Certificate of Appropriateness
BAR # 24-09-02
1309 West Main Street Tax Map Parcel 100016000
West Main ADC District
Owner: RAAJ Charlottesville Owner, LLC
Applicant: Paul Karpets
Project: North and south elevations, remove stucco panels, install EIFS.

Mr. Karpets,

The CoA for the above referenced project was approved by the City of Charlottesville Board of Architectural Review on September 17, 2024. The following action was taken:

> Ms. Lewis moved to approve the Consent Agenda, and this was seconded by Mr. Gastinger. Vote: 7-0. Please note that approval of the Consent Agenda results in approval of the following:
>
> Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, we move to find the exterior alterations at 1309 West Main Street satisfy the BAR's criteria and is compatible with this property and other properties in this ADC District, and that the BAR approves the request ***with the condition*** that the EIFS installed in areas adjacent to pedestrian traffic or prone to damage shall be reinforced or a Class PM system and/or a high-impact resistant system.

For specifics of the discussion, the meeting video is on-line at:
https://boxcast.tv/channel/vabajtzezuyv3iclkx1a?b=yo3epy8oqndyg8e5uxyo

Per the provisions of City Code, this CoA is valid for 18 months from the date of BAR approval; upon written request and for reasonable cause, the director of NDS or the BAR may extend that period by one year; and this CoA does not, in and of itself, authorize any work or activity that requires a building permit or compliance with other provisions of the City Code.

If you have any questions, please contact me or Jeff Werner (wernerjb@charlottesville.gov).

Sincerely,
Kate

Kate Richardson
Historic Preservation & Design Planner II
Neighborhood Development Services
City of Charlottesville
434.970.3515 | richardsonka@charlottesville.gov

City of Charlottesville
Board of Architectural Review
Staff Report
September 17, 2024

Certificate of Appropriateness
BAR # 24-09-02
1309 (1301-1317) West Main Street; TMP 100016000
West Main ADC District
Owners: RAAJ Charlottesville Owner, LLC
Applicant: Paul Karpets et al
Project: Exterior alterations

Background
Year Built: 1966
District: West Main ADC District
Status: Non-contributing
Style: Mid-Century Modern; major alterations circa 1996-2004

Prior BAR Reviews (See Appendix)

Application
- Submittal: Sundown Renovations Inc, drawings *Graduate - Charlottesville Renovation*, dated 21 August 2024, five sheets.

Request CoA for exterior alterations, primarily cosmetic, to existing, non-contributing structure:
- South and North elevations: Remove skim-coated panels and insulation. Install new insulation and EIFS wall coating.
- East and West elevations: Repaint walls.

Discussion and Recommendation
Between 1996 and 2004 the former Howard Johnson hotel saw numerous renovations including covering of the brick façade, removal of the 1966 peaked entrance roof, and additions from the original three, to the current eight, stories. Documentation of these modifications is incomplete. From 2014 onwards, any renovations or alterations have been noted in the appendix.

The EIFS will replace non-original, skimmed wall panels (installed mid-1990s) and the work will improve the insulation of the exterior walls. The specified material is drainable, with an air and moisture barrier.

The expansion joints are consistently located and symmetrical with the building's bays and floor levels.

The proposed color palette (grays and earth tones) is appropriate.

Staff recommends approval of the requested CoA with the condition noted below.

<u>Suggested Motions</u>
Approval: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the exterior alterations at 1309 West Main Street satisfy the BAR's criteria and is compatible with this property and other properties in this ADC District, and that the BAR approves the request with the condition that the EIFS installed in areas adjacent to pedestrian traffic or prone to damage shall be reinforced or a Class PM system and/or a high-impact resistant system.

Denial: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the proposed exterior alterations at 1309 West Main Street does not satisfy the BAR's criteria and is not compatible with this property and other properties in this ADC District, and that for the following reasons the BAR denies the request: […]

<u>Criteria, Standards, and Guidelines</u>
Review Criteria Generally
Per Chapter 34, Div. 5.2.7. C.2:

a. In considering a particular application the BAR will approve the application unless it finds:
    i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City's design guidelines; and
    ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and

character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City's design guidelines and subject to the following limitations: [Re: building height. Not germane to this request.]

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
    i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
    ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
    iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
    iv. The effect of the proposed change on the adjacent building or structures;
    v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
    vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
    vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
    viii. Any applicable provisions of the City's design guidelines.

ADC District Design Guidelines

Chapter 1 Introduction (Part 1)
Chapter 1 Introduction (Part 2)
Chapter 4 Rehabilitation

Appendix:

Prior BAR Reviews

November 18, 2014 – **Rehabilitation:**

- Exterior painting in four colors (two shades of dark gray, off-white, and pale gray-blue), with portions finished in new thin brick, painted dark charcoal gray.
- All the windows on the upper floors were retained. The existing two-story section along West Main Street had extensive changes: a new storefront, and a balcony over the existing garage entrance.
- New square footage was enclosed on the roof with bronze metal siding for use as a restaurant.
- Signage permitted in the same location as the Red Roof Inn sign but reduced by 30%.

The BAR approved the changes *with the following conditions*:

1. Mechanical screen to be pulled back from West Main Street [to align with penthouse wall].

2. Provide windows on the [penthouse] West Main Street façade.
3. Provide internal spacer bars on the ground floor [SDL] windows.
4. The lower rail shall match the penthouse rail.

The BAR made the following suggestions:
1. The penthouse should be black or dark gray instead of bronze color.
2. The existing transformer to the west of Mellow Mushroom should be screened.

March 17, 2015 – Revisions to previous application: (11/2014)
- The BAR approved the exterior changes with the following modifications:
  - BAR must review the profile for window muntins;
  - Revised color scheme per discussion [no teal; use previous grays or grayed blues with darker color replacing light vertical bands] with physical samples of all colors circulated for staff approval;
  - Revised elevations to show where colors are going; penthouse changed back to bronze color with windows reconfigured at east end;
  - The *Graduate* sign may be located high up on the west side, if removed from other two elevations;
  - The monument sign was approved with BAR review prior to installation.

April 21, 2015— Revision of previous approval:
- BAR approved the application as submitted; with the specification that the color scheme is in the gray-color family.

September 15, 2015— BAR approved the CoA for a mural on the west-façade, facing The Rotunda [*Charlottesville Mural Project*].

October 20, 2015— BAR approved a CoA to upgrade antennas and relocate equipment on roof in new stealth enclosures.

June 10, 2019— Administrative approval for catenary lights with posts.

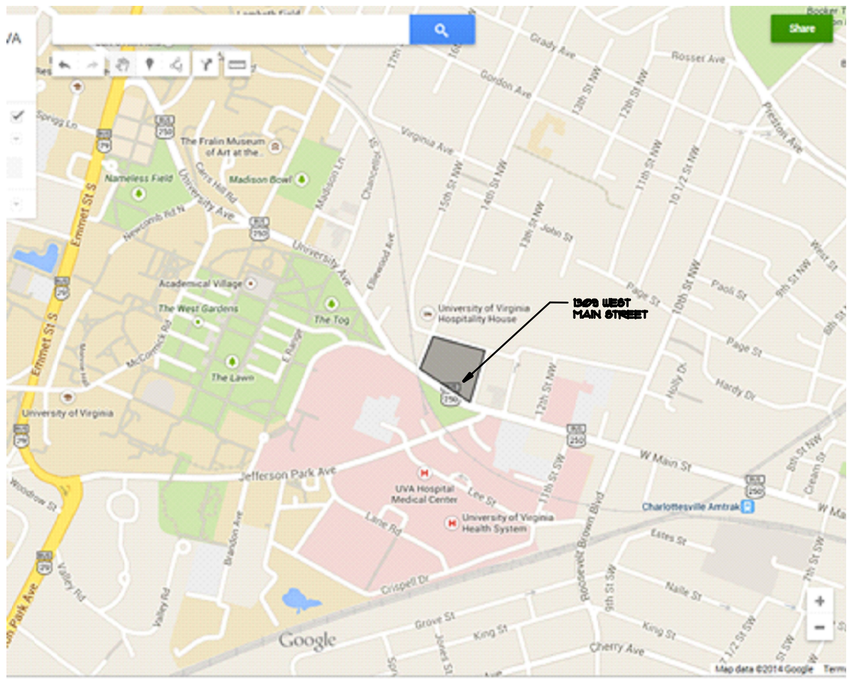
Pre-1990's photos

Recent photos

GRADUATE - CHARLOTTESVILLE RENOVATION

1309 WEST MAIN STREET, CHARLOTTESVILLE, VA

21 AUGUST 2024



1 LOCATION MAP
1" = 40'

BUILDING DATA SUMMARY

ALTERATION LEVEL
PHASE 1 - ALTERATION - LEVEL 3, VRC SECTION 405, SEE CHAPTERS 6, 7 & 8 VRC.
PHASE 2 - ADDITION & ALTERATION - LEVEL 3

FIRE PROTECTION
PROTECTED WITH AUTOMATIC SPRINKLER SYSTEM
FIRE ALARM REQUIRED

TYPE OF CONSTRUCTION
TYPE - IB
FULLY SPRINKLERED PER NFPA 13

BUILDING USE
PHASE 1 - R-1/B-2 - HOTEL
PHASE 2 - A-2/R-1/B-2 HOTEL WITH RESTUARANT

HEIGHT AND AREA

HEIGHT - 8 STORIES + PENTHOUSE	94'-9"

AREA	AREA PER FLOOR
LOWER LEVEL	25,435 SQ FT
1ST	25,508 SQ FT
2ND	25,261 SQ FT
3RD	23,935 SQ FT
4TH	10,111 SQ FT
5TH	10,111 SQ FT
6TH	10,111 SQ FT
7TH	10,111 SQ FT
8TH	10,111 SQ FT
PENTHOUSE*	6,130 SQ FT
TOTAL AREA	160,454 SQ FT

* WITH ADDITION

MISCELANEOUS
PHASE 1
HOTEL - 135 GUEST ROOMS
PHASE 2
RESTUARANT - 40 SEATED AT TABLES
MEETING SPACE - 218 SEATS

S-85 CHARCOAL BRICK

RESERVED

RESERVED

RESERVED

METROPOLITAN AF-690

SPARROW AF-720

DARK BRONZE ANODIZED

METROPOLITAN AF-690, SEMI-GLOSS

EXTERIOR FINISH LEGEND

ID	MATERIAL DESCRIPTION	COLOR	MANUFACTURER	NOTES
EP01	EXISTING STUCCO OR PAINTED BRICK	METROPOLITAN AF-690	BENJAMIN MOORE PAINT	-
EP02	EXISTING STUCCO OR PAINTED BRICK	SPARROW AF-720	BENJAMIN MOORE PAINT	-
M01	STANDING SEAM METAL SIDING	MATCH KALWEER DARK BRONZE ANDODIZED FINISH	-	-
EP03	EXISTING STUCCO, MASONRY, OR CONCRETE	BRUTON WHITE CW-710	BENJAMIN MOORE PAINT	-
EP04	NEW SMOOTH STUCCO	METROPOLITAN AF-690, SEMI-GLOSS	BENJAMIN MOORE PAINT	-
BRK1	THIN BRICK WITH CORNERS AND RETURNS	S-85 CHARCOAL	GLEN GARY BRICK	-
EP05	MECHANICAL EQUIPMENT SCREEN 1ST FLR	MATCH KALWEER DARK BRONZE ANDODIZED FINISH	-	1 -
A01	ALUMINUM STOREFRONT 1ST & 2ND FLOOR	DARK BRONZE ANODIZED	KALWEER	-
EP06	STEEL GUARDRAIL, POSTS, ETC. 2ND FLOOR	SPARROW AF-720, SEMI-GLOSS	BENJAMIN MOORE PAINT	-
RF01	ROOF FACIA, 2ND FLOOR	MATCH S-85 CHARCOAL BRICK	-	-
RF02	ROOF FACIA, PENTHOUSE	MATCH KALWEER DARK BRONZE ANDODIZED FINISH	-	-
A02	ALUMINUM WINDOWS AND DOORS, PENTHOUSE	DARK BRONZE ANODIZED	KALWEER	-
S01	STEEL OVERHEAD DOORS	MATCH DARK BRONZE ANODIZED	-	-
EP07	MECHANICAL SCREEN, 3RD FLOOR	MATCH KALWEER DARK BRONZE ANODIZED FINISH	-	-
EP08	MECHANICAL SCREEN, PENTHOUSE	MATCH KALWEER DARK BRONZE ANODIZED FINISH	-	-
EP09	STEEL GUARDRAILS, PENTHOUSE	SPARROW AF-720, SEMI-GLOSS	BENJAMIN MOORE PAINT	-

Sundown Renovations Inc.
3355 Lenox Rd, Suite 750
Atlanta GA, 30326
(770)265-8737
sergei@sundownrenovations.com

No:	Description	Date:

Cover sheet

PROJECT NUMBER:

DATE:

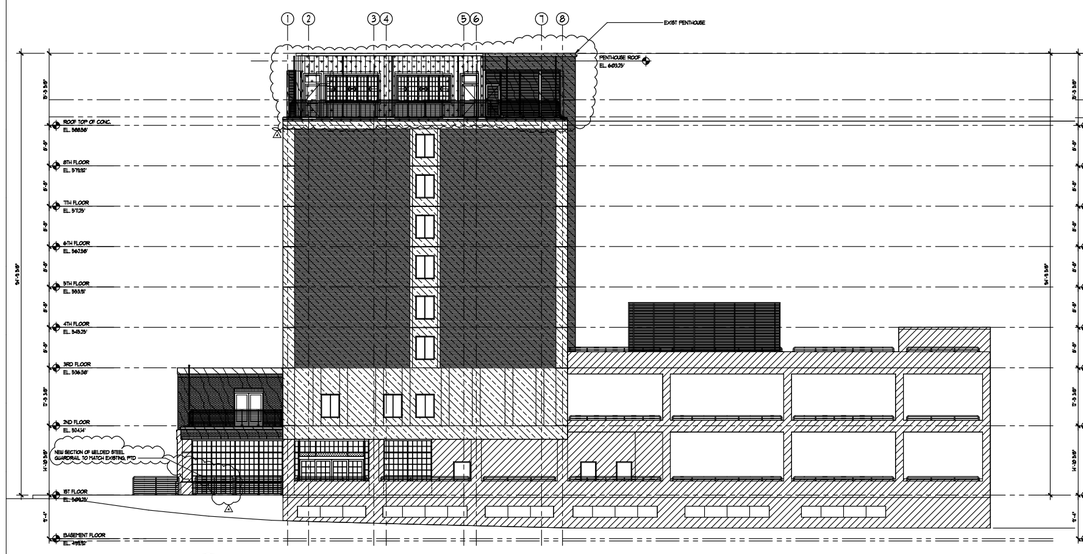
SCAILE:

SHEET NUMBER: 1

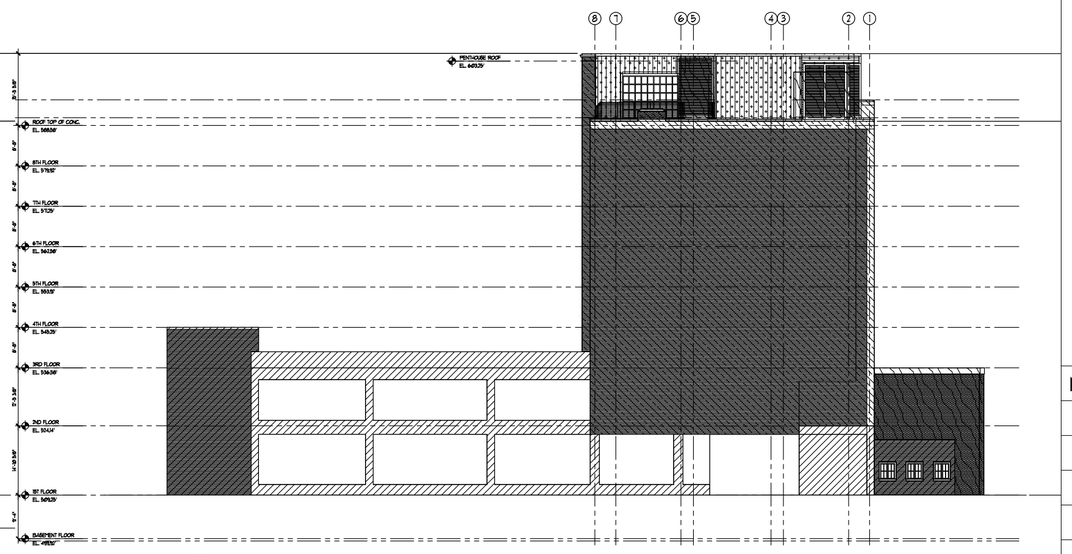
OF A2 (ANSI C)

SOUTH BUILDING ELEVATION
1/8" = 1'-0"

NORTH BUILDING ELEVATION
1/8" = 1'-0"



EAST BUILDING ELEVATION
1/8" = 1'-0"



WEST BUILDING ELEVATION
1/8" = 1'-0"

Demolition finishes,
drywall, insulation
(all framing remains)

17068,73 S.F

No work

SUNDOWN

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3355 Lenox Rd, Suite 750
Atlanta GA, 30326
(770)265-8737
sergei@sundownrenovations.com

No:	Description	Date:

Elevations demolitoin finishes

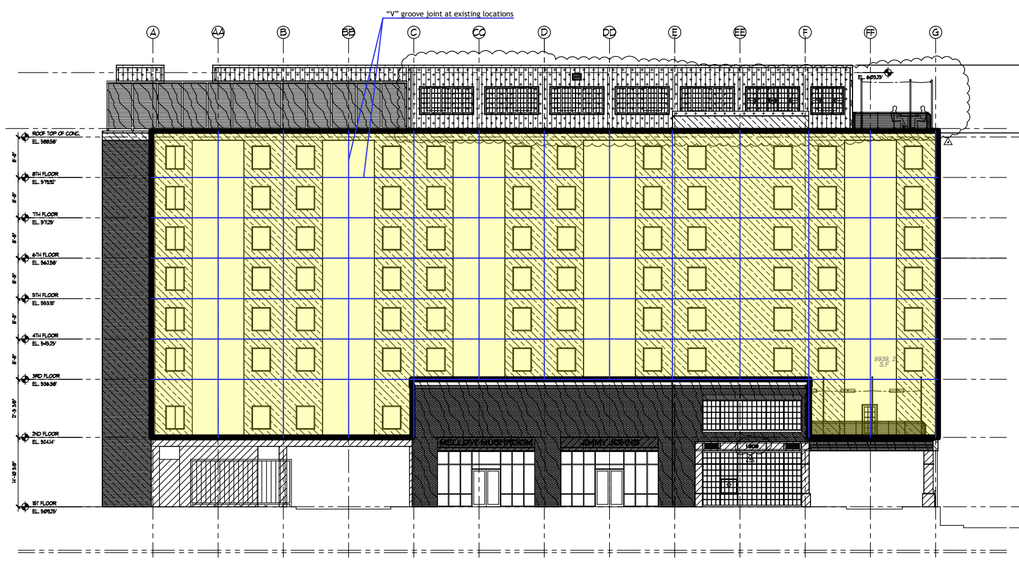
PROJECT NUMBER:

DATE:

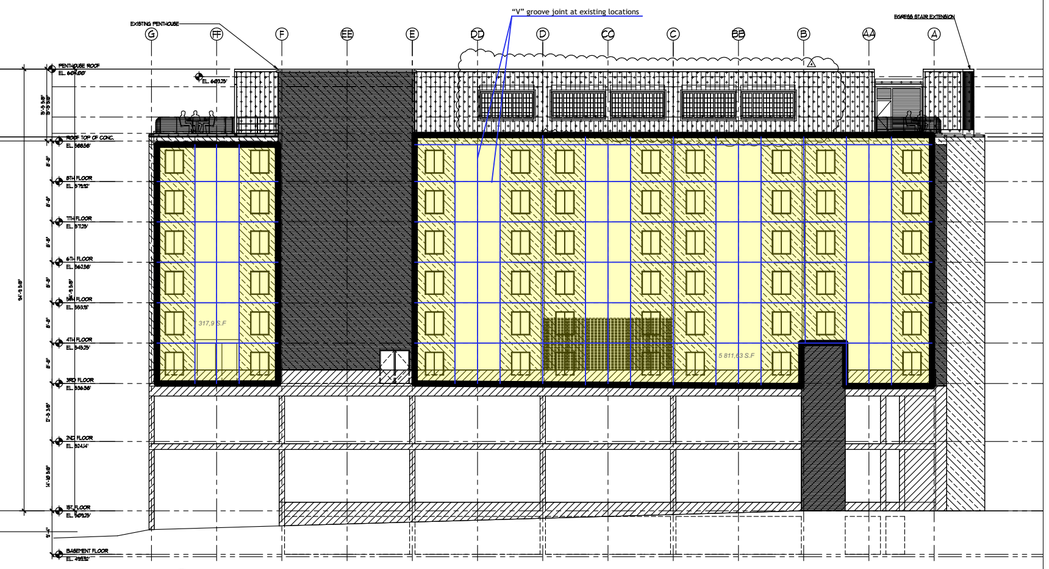
SCAILE: 1:300

SHEET NUMBER: 2

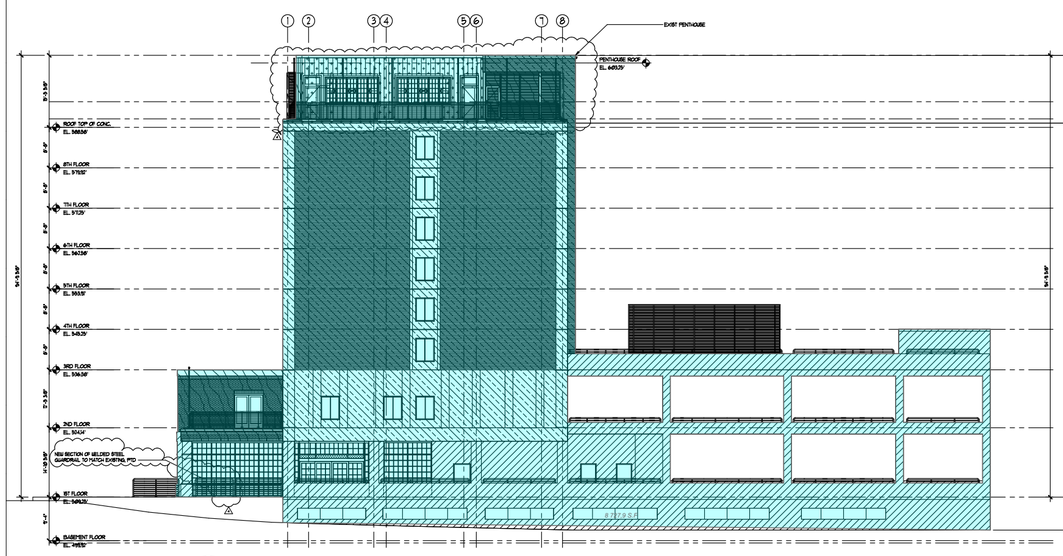
OF A2 (ANSI C)



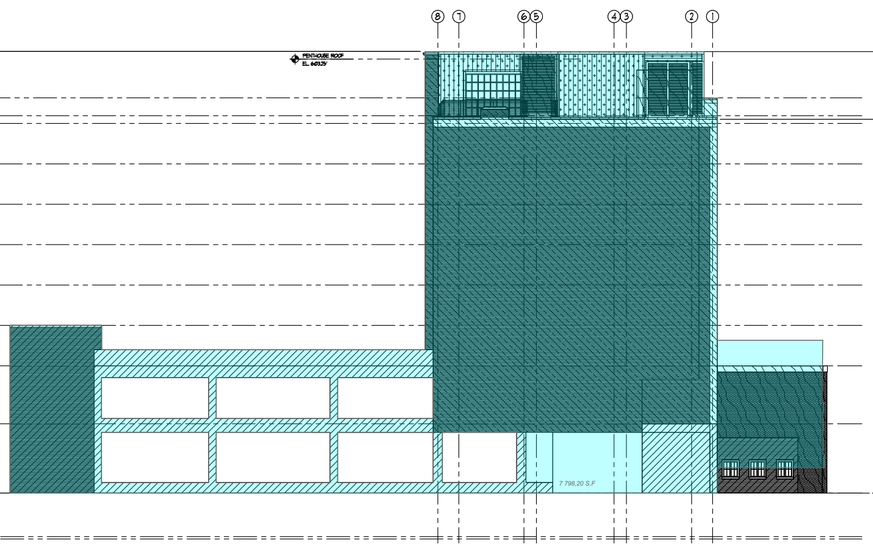
SOUTH BUILDING ELEVATION
1/8" = 1'-0"



NORTH BUILDING ELEVATION
1/8" = 1'-0"



EAST BUILDING ELEVATION
1/8" = 1'-0"



WEST BUILDING ELEVATION
1/8" = 1'-0"

Install new insulation R-20 value
Install exterior type drywall
Install EIFS system
Seal all window and penetrations using MP-1 type sealant

17068,73 S.F

""V" groove joint at existing locations

Repair and paint all other adjacent surfaces to match existing paint color combination

16526,1 S.F

Sundown Renovations Inc.
3355 Lenox Rd, Suite 750
Atlanta GA, 30326
(770)265-8737
sergei@sundownrenovations.com

No:	Description	Date:

Elevations mounting finishes

PROJECT NUMBER:

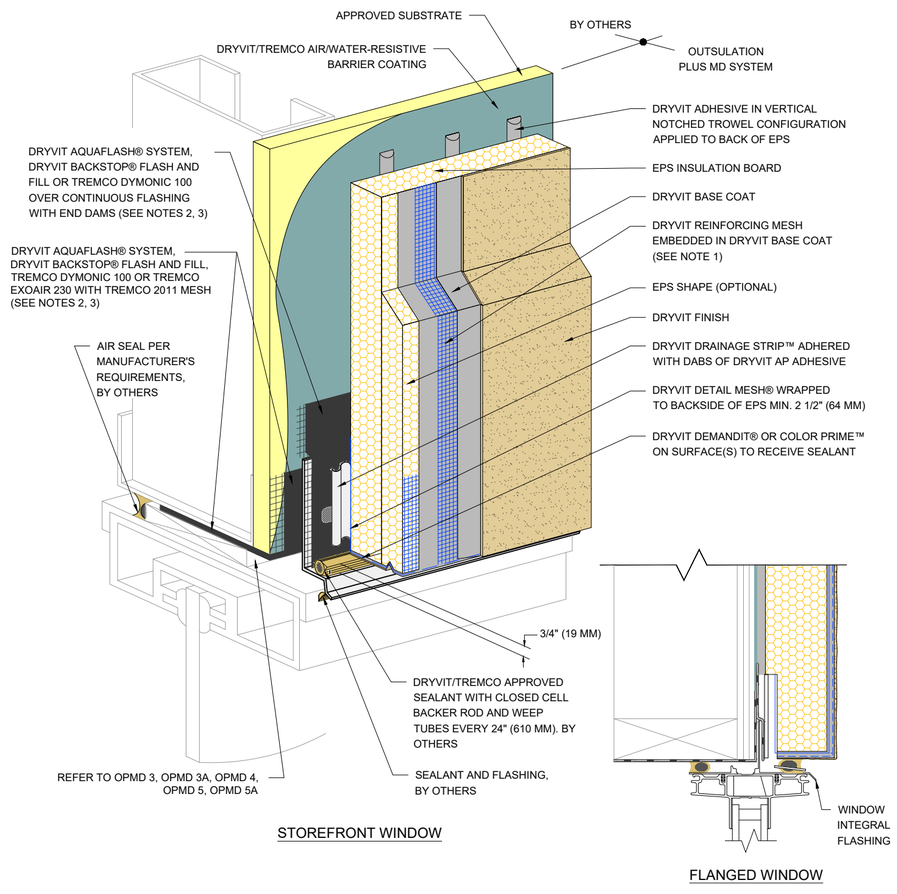
DATE:

SCAILE: 1:300

SHEET NUMBER: 3

OF A2 (ANSI C)

Detail: Storefront and Flanged Window Head



NOTE:
1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD PLUS MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. REFER TO PRODUCT DATA SHEETS FOR SPECIFIC APPLICATION METHODS.

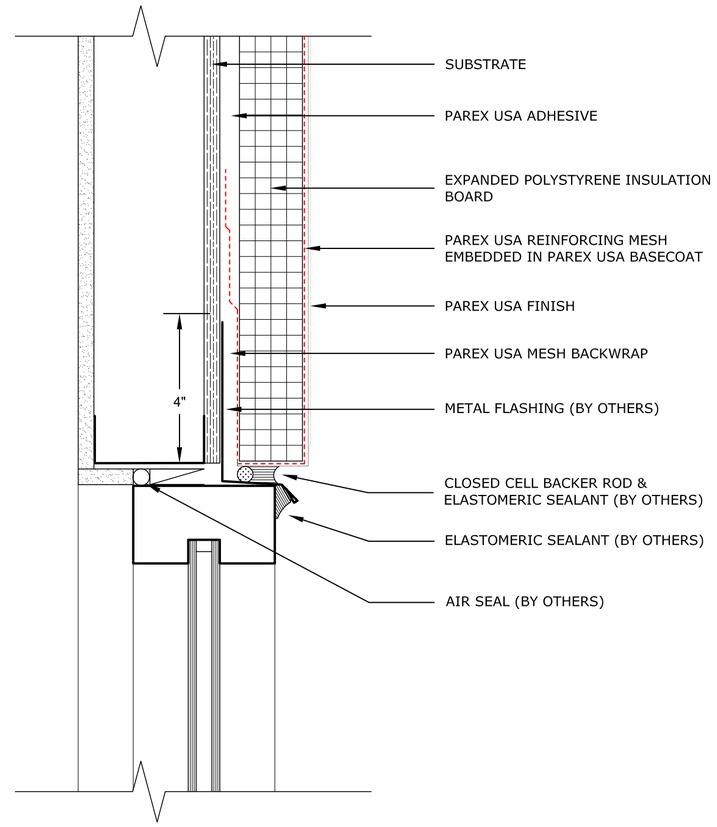
3. THE ONLY WRB TO BE USED WITH BACKSTOP® FLASH AND FILL IS BACKSTOP® NTX™.

The architecture, engineering, and design of the project using the Dryvit and Tremco products are the responsibility of the project's design professional. All products and systems must comply with local building codes and standards. This detail is for general information and guidance only and Dryvit and Tremco specifically disclaims any liability for the use of this detail. The project design professional determines, in its sole discretion, whether this detail or a functionally equivalent detail is best suited for the project. This detail is subject to change without notice. Contact Dryvit and Tremco to ensure you have the most recent version.

Detail: Termination at flashed window head

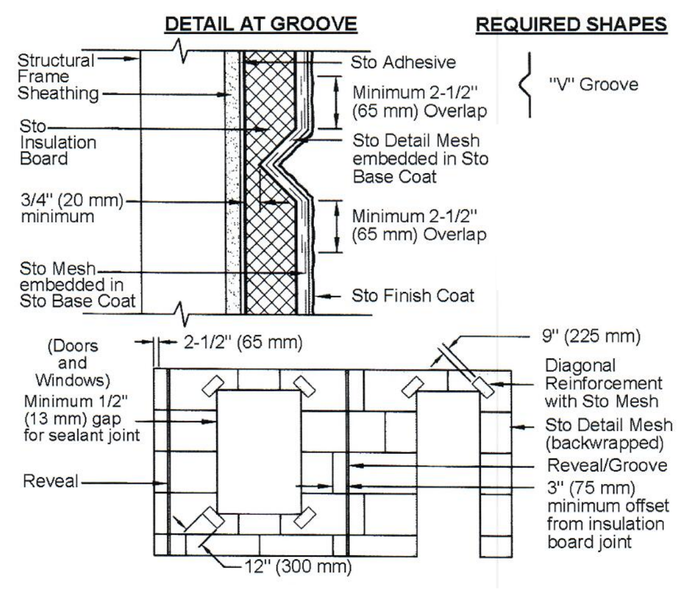
PAREX®

STANDARD SYSTEM



SS W1.02 TERMINATION AT FLASHED WINDOW HEAD

STANDARD SYSTEM
OPTIMUM SYSTEM



SUNDOWN

Sundown Renovations Inc.
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Atlanta GA, 30326
(770)265-8737
sergei@sundownrenovations.com

No:	Description	Date:

Return details at Doors, windows, corners and joint detail

PROJECT NUMBER:

DATE:

SCAILE: 1:1

SHEET NUMBER: 4

OF A2 (ANSI C)

Technical Data Guide

MASTER® BUILDERS SOLUTIONS

7 | 07 92 00 Joint Sealants

MasterSeal® NP 1™

One-component, acoustic/sound damping, elastomeric, gun-grade polyurethane sealant

FORMERLY SONOLASTIC® NP 1™

PACKAGING
- 300 ml (10.1 fl oz) cartridges, 30 cartridges per carton and 12 cartridges per carton
- 590 ml (20 fl oz) ProPaks, 20 per carton

COLORS
White, Off-White, Limestone, Stone, Tan, Aluminum Gray, Medium Bronze, Special Bronze, Redwood Tan, Black And Gray

For color availability in bulk packaging, call Customer Service.

YIELD
See page 3 for charts

STORAGE
Store in original, unopened containers away from heat and direct sunlight. Storing at elevated temperatures will reduce the shelf life.

SHELF LIFE
Cartridges and ProPaks: 1 year when properly stored.

VOC CONTENT
35g/L less water and exempt solvents

DESCRIPTION
MasterSeal NP 1 is a one-component, high-performance, non-priming, gun-grade, elastomeric polyurethane sealant. It requires no mixing and typically requires no priming to bond to many materials, including concrete and masonry.

Used as an acoustical sealant, MasterSeal NP 1 reduces sound transmission in partition systems to support high STC values by sealing spaces around cut-outs and at perimeters of partitions. The sealant cures to a tough rubber to form a long-lasting acoustical seal.

PRODUCT HIGHLIGHTS
- One-component formula requires no mixing, helping to reduce labor costs
- Joint movement capability ±35% provides excellent flexibility for keeping moving joints weathertight
- Easy to gun and tool, speeding up application and making neater joints
- Available in ProPaks, reducing jobsite waste, lowering disposal costs
- 12 standard colors to match a wide variety of common substrates
- No primer required for most construction materials lowering installation costs
- Weather resistant for long-lasting weathertight seals
- Wide temperature application range makes MasterSeal NP 1 suitable for all climates
- Compatible with non-rigid coatings and can be painted
- Superior holding power for long-lasting roof tile installation
- UL listed; Passes 4–hour, 4–inch, fire and hose stream test when used with Ultra Block or mineral wool
- Suitable for water immersion with documented performance in wet areas
- Meets VOC requirements in all 50 states
- Can adhere to green concrete up to 72 hours after pour
- Can be used as acoustic sealant to increase system STC value
- Minimizes sound transfer and supports high STC ratings

APPLICATIONS
- Interior and exterior
- Above and below grade
- Immersed in water
- Expansion joints
- Panel walls
- Precast units
- Aluminum and wood window frames
- Roofing
- Fascia
- Parapets
- Vinyl siding
- Store front assemblies

SUBSTRATES
- Concrete
- Masonry
- Aluminum
- Wood
- Clay & concrete roof tiles
- Stucco
- Natural stone

www.master-builders-solutions.com/en-us

A brand of MBCC GROUP

Technical Data

Composition
MasterSeal NP 1 is a one-component moisture-curing polyurethane.

Compliances
- ASTM C 920, Type S, Grade NS, Class 35, Use NT, M, A, T, O* and I
- Federal Specification TT-S- 00230C, Type II, Class A
- Corps of Engineers CRD-C- 541, Type II, Class A
- Canadian Specification CAN/CGSB-19.13-M87, Classification MCG-2-25-A-N, No. 81026
- CFI accepted
- Underwriters Laboratories Inc.® classified (fire resistance only)
- ISO 11600-F-25LM
- STC (sound transmission class)

* Refer to substrates in Where to Use.

Typical Properties

PROPERTY	VALUE
Service temperature range, °F (°C)	-40 to 180 (-40 to 82)
Shrinkage	None

SEALANT • WATERPROOFING & RESTORATION INSTITUTE
Issued to: Master Builders Solutions Constructions Systems, LLC US
Product: MasterSeal NP 1
C719: Pass ✔ Ext:+35% Comp:-35%
Substrate: Unprimed Mortar, Unprimed Anodized Aluminum, & Unprimed Glass
Validation Date: 7/12/21 - 7/11/26
No. 202113NP1 copyright © 2021
SEALANT VALIDATION
www.swrionline.org

TABLE 1
Joint Width and Sealant Depth

JOINT WIDTH, IN (MM)	SEALANT DEPTH AT MIDPOINT, IN (MM)
¼–½ (6–13)	¼ (6)
½–¾ (13–19)	¼–⅜ (6–10)
¾–1 (19–25)	⅜–½ (10–13)
1–1½ (25–38)	½ (13)

Test Data

PROPERTY	RESULTS	TEST METHOD
Movement capability, %	±35	ASTM C 719
Tensile strength, psi (MPa)	350 (2.4)	ASTM D 412
Tear strength, pli	50	ASTM D 1004
Ultimate elongation at break, %	800	ASTM D 412
Rheological, (sag in vertical displacement) at 120 °F (49 °C)	No sag	ASTM C 639
Extrudability, 3 seconds	Passes	ASTM C 603
Hardness, Shore A At standard conditions After heat aging (max Shore A: 50)	 25 – 30 25	ASTM C 661
Weight loss, after heat aging, %	3	ASTM C 792
Cracking and chalking, after heat aging	None	ASTM C 792
Tack-free time, hrs, (maximum 72 hrs)	Passes	ASTM C 679
Stain and color change	Passes	ASTM C 510
Adhesion* in peel, pli (min. 5 pli)	30	ASTM C 794
Adhesion* in peel after UV radiation through glass (min. 5 pli)	Passes	ASTM C 794
Artificial weathering, Xenon arc, 250 hours	Passes	ASTM C 793
Artificial weathering, Xenon arc, 3,000 hours	No surface cracking	ASTM G 26
Water immersion, 122 °F (50 °C)	Passes 10 weeks with movement cycling	ASTM C 1247
Sound Transmission Class STC (dB)	44	ASTM E 90

*Primed for water immersion dictated by ASTM C 920. Concrete and aluminum primed with P 173.
Test results are typical values obtained under laboratory conditions. Reasonable variations can be expected.

Product Bulletin

Sto Primer/Adhesive-B

80101 Sto Primer/Adhesive-B

Technical Data

REPORT	TEST METHOD	TEST CRITERIA	TEST RESULTS
Surface Burning	ASTM E-84	< 25 Flame Spread < 450 Smoke Developed	0 5
Adhesion (psi)	ASTM C-297 Modified	28 days	> 20 Gypsum Sheathing* > 15 EPS Board* > 80 Concrete Block* > 35 Dens-Glass® Gold**
Impact Strength	EIMA 101.86	Standard Impact Classification	Pass

* Failure of substrate
** Dens-Glass Gold is a registered trademark of G-P Gypsum Corp.

Features		Benefits
1	One-component	Ready to use; easily mixed with water on the job site
2	Polymer-modified	Excellent adhesion; increases durability and freeze/thaw resistance
3	Creamy smooth consistency	Trowels on easily; increases productivity
4	Vapor permeable	Allows substrate to breathe naturally; resists blisters caused by trapped vapor
5	Factory blended Portland cement	Assures performance mix ratio
6	Low cement ratio	Less alkalinity, less free lime, less efflorescence
7	Bagged powder product	Less solid waste than pails; freezing protection not required prior to mixing

Surface Preparation

As an adhesive
StoGuard® Air & Water-resistive Barrier (AWRB): ensure surface is clean, dry and free of surface contamination. Install StoTherm ci insulation board with adhesive to the AWRB within the allowable exposure period for the AWRB (see AWRB Product Bulletin).
Concrete or Masonry: surfaces must be clean, dry and free of frost, damage and all bond-inhibiting materials, including dirt, efflorescence, laitance, form oil and other foreign matter. Loose or damaged material must be removed by water blasting, sandblasting or mechanical wire brushing and repaired.

Avoid application over irregular surfaces. Resurface, patch or level surfaces to required tolerance and smoothness with appropriate Sto leveling materials. Refer to ASTM D-4258 and ASTM D-4261 for complete details on preparing cementitious substrates for coatings.

Glass Mat Gypsum Sheathing in Compliance with ASTM C 1177, Exterior or Exposure 1 Wood-based Sheathing: ensure surface is clean, dry and free of surface contamination. Sheathing must be installed and protected in accordance with manufacturer's and building code requirements. Remove and replace weather-damaged sheathing. Avoid application over irregular, out of plane surfaces. Install StoGuard AWRB within 30 days of installation of the sheathing (or as permitted by the sheathing manufacturer).

Sto Primer/Adhesive-B is a one-component, polymer-modified, cement based, dry powder material used as an adhesive and base coat in the StoTherm® ci Systems.

Coverage
"Through the wall": 55-70 ft² (5.1-6.5 m²) per bag (when used for both adhesive and base coat applications).
As an adhesive over sheathing and smooth masonry: 90-125 ft² (8.4-11.6 m²) per bag, applied with a 1/2" x 1/2" (13 mm x 13 mm) U-notched trowel having 2" (51 mm) spread between notches.
As an adhesive over rough or uneven masonry: 30-45 ft² (2.8-4.2 m²) per bag, applied with a 5/8" x 5/8" (16 mm x 16 mm) square-notched trowel, having 5/8" (16 mm) spread between notches.
As a base coat: 75-115 ft² (7-10.7 m²) per bag.
As a skim coat: 90-135 ft² (8.4-12.5 m²) per bag.
Coverages may vary depending on application technique and surface conditions.

Packaging
50 lb. bag (23 kg).

Shelf Life
12 months, if properly stored and protected from moisture.

Storage
Store off the ground in a dry area. Protect from extreme heat [90ºF (32ºC)], moisture and direct sunlight.

Product Bulletin

Sto Primer/Adhesive-B

Surface Preparation cont.

As a base coat
StoTherm ci Insulation Board: insulation must be rasped and free of all bond inhibiting materials.

Concrete or Masonry: surfaces must be clean, dry and free of frost, damage and all bond-inhibiting materials, including dirt, efflorescence, laitance, form oil and other foreign matter. Loose or damaged material must be removed by water blasting, sandblasting or mechanical wire brushing and repaired.

Mixing

Use 5-6.5 quarts (4.7-6.2 L) of water per 50 lb. bag (23 kg). Mix manually by adding one 50 lb. (23 kg) bag of Sto Primer/Adhesive-B to 5-6.5 quarts (4.7-6.2 L) of clean, potable water in a clean mixing pail. Mix with a clean, rust-free electric drill and paddle.

Allow to set approximately five minutes, adjust mix if necessary by adding up to 12 fl.oz. (0.35 L) of water per bag, and remix to a uniform consistency. Avoid re-tempering after mixing of product. Do not exceed maximum amount of water in mix ratio.

Application

Apply only to sound and clean, dry, properly prepared, frost-free surfaces.
As an adhesive: Apply to the back of the insulation board with the appropriate size notched trowel. Form uniform ribbons of adhesive parallel to the short dimension of the board so the ribbons are oriented vertically. Immediately install the board horizontally with staggered joints and apply firm uniform pressure over the entire board surface. Do not delay installation once adhesive is applied.
As a base coat: Apply with a stainless steel trowel to an approximate thickness of 1/8" (3 mm). Work horizontally or vertically in strips of 40" (1 m) and immediately embed Sto Mesh in the wet Sto Primer/Adhesive-B by troweling from the center to the edges of the mesh. Avoid wrinkles in the mesh and smooth the base coat to eliminate trowel marks.

Minimum recommended dry thickness of the reinforced base coat is 1/16" (1.6 mm) when dry. Reapply additional base coat if necessary to achieve minimum thickness as soon as the first application is dry.
As a skim coat: Apply in one application to a maximum thickness of 1/16" (1.6 mm) to the prepared surface and smooth the surface.

Curing/Drying
Dries within 24 hours under normal drying conditions [70ºF (21ºC), 50% RH]. Allow additional drying time during cold,humid, or wet weather until insulation board is fully adhered before rasping, and before application of primer or finish to hardened Sto Primer/Adhesive-B. Protect from rain, freezing and continuous high humidity until completely dry. Prevent rapid loss of moisture from exposure to direct sun, wind and high temperatures.

Clean Up
Clean tools and equipment with water immediately after use. Dried material can only be removed mechanically.

Limitations

- Use Sto Primer/Adhesive-B only when surface and ambient temperatures are above 40°F (4°C) during application and drying period.
- Sloped surfaces: Refer to Sto details.
- Sto Primer/Adhesive-B should not be used on weather-exposed horizontal or below grade surfaces or where immersion in water may occur.
- Sto Primer/Adhesive-B should not be used as a finish coating.
- Not for use over wood-based sheathing unless protected with appropriate StoGuard® AWRB.

Health And Safety

Health Precaution
Contains Portland cement and crystalline silica. Avoid breathing dust. As with any chemical construction product, exercise care when handling.
DANGER!
Causes serious eye damage and/or skin irritation. May cause an allergic skin reaction, respiratory irritation, drowsiness or dizziness.
Safety Precaution
Wash hands thoroughly after handling. Wear protective gloves/protective clothing/eye protection/face protection.
First Aid: EYE CONTACT**:** Immediately flush eyes with plenty of water for at least 15 to 20 minutes. Ensure adequate flushing of the eyes by separating the eye lids with fingers. Get immediate medical attention. SKIN CONTACT: Immediately wash skin with plenty of soap and water for at least 15 to 20 minutes, while removing contaminated clothing and shoes. Get medical attention if irritation develops or persists. INHALATION: If inhaled, remove to fresh air. If not breathing give artificial respiration or give oxygen by trained personnel. Seek medical attention immediately. INGESTION: If swallowed, do NOT induce vomiting. Call a physician or a poison control center immediately. Never give anything by mouth to an unconscious person.
Spills
Collect in an appropriate container. Uncured material may be removed with water.
Disposal
Dispose of in accordance with local, state or federal regulations.
Warning
KEEP CONTAINER CLOSED WHEN NOT IN USE. KEEP OUT OF THE REACH OF CHILDREN. NOT FOR INTERNAL CONSUMPTION. FOR INDUSTRIAL USE ONLY. Consult the Safety Data Sheet (SDS) for further health and safety information.
LIMITED WARRANTY
This product is subject to a written limited warranty which can be obtained free of charge from Sto Corp.
Refer to Sto Specifications for more complete information on proper use and handling of this product.

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Attention
This product is intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. It should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of this product or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to this product, and to the structure of the building or its components. STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

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PRODUCT BULLETIN

Building with conscience.

StoGuard® Fabric StoGuard® RediCorner®

Product Number(s):
80207 StoGuard Fabric 6-in 81361 StoGuard Fabric 9-in
80208 StoGuard Fabric 4-in 80209 StoGuard RediCorner

PRODUCT DESCRIPTION
StoGuard Fabric is a non-woven cloth reinforcement for use with StoGuard coatings as part of a complete StoGuard Air and Water-resistive Barrier System. It is used to seal sheathing joints and seams, to protect rough openings, and to detail other transitions in vertical above grade wall construction.

StoGuard RediCorner is a preformed fabric piece used in the corners of rough openings for quick and easy installation.

FEATURES	BENEFITS
Easy to cut and handle	No special skills needed for installation
Flexible	Folds easily around corners
Installs with brush or roller	Does not require highly skilled labor
Preformed RediCorners	Installs fast and helps to ensure protection at corners of openings

Packaging:
StoGuard Fabric 4-in x 180 ft (102mm x 50m):18 rolls per box
StoGuard Fabric 6-in x 180 ft (152mm x 50m):12 rolls per box
StoGuard Fabric 9-in x 180 ft (229mm x 50m):12 rolls per box
StoGuard RediCorner: 60 pieces per box

Color: Gray

Shelf Life: 18 months when properly stored in original unopened packaging.

Storage: Store off the ground in a dry area. Protect from direct sunlight.

SURFACE PREPARATION
Sto Proprietary Wall Systems: StoTherm® ci, StoVentec®, StoPowerwall®, StoQuik® Silver, StoPanel®, and StoLite® systems. Refer to applicable Sto Specification.

Surfaces must be fully cured, structurally sound, clean, dry, and free of frost, damage, and all bond-inhibiting materials, including dirt, dust, efflorescence, form oil and other foreign matter. Sheathing must be Exterior Grade or Exposure 1 wood-based sheathing, ASTM C1177 compliant glass mat gypsum sheathing, or ASTM C1325 Type A cementitious sheathing. Sheathing must be installed in compliance with the building code and manufacturer's recommendations. Treat sheathing joints, inside and outside corners, and transition details with StoGuard Fabric embedded in StoGuard coating. Use StoGuard RediCorners at corners of rough openings. Refer to Sto Details. Pre-treat defects such as knots in wood-based sheathing, vacant fastener holes, and minor static cracks (up to 1/16 inch [1.6 mm] wide) in concrete and CMU with Sto Gold Fill® or Sto RapidGuard®. If cracks are structural consult an engineer.

APPLICATION
Refer to StoGuard Air and Water-resistive Barrier Detail Booklets at www.stocorp.com for illustrations of installation.

Product	Use or Application
4-in StoGuard Fabric	sheathing joints and seams
6-in StoGuard Fabric	2x4 rough opening protection Inside and outside corners
9-in StoGuard Fabric	2x6 rough opening protection
StoGuard Redicorner	corners of rough openings

Apply between 40° and 100°F (4° and 38°C) during application and drying period. Apply only to fully cured, structurally sound, clean, dry, properly prepared, frost-free surfaces.

PRODUCT BULLETIN

Building with conscience.

StoGuard® Fabric StoGuard® RediCorner®

Product Number(s):
80207 StoGuard Fabric 6-in 81361 StoGuard Fabric 9-in
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APPLICATION (CONTINUED)
StoGuard Fabric for Joints and Seams: apply the StoGuard coating liberally (minimum 15 wet mils) by airless spray or with a ¾-in (19mm) nap roller at the sheathing joint. Immediately place the fabric in the wet StoGuard coating, and embed and smooth the fabric with a roller so no wrinkles exist. Apply an additional coat of the StoGuard coating to completely embed and seal the fabric.

Should gaps exceed 1/8 inch (3 mm), up to 1/4 inch (6 mm) wide at the sheathing joint, apply low expanding urethane foam into joints and rasp or shave flush with the sheathing surface before installing the joint treatment.

StoGuard RediCorner and StoGuard Fabric for Rough Opening Protection: apply the StoGuard coating liberally (15 wet mils) at the rough opening corner. Immediately place StoGuard RediCorner in the wet coating on the inside of the rough opening with the tabs oriented so they are on the face of the sheathing. Embed StoGuard RediCorner in the coating by brushing or rolling. Apply additional coating to completely embed and seal the fabric. Repeat until all corners have been treated. After all corners have been installed, apply a liberal coat of the StoGuard coating to the sill of the rough opening. Immediately embed StoGuard Fabric into the coating by placing it in the wet coating and embedding and smoothing the fabric with a roller so no wrinkles exist. Overlap StoGuard RediCorner by at least 2-in (51mm) with StoGuard Fabric. Repeat at jambs and head. Once the entire rough opening has been treated, inspect for voids and pinholes. If found, apply more coating until the voids/pinholes have been filled to achieve a VOID and PINHOLE FREE surface.

LIMITATIONS
- Use in conjunction with the StoGuard Air and Water-resistive barrier coatings.
- Protect from rain and freezing until COMPLETELY dry.
- Apply only when the surface and ambient temperatures are above 40°F (4°C) and below 100F (38̊C) during application and drying period.
- Not recommended for use when cool, damp conditions exist for prolonged periods. Cool, damp conditions retard drying and may require extended periods of protection.
- Do not use below grade or on surfaces subject to in-service water immersion.
- Fire-retardant treated or pressure treated plywood substrates must be dry and free of all bond-inhibiting materials.
- Not recommended for spanning sheathing joints or holes in excess of 1/8" (3 mm) wide.
- Ventilate temporary heaters to the exterior to prevent water vapor from accumulating on or within the wall assembly materials.
- When StoGuard Air and Water-resistive Barrier coatings are used in conjunction with StoTherm ci Systems, ensure the surface is clean, dry, and free of surface contamination. Do not expose the coating to weather for more than the allowable period printed under LIMITATIONS in the applicable Product Bulletin.

LIMITED WARRANTY
This product is subject to a written limited warranty which can be obtained free of charge from Sto Corp.

HEALTH AND SAFETY
Warning: KEEP OUT OF THE REACH OF CHILDREN. NOT FOR INTERNAL CONSUMPTION. FOR INDUSTRIAL USE ONLY
Disposal: dispose in accordance with local, state, or federal regulations

Consult the Safety Data Sheet (SDS) for further health and safety information, available at www.stocorp.com

Product Bulletin

Sto Mesh & Sto Detail Mesh

80919 Sto Detail Mesh
80920/81920 Sto Mesh

Technical Data

REPORT	TEST METHOD	TEST CRITERIA	TEST RESULTS	
Tensile Strength	ASTM D-5035	Product	WARP (PLI)	WEFT (PLI)
		80919 Detail Mesh	150	160
		80920/81920 Mesh	150	160
Strength-Post Alkaline Soak	EIMA 105.01	80919 Detail Mesh	Pass	
		80920/81920 Mesh	Pass	

Product	NOMINAL Weight/YD². +/- 5 %	Width of Roll	Length of Roll
80919 Detail Mesh	4.2 oz.	9.5" (0.24 m)	150' (45.7 m)
80920 Mesh	4.5 oz.	38" (0.97 m)	150' (45.7 m)
81920 Mesh	4.5 oz.	48" (1.22 m)	150' (45.7 m)

Impact Resistance	Impact Classification (inch – lbs)
StoTherm® EIFS with Sto Mesh	Standard (25 – 49)
With 2 layers Sto Mesh	Medium (50 – 89)
With Sto Intermediate Mesh	High (90 – 150)
With Sto Armor Mat and Sto Mesh	Ultra High (over 150)

Features		Benefits
1	Flexible	Easily wrapped at corners; provides crack resistance
2	Trimmed Edges	Minimizes building on overlapped seams
3	Coated Glass Fiber	Durable, long-lasting; provides impact resistance
4	Variety of Weights	Meets a variety of requirements

Sto Mesh and Sto Detail Mesh are specially designed coated glass fiber fabrics used to provide reinforcement and impact resistance in Sto Wall Claddings, including StoTherm® ci and StoQuik® Silver Systems. A variety of meshes are provided for design flexibility, maximum performance, and to facilitate application.

Coverage per Roll
80919 Sto Detail Mesh: 118 ft² (11 m²)
80920 Sto Mesh: 38" 475 ft² (44.1 m²)
81920 Sto Mesh 48" 600 ft² (55.7 m²)

Packaging per carton
80919 Sto Detail Mesh: 16 rolls
80920/81920 Sto Mesh: 4 rolls

Shelf Life
2 years in original, unopened container when properly stored.

Storage
Store in a dry area. Protect from direct sunlight. Store in cartons with cartons on the side (not upright).

Product Bulletin

Sto Mesh & Sto Detail Mesh

Where to Use
80919 Sto Detail Mesh: lightweight, highly flexible reinforcing fabric specially designed for use to facilitate back-wrapping system terminations, into reveals and for intricate architectural details in StoTherm® and StoTherm® ci, and to bridge sheathing joints and wrap rough openings in StoGuard® applications.

80920/81920 Sto Mesh: for use as standard reinforcing fabric in StoTherm®, StoTherm® ci and StoQuik® Silver systems. Achieves standard impact resistance.

Surface Preparation
Inspect the insulation board surface for planeness, damage or deterioration due to weather or abuse, and repair prior to application of reinforcing mesh. Rasp the insulation board surface.

Application
80920/81920 Sto Mesh: Apply a layer of Sto base coat over previously rasped Sto Insulation Board (or, over cement board sheathing for StoQuik® Systems). Work horizontally or vertically in full width strips and fully embed mesh into wet base coat by troweling from center to the edges of the mesh. Avoid wrinkles in the mesh and smooth the base coat to eliminate trowel marks. Double wrap mesh at all corners and overlap not less than 2½" (64 mm) at mesh joints.

80919 Sto Detail Mesh: Refer to appropriate StoTherm wall claddings specification.

Limitations
- Sto Mesh and Sto Detail Mesh should only be used in accordance with appropriate StoTherm® and StoTherm® ci Specification or other published recommendation.

Health And Safety
Health Precautions
Contains fiberglass. As with any chemical construction product, exercise care when handling.
WARNING!
Causes eye irritation. Causes skin irritation
Precautionary Statements:
Wash hands thoroughly after handling. Wear protective gloves/ protective clothing/eye protection/face protection.
FIRST AID MEASURES
Eye Contact: Flush with warm running water for 15 min. Do not rub. If irritation persists, consult a physician.
Skin Contact: Wash with mild soap and running water. Use a washcloth to help remove fibers. If irritation persists, consult a physician.
Inhalation: Glass fibers may cause mechanical irritation to the mouth, nose and throat. Remove the person to fresh air.
Ingestion: Unlikely entry route. If symptoms develop consult a physician.
Spills
Collect and dispose of in accordance to local, state or federal regulations.
Disposal
Dispose of in accordance with local, state or federal regulations.
Warning
KEEP CONTAINERS CLOSED WHEN NOT IN USE. KEEP OUT OF THE REACH OF CHILDREN. NOT FOR INTERNAL CONSUMPTION. FOR INDUSTRIAL USE ONLY. Consult the Safety Data Sheet (SDS) on www.stocorp.com for further health and safety information.
LIMITED WARRANTY
This product is subject to a written limited warranty which can be obtained free of charge from Sto Corp.
Refer to Sto Specifications for more complete information on proper use and handling of this product.

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Attention
This product is intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. It should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of this product or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to this product, and to the structure of the building or its components. STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.

PRODUCT BULLETIN

Building with conscience.

Sto Gold Coat®

Product Number: 81636

PRODUCT DESCRIPTION
Sto Gold Coat is a vapor permeable fluid-applied membrane with built-in antifreeze properties for use over prepared vertical above-grade concrete, concrete masonry, brick masonry, wood sheathing, cementitious sheathing, and glass mat gypsum sheathing, as part of a StoGuard® air and water-resistive barrier system. It is used in Sto proprietary wall systems and beneath multiple cladding types.

FEATURES	BENEFITS
Three available installation options	Design and construction team can match installation specification with project needs
Vapor Permeable	Minimizes risk of condensation in walls
Structural and durable	Rigid and stable under air pressure loads; does not tear or blow off the wall with wind
UV durable	Can be left exposed for up to 6 months before covering with wall cladding
Low temperature application[1]	Can be applied at temperatures down to 25°F (-3.8°C)
Built-in freeze protection[1]	Not damaged if temperatures fall below freezing immediately after application
Spray applied with airless spray equipment	Easy, fast installation; does not require specialized spray equipment
Water-based and low VOC	Safe, VOC compliant, easy clean-up, improved IAQ
Compatible with other StoGuard Products	Reliability and peace of mind

1. See page 2 for detailed information

Coverage (per pail)
10 mils WFT: 450-600 ft² (42-56m²)
20 mils WFT (2 coats at 10 mils WFT): 300-400 ft² (28-37m²)
40 mils WFT (2 coats at 20 mils WFT): 200-300 ft² (19-28m²) l
60 mils WFT (on CMU, 2 or 3 coats at 20-60 mils WFT): 80-120 ft² (7.11m²)

Coverage may vary depending on substrate, application technique, waste factor, and other variables that may exist. CMU substrates will generally be on the lower end of the coverage range. Construct a mock-up under actual conditions of use to verify proper surface preparation, number of coats required, coverage, and method of application, for approval by the appropriate authority.

Packaging: 5 gallon (19L) pail

Shelf Life: 12 months in original, unopened, properly stored container.

Storage: Store in tightly sealed container. Protect from extreme heat [90°F (32°C)], freezing and direct sunlight.

SURFACE PREPARATION
Sto Proprietary Wall Systems: StoTherm® ci, StoVentec®, StoPowerwall®, StoQuik® Silver, StoPanel®, and StoLite® systems. Refer to applicable Sto Specification.

Surfaces must be fully cured, structurally sound, clean, dry, and free of frost, damage, and all bond-inhibiting materials, including dirt, dust, efflorescence, form oil and other foreign matter. Sheathing must be Exterior Grade or Exposure 1 wood-based sheathing, cementitious sheathing in compliance with ASTM C1325 Type A, or glass mat gypsum sheathing in compliance with ASTM C1177. Sheathing must be installed in compliance with the building code and manufacturer's recommendations. Treat sheathing joints, inside and outside corners, rough openings, and transition details with appropriate StoGuard Detail Components. Refer to Sto Details. Pre-treat defects such as knots in wood-based sheathing, vacant fastener holes or over-driven fasteners, and minor cracks (up to 1/16 inch [1.6 mm] wide) in concrete and CMU with Sto RapidGuard®. If cracks are structural consult an engineer. Note: for fast drying in cold or damp weather use Sto RapidGuard for detailing and pre-treatments. Apply Sto Gold Coat over Sto RapidGuard within 48 hours of its drying for best adhesion.

MIXING
Mix to a uniform consistency with an electric drill and clean, rust-free paddle. Do not thin or dilute with water.

PRODUCT BULLETIN

Sto Gold Coat®

Product Number: 81636

APPLICATION
Provide adequate ventilation. For best results apply between 40° and 100°F (4° and 38°C) during application and drying period. Apply only to fully cured, structurally sound, clean, dry, properly prepared, frost-free surfaces.

Apply Sto Gold Coat to the prepared substrate using a ½ or ¾ inch (13 or 19mm) nap roller or airless spray equipment. Suggested tip size is .031. Pressure and tip size may vary depending on equipment used. Back roll airless spray applications over OSB and CMU substrates. Apply uniformly to achieve a VOID and PINHOLE free surface on all substrates.

Application for Substrate-Driven Specification:
- Glass Mat Gypsum: apply one coat at minimum 10 mils WFT
- Plywood: apply one coat at minimum 10 mils WFT
- Cement Board: apply one coat at minimum 10 mils WFT
- OSB: apply one or two coats at minimum 20 mils WFT. If applied by roller, apply two coats. Touch up any bare spots and raised OSB strands.
- CMU: apply two or three coats at minimum 20-60 mils WFT.
- Concrete: apply one coat at minimum 10 mils WFT

Application for Medium-Build Specification: apply one or two coats to achieve minimum 20 mils WFT. If applied by roller apply two coats to achieve minimum 20 mils WFT. For CMU substrates apply two or three coats to achieve 20-60 mils WFT.

Application for High-Build Specification: apply two or three coats to achieve 40 mils WFT. If applied by roller apply three or more coats as needed. For CMU substrates apply multiple coats to achieve 40-60 mils WFT.

IMPORTANT: the condition of the substrate may dictate thicker application or more coats to achieve a VOID and PINHOLE FREE SURFACE, particularly on substrates like concrete masonry where CMU composition, unit weight (lightweight or normal weight), porosity, joint profile, and other variables may exist. For "rough" CMU wall surfaces level with a Sto portland cement based leveler or fill with StoPrime® Block Surfacer HP before applying the coating. Use the mock-up and site tests as the basis for the work. Some highly absorbent glass mat gypsum sheathing substrates may require back rolling to achieve a VOID and PINHOLE FREE surface. Avoid excess film build-up of wet material to prevent sag, especially on non-porous surfaces and during cold or damp weather. Work away from sun during application.

Special Instruction for Cold Temperature Application:
Sto Gold Coat has built-in weather protection that enables it to be applied at temperatures less than 40° down to 25°F (4° down to -3.8°C), provided certain conditions are met:

1. Material is pre-conditioned to 65°-75°F (18°-24°C)
2. Substrate and ambient temperatures are minimum 25°F (-3.8°C) and rising at the time of application and do not fall below 25°F (-3.8°C) until material is fully dry.
3. Materials are installed over standard sheathing substrates – glass mat gypsum, plywood, or OSB.
4. Substrate surfaces are frost-free, dry and remain dry.
5. Materials are installed at a wet film thickness of no greater than 10-12 WFT
6. Materials are installed with StoGuard Fabric for joint and rough opening treatments.
7. Materials are installed in dry weather and protected from rain or other precipitation for at least 24 hours and relative humidity (RH) remains at or below 50%.

IMPORTANT: Final water-resistive barrier and air barrier material properties, and film toughness, depend on temperatures rising above freezing.

Clean Up: clean tools and equipment with water immediately after use. Dried material can only be removed mechanically.

Drying: product dries in 24 hours under normal drying conditions [70°F (21°C), 50% RH)]. Final dry time varies depending on temperature/humidity, thickness of application, and surface conditions. Cold weather and/or damp conditions delay drying. Protect from rain, high humidity, and temperatures less than 40°F (4°C) until completely dry (or, strictly adhere to Special Instruction for Cold Temperature Application). IMPORTANT: IF TEMPORARY HEATERS ARE USED OF IF LEFT UNPROTECTED IN COLD WEATHER, VENTILATE TO THE EXTERIOR TO PREVENT WATER VAPOR FROM CONDENSING ON OR WITHIN THE WALL ASSEMBLY COMPONENTS.

No:	Description	Date:

EIFS and Sealant description and specifiaction

PROJECT NUMBER:

DATE:

SCAILE: 1:2

SHEET NUMBER: 5

OF A2 (ANSI C)