

**From:** [Murphy, Mollie](#)  
**To:** [kristin@kristincory.com](mailto:kristin@kristincory.com); [Travis Robertson](#)  
**Cc:** [Werner, Jeffrey B](#)  
**Subject:** BAR # 22-12-02  
**Date:** Wednesday, December 21, 2022 3:32:00 PM  
**Attachments:** [image001.png](#)

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## **Certificate of Appropriateness Application**

BAR # 22-12-02

116 West Jefferson Street, TMP 330183000

North Downtown ADC District

Owner: Jefferson Street Properties, LLC

Applicant: Kristin Cory

Project: Porch reconstruction, alterations to rear addition

Ms. Cory:

The CoA request for the above referenced project was reviewed by the City of Charlottesville Board of Architectural Review on December 20, 2022. The following action was taken:

**Action:** *Motion approved (5-0) with approval of Consent Agenda:* Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find that the proposed front porch reconstruction and exterior alterations at 116 West Jefferson Street satisfy the BAR's criteria and are compatible with this property and other properties in the North Downtown ADC District, and that the BAR approves [the application as submitted with the following conditions:

- Front porch will have a standing-seam roof and gutter detail similar to that in the staff report
- Approval references the narrative, clarifications and photographs included as supplemental in the staff report
- Applicant will submit for staff review the proposed column capital
- Applicant will provide for staff review details on the porch railing and pickets and any proposed exterior light fixtures
- Applicant will provide for staff review cutsheets for alterations to the windows and doors at the rear contemporary addition, with the understanding that the windows will not be vinyl, but may be wood, aluminum-clad wood, or fiberglass composite.
- On the 1913 house, the two new doors (frame and trim) will not alter the height, arch, or width of the existing masonry opening. Necessary brick repairs will be toothed-in, not saw cut, and use an appropriate mortar mix (lime vs Portland cement). The historic windows removed will be retained on the site and properly stored to allow later re-installation, if/when that occurs.

**Note: Mr. Schwartz moved to approve Consent Agenda. Bailey second. Motion approved (5-0).** (Note: Mr. Zehmer abstains from Consent Agenda).

For specifics of the discussion, the meeting video is on-line at:

<https://boxcast.tv/channel/vabajtzezyv3iclkx1a?b=lmmnlcna1fcybl7u4xsr>

Per the provisions of City Code Sec. 34-280: This CoA is valid for 18 months [from the date of BAR approval]; upon written request and for reasonable cause, the director of NDS or the BAR may

extend that period by one year; and this CoA does not, in and of itself, authorize any work or activity that requires a building permit. (Link to Sec. 34-280: [CoA period of validity](#))  
If you have any questions, please contact me at [murphymo@charlottesville.gov](mailto:murphymo@charlottesville.gov).

Please remove the notice sign posted at the site.

Sincerely,  
Mollie



**Mollie Murphy**  
Assistant Historic Preservation and Design  
Planner  
Neighborhood Development Services  
City of Charlottesville  
(434) 970-3515 |  
[murphymo@charlottesville.gov](mailto:murphymo@charlottesville.gov)

**City of Charlottesville  
Board of Architectural Review  
Staff Report  
December 20, 2022**



**Certificate of Appropriateness Application**

BAR 22-12-02

116 West Jefferson Street, TMP 330183000

North Downtown ADC District

Owner: Jefferson Street Properties, LLC

Applicant: Gordon Johnson, Peter Johnson Builders

Project: Front porch reconstruction, alterations at rear elevation

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**Background**

Year Built: 1913 (the rear structure is contemporary)

District: North Downtown ADC District

Status: Contributing

The Revercomb House follows the Colonial Revival style. The front porch was removed in 1974.

**Prior BAR Reviews**

January 2011 – BAR approved CoA for fencing under the rear porch and breezeway.

January 20, 2021 – BAR deferred the request. Applicant unable to attend the meeting.

February 17, 2021 – BAR approved CoA with conditions. (BAR # 21-01-06) Reconstruction of the north porch and misc. alterations to the contemporary rear addition.

**Application**

- Applicant Submittal: Elevations and Plans for 116 West Jefferson Street, dated 12/08/2022 (two sheets).
- BAR staff notes summarizing proposed changes vs work approved in February 2021. (For general reference only; not in lieu of the submittal drawings.)
- Photographs from the January 2021 report. (Additional photos in staff report.)

Request for a CoA for reconstruction of the front porch, construction of painted wood stair at the connector (rear hyphen), installation of new door at the connector, and minor alterations to contemporary rear addition.

**Note:** CoA for reconstruction of the front porch approved (7-0) in February 2021 has expired. That component of this request is unchanged from the prior submittal and approval. Staff report and submittal: [http://weblink.charlottesville.org/public/0/edoc/798377/2021-02\\_116%20W%20Jefferson%20Street\\_BAR.pdf](http://weblink.charlottesville.org/public/0/edoc/798377/2021-02_116%20W%20Jefferson%20Street_BAR.pdf)

## Discussion

### Front Porch Reconstruction

To the extent possible, the reconstruction will rely on the information available in the photographs, the matching components that remain on the house, and nearby porches of a similar period. The existing brick porch, metal rail and light fixture above the entrance will be removed.

- Dimensions: Photos and the shadow lines on the brick provide the width and height. The proposed reconstruction generally conforms to the original dimensions.
- Columns: (Similar to the columns at 406 Altamont Circle.) \*
  - Capital: Photos indicate Angular (*Scamozzi*) Ionic.
  - Shaft: Smooth. Round columns at the front. Square, engaged columns at the walls.
  - Base: Appropriate for Ionic column.
- Trim/Cornice: Match existing profiles and dimensions of the existing cornice. \*
- Railing (top rail, bottom rail, and pickets): Detail cannot be determined from the photos and the railing at the rear porch are not original. Recommend that new will match or be similar to the Colonial Revival style railing at 406 Altamont Circle. Painted. Color: TBD. \* (Note: The new rail will be at height that conforms to the current building code requirements.)
- Roof: Original roof was standing-seam metal. New roof to be standing-seam metal.
- Gutters and Downspouts: Original porch had built-in gutters; new gutter type not specified. In lieu of the built-in gutter, if not replicated, staff suggests a detail similar to that approved for 201 East High Street. \*
- Flooring and steps: 1 x 4 or 1 x 6 wood flooring. Height of the floor will be similar to that of the existing brick porch. Painted. Color: TBD. \*
- Apron trim at porch deck and step risers: 1 x wood and a profiled trim beneath the overhang of the flooring and treads. Apron face to align with the plinth of the column base. Painted. Color: TBD. \*
- Ceiling: Beaded-board with simple cove or crown at entablature, similar to existing ceiling at rear, upper porch. Porch ceiling will be above—and encroach onto—the brick arches above the entry and two windows. Painted. Color: TBD. \*
- Porch framing and piers: Wood frame on brick piers. BAR should clarify locations and details for brick piers. Staff recommends square piers of red brick (similar to the house); located beneath and aligned with each front column. \*
- Lighting: No fixture(s) indicated. BAR should apply the following condition: For any exterior light fixture, the lamping will have a Color Temperature not to exceed 3,000K, preferably dimmable, and will comply with the City’s “Dark Sky” ordinance. Applicant will provide to staff cut sheets for the BAR archive.

Note: Except for the cornice detail, in the event of an unknown detail, applicant shall look to existing conditions on houses of a similar period, such as 406 Altamont Circle.

\* - Indicates references in the Appendix.

### Rear – Building Connection (hyohen)

Construct painted wood stairs and install new door at west elevation. Railing detail to match rear porch.

### Rear – Contemporary Structure

- South Elevation: Remove two windows, existing door, and canopy. Install two larger windows.
- North Elevation: Remove window and wall section. Install double doors and window.
- West Elevation: Remove one window. Install new door in opening.

### Staff Recommendation

Front Porch Reconstruction: Staff recommends approval with the same conditions and clarifications from the February 2021 CoA.

- Front porch will have a standing-seam roof and gutter detail similar to that in the staff report.
- Approval references the narrative, clarifications and photographs included as supplemental in the staff report
- Applicant will submit for staff review the proposed column capital
- Applicant will provide for staff review details on the porch railing and pickets and any proposed exterior light fixtures

New stairs and door at connector and alterations to contemporary addition: Typically, the installation of new windows and doors requires a high level of scrutiny and review. Given the age of this structure and the builder-grade quality of its materials, staff does not believe additional specificity is necessary for the new doors and windows. Staff recommends approval with the following condition of approval (also from the February 2021 CoA):

- Applicant will provide for staff review cutsheets for alterations to the windows and doors at the rear contemporary addition, with the understanding that the windows will not be vinyl, but may be wood, aluminum-clad wood, or fiberglass composite.

New French door at rear porch (1<sup>st</sup> floor) and new six-panel door at the east elevation (basement) of 1913 house: Staff recommends approval with the following condition of approval:

- On the 1913 house, the two new doors (frame and trim) will not alter the height, arch, or width of the existing masonry opening. Necessary brick repairs will be toothed-in, not saw cut, and use an appropriate mortar mix (lime vs Portland cement). The historic windows removed will be retained on the site and properly stored to allow later re-installation, if/when that occurs.

### Suggested Motion

*Approval*: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find that the proposed front porch reconstruction and exterior alterations at 116 West Jefferson Street satisfy the BAR's criteria and are compatible with this property and other properties in the North Downtown ADC District, and that the BAR approves [the application as submitted with the following conditions:

- Front porch will have a standing-seam roof and gutter detail similar to that in the staff report
- Approval references the narrative, clarifications and photographs included as supplemental in the staff report
- Applicant will submit for staff review the proposed column capital

- Applicant will provide for staff review details on the porch railing and pickets and any proposed exterior light fixtures
- Applicant will provide for staff review cutsheets for alterations to the windows and doors at the rear contemporary addition, with the understanding that the windows will not be vinyl, but may be wood, aluminum-clad wood, or fiberglass composite.
- On the 1913 house, the two new doors (frame and trim) will not alter the height, arch, or width of the existing masonry opening. Necessary brick repairs will be toothed-in, not saw cut, and use an appropriate mortar mix (lime vs Portland cement). The historic windows removed will be retained on the site and properly stored to allow later re-installation, if/when that occurs.

## **Criteria, Standards, and Guidelines**

### **Review Criteria Generally**

Sec. 34-284(b) of the City Code states that, in considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.

### **Pertinent Standards for Review of Construction and Alterations include:**

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
- (4) The effect of the proposed change on the historic district neighborhood;
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
- (7) Any applicable provisions of the City's Design Guidelines.

### **Pertinent guidelines from the Secretary Of The Interior's Standards for the Treatment of Historic Properties - Reconstruction**

- **Recommended:** Recreating the documented design of exterior features, such as the roof form and its coverings, architectural detailing, windows, entrances and porches, steps and doors, and their historic spatial relationships and proportions.
- **Not Recommended:** Omitting a documented exterior feature, or rebuilding a feature but altering its historic design. Using inappropriate designs or materials that do not convey the historic appearance.

### **Pertinent ADC District Design Guidelines**

#### **Rehabilitations:**

##### **C. Windows**

- 1) Prior to any repair or replacement of windows, a survey of existing window conditions is recommended. Note number of windows, whether each window is original or replaced, the material, type, hardware and finish, the condition of the frame, sash, sill, putty, and panes.
- 2) Retain original windows when possible.

- 3) Uncover and repair covered up windows and reinstall windows where they have been blocked in.
- 4) If the window is no longer needed, the glass should be retained and the back side frosted, screened, or shuttered so that it appears from the outside to be in use.
- 5) Repair original windows by patching, splicing, consolidating or otherwise reinforcing. Wood that appears to be in bad condition because of peeling paint or separated joints often can be repaired.
- 6) Replace historic components of a window that are beyond repair with matching components.
- 7) Replace entire windows only when they are missing or beyond repair.
- 8) If a window on the primary façade of a building must be replaced and an existing window of the same style, material, and size is identified on a secondary elevation, place the historic window in the window opening on the primary façade.
- 9) Reconstruction should be based on physical evidence or old photographs.
- 10) Avoid changing the number, location, size, or glazing pattern of windows by cutting new openings, blocking in windows, or installing replacement sash that does not fit the window opening.
- 11) Do not use inappropriate materials or finishes that radically change the sash, depth of reveal, muntin configuration, reflective quality or color of the glazing, or appearance of the frame.
- 12) Use replacement windows with true divided lights or interior and exterior fixed muntins with internal spacers to replace historic or original examples.
- 13) If windows warrant replacement, appropriate material for new windows depends upon the context of the building within a historic district, and the age and design of the building. Sustainable materials such as wood, aluminum-clad wood, solid fiberglass, and metal windows are preferred. Vinyl windows are discouraged.
- 14) False muntins and internal removable grilles do not present an historic appearance and should not be used.
- 15) Do not use tinted or mirrored glass on major facades of the building. Translucent or low (e) glass may be strategies to keep heat gain down.
- 16) Storm windows should match the size and shape of the existing windows and the original sash configuration. Special shapes, such as arched top storms, are available.
- 17) Storm windows should not damage or obscure the windows and frames.
- 18) Avoid aluminum-colored storm sash. It can be painted an appropriate color if it is first primed with a zinc chromate primer.
- 19) The addition of shutters may be appropriate if not previously installed but if compatible with the style of the building or neighborhood.
- 20) In general, shutters should be wood (rather than metal or vinyl) and should be mounted on hinges. In some circumstances, appropriately dimensioned, painted, composite material shutters may be used.
- 21) The size of the shutters should result in their covering the window opening when closed.
- 22) Avoid shutters on composite or bay windows.
- 23) If using awnings, ensure that they align with the opening being covered.
- 24) Use awning colors that are compatible with the colors of the building.

#### D. Entrances, Porches, and Doors

- 1) The original details and shape of porches should be retained including the outline, roof height, and roof pitch.
- 2) Inspect masonry, wood, and metal or porches and entrances for signs of rust, peeling paint, wood deterioration, open joints around frames, deteriorating putty, inadequate caulking, and improper drainage, and correct any of these conditions.
- 3) Repair damaged elements, matching the detail of the existing original fabric.
- 4) Replace an entire porch only if it is too deteriorated to repair or is completely missing, and design to match the original as closely as possible.
- 5) Do not strip entrances and porches of historic material and details.
- 6) Give more importance to front or side porches than to utilitarian back porches.

- 7) Do not remove or radically change entrances and porches important in defining the building's overall historic character.
- 8) Avoid adding decorative elements incompatible with the existing structure.
- 9) In general, avoid adding a new entrance to the primary facade, or facades visible from the street.
- 10) Do not enclose porches on primary elevations and avoid enclosing porches on secondary elevations in a manner that radically changes the historic appearance.
- 11) Provide needed barrier-free access in ways that least alter the features of the building.
  - a) For residential buildings, try to use ramps that are removable or portable rather than permanent.
  - b) On nonresidential buildings, comply with the Americans with Disabilities Act while minimizing the visual impact of ramps that affect the appearance of a building.
- 12) The original size and shape of door openings should be maintained.
- 13) Original door openings should not be filled in.
- 14) When possible, reuse hardware and locks that are original or important to the historical evolution of the building.
- 15) Avoid substituting the original doors with stock size doors that do not fit the opening properly or are not compatible with the style of the building.
- 16) Retain transom windows and sidelights.
- 17) When installing storm or screen doors, ensure that they relate to the character of the existing door.
  - a) They should be a simple design where lock rails and stiles are similar in placement and size.
  - b) Avoid using aluminum colored storm doors.
  - c) If the existing storm door is aluminum, consider painting it to match the existing door.
  - d) Use a zinc chromate primer before painting to ensure adhesion.

**APPENDIX**

116 west Jefferson – original porch



Existing cornice at 116 West Jefferson Street. New porch cornice to match.



**Cornice at 116 West Jefferson St**

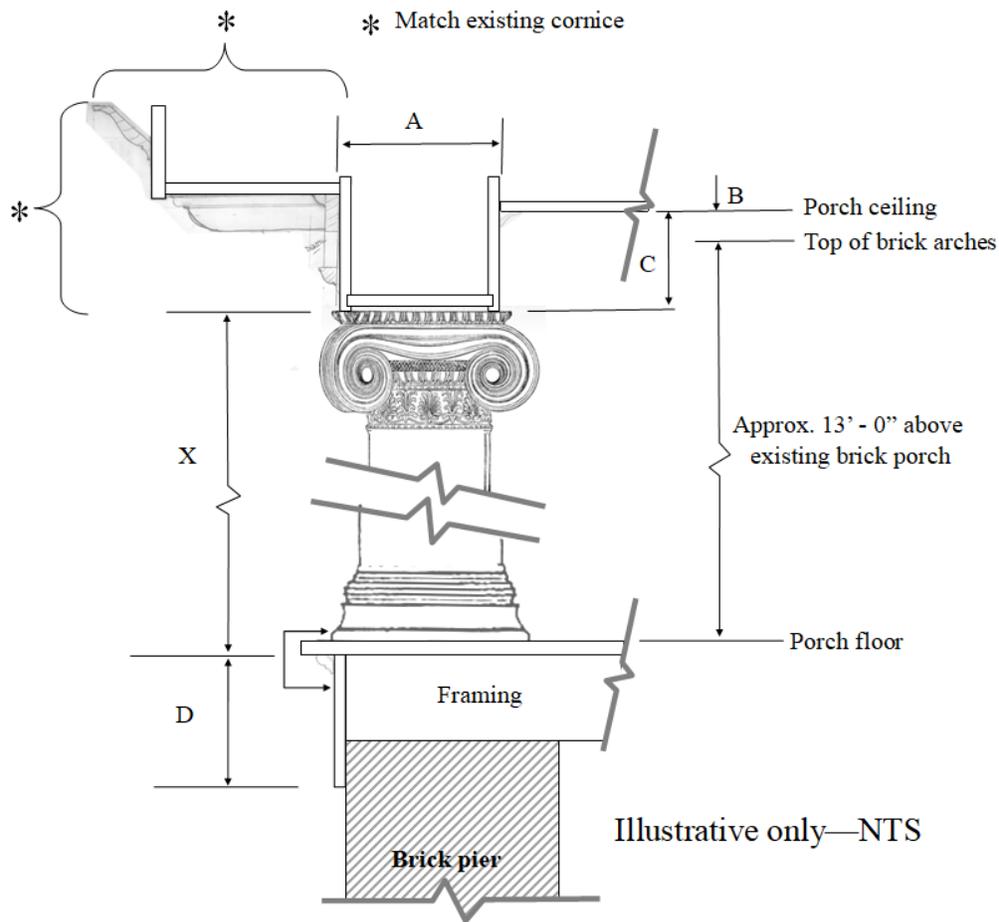
116 West Jefferson Street (Existing)



Original porch at 116 West Jefferson Street



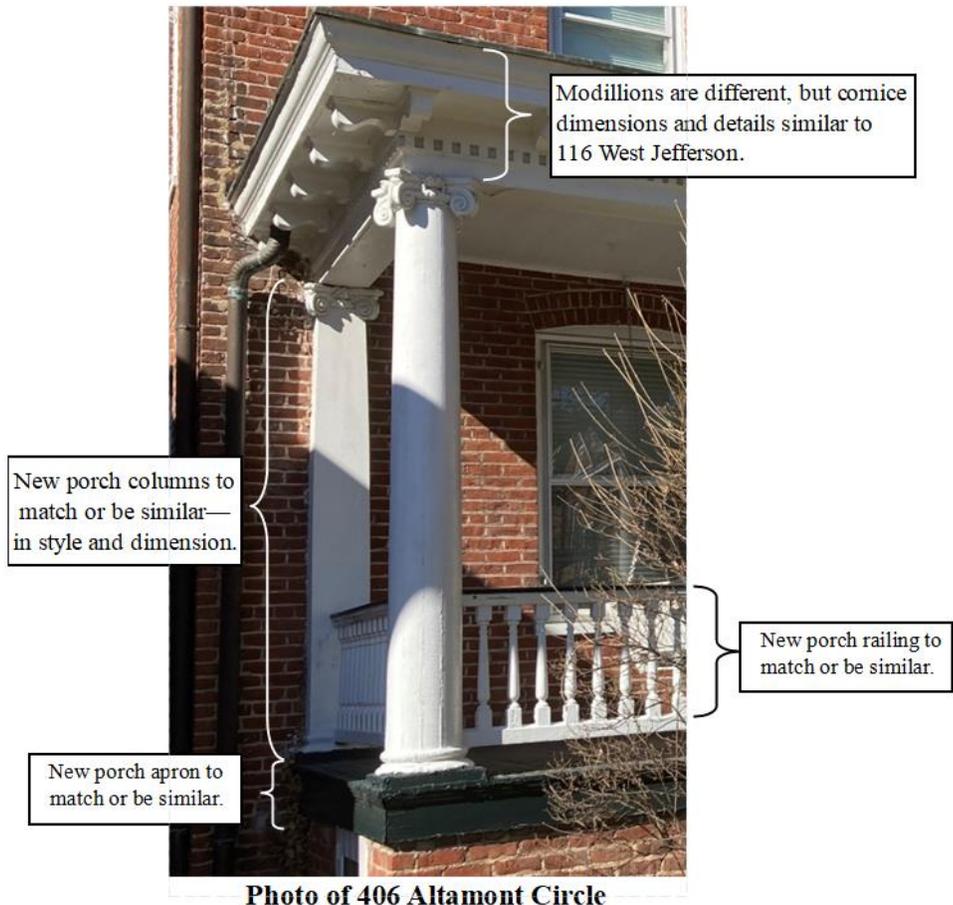
Illustrative porch detail for 116 West Jefferson Street: Dimensions and proportions should match or be similar to 406 Altamont Circle and/or appropriate to the period. The BAR should discuss specific dimensions, if necessary.



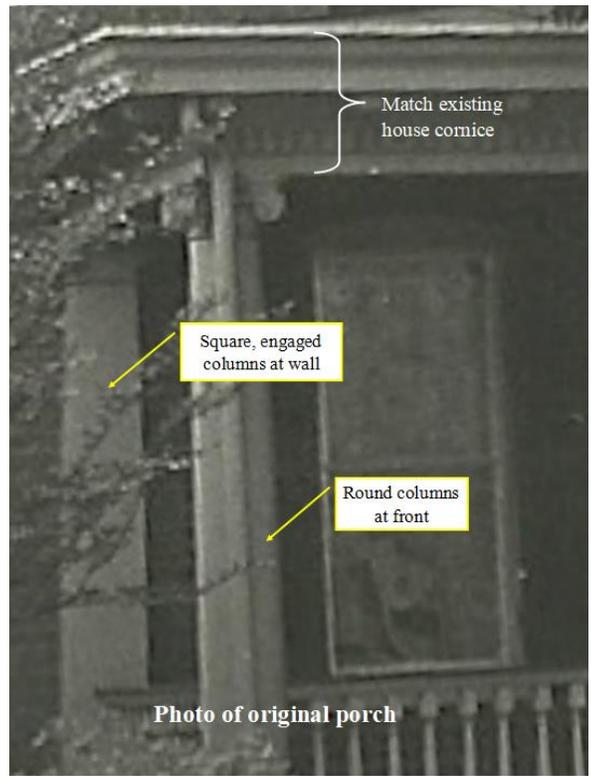
116 West Jefferson Street (existing) – note ceiling board and trim



Ceiling at rear porch (upper) - 116 West Jefferson St.



Original porch at 116 West Jefferson Street.



Column capitol



Original porch at 116 West Jefferson



406 Altamont Circle

406 Altamont Circle



406 Altamont Circle



406 Altamont Circle – note ceiling board and trim



Detail from porch reconstruction at 201 East High Street. [Reference is to gutter condition only.]

**201 East High Street: Porch Cornice**  
 Drawings submitted for BN-20-0076  
 Modification per BAR CoA 7/16/2019

**Not to Scale**

STANDING SEAM MTL. ROOF - 20" PANEL  
 UNDERLAYMENT AS RECOMMENDED PER ROOFING MANUF.  
 5/8" PLYWD. OR OSB  
 ROOF TRUSSED @ 24" O.C.  
 2 x 4 SUB FASCIA  
 MTL. ROOF EDGE  
 6" COPPER HALF ROUND GUTTER  
 1 x 6 FASCIA  
 SOFFIT BO.  
 DENTIL CROWN MOULD - MATCH EXIST.  
 1 x 12 BOTH SIDES

SIMPSON H2.5A OR SIMPSON SDWC TRUSS SCREW (SDWC 15600) TO EACH TRUSS  
 1 1/2" BED MOULD  
 BEAM - SEE PLANS  
 DRIP CAP MOULD BOTH SIDES  
 BED MOULD BOTH SIDES  
 1 x 4 - BOTH SIDES  
 BLOCKING AS REQ.  
 COLUMN CAP FLASHING

**Revised detail 4 on Sheet A-3**  
 Add simple crown mould, similar profile and proportions to that shown in Fig 7 of the July 2019 BAR submittal (below). Available, stock profile is fine.

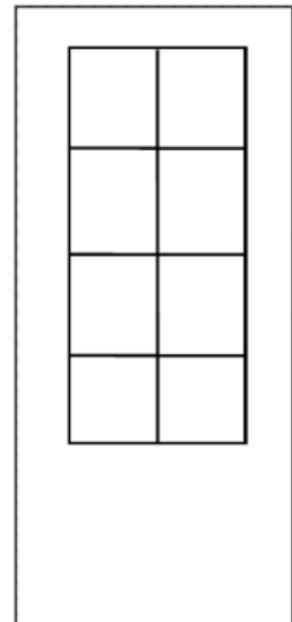
**FIG. 7**

J.B. Werner  
 NDS staff  
 March 6, 2020

\* PER BAR 7/16/2019

**PORCH CORNICE DETAIL TO MATCH EXISTING**

New French door at rear porch to be similar to existing door at 111 Altamont Circle:

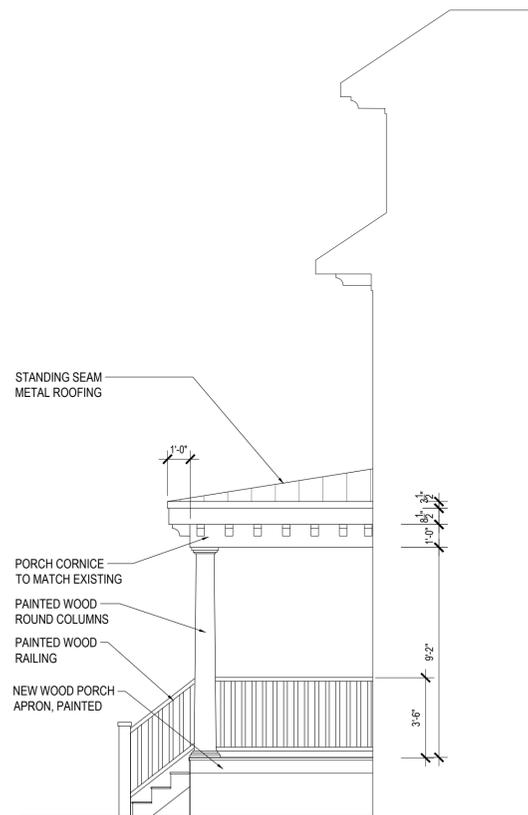


Not to scale



**EXTERIOR ELEVATION - SOUTH**  
116 WEST JEFFERSON STREET

12/02/2022  
SCALE: 1/4" = 1'-0"



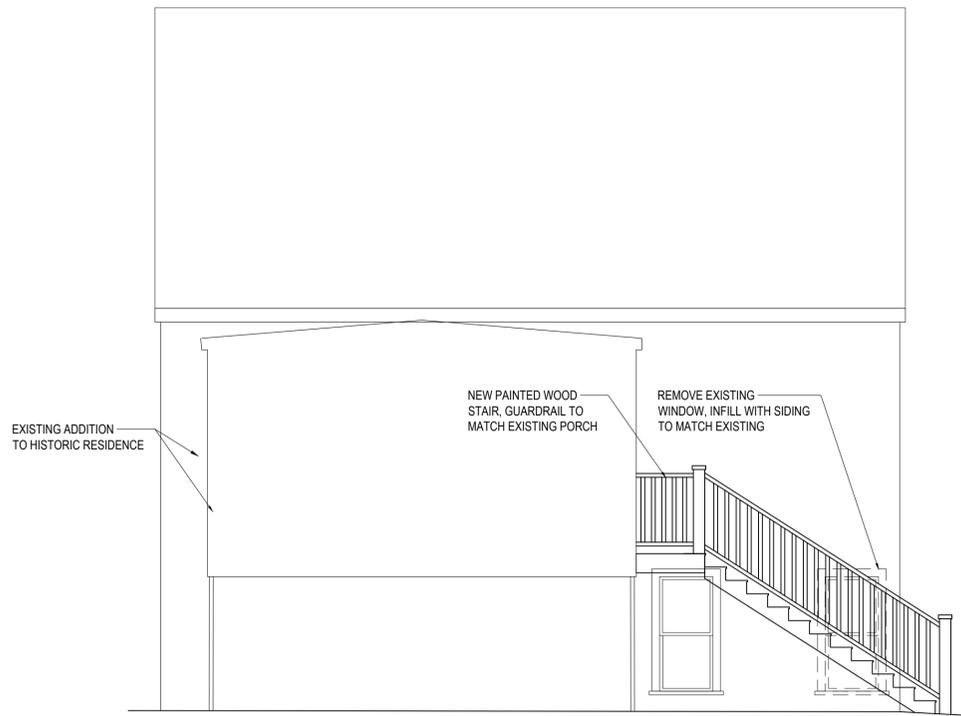
**EXTERIOR ELEVATION - WEST PORCH ELEVATION**  
116 WEST JEFFERSON STREET

12/02/2022  
SCALE: 1/4" = 1'-0"



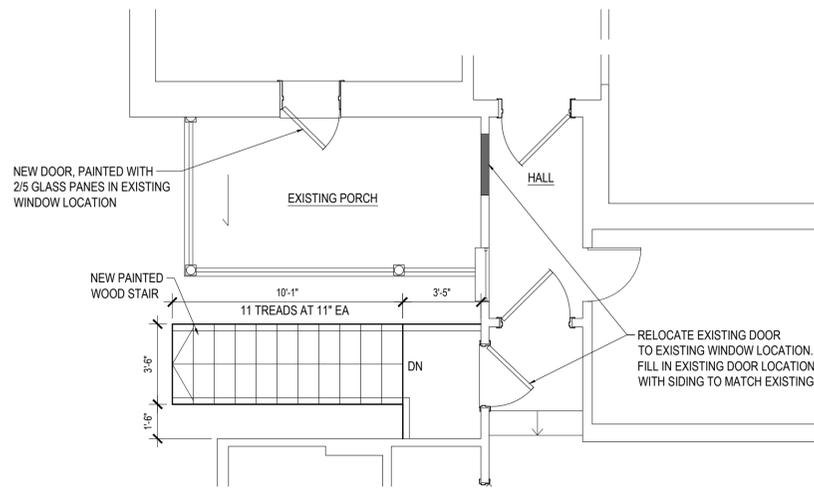
**EXTERIOR ELEVATION - NORTH ELEVATION**  
116 WEST JEFFERSON STREET

12/02/2022  
SCALE: 1/4" = 1'-0"



**EXTERIOR ELEVATION - NORTH FACADE OF ADDITION AT NEW STAIR**  
116 WEST JEFFERSON STREET

12/02/2022  
SCALE: 1/4" = 1'-0"



**PLAN AT NEW EXTERIOR STAIR**  
116 WEST JEFFERSON STREET

12/02/2022  
SCALE: 1/4" = 1'-0"



**EXTERIOR ELEVATION - WEST**  
116 WEST JEFFERSON STREET

12/08/2022  
SCALE: 1/4" = 1'-0"



**EXTERIOR ELEVATION - SOUTH AT BALCONY**  
116 WEST JEFFERSON STREET

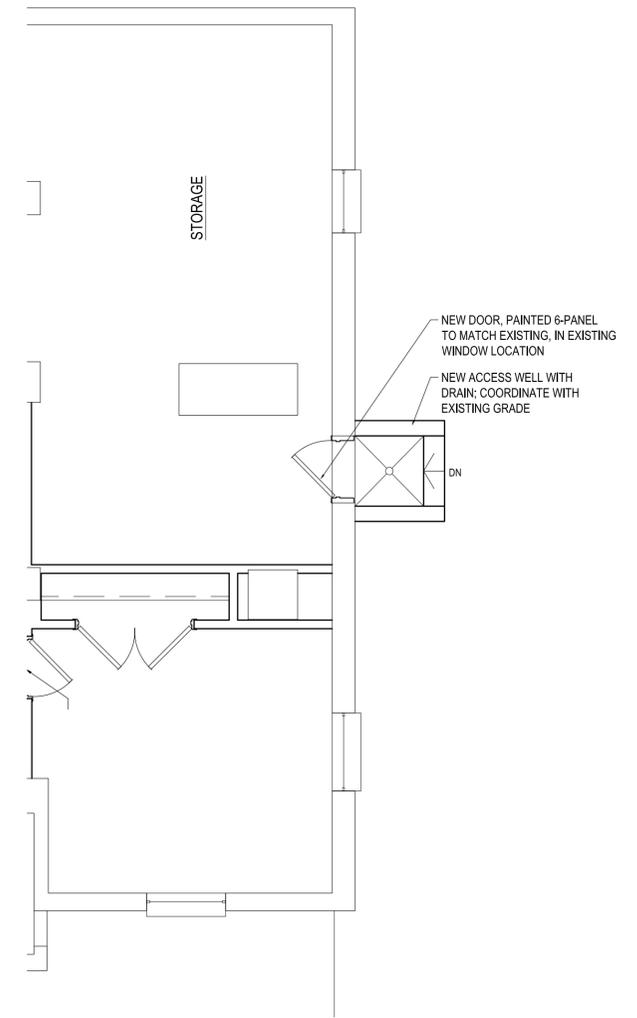
12/08/2022  
SCALE: 1/4" = 1'-0"



NEW DOOR AT EXISTING WINDOW LOCATION,  
PAINTED 6-PANEL WOOD DOOR TO MATCH EXISTING.

**EXTERIOR ELEVATION - EAST**  
116 WEST JEFFERSON STREET

12/08/2022  
SCALE: 1/4" = 1'-0"



**PARTIAL BASEMENT FLOOR PLAN**  
116 WEST JEFFERSON STREET

12/08/2022  
SCALE: 1/4" = 1'-0"

**BAR staff notes intended only to illustrate changes from Feb 2021 to December 2022 submittal.**

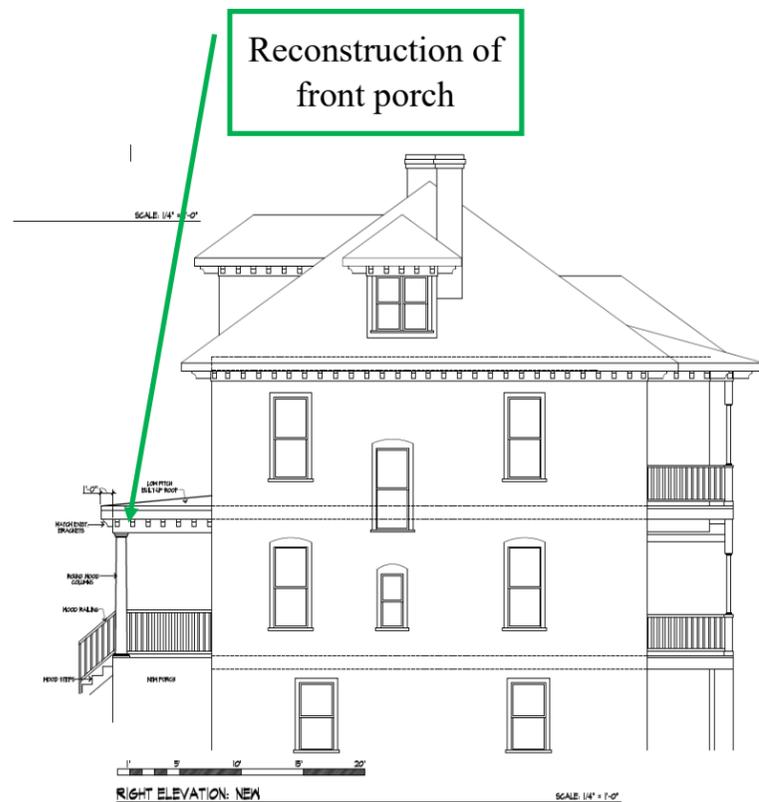


Reconstruction of front porch

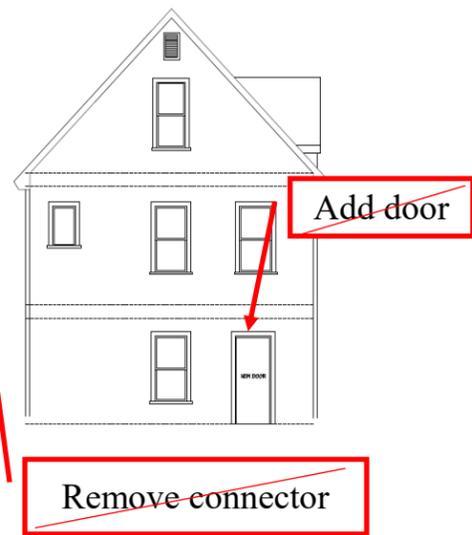
No changes

**West Elevation**

**BAR staff notes intended only to illustrate changes from Feb 2021 to December 2022 submittal.**



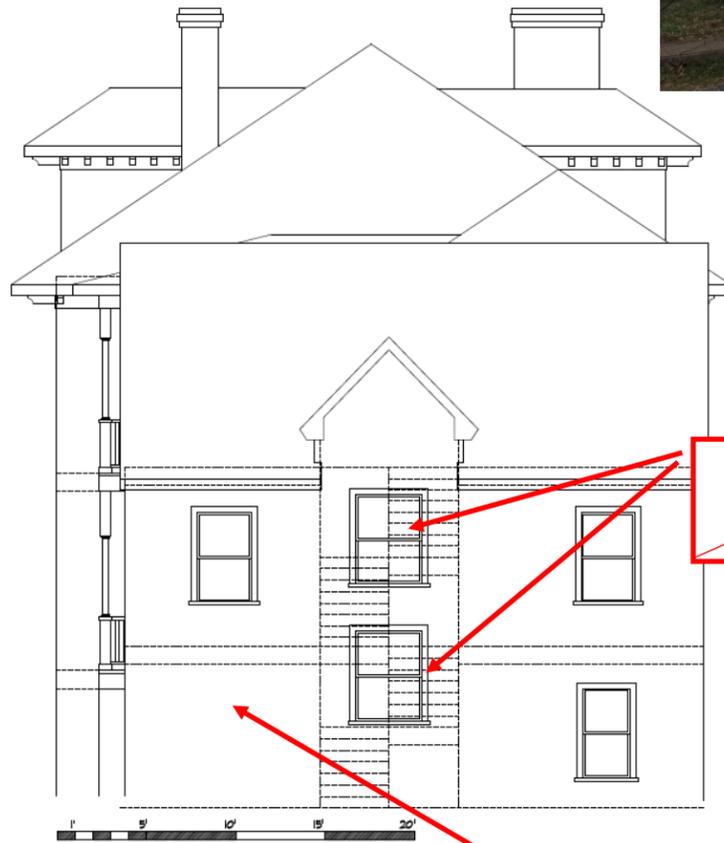
Feb 2021



Dec 2022

**BAR staff notes intended only to illustrate changes from Feb 2021 to December 2022 submittal.**

**South Elevation—Contemporary Addition**



**Install larger windows**

REAR ELEVATION: NEW

SCALE: 1/4" = 1'-0"

Feb 2021

**Remove door and canopy**

Move window down.  
Repair wall to match.

(New stairs at  
connector)



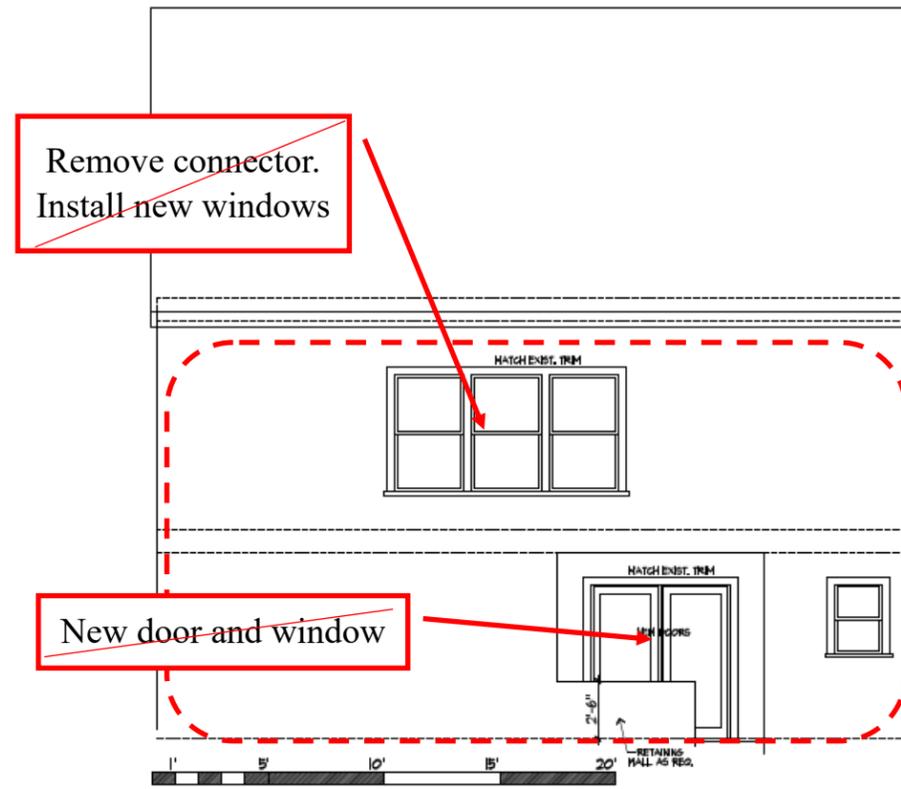
EXISTING ADDITION TO HISTORIC STRUCTURE  
NEW PAINTED WOOD STAIR, GUARDRAIL TO MATCH EXISTING PORCH

RELOCATE EXISTING WINDOW, INFILL SIDING TO MATCH EXISTING

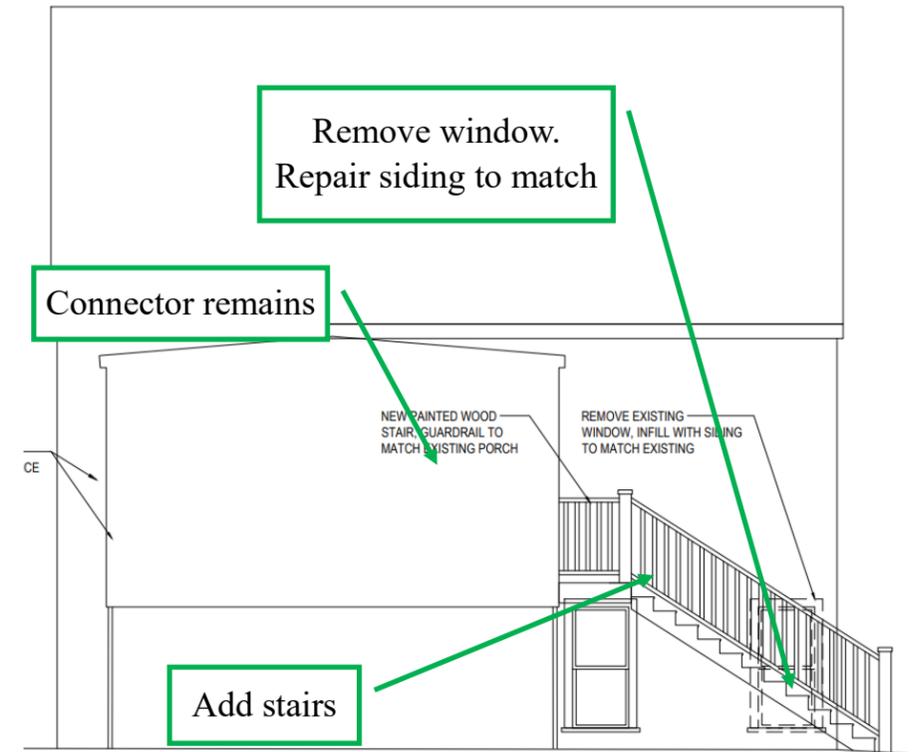
EXTERIOR ELEVATION - SOUTH  
116 WEST JEFFERSON STREET

12/02/2022  
SCALE: 1/4" = 1'-0"

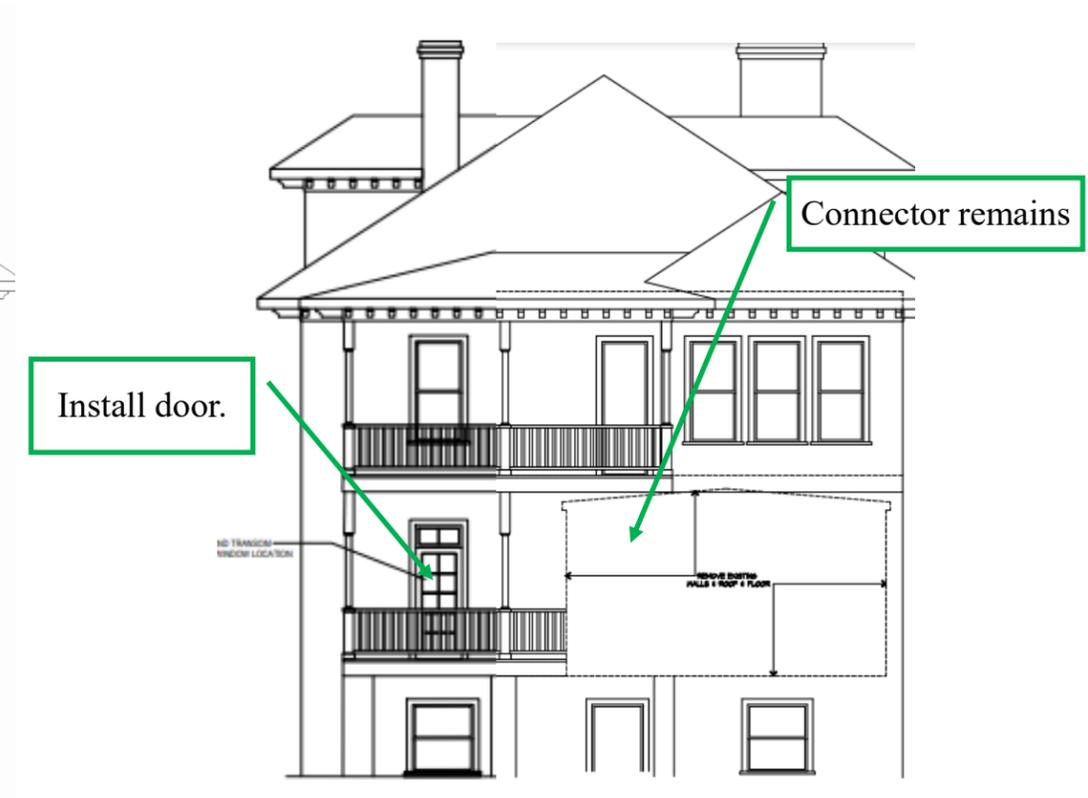
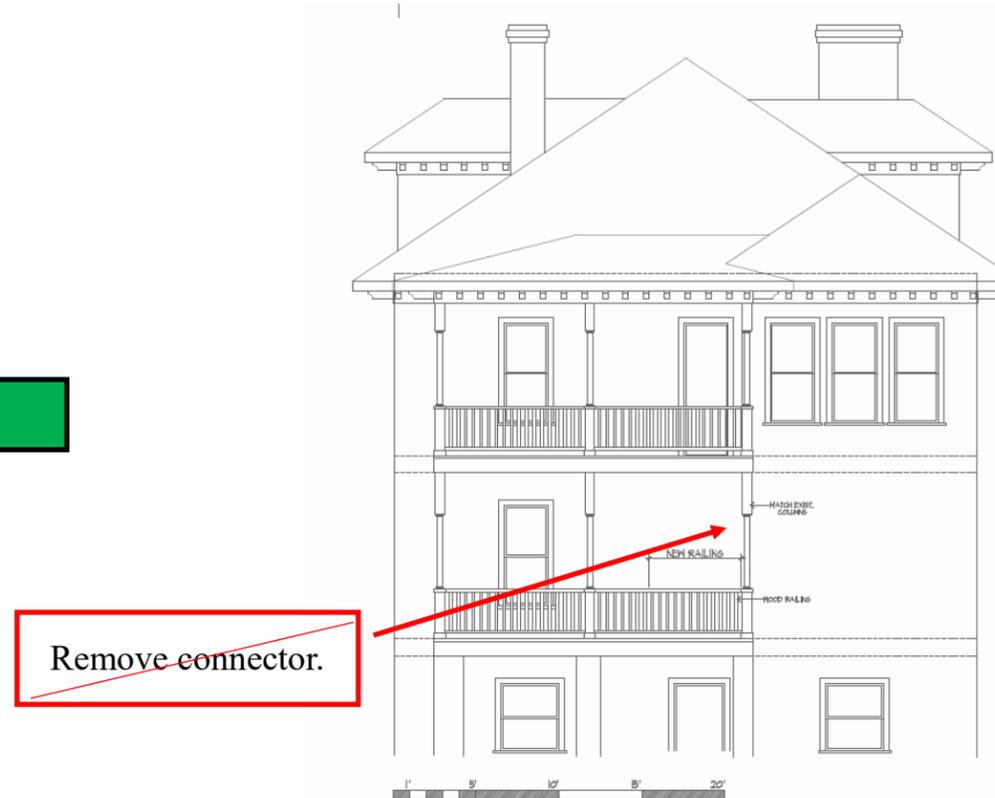
Connector



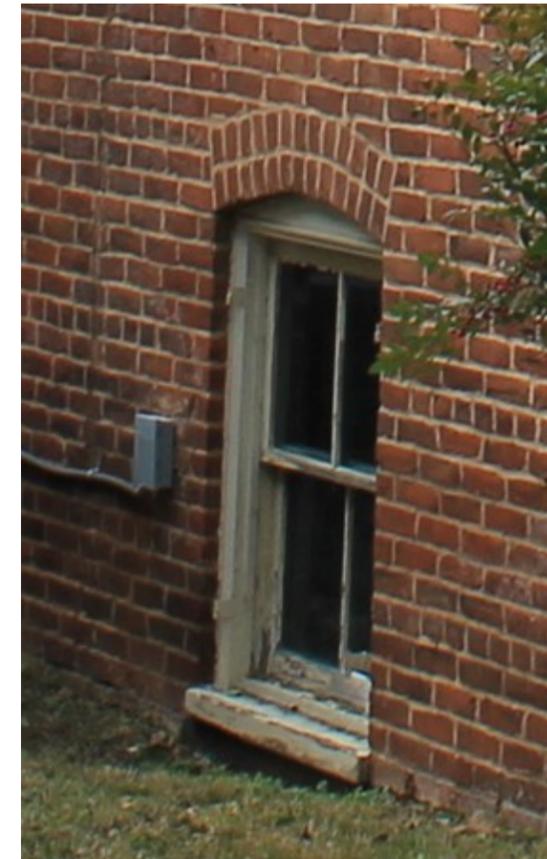
Feb 2021



Dec 2022

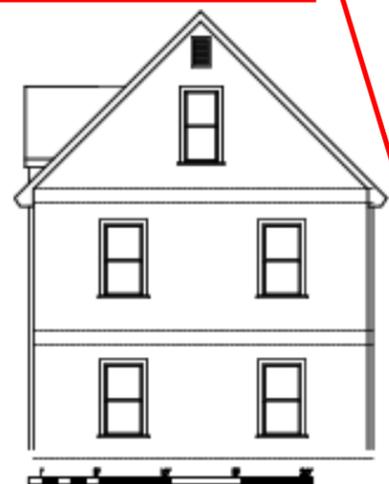


East Elevation



Adjacent window. Similar

~~Remove connector.~~



Feb 2021

Connector remains



Dec 2022



Install door.



North Elevation—from W. Jefferson



West Elevation—from 2nd Street NW (looking SE)



South Elevation—Rear Addition



West Elevation—from 2nd Street NW (looking NE)



East Elevation—from W. Jefferson



East Elevation (looking NW from rear)



Rear Porches



Cornice Detail



Rear Porch Detail



Cornice Detail



Above Front Door (North Elevation)



Rear Addition—Siding



Rear Addition—Window (typ)

# LANDMARK



# SURVEY

## IDENTIFICATION

Street Address: 116 West Jefferson Street  
Map and Parcel: 33-183  
Census Tract & Block: 1-314  
Present Owner: Family Services of C'vill-Albemarle  
Address: 116 West Jefferson Street  
Present Use: Offices  
Original Owner: J. C. Revercomb  
Original Use: Residence

## BASE DATA

Historic Name: Revercomb House  
Date/Period: 1913  
Style: Colonial Revival  
Height to Cornice: 21.5  
Height in Stories: 2  
Present Zoning: B-3  
Land Area (sq.ft.): 47.5 x 116.5  
Assessed Value (land + imp.): 8310 + 5370 = 13,680

## ARCHITECTURAL DESCRIPTION

The Revercomb House, until recently, was one of the fine examples of the Colonial Revival style. The floor plan is similar to Stanford White's Carrs Hill at the University. Built of brick that was once penciled so that the mortar joints would appear more even, the two story, three bay residence boasted of a handsome veranda with four Ionic columns with diagonal volutes, so characteristic of revival capitals, and a strong modillioned cornice that added sophistication to an otherwise ordinary structure. With this veranda gone, the Federal style entrance with fan and sidelights of beveled leaded glass loses much of its original elegance. On the interior the original doors, woodwork, and mantles are also typical of the Colonial Revival. The most interesting and unusual interior detail is the open spool-work lunette in the archway between the entrance and the stair hall.

# HISTORICAL DESCRIPTION

In 1878, Elisah Gilmer bought the property from B. L. Powell (ACDB 69-4). Gilmer sold the property and the small one story brick structure to Mrs. B. G. Leterman in 1903 (DB 14-304). In 1909, J. C. Revercomb bought the property (DB 20-483) and in 1913 razed the older structure and built the present house. The house remained in the Revercomb family until 1972 when the Family Services of Charlottesville-Albemarle, Inc. purchased it. The veranda was removed in 1974.

## GRAPHICS

P-34(L)

P-34(R)

## CONDITIONS

Average

## SOURCES

Miss Virginia Revercomb  
City Records

NAME: ABERCROMB HOUSE

116 W. JEFFERSON ST.

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_

VIRGINIA HISTORIC LANDMARKS COMMISSION



**116 West Jefferson Street - Revercomb House c.1913 - Photos from City Historic Survey (1970s -1980s)**



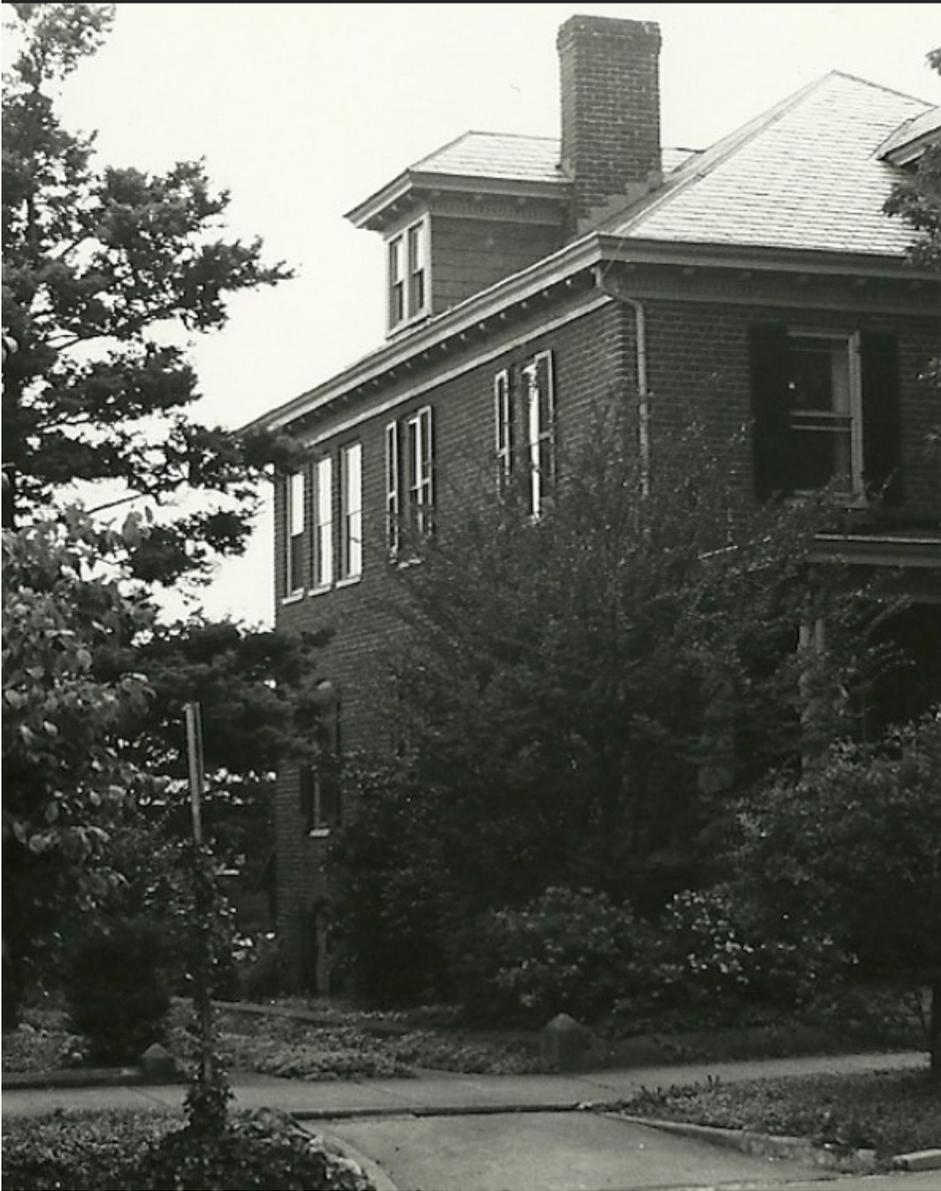
**116 West Jefferson Street - Revercomb House c.1913 - Photo from Google street view (June 2018)**



116 West Jefferson Street - *Revercomb House* c.1913 - Photos from City Historic Survey (1970s -1980s)



116 West Jefferson Street - *Revercomb House* c.1913 - Photos from City Historic Survey (1970s -1980s)



East elevation



West elevation

116 West Jefferson Street - *Revercomb House* c.1913 - Photos from City Historic Survey (1970s -1980s)



Front (north) entrance



Rear (south) elevation

**116 West Jefferson Street - *Revercomb House* c.1913 - Photos from City Historic Survey (1970s -1980s)**



116 West Jefferson Street - *Revercomb House* c.1913 - Photos from City Historic Survey (1970s -1980s)



Front porch



Rear elevation