

JUN 10 2013

NEIGHBORHOOD DEVELOPMENT SERVICES

TRANSMITTAL

To:	Mary Joy Scala
Of:	City NDS
From:	Clark Gathright
Date:	June 10, 2013
Project:	West Main Residence Inn
CC:	

WE ARE SENDING YOU:	FOR YOUR:
<input checked="" type="checkbox"/> Drawing	<input type="checkbox"/> Approval
<input type="checkbox"/> Specification	<input checked="" type="checkbox"/> Use
<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> Change Order	<input type="checkbox"/> As Requested
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Refer to Enclosure
<input type="checkbox"/> Other	<input type="checkbox"/> Pricing
<input type="checkbox"/> Attached	
<input type="checkbox"/> Under Separate Cover	
<input type="checkbox"/> Via:	

COPIES	DATE	NO.	DESCRIPTION
10			Revised photometric plan and scone cut-sheet

Mary Joy:

The scone lamping was revised. Also, a couple of parking lot pole fixtures were shifted away from the right-of-way to meet 0.5 ft-c.

RECEIVED

JUN 10 2013

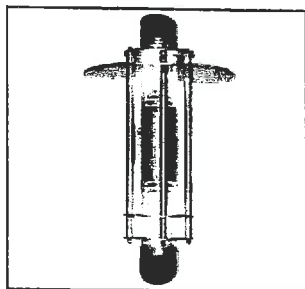
NEIGHBORHOOD DEVELOPMENT SERVICES

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Saturn 90 Wall

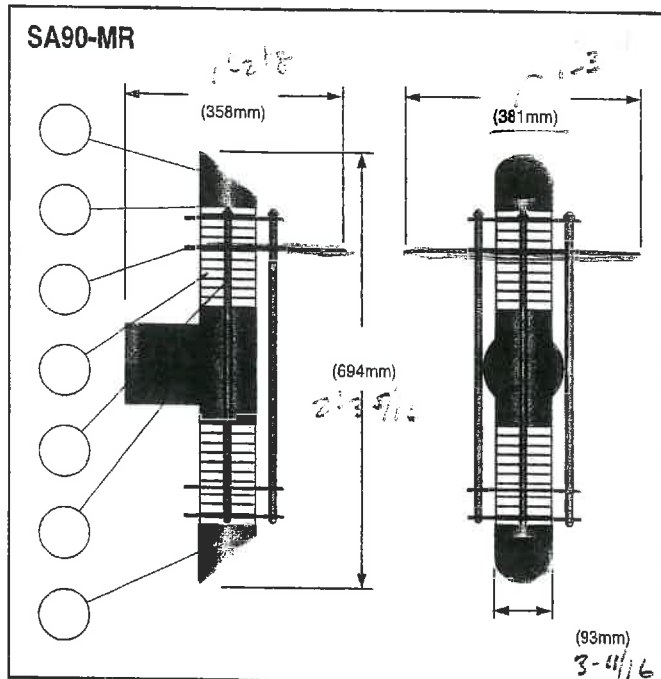
RESIDENCE INN CHARLOTTESVILLE, VA

E



SA90 - MR - ~~Q26~~ ^{Q18} - - 120
Series Optics Lamping Finish Voltage

Series	Optics	Lamping	Finish	Voltage
	MR MTR* 90 Refractor Refractor is an integral part of the fixture and is not an option. <small>US Patent No. 4,669,034</small>	T 13 (2) 13w Twin tube fluorescent Q 18 (2) 18w Quad fluorescent Q 26 (2) 26w Quad fluorescent	WH White BK Black BZ Bronze SV Silver SP Specify Premium Color	



tor, class "P", type "A" sound rat-

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RECEIVED**MAY 30 2013****NEIGHBORHOOD DEVELOPMENT SERVICES****TRANSMITTAL**

To:	Mary Joy Scala
Of:	City NDS
From:	Clark Gathright
Date:	May 30, 2013
Project:	Residence Inn - West Main
CC:	

WE ARE SENDING YOU:	FOR YOUR:
<input checked="" type="checkbox"/> Drawing	<input type="checkbox"/> Approval
<input type="checkbox"/> Specification	<input checked="" type="checkbox"/> Use
<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> Change Order	<input type="checkbox"/> As Requested
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Refer to Enclosure
<input type="checkbox"/> Other	<input type="checkbox"/> Pricing
<input type="checkbox"/> Attached	
<input type="checkbox"/> Under Separate Cover	
<input type="checkbox"/> Via:	

COPIES	DATE	NO.	DESCRIPTION
1			Stucco color sample - BM Kingsport Gray HC-86

100 10TH STREET NE, SUITE 200
CHARLOTTESVILLE, VA 22902

T 434 971 8848

F 434 296 3040

www.daggettgrigg.com



From: Scala, Mary Joy
Sent: Tuesday, July 02, 2013 2:35 PM
To: Gathright, Clark (cgathright@dgarchs.com); 'plague@llwarchitects.com'
Cc: Charles H Wendell (wend1948@bellsouth.net)
Subject: BAR Action 301-315 W Main Street

VIM Inc
PO Drawer 359
Fayetteville, WV 25840

Certificate of Appropriateness Application

BAR 12-05-03
301-315 W Main Street
Tax Map 32 Parcels 197, 198, 199
Clark Gathright, Applicant/VIM, Inc., Owner
New 7-story hotel - Details

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on June 18, 2013. The following action was taken:

Approved (7-0) details as submitted, including: dark color "Kingsport Gray" stucco; suggest more significant plantings in courtyard; make fence minimal (bollard and chains are OK; no gate needed); roof sign is inappropriate (will not be recommended when Comprehensive Signage Plan is submitted); parapet will provide adequate 7th floor roof mechanical screening; submit landscape easement information as part of final site plan approval; lower lighting levels in parking lot as much as possible.

You may now submit your Comprehensive Signage Plan for approval by the BAR and City Council.

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in 18 months (December 18, 2014), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced construction. The expiration date may differ if the COA is associated with a valid site plan. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of construction, please contact me for an inspection of the improvements included in this application. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
June 18, 2013**

**Certificate of Appropriateness Application
BAR 12-05-03
301-315 W Main Street
Tax Map 32 Parcels 197, 198, 199
Clark Gathright, Applicant/VIM, Inc., Owner
New 7-story hotel - Details**

NOTE: New information is shown in **bold type**.

Background

301 West Main Street (c. 1957) and 315 West Main Street (c. 1938; 1947; 1951) are located in the Downtown ADC District.

October 18, 2005 - BAR approves (8-0) demolition of 301 West Main Street. The applicant requested deferral of the 315 West Main Street application in order to have prepared a structural report.

November 15, 2005 - BAR approves (7-2) demolition of 315 West Main Street

September 18, 2006 - The Director of Neighborhood Development Services agreed to extend both certificates of appropriateness for one year as permitted by Sec. 34- 280 because the building tenant (RSC equipment rental) exercised their option to renew their lease for another year.

November 28, 2006 - BAR denied (9-0) CVS project based on standards and guidelines especially site plan, massing, scale, and materials.

October 16, 2007 - BAR approves (7-0) demolition of both buildings on consent agenda.

July 15, 2008 - BAR approved (6-2) a new mixed-use project including the concept of the massing, general articulation, and disposition of materials, but required the details to be re-studied and returned to the BAR for further approval.

September 25, 2008 - The Director of Neighborhood Development Services agreed to extend both demolition approvals for one year, until October 16, 2009.

May 19, 2009 - The BAR approved (8-1) the application for demolition of 301 and 315 West Main Street and asked staff to report back next month regarding the City Attorney's opinion as to when the permit will expire. (The applicant asked the BAR if the one-year approval could begin in October 2009, when the previous permit would expire, rather than the meeting date.) The City Attorney's opinion was that the permit would expire one year from the meeting date, or May 19, 2010.

June 15, 2010 - The BAR approved demolition of 301 W Main (8-0); approved demolition of 315 W Main (6-2 with Brennan and Schoenthal opposed).

June 15, 2011 - The Director of Neighborhood Development Services agreed to extend the validity of the COA for one year, or until June 15, 2012.

Current project

February 21, 2012 - The BAR was generally supportive of the preliminary proposal. Suggestions made were to wrap the corner of Building C with Building B; landscaping and screening parking are important; pedestrian access to Main Street is important; give thought to courtyard (trees, access to hotel).

May 15, 2012 - The BAR approved (4-2-1) the application as submitted to demolish 301 and 315 W Main Street.

May 15, 2012- The BAR accepted (6-0-1) the applicant's request for deferral. The BAR requested further details on: the materials, wall sections, windows details, cornices, articulation of façades, lighting (cut sheets and photometrics), paving materials. Look at the plans along West Main Street. Do not necessarily propose white windows; part of the building may want to be monochromatic.

June 19, 2012 – The BAR approved (5-1-1 with Adams opposed and Hogg abstaining) the massing, conceptual landscape plan, and conceptual use of manufactured stone and brick on the A & B structures with full detailing of those elements, samples, manufacturer's product information and all things requested at the last meeting (building section, window details, etc.) to come back to the BAR for final approval.

The BAR approved (5-1-1 with Adams opposed and Hogg abstaining) the conceptual use of stucco on the C structure subject to all detailing and color studies as discussed coming back to the BAR for final approval.

August 21, 2012 – The applicant requested deferral before the meeting.

November 20, 2012 - Approved (7-0) with the following conditions and information to come back to the BAR for final approval:

- 1. Color of stucco on C building;**
- 2. Courtyard furnishings and plantings;**
- 3. Comprehensive sign package [requires BAR recommendation and City Council approval];**
- 4. Further investigation whether planting is possible on the north side of the property in association with the parking deck;**
- 5. Banding on A & B buildings: approve either brick soldier course or precast options;**
- 6. Exclude approval of final lighting and mechanical package until later date.**

A friendly suggestion was made to look at further articulation of windows on south elevations. Note that the BAR's intent was to allow the preliminary site plan approval to occur.

Zoning Information

This property is located in the Downtown ADC District. The Guidelines describe the West Main Street sub-area as: *increasingly vital commercial district with strong definition of the street edge and moderate pedestrian activity typically medium scaled, turn of the century masonry structures, generally mixed use with commercial/service below and residential above, street parking with small off street lots.*

The current zoning is *Downtown Corridor Mixed Use District*, which requires a minimum height of 45 feet and allows a maximum height of 70 feet with stepback requirements. Up to 101 feet may be permitted with a special use permit. The parking zone is "Parking Modified Zone"

The minimum height of the streetwall must be 40 feet, and the maximum height of the streetwall must be 45 feet, containing exactly 3 interior floors. After 45 feet, there shall be a minimum stepback of 25 feet. At least 75% of the streetwall must be built to the property line adjacent a primary street (both Ridge-McIntire and West Main are primary streets). Up to 25% of the streetwall may be set back a maximum of 20 feet, except up to 50% may be set back up to 20 feet if streetscape trees are provided, or if City Council approves a special use permit.

Application

The applicant has received approval for a seven-story hotel with 124 rooms and parking for 119 vehicles, including one level of structured parking (82 spaces) and a surface parking lot (37 spaces). The surface

parking lot and the drive-up lobby entrance are accessed from both Ridge-McIntire and 4th Street NW entrance/exits.

The West Main Street frontage includes two sections of hotel buildings (referred to as buildings A and B) separated by a terrace/courtyard. The top two/three floors of these three-story buildings are hotel rooms. On the Ridge-McIntire frontage there are windows that look into the flex space and the pool area. The top three floors along Ridge-McIntire are hotel rooms.

One main entrance to the hotel is proposed along West Main Street, in building B. There are two (minor) entrances to the hotel from the courtyard, one accessing the lobby and one accessing meeting rooms in building A. The terrace/courtyard has been reduced in size since the last submittal, and it is not landscaped. There are no pedestrian entrances along Ridge-McIntire.

The revised courtyard on West Main Street is now proposed to be enclosed with a 3 foot -high aluminum fence with gate system along the sidewalk. (The detail incorrectly indicates plexiglass or mesh added to prevent child access to a pool area.) The courtyard is not landscaped, but includes some potted plants.

A similar, but taller, six foot-high aluminum fence and gate is proposed between the hotel and the building to the west.

Building C, the main part of the hotel, is 7 stories in height. There is a drive-up/pedestrian entrance under a porte-cochere in the parking lot.

The building materials on buildings A and B are:

- Manufactured stone veneer Arriscraft Renaissance base and cornice,
- Brick veneer Old Virginia Brick wood mould Colonial Red Range, and
- Aluminum/Quaker SH 8050 historical windows dark bronze.

The building materials on building C are:

- ¾" stucco smooth finish walls in **two color options: Kingsport Gray or Cloud White**,
- Stucco cornice (new addition), and
- Aluminum/Quaker 8050 windows dark bronze.

Consistently used materials include:

- Aluminum Kawneer storefront dark bronze,
- Clear low-e glazing,
- Metal clad marquee/canopy, and
- Canvas burgundy awnings.

A 6-foot high bronze equipment screen is shown on building B but no screens are shown around equipment on the roofs of buildings A and C.

The proposed street trees currently include includes Zelcovas in tree wells with Blaze Maples and Hawthorns at the parking lot entrances.

As requested by the BAR, the applicant has shown a planting easement on the adjacent property that includes London Planetrees, Japanese Cedars and Oakleaf Hydrangeas.

The courtyard has been changed from brick to concrete pavers. The porte cochere area in the parking lot still shows brick pavers.

Criteria, Standards, and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Design Review Guidelines for New Construction

A. Introduction

3. Building Types

e. Multi-lot

Often new commercial, office, or multiuse buildings will be constructed on sites much larger than the traditionally sized lots 25 to 40 feet wide. Many sites for such structures are located on West Main Street and in the 14th and 15th Street area of Venable neighborhood. These assembled parcels can translate into new structures whose scale and mass may overwhelm neighboring existing structures. Therefore, while this building type may need to respond to the various building conditions of the site, it also should employ design techniques to reduce its visual presence. These could include varying façade wall planes, differing materials, stepped-back upper levels, and irregular massing.

B.Setback

- 1. Construct new commercial buildings with a minimal or no setback in order to reinforce the traditional street wall.*
- 2. Use a minimal setback if the desire is to create a strong street wall or setback consistent with the surrounding area.*
- 3. Modify setback as necessary for sub-areas that do not have well-defined street walls.*
- 4. Avoid deep setbacks or open corner plazas on corner buildings in the downtown in order to maintain the traditional grid of the commercial district.*
- 5. In the West Main Street corridor, construct new buildings with a minimal (up to 15 feet according to the zoning ordinance) or no setback in order to reinforce the street wall. If the site adjoins historic buildings, consider a setback consistent with these buildings.*
- 6. On corners of the West Main Street corridor, avoid deep setbacks or open corner plazas unless the design contributes to the pedestrian experience or improves the transition to an adjacent residential area.*
- 7. New buildings, particularly in the West Main Street corridor, should relate to any neighborhoods adjoining them. Buffer areas should be considered to include any screening and landscaping requirements of the zoning ordinance.*

8. At transitional sites between two distinctive areas of setback, for instance between new commercial and historic commercial, consider using setbacks in the new construction that reinforce and relate to

C. Spacing

2. Commercial and office buildings in areas that have a well-defined street wall should have minimal spacing between them.
3. In areas that do not have consistent spacing, consider limiting or creating a more uniform spacing in order to establish an overall rhythm.
4. Multi-lot buildings should be designed using techniques to incorporate and respect the existing spacing on a residential street.

P. 3.6 Massing & Footprint

1. New commercial infill buildings' footprints will be limited by the size of the existing lot in the downtown or along the West Main Street corridor. Their massing in most cases should be simple rectangles like neighboring buildings.
2. New infill construction in residential sub-areas should relate in footprint and massing to the majority of surrounding historic dwellings.
3. Neighborhood transitional buildings should have small building footprints similar to nearby dwellings.
 - a. If the footprint is larger, their massing should be reduced to relate to the smaller-scaled forms of residential structures.
 - b. Techniques to reduce massing could include stepping back upper levels, adding residential roof and porch forms, and using sympathetic materials.
4. Institutional and multi-lot buildings by their nature will have large footprints, particularly along the West Main Street corridor and in the 14th and 15th Street area of the Venable neighborhood.
 - a. The massing of such a large scale structure should not overpower the traditional scale of the majority of nearby buildings in the district in which it is located.
 - b. Techniques could include varying the surface planes of the buildings, stepping back the buildings as the structure increases in height, and breaking up the roof line with different elements to create smaller compositions.

E. Height and Width

1. Respect the directional expression of the majority of surrounding buildings. In commercial areas, respect the expression of any adjacent historic buildings, which generally will have a more vertical expression.
2. Attempt to keep the height and width of new buildings within a maximum of 200 percent of the prevailing height and width in the surrounding sub-area.
3. In commercial areas at street front, the height should be within 130 percent of the prevailing average of both sides of the block. Along West Main Street, heights should relate to any adjacent contributing buildings. Additional stories should be stepped back so that the additional height is not readily visible from the street.
4. When the primary façade of a new building in a commercial area, such as downtown, West Main Street, or the Corner, is wider than the surrounding historic buildings or the traditional lot size, consider modulating it with bays or varying planes.
5. Reinforce the human scale of the historic districts by including elements such as porches, entrances, storefronts, and decorative features depending on the character of the particular sub-area.
6. In the West Main Street corridor, regardless of surrounding buildings, new construction should use elements at the street level, such as cornices, entrances, and display windows, to reinforce the human scale.

F. Scale

1. Provide features on new construction that reinforce the scale and character of the surrounding area, whether human or monumental. Include elements such as storefronts, vertical and horizontal divisions, upper story windows, and decorative features.
2. As an exception, new institutional or governmental buildings may be more appropriate on a monumental scale depending on their function and their site conditions.

H. Orientation

1. New commercial construction should orient its façade in the same direction as adjacent historic buildings, that is, to the street.
2. Front elevations oriented to side streets or to the interior of lots should be discouraged.

I. Windows and Doors

1. The rhythm, patterns, and ratio of solids (walls) and voids (windows and doors) of new buildings should relate to and be compatible with adjacent historic facades.

a. The majority of existing buildings in Charlottesville's historic districts have a higher proportion of wall area than void area except at the storefront level.

b. In the West Main Street corridor in particular, new buildings should reinforce this traditional proportion.

2. The size and proportion, or the ratio of width to height, of window and door openings on new buildings' primary facades should be similar and compatible with those on surrounding historic facades.

a. The proportions of the upper floor windows of most of Charlottesville's historic buildings are more vertical than horizontal.

b. Glass storefronts would generally have more horizontal proportions than upper floor openings.

3. Traditionally designed openings generally are recessed on masonry buildings and have a raised surround on frame buildings. New construction should follow these methods in the historic districts as opposed to designing openings that are flush with the rest of the wall.

4. Many entrances of Charlottesville's historic buildings have special features such as transoms, sidelights, and decorative elements framing the openings. Consideration should be given to incorporating such elements in new construction.

5. Darkly tinted mirrored glass is not an appropriate material for windows in new buildings within the historic districts.

6. If small-paned windows are used, they should have true divided lights or simulated divided lights with permanently affixed interior and exterior muntin bars and integral spacer bars between the panes of glass.

7. Avoid designing false windows in new construction.

8. Appropriate material for new windows depends upon the context of the building within a historic district, and the design of the proposed building. Sustainable materials such as wood, aluminum-clad wood, solid fiberglass, and metal windows are preferred for new construction. Vinyl windows are discouraged.

9. Glass shall be clear. Opaque spandrel glass or translucent glass may be approved by the BAR for specific applications.

K. Street level Design

1. Street level facades of all building types, whether commercial, office, or institutional, should not have blank walls; they should provide visual interest to the passing pedestrian.

2. When designing new storefronts or elements for storefronts, conform to the general configuration of traditional storefronts depending on the context of the sub-area. New structures do offer the opportunity for more contemporary storefront designs.

3. Keep the ground level facades(s) of new retail commercial buildings at least eighty percent transparent up to a level of ten feet.

4. Include doors in all storefronts to reinforce street level vitality.

5. Articulate the bays of institutional or office buildings to provide visual interest.

6. Institutional buildings, such as city halls, libraries, and post offices, generally do not have storefronts, but their street levels should provide visual interest and display space or first floor windows should be integrated into the design.

7. Office buildings should provide windows or other visual interest at street level.

8. Neighborhood transitional buildings in general should not have transparent first floors, and the design and size of their facade openings should relate more to neighboring residential structures.

9. Along West Main Street, secondary (rear) facades should also include features to relate appropriately to any adjacent residential areas.

10. Any parking structures facing on important streets or on pedestrian routes must have storefronts, display windows, or other forms of visual relief on the first floors of these elevations.

11. A parking garage vehicular entrance/exit opening should be diminished in scale, and located off to the side to the degree possible.

L. Foundation and Cornice

1. Distinguish the foundation from the rest of the structure through the use of different materials, patterns, or textures.

2. Respect the height, contrast of materials, and textures of foundations on surrounding historic buildings.

3. If used, cornices should be in proportion to the rest of the building.

4. Wood or metal cornices are preferred. The use of fypon may be appropriate where the location is not immediately adjacent to pedestrians.

M. Materials and Textures

- 1. The selection of materials and textures for a new building should be compatible with and complementary to neighboring buildings.*
- 2. In order to strengthen the traditional image of the residential areas of the historic districts, brick, stucco, and wood siding are the most appropriate materials for new buildings.*
- 3. In commercial/office areas, brick is generally the most appropriate material for new structures. "Thin set" brick is not permitted. Stone is more commonly used for site walls than buildings.*
- 4. Large-scale, multi-lot buildings, whose primary facades have been divided into different bays and planes to relate to existing neighboring buildings, can have varied materials, shades, and textures.*
- 5. Synthetic siding and trim, including, vinyl and aluminum, are not historic cladding materials in the historic districts, and their use should be avoided.*
- 6. Cementitious siding, such as HardiPlank boards and panels, are appropriate.*
- 7. Concrete or metal panels may be appropriate.*
- 8. Metal storefronts in clear or bronze are appropriate.*
- 9. The use of Exterior Insulation and Finish Systems (EIFS) is discouraged but may be approved on items such as gables where it cannot be seen or damaged. It requires careful design of the location of control joints.*
- 10. The use of fiberglass-reinforced plastic is discouraged. If used, it must be painted.*
- 11. All exterior trim woodwork, decking and flooring must be painted, or may be stained solid if not visible from public right-of-way.*

O. Details and Decorations

- 1. Building detail and ornamentation should be consistent with and related to the architecture of the surrounding context and district.*
- 2. The mass of larger buildings may be reduced using articulated design details.*
- 3. Pedestrian scale may be reinforced with details.*

Discussion and Recommendations

The following items were required to come back to the BAR for final approval:

Color of stucco on C building

The applicant proposes two options: Benjamin Moore "Kingsport Gray," a medium brown-gray, or "Cloud White."

Courtyard Furnishings and Plantings

The courtyard has changed in character considerably from a public hotel entrance to a private eating patio with the proposed fence and gate. The pavers have been changed from brick to concrete, and landscaping will be submitted at the meeting, but will likely be limited to planters. From a design point of view, the courtyard could have been a great, welcoming public space.

Comprehensive Sign Package

The proposed signage is not permitted under current zoning regulations for the Downtown ADC District, but could be approved with a Comprehensive Signage Plan. Staff expressed concern previously about the proposed roof sign, because the building is designed around it.

Although the applicant has not yet applied for a Comprehensive Signage Plan (that would permit modifications from existing regulations for good reason, to be recommended by the BAR and approved by City Council) the BAR should discuss now if the roof sign is appropriate. Approving a roof sign would set a precedent for other commercial buildings Downtown and along West Main Street.

Staff could recommend four hotel signs, including one canopy sign at each main hotel entrance, and a monument sign at each car entrance to the parking lot. Staff would not recommend signage above the second floor window sills, and would not recommend internally lit signage. In the Downtown ADC district, externally lit signage or halo-lit letters are most common and appropriate. The two proposed flagpoles on the corner of the intersection are also probably intended to become signs.

Without a Comprehensive Signage Plan, permitted signage in the Downtown ADC District is fairly restrictive: three signs are permitted on a corner property; freestanding and monument signs are not permitted; internally lit signs (including channel letters) are not permitted; projecting signs may be 10 square feet; and the aggregate signage area permitted is 50 square feet. In addition, "The character of all signs shall be harmonious to the character of the structure on which they are placed. Among other things, consideration shall be given to the location of signs on the structure in relation to the surrounding buildings; the use of compatible colors; the use of appropriate materials; the size and style of lettering and graphics; and the type of lighting."

Further investigation whether planting is possible on the north side of the property in association with the parking deck

As requested by the BAR, the applicant has shown a planting easement on the adjacent property that includes London Planetrees, Japanese Cedars, and Oakleaf Hydrangeas. However, a copy of the proposed landscape easement is needed to confirm ongoing permission/ continued maintenance.

Banding on A & B buildings: approve either brick soldier course or precast options

The banding is shown as manufactured stone veneer, an acceptable option.

Final lighting and mechanical package

Lighting may not be placed or mounted above 20 feet in height. A photometric plan is included: Fixtures A and B are pole mounted, full cutoff. Fixture E is wall mounted fluorescent, 18 watt, which is low enough lumens to not require shielding. Fixture F is an LED downlight mounted under the canopies.

Zoning requires that all the rooftop mechanical units must be screened. Rooftop units on building C are not shown as screened; the BAR should decide if the parapet provides adequate screening.

The appearance of the parking garage ventilation as indicated in the front courtyard should be minimized.

Streetscape

Please note that the streetscape details along West Main Street, and at this site in particular, are intended to be addressed in the near future by a West Main Street design consultant. The City sidewalk area will probably be a combination of concrete and brick pavers to match the Mall side streets (Old Va. Brick Co. 4" x 8" Taylor Clay #317 Dark Red lugged pavers, laid in sand). Otherwise, the proposed design is not yet known.

Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for New Construction, I move to find that the following details for the proposed hotel satisfy the BAR's criteria and are compatible with this property and other properties in the Downtown ADC district, and that the BAR approves the following details with the following modifications...



P12-0070

RECEIVED

**Board of Architectural Review (BAR)
Certificate of Appropriateness**

APR 24 2012

NEIGHBORHOOD DEVELOPMENT SERVICES

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name VIM Inc (Contract purchaser) Applicant Name Clark Gathright
Project Name/Description West Main Residence Inn Parcel Number TM 32 Parcel 197
Property Address 315 West Main St.

Applicant Information

Address: 100 10th St NE Suite 200

Email: cgathright@dgarchs.com

Phone: (W) 971-8848 (H) _____

FAX: 296-3040

Property Owner Information (if not applicant)

Address: P.O. Drawer 359

Fayetteville, WV 25840

Email: wend1948@bellsouth.net

Phone: (W) 843-991-0396 (H) _____

FAX: _____

Do you intend to apply for Federal or State Tax Credits
for this project? No

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Signature _____

Date _____

Clark Gathright
Print Name

Date _____

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Signature _____

Date _____

Clark Gathright
Print Name

Date _____

Description of Proposed Work (attach separate narrative if necessary): 7-story hotel with one level of structured parking

List All Attachments (see reverse side for submittal requirements):

- Plans & elevations
- Color rendering

For Office Use Only

Received by: BSW

Fee paid: 350.00 Cash Chk. # 1088

Date Received: 4/24/2012

Approved/Disapproved by: _____

Date: _____

Conditions of approval: _____

P12-0070

May 28, 2013

Mary Joy Scala
Preservation and Design Planner
Neighborhood Development Services
City of Charlottesville
P.O. Box 911
Charlottesville, VA 22902

RECEIVED
MAY 29 2013
NEIGHBORHOOD DEVELOPMENT SERVICES

RE: Residence Inn, 301 West Main Street

Dear Mary Joy:

The May 28, 2013 BAR submittal package addresses the following items requested for final BAR approval at the November 20, 2012 meeting:

1. Color of stucco on C building -

Two stucco color options are provided for Building C. As requested by BAR members, a darker color (Benjamin Moore kingsport gray HC-86) is included for consideration. Please note that the renderings provided are for the purposes of color study and do not reflect complete details of the site.

2. Courtyard furnishings and plantings -

The Courtyard furnishings are included in the submittal. Planting information is currently being selected and will be provided in time for the BAR meeting.

3. Comprehensive sign package [requires BAR recommendation and City Council approval] -

The comprehensive sign package will be submitted separately for review by a signage company. Please note that any signage shown in the plans and renderings of this submittal package are not to be considered for approval.

4. Further investigation whether planting is possible on the north side of the property in association with the parking deck. -

An agreement with the adjacent property owner will allow plantings along the north side of the property as shown on the site plan.

5. Banding on A & B buildings: approve either brick soldier course or precast options -

The banding on Buildings A and B will be precast.

6. Exclude approval of final lighting and mechanical package until later date. -

The lighting and mechanical package is included for approval.

Should you have any questions, don't hesitate to call me.

Best regards,

A handwritten signature in black ink, appearing to read 'Clark Gathright', with a stylized, cursive script.

Clark Gathright, P.E.
Daggett & Grigg Architects, PC

Scala, Mary Joy

From: Scala, Mary Joy
Sent: Tuesday, January 15, 2013 2:41 PM
To: BAR
Subject: West Main Street projects

Since there are similarities between the two major projects we have seen on West Main Street – the hotel at Ridge-McIntire and the student housing, I thought it might be helpful to remember the hotel's approved materials:

7-story part: cement stucco smooth finish in cloud white; aluminum prefinished dark bronze 1/1 double windows 5'-8" x 5'-4";

3 story part: 1st floor: Arriscraft renaissance stone with smooth tan finish; 2nd and 3rd floors: Old Virginia modular brick wood mould finish Colonial red range with ivory buff mortar; 1/1 dark bronze Aluminum Quaker SH 8050 historical windows 2'-10" x 5'-4"

Mary Joy Scala, AICP

Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org



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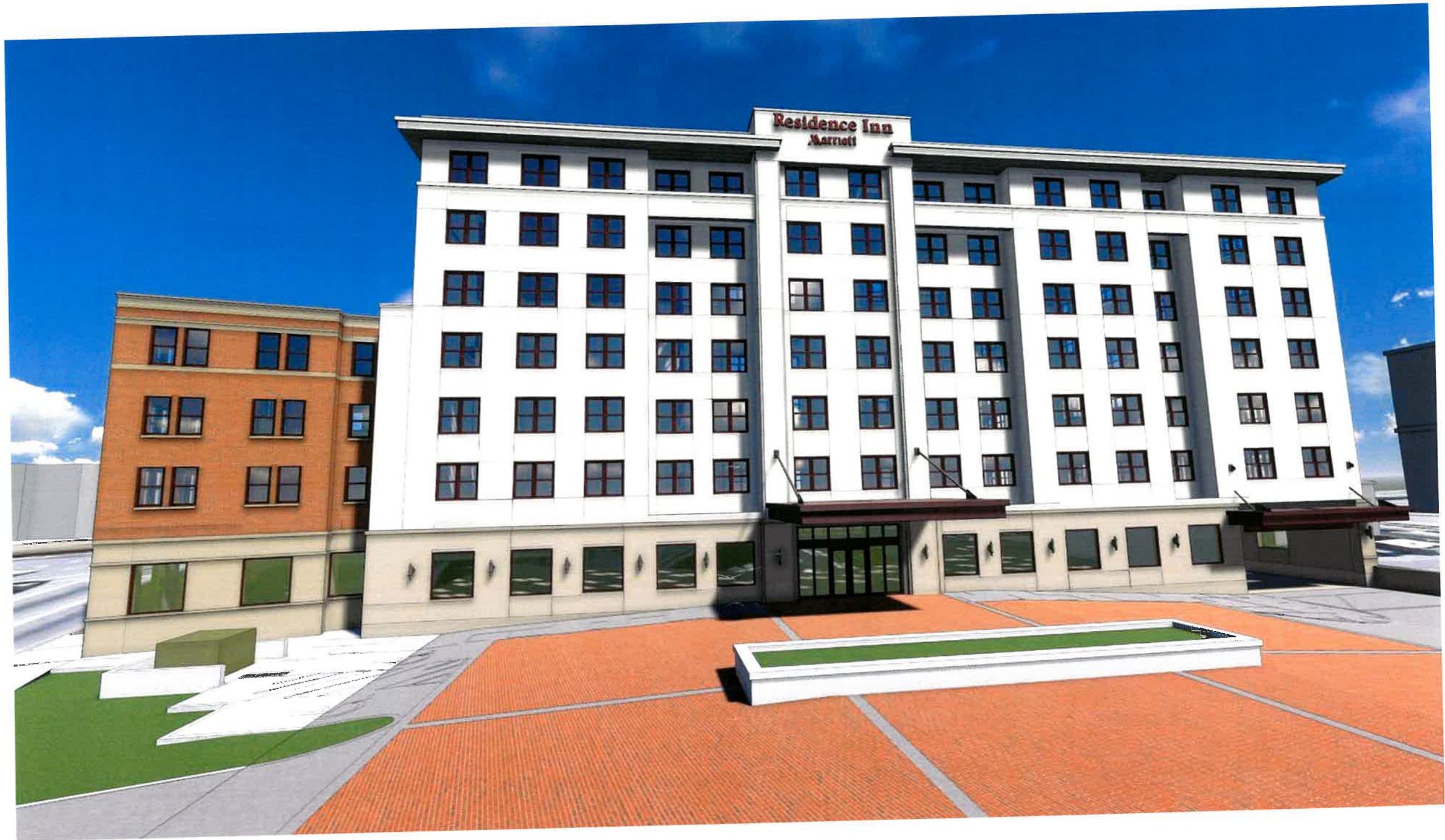
MAY 29 2013

NEIGHBORHOOD DEVELOPMENT SERVICES

CHARLOTTESVILLE, VIRGINIA

Stucco color study & Patio Furnishings

May 28, 2013



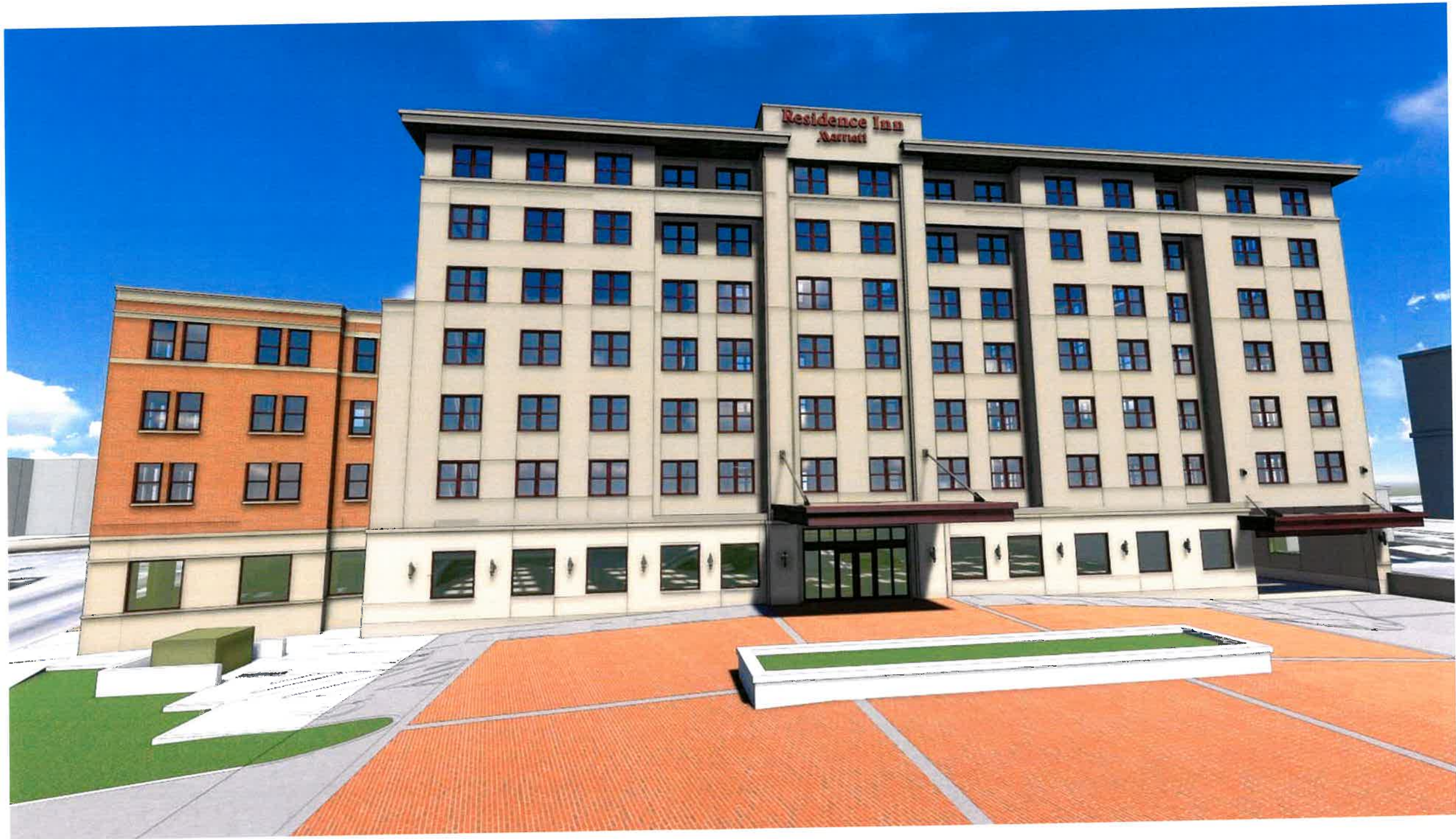
North Elevation - Stucco color: BM 130 Cloud White



South Elevation - Stucco color: BM 130 Cloud White



East Elevation - Stucco color: BM 130 Cloud White



North Elevation - Stucco color: BM HC-86 Kingsport Gray



East Elevation - Stucco color: BM HC-86 Kingsport Gray



8



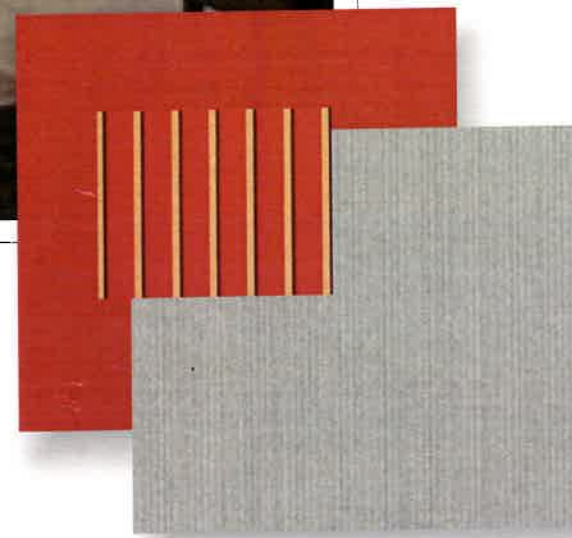
7



6



5



4



1



2



3



Patio



9



10



South Elevation - Stucco color: BM HC-86 Kingsport Gray





CHARLOTTESVILLE, VIRGINIA

RECEIVED

JUN 18 2013

NEIGHBORHOOD DEVELOPMENT SERVICES

Stucco color study

Revised June 18, 2013



North Elevation - Stucco color: BM HC-86 Kingsport Gray



South Elevation - Stucco color: BM HC-86 Kingsport Gray



East Elevation - Stucco color: BM HC-86 Kingsport Gray



West Elevation - Stucco color: BM HC-86 Kingsport Gray

RECEIVED

MAY 28 2013

NEIGHBORHOOD DEVELOPMENT SERVICES



CHARLOTTESVILLE, VIRGINIA

Index to Drawings

ARCHITECTURAL

- A0.0 Cover Sheet
- A1.0 Lower Level Parking Plan
- A1.1 Site Plan / Arrival Level Plan
- A1.2 Site Details
- A2.0 Arrival Level Plan
- A2.1 Ground Floor (Main Level) Floor Plan
- A2.2 Second & Mezzanine Floor Plan
- A2.3 Third & Fourth Floor Plans
- A2.4 Fifth, Sixth, and Seventh Floor Plans
- A2.5 Roof Plan
- A3.1 Exterior Elevations
- A3.2 Exterior Elevations
- A3.3 Exterior Elevations
- A3.4 Exterior Elevations
- A3.5 Exterior Elevations
- A3.6 Exterior Elevations
- A7.1 Building Section
- A7.2 Building Section
- A7.3 Section Details
- A7.4 Section Details
- A7.5 Section Details
- A7.6 Section Details

CIVIL

- C1.1 Site Plan

ELECTRICAL

- E1.0 Site Photometric Plan

Project Data

SITE ACREAGE: 48,974 SQ. FT. (1.12 ACRES)

GUEST ROOMS: 124

PARKING SPACES: GARAGE PARKING: 82 SPACES
GRADE PARKING: 31 SPACES
TOTAL PARKING: 113 SPACES

CONSTRUCTION TYPE: 1 B

FLOORS: 7 FLOORS

BUILDING HEIGHT: 63'-4" TO TOP OF STRUCTURAL ROOF
12'-4" TO TOP OF PARAPET

SQUARE FOOTAGE:

FLOOR	GROSS SQ. FOOTAGE	
LOWER LEVEL PARKING PLAN	31,438 SQ. FT.	
LOWER LEVEL PLAN		6,218 SQ. FT.
ELEVATED PARKING STRUCTURE	18,200 SQ. FT.	
GROUND FLOOR PLAN		21,032 SQ. FT.
SECOND FLOOR / MEZZANINE PLAN		15,520 SQ. FT.
THIRD FLOOR PLAN		19,316 SQ. FT.
FOURTH FLOOR PLAN		19,316 SQ. FT.
FIFTH FLOOR PLAN		12,080 SQ. FT.
SIXTH FLOOR PLAN		12,080 SQ. FT.
SEVENTH FLOOR PLAN		11,811 SQ. FT.
TOTAL	96,988 SQ. FT.	126,034 SQ. FT.



803 S. MOUNT MORIAH
SUITE 100B
MEMPHIS, TN 38117
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(901) 683-2385 f.
lmw@lwarehitects.com

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SEAL



CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

COVER SHEET
WITH PROJECT
DATA

DATE: 5/28/13

DRAWN BY: AP

CHECKED BY: PEL

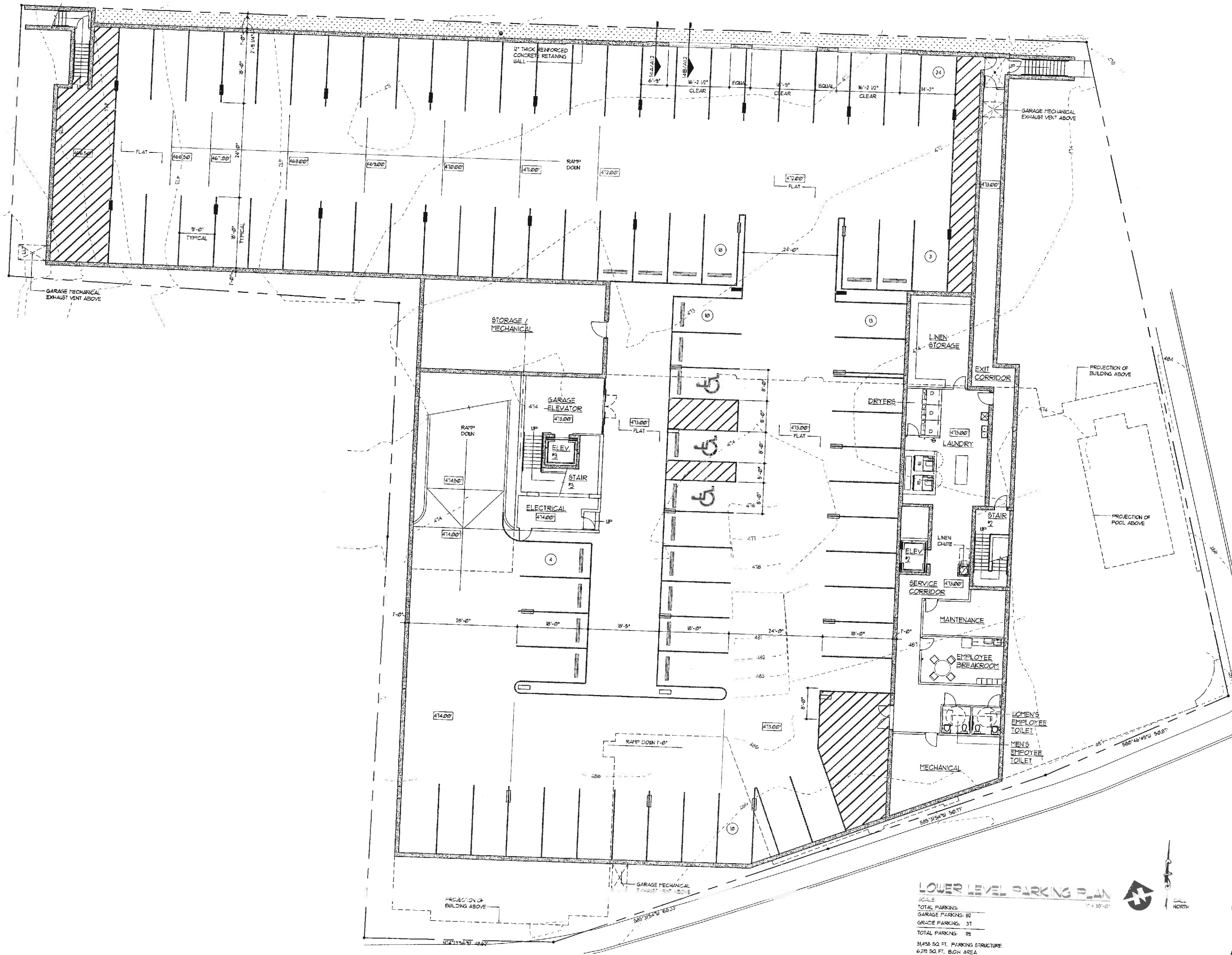
FILE NAME: 1611-A000

SCALE: NONE

PROJECT NO.: 1611

DRAWING

A0.0



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CHARLOTTESVILLE,
VIRGINIA

SHEET NAME
LOWER LEVEL
PARKING PLAN

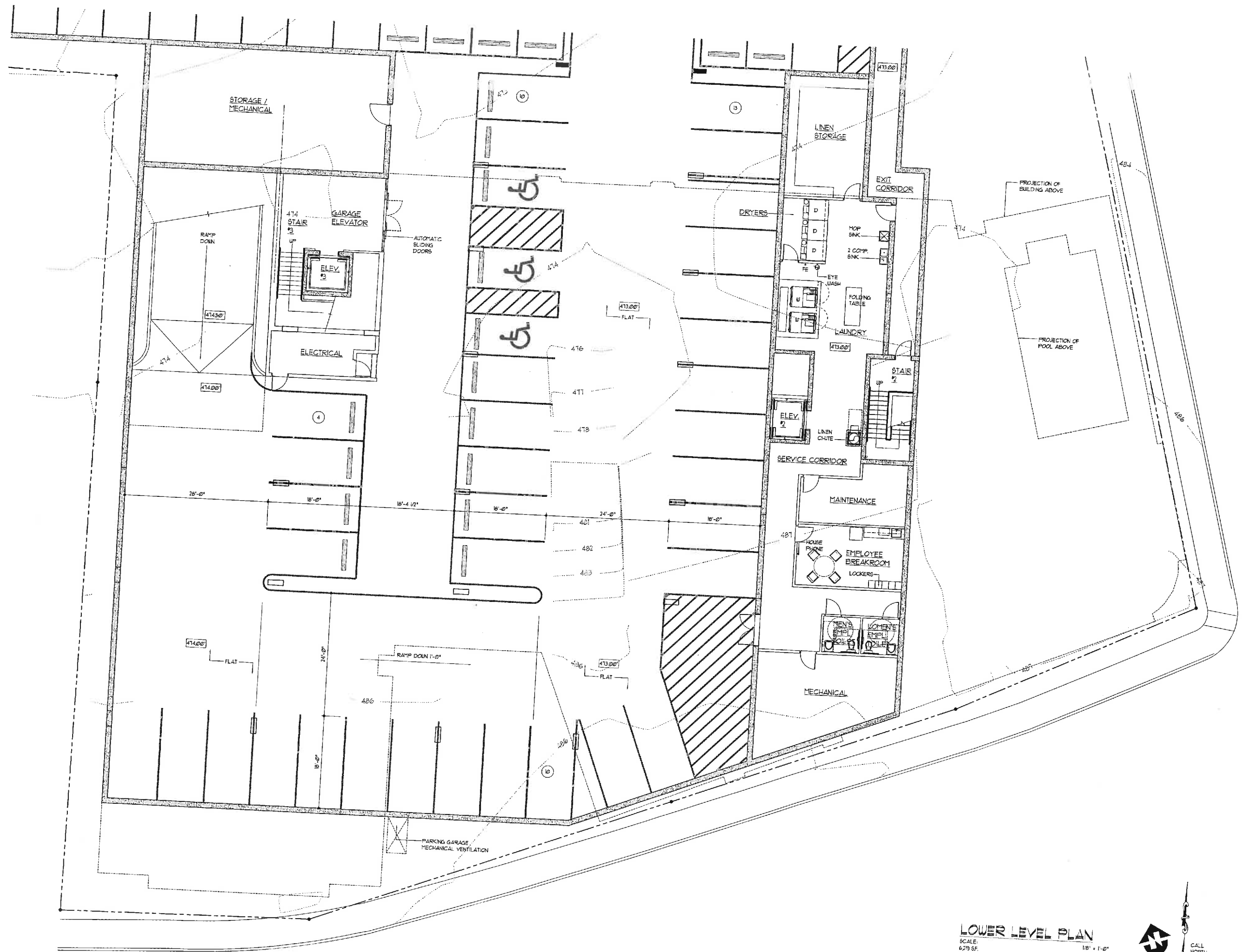
DATE	5/28/13
DRAWN BY	AM
CHECKED BY	PEL
FILE NAME	1611-A100
SCALE	AS NOTED
PROJECT NO.	1611
DRAWING	

LOWER LEVEL PARKING PLAN

SCALE:
TOTAL PARKING: 119
GARAGE PARKING: 82
GRADE PARKING: 37
TOTAL PARKING: 119
31,408 SQ. FT. PARKING STRUCTURE
6,719 SQ. FT. B.O.N. AREA



A1.0



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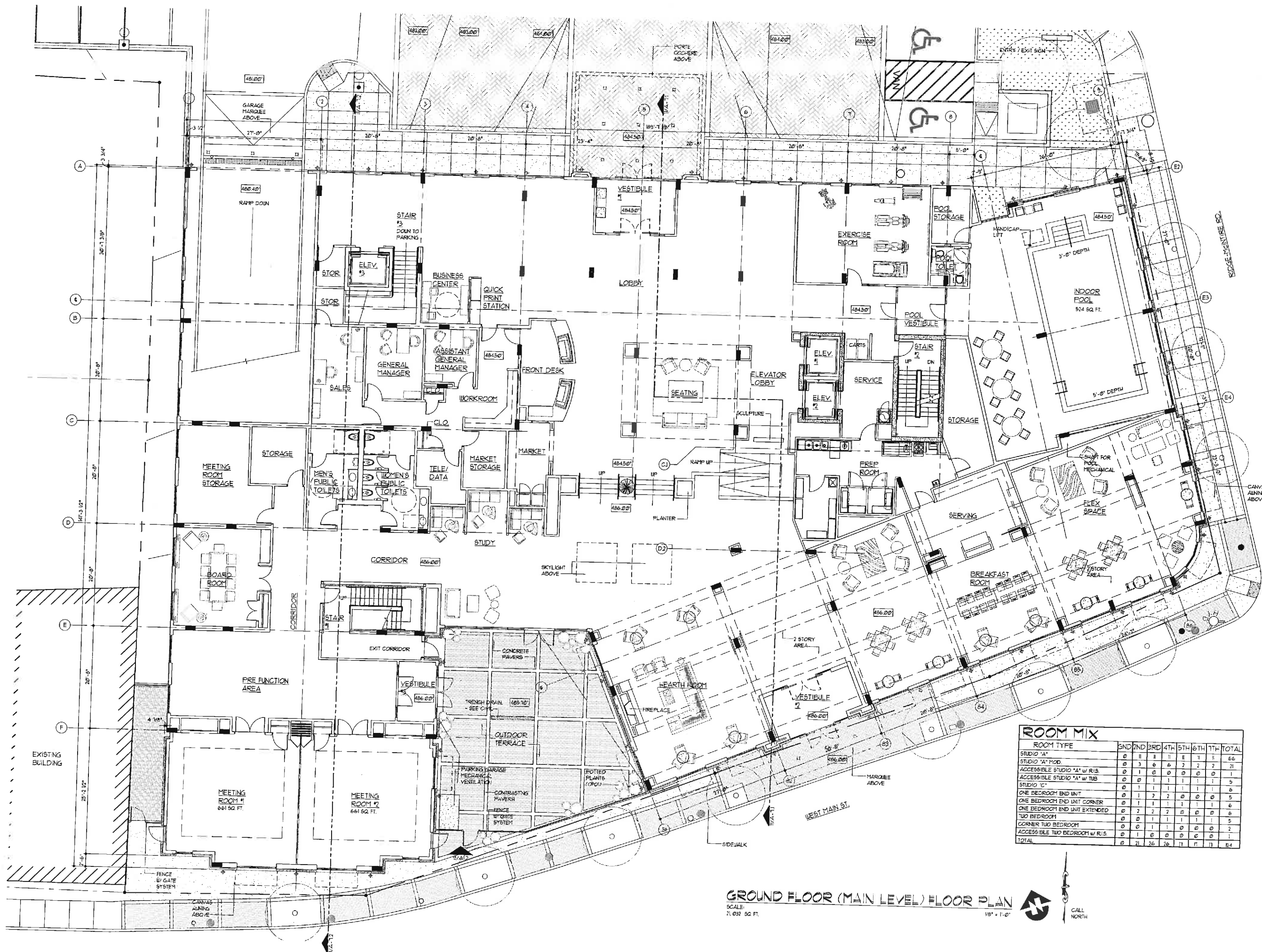
SHEET NAME
LOWER LEVEL
PLAN

DATE	5/28/13
DRAWN BY	ICB
CHECKED BY	PEL
FILE NAME	1611-A200
SCALE	AS NOTED
PROJECT NO.	1611
DRAWING	

LOWER LEVEL PLAN
SCALE:
6,279 SF. 1/8" = 1'-0"



A2.0



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CHARLOTTESVILLE,
 VIRGINIA

SHEET NAME

GROUND FLOOR
 (MAIN LEVEL)
 FLOOR PLAN

DATE

5/28/13

DRAWN BY

ICB

CHECKED BY

PEL

FILE NAME

1611-A201

SCALE

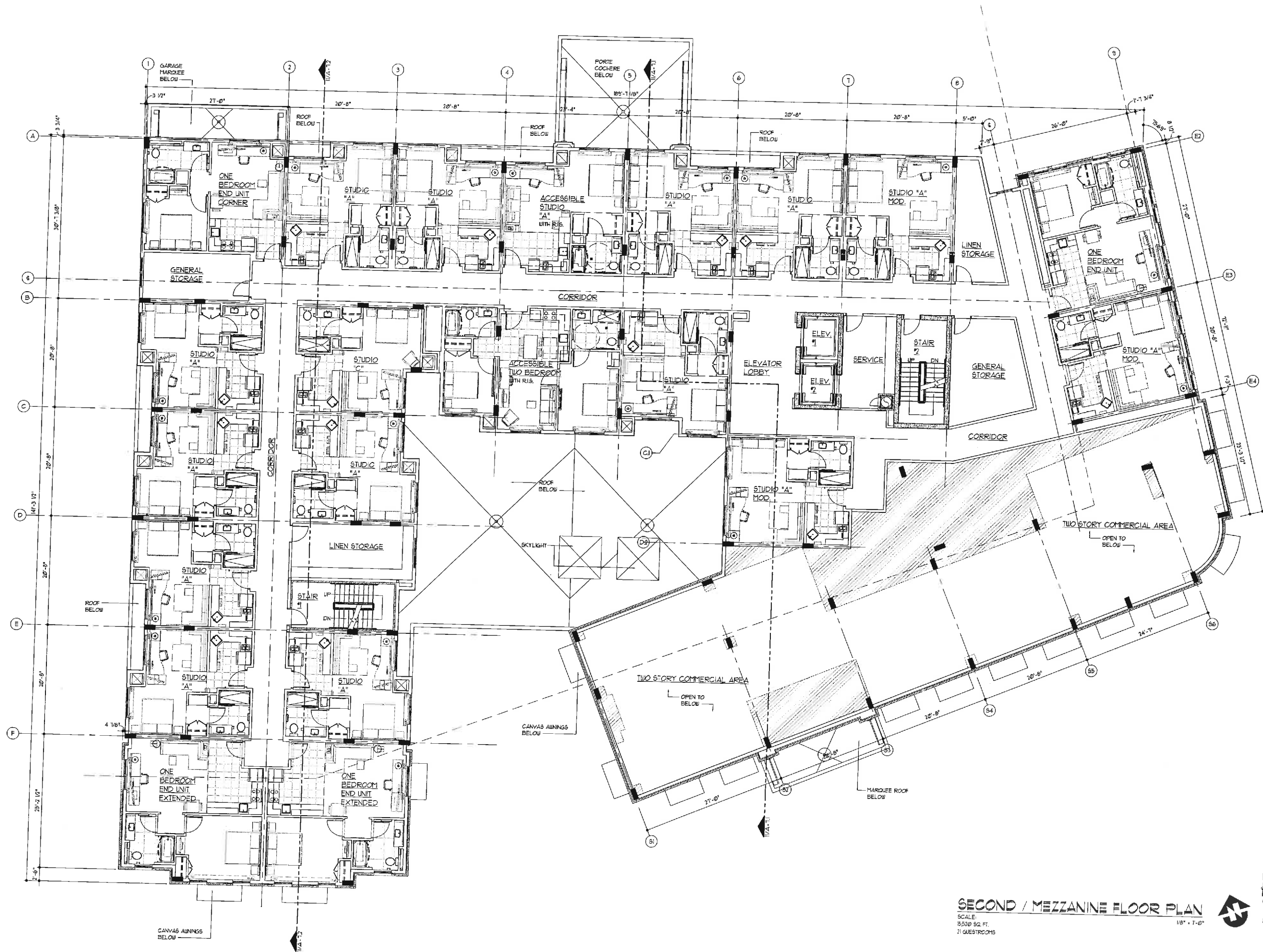
AS NOTED

PROJECT NO.

1611

DRAWING

A2.1



SECOND / MEZZANINE FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 15,520 SQ. FT.
 21 GUESTROOMS



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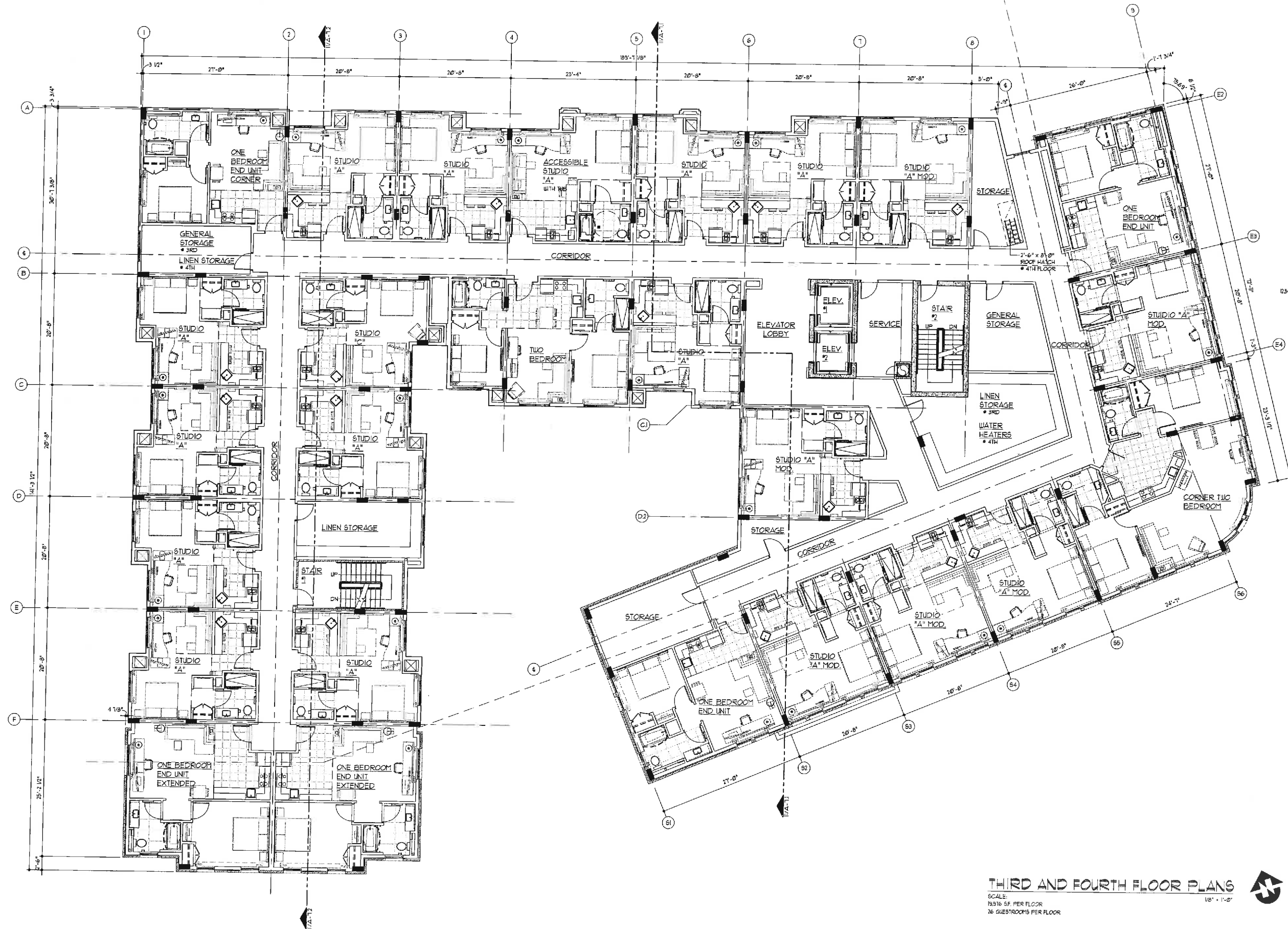
CHARLOTTESVILLE,
 VIRGINIA

SHEET NAME

SECOND / MEZZANINE
 FLOOR PLAN

DATE	5/28/13
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CHECKED BY	PEL
FILE NAME	1611-A202
SCALE	AS NOTED
PROJECT NO.	1611
DRAWING	

A2.2



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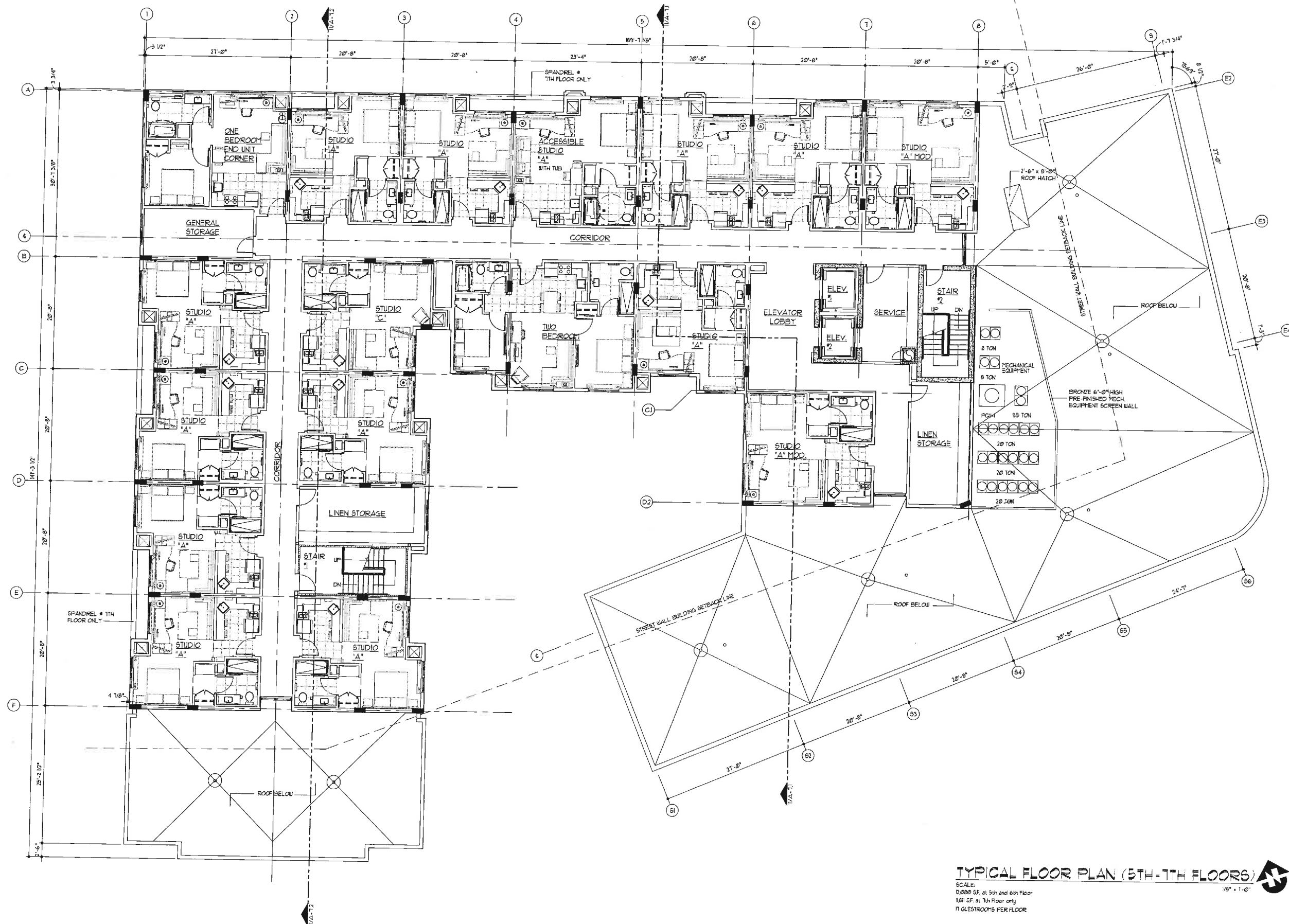
THIRD AND FOURTH
FLOOR PLANS

DATE	5/28/13
DRAWN BY	ICB
CHECKED BY	PEL
FILE NAME	1611-A203
SCALE	AS NOTED
PROJECT NO.	1611
DRAWING	



CALL
NORTH

A2.3



TYPICAL FLOOR PLAN (5TH-7TH FLOORS)

SCALE:
 1/8" = 1'-0"
 1/16" = 1'-0"
 1/32" = 1'-0"

1/8" = 1'-0"

CALL NORTH



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 SUITE 100B
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CHARLOTTEVILLE,
 VIRGINIA

SHEET NAME

TYPICAL FLOOR
 PLAN (5TH-7TH)
 FLOORS

DATE	5/28/13
DRAWN BY	ICB
CHECKED BY	PEL
FILE NAME	1611-A204
SCALE	AS NOTED
PROJECT NO.	1611
DRAWING	

A2.4



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SEAL



CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

ROOF
PLAN

DATE 5/28/13
DRAWN BY AP
CHECKED BY PEL
FILE NAME 1611-A205
SCALE AS NOTED
PROJECT NO. 1611
DRAWING

ROOF PLAN
SCALE: 1/8" = 1'-0"



CALL
NORTH

A2.5



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EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	ARRISCRRAFT RENAISSANCE STONE	SMOOTH	TAN
BUILDING SKIN	OLD VIRGINIA BRICK MODULAR	WOOD MOLD	COLONIAL RED RANGE
BUILDING SKIN	CEMENT STUCCO	SMOOTH	*30 CLOUD WHITE - BENJAMIN MOORE
MORTAR	CEMENT	CONCAVE	IVORY BUFF - ARGOS MASONRY CEMENT
WINDOWS	ALUMINUM/QUAKER 8050 SH 80500 HISTORICAL	PRE-FIN	DARK BRONZE
STOREFRONT	ALUMINUM KAJNEER	PRE-FIN	DARK BRONZE
SLATING	ANNEALED OR TEMPERED	LOU-E	CLEAR
MARQUEE	ALUMINUM	PRE-FIN	DARK BRONZE
CANVAS AWNINGS	CANVAS	SMOOTH	BURGANDY
CEILING & RECESSED ENTRIES	STUCCO	SMOOTH	T.B.D.
MECHANICAL LOUVERS	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	COLOR TO MATCH ADJACENT SURFACE
COPING, EXPOSED FLASHING	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
LIGHT FIXTURES	ALUMINUM	PRE-FIN	DARK BRONZE
FLAG POLES	ALUMINUM	PRE-FIN	DARK BRONZE
BRICK PAVERS	OLD VIRGINIA BRICK	TAYLOR	*17 DARK RED LUGGED ITEM #1R3
		CLAY 4"x8"	

GRAPHIC SCHEDULE	
	BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOLD
	STONE : ARRISCRRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH
	MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF
	STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE *30

KEY LEGEND	
	WINDOW KEY (SEE SHEET A3.4)
	DOOR KEY (SEE SHEET A3.2)
	SECTION KEY (SEE SHEET NUM INSIDE OF KEY)
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.)

SOUTH ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"



CHARLOTTESVILLE,
VIRGINIA

SHEET NAME
EXTERIOR
ELEVATIONS
(ROTATED)

DATE	5/28/13
DRAWN BY	AP
CHECKED BY	PEL
FILE NAME	1611-A301
SCALE	AS NOTED
PROJECT NO.	1611
DRAWING	

A3.1



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SUITE 100B
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(901) 883-7175 p.
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llw@llwarchitects.com

ISSUED	DATE
50% PROGRESS SET	6/13/13
PERMIT SET	8/12/13

NO.	REVISIONS	DATE

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STRUCTURAL:
STRUCTURAL ENGINEERING, INC.
(863) 815-9541

MECHANICAL:
CRABTREE ENGINEERING
(901) 767-9898

PLUMBING:
CRABTREE ENGINEERING
(901) 767-9898

ELECTRICAL:
CHS ENGINEERING
(901) 830-5300

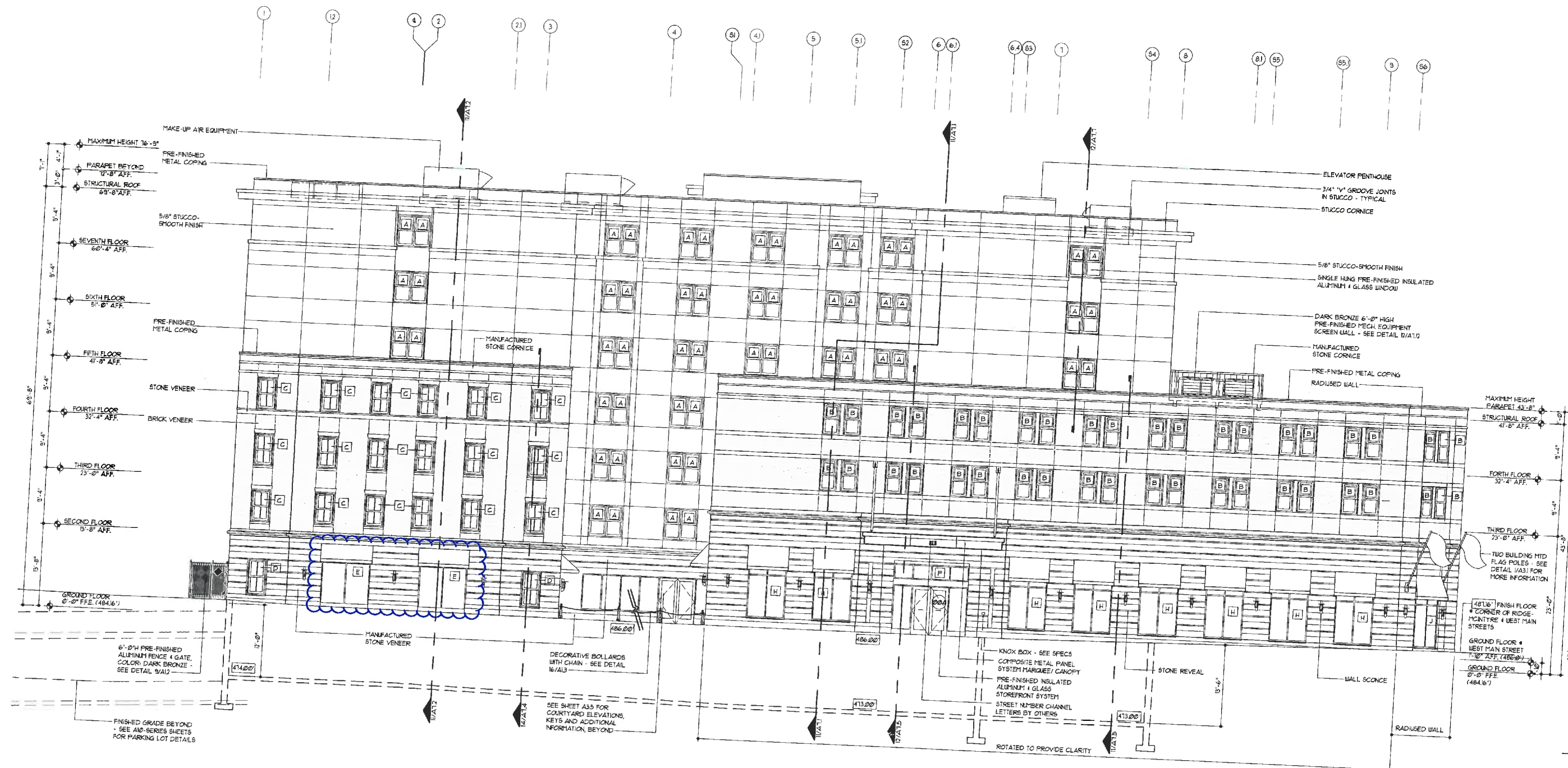
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CHARLOTTEVILLE,
VIRGINIA

SHEET NAME
EXTERIOR ELEVATIONS

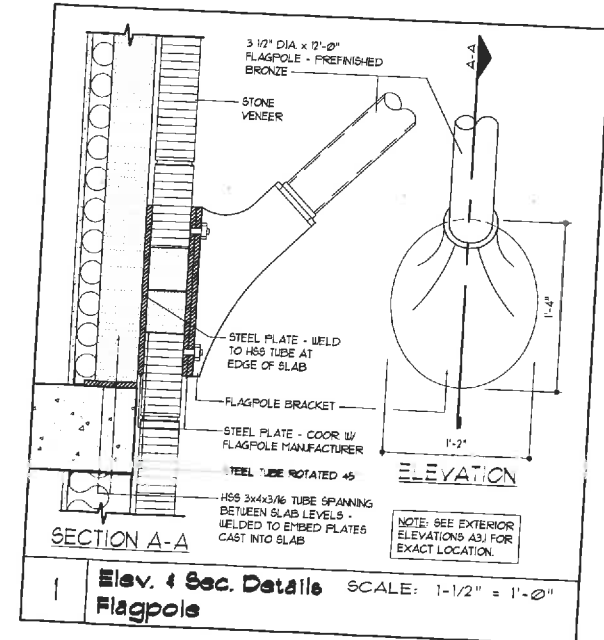
DATE	8/12/13
DRAWN BY	AM
CHECKED BY	PEL
FILE NAME	1611-A301
SCALE	AS NOTED
PROJECT NO.	1611
DRAWING	



EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	ARRISCRAFT RENAISSANCE STONE	SMOOTH	TAN
BUILDING SKIN	OLD VIRGINIA BRICK MODULAR	SMOOTH	COLONIAL RED RANGE
BUILDING SKIN	CEMENT STUCCO	SMOOTH	*4C 86 KINGSFORD GRAY (BENJAMIN MOORE)
MORTAR	CEMENT	SMOOTH	COLONIAL RED RANGE
WINDOWS	ALUMINUM/QUAKER 8050 SH 8050 HISTORICAL	CONCAVE	IVORY BUFF - ARGOS MASONRY CEMENT
STOREFRONT	ALUMINUM/KAUNER	PRE-FIN	DARK BRONZE
GLAZING	ANNEALED OR TEMPERED	LOUVE	DARK BRONZE
MARQUEE	ALUMINUM	LOUVE	CLEAR
CANVAS AWNINGS	CANVAS	PRE-FIN	DARK BRONZE
CEILINGS - RECESSED ENTRIES	STUCCO	SMOOTH	BURGANDY
MECHANICAL LOUVERS	ALUMINUM	SMOOTH	T.B.D.
HOLLOW METAL DOORS	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
CORPUS EXPOSED FLASHING	ALUMINUM	PAINT	COLOR TO MATCH ADJACENT SURFACE
LIGHT FIXTURES	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
FLAG POLES	ALUMINUM	PRE-FIN	DARK BRONZE
BRICK PAVERS	OLD VIRGINIA BRICK	TAYLOR	*5T DARK RED LUGGED ITEM #118

GRAPHIC SCHEDULE	
	BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOULD
	STONE : ARRISCRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH
	MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF
	STUCCO BENJAMIN MOORE CLASSIC COLOR: KINGSFORD GRAY *4C-86

KEY LEGEND	
	WINDOW KEY (SEE SHEET A34)
	DOOR KEY (SEE SHEET A32)
	SECTION KEY (SEE SHEET NUM. INSIDE OF KEY)
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR)



SOUTH ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

A3.1



803 S. MOUNT MORIAH
SUITE 100B
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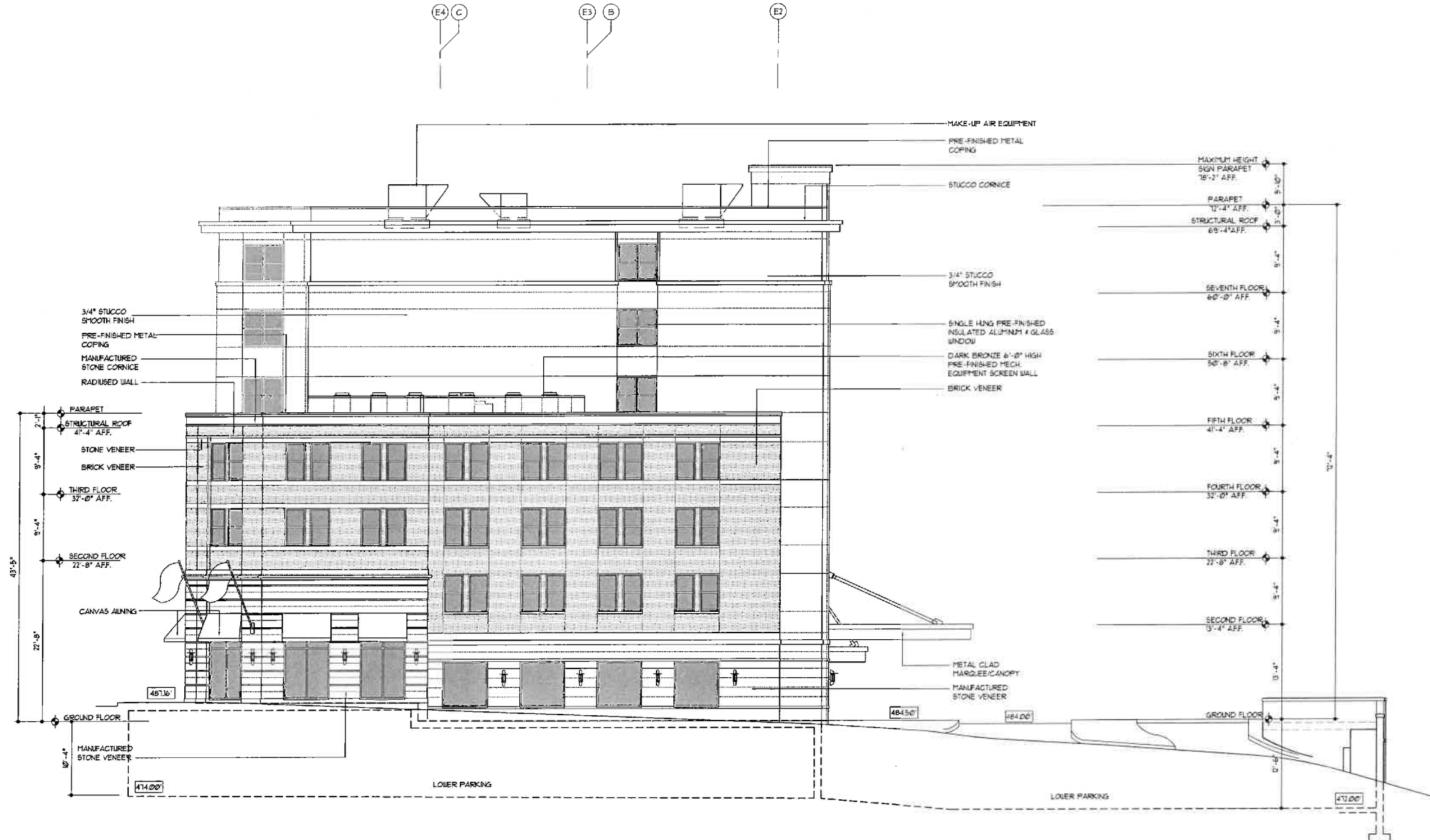


CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

EXTERIOR
ELEVATIONS

DATE	5/28/13
DRAWN BY	AP
CHECKED BY	PEL
FILE NAME	1611-A302
SCALE	AS NOTED
PROJECT NO.	1611
DRAWING	



EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKN	ARRISCRAFT RENAISSANCE STONE	SMOOTH	TAN
BUILDING SKN	OLD VIRGINIA BRICK MODULAR	WOOD MOLD	COLONIAL RED RANGE
BUILDING SKN	CEMENT STUCCO	SMOOTH	130 CLOUD WHITE - BENJAMIN MOORE
MORTAR	CEMENT	CONCAVE	IVORY BUFF - ARGOS MASONRY CEMENT
WINDOWS	ALUMINUM/QUAKER 8050 SH 8050 HISTORICAL	PRE-FIN	DARK BRONZE
STOREFRONT	ALUMINUM/KAINER	PRE-FIN	DARK BRONZE
GLAZING	ANNEALED OR TEMPERED	LOU-E	CLEAR
MARQUEE	ALUMINUM	PRE-FIN	DARK BRONZE
CANVAS AWNINGS	CANVAS	SMOOTH	BURGANDY
CEILINGS • RECESSED ENTRIES	STUCCO	SMOOTH	T.B.D.
MECHANICAL LOUVERS	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	COLOR TO MATCH ADJACENT SURFACE
COPING EXPOSED FLASHING	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
LIGHT FIXTURES	ALUMINUM	PRE-FIN	DARK BRONZE
FLAG POLES	ALUMINUM	PRE-FIN	DARK BRONZE
BRICK PAVERS	OLD VIRGINIA BRICK	TAYLOR	311 DARK RED LUGGED ITEM #1LR3

GRAPHIC SCHEDULE	
	BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOLD
	STONE : ARRISCRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH
	MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF
	STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE 130

KEY LEGEND	
	WINDOW KEY (SEE SHEET A34)
	DOOR KEY (SEE SHEET A32)
	SECTION KEY (SEE SHEET NUM. INSIDE OF KEY)
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRID, FLR.)

EAST ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

A3.2



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SUITE 100B
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(901) 683-7175 p.
(901) 683-2385 f.
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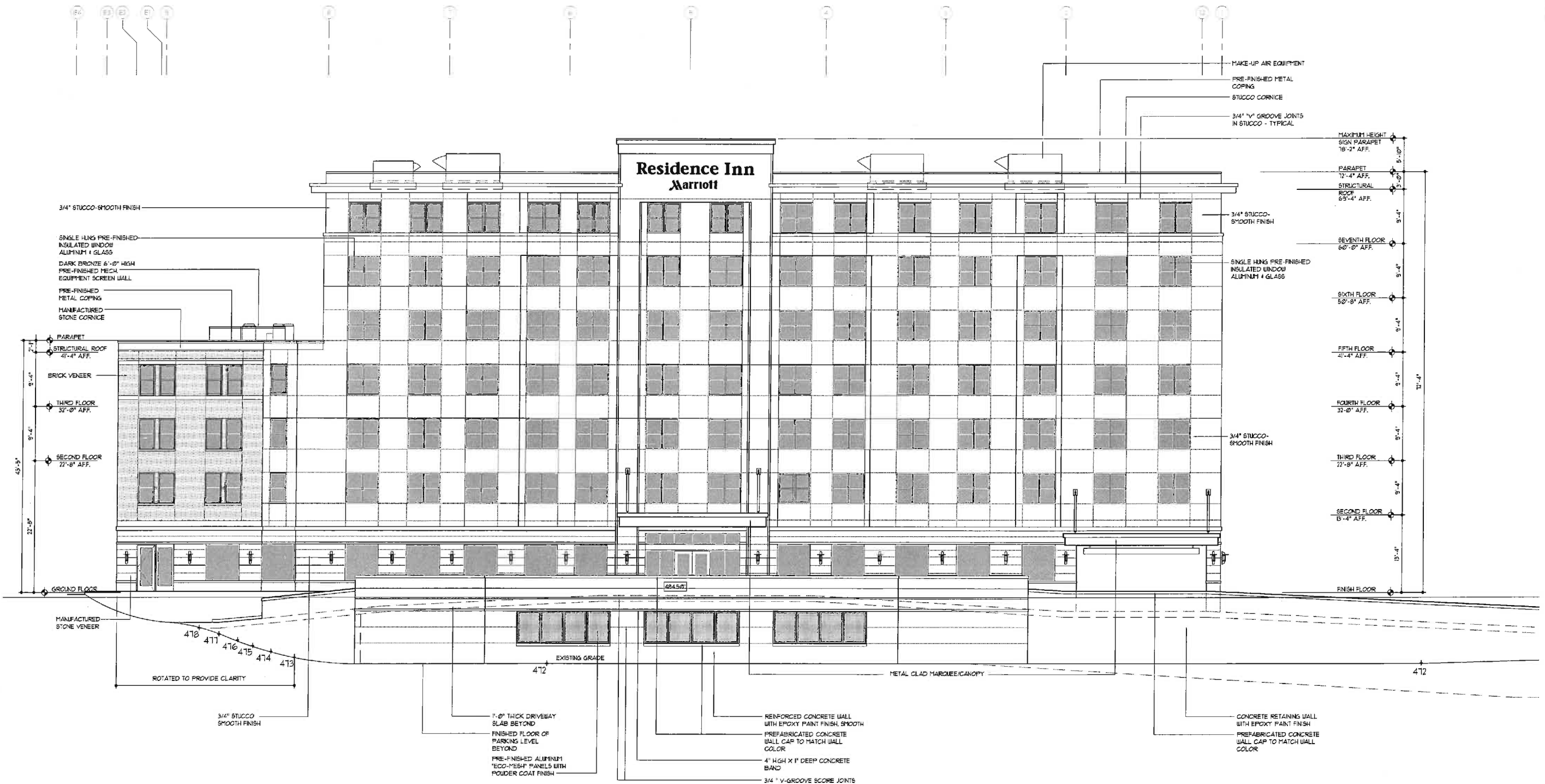


CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

EXTERIOR
ELEVATIONS

DATE 5/28/13
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CHECKED BY PEL
FILE NAME 1611-A303
SCALE AS NOTED
PROJECT NO. 1611
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EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	ARRISCRAFT RENAISSANCE STONE	SMOOTH	TAN
BUILDING SKIN	OLD VIRGINIA BRICK MODULAR	WOOD MOULD	COLONIAL RED RANGE
BUILDING SKIN	CEMENT STUCCO	SMOOTH	130 CLOUD WHITE - BENJAMIN MOORE
MORTAR	CEMENT	CONCAVE	IVORY BUFF - ARGOS MASONRY CEMENT
WINDOBS	ALUMINUM/QUAKER 8050 SH 8050 HISTORICAL	PRE-FIN	DARK BRONZE
STOREFRONT	ALUMINUM KAINIER	PRE-FIN	DARK BRONZE
GLAZING	ANNEALED OR TEMPERED	LOW-E	CLEAR
MARQUEE	ALUMINUM	PRE-FIN	DARK BRONZE
CANVAS AWNINGS	CANVAS	SMOOTH	BURGANDY
CEILINGS - RECESSED ENTRIES	STUCCO	SMOOTH	T.B.D.
MECHANICAL LOUVERS	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	COLOR TO MATCH ADJACENT SURFACE
COPING, EXPOSED FLASHING	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
LIGHT FIXTURES	ALUMINUM	PRE-FIN	DARK BRONZE
FLAG POLES	ALUMINUM	PRE-FIN	DARK BRONZE
BRICK PAVERS	OLD VIRGINIA BRICK	TAYLOR	5/11 DARK RED LUGGED ITEM #1R3

GRAPHIC SCHEDULE	
	BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOULD
	STONE : ARRISCRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH
	MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF
	STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE 130

KEY LEGEND	
	WINDOW KEY (SEE SHEET A3.4)
	DOOR KEY (SEE SHEET A3.2)
	SECTION KEY (SEE SHEET NUM. INSIDE OF KEY)
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.)

NORTH ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

A3.3



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SUITE 100B
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(901) 683-7175 p.
(901) 683-2385 f.
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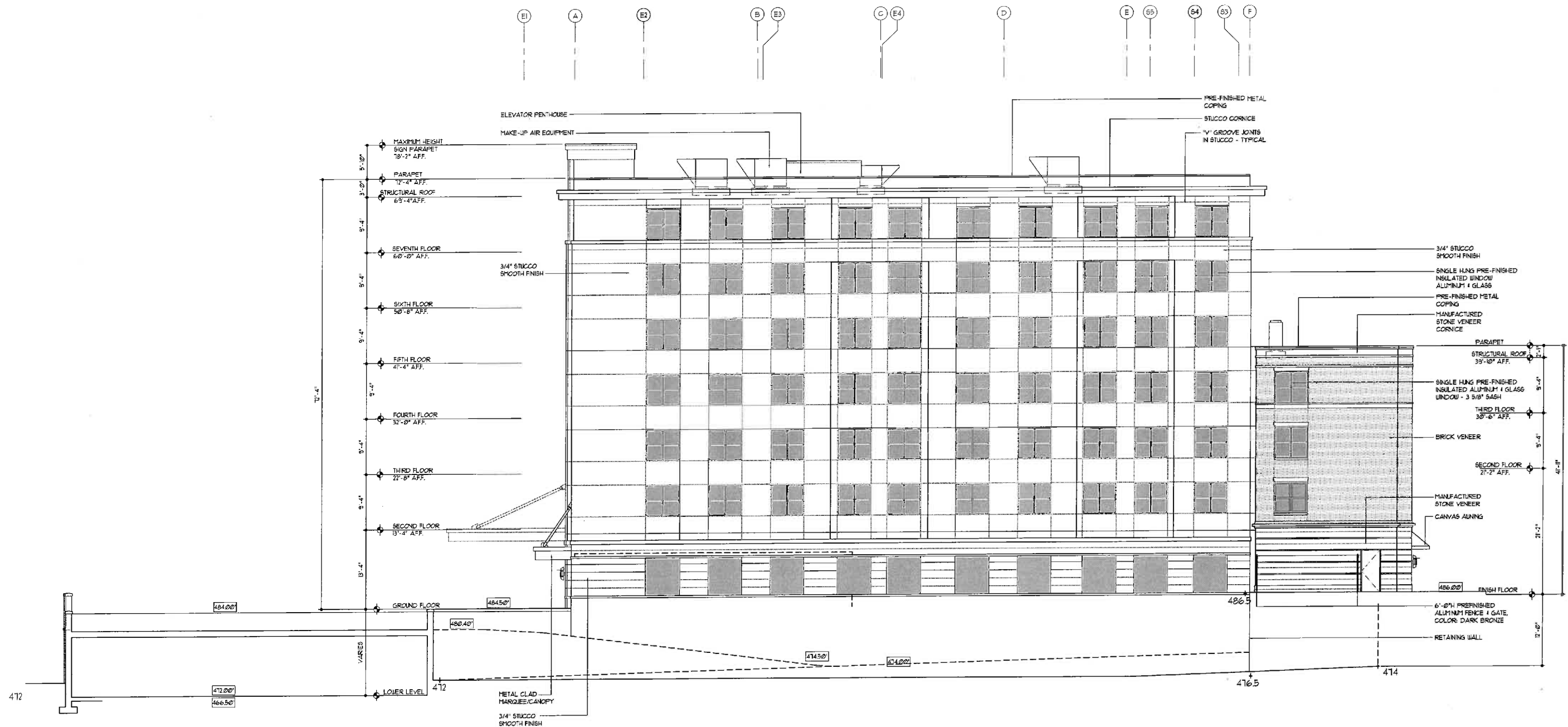


CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

EXTERIOR
ELEVATIONS

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SCALE	AS NOTED
PROJECT NO.	1611
DRAWING	



EXTERIOR FINISH SCHEDULE

BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	ARRISCRAFT RENAISSANCE STONE	SMOOTH	TAN
BUILDING SKIN	OLD VIRGINIA BRICK MODULAR	WOOD MOLD	COLONIAL RED RANGE
BUILDING SKIN	CEMENT STUCCO	SMOOTH	#30 CLOUD WHITE - BENJAMIN MOORE
MORTAR	CEMENT	CONCAVE	IVORY BUFF - ARGOS MASONRY CEMENT
WINDOWS	ALUMINUM/QUAKER 8050 SH 8050 HISTORICAL	PRE-FIN	DARK BRONZE
STOREFRONT	ALUMINUM KAWNEER	PRE-FIN	DARK BRONZE
GLAZING	ANNEALED OR TEMPERED	LOW-E	CLEAR
MARQUES	ALUMINUM	PRE-FIN	DARK BRONZE
CANVAS AWNINGS	CANVAS	SMOOTH	BURGANDY
CEILINGS • RECESSED ENTRIES	STUCCO	SMOOTH	T.B.D.
MECHANICAL LOUVERS	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	COLORS TO MATCH ADJACENT SURFACE
COPING EXPOSED FLASHING	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
LIGHT FIXTURES	ALUMINUM	PRE-FIN	DARK BRONZE
FLAG POLES	ALUMINUM	PRE-FIN	DARK BRONZE
BRICK PAVERS	OLD VIRGINIA BRICK	TAYLOR CLAY 4"X6"	#17 DARK RED LUGGED ITEM #1LR3

GRAPHIC SCHEDULE

	BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOLD
	STONE : ARRISCRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH
	MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF
	STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE #30

KEY LEGEND	
	WINDOW KEY (SEE SHEET A34)
	DOOR KEY (SEE SHEET A37)
	SECTION KEY (SEE SHEET NUM. INSIDE OF KEY)
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.)

WEST ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

A3.4



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SUITE 100B
MEMPHIS, TN 38117
(901) 683-7175 p.
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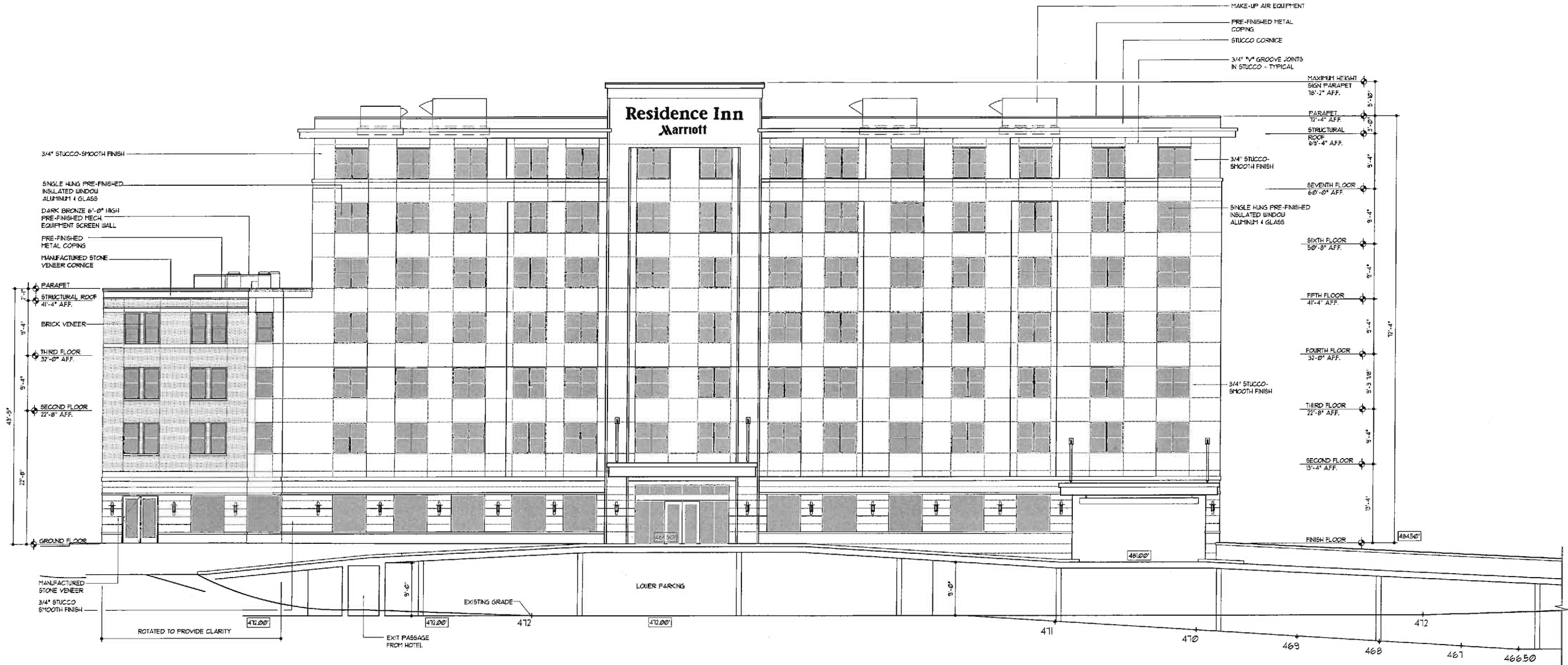


CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

EXTERIOR
ELEVATIONS

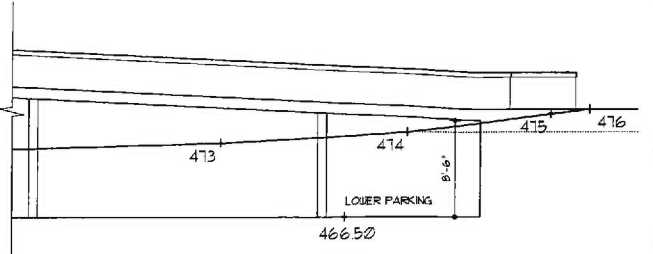
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EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	ARRISCRAFT RENAISSANCE STONE	SMOOTH	TAN
BUILDING SKIN	OLD VIRGINIA BRICK MODULAR	WOOD MOLD	COLONIAL RED RANGE
BUILDING SKIN	CEMENT STUCCO	SMOOTH	130 CLOUD WHITE - BENJAMIN MOORE
MORTAR	CEMENT	CONCAVE	IVORY BUFF - ARGOS MASONRY CEMENT
WINDOWS	ALUMINUM/MAKER 8050 SH 8050 HISTORICAL	PRE-FIN	DARK BRONZE
STOREFRONT	ALUMINUM/KAWNEER	PRE-FIN	DARK BRONZE
GLAZING	ANNEALED OR TEMPERED	LOW-E	CLEAR
MARQUEE	ALUMINUM	PRE-FIN	DARK BRONZE
CANVAS AWNINGS	CANVAS	SMOOTH	BURGANDY
CEILING & RECESSED ENTRIES	STUCCO	SMOOTH	T.B.D.
MECHANICAL LOUVERS	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	COLOR TO MATCH ADJACENT SURFACE
COPING EXPOSED FLASHING	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
LIGHT FIXTURES	ALUMINUM	PRE-FIN	DARK BRONZE
FLAG POLES	ALUMINUM	PRE-FIN	DARK BRONZE
BRICK PAVERS	OLD VIRGINIA BRICK	TAYLOR	91T DARK RED LUGGED ITEM #1LR3

GRAPHIC SCHEDULE	
	BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOLD
	STONE : ARRISCRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH
	MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF
	STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE 130

KEY LEGEND	
	WINDOW KEY (SEE SHEET A3.4)
	DOOR KEY (SEE SHEET A3.2)
	SECTION KEY (SEE SHEET NUM. INSIDE OF KEY)
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.)



NORTH ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

A3.5



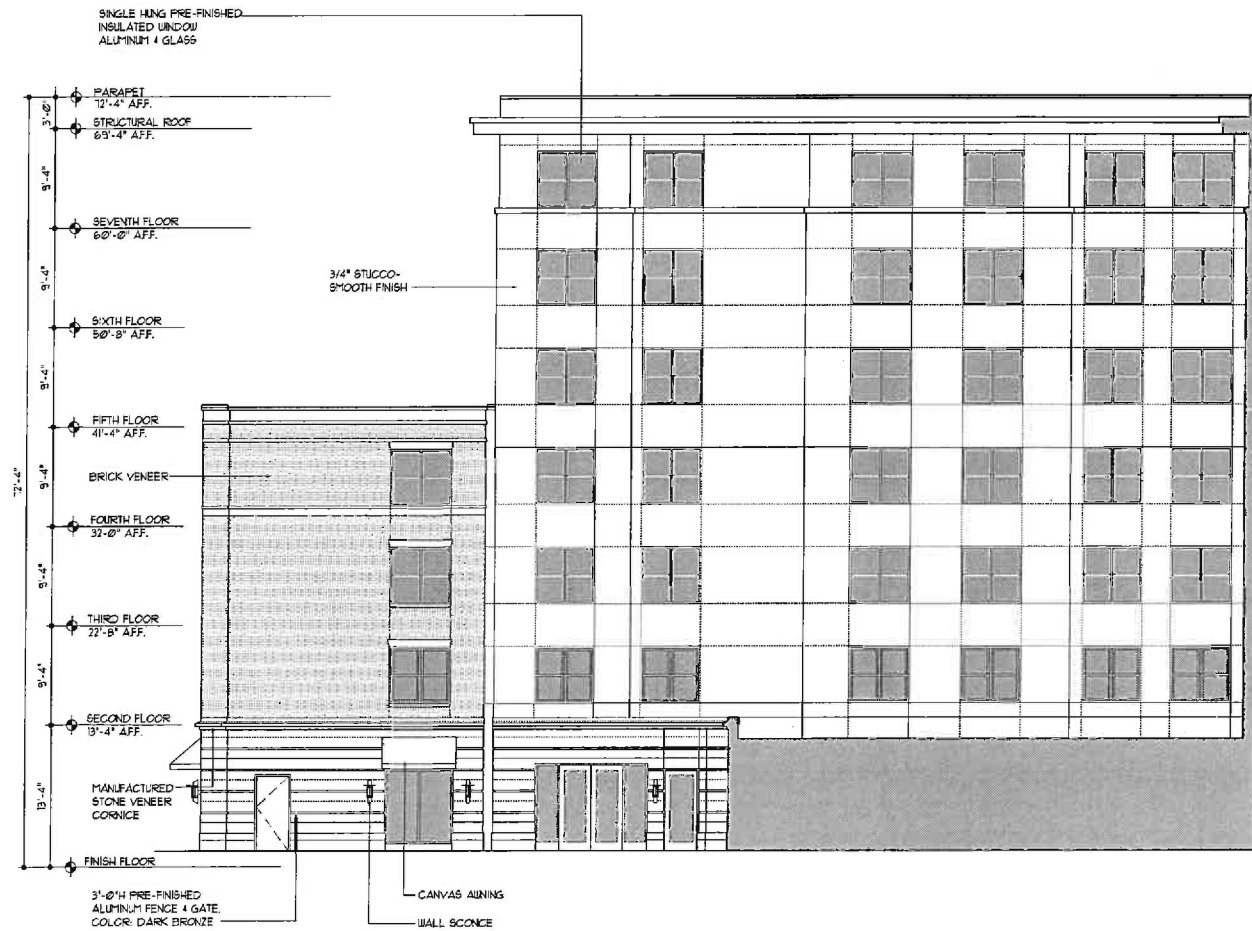
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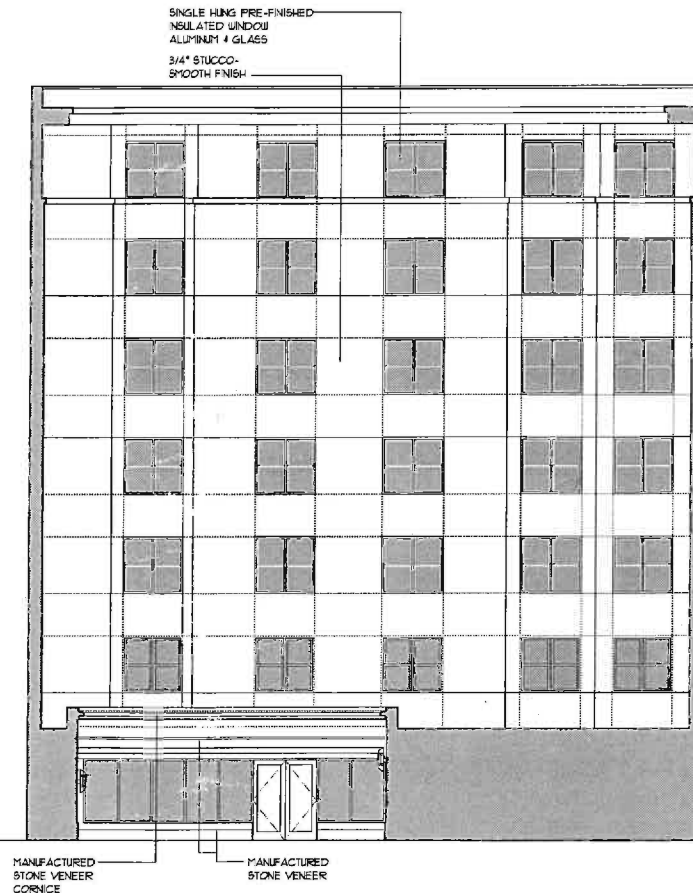
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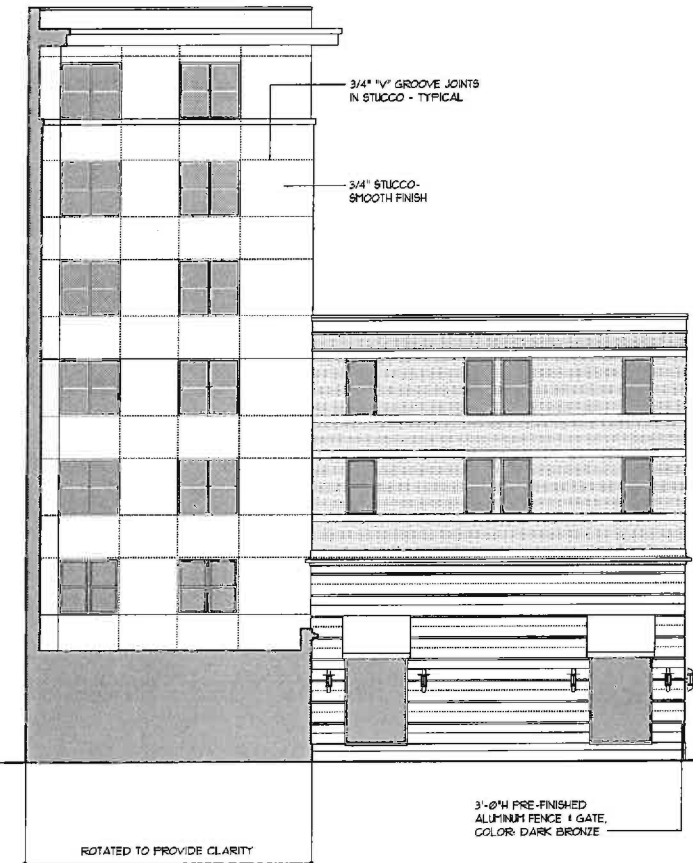
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COURTYARD ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



COURTYARD ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



COURTYARD ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

SEAL



CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

EXTERIOR
ELEVATIONS

EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	ARRISCRAFT RENAISSANCE STONE	SMOOTH	TAN
BUILDING SKIN	OLD VIRGINIA BRICK MODULAR	WOOD MOLD	COLONIAL RED RANGE
BUILDING SKIN	CEMENT STUCCO	SMOOTH	150 CLOUD WHITE - BENJAMIN MOORE
MORTAR	CEMENT	CONCAVE	IVORY BUFF - ARGOS MASONRY CEMENT
WINDOWS	ALUMINUM/QUAKER 8250 54 8250 HISTORICAL	PRE-FIN	DARK BRONZE
STOREFRONT	ALUMINUM/KAINEER	PRE-FIN	DARK BRONZE
GLAZING	ANNEALED OR TEMPERED	LOU-E	CLEAR
MARQUEE	ALUMINUM	PRE-FIN	DARK BRONZE
CANVAS AWNINGS	CANVAS	SMOOTH	BURGANDY
CEILING & RECESSED ENTRIES	STUCCO	SMOOTH	T.B.D.
MECHANICAL LOUVERS	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	COLOR TO MATCH ADJACENT SURFACE
COPING EXPOSED FLASHING	ALUMINUM	PRE-FIN	COLOR TO MATCH ADJACENT SURFACE
LIGHT FIXTURES	ALUMINUM	PRE-FIN	DARK BRONZE
FLAG POLES	ALUMINUM	PRE-FIN	DARK BRONZE
BRICK PAVERS	OLD VIRGINIA BRICK	TAYLOR	5/11 DARK RED LUGGED ITEM #1LR3

GRAPHIC SCHEDULE	
	BRICK : OLD VIRGINIA BRICK MODULAR COLOR: COLONIAL RED RANGE FINISH: WOOD MOLD
	STONE : ARRISCRAFT RENAISSANCE UNITS COLOR: TAN FINISH: SMOOTH
	MORTAR ARGOS MASONRY CEMENT COLOR: IVORY BUFF
	STUCCO BENJAMIN MOORE CLASSIC COLOR: CLOUD WHITE 150

KEY LEGEND	
	WINDOW KEY (SEE SHEET A5.4)
	DOOR KEY (SEE SHEET A5.2)
	SECTION KEY (SEE SHEET NUM. INSIDE OF KEY)
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.)

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A3.6



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SUITE 100B
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(901) 683-2385 f.
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CHARLOTTEVILLE,
VIRGINIA

SHEET NAME

BUILDING
SECTION

DATE
5/28/13

DRAWN BY
DOH

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PEL

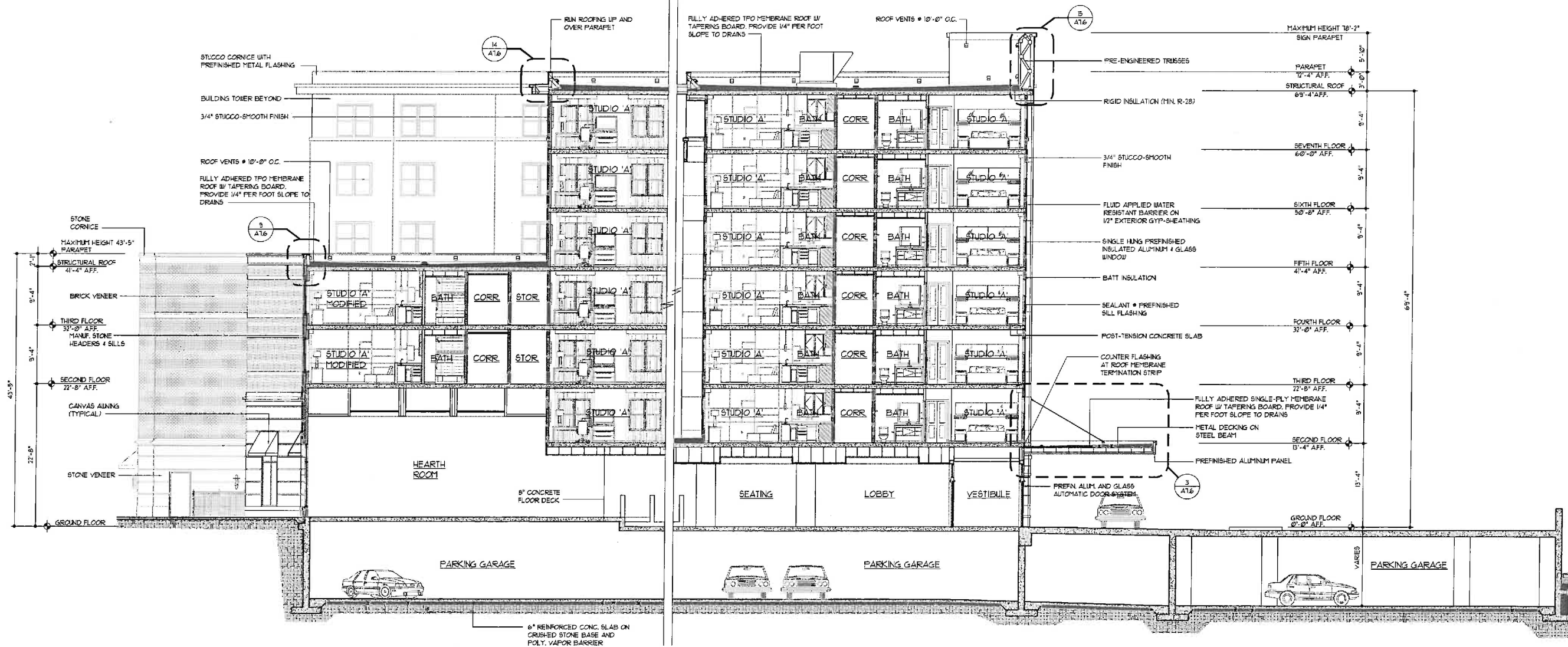
FILE NAME
1611-A701

SCALE
AS NOTED

PROJECT NO.
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A7.1



BUILDING SECTION
SCALE: 1/8" = 1'-0"



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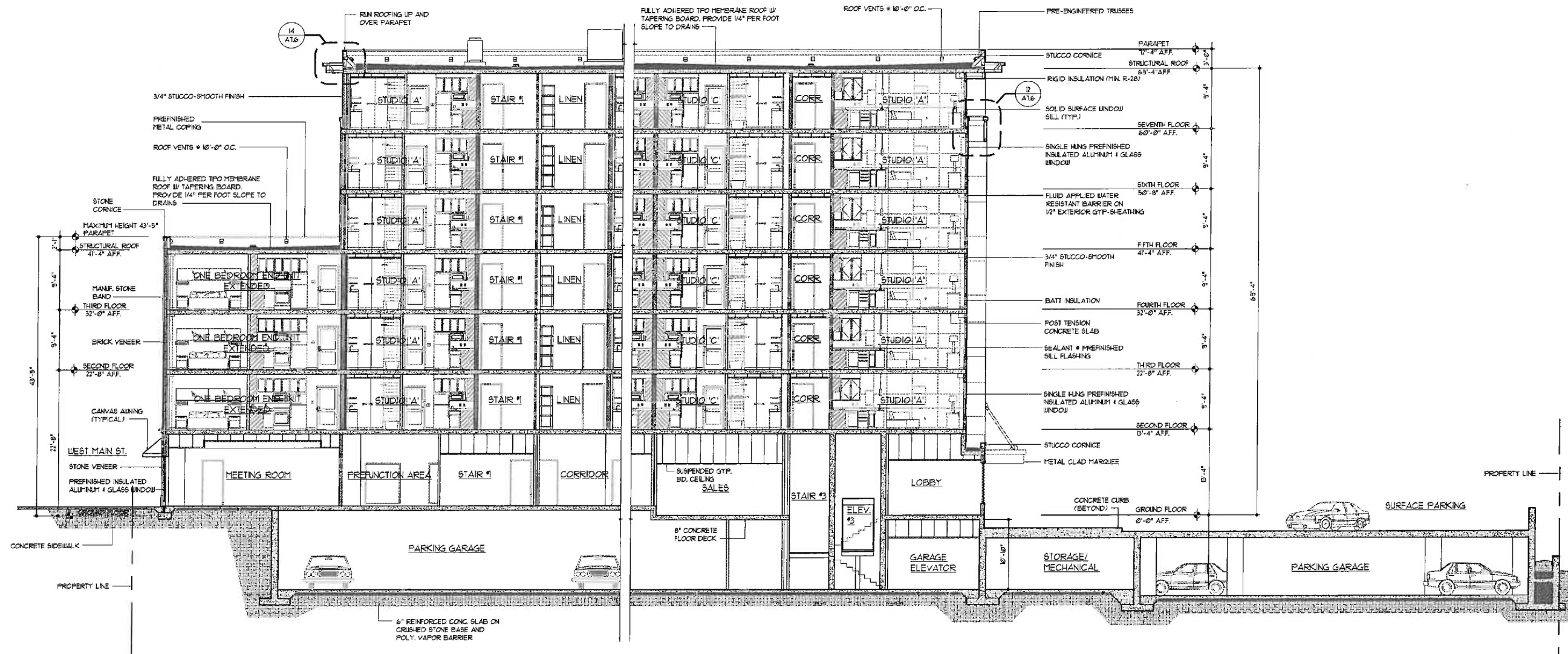


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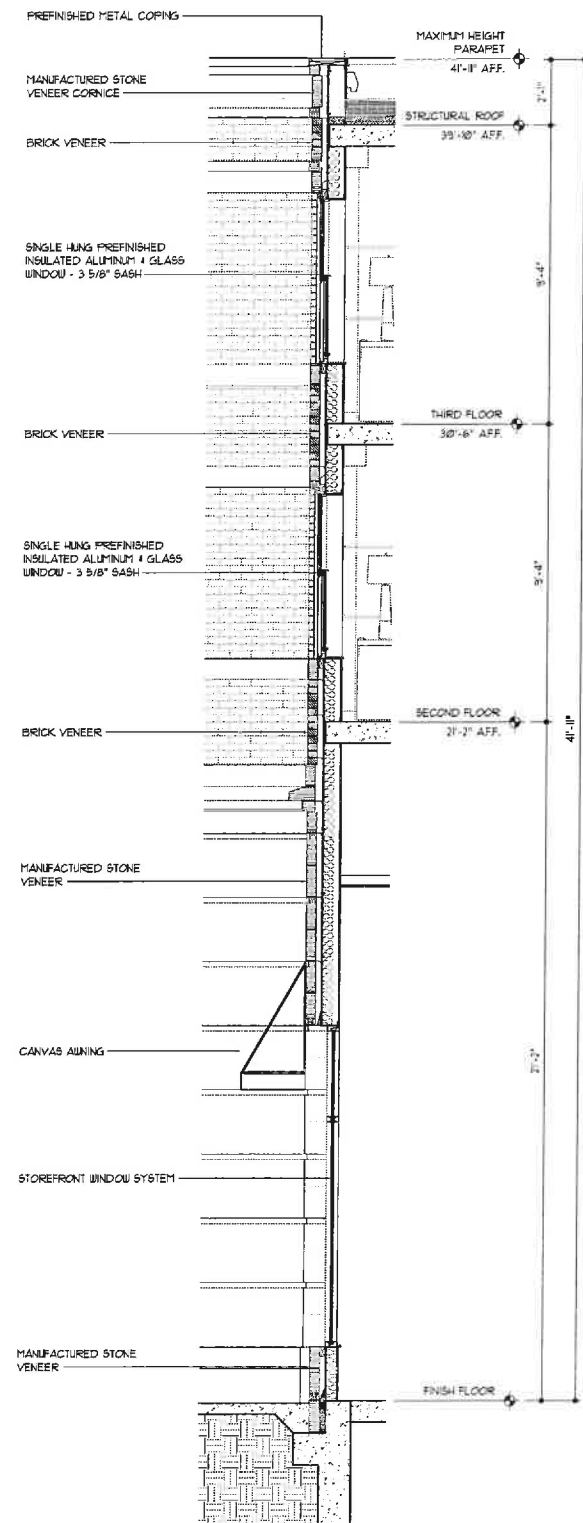
SHEET NAME
BUILDING
SECTION

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FILE NAME 1611-A702
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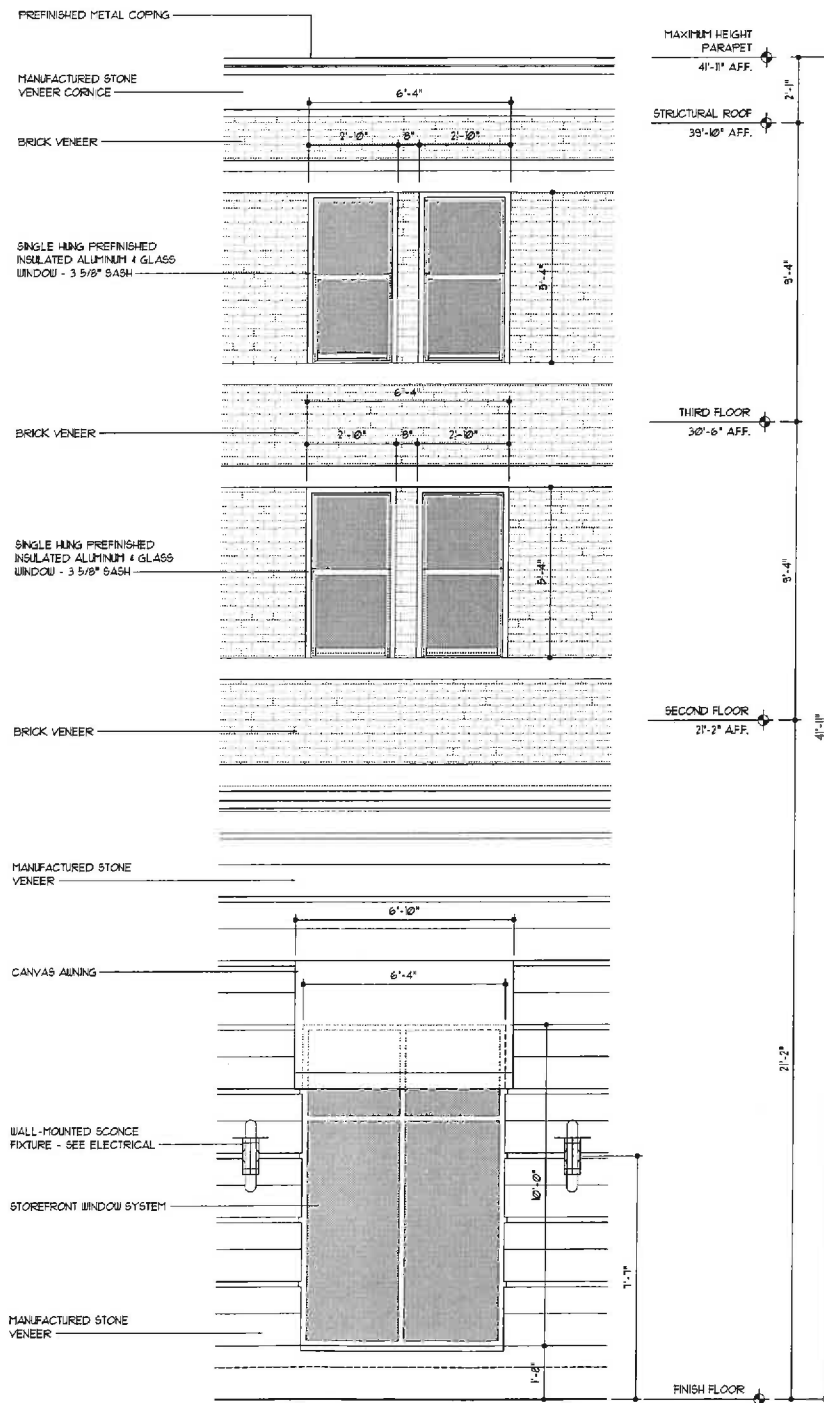
A7.2



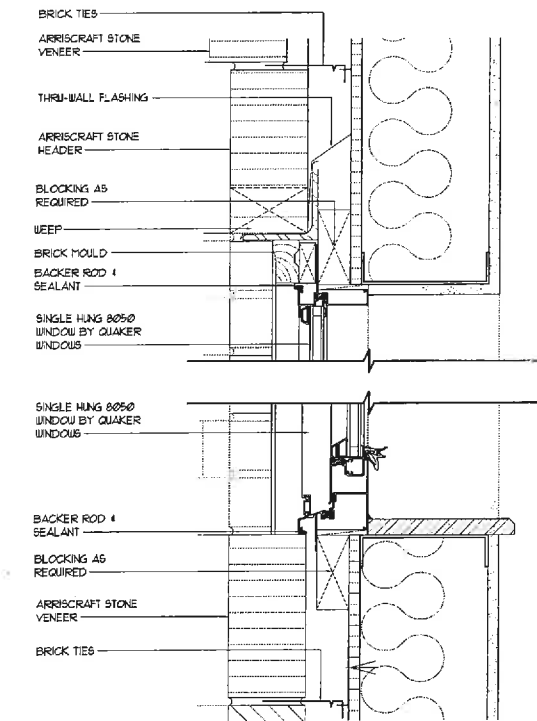
BUILDING SECTION
SCALE: 1/8" = 1'-0"



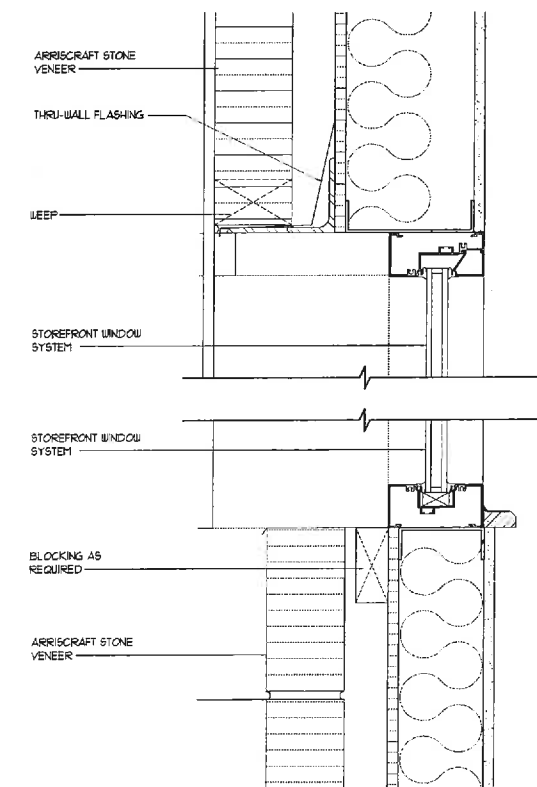
STOREFRONT & HISTORIC WINDOW WALL SECTION



STOREFRONT & HISTORIC WINDOW ELEVATION



HISTORIC WINDOW SECTION @ STONE BANDING



STOREFRONT WINDOW SECTION @ STONE BANDING



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SECTION
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FILE NAME	1611-A703
SCALE	AS NOTED
PROJECT NO.	1611
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A7.3



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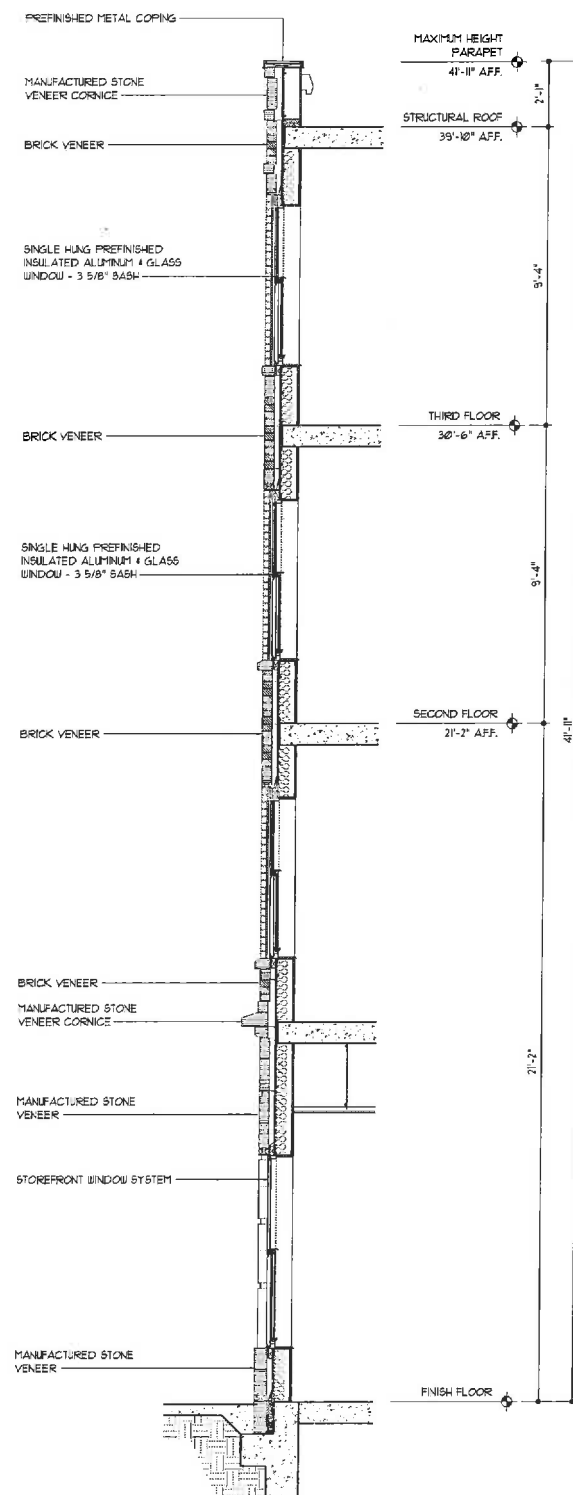


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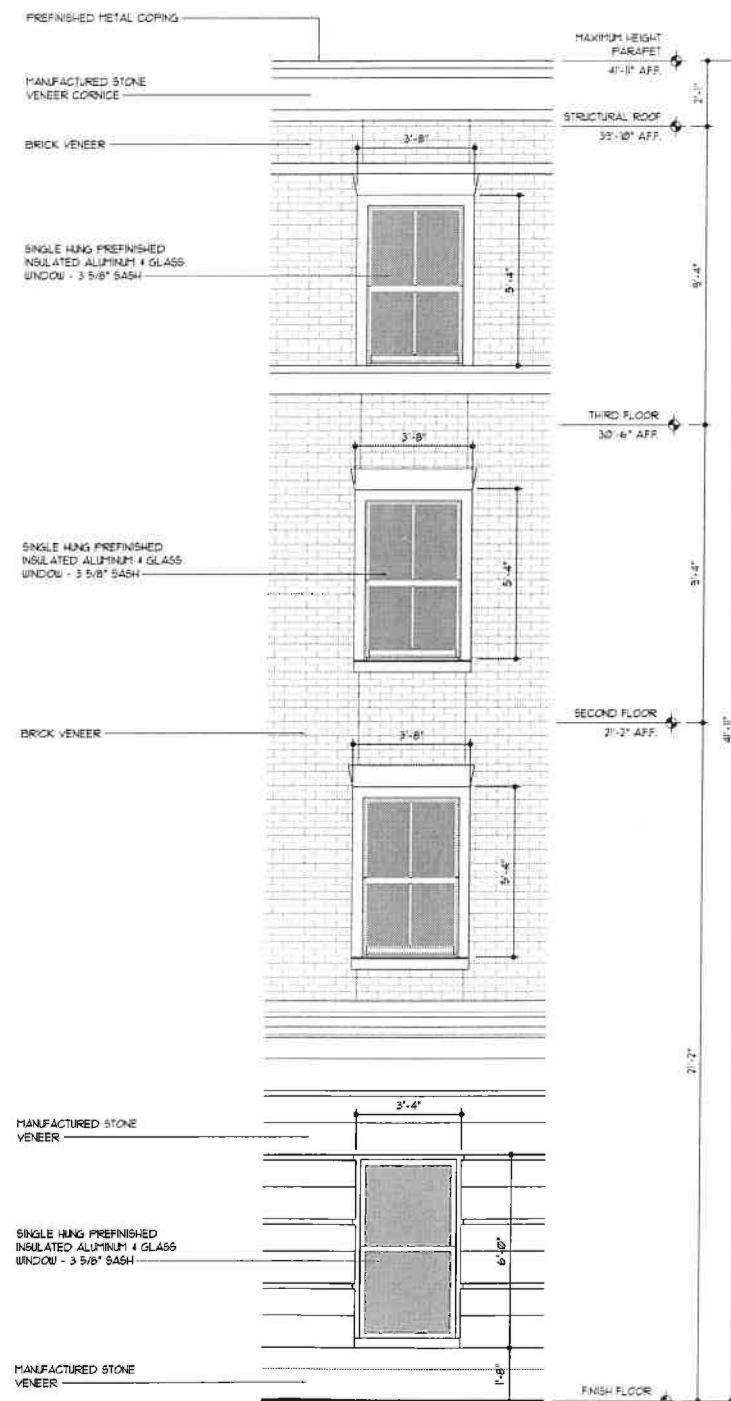
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SCALE AS NOTED
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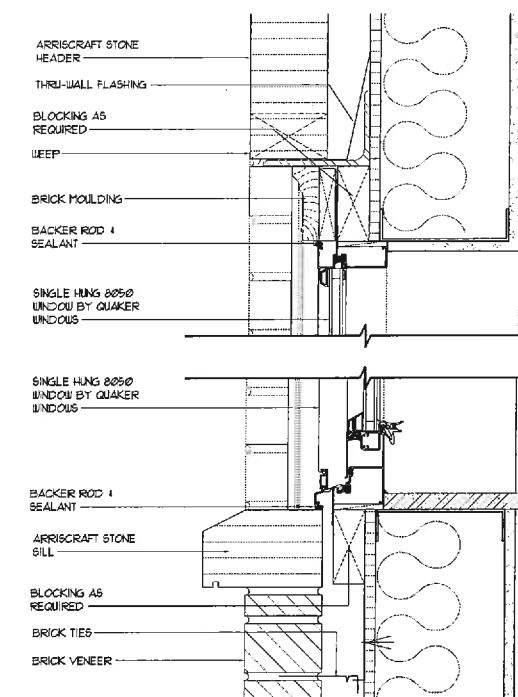
A7.4



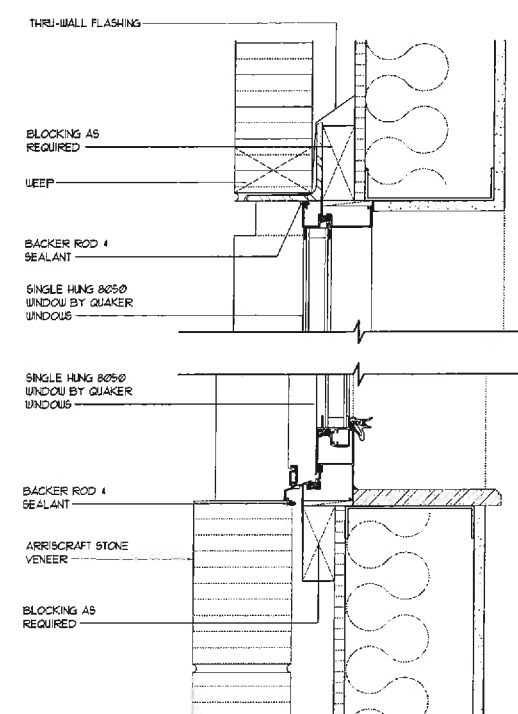
STOREFRONT & HISTORIC WINDOW WALL SECTION



STOREFRONT & HISTORIC WINDOW ELEVATION



HISTORIC WINDOW SECTION @ STONE HEADER



STOREFRONT WINDOW SECTION @ STONE BANDING

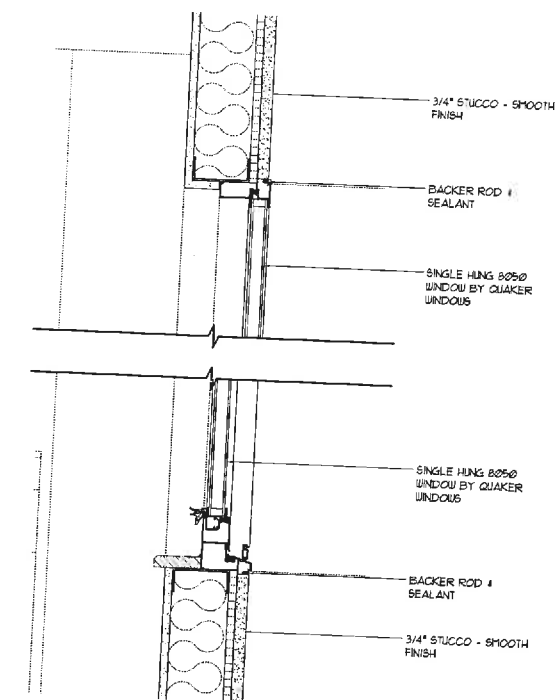


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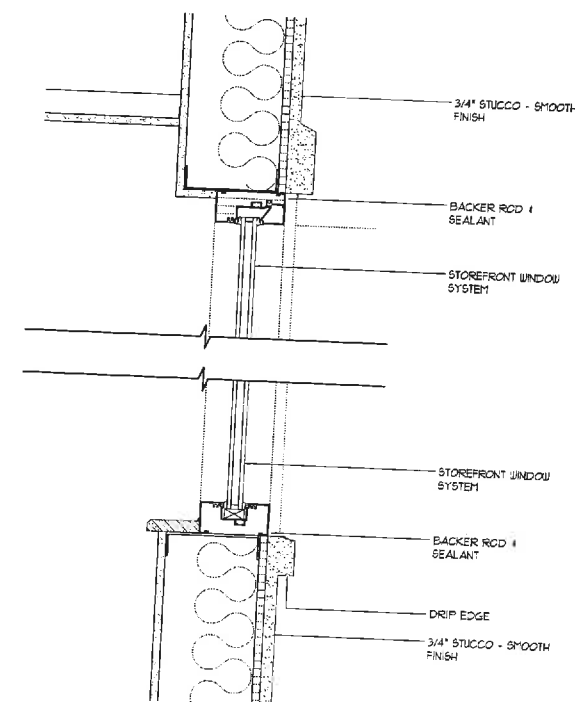
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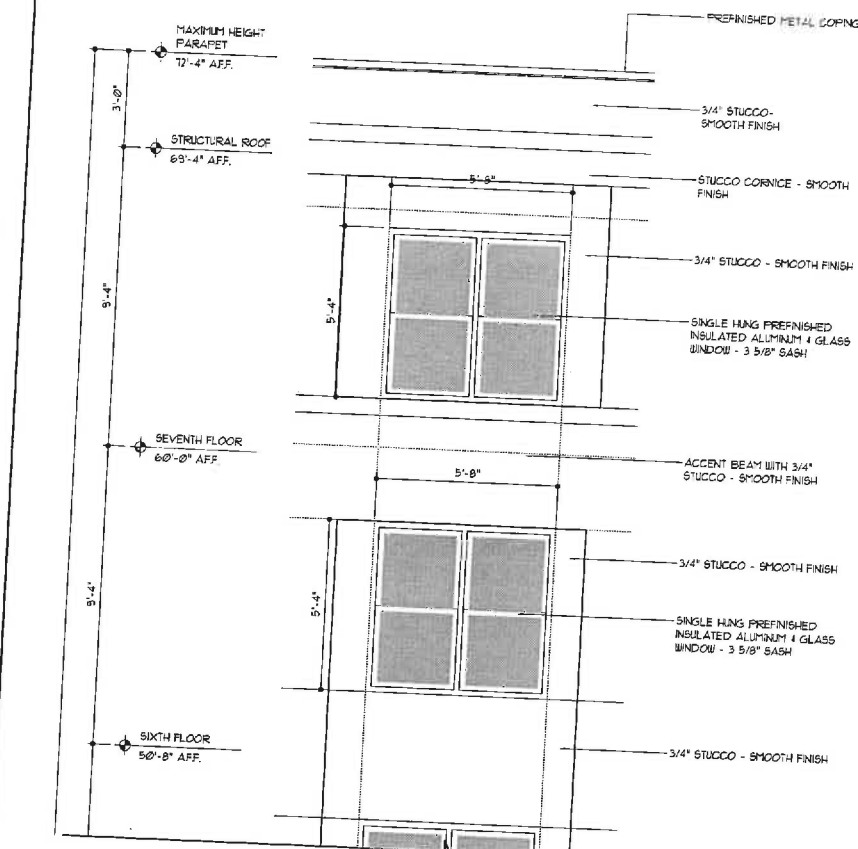
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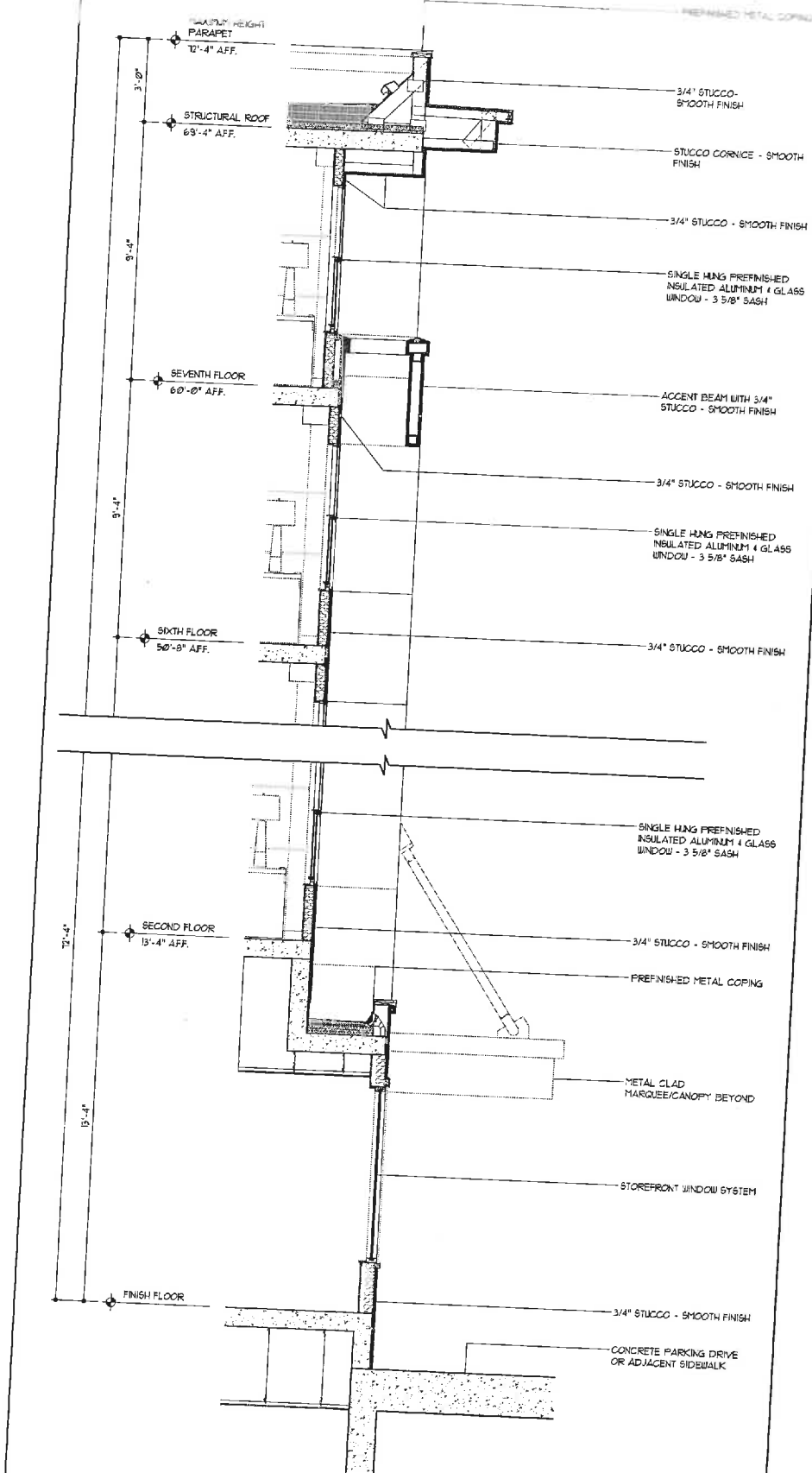
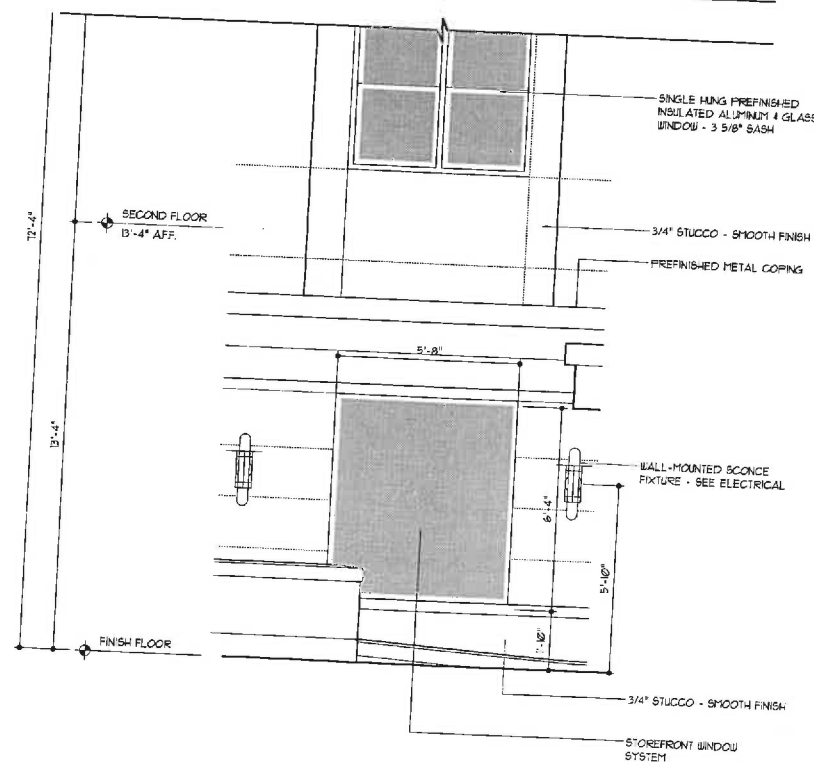
HISTORIC WINDOW SECTION @ STUCCO



STOREFRONT WINDOW SECTION @ STUCCO



STOREFRONT & HISTORIC WINDOW ELEVATION



STOREFRONT & HISTORIC WINDOW WALL SECTION

SEAL



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VIRGINIA

SHEET NAME

SECTION
DETAILS

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A7.5



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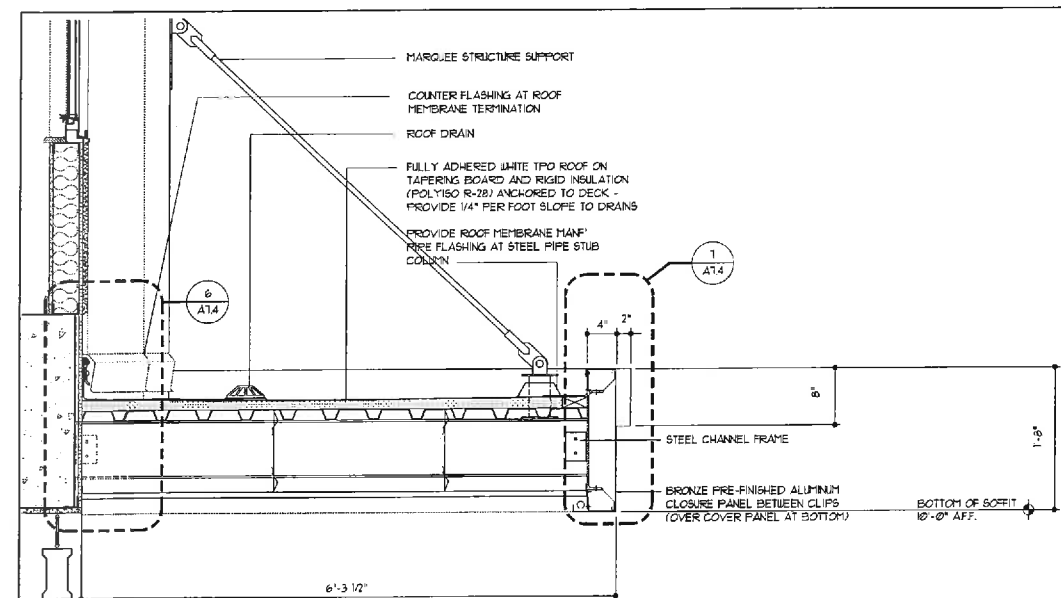
FILE NAME 1611-A706

SCALE AS NOTED

PROJECT NO. 1611

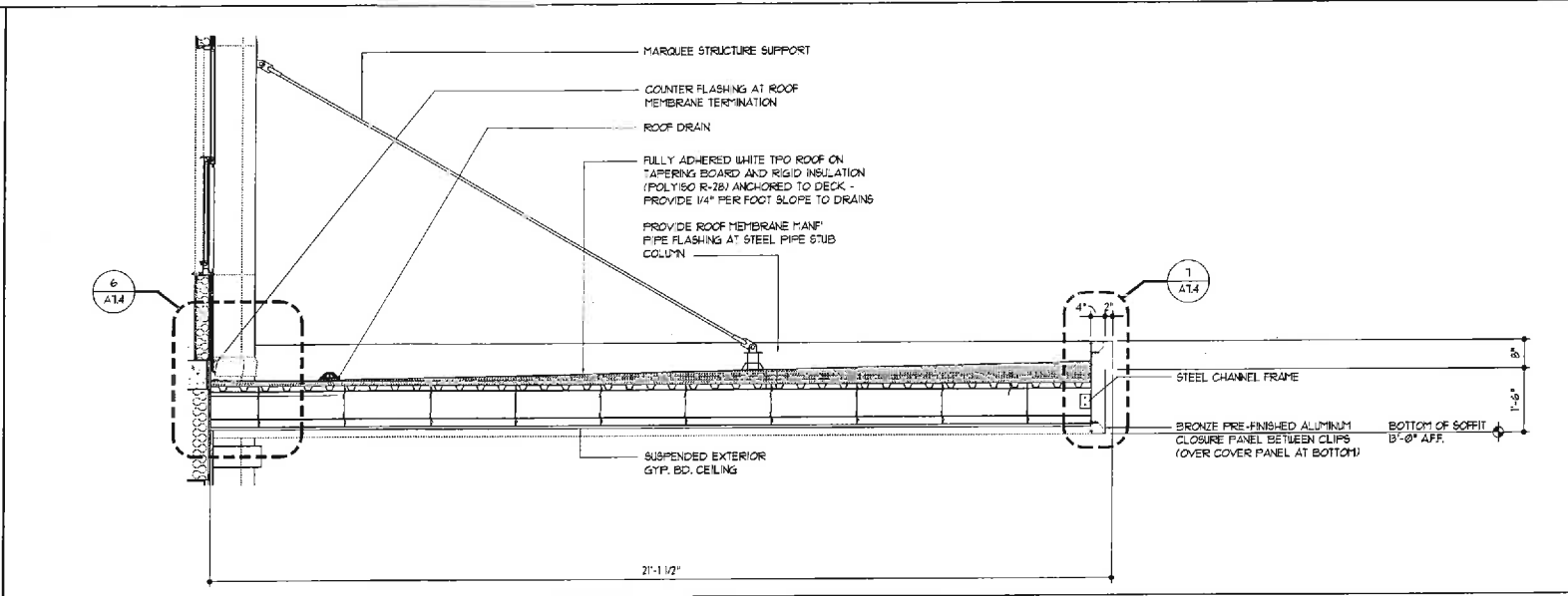
DRAWING

A7.6



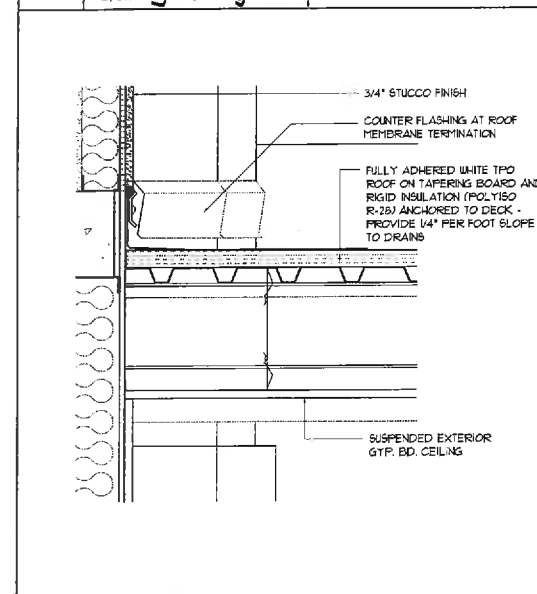
Section Detail
Garage Entry Marquee

SCALE: 1"=1'-0"



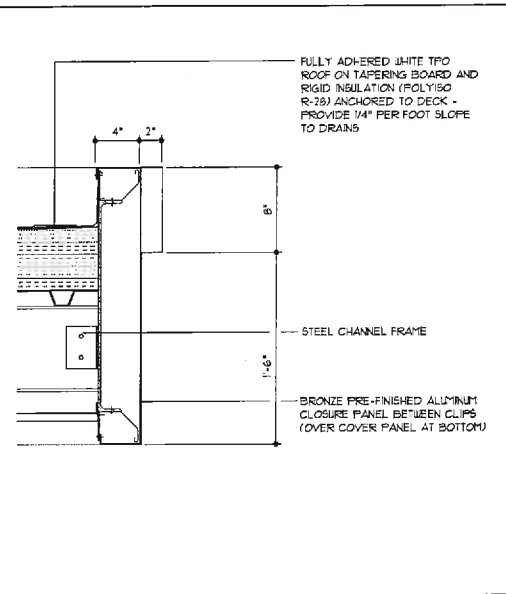
Section Detail
Entrance Canopy Marquee

SCALE: 1/2"=1'-0"



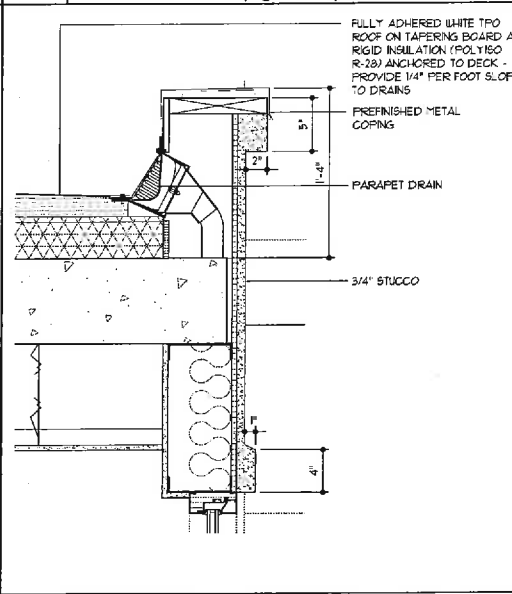
Section Detail
Canopy @ Wall

SCALE: 1"=1'-0"



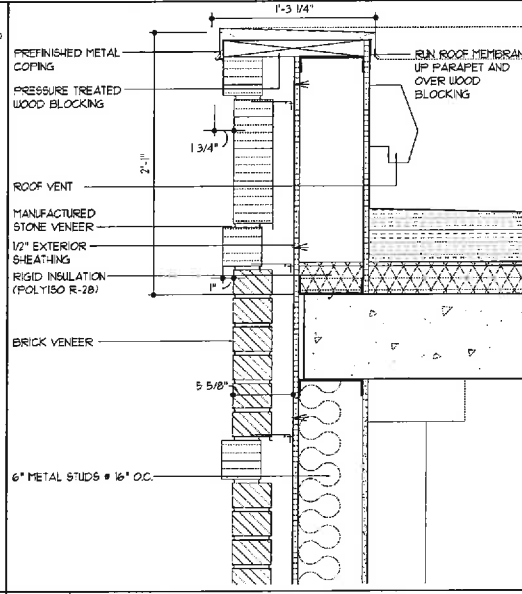
Section Detail
Canopy Fascia

SCALE: 1"=1'-0"



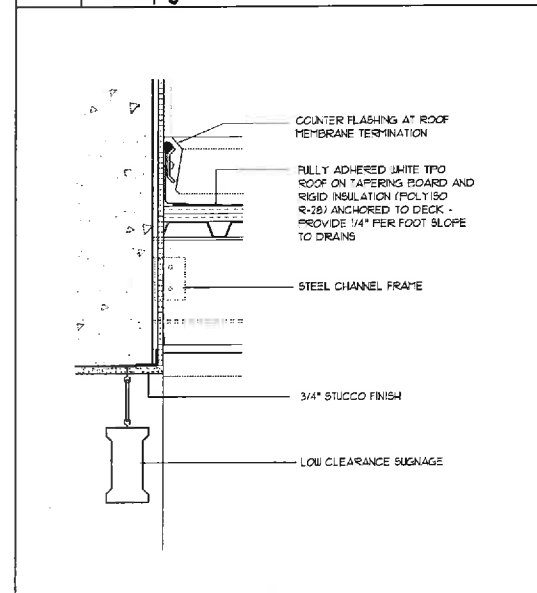
Section Detail
Low Parapet

SCALE: 1"=1'-0"



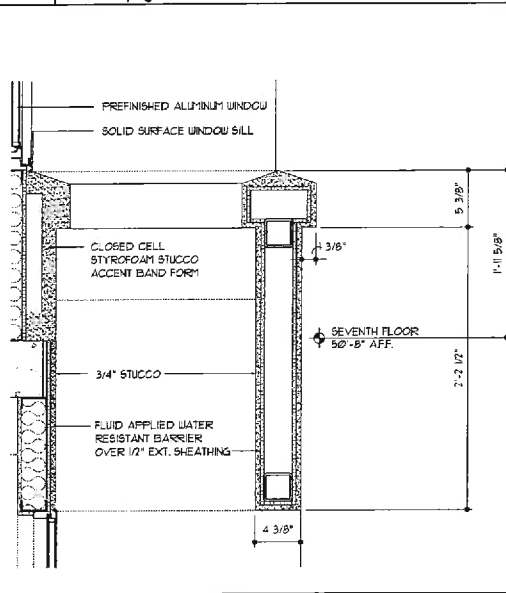
Section Detail
Brick Cornice

SCALE: 1"=1'-0"



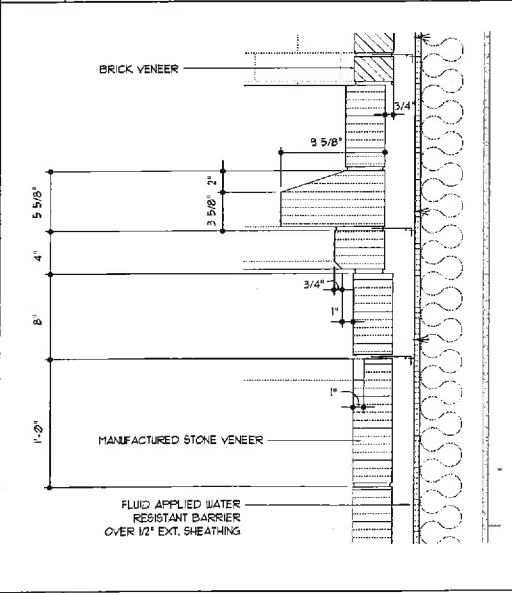
Section Detail
Marquee @ Wall

SCALE: 1"=1'-0"



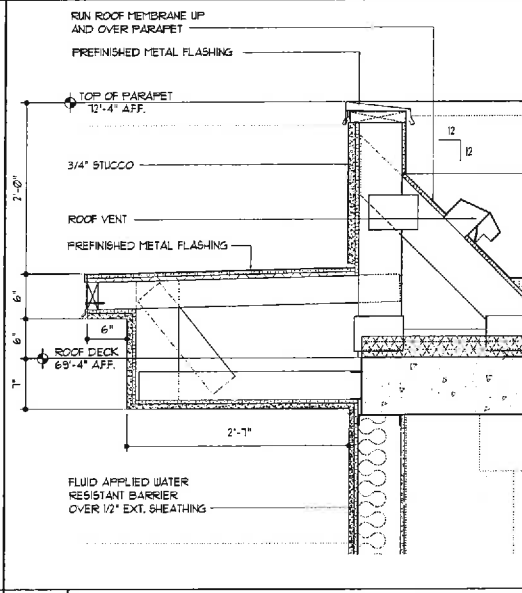
Section Detail
Stucco High Band

SCALE: 1"=1'-0"



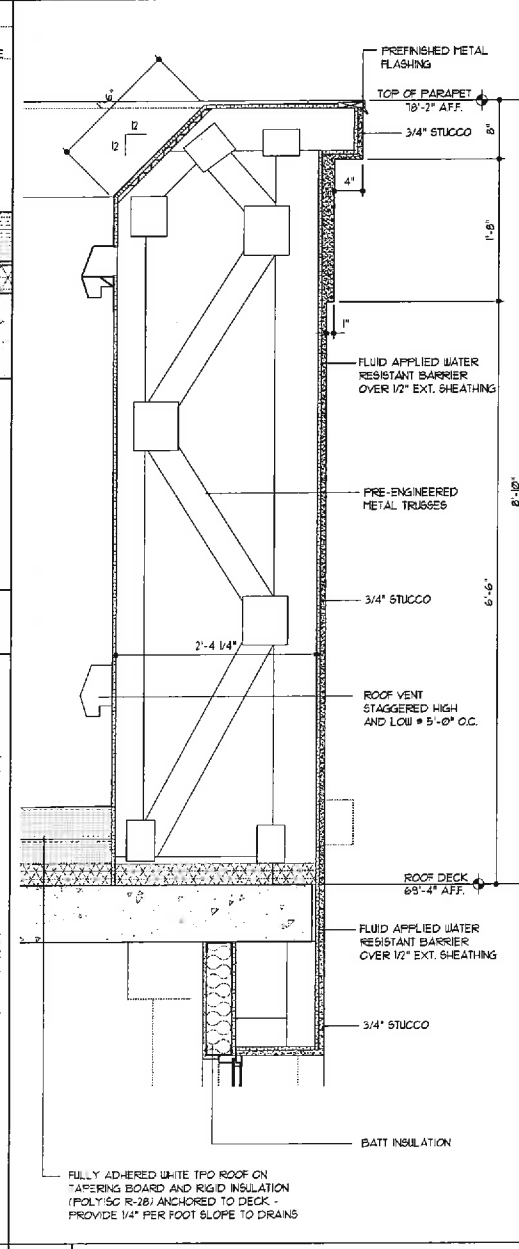
Section Detail
Brick/Stone Cornice

SCALE: 1"=1'-0"



Section Detail
Tower Parapet

SCALE: 1"=1'-0"



Section Detail
Tower High Parapet

SCALE: 1"=1'-0"



803 S. MOUNT MORIAH
SUITE 100B
MEMPHIS, TN 38117
(901) 683-7175 p.
(901) 683-2385 f.
lhw@lhwarchitects.com

ISSUED	DATE

NO.	REVISIONS	DATE

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CONSULTANTS

SEAL



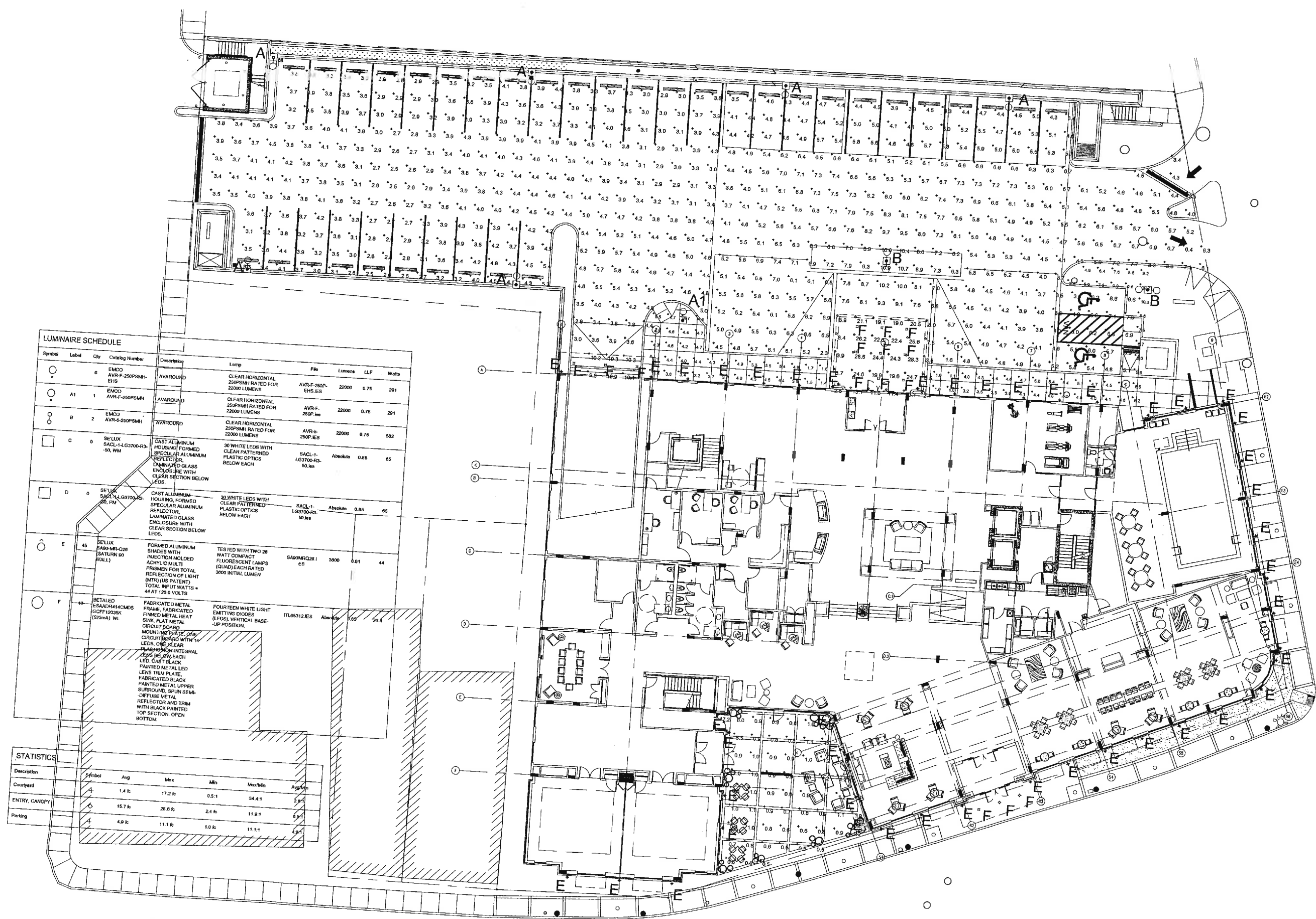
CHARLOTTESVILLE,
VIRGINIA

SHEET NAME

SITE
PHOTOMETRIC
PLAN

DATE 2/3/12
DRAWN BY CS
CHECKED BY CHS
FILE NAME 1611-E101
SCALE AS NOTED
PROJECT NO. 1611
DRAWING

E1.0



LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	File
○	0	EMCO	AVR-F-250PSM-1-EHS	AVAROUND	CLEAR HORIZONTAL 250PSM RATED FOR 22000 LUMENS	AVR-F-250P-EHS-IES
○	A1	1	EMCO	AVR-F-250PSM-1	CLEAR HORIZONTAL 250PSM RATED FOR 22000 LUMENS	AVR-F-250P-ies
○	B	2	EMCO	AVR-F-250PSM-1	CLEAR HORIZONTAL 250PSM RATED FOR 22000 LUMENS	AVR-F-250P-ies
□	C	0	SELUX	SACL-1-LG3700-R3-50, WM	CAST ALUMINUM HOUSING, FORMED SPECULAR ALUMINUM REFLECTOR, LAMINATED GLASS ENCLOSURE WITH CLEAR SECTION BELOW LEDS.	SACL-1-LG3700-R3-50-ies
□	D	0	SELUX	SACL-1-LG3700-R3-50, PM	CAST ALUMINUM HOUSING, FORMED SPECULAR ALUMINUM REFLECTOR, LAMINATED GLASS ENCLOSURE WITH CLEAR SECTION BELOW LEDS.	SACL-1-LG3700-R3-50-ies
○	E	45	SELUX	SAK-MR-028 (SATURN 60 WALL)	FORMED ALUMINUM SHADES WITH INJECTION MOLDED ACRYLIC MULTI PRISMEN FOR TOTAL REFLECTION OF LIGHT (MTR) (US PATENT) TOTAL INPUT WATTS = 44 AT 120.0 VOLTS	SAK-MR-028-1-ER
○	F	68	BETALED	ESAADR414CMDS (OFF 1200SK (625mA) WL	FABRICATED METAL FRAME, FABRICATED FINNED METAL HEAT SINK, FLAT METAL CIRCUIT BOARD, ONE MOUNTING PLATE, ONE LEDS, ONE CLEAR PLASTIC LENS, INTEGRAL PLASTIC MOUNTING PLATE, PAINTED METAL LED LENS TRIM PLATE, FABRICATED BLACK SURROUND, SPIN SEMI-OFFSET METAL REFLECTOR AND TRIM WITH BLACK PAINTED TOP SECTION, OPEN BOTTOM.	ITL65012-IES

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
Courtyard	1	1.4 fc	17.2 fc	0.5 fc	34.4:1
ENTRY, CANOPY	2	15.7 fc	28.8 fc	2.4 fc	11.9:1
Parking	3	4.9 fc	11.1 fc	1.0 fc	11.1:1

1 PHOTOMETRIC SITE PLAN
SCALE:

NOT TO SCALE

COMMERCE ST.

4TH STREET N.W.

WEST MAIN STREET

RIDGE MCINTIRE RD.

LEGEND

- CO CLEAN OUT
- DI DROP INLET
- FM FIRE HYDRANT
- GM GAS METER
- GV GAS VALVE
- MH MANHOLE
- UP UTILITY POLE
- RD ROOF DRAIN
- WM WATER METER
- WV WATER VALVE
- VC VITRIFIED CLAY PIPE
- PVC PVC PIPE
- DI DUCTILE IRON PIPE
- CI CAST IRON
- PL PROPERTY LINE
- PL POWER LINE
- PL GAS LINE
- PL STORM WATER

ITALICIZED TEXT INDICATES EXISTING CONDITIONS.

daggett + grigg architects
100 10TH STREET, NE, SUITE 200
CHARLOTTEVILLE, VA 22902
T 434.971.8848
F 434.296.3040
www.daggettgrigg.com



Residence Inn Site Plan

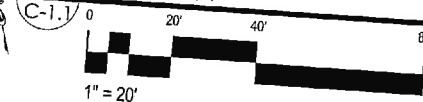
T.M. 32 PARCELS 197-199
CHARLOTTEVILLE, VIRGINIA

SITE PLAN

REVISIONS:
06-04-12 11-30-12
07-25-12 02-04-13
11-26-12 04-23-13
PROJECT #:
DATE:
03.27.12

DRAWING NUMBER:
C-1.1
SHEET 4 OF 15

1 SITE PLAN



1" = 20'

STRUCTURED PARKING DECK

SEE SHEET C-1.3 FOR PARKING LAYOUTS

HOTEL

LANDSCAPING SCHEDULE

TREES	SYMBOL	QUANTITY	PLANTING SIZE	PLANTING HT.	10 YEAR MT.	10 YEAR COVERAGE	EXISTING COVERAGE	TOTAL COVERAGE	TYPE
ZELKOVA SERRATA	ZM	10	2" C	12'	20'	350		3,500	LARGE SHADE/STREET
MUSASHINO									
ACER x freemanii	AF	2	2 1/2" C	10'	20'	397		794	LARGE SHADE/STREET
AUTUMN BLAZE MAPLE									
Platanus x oerifolia	PA	5	3"	14'	28'	368		1,840	LARGE SHADE
LONDON PLANETREE									
CRATAEGUS VIRIDIS	CR	2	6"-8"	7'	17'	184			ORNAMENTAL
WINTER KING HAWTHORN									
Cryptomeria japonica	CJ	12	12"-14"	12'-14'	25'	123		1,476	SCREENING
Yoshino Cryptomeria									
REQUIRED CANOPY: 10% OF SITE AREA, EXCLUDING BUILDING FOOTPRINT & SITE ACCESS									
48,974 S.F. - 21,813 S.F. = 16,715 S.F. = 10,446 S.F.									
TOTAL CANOPY: 7,610 S.F. PROVIDED									
10% OF 10,446 SF = 1,044 S.F. REQUIRED									
SHRUBS									
ILEX GLABRA 'NIGRA'	IG	44	#3	18"-24"	PLANT AT 3 FT SPACING IN MULCH BED				
Prunus laurocerasus									
Schippkensis	PL	4	2"	3'	PLANT AT 5 FT SPACING IN MULCH BED				
Hydrangea quercifolia									
Oakleaf Hydrangea	HQ	35	#3	36"-42"	PLANT AS SHOWN, IN MULCH BED				
Abelia x Edward Goucher									
Edward Goucher Abelia	EG	8	#3	18"-24"	PLANT AT 4 FT SPACING IN MULCH BED				

Note: Streetscape trees shown in the right-of-way shall be maintained by the owner and if deemed necessary by the City's arborist, shall be replaced by the owner.