control availability chart on page 3
- For use with Class 2 dimming systems only. Reference <http://lighting.cree.com/products/indoor/new-construction-downlights/> kr-series for recommended dimming controls and wiring diagrams

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for thru-wiring 8#12AWG-90°C
- Suitable for damp locations
- Designed for indoor use
- Thermally protected Type NON-IC in accordance with Article 410 of the NEC and UL 1598
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- EnergyStar® certified with the exception of 9L and 13L. Please refer to <https://www.energystar.gov/productfinder/product/certified-light-fixtures/> results for most current information
- RoHS compliant. Consult factory for additional details

KR Series Ambient Adjusted Lumen Maintenance ¹						
Ambient	Initial Delivered Lumens	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated ³ LMF
5°C (41°F)	9L and 13L	1.05	1.04	1.03	1.03	1.02
	20L and 30L	1.03	0.99	0.94	0.90	0.86
	40L and 60L	1.03	0.96	0.90	0.83	0.77
10°C (50°F)	9L and 13L	1.04	1.03	1.03	1.02	1.02
	20L and 30L	1.02	0.97	0.93	0.89	0.85
	40L and 60L	1.03	0.95	0.88	0.82	0.76
15°C (59°F)	9L and 13L	1.03	1.02	1.02	1.01	1.01
	20L and 30L	1.01	0.96	0.91	0.88	0.84
	40L and 60L	1.02	0.94	0.87	0.81	0.75
20°C (68°F)	9L and 13L	1.02	1.01	1.00	1.00	0.99
	20L and 30L	1.01	0.95	0.90	0.87	0.83
	40L and 60L	1.01	0.93	0.86	0.80	0.74
25°C (77°F)	9L and 13L	1.00	1.00	0.99	0.99	0.99
	20L and 30L	1.00	0.94	0.89	0.86	0.82
	40L and 60L	1.00	0.92	0.85	0.79	0.74
30°C (86°F)	9L and 13L	0.99	0.99	0.98	0.98	0.98
	20L and 30L	0.97	0.93	0.88	0.85	0.81
	40L and 60L	0.98	0.91	0.84	0.78	0.73
35°C (95°F)	9L and 13L	0.98	0.97	0.97	0.97	0.97
	20L and 30L	0.96	0.92	0.87	0.84	0.80
	40L and 60L	0.96	0.90	0.83	0.77	0.72
40°C (104°F)	9L and 13L	0.97	0.96	0.96	0.96	0.95
	20L and 30L	0.95	0.90	0.86	0.83	0.79
	40L and 60L	0.95	0.88	0.82	0.76	0.71

¹ Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors

² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

³ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

Installation

- Recommended ceiling cutout 6.5" (165mm)



Note: 30L and 40L versions require marked spacing: 24" (600mm) x 12" (300mm) x 1/2" (12mm), 24" (600mm) luminaire to luminaire, 12" (300mm) luminaire to side wall, 1/2" (12mm) above luminaire
60L versions require marked spacing: 48" (1219mm) x 24" (600mm) x 1" (25mm), 48" (1219mm) luminaire to luminaire, 24" (600mm) luminaire to side wall, 1" (25mm) above luminaire

Wall Wash

Based on KR6-30L-27K-120V W/KR6T-SSGC-FF-WW Luminaire

Down from Ceiling	2' from Wall				3' from Wall				4' from Wall			
	3' Centers		4' Centers		3' Centers		4' Centers		3' Centers		4' Centers	
	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)	Center Line (FC)	Midpoint (FC)
1'	20	20	25	11	10	10	10	7	6	6	5	5
2'	49	40	44	23	27	28	24	19	16	17	13	13
3'	49	44	43	28	29	31	24	22	23	24	18	19
4'	49	51	39	36	30	31	24	23	22	24	18	19
5'	42	44	29	36	34	35	28	27	22	23	18	18
6'	36	36	23	28	34	35	26	28	25	26	20	21
7'	29	30	19	23	31	32	25	26	27	28	22	23
8'	24	25	16	18	27	28	23	23	26	27	21	22
9'	20	22	13	16	24	25	20	20	24	25	20	20
10'	17	18	11	13	20	22	18	18	21	23	18	18

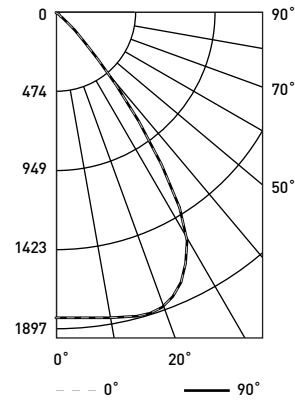


KR6™ LED Specification Downlight – Round 6"

Photometry

KR6-30L-27K-120V W/KR6T-SSGC-FF BASED ON UL REPORT TEST #: 157473

Luminaire photometry has been conducted in accordance with IESNA LM-79-08. IESNA LM-79-08 specifies the entire luminaire as the source resulting in a luminaire efficiency of 100%.



UL Test Report #: 157473
 KR6-30L-27K-120V
 w/KR6T-SSGC-FF
Initial Delivered Lumens: 2,479
Efficacy: 66 LPW
S/M: 1.2

Coefficients Of Utilization – Zonal Cavity Method				
RC %:	80			
RW %:	70	50	30	10
RCR: 0	119	119	119	119
1	113	110	108	105
2	107	102	97	94
3	101	94	89	84
4	95	87	81	77
5	90	81	75	70
6	85	75	69	64
7	80	70	64	59
8	76	66	59	55
9	72	61	55	51
10	68	58	51	47

Effective Floor Cavity Reflectance: 20%

Average Luminance Table (cd/m²)				
Vertical Angle	Horizontal Angle			
	0°	45°	90°	
45°	19,317	19,317	19,317	
55°	4,459	4,459	4,459	
65°	2,074	2,074	2,074	
75°	931	931	931	
85°	0	0	0	

Zonal Lumen Summary			
Zone	Lumens	% Lamp	Luminaire
0-30	1,527	N/A	61.5%
0-40	2,206	N/A	88.8%
0-60	2,462	N/A	99.1%
0-90	2,483	N/A	100.0%
0-180	2,483	N/A	100.0%

Cone of Light		
Distance from Workplane	Footcandles	Beam Diameter
6' (1.8m)	51	7.3' (2.2m)
8' (2.4m)	29	9.7' (3.0m)
10' (3.0m)	18	12.3' (3.7m)
12' (3.7m)	13	14.5' (4.4m)
14' (4.3m)	9	17.4' (5.3m)

For exact photometric data, please reference our available IES and LM-79 test results at <http://lighting.cree.com/products/indoor/new-construction-downlights/kr-series>

Application Reference

Based on KR6-30L-27K-120V W/KR6T-SSGC-FF Luminaire

Open Space					
Spacing	Lumens	Wattage	LPW	w/ft²	Average FC
4 x 4	2,550	39	65	2.34	155
6 x 6				1.09	74
8 x 8				0.59	42
10 x 10				0.39	27

10' Ceiling, 80/50/20 Reflectances, 2.5' workplane, LLF: 1.0 Initial. Open Space: 50' x 40' x 10'

Corridor					
Spacing	Lumens	Wattage	LPW	w/ft²	Average FC
4' on Center	2,550	39	65	1.63	77
6' on Center				1.11	52
8' on Center				0.78	37
10' on Center				0.65	31

10' Ceiling, 80/20/50 Reflectances, Light levels on the ground, LLF: 1.0 Initial. Corridor: 6' Wide x 100' Long

Control Availability Chart

Initial Delivered Lumens	Non Dimming			Triac Dimming to 5%			0/1-10V Dimming to 10%		
	120V	277V	347V	120V	277V	347V	120V	277V	347V
9L	N/A	S - Leave control Blank when ordering	N/A	S - Leave control Blank when ordering	N/A	N/A	0 - Order w/10V	0 - Order w/10V	0 - Order w/10V
13L	N/A	S - Leave control Blank when ordering	N/A	S - Leave control Blank when ordering	N/A	N/A	0 - Order w/10V	0 - Order w/10V	0 - Order w/10V
20L	N/A	N/A	N/A	N/A	N/A	N/A	S - Order w/10V	S - Order w/10V	S - Order w/10V
30L	N/A	N/A	N/A	N/A	N/A	N/A	S - Order w/10V	S - Order w/10V	S - Order w/10V
40L	N/A	N/A	N/A	N/A	N/A	N/A	S - Order w/10V	S - Order w/10V	S - Order w/10V
60L	N/A	N/A	N/A	N/A	N/A	N/A	S - Order w/10V	S - Order w/10V	N/A

S = Standard Offering
 0 = Optional Offering

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US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

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