

From: Scala, Mary Joy
Sent: Thursday, September 18, 2014 1:26 PM
To: Garrett Rouzer (GRouzer@dgparchitects.com)
Cc: 'hmstancil@hotmail.com'
Subject: BAR Action - September 16, 2014 - 123 Chancellor Street

September 18, 2014

Lambda Gamma of Chi Omega House
2428 Oak Drive
Indiana, PA 15701
ATTN: Holly Stancil

Certificate of Appropriateness Application

BAR 14-09-05
123 Chancellor Street
Tax Parcel 09014000
Lambda Gamma of Chi Omega House, Owner/ Garrett Rouzer, Applicant
2nd Floor Addition and New Stairs

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on September 16, 2014. The following action was taken:

The BAR approved (8-0) the application as submitted for a new rear addition (subject to zoning approval of a special use permit if required); two rear porches and stairs; and replacement of a secondary front door/transom with window as submitted.

Please contact the Zoning Administrator, Read Brodhead, to determine if you need a Special Use Permit before proceeding with your addition with two beds.

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in 18 months (March 16, 2016), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced the project. The expiration date may differ if the COA is associated with a valid site plan. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of the project, please contact me for an inspection of the improvements included in this application. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner

**CITY OF CHARLOTTESVILLE
BOARD OF ARCHITECTURAL REVIEW
STAFF REPORT
September 16, 2014**



Certificate of Appropriateness Application

BAR 14-09-05

123 Chancellor Street

Tax Parcel 09014000

Lambda Gamma of Chi Omega House, Owner/ Garett Rouzer, Applicant

Partial Demolition and new porch addition

Background

123 Chancellor Street (c.1907) is a contributing structure in The Corner ADC district. The survey information is attached.

August 19, 2014: The BAR approved (7-0) demolition of the rear garage and rear stair but not the chimney.

Application

- The applicant is requesting a second floor rear addition over an existing 1992 addition.

The addition materials would be western red cedar beveled siding and trim, painted, with profile, 6" +/- reveals, and color to match existing. The intent of the design is to take what is there currently and stretch it up one additional story.

The new roof will be a combination of Buckingham slate in the sloped areas with exposure and thickness to match existing, and EPDM in the low-slope portions.

The two windows on the first floor of the addition will remain. They are early 1990s Marvin wood units, with true divided lights and an energy panel. The two second floor windows immediately above as well as the single window on the west elevation of the proposed addition would be Marvin units as well. The applicant is proposing to use aluminum stone white clad units, with 7/8" SDLs and exterior screens. The muntin profile (attached) and divided lights will match the first floor existing units.

- The applicant plans to replace the secondary front entrance and transom located on the right side of the front porch with a window.

The front window (East Elevation) will be a Marvin ultimate wood double hung unit, to match the adjacent window in size. The existing windows do not have divided lites, therefore we are not matching a TDL or muntin profile.

- No other windows will be replaced in the rest of the building.
- The applicant plans to add two new porches with stairs in the rear and side rear.

The wood porches and stair components would be painted mahogany. Railings will be painted to match the trim colors, with the decking to be either stained or painted dark grey.

Criteria, Standards, and Guidelines

Review Criteria Generally

Sec. 34-284(b) of the City Code states that,

In considering a particular application the BAR shall approve the application unless it finds:

- (1) That the proposal does not meet specific standards set forth within this division or applicable provisions of the Design Guidelines established by the board pursuant to Sec.34-288(6); and*
- (2) The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the protected property that is the subject of the application.*

Pertinent Standards for Review of Construction and Alterations include:

- (1) Whether the material, texture, color, height, scale, mass and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable design control district;*
- (2) The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs and signs;*
- (3) The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;*
- (4) The effect of the proposed change on the historic district neighborhood;*
- (5) The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls and walks;*
- (6) Whether the proposed method of construction, renovation or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;*
- (8) Any applicable provisions of the City's Design Guidelines.*

Pertinent Design Review Guidelines for New Construction and Additions:

J. Porches

Most of Charlottesville's historic houses have some type of porch. There is much variety in the size, location, and type of porches, and this variety relates to the different residential areas, strong consideration should be given to including a porch or similar form in the design of any new residence in these sub-areas. Porches and other semi-public spaces are important in establishing layers or zones of intermediate spaces within the streetscape.

P. Additions

The following factors shall be considered in determining whether or not to permit an addition to a contributing structure or protected property:

(1) Function and Size

- a. Attempt to accommodate needed functions within the existing structure without building an addition.*
- b. Limit the size of the addition so that it does not visually overpower the existing building.*

(2) Location

- a. Attempt to locate the addition on rear or side elevations that are not visible from the street.*

- b. If additional floors are constructed on top of a building, set the addition back from the main façade so that its visual impact is minimized.*
- c. If the addition is located on a primary elevation facing the street or if a rear addition faces a street, parking area, or an important pedestrian route, the façade of the addition should be treated under the new construction guidelines.*

(3) Design

- a. New additions should not destroy historic materials that characterize the property.*
- b. The new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

(4) Replication of Style

- a. A new addition should not be an exact copy of the design of the existing historic building. The design of new additions can be compatible with and respectful of existing buildings without being a mimicry of their original design.*
- b. If the new addition appears to be part of the existing building, the integrity of the original historic design is compromised and the viewer is confused over what is historic and what is new.*

(5) Materials and Features

- a. Use materials, windows, doors, architectural detailing, roofs, and colors that are compatible with historic buildings in the district.*

(6) Attachment to Existing Building

- a. Wherever possible, new additions or alterations to existing buildings should be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the buildings would be unimpaired.*
- b. The new design should not use the same wall plane, roof line, or cornice line of the existing structure.*

Pertinent Design Review Guidelines for Rehabilitation

D. Entrances, Porches and Doors

Entrances and porches are often the primary focal points of a historic building. Their decoration and articulation help define the style of the structure. Entrances are functional and ceremonial elements for all buildings. Porches have traditionally been a social gathering point as well as a transition area between the exterior and interior of a residence. The important focal point of an entrance or porch is the door. Doors are often a character-defining feature of the architectural style of a building. The variety of door types in the districts reflects the variety of styles, particularly of residential buildings.

- 1. The original details and shape of porches should be retained including the outline, roof height, and roof pitch.*
- 2. Inspect masonry, wood, and metal on porches and entrances for signs of rust, peeling paint, wood deterioration, open joints around frames, deteriorating putty, inadequate caulking, and improper drainage, and correct any of these conditions.*
- 3. Repair damaged elements, matching the detail of the existing original fabric.*
- 4. Replace an entire porch only if it is too deteriorated to repair or is completely missing, and design to match the original as closely as possible.*
- 5. Do not strip entrances and porches of historic material and details.*
- 6. Give more importance to front or side porches than to utilitarian back porches.*

7. *Do not remove or radically change entrances and porches important in defining the building's overall historic character.*
8. *Avoid adding decorative elements.*
9. *In general, avoid adding a new entrance to the primary facade or facades visible from the street.*
10. *Do not enclose porches on primary elevations and avoid enclosing porches on secondary elevations in a manner that radically changes the historic appearance.*
11. *Provide needed barrier-free access in ways that least alter the features of the building.*
 - a. *For residential buildings, try to use ramps that are removable or portable rather than permanent.*
 - b. *On nonresidential buildings, comply with the Americans with Disabilities Act while minimizing the visual impact of ramps that affect the appearance of a building.*
12. *The original size and shape of door openings should be maintained.*
13. *Original door openings should not be filled in.*
14. *When possible, reuse hardware and locks that are original or important to the historical evolution of the building.*
15. *Avoid substituting the original doors with stock size doors that do not fit the opening properly or are not compatible with the style of the building.*
16. *Retain transom windows and sidelights.*

Discussion and Recommendations

There is a discrepancy between the photos and the west elevation drawing, which shows three windows on the first and second floors.

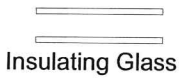
The BAR should comment on the plan to replace the door and transom with a window on the first floor. It is not known if the secondary entrance was original.

The BAR should comment on the two porch additions and the second floor addition.

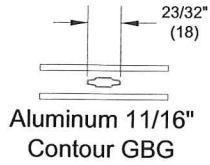
Suggested Motion

Having considered the standards set forth within the City Code, including City Design Guidelines for New Construction and Additions, and Rehabilitations, I move to find that the proposed new rear addition, two rear porches and stairs, and secondary front door replacement with a window satisfy the BAR's criteria and guidelines and are compatible with this property and other properties in The Corner ADC district, and that the BAR approves the application as submitted (or with the following modifications...).

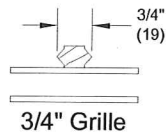
Standard Divided Lite Options



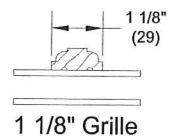
Insulating Glass



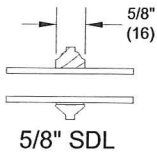
Aluminum 11/16"
Contour GBG



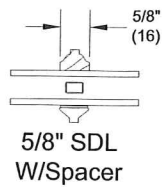
3/4" Grille



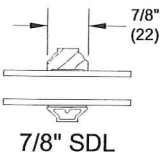
1 1/8" Grille



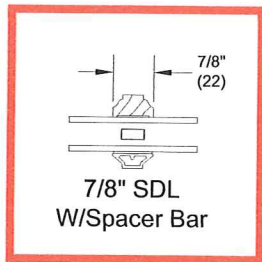
5/8" SDL



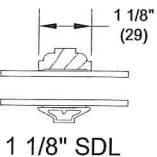
5/8" SDL
W/Spacer



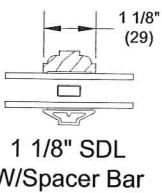
7/8" SDL



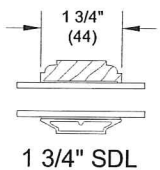
7/8" SDL
W/Spacer Bar



1 1/8" SDL



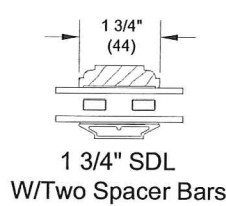
1 1/8" SDL
W/Spacer Bar



1 3/4" SDL



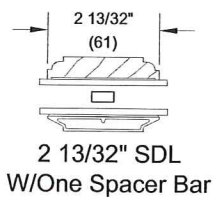
1 3/4" SDL
W/One Spacer Bar



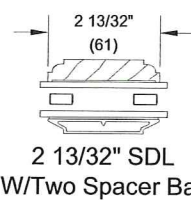
1 3/4" SDL
W/Two Spacer Bars



2 13/32" SDL



2 13/32" SDL
W/One Spacer Bar



2 13/32" SDL
W/Two Spacer Bars

Architectural And Historic Survey



49

Identification

STREET ADDRESS: 123 Chancellor Street
 MAP & PARCEL: 9-140

CENSUS TRACT AND BLOCK:

PRESENT ZONING:

ORIGINAL OWNER: William E. Peters

ORIGINAL USE: Fraternity House?

PRESENT USE: Sorority House

PRESENT OWNER: Lambda Gamma of Chi Omega House Corp.

ADDRESS: 123 Chancellor Street
 Charlottesville, Virginia

HISTORIC NAME: Peters-Hartmen House (C.M.R.A.)

DATE / PERIOD: c. 1907

STYLE: No Identifiable Style

HEIGHT (to cornice) OR STORIES: 2 1/2 Storeys

DIMENSIONS AND LAND AREA:

CONDITION: Good

SURVEYOR:

DATE OF SURVEY: 1980

SOURCES: City/County records

ARCHITECTURAL DESCRIPTION

Pressed brick (flemish bond), 2 1/2 storeys, mansard with three dormers, five bays, one storey porch across four north bays. Second Empire. C. 1915. Slate roof, raised basement. Balustrade over porch. Entrance on third bay from north; flanked by side lights; fan light above. Secondary entrance with transom. Lower fenestration - one / one double sash. Second level - one / one double sash; central exit onto top of porch. Dormers are one / one double sash. Two interior chimneys.

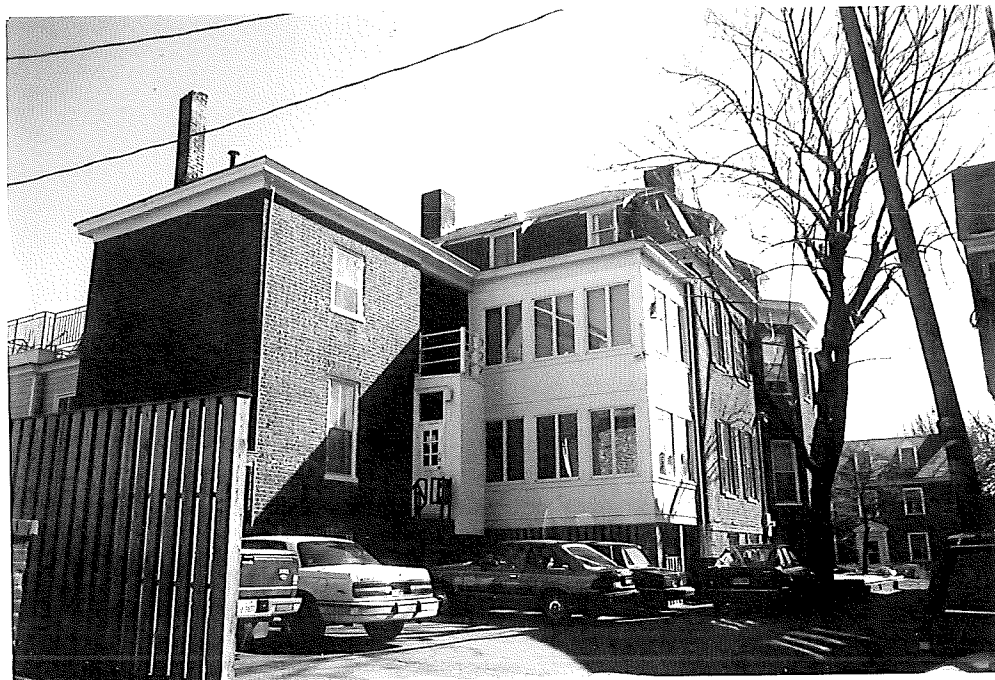
HISTORICAL DESCRIPTION

1897	ACDB 109-218	A. C. Chancellor, et al (heirs of Dr. J. E. Chancellor) to William E. Peters
1909	ACDB 141-54	Heirs of William E. Peters to Bartlett Bolling, Channing M. Bolton, W. M. Lile, James M. Page, and H. W. Hillary
1911	ACDB 151-338	Bartlett and Meta Bolling, Channing and Anna Bolton, W. M. and Maude C. Lile, James M. and Elinore McG. Page, and H. W. Hillary to Trustees of Saint Paul's Memorial Church
1920	City DB 37-35	Trustees of Saint Paul's Memorial Church to Elizabeth J. Hartman and Annie P. Jordan
1946	City DB 123-408	Elizabeth J. Hartman to Anne Jordan Merriott
1951	City DB 157-238	Anne Jordan Merriott to Sydney and Louise Britton
1964	City DB 255-99	Sydney W. and Louise Britton to Leroy C. Petty
1965	City DB 264-511	Leroy C. Petty to Harry F. Langhorne
1977	City DB 284-449	Harry F. Langhorne to C & N Company
1979	City DB 207-637	C & N Company to Lambda Gamma of Chi Omega House Corporation

UTM: 17/719290/4212670



1996
photos



Historic: 1
Non-Historic: 0

PRIMARY RESOURCE EXTERIOR COMPONENT DESCRIPTION

Component	#	Comp Type/Form	Material	Material Treatment
Chimney	3	Interior	Brick	Common Bond
Cornice	0	Boxed	Wood	W/ Dentils
Foundation	0	Continuous	Brick	Flemish Bond
Porch	0	1-story, 5-bay	Wood	Colonial Revival
Roof	0	Mansard	Slate	
Walls	0	Masonry	Brick	Flemish Bond
Window(s)	0	Sash, double-hung	Wood	1/1
Dormer	5	Shed-roofed	Slate	

INDIVIDUAL RESOURCE INFORMATION

SEQUENCE NUMBER: 1.0 WUZIT: Single Dwelling

Primary Resource? Yes

Estimated Date of Construction: 1910 ca

Source of Date: Site Visit/Written

Architectural Style: Colonial Revival

Description:

Large rectangular block with projecting section, one bay wide, at south corner of front facade, which has two-story bay window on southwest side; two-story rear ell. Mansard roof tops main block, broken by shed-roofed dormers clad with slate and containing one-over-one double-hung sash windows.

Roof edged in heavy boxed cornice with recessed gutters, and dentils above frieze board. Front porch is one-story, two-level, with Coric columns and later metal railings. Entrance has single-leaf paneled door with sidelights and elliptical fanlight; entrance onto second level of porch has paneled door with transom. Rear ell has hipped roof; two-story enclosed porch is located in the "L" created by ell and main block. Windows have jack arches, and blinds flank windows on main block.

Condition: Excellent

Threats to Resource: None Known

Additions/Alterations Description:

Porch railings are later; rear ell has one-story garage attached at end, added between 1920 and 1929 (Sanborn 1907, 1913, 1920, 1929, 1941, 1969).

Number of Stories: 2.5

Interior Plan Type:

Accessed? No

Interior Description:

Relationship of Secondary Resources to Property:

None.

DHR Historic Context: Domestic

Significance Statement:

Stylistically unusual for the neighborhood and the district, and marked by its Mansard roof, this house retains a high level of integrity. Originally constructed as a dwelling, and thought to have been built by William E.

Peters, by 1929 this house served as a boarding house. In 1941 it was known as the Colonial Inn boarding house, and kept this name through 1969. The property was owned by Elizabeth J. Hartman and family from 1911 to 1946; it was purchased by the Chi Omega Sorority in 1978 (Sanborn 1902, 1907, 1913, 1920, 1929, 1941, 1969; O'Dell 1983; Bibb 1980).

GRAPHIC DOCUMENTATION

Medium	Medium ID #	Frames	Date
B&W 35mm Photos	14643	30 - 32	3/ 3/1996
B&W 35mm Photos	14643	34 -	3/ 3/1996

BIBLIOGRAPHIC DATA

Sequence #: 1.0 Bibliographic Record Type: Survey, Other
Author: O'Dell, Jeffrey M.
Citation Abbreviation:
Virginia Historic Landmarks Commission (VHLC) Survey
Notes:
1983. VDHR Archives.

Sequence #: 1.1 Bibliographic Record Type: Map
Author: Sanborn Map Company
Citation Abbreviation:
Sanborn Fire Insurance Maps, Charlottesville, VA
Notes:
1907, 1913, 1920, 1929, 1941, 1969. University of Virginia Alderman Library Government Documents.

Sequence #: 1.1 Bibliographic Record Type: Survey, Other
Author: Bibb, Eugenia
Citation Abbreviation:
City of Charlottesville Architectural and Historical Survey
Notes:
1980. VDHR Archives.

CULTURAL RESOURCE MANAGEMENT EVENTS

Date: 3/ 3/1996
Cultural Resource Management Event: Reconnaissance Survey
Organization or Person: Smead, Susan E.
ID # Associated with Event:
CRM Event Notes or Comments:

MAILING ADDRESS

Honorif:
First :
Last :
Suffix :
Title :
Company: Lambda Gamma of Chi Omega House Corp.

Address: Toretta - 2428 Oak Drive

City : Indiana State: PA
Zip : 15701- Country: USA
Phone/extension:

Scala, Mary Joy

From: Scala, Mary Joy
Sent: Monday, September 15, 2014 2:55 PM
To: Garrett Rouzer (GRouzer@dgparchitects.com)
Cc: Brodhead, Read
Subject: 123 Chancellor Street

Garrett,

It occurred to me that you may need a special use permit to add the two bed addition to the sorority.

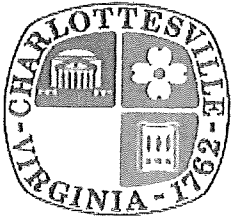
The zoning administrator is out of the office until Monday. When he returns you need to ask him to make a determination if the two beds are permitted by right or whether you will need to apply for a SUP.

We found an SUP from 1991 for the dining room expansion but no mention of the number of beds permitted. Have you received anything from the client that would confirm whether they have zoning clearance?

I will leave it on the BAR agenda, but will explain that it has to be a conditional approval for the second floor addition.

Mary Joy Scala, AICP

Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org



**Board of Architectural Review (BAR)
Certificate of Appropriateness**

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3130 Fax (434) 970-3359

RECEIVED
AUG 26 2014
NEIGHBORHOOD DEVELOPMENT SERVICES

Please submit ten (10) copies of application form and all attachments.

For a new construction project, please include \$375 application fee. For all other projects requiring BAR approval, please include \$125 application fee. For projects that require only administrative approval, please include \$100 administrative fee. Make checks payable to the City of Charlottesville.

The BAR meets the third Tuesday of the month.

Deadline for submittals is Tuesday 3 weeks prior to next BAR meeting by 4 p.m.

Owner Name LAMBDA GAMMA of Applicant Name GARETT ROUZER
CHI OMEGA HOUSE
Project Name/Description CHI OMEGA HOUSE RENOVATION Parcel Number 090140000
Property Address 123 CHANCELLOR STREET

Applicant Information

Address: 206 515 ST NE
CHARLOTTESVILLE VA 22902
Email: grouzer@dparchitects.com
Phone: (W) 434 977 4480 (H) _____
FAX: _____

Property Owner Information (if not applicant)

Address: 2428 OAK DRIVE
INDIANA, PA 15701
Email: hmstancil@hotmail.com
Phone: (W) _____ (H) 434 296 4466
FAX: _____

Signature of Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. (Signature also denotes commitment to pay invoice for required mail notices.)

Garett Rouzer 8/26/14
Signature Date

Garett Rouzer 8/26/14
Print Name Date

Property Owner Permission (if not applicant)

I have read this application and hereby give my consent to its submission.

Holly M. Stancil _____
Signature Date

Holly M. Stancil _____
Print Name Date

Do you intend to apply for Federal or State Tax Credits for this project? NO

Description of Proposed Work (attach separate narrative if necessary): 2ND FLOOR ADDITION AND NEW STAIRS

List All Attachments (see reverse side for submittal requirements):

FLOOR PLANS & ELEVATIONS

For Office Use Only

Received by: O. Eubank
Fee paid: 125.00 Cash/Ck. # 26889
Date Received: 8/26/14

Approved/Disapproved by: _____

Date: _____

Conditions of approval: _____



IMAGE 01



IMAGE 02

123 CHANCELLOR STREET



IMAGE 03



IMAGE 04



IMAGE 05



IMAGE 06



IMAGE 07



IMAGE 08



IMAGE 09



IMAGE 10



IMAGE 11



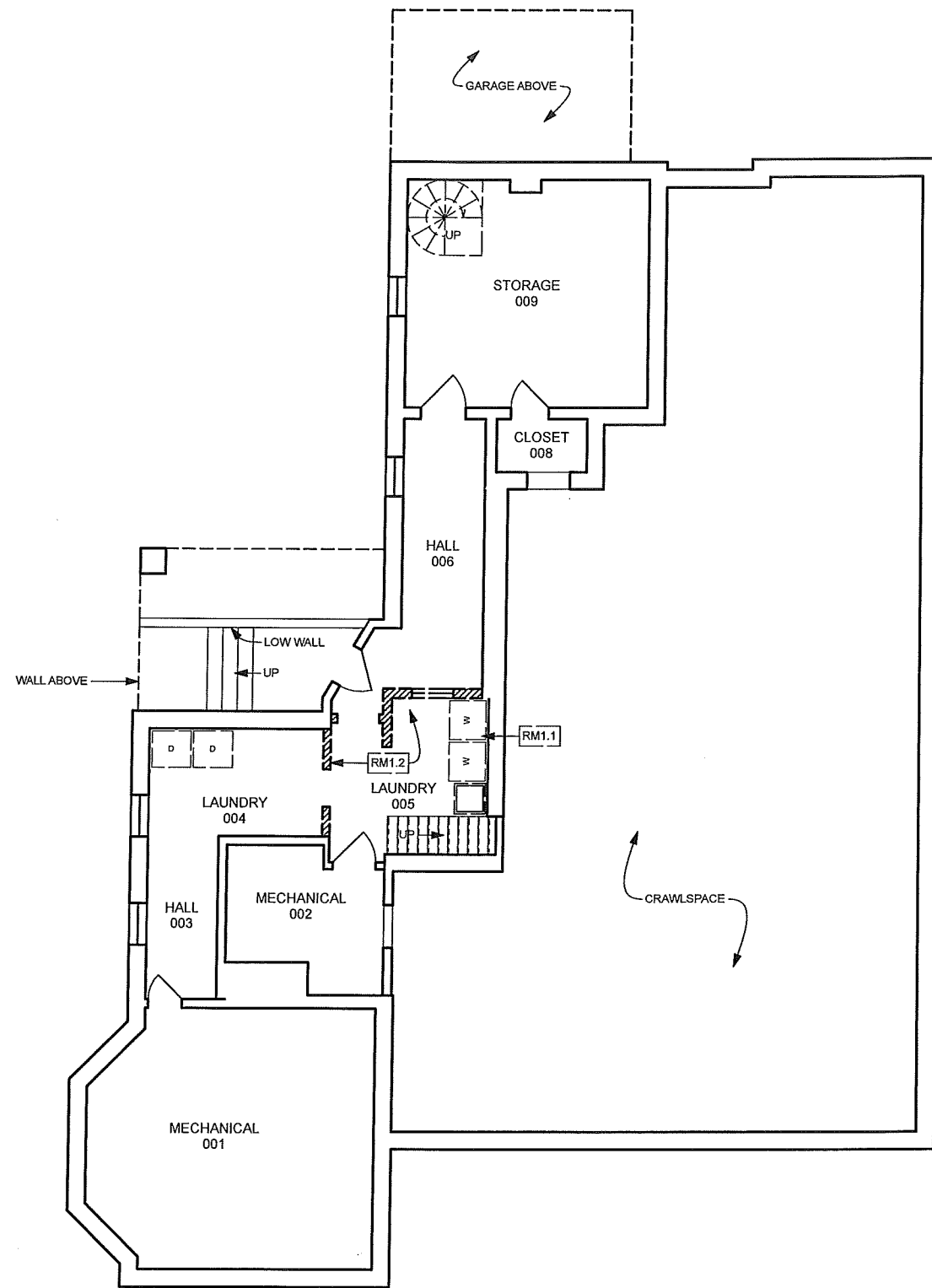
IMAGE 12



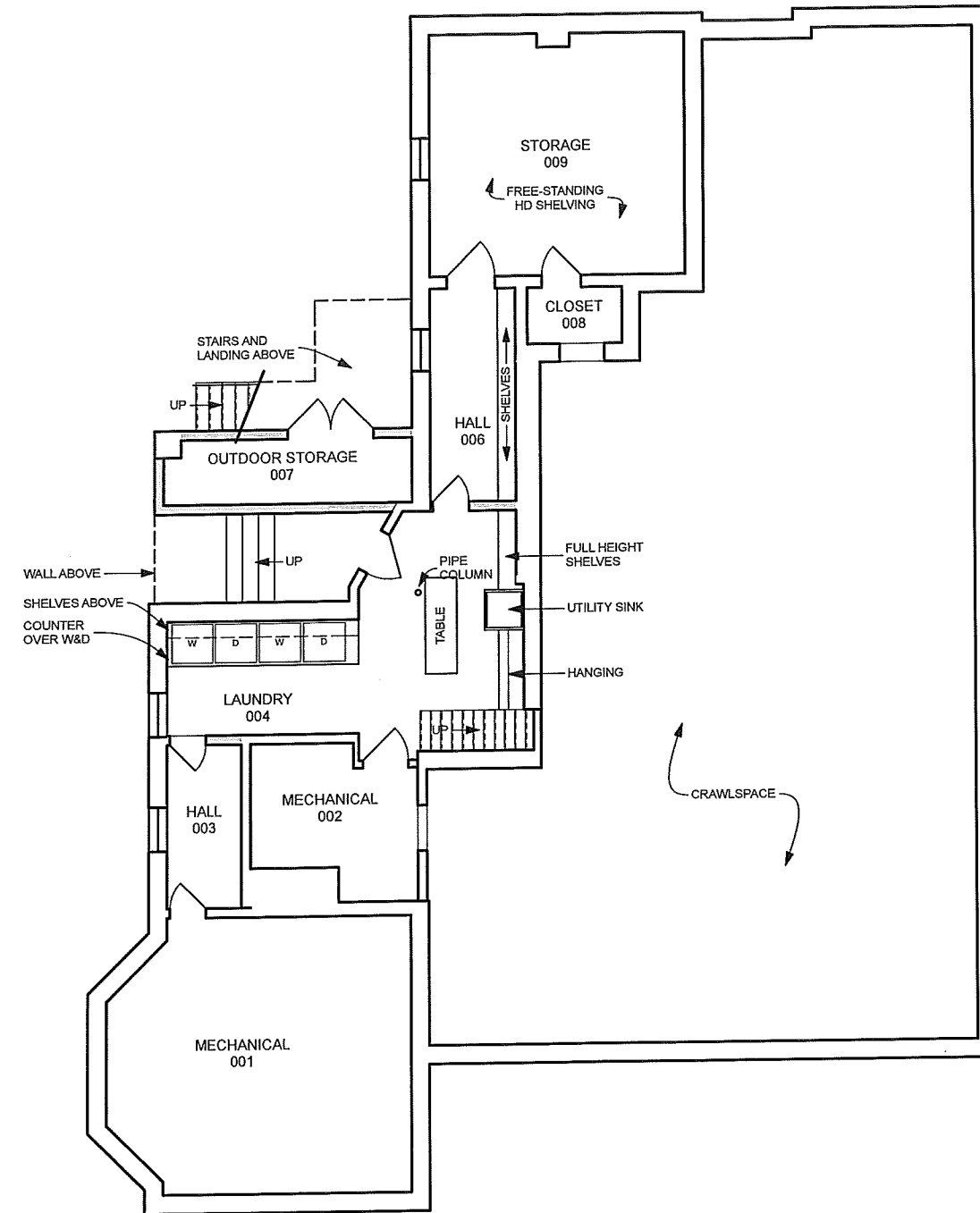
IMAGE 13



IMAGE 14



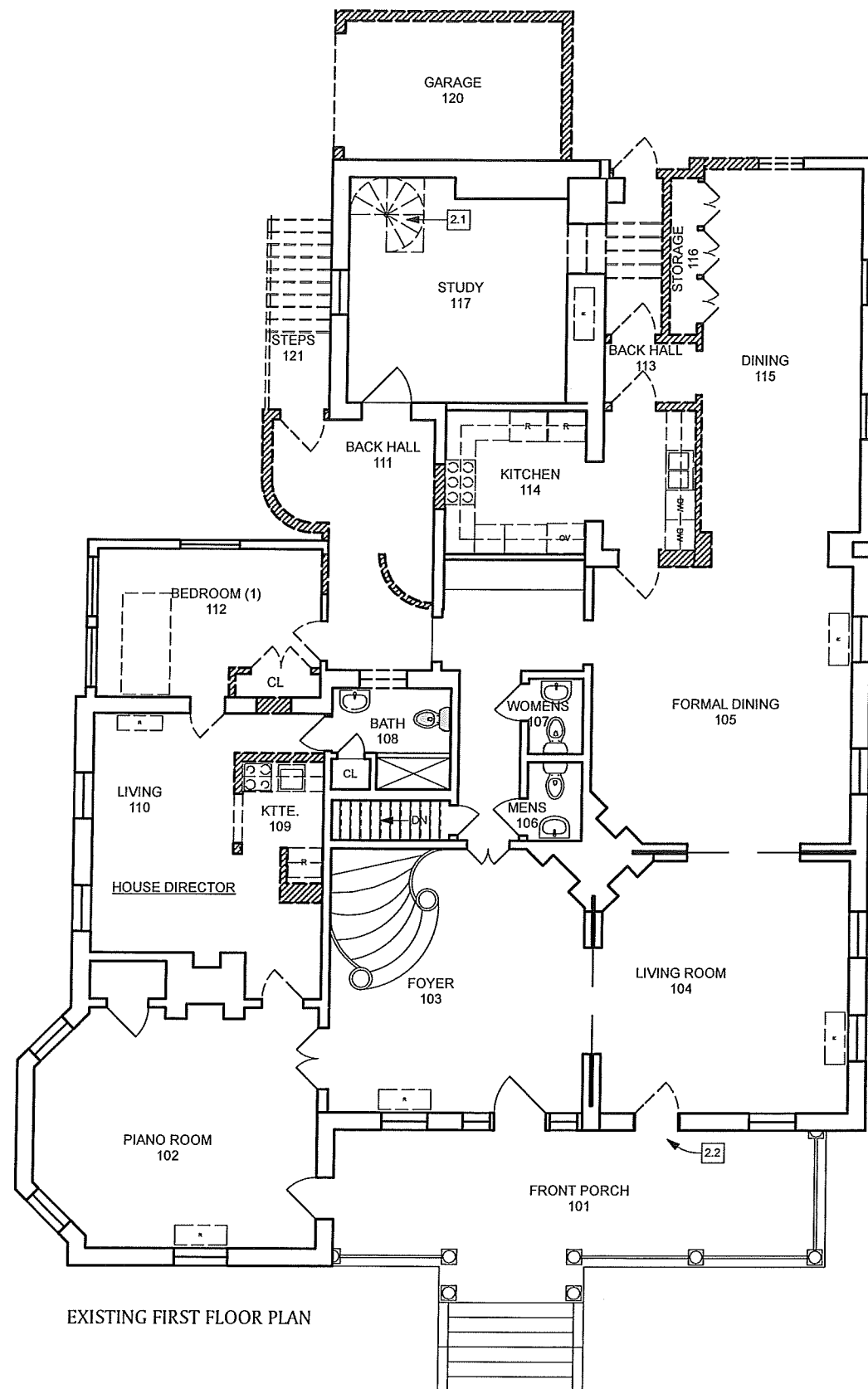
EXISTING BASEMENT PLAN



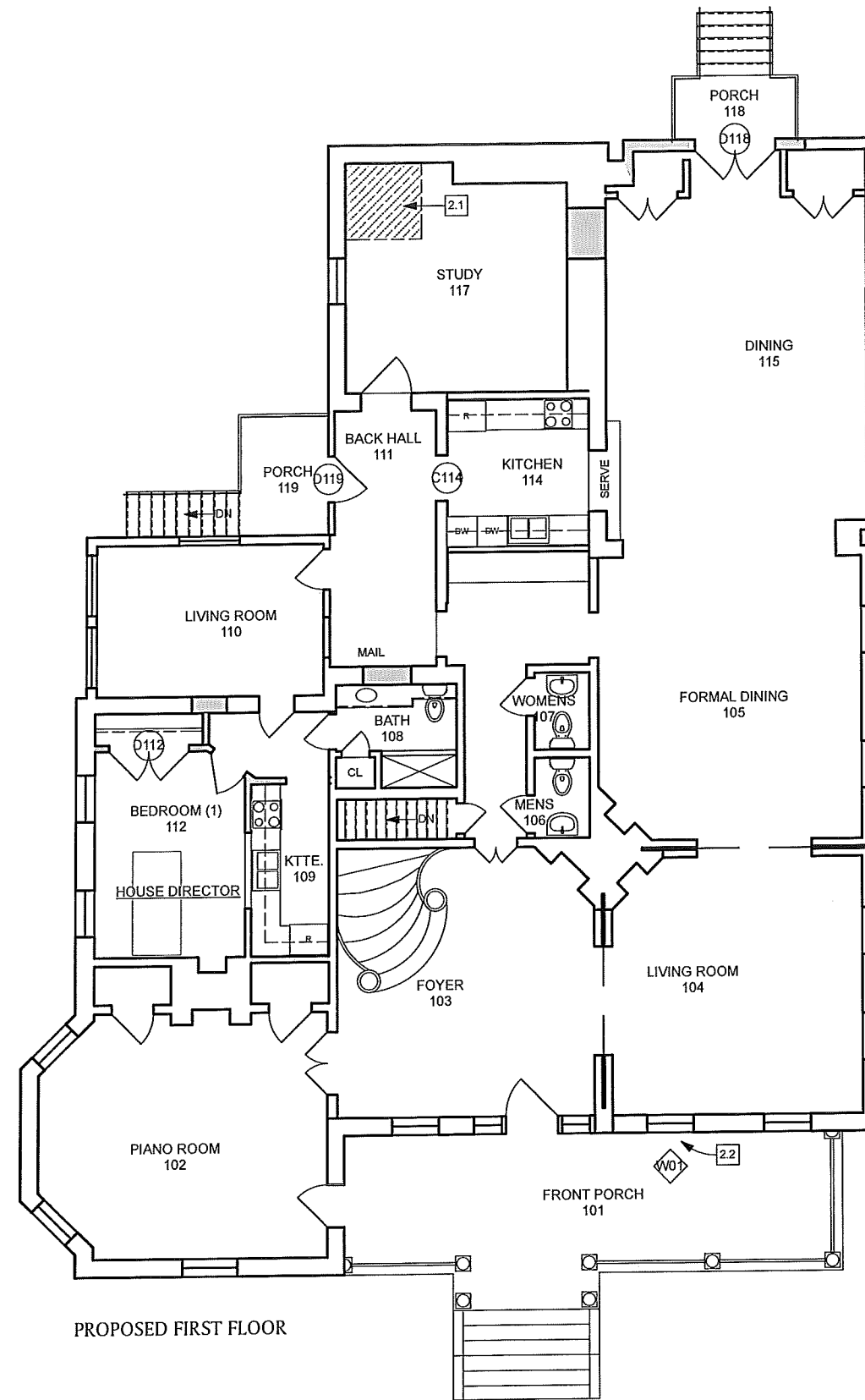
PROPOSED BASEMENT PLAN

CHI OMEGA - UNIVERSITY OF VIRGINIA
 123 CHANCELLOR STREET
 BASEMENT FLOOR PLAN

3/32" = 1'-0"



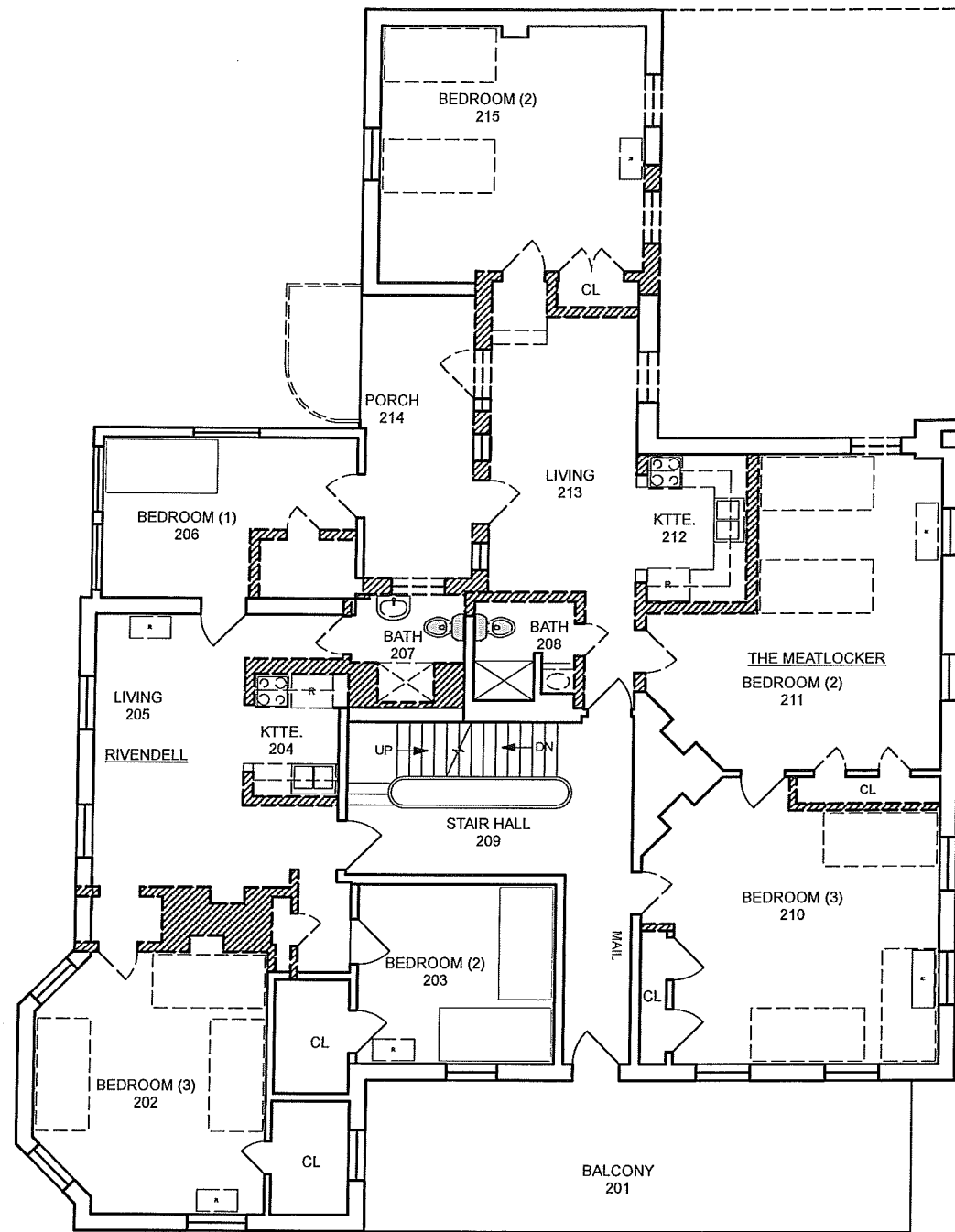
EXISTING FIRST FLOOR PLAN



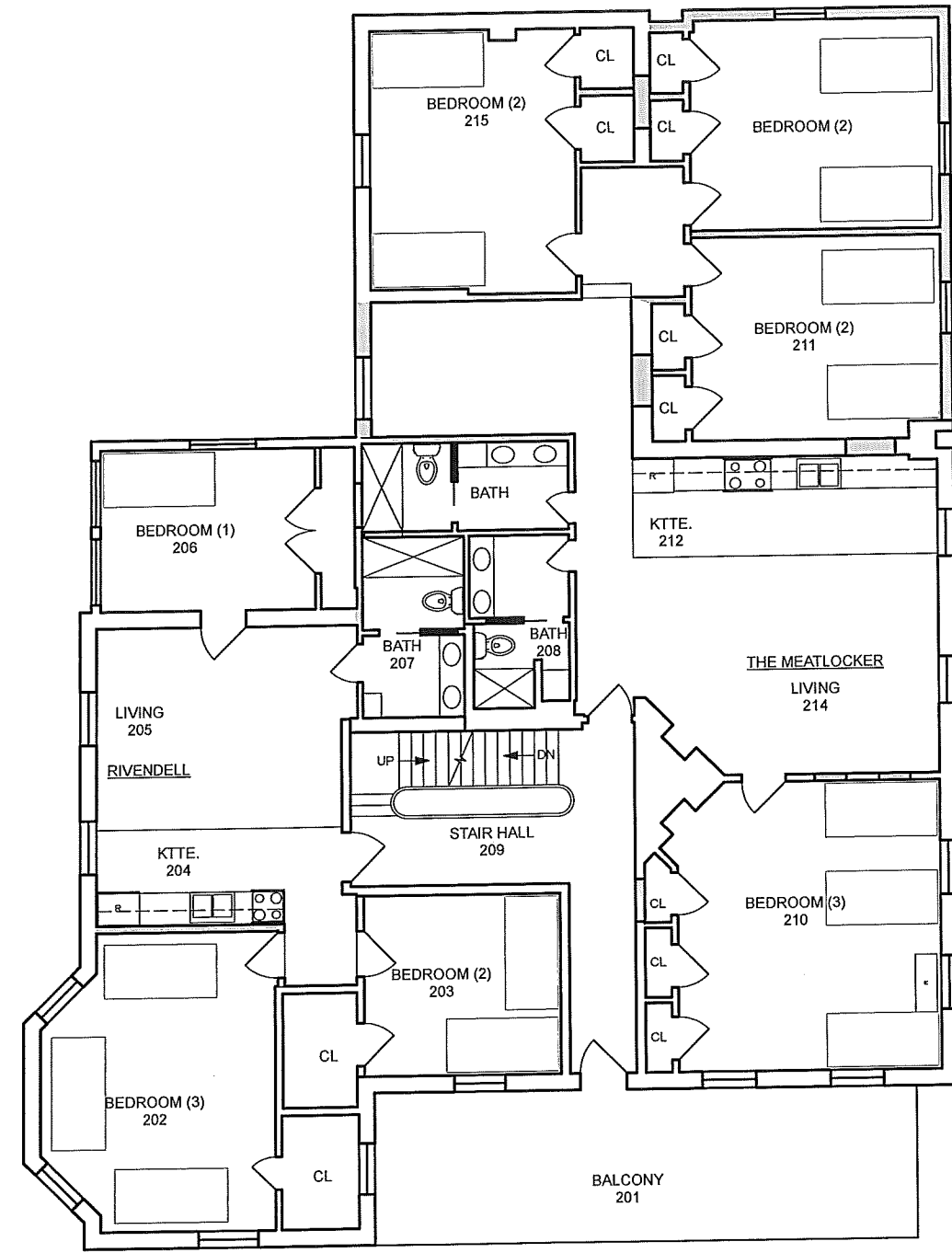
PROPOSED FIRST FLOOR

CHI OMEGA - UNIVERSITY OF VIRGINIA
 123 CHANCELLOR STREET
 FIRST FLOOR PLAN

3/32" = 1'-0"



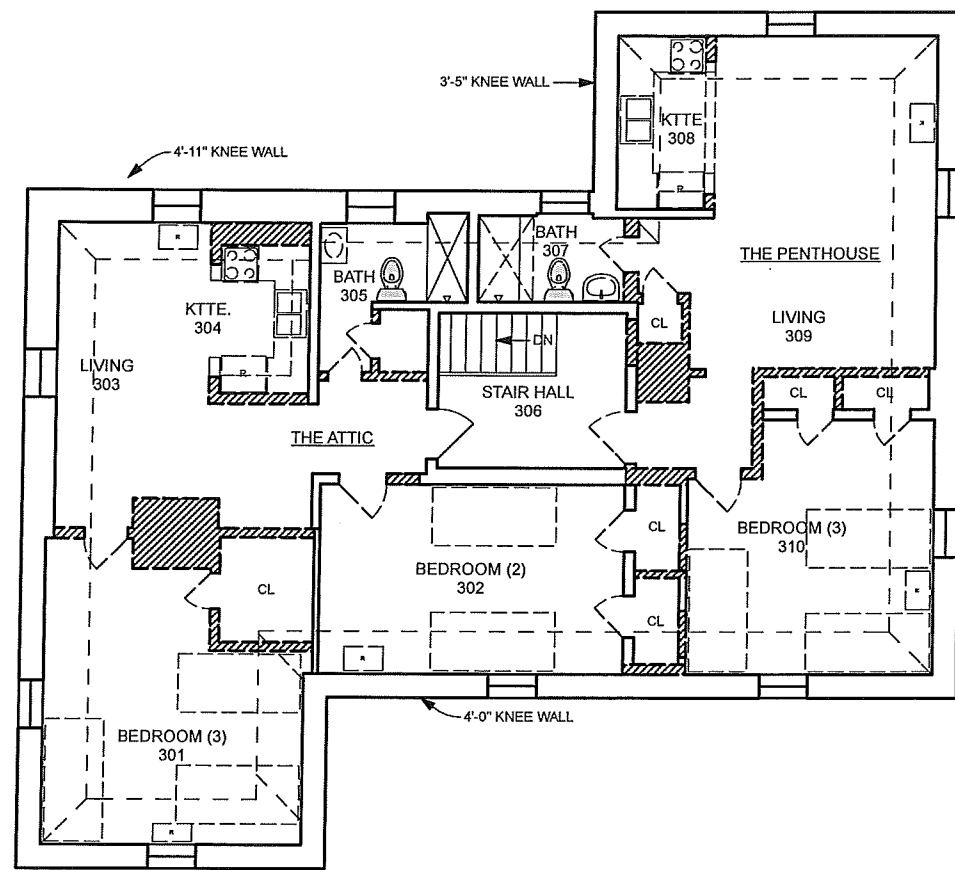
EXISTING SECOND FLOOR PLAN



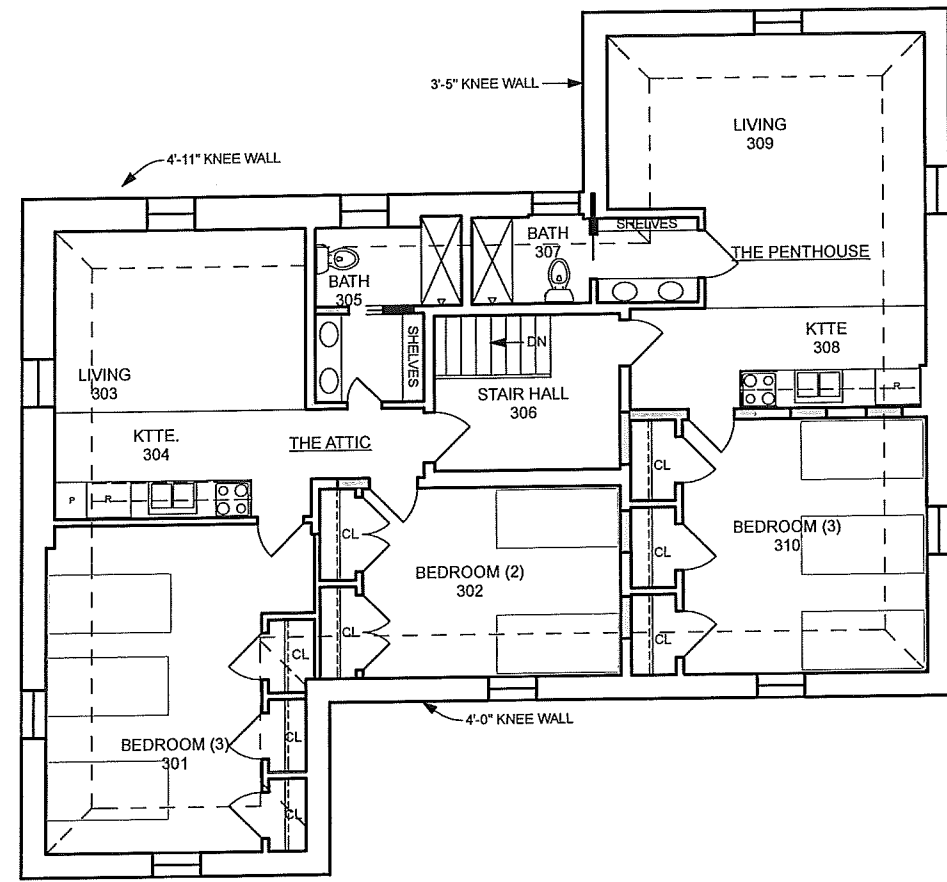
PROPOSED SECOND FLOOR PLAN

CHI OMEGA - UNIVERSITY OF VIRGINIA
 123 CHANCELLOR STREET
 SECOND FLOOR PLAN

3/32" = 1'-0"



EXISTING THIRD FLOOR PLAN



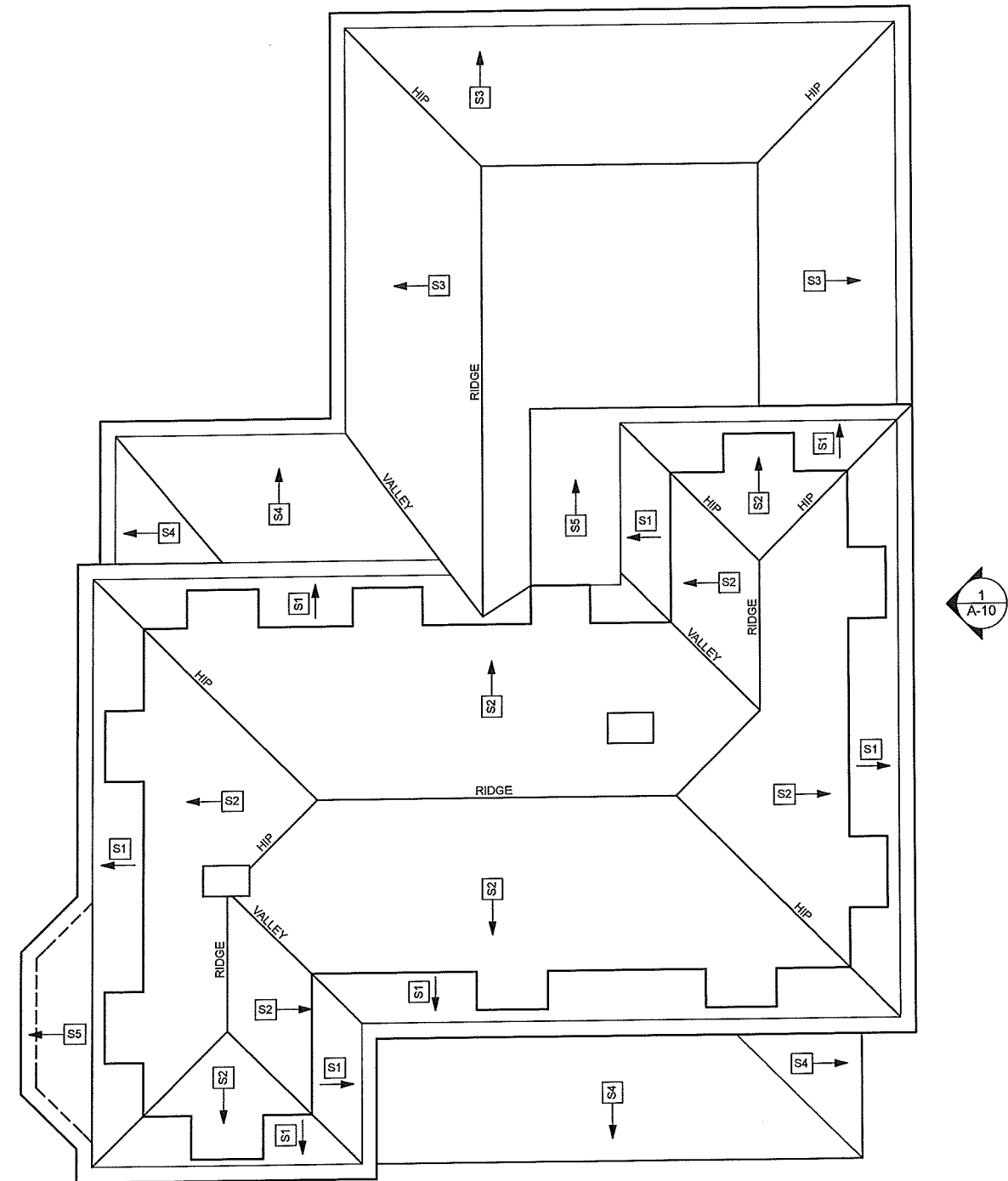
PROPOSED THIRD FLOOR PLAN

CHI OMEGA - UNIVERSITY OF VIRGINIA
 123 CHANCELLOR STREET
 THIRD FLOOR PLAN

3/32" = 1'-0"

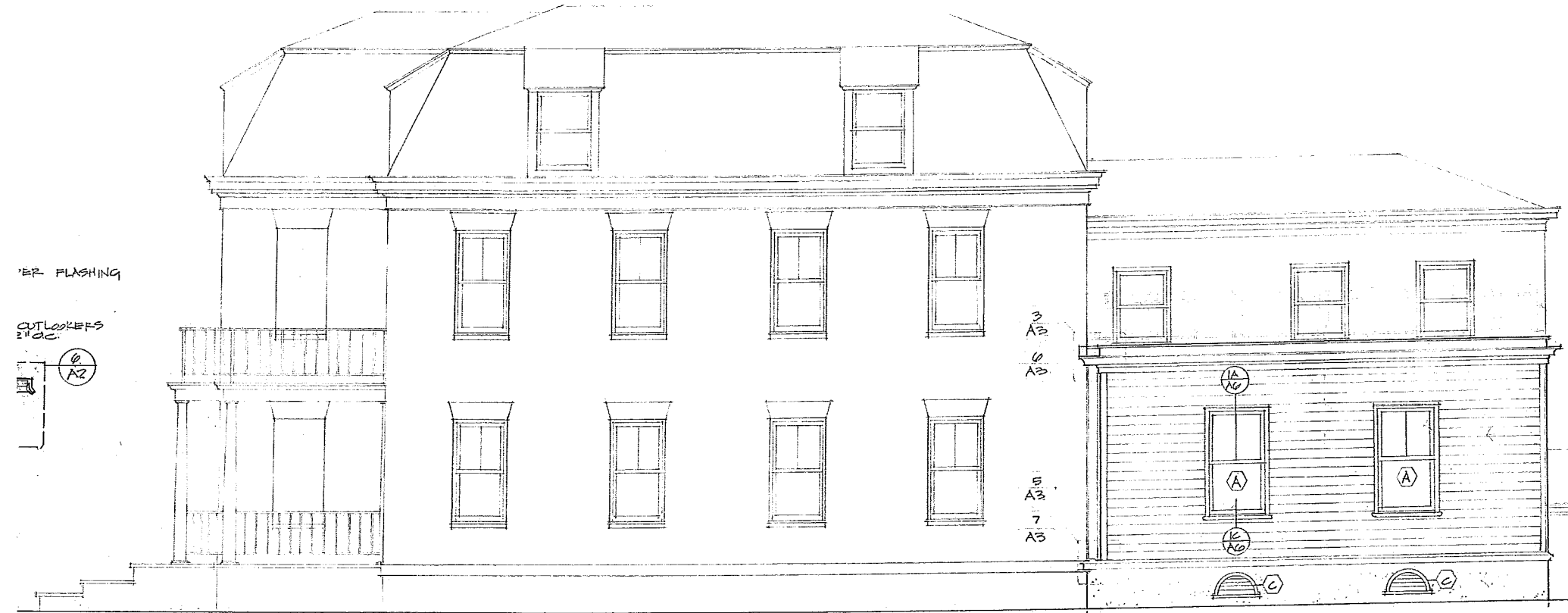


- ← Sx DIRECTION OF SLOPE AND MATERIAL
- ← S1 2:1 SLATE
- ← S2 3.75:12 SLATE
- ← S3 SLATE
- ← S4 METAL
- ← S5 LOW SLOPE EPDM
- ← S6 EPDM



PROPOSED ROOF PLAN

CHI OMEGA - UNIVERSITY OF VIRGINIA
 123 CHANCELLOR STREET
 ROOF FLOOR PLAN
 3/32" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"

CHI OMEGA - UNIVERSITY OF VIRGINIA
 123 CHANCELLOR STREET
 EXTERIOR ELEVATION

1/8" = 1'-0"



SLATE ROOF MATCH EXISTING

CEILING MAIN HOUSE

CEILING ADDITION

MAIN HOUSE SECOND FLOOR

ADDITION SECOND FLOOR

CEILING ADDITION

WOOD SIDING MATCH EXISTING

0'-0" FIRST FLOOR

STUCCO MATCH EXISTING

EXISTING STRUCTURE 9'-3"

BEYOND ADDITION 1'-2"

ADDITION 9'-3 1/2"

11'-11"



PROPOSED WEST ELEVATION
 SCALE: 1/8" = 1'-0"

EXISTING WEST ELEVATION
 SCALE: 1/8" = 1'-0"



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IMG_2765.JPG



IMG_2766.JPG



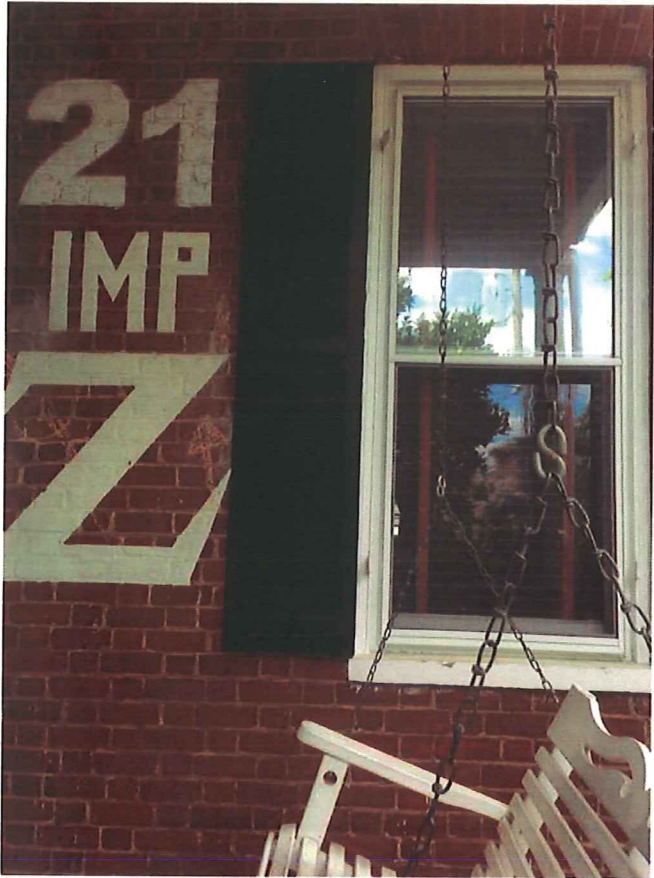
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IMG_2768.JPG



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IMG_2770.JPG



IMG_2771.JPG



IMG_2772.JPG



IMG_2773.JPG



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