

## Lasley, Timothy G

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**From:** Lasley, Timothy G  
**Sent:** Monday, June 25, 2018 10:51 AM  
**To:** 'srosen@r2l-architects.com'  
**Cc:** Werner, Jeffrey B; Mess, Camie  
**Subject:** Updated BAR Action - June 19, 2018 - 200 2nd Street SW

June 25, 2018

### **Certificate of Appropriateness Application**

BAR 17-11-03

200 2<sup>nd</sup> Street SW

Tax Parcel 280069000, 280071000, 280072000, 280073000, 280074000, 280075000

Market Plaza LLC, Owner/ Keith O. Woodard, Applicant

New Construction

Dear Applicant,

This is an updated action regarding the further investigation of elevations along both Water Street and 2<sup>nd</sup> Street SW.

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on May 15, 2018. The following action was taken:

**Motion: Schwarz moved having considered the standards set forth within the City Code, including City Design Guidelines for Site Design and Elements, New Construction and Additions, and Public Design I move to find that the proposed Massing, and Site Design and Elements satisfy the BAR's criteria and are compatible with this property and other properties in the Downtown ADC District, and that the BAR approves the application as submitted for massing, and site and landscape design. With the following items to be submitted for review at a future BAR meeting:**

- **more details for the plaza design, specifically regarding the paving and the trellis/shade structure;**
- **further investigation of the Water Street and 2<sup>nd</sup> Street SW elevations for pedestrian scale, specifically on the base.**

**And a request to investigate introducing elements of the plaza trellis/shade structure into the upper stories of the building [for example, at the balconies].**

**Mohr Seconded. Approved (4-3, with Miller, Ball, and Earnst opposed).**

This certificate of appropriateness shall expire in 18 months (December 19, 2019), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. You may request an extension of the certificate of appropriateness before this approval expires for one additional year for reasonable cause.

If you have any questions, please contact me at 434-970-3130 or [wernerjb@charlottesville.org](mailto:wernerjb@charlottesville.org).

Sincerely yours,  
Jeff Werner

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**Tim Lasley**

Intern | Historic Preservation and Design Planning

City of Charlottesville | Neighborhood Development Services  
University of Virginia | Class of 2020  
School of Architecture

Phone: (434)970-3185

Email: [lasleyt@charlottesville.org](mailto:lasleyt@charlottesville.org)

**CITY OF CHARLOTTESVILLE  
BOARD OF ARCHITECTURAL REVIEW  
STAFF REPORT  
June 19, 2018**



**Certificate of Appropriateness**

BAR 17-11-03

200 2<sup>nd</sup> Street SW

Tax Parcel 280069000, 280071000, 280072000, 280073000, 280074000, 280075000

Owner: City of Charlottesville/Market Plaza LLC

Applicant: Keith O. Woodard

**New Construction**

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**Background**

This property is located in the Downtown ADC District. The site is currently used for parking. A building used by the City Department of Parks and Recreation was removed.

The City of Charlottesville, as owner of the property, has given consent for the applicant to seek land use approvals (2014). The initial applicant was chosen out of four firms who submitted proposals on this site for a mixed-use development that would include incorporation of the current City Market and 102 public parking spaces. The City will continue to operate City Market. Closing 1<sup>st</sup> Street between Water Street and South Street is an option offered by the City, but a public hearing must be held by Council before it can be closed. Negotiations for a purchase and development agreement are currently underway.

(NOTE: For BAR actions/reviews prior to November 2017, see end of staff report.)

November 21, 2017 - Mohr moved to find that the proposed special use permit to allow increased density (from 60 units per acre to 83 units per acre) for the redevelopment of 200 2nd Street SW into a mixed use development including the City Market will not have an adverse impact on the Downtown Architectural Design Control (ADC) District, with the proviso that the BAR will want to review the height of the building in the context of massing and its street context when the project comes back for a COA. The BAR recommends approval of the Special Use Permit with this proviso, subject to the usual BAR review. The BAR also notes we are concerned about the functionality of the City Market, realizing the applicant is working with the City, but it concerns us. Sarafin seconded. The motion was approved (5-1, opposed by Miller).

Early 2018 – City council approval of SUP allowing additional building height.

April 17, 2018 - This was a preliminary discussion, so there was no motion. Discussion about the direction of development can be heard at:

[http://charlottesville.granicus.com/MediaPlayer.php?view\\_id=2&clip\\_id=1292](http://charlottesville.granicus.com/MediaPlayer.php?view_id=2&clip_id=1292)

May 15, 2018 - This was a preliminary discussion, so no action was taken. To listen to the complete discussion about this project go to

[http://charlottesville.granicus.com/MediaPlayer.php?view\\_id=2&clip\\_id=1297](http://charlottesville.granicus.com/MediaPlayer.php?view_id=2&clip_id=1297)

**Application**

Submitted by applicant:

- R2L Architects submittal dated May 29, 2018: Cover, site plan (5 pages), plaza perspectives (8 pages), and elevations (4 pages).
- Timmons Group submittal dated May 23, 2018: L1.0 (Overall Landscape plan), L1.1-6 (Landscape Plan), and L1.7 (Landscape notes and details).

Request for a Certificate of Appropriateness for:

- Massing
- Elevations
- Site design and elements

The applicant has included the following:

- Three proposed market plaza designs
- Pedestrian stairs to plaza details and dimensions, including setback
- Perspectives of market plaza on weekday and market day
- Perspectives of proposed preliminary corner sculpture [Market Plaza] with relation to the pedestrian stair entrance to the plaza
- Elevations
- Landscaping plans
- Plant details/locations

### **Criteria, Standards, and Guidelines**

#### **Review Criteria Generally**

*Sec. 34-284(b) of the City Code states that,*

*In considering a particular application, the BAR shall approve the application unless it finds:*

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

#### **Pertinent Standards for Review of Construction and Alterations include:**

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (7) When reviewing any proposed sign as part of an application under consideration, the standards set forth within Article IX, sections 34-1020 et seq shall be applied; and*
- (8) Any applicable provisions of the City's Design Guidelines.*

#### **Pertinent Guidelines for Site Design and Elements**

##### **B. PLANTINGS**

*Plantings are a critical part of the historic appearance of the residential sections of Charlottesville's historic districts. The character of the plantings often changes within each district's sub-areas as well as from district to district. Many properties have extensive plantings in the form of trees, foundation plantings, shrub borders, and flowerbeds. Plantings are limited in commercial areas due to minimal setbacks.*

- 1) *Encourage the maintenance and planting of large trees on private property along the streetfronts, which contribute to the “avenue” effect.*
- 2) *Generally, use trees and plants that are compatible with the existing plantings in the neighborhood.*
- 3) *Use trees and plants that are indigenous to the area.*
- 4) *Retain existing trees and plants that help define the character of the district, especially street trees and hedges.*
- 5) *Replace diseased or dead plants with like or similar species if appropriate.*
- 6) *When constructing new buildings, identify and take care to protect significant existing trees and other plantings.*
- 7) *Choose ground cover plantings that are compatible with adjacent sites, existing site conditions, and the character of the building.*
- 8) *Select mulching and edging materials carefully and do not use plastic edgings, lava, crushed rock, unnaturally colored mulch or other historically unsuitable materials.*

### C. WALLS AND FENCES

*There is a great variety of fences and low retaining walls in Charlottesville’s historic districts, particularly the historically residential areas. While most rear yards and many side yards have some combination of fencing and landscaped screening, the use of such features in front yards varies. Materials may relate to materials used on the structures on the site and may include brick, stone, wrought iron, wood pickets, or concrete.*

- 1) *Maintain existing materials such as stone walls, hedges, wooden picket fences, and wrought-iron fences.*
- 2) *When a portion of a fence needs replacing, salvage original parts for a prominent location.*
- 3) *Match old fencing in material, height, and detail.*
- 4) *If it is not possible to match old fencing, use a simplified design of similar materials and height.*
- 5) *For new fences, use materials that relate to materials in the neighborhood.*
- 6) *Take design cues from nearby historic fences and walls.*
- 7) *Chain-link fencing, split rail fences, and vinyl plastic fences should not be used.*
- 8) *Traditional concrete block walls may be appropriate.*
- 9) *Modular block wall systems or modular concrete block retaining walls are strongly discouraged but may be appropriate in areas not visible from the public right-of-way.*
- 10) *If street-front fences or walls are necessary or desirable, they should not exceed four (4) feet in height from the sidewalk or public right-of-way and should use traditional materials and design.*
- 11) *Residential privacy fences may be appropriate in side or rear yards where not visible from the primary street.*
- 12) *Fences should not exceed six (6) feet in height in the side and rear yards.*
- 13) *Fence structures should face the inside of the fenced property.*
- 14) *Relate commercial privacy fences to the materials of the building. If the commercial property adjoins a residential neighborhood, use a brick or painted wood fence or heavily planted screen as a buffer.*
- 15) *Avoid the installation of new fences or walls if possible in areas where there are no fences or walls and yards are open.*
- 16) *Retaining walls should respect the scale, materials and context of the site and adjacent properties.*
- 17) *Respect the existing conditions of the majority of the lots on the street in planning new construction or a rehabilitation of an existing site.*

### D. LIGHTING

*Charlottesville’s residential areas have few examples of private site lighting. Most houses, including those used for commercial purposes, have attractive, and often historically styled fixtures located on the house at various entry points. In the commercial areas, there is a wide variety of site lighting including*

*large utilitarian lighting, floodlights and lights mounted on buildings. Charlottesville has a “Dark Sky” ordinance that requires full cutoff for lamps that emit 3,000 or more lumens. Within an ADC District, the BAR can impose limitations on lighting levels relative to the surrounding context.*

- 1) In residential areas, use fixtures that are understated and compatible with the residential quality of the surrounding area and the building while providing subdued illumination.*
- 2) Choose light levels that provide for adequate safety yet do not overly emphasize the site or building. Often, existing porch lights are sufficient.*
- 3) In commercial areas, avoid lights that create a glare. High intensity commercial lighting fixtures must provide full cutoff.*
- 4) Do not use numerous “crime” lights or bright floodlights to illuminate a building or site when surrounding lighting is subdued.*
- 5) In the downtown and along West Main Street, consider special lighting of key landmarks and facades to provide a focal point in evening hours.*
- 6) Encourage merchants to leave their display window lights on in the evening to provide extra illumination at the sidewalk level.*
- 7) Consider motion-activated lighting for security.*

#### **E. WALKWAYS & DRIVEWAYS**

*Providing circulation and parking for the automobile on private sites can be a challenging task, particularly on smaller lots and on streets that do not accommodate parking. The use of appropriate paving materials in conjunction with strategically placed plantings can help reinforce the character of each district while reducing the visual impact of driveways.*

- 1) Use appropriate traditional paving materials like brick, stone, and scored concrete.*
- 2) Concrete pavers are appropriate in new construction, and may be appropriate in site renovations, depending on the context of adjacent building materials, and continuity with the surrounding site and district.*
- 3) Gravel or stone dust may be appropriate, but must be contained.*
- 4) Stamped concrete and stamped asphalt are not appropriate paving materials.*
- 5) Limit asphalt use to driveways and parking areas.*
- 6) Place driveways through the front yard only when no rear access to parking is available.*
- 7) Do not demolish historic structures to provide areas for parking.*
- 8) Add separate pedestrian pathways within larger parking lots, and provide crosswalks at vehicular lanes within a site.*

#### **F. PARKING AREAS & LOTS**

*Most of the parking areas in the downtown consist of public or private surface lots or parking decks. Along West Main Street, Wertland Street, and the Corner, some larger lots have parking areas contained within the individual site.*

- 1) If new parking areas are necessary, construct them so that they reinforce the street wall of buildings and the grid system of rectangular blocks in commercial areas.*
- 2) Locate parking lots behind buildings.*
- 3) Screen parking lots from streets, sidewalks, and neighboring sites through the use of walls, trees, and plantings of a height and type appropriate to reduce the visual impact year-round.*
- 4) Avoid creating parking areas in the front yards of historic building sites.*
- 5) Avoid excessive curb cuts to gain entry to parking areas.*
- 6) Avoid large expanses of asphalt.*
- 7) On large lots, provide interior plantings and pedestrian walkways.*
- 8) Provide screening from adjacent land uses as needed.*

- 9) *Install adequate lighting in parking areas to provide security in evening hours.*
- 10) *Select lighting fixtures that are appropriate to a historic setting.*

#### **G. GARAGES, SHEDS, & OTHER STRUCTURES**

*A number of houses in Charlottesville's historic districts have garages, outbuildings and distinctive site features, particularly properties that contain a large house on a large lot. The most common outbuilding is the garage. Site features may vary considerably and may include fountains, ponds, pools, trellises, pergolas or benches, as well as recreational spaces such as playsets or basketball courts.*

- 1) *Retain existing historic garages, outbuildings, and site features in their original locations.*
- 2) *If it is acceptable to relocate a secondary structure, locate it in such a way that it remains consistent with the general pattern of outbuildings to the main structure. (See Chapter 7 C. Moving Historic Structures.)*
- 3) *Choose designs for new outbuildings that are compatible with the major buildings on the site.*
- 4) *Take clues and scale from older outbuildings in the area.*
- 5) *Use traditional roof slopes and traditional materials.*
- 6) *Place new outbuildings behind the dwelling.*
- 7) *If the design complements the main building however, it can be visible from primary elevations or streets.*
- 8) *The design and location of any new site features should relate to the existing character of the property.*

#### **H. UTILITIES & OTHER SITE APPURTENANCES**

*Site appurtenances, such as overhead utilities, fuel tanks, utility poles and meters, antennae, exterior mechanical units, and trash containers, are a necessary part of contemporary life. However, their placement may detract from the character of the site and building.*

- 1) *Plan the location of overhead wires, utility poles and meters, electrical panels, antennae, trash containers, and exterior mechanical units where they are least likely to detract from the character of the site.*
- 2) *Screen utilities and other site elements with fences, walls, or plantings.*
- 3) *Encourage the installation of utility services underground.*
- 4) *Antennae and communication dishes should be placed in inconspicuous rooftop locations, not in a front yard.*
- 5) *Screen all rooftop mechanical equipment with a wall of material harmonious with the building or structure.*

#### **Pertinent Guidelines for New Construction and Additions include:**

##### **3. Building Types within the Historic Districts**

*When designing new buildings in the historic districts, one needs to recognize that while there is an overall distinctive district character, there is, nevertheless, a great variety of historic building types, styles, and scales throughout the districts and sub-areas that are described in Chapter 1: Introduction. Likewise, there are several types of new construction that might be constructed within the districts the design parameters of these new buildings will differ depending on the following types:*

- e) *Multi-lot*
  - i. *Often new commercial, office, or multiuse buildings will be constructed on sites much larger than the traditionally sized lots 25 to 40 feet wide. Many sites for such structures are located on West Main Street and in the 14th and 15th Street area of Venable Neighborhood. These assembled parcels can translate into new structures whose scale and mass may overwhelm neighboring existing structures. Therefore, while this building type may need to respond to*

*the various building conditions of the site, it also should employ design techniques to reduce its visual presence. These could include varying facade wall planes, differing materials, stepped-back upper levels, and irregular massing.*

## **B. SETBACK**

*The term “setback” for these guidelines is defined generally as the area between the street and the wall of the building, although in the zoning code it refers to the distance between the property line and wall of the building.*

- 1) Construct new commercial buildings with a minimal or no setback in order to reinforce the traditional street wall.*
- 2) Use a minimal setback if the desire is to create a strong street wall or setback consistent with the surrounding area.*
- 3) Modify setback as necessary for sub-areas that do not have well-defined street walls.*
- 4) Avoid deep setbacks or open corner plazas on corner buildings in the downtown in order to maintain the traditional grid of the commercial district.*
- 5) In the West Main Street corridor, construct new buildings with a minimal (up to 15 feet according to the zoning ordinance) or no setback in order to reinforce the street wall. If the site adjoins historic buildings, consider a setback consistent with these buildings.*
- 6) On corners of the West Main Street corridor, avoid deep setbacks or open corner plazas unless the design contributes to the pedestrian experience or improves the transition to an adjacent residential area.*
- 7) New buildings, particularly in the West Main Street corridor, should relate to any neighborhoods adjoining them. Buffer areas should be considered to include any screening and landscaping requirements of the zoning ordinance.*
- 8) At transitional sites between two distinctive areas of setback, for instance between new commercial and historic commercial, consider using setbacks in the new construction that reinforce and relate to setbacks of the historic buildings.*
- 9) For new governmental or institutional buildings, either reinforce the street wall through a minimal setback, or use a deep setback within a landscaped area to emphasize the civic function of the structure.*
- 10) Keep residential setbacks within 20 percent of the setbacks of a majority of neighborhood dwellings.*

## **C. SPACING**

*Spacing between buildings depends on the size of the lot, the size of the building, and side-yard setback requirements. Consistent spacing between a row of buildings helps to establish an overall rhythm along a street.*

- 1) Maintain existing consistency of spacing in the area. New residences should be spaced within 20 percent of the average spacing between houses on the block.*
- 2) Commercial and office buildings in the areas that have a well-defined street wall should have minimal spacing between them.*
- 3) In areas that do not have consistent spacing, consider limiting or creating a more uniform spacing in order to establish an overall rhythm.*
- 4) Multi-lot buildings should be designed using techniques to incorporate and respect the existing spacing on a residential street.*

## **D. MASSING & FOOTPRINT**

*While the typical footprint of commercial building from the turn of the twentieth century might be 20 feet wide by 60 feet long or 1200 square feet per floor, new buildings in the downtown can be expected to be somewhat larger. Likewise, new buildings in the West Main Street corridor may be larger than this*



district's historic buildings. It is important that even large buildings contribute to the human scale and pedestrian orientation of the district.

- 1) New commercial infill buildings' footprints will be limited by the size of the existing lot in the downtown or along the West Main Street corridor. Their massing in most cases should be simple rectangles like neighboring buildings.
- 2) New infill construction in residential sub-areas should relate in footprint and massing to the majority of surrounding historic dwellings.
- 3) Neighborhood transitional buildings should have small building footprints similar to nearby dwellings.
  - a) If the footprint is larger, their massing should be reduced to relate to the smaller-scaled forms of residential structures.
  - b) Techniques to reduce massing could include stepping back upper levels, adding residential roof and porch forms, and using sympathetic materials.
- 4) Institutional and multi-lot buildings by their nature will have large footprints, particularly along the West Main Street corridor and in the 14<sup>th</sup> and 15<sup>th</sup> Street area of the Venable neighborhood.
  - a) The massing of such a large scale structure should not overpower the traditional scale of the majority of nearby buildings in the district in which it is located.
  - b) Techniques could include varying the surface planes of the buildings, stepping back the buildings as the structure increases in height, and breaking up the roof line with different elements to create smaller compositions.

#### E. HEIGHT & WIDTH

*The actual size of a new building can either contribute to or be in conflict with a historic area. This guideline addresses the relationship of height and width of the front elevation of a building mass. A building is horizontal, vertical, or square in its proportions. Residential buildings' height often relates to the era and style in which they were built. Houses in the historic districts for the most part range from one to three stories with the majority being two stories. Most historic residential buildings range in width from 25 to 50 feet. While some commercial buildings are larger, the majority are two to three stories in height. Most historic commercial buildings range from 20 to 40 feet in width. The West Main Street corridor has a greater variety of building types. Early nineteenth-century (Federal and Greek Revival) and early-twentieth-century (Colonial Revival) designs often have horizontal expressions except for the townhouse form which is more vertical. From the Victorian era after the Civil War through the turn of the century, domestic architecture is usually 2 to 2 1/2 stories with a more vertical expression. Commercial buildings may be divided between horizontal and vertical orientation depending on their original use and era of construction.*

- 1) *Respect the directional expression of the majority of surrounding buildings. In commercial areas, respect the expression of any adjacent historic buildings, which generally will have a more vertical expression.*
- 2) *Attempt to keep the height and width of new buildings within a maximum of 200 percent of the prevailing height and width in the surrounding sub-area.*
- 3) *In commercial areas at street front, the height should be within 130 percent of the prevailing average of both sides of the block. Along West Main Street, heights should relate to any adjacent contributing buildings. Additional stories should be stepped back so that the additional height is not readily visible from the street.*
- 4) *When the primary façade of a new building in a commercial area, such as downtown, West Main Street, or the Corner, is wider than the surrounding historic buildings or the traditional lot size, consider modulating it with bays or varying planes.*

- a) *Reinforce the human scale of the historic districts by including elements such as porches, entrances, storefronts, and decorative features depending on the character of the particular sub-area.*
- 5) *In the West Main Street corridor, regardless of surrounding buildings, new construction should use elements at the street level, such as cornices, entrances, and display windows, to reinforce the human scale.*

## F. SCALE

*Height and width also create scale, the relationship between the size of a building and the size of a person. Scale can also be defined as the relationship of the size of a building to neighboring buildings and of a building to its site. The design features of a building can reinforce a human scale or can create a monumental scale. In Charlottesville, there is a variety of scale. For instance, an institutional building like a church or library may have monumental scale due to its steeple or entry portico, while a more human scale may be created by a storefront in a neighboring commercial building.*

- 1) *Provide features on new construction that reinforce the scale and character of the surrounding area, whether human or monumental. Include elements such as storefronts, vertical and horizontal divisions, upper story windows, and decorative features.*
- 2) *As an exception, new institutional or governmental buildings may be more appropriate on a monumental scale depending on their function and their site conditions.*

## G. ROOF

*Roof design, materials, and textures should be consistent with the existing structures in the historic districts. Common roof forms include hipped roofs, gable roofs, flat roofs, and gambrel roofs, as well as combinations of the above. In general, the roof pitch of an older dwelling is steeper than a new tract house, and this factor is more important than the type of roof in most neighborhoods.*

### 1. Roof Forms and Pitches

- a) *The roof design of new downtown or West Main Street commercial infill buildings generally should be flat or sloped behind a parapet wall.*
- b) *Neighborhood transitional buildings should use roof forms that relate to the neighboring residential forms instead of the flat or sloping commercial form.*
- c) *Institutional buildings that are freestanding may have a gable or hipped roof with variations.*
- d) *Large-scale, multi-lot buildings should have a varied roof line to break up the mass of the design using gable and/or hipped forms.*
- e) *Shallow pitched roofs and flat roofs may be appropriate in historic residential areas on a contemporary designed building.*
- f) *Do not use mansard-type roofs on commercial buildings; they were not used historically in Charlottesville's downtown area, nor are they appropriate on West Main Street.*

### 2. Roof Materials

*Common roof materials in the historic districts include metal, slate, and composition shingles.*

- a) *For new construction in the historic districts, use traditional roofing materials such as standing-seam metal or slate.*
- b) *In some cases, shingles that mimic the appearance of slate may be acceptable.*
- c) *Pre-painted standing-seam metal roof material is permitted, but commercial-looking ridge caps or ridge vents are not appropriate on residential structures.*
- d) *Avoid using thick wood cedar shakes if using wood shingles; instead, use more historically appropriate wood shingles that are thinner and have a smoother finish.*
- e) *If using composition asphalt shingles, do not use light colors. Consider using neutral-colored or darker, plain or textured-type shingles.*

- f) *The width of the pan and the seam height on a standing-seam metal roof should be consistent with the size of pan and seam height usually found on a building of a similar period.*
- 3. Rooftop Screening
  - a) *If roof-mounted mechanical equipment is used, it should be screened from public view on all sides.*
  - b) *The screening material and design should be consistent with the design, textures, materials, and colors of the building.*
  - c) *The screening should not appear as an afterthought or addition the building.*

## H. ORIENTATION

*Orientation refers to the direction that the front of the building faces.*

- 1) *New commercial construction should orient its façade in the same direction as adjacent historic buildings, that is, to the street.*
- 2) *Front elevations oriented to side streets or to the interior of lots should be discouraged.*

## I. WINDOWS & DOORS

- 1) *The rhythm, patterns, and ratio of solids (walls) and voids (windows and doors) of new buildings should relate to and be compatible with adjacent historic facades.*
  - a) *The majority of existing buildings in Charlottesville's historic districts have a higher proportion of wall area than void area except at the storefront level.*
  - b) *In the West Main Street corridor in particular, new buildings should reinforce this traditional proportion.*
- 2) *The size and proportion, or the ratio of width to height, of window and door openings on new buildings' primary facades should be similar and compatible with those on surrounding historic facades.*
  - a) *The proportions of the upper floor windows of most of Charlottesville's historic buildings are more vertical than horizontal.*
  - b) *Glass storefronts would generally have more horizontal proportions than upper floor openings.*
- 3) *Traditionally designed openings generally are recessed on masonry buildings and have a raised surround on frame buildings. New construction should follow these methods in the historic districts as opposed to designing openings that are flush with the rest of the wall.*
- 4) *Many entrances of Charlottesville's historic buildings have special features such as transoms, sidelights, and decorative elements framing the openings. Consideration should be given to incorporating such elements in new construction.*
- 5) *Darkly tinted mirrored glass is not an appropriate material for windows in new buildings within the historic districts.*
- 6) *If small-paned windows are used, they should have true divided lights or simulated divided lights with permanently affixed interior and exterior muntin bars and integral spacer bars between the panes of glass.*
- 7) *Avoid designing false windows in new construction.*
- 8) *Appropriate material for new windows depends upon the context of the building within a historic district, and the design of the proposed building. Sustainable materials such as wood, aluminum-clad wood, solid fiberglass, and metal windows are preferred for new construction. Vinyl windows are discouraged.*
- 9) *Glass shall be clear. Opaque spandrel glass or translucent glass may be approved by the BAR for specific applications.*

## J. PORCHES

*Most of Charlottesville's historic houses have some type of porch. There is much variety in the size, location, and type of porches, and this variety relates to the different residential areas, strong consideration should be given to including a porch or similar form in the design of any new residence in these sub-areas.*

- 1) *Porches and other semi-public spaces are important in establishing layers or zones of intermediate spaces within the streetscape.*

## K. STREET-LEVEL DESIGN

- 1) *Street level facades of all building types, whether commercial, office, or institutional, should not have blank walls; they should provide visual interest to the passing pedestrian.*
- 2) *When designing new storefronts or elements for storefronts, conform to the general configuration of traditional storefronts depending on the context of the sub-area. New structures do offer the opportunity for more contemporary storefront designs.*
- 3) *Keep the ground level facades(s) of new retail commercial buildings at least eighty percent transparent up to a level of ten feet.*
- 4) *Include doors in all storefronts to reinforce street level vitality.*
- 5) *Articulate the bays of institutional or office buildings to provide visual interest.*
- 6) *Institutional buildings, such as city halls, libraries, and post offices, generally do not have storefronts, but their street levels should provide visual interest and display space or first floor windows should be integrated into the design.*
- 7) *Office buildings should provide windows or other visual interest at street level.*
- 8) *Neighborhood transitional buildings in general should not have transparent first floors, and the design and size of their façade openings should relate more to neighboring residential structures.*
- 9) *Along West Main Street, secondary (rear) facades should also include features to relate appropriately to any adjacent residential areas.*
- 10) *Any parking structures facing on important streets or on pedestrian routes must have storefronts, display windows, or other forms of visual relief on the first floors of these elevations.*
- 11) *A parking garage vehicular entrance/exit opening should be diminished in scale, and located off to the side to the degree possible.*

## L. FOUNDATION and CORNICE

*Facades generally have a three-part composition: a foundation or base that responds at the pedestrian or street level, the middle section, and the cap or cornice that terminates the mass and addresses how the building meets the sky. Solid masonry foundations are common for both residential and commercial buildings. Masonry piers, most often of brick, support many porches.*

- 1) *Distinguish the foundation from the rest of the structure through the use of different materials, patterns, or textures.*
- 2) *Respect the height, contrast of materials, and textures of foundations on surrounding historic buildings.*
- 3) *If used, cornices should be in proportion to the rest of the building.*
- 4) *Wood or metal cornices are preferred. The use of fypon may be appropriate where the location is not immediately adjacent to pedestrians.*

## M. MATERIALS & TEXTURES

- 1) *The selection of materials and textures for a new building should be compatible with and complementary to neighboring buildings.*
- 2) *In order to strengthen the traditional image of the residential areas of the historic districts, brick, stucco, and wood siding are the most appropriate materials for new buildings.*

- 3) *In commercial/office areas, brick is generally the most appropriate material for new structures. "Thin set" brick is not permitted. Stone is more commonly used for site walls than buildings.*
- 4) *Large-scale, multi-lot buildings, whose primary facades have been divided into different bays and planes to relate to existing neighboring buildings, can have varied materials, shades, and textures.*
- 5) *Synthetic siding and trim, including, vinyl and aluminum, are not historic cladding materials in the historic districts, and their use should be avoided.*
- 6) *Cementitious siding, such as HardiPlank boards and panels, are appropriate.*
- 7) *Concrete or metal panels may be appropriate.*
- 8) *Metal storefronts in clear or bronze are appropriate.*
- 9) *The use of Exterior Insulation and Finish Systems (EIFS) is discouraged but may be approved on items such as gables where it cannot be seen or damaged. It requires careful design of the location of control joints.*
- 10) *The use of fiberglass-reinforced plastic is discouraged. If used, it must be painted.*
- 11) *All exterior trim woodwork, decking and flooring must be painted, or may be stained solid if not visible from public right-of-way.*

## N. PAINT

*The appropriateness of a color depends on: the size and material of the painted area and the context of surrounding buildings,*

1. *The selection and use of colors for a new building should be coordinated and compatible with adjacent buildings, not intrusive.*
2. *In Charlottesville's historic districts, various traditional shades of brick red, white, yellow, tan, green, or gray are appropriate. For more information on colors traditionally used on historic structures and the placement of color on a building, see Chapter 4: Rehabilitation.*
3. *Do not paint unpainted masonry surfaces.*
4. *It is proper to paint individual details different colors.*
5. *More lively color schemes may be appropriate in certain sub-areas dependent on the context of the sub-areas and the design of the building.*

## O. DETAILS & DECORATION

*The details and decoration of Charlottesville's historic buildings vary tremendously with the different styles, periods, and types. Such details include cornices, roof overhang, chimneys, lintels, sills, brackets, brick patterns, shutters, entrance decoration, and porch elements.*

*The important factor to recognize is that many of the older buildings in the districts have decoration and noticeable details. Also, many of the buildings were simply constructed, often without architects and on limited budgets that precluded costly specialized building features.*

*At the same time, some of Charlottesville's more recent commercial historic structures have minimal architectural decoration. It is a challenge to create new designs that use historic details successfully. One extreme is to simply copy the complete design of a historic building and the other is to "paste on" historic details on a modern unadorned design. Neither solution is appropriate for designing architecture that relates to its historic context and yet still reads as a contemporary building. More successful new buildings may take their clues from historic images and reintroduce and reinterpret designs of traditional decorative elements or may have a modernist approach in which details and decoration are minimal.*

- 1) *Building detail and ornamentation should be consistent with and related to the architecture of the surrounding context and district.*
- 2) *The mass of larger buildings may be reduced using articulated design details.*
- 3) *Pedestrian scale may be reinforced with details.*

## **Pertinent Guidelines for Public Design**

### **B. PLAZAS, PARKS & OPEN SPACES**

- 1) Maintain existing spaces and important site features for continued public use consistent with the original design intent,*
- 2) Maintain significant elements in a historic landscape: grave markers, structures, landforms, landscaping, circulation patterns, boundaries, and site walls.*
- 3) Design new spaces to reinforce streetscape and pedestrian goals for the district. These areas offer the opportunity to provide visual focal points and public gathering spaces for the districts.*
- 4) New landscaping should be historically and regionally appropriate, indigenous when possible, and scaled for the proposed location and intended use.*
- 5) Exterior furniture and site accessories should be compatible with the overall character of the park or open space.*
- 6) Repairs and maintenance work should match original materials and design, and should be accomplished in a historically appropriate manner.*
- 7) Avoid demolishing historic buildings to create open spaces and parks.*

### **C. PUBLIC BUILDINGS AND STRUCTURES**

- 1) Public buildings should follow design guidelines for new construction.*
- 2) New structures, including bridges, should reflect contemporary design principles.*

### **D. STREETS, WALKS, & CURBS**

- 1) Retain historic paving or curbing.*
- 2) If any historic paving or curbing is uncovered in future public projects, consider reusing it or parts of it in the new project.*
- 3) Make street paving consistent throughout districts.*
- 4) When widening existing streets provide sidewalks, street trees, and other elements that maintain the street wall and emphasize the human scale.*
- 5) Limit paved areas to streets, driveways and pedestrian areas.*
- 6) Consider using some type of distinctive crosswalks at key intersections or crossings.*
- 7) Avoid faux techniques or appearances in materials, such as stamped asphalt or concrete.*
- 8) When sidewalks must be repaired, match adjacent materials in design, color, texture, and tooling.*
- 9) Avoid variation in sidewalk and curb materials.*
- 10) When sidewalks need replacement, use a paving unit, such as brick or concrete with a tooled or saw cut joint that relates to the scale of the districts.*
- 11) Avoid excessive curb cuts for vehicular access across pedestrian ways.*
- 12) Where curb cuts are necessary, they should be consistent with other curb cuts in the area.*
- 13) Do not block sidewalks with street furniture elements.*
- 14) Remove obsolete signs and poles.*

### **E. STREET TREES & PLANTINGS**

- 1) Maintain existing plantings in public rights of way.*
- 2) Replace damaged or missing street trees with appropriate species. New street trees should be planted in appropriate locations. Consult the City-approved plant list.*
- 3) Install plantings in areas like medians, divider strips, and traffic islands.*
- 4) Locate planters so that they do not block sidewalks.*

### **F. LIGHTING**

- 1) In pedestrian areas, use smaller-scaled light fixtures that do not create a glare.*

- 2) *Light fixtures can vary according to district or sub-area and can be in traditional or contemporary styles.*
- 3) *Provide adequate lighting at critical areas of pedestrian/vehicular conflict, such as parking lots, alleys, and crosswalks.*
- 4) *Limit the number of styles of light fixtures and light sources used in each district except in cases of varying sub-areas or distinctive areas, such as bridges.*
- 5) *Light color and intensity should be consistent throughout a general area or subarea of a historic district. Use similar lamping (bulb type) and/or wattage to maintain a consistent quality of light.*
- 6) *Provide street lighting fixtures with flat lenses that are shielded and directed down to the site in order to reduce glare and prevent uplighting.*

#### G. STREET FURNITURE, KIOSKS, & NEWSPAPER BOXES

- 1) *Trash containers should be metal and should match other street furniture.*
- 2) *Place benches at key pedestrian locations. Use designs constructed of wood and/or metal.*
- 3) *Attempt to make street furniture, such as newspaper boxes, bicycle racks, drinking fountains, planters, and bollards, compatible in design, color, and materials with existing elements.*
- 4) *The design and materials of bus stop shelters should be compatible with street furniture in the districts.*
- 5) *Kiosks*
  - a) *Kiosks should be in scale with other mall elements.*
  - b) *Kiosks should not obscure significant features of the space.*
  - c) *Kiosks should be constructed of wrought iron, painted metal, painted wood, or some combination of the above.*
  - d) *The use of natural wood is discouraged.*
  - e) *The roof should be painted metal or copper.*
  - f) *Signs should be incorporated into the design of the kiosk.*
  - g) *No signs should be located on the roof of the structure.*
- 6) *Newspaper boxes should be grouped in designated locations and placed within uniform enclosures of black metal.*

#### H. TRAFFIC SIGNALS & UTILITIES

- 1) *Consider installing signals on poles that are placed beside the street and are compatible with the pedestrian-scaled light fixtures.*
- 2) *Place utilities underground, or behind buildings, if possible.*
- 3) *Screen surface equipment.*
- 4) *Place necessary utilities, such as transformers and overhead wires, so that they are as visually unobtrusive as possible.*

#### I. PUBLIC SIGNS

- 1) *Maintain the coordinated design for a citywide gateway, directional, and informational public sign system.*
- 2) *Add a distinctive street sign system for historic districts.*
- 3) *Continue to install plaques or signs commemorating significant events, buildings, and individuals in the districts.*
- 4) *Avoid placing sign posts in locations where they can interfere with the opening of vehicle doors.*
- 5) *Preserve existing historic plaques located in the district.*
- 6) *New plaques should be discreetly located and should not obscure architectural elements.*

#### J. PUBLIC ART, STATUES, & FOUNTAINS

- 1) *Maintain existing features related to public art, statues and fountains.*

- 2) *Public art is preferred that offers a place-making role in celebrating and communicating the history and culture of the districts.*
- 3) *Develop an appropriate relationship between materials, the scale of artwork and the surrounding environment.*
- 4) *Choose artwork that is appropriate for the current general character of the site.*
- 5) *Consider the appropriateness of the sculpture base.*
- 6) *Public art, statues, and fountains shall be maintained as accessible to the public.*
- 7) *A mural's appearance, materials, colors, size, and scale should be compatible with the building and historic district of which the building is a part.*
- 8) *The use of neon, luminescent, or reflective paint or materials is discouraged.*
- 9) *A mural should not obscure or distort the historic features of a building, and should not cover an entire wall.*
- 10) *Murals painted on primary facades are rarely permitted and strongly discouraged.*
- 11) *In general, previously unpainted masonry should be left unpainted.*
- 12) *Painting directly onto the walls of a non-contributing building, or adding a mural to a previously-painted, non-primary elevation of a contributing building will be considered on a case-by-case basis.*
- 13) *In general, murals should be created on removable material, not directly on a building wall; installed on framing that allows water to weep between the mural and the wall; and attachments should not irrevocably damage the building.*
- 14) *Mural art that constitutes a sign shall conform to the sign regulations.*

#### K. PARKING FACILITIES

- 1) *Ensure that the design of any new parking structure follows the design guidelines in Chapter 3 for new multi-lot buildings and street-level design.*
- 2) *The street-level design of parking garage facilities should engage pedestrians through the use of storefronts, display windows or other visual features.*
- 3) *Avoid demolishing historic buildings to construct new parking facilities.*
- 4) *Locate vehicular exits and entrances to minimize their impact on the primary street on which they are located.*
- 5) *Parking at the ground level should not be visible from the street.*
- 6) *Reduce the scale of the openings by providing separate entrances and exits.*
- 7) *Consider the impact of interior and roof lighting.*

#### **Discussion and recommendation**

Note: In 2018, the applicant has twice presented to the Board of Architectural Review for preliminary discussions--April 17, 2018 and May 15, 2018.

Request is for a Certificate of Appropriateness for:

- Massing
- Elevations
- Landscaping Plan

Staff has requested from applicant materials proposed on the elevations and market plaza, and that these details be submitted and presented at the coordinating BAR meeting.

Staff would also like to remind the applicant that a separate application must be submitted to the BAR for the review of the projects signage, following with a submittal to zoning for a sign permit.

Staff recommends that the BAR review the following details:



- Site plan: Option 1 – Pg. 03
  - Scattered tables
- Site plan: Option 2 – Pg. 04
  - 4 large umbrellas
- Site plan: Option 3 – Pg. 05
  - 8 small umbrellas
  - One red tree
- Dimensions of Stairs and building set back
- NE Corner View of Pedestrian Stair – Pg. 12 - 13
  - “Market Plaza” or “Corner Plaza” corner sculpture
  - Market level cantilever material proposals
  - Stair railing proposals
  - Benches at stair landing platform
  - Change of material on corner window lintel
  - Proposed brick patterns on corner
  - Stone detail along brick
- Hanging bench on brick (pg. 14)
- The inconsistent number of trees along the South Street, Water Street, and 2<sup>nd</sup> Street plan, perspectives, and elevation

Landscaping: The following are proposed, but not listed on the city’s tree/plant list:

- Buxus sinica insularis `Wintergreen` - Wintergreen Korean Little leaf boxwood
- Calamagrostis x acutiflora `Karl Foerster` - Feather Reed Grass
- Hydrangea anomala petiolaris – Climbing Hydrangea
- Ilex verticillata `red sprite` - Red Sprite Winterberry

### **Suggested Motion**

Having considered the standards set forth within the City Code, including City Design Guidelines for Site Design and Elements, New Construction and Additions, and Public Design I move to find that the proposed Massing, Elevations, and Site Design and Elements satisfy the BAR’s criteria and are compatible with this property and other properties in the Downtown ADC District, and that the BAR approves the application as submitted (or with the following modifications...).

### **BAR COA Checklist for New Construction**

- Massing:
- Dimensioned elevations for all side and renders:
- Details (Wall Sections):
- Site/landscape design:
- Lighting:
- Signage:
- Mechanical Units:

## **Addendum: BAR actions/reviews prior to November 2017**

September 16, 2014 – The BAR recommended (8-0) to City Council that the Special Use Permit (SUP) to allow increased density (from 43 units per acre to 60 units per acre) and additional building height (from 70 feet to 101 feet), with an exception for a 12 foot setback on Water Street, for the redevelopment of 200 2nd Street SW into a mixed use development including the City Market and other public assembly events that may be in excess of 300 people, will not have an adverse impact on the Downtown Architectural Design Control (ADC) District; subsequent proposals under the SUP will be subject to the usual BAR review.

The BAR also made preliminary comments regarding the proposed design of the building and site:

- Massing is thoughtful, tallest part in right place;
- Plaza side is more successful than Water/2<sup>nd</sup> Street facades;
- Revisit forcing context with 25 ft. modules, be less literal in modulating facades, use details of wall to break down plane, think of it as single large composition;
- Simplify base, upper and lower elevations need to hang together more, fenestration on brick base needs work, Deco effect on upper brick stories is good and reflects warehouse-industrial context;
- Revisit NW glass corner that incorrectly reads as an entrance;
- Revisit enormous, projecting balconies, prefer negative corners;
- Need thoughtful design of intersections of glass and masonry corners;
- Revisit metal spine above stairs on South Street terraces;
- Want bolder pedestrian connection from 2<sup>nd</sup> Street to plaza;
- Like the change in brick color, like the tactility of brick material, would be concerned if all glass [building], don't like strong contrast between brick colors.
- Revisit design of 1<sup>st</sup> Street stairs and waterfall and area between stairs and building, simplify stairs, make stairs gentler, follow topo more closely, want the space to be there.

December 1, 2014 - City Council approved the SUP with conditions.

December 16, 2014 - The BAR approved (8-0) the massing and general site layout as submitted; and the applicant shall return to the BAR with further approval for the design details of the entrance and stair area, and including: a comprehensive signage plan, detailed landscape plan; “plaza layout” plan including site amenities and furnishings; window specifications; building and paving materials; wall sections; lighting; and location of mechanical units and trash areas; and The BAR unanimously supports the curtain wall on the plaza side of the building [rather than the brick grid]; and the BAR does not support trees on the plaza.

January 20, 2015 – The BAR accepted applicant's deferral request (7-0); Some of the items the BAR asked to see were: concise submittal with correct versions of all drawings, architectural elevation drawings, make solid band on top before stepback, then no brick above, no mall brick for pavers, planters should be brick next to building, final design of perforated railing, overall lighting plans (may come later), plaza plan with changes to lighting (Keith's design lighting fixtures along 1<sup>st</sup> Street). [Please refer to the January 20, 2015 minutes for a full discussion.]

The BAR also made a recommendation to City Council regarding a Special Use Permit: they recommended (7-0) that a proposed temporary location for City Market at 100 E Water Street would have no adverse effects on the ADC district.

February 2, 2015 – City Council approved Special Use Permit for temporary location for City Market at 100 E Water Street, subject to the following conditions:

1. The Farmer's Market shall be easily visible from adjacent vehicular rights-of-way, easily accessible from adjacent sidewalks, and shall be arranged in a manner that facilitates a comfortable flow of pedestrians among the various vendor stands within the Market.
2. The special use permit shall expire on December 31, 2017.

February 17, 2015 - The BAR approved (6-0) the building perspectives with elevations and details to come back to the BAR to confirm the design intention:

1. Handrail along Water Street;
2. Remove brick pillar at top of stair;
3. No brises soleil on east elevation;
4. Modify top of building to minimize crenellations;
5. Terrace dividers;
6. Remove two light poles at bottom of stair;
7. Explore options to remove entry barrier to plaza from South Street;
8. Landscape plan;
9. Lighting plan;
10. Signage plan;
11. Confirm final materials, windows, metal colors;
12. Elevation drawings to show corner details resolved.

April 21, 2015 – The BAR approved (6-1-1 with Keesecker opposed and Schwarz abstained) the application as submitted, with further refinements to brick paving and other details to be circulated [to BAR] and approved administratively if possible. The following addendum to the motion was included: When the 2 versus 3 lanes of traffic flow in and out of the building is resolved, if there are design changes accordingly, it moves to 2 lanes, that the BAR will specifically see that design revision [because perhaps the elevator location would change].

August 18, 2015 – The BAR recommended (5-1-1, with Miller opposed, and Mr. Schwarz recused) that the proposed amendments to the special use permit conditions previously approved by City Council on December 1, 2014 for the redevelopment of 200 2<sup>nd</sup> Street SW into a mixed use development including City Market, regarding the elimination of the water feature and the provision for a 16 foot wide pedestrian walkway and handicapped access by elevator, will not have an adverse impact on the Downtown Architectural Design Control (ADC) district, and the BAR recommends approval of those portions of the proposed amendments to the special use permit, but the BAR has no comment on the remaining portions of the amendments. The BAR requests that the Planning Commission and City Council review other aspects of the document that concern the transition from public to private plaza space and implications to operations (usage and access, viability of the City Market) and impact on the district and the BAR asks for review (of drawings and details) of the new centerpiece and pedestrian access.

September 15, 2015- The lawn feature with four pairs of Willow Oak trees was proposed to replace the water feature. The elevator was being moved closer to the building, and new stairs to the garage were proposed on the plaza at First Street. There were multiple other changes being proposed to the building and site. The BAR approved the application as submitted (7-1-1 with Keesecker opposed and Schwarz recused) with the exception of: adding a planter wall next to the grand stair between old 1<sup>st</sup> Street and the parking lot; change to granite banding in the tree lawn will be 8" and 24" to align with plaza brickwork; and back to the original brick base design on the building.

October 5, 2015 – City Council approved amendments to conditions of original Special Use Permit. An option to allow a water feature was retained.

October 19, 2015- City Council approved sale of land and First Street right-of-way, and City Market lease agreement.

January 19, 2016 – The BAR approved (7-0) the inverted tents, the fountain design, the spandrel glass, the change to the 1<sup>st</sup> Street and South Street elevations re-proportioned to remove the brick projecting into curtain wall, the east wall of the plaza, the details of the previously approved aluminum and glass railing system, the new building elevations as presented in the packet, the removal of the hockey stick lights, and the brise-soleils.

The BAR would like to see a fully developed site plan [clarify trees on 2<sup>nd</sup> Street SW] and the 1<sup>st</sup> Street memorialization [a thirty-foot wide combination of lights and subtle brick color change] to come back. The lighting and signage should also come back.

March 15, 2016 - The BAR approved the following changes:

- plaza material selection approved
- lighting package with controls approved as discussed, and preferably 2700K for light fixture 2 with the rest 3000K
- residential entrance to be revisited with other options
- plaza benches approved
- hanger doors approved
- roof top garden approved
- tree plantings approved
- design for the residential entrance to be circulated and approved via e-mail
- solar panels on the roof to be circulated and approved via e-mail

(5-0-2, with Schwarz recused and Balut abstained)

April 1, 2016 - The BAR signed off on Alternative B residential entrance by email.

January 17, 2017 – Graves moved to find that the proposed revisions to plantings and hardscape details satisfy the BAR's criteria and guidelines, and are compatible with this property and other properties in the Downtown ADC District, and that the BAR approves the changes as submitted. Sarafin seconded, and the motion passed 5-0-1, with Schwarz recused.



**JUNE 19, 2018**

**MARKET PLAZA LLC**

West 2nd | Charlottesville, VA  
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COMPOSITION IN GREEN | BIRGER CARLSTEDT



DESIRE OR DESIRED | SEAN SCULLY - 2007



SCREEN MEMORY | RICHARD GARETZ



MARGARITA | SEAN SCULLY - 2008



TO MIZ-PAX VOBISCUM | HANS HOFMANN



RAPHAEL | SEAN SCULLY - 2004



TOWER | SEAN SCULLY - 2009

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PLAZA DESIGN INSPIRATION

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SITE PLAN: OPTION 1

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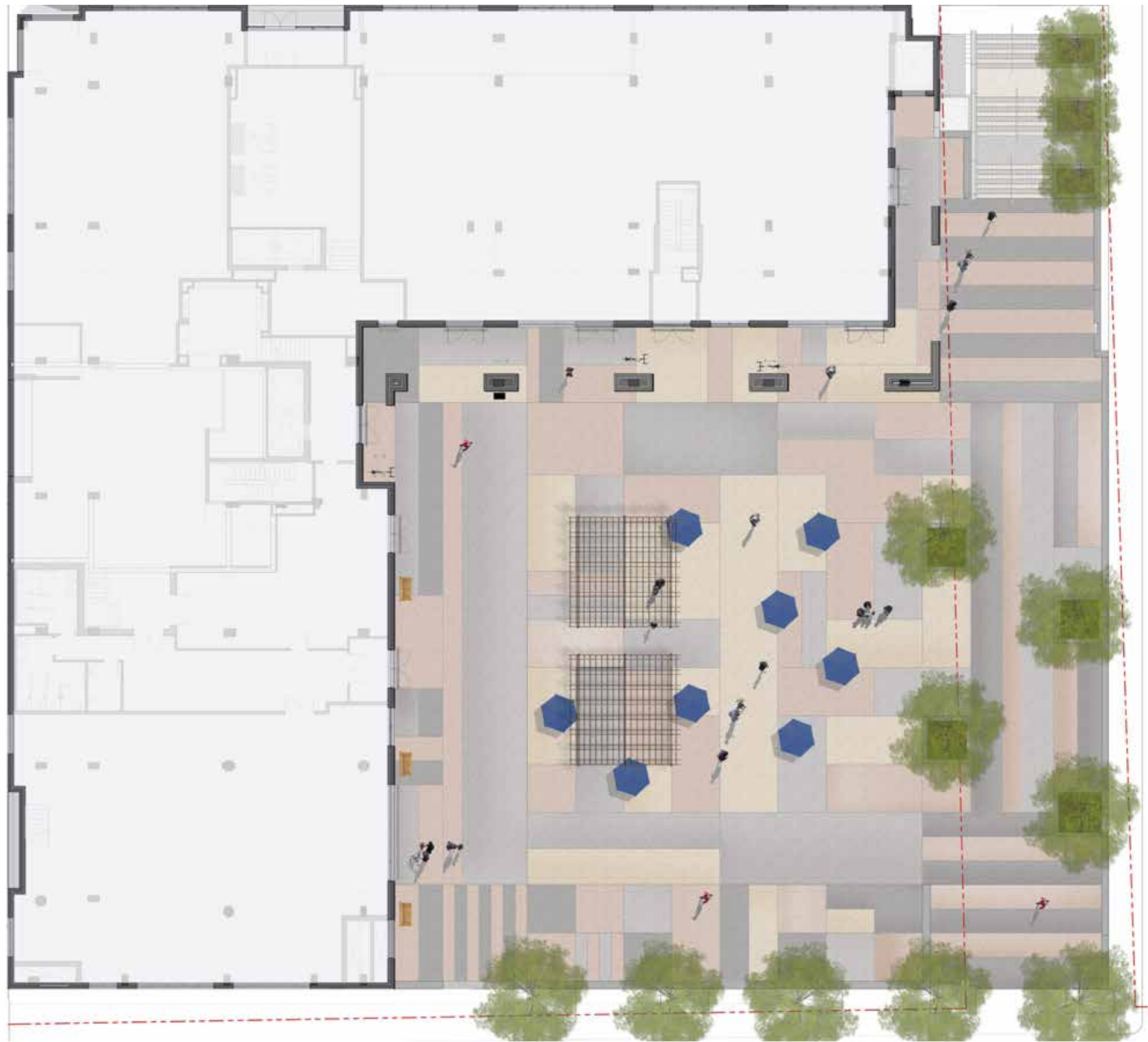
SITE PLAN: OPTION 2

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SITE PLAN: OPTION 3



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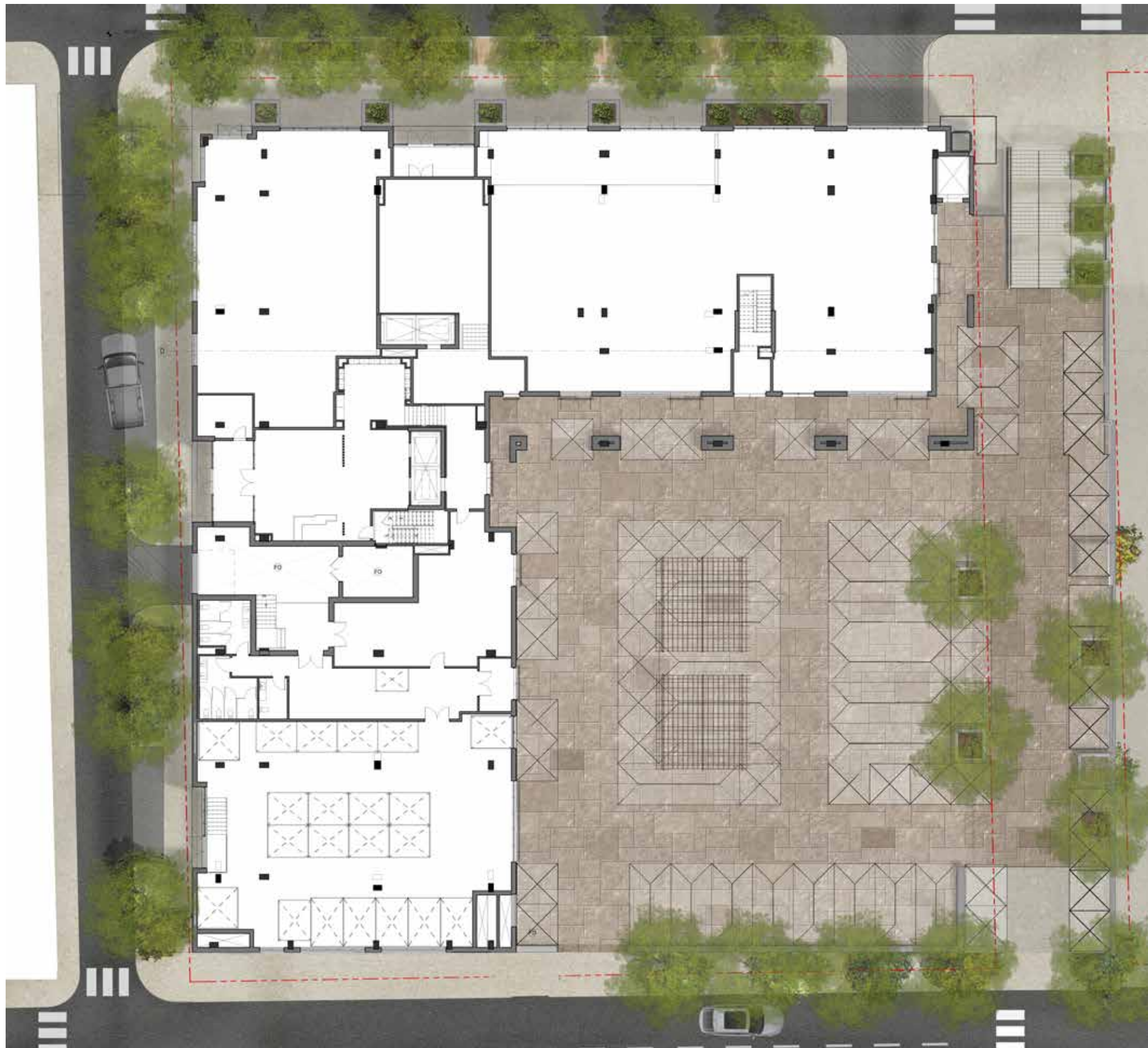
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SITE STAIR PLAN

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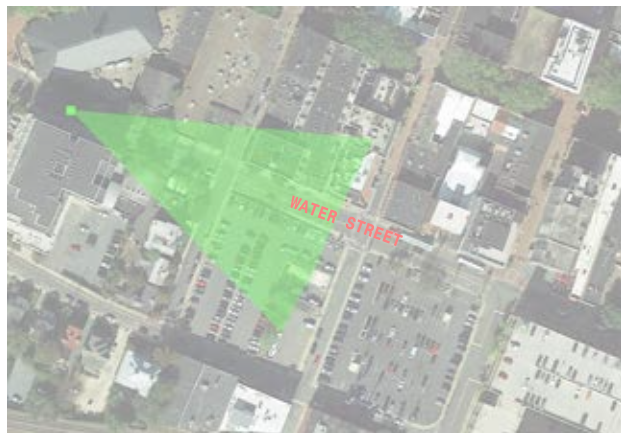
SITE PLAN

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WATER STREET VIEW 1

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WATER STREET VIEW 2

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**WATER STREET VIEW 3**

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WATER STREET VIEW 4

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NOTE: MEASUREMENTS OF PUBLIC SPACE ELEMENTS ON THE WEST SIDE OF 2ND STREET ARE TAKEN FROM THE CITY OF CHARLOTTESVILLE GIS MAP: ([HTTPS://GISWEB.CHARLOTTESVILLE.ORG/GISVIEWER](https://gisweb.charlottesville.org/gisviewer))

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SECOND STREET SECTION

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Intersection of Water Street and 2nd Street SW

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**NW CORNER VIEW**

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Elevation along Water Street

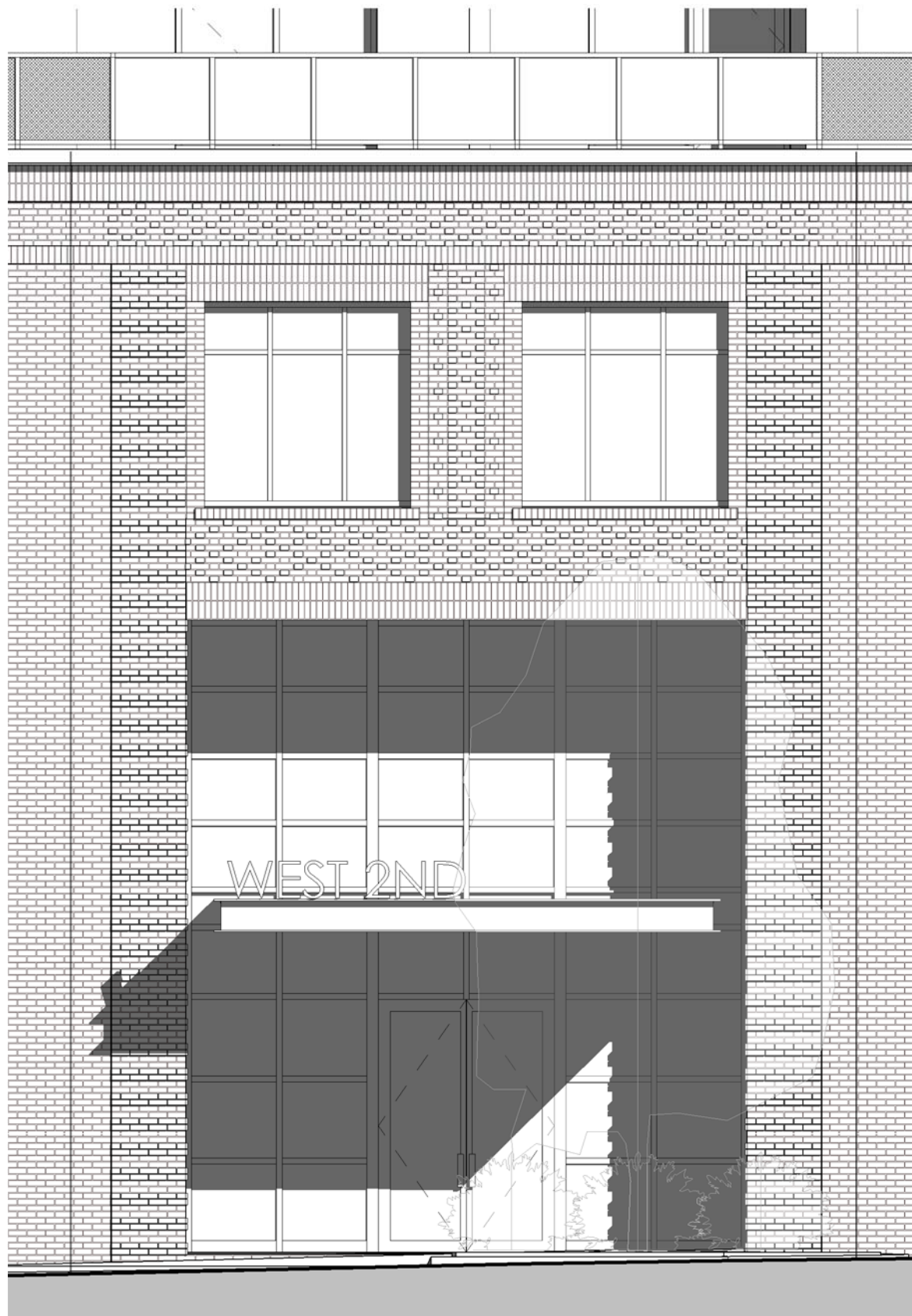
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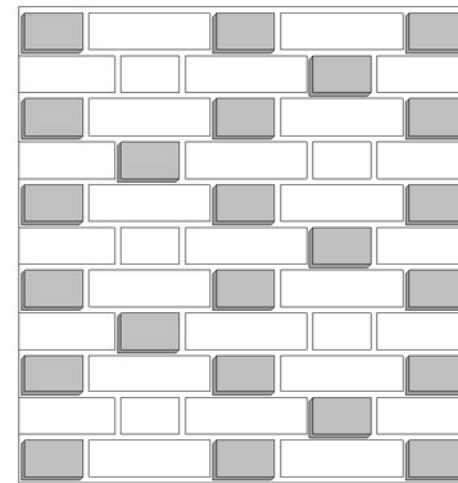
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WATER STREET VIEW

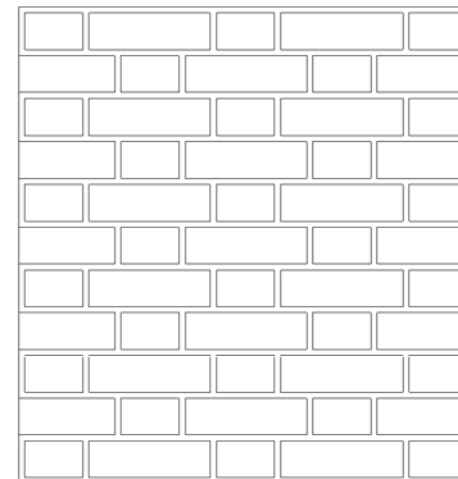




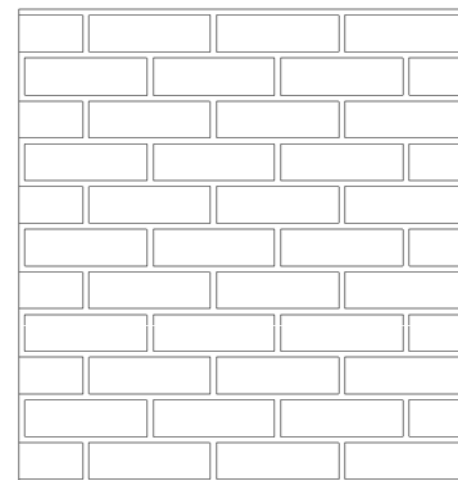
Elevation of Residential Entry on West 2nd Street



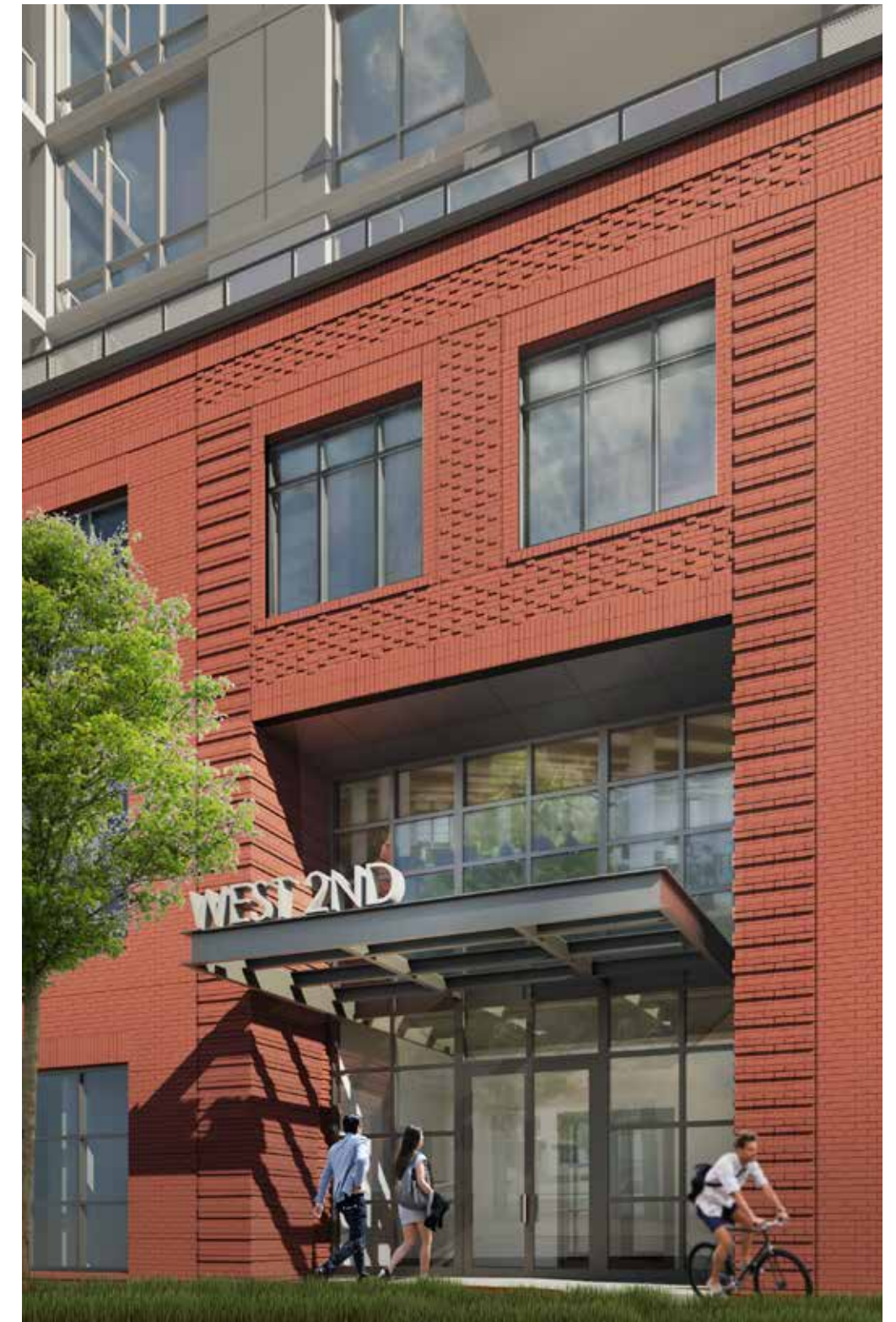
Modular - Flemish Bond Corbel



Modular - Flemish Bond



Modular - Running Half Bond



Perspective View of Residential Entry on West 2nd Street

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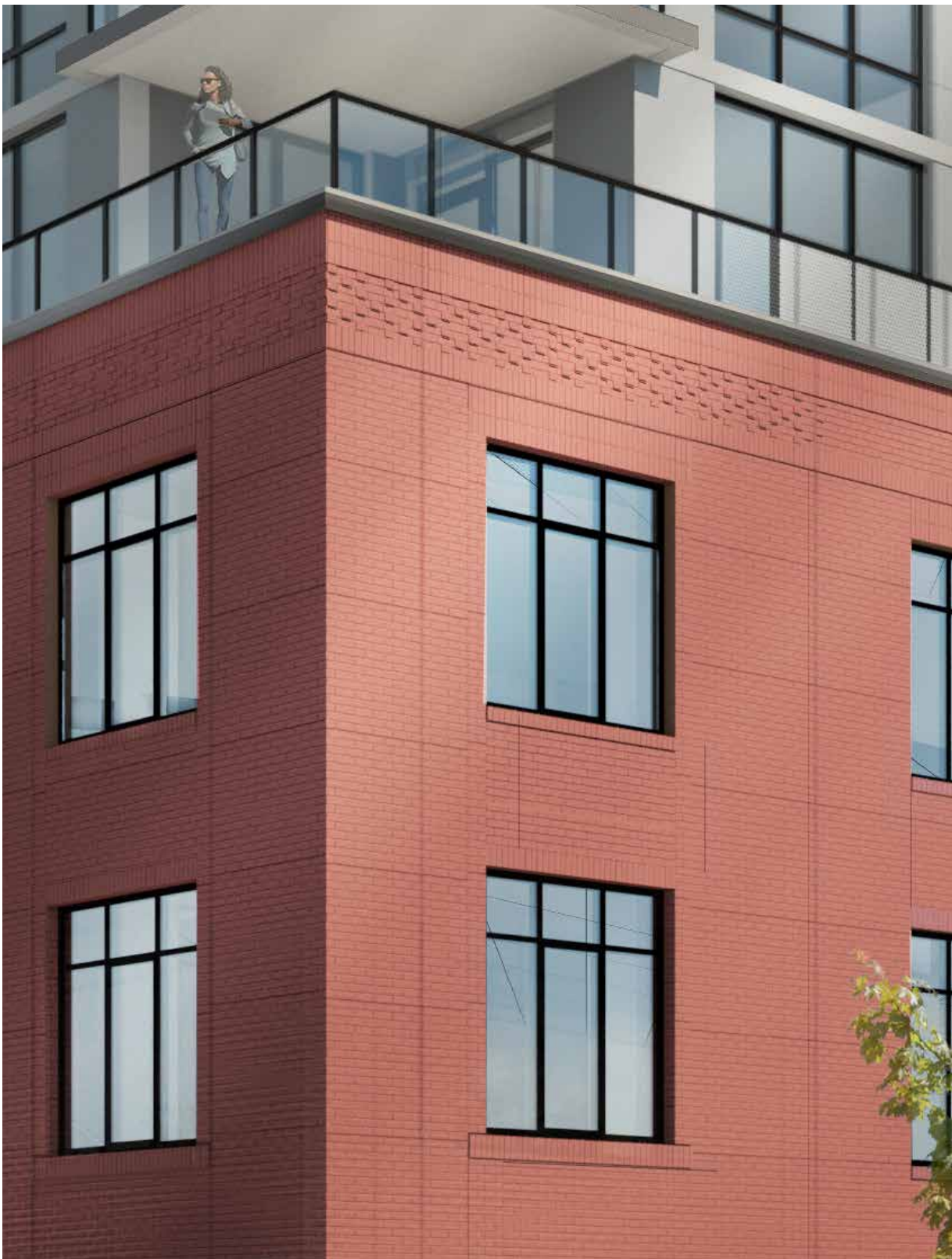
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**FACADE DETAIL VIEWS**

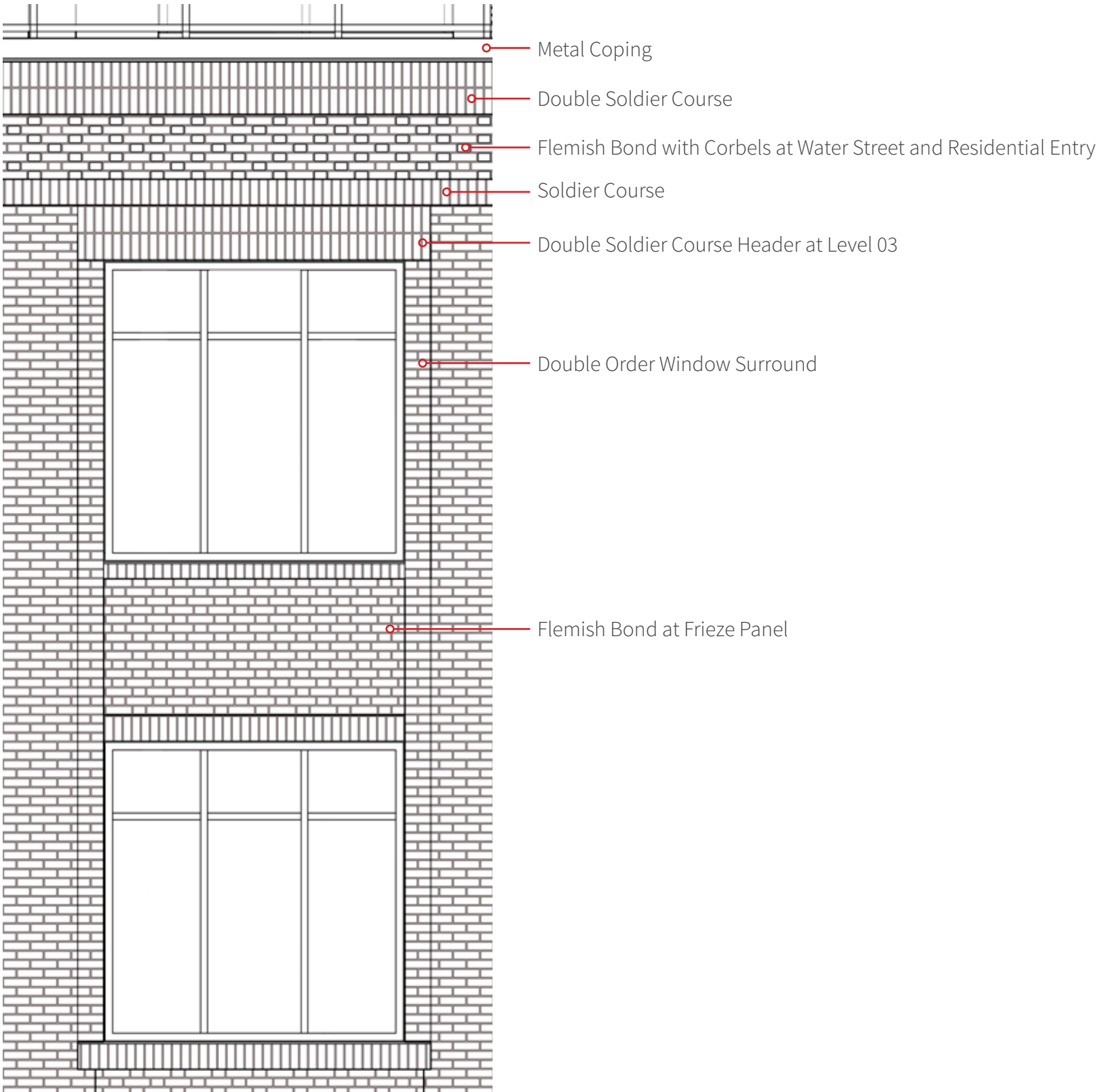
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Brick Detailing at Window Surrounds, Frieze Panel and Cornice



Elevation View of Typical Window Condition at Brick

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**FACADE DETAIL VIEWS**

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Intersection of Water Street and 1st Street

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**NE CORNER VIEW OF PEDESTRIAN STAIR**

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Composition of Residential Facade



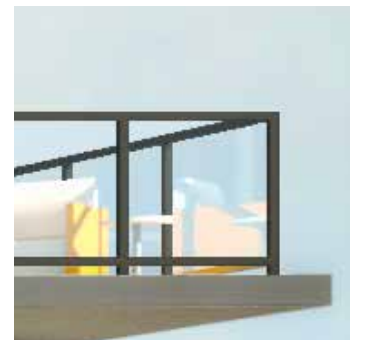
Detail View of Metal Panel, Window Wall and Balconies



Clear Glass



Dark Grey Metal Panels



Black Rails and Mullions



Exposed Concrete  
Painted White

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METAL PANEL DETAIL VIEWS

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VIEW OF PEDESTRIAN STAIR

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NORTH ELEVATION

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WEST ELEVATION

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EAST ELEVATION

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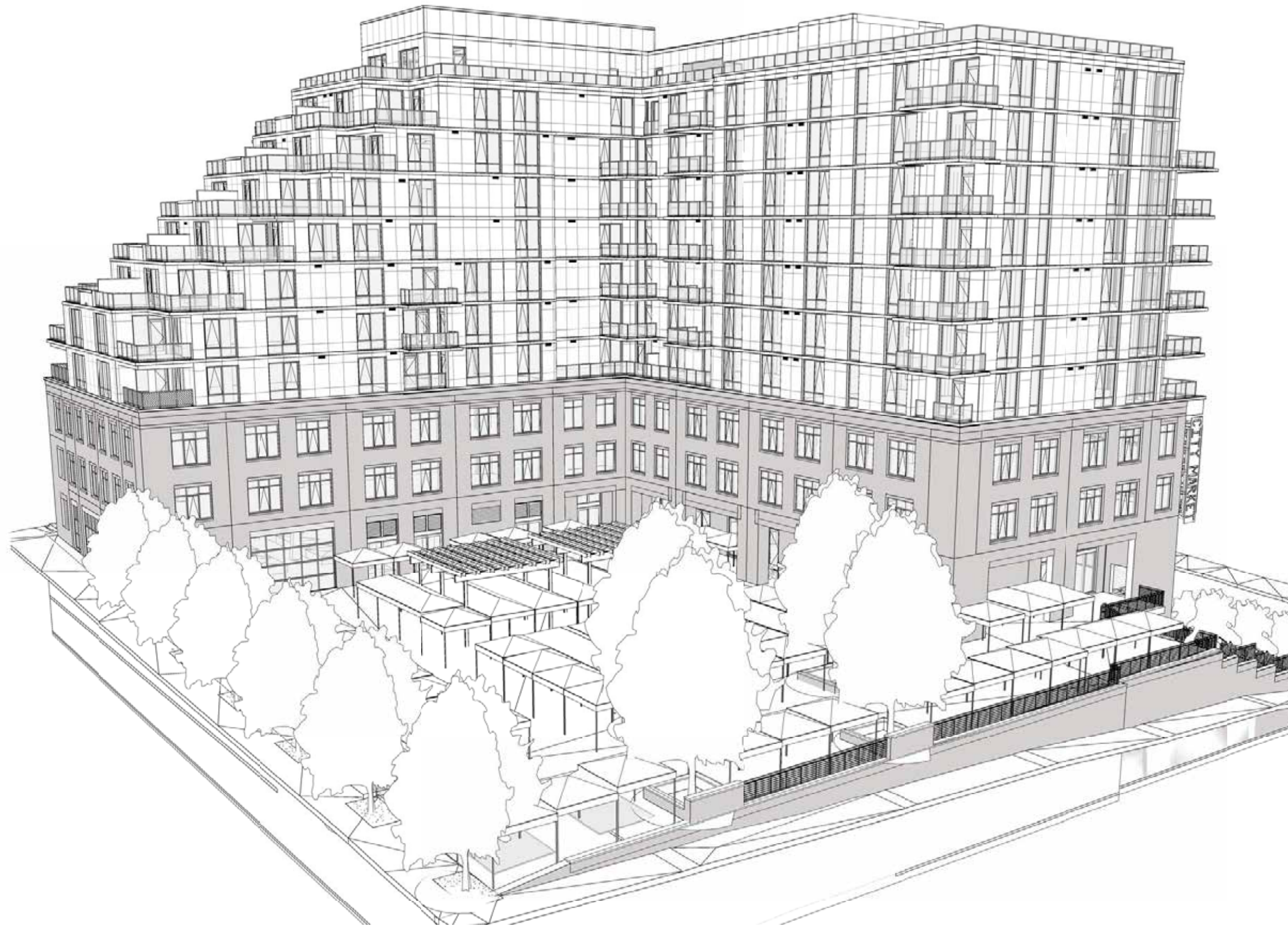
SOUTH ELEVATION

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MARKET AERIAL VIEW

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PLAZA AERIAL VIEW

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PLAZA VIEW AT SE CORNER

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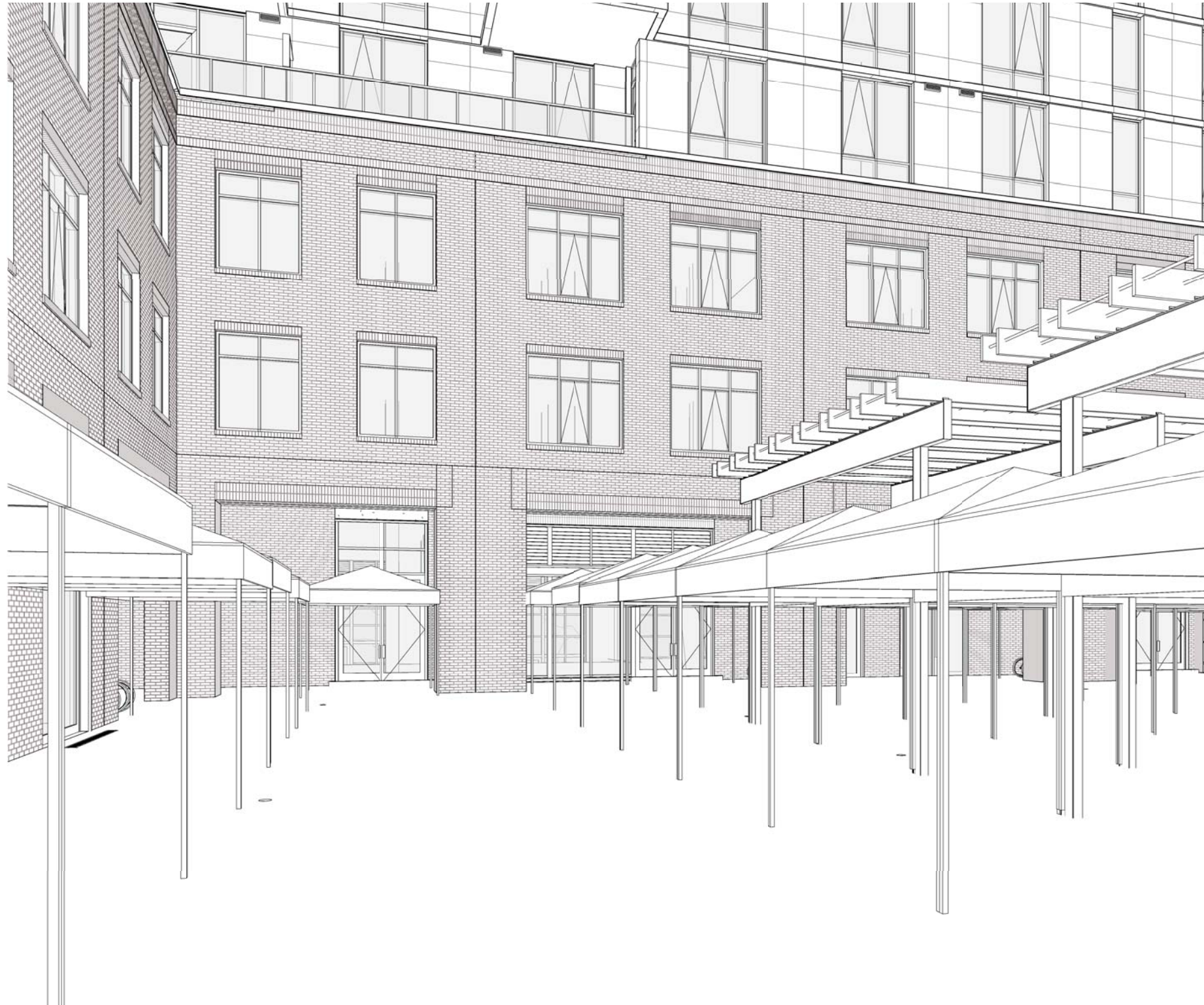
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**VIEW OF MARKET PLAZA**

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VIEW OF PLAZA

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CORNER VIEW OF INDOOR MARKET AND BUILDING TAPER

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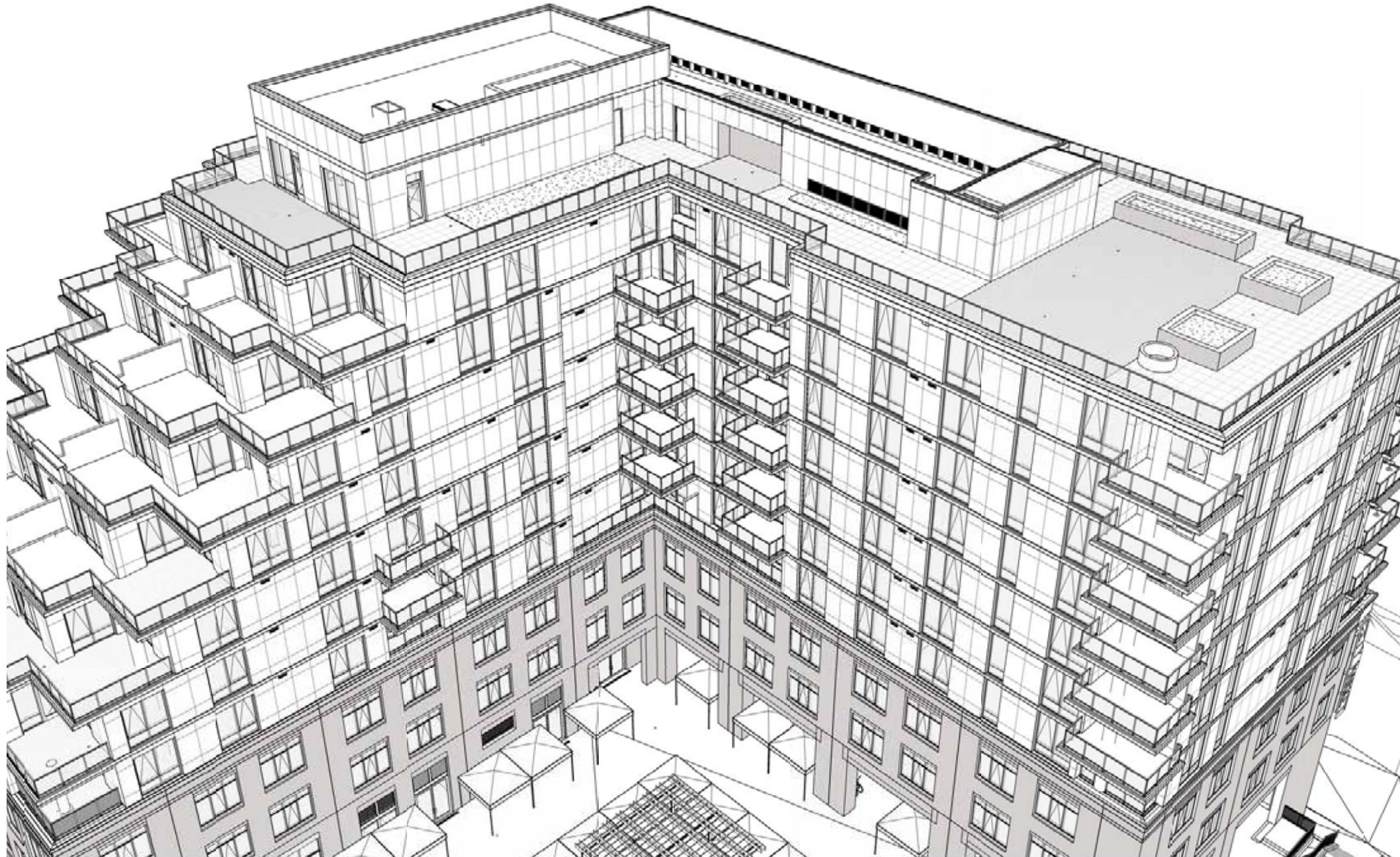
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VIEW OF RESIDENTIAL FLOORS

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