

From: Scala, Mary Joy
Sent: Wednesday, January 18, 2012 4:45 PM
To: Will Teass (will@TEKTONICS.COM)
Subject: 600 Preston Place BAR Action

January 18, 2012

Tektonics Design group, c/o Will Teass
515 M Street SE, Suite 116
Washington, DC 20003

RE: Certificate of Appropriateness (Details continued from December 2011)

BAR 11-09-08
600 Preston Place
Tax Map 5 Parcel 109
Will Teass, AIA, Applicant/ Xi Chapter of Theta Chi Alumni Corp, Owner
Enlarge fraternity with three-level addition for five additional bedrooms

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on January 17, 2012.

The following action was taken:

The BAR approved (7-2 with Deloach and Miller opposed) the new addition with modifications suggested at the meeting as to railings [vertical black pickets], curb cut, and dark green stain on the trash enclosure, and with the condition that, if the existing [vinyl] windows are replaced in the original structure [as the BAR previously recommended], that project information must be submitted to staff for approval. [Confirm that they will be Marvin aluminum clad wood, with lites to match existing, and SDL's with muntins permanently affixed to exterior with spacer bars.]

[Please note on site plan the 5 feet setback for the trash enclosure.]

In accordance with Charlottesville City Code 34-285(b), this decision may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in 18 months (July 17, 2013), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced construction. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of construction, please contact me for an inspection of the improvements included in this application. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

Transmittal:

Date: 27 December 2011

To: **Mary Joy Scala**
Charlottesville Department of Neighborhood Services
605 E. Main St
Charlottesville, VA 22902

Phone Number: (434) 970-3130

VIA Courier

Project: 600 Preston Place | D11209

From: Will Teass, AIA

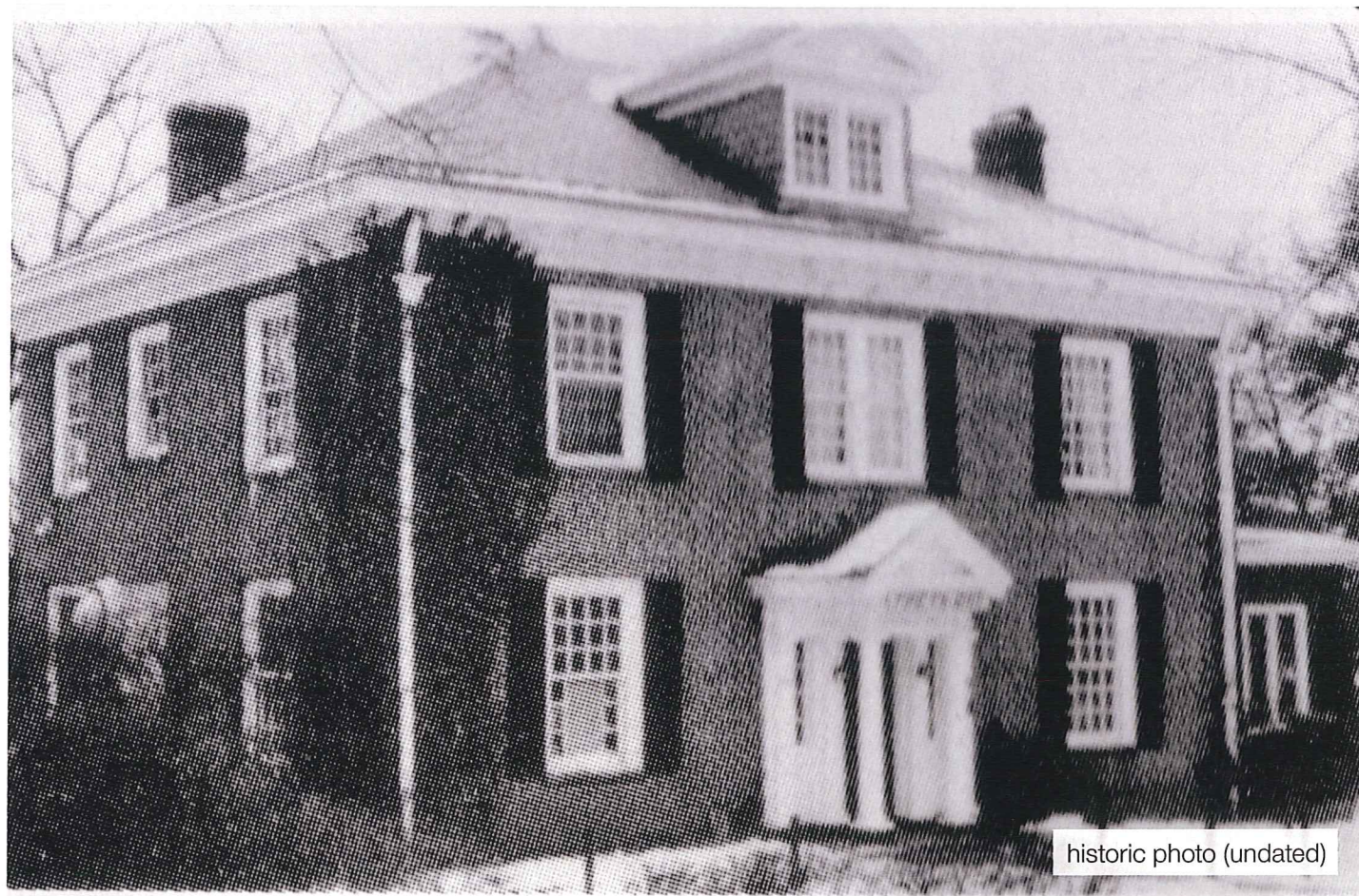
CC: Grady Lewis, Jim Johnston

RECEIVED
DEC 27 2011
NEIGHBORHOOD DEVELOPMENT SERVICES

Enclosed is the final BAR package, including the supplemental information requested at the most recent Board meeting.

- 1 10 copies of BAR Revisions

Please contact me at (202) 683-6260 x201 with any questions or comments.



historic photo (undated)



preston place elevation (west)



detail at existing cornice



corner of preston place / grady avenue

existing conditions / site photographs



north elevation detail



south corner (from grady avenue)



existing retaining wall / deck (from parking area)



northeast corner (from parking area)

existing conditions / site photographs



pv-01: porous concrete



Hanover® Architectural Products | Hanover® Roof and Plaza Pavers



10 Hanover® Roof and Plaza Pavers | Sizes and Colors

Hanover® Paver sizes, thicknesses, weights and colors are all shown below. Pavers are available in custom sizes and colors when quantities permit. (Hanover® Prest® Pavers are manufactured metrically.)

Metric Size		Actual Size		Weight	
Architectural Paver Thickness: 2" or 51 mm					
Weight: 25 lbs/sf					
297mm x 297mm		11 3/4" x 11 3/4"		25 lbs/sf	
301mm x 301mm		11 7/8" x 11 7/8"		25 lbs/sf	
303mm x 303mm		11 15/16" x 11 15/16"		25 lbs/sf	
378mm x 378mm		14 7/8" x 14 7/8"		25 lbs/sf	
297mm x 447mm		11 3/4" x 17 5/8"		25 lbs/sf	
297mm x 597mm		11 3/4" x 23 1/2"		25 lbs/sf	
447mm x 447mm		17 5/8" x 17 5/8"		25 lbs/sf	
447mm x 597mm		17 5/8" x 23 1/2"		25 lbs/sf	
447mm x 899mm		17 5/8" x 35 3/8"		25 lbs/sf	
597mm x 597mm		23 1/2" x 23 1/2"		25 lbs/sf	
606mm x 606mm		23 7/8" x 23 7/8"		25 lbs/sf	
597mm x 747mm		23 1/2" x 29 1/2"		25 lbs/sf	
597mm x 897mm		23 1/2" x 35 3/8"		25 lbs/sf	
756mm x 756mm		29 3/4" x 29 3/4"		25 lbs/sf	
Standard Walkway/Ballast Paver Thickness: 1 13/16"					
Weight: 23 lbs/sf					
Lightweight Roof Ballast Paver: 15 lbs/sf					
297mm x 597mm x 32mm		11 3/4" x 23 1/2" x 1 1/4"		15 lbs/sf	
597mm x 597mm x 32mm		23 1/2" x 23 1/2" x 1 1/4"		15 lbs/sf	
Pedestal® Paver: 22 lbs/sf					
597mm x 597mm x 57mm		23 1/2" x 23 1/2" x 2 1/4"		22 lbs/sf	
Special Size Paver: 32 lbs/sf					
Roof Ballast Application: 2 1/4" thickness					
908mm x 908mm x 57mm		35 3/4" x 35 3/4" x 2 1/4"		32 lbs/sf	
Stocked Finish: Diamond Stocked Color: Natural					
Pedestrian Urban Application: 2 1/2" thickness					
908mm x 908mm x 63mm		35 3/4" x 35 3/4" x 2 1/2"		32 lbs/sf	
Architectural Finish: Tudor® Finish					
Standard colors and custom colors are available on special order.					
Relative Strengths at 2" thickness					
Compressive:		8,500 psi			
Absorption:		less than 5%			
Flexural:		1,100 psi			

Hanover® Roof and Plaza Pavers | Standard Colors with Tudor® Finish

Hanover's eight standard colors are shown below. Additional custom blending is available on special order when quantities permit. Please refer to the chart above for sizes, thicknesses and weights.

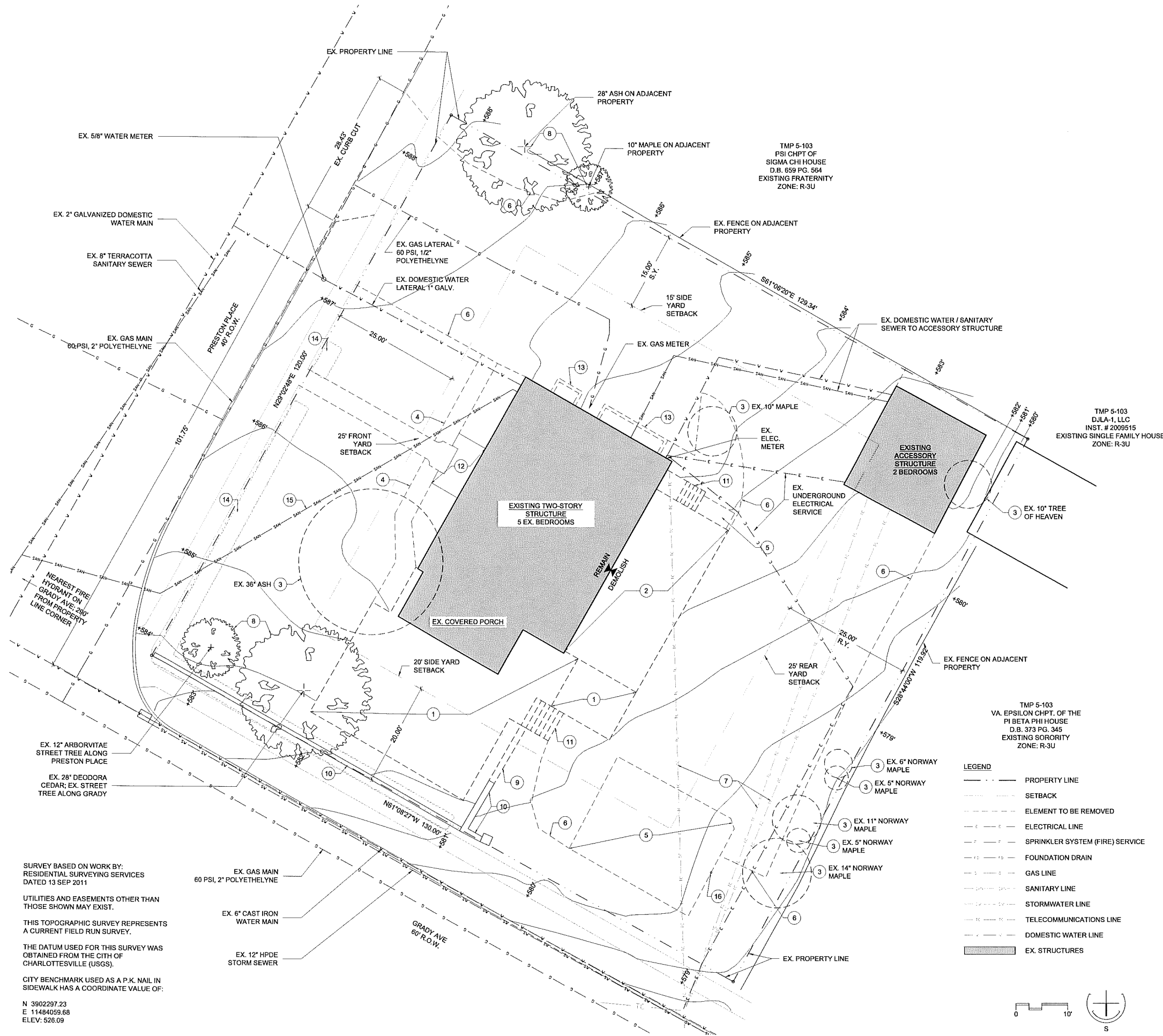


*Natural color Prest® Pavers have a tendency to vary in color within any given shipment. It may vary in shade from gray/buff to light gray, and even to a darker gray. This variance should be expected and considered normal for the Natural color Prest® Pavers.

Please Note: For stability of color, sealing is recommended. Two types of sealers are suggested - Hanover® Intensifying Sealer or Hanover® Natural Sealer.

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING SITE UTILITIES.



SURVEY BASED ON WORK BY:
 RESIDENTIAL SURVEYING SERVICES
 DATED 13 SEP 2011

UTILITIES AND EASEMENTS OTHER THAN
 THOSE SHOWN MAY EXIST.

THIS TOPOGRAPHIC SURVEY REPRESENTS A
 CURRENT FIELD RUN SURVEY.

THE DATUM USED FOR THIS SURVEY WAS
 OBTAINED FROM THE CITH OF
 CHARLOTTEVILLE (USGS).

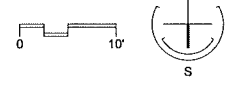
CITY BENCHMARK USED AS A P.K. NAIL IN
 SIDEWALK HAS A COORDINATE VALUE OF:

N 3902297.23
 E 11484059.68
 ELEV: 526.09

TMP 5-103
 VA. EPSILON CHPT. OF THE
 PI BETA PHI HOUSE
 D.B. 373 PG. 345
 EXISTING SORORITY
 ZONE: R-3U

LEGEND

	PROPERTY LINE
	SETBACK
	ELEMENT TO BE REMOVED
	ELECTRICAL LINE
	SPRINKLER SYSTEM (FIRE) SERVICE
	FOUNDATION DRAIN
	GAS LINE
	SANITARY LINE
	STORMWATER LINE
	TELECOMMUNICATIONS LINE
	DOMESTIC WATER LINE
	EX. STRUCTURES



- | | |
|--|----------------------------|
| 1 REMOVE EX. DECK, INCLUDING DECKING, GUARDRAILS AND ALL STRUCTURAL SUPPORTS | 14 EX. PRIVET HEDGE |
| 2 REMOVE EX. ONE STORY MASONRY ADDITION RE: DEMOLITION PLAN | 15 EX. 4" PVC LATERAL |
| 3 REMOVE EX. TREE | 16 SALVAGE BASKETBALL HOOP |
| 4 REMOVE EX. WALKWAY | |
| 5 EX. CONCRETE SLAB TO BE REMOVED | |
| 6 EX. LIMIT OF GRAVEL DRIVEWAY | |
| 7 EX. OVERHEAD TELEPHONE / CABLE LINES TO BE BURIED RE: SITE UTILITY PLAN | |
| 8 EX. TREE TO REMAIN; PROTECT DURING CONSTRUCTION | |
| 9 EX. RETAINING WALL TO BE REMOVED | |
| 10 EX. RETAINING WALL TO REMAIN | |
| 11 EX. WOOD STAIRS TO BE REMOVED | |
| 12 EX. CONCRETE SLAB TO REMAIN | |
| 13 EX. WINDOW WELL TO BE REMOVED | |

KEYNOTES

2
 A1.01

1
 A1.01



PROPOSED PLANT SCHEDULE WITH CANOPY CALCULATIONS

SYMBOL	LATIN NAME	COMMON NAME	QTY.	PLANTING HEIGHT	10 YEAR HEIGHT	CANOPY EACH	CANOPY TOTAL
STREET TREES							
QP	Quercus phellos	Willow Oak	1	11'	31'	370	370
UA	Tilia cordata 'Greenspire'	'Allee' Elm	4	12'	27'	366	1464
S-2 SCREEN - ADJACENT PROPERTY BUFFER							
IN	Ilex x 'Nellie R Stevens'	'Nellie Stevens' Holly	2	5-6'	12'	44	88
KP	Koeleruteria paniculata	Golden Raintree	1	8-10'	15'	314	314
SA	Sassafras albidum	Sassafras	1	8-10'	24'	197	197
UA	Tilia cordata 'Greenspire'	'Allee' Elm	2	12'	27'	366	732
VM	Viburnum x burkwoodii 'Mohawk'	'Mohawk' Viburnum	9	24"	N/A	N/A	N/A
S-3 SCREEN - STREET BUFFER							
HA	Hamamelis x intermedia 'Arnold Promise'	'Arnold Promise' Witch Hazel	1	6-7'	16'	113	113
IC	Ilex cornuta 'Carissa'	'Carissa' Holly	14	15"	N/A	N/A	N/A
IN	Ilex x 'Nellie R Stevens'	'Nellie Stevens' Holly	2	5-6'	12'	44	88
SA	Sassafras albidum	Sassafras	2	8-10'	24'	197	394
UA	Tilia cordata 'Greenspire'	'Allee' Elm	1	12'	27'	366	366
VM	Viburnum x burkwoodii 'Mohawk'	'Mohawk' Viburnum	10	24"	N/A	N/A	N/A

TOTAL PROPOSED PLANT CANOPY AREA: 4,126

LANDSCAPE REQUIREMENTS

TREE CANOPY REQUIREMENTS

Total site area: 15,555 SF
 Required tree cover: 1,555 SF (10% of total site area)
 Proposed tree cover: 4,126 SF
 Preserved tree cover: 2,670 SF
 Total canopy coverage: 6,796 SF

STREET TREES

Total Street Frontage: 240 LF
 Required number of Street Trees: 6
 Proposed Street Trees: 5
 Existing Street Trees: 2
 Total Street Trees: 7

S-2 SCREEN

Total buffer area: 675 SF
 Required screening: 1 large tree, 1 medium tree, 2 evergreen trees, 7 shrubs
 Proposed screening: 2 large trees, 2 medium trees, 2 evergreen trees, 9 shrubs

S-3 SCREEN

Total buffer area: 500 SF
 Required screening: 1 large tree, 1 medium tree, 1 understory tree, 1 evergreen tree, 5 shrubs
 Proposed screening: 1 large tree, 2 medium trees, 1 understory tree, 2 evergreen trees, 22 shrubs

NOTES:

Landscaping shall meet the requirements of ARTICLE VIII, Division 2 of the Zoning Ordinance of the city of Charlottesville, Virginia.

All plantings shall meet the specifications of the American Association of Nurserymen.

Selection of 'Gulf Stream' Nandina along drive off of Grady Avenue is based on adaptability of proposed plant to the difficult cultural conditions presented within that specific landscape area. Evergreen foliage, plant density, and minimum height of plant were additional considerations for selection.

Proposed plantings shall be installed in accordance with the standardized landscape specifications jointly adopted by the Virginia Nurseryman's Association, the Virginia Society of Landscape Designers, and the Virginia Chapter of the American Society of Landscape Architects.

Topographical information provided by Residential Surveying Services, 117 4th Street N.E., Charlottesville, VIRGINIA, 22902.

Contact city arborist after staking limits of disturbance.

Tree protection fencing must be installed and inspected prior to or concurrent with any clearing or grading with the following exception: Tree Protection Zone surrounding the Deodora Cedar shall be erected immediately following the removal of the existing deck. Tree Protection Zones surrounding the Ash and Maple located on adjacent property shall be erected immediately following the removal of existing gravel.

Temporary Fencing shall be erected around Tree Protection Zones as indicated on Plan. Where trees are to be preserved within disturbed areas, fencing will consist of heavy duty chain link rigidly supported and maintained during all construction periods at a min. height of 6 feet above grade. Signs stating "No Entry, Tree Protection Area" in both English and Spanish, are to be posted at 30' intervals. See Civil Drawings for Detail.

Tree root systems within Tree Protection Zones shall be protected from damage caused by runoff or spillage of noxious materials, excessive ponding or eroding, and excessive wetting caused by watering operations.

Areas inside Tree Protection Zones shall receive a 4 inch layer of shredded hardwood mulch, maintained 6" away from trunks.

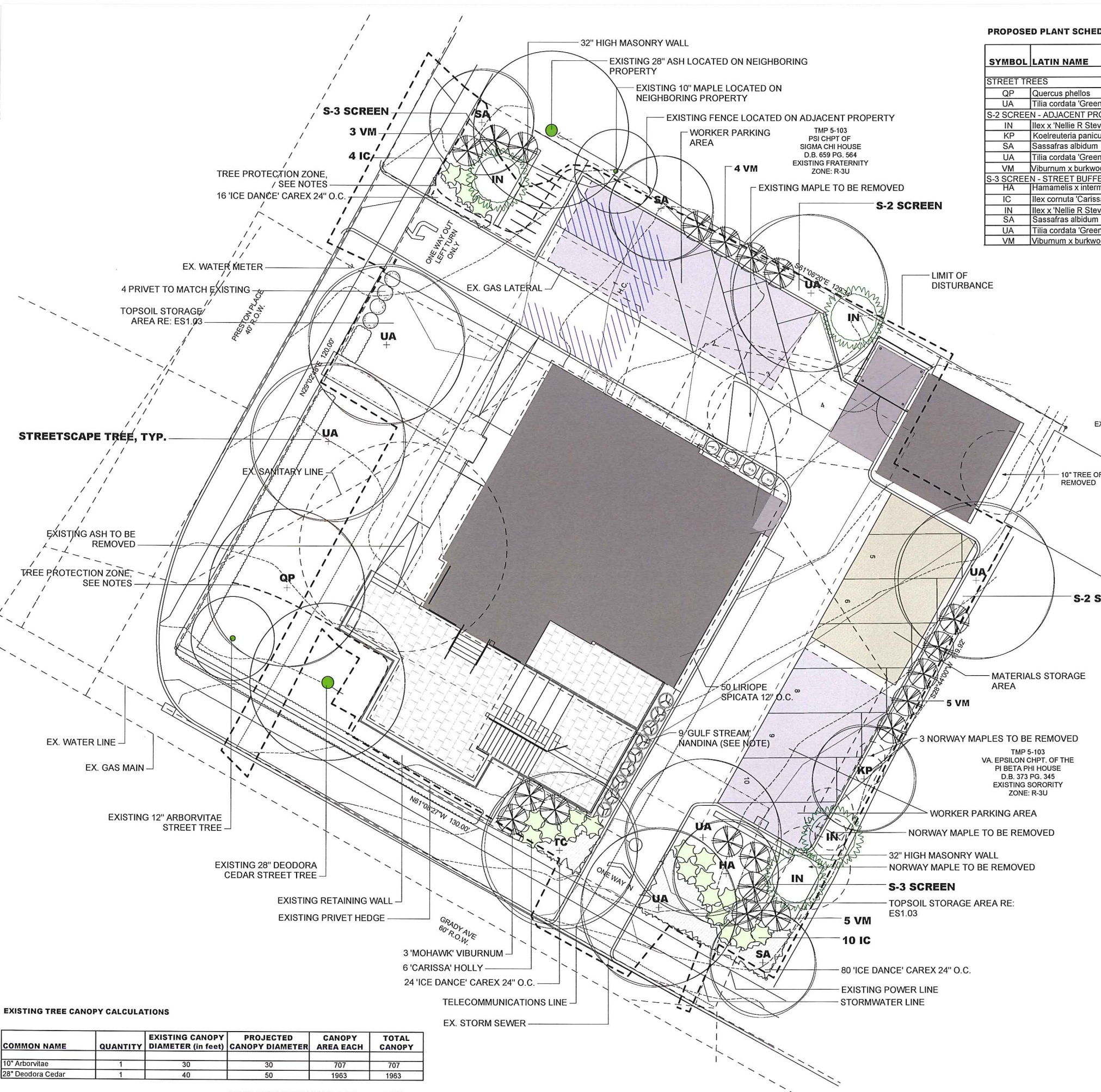
Tree Protection Zones shall remain free of construction materials, debris, weeds and trash.

Vehicles and foot traffic are not permitted within Tree Protection Zones.

Where excavation of existing gravel is required near 28" caliper Ash and 10" Maple trees to be preserved, root pruning shall be done mechanically with a root pruning machine, vibratory plow, or narrow trencher with sharp blades. Do not break or pull roots with backhoe or similar equipment. Do not allow exposed roots to dry out before placing permanent backfill. Compaction of root zone shall be relieved and organic matter incorporated through the use of air spade technology within the dripline of the tree that shall be converted into landscaped area.

Appropriate fertilization of existing trees to be preserved shall be determined by tree care specialist and soil test results.

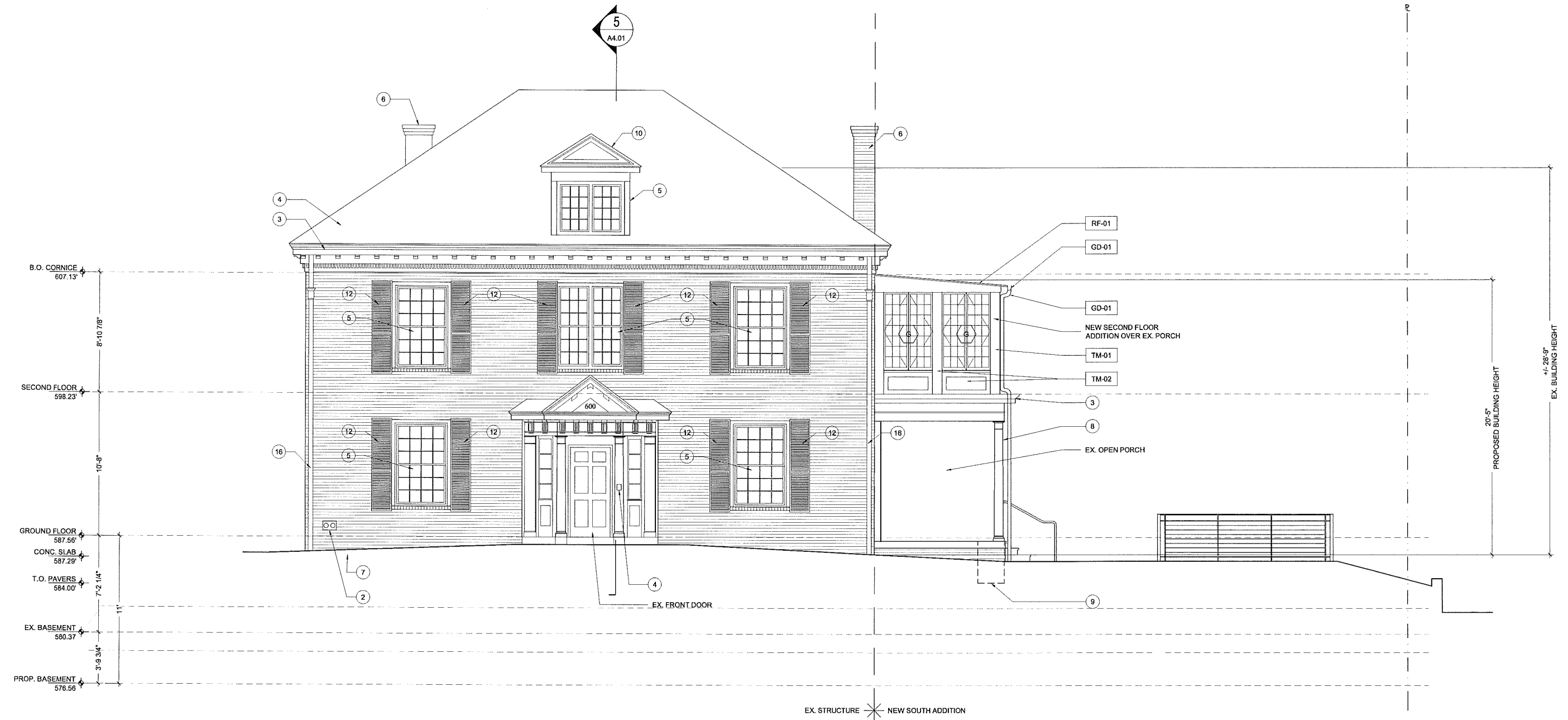
Contractor is responsible for compliance with Tree Preservation Plan (Sheet L1.02). Failure to comply with restrictions, conditions, and mitigation measures of the Tree Preservation Plan will result in the issuance of a stop-work order, and may also result in the imposition of fines, penalties, or both.



EXISTING TREE CANOPY CALCULATIONS

COMMON NAME	QUANTITY	EXISTING CANOPY DIAMETER (in feet)	PROJECTED CANOPY DIAMETER	CANOPY AREA EACH	TOTAL CANOPY
10" Arborvitae	1	30	30	707	707
28" Deodora Cedar	1	40	50	1963	1963

TOTAL EXISTING CANOPY AREA: 2,670



WEST ELEVATION
 1/4" = 1'-0"
 5
 A3.01

MATERIAL SCHEDULE

BR-01	BRICK (MATCH EXISTING)
CS-01	CAST STONE
GB-01	GLASS BLOCK
GD-01	GUTTER / DOWNSPOUT, WHITE ALUMINUM
RF-01	STANDING SEAM, GALVALUME FINISH
TM-01	TRIM, MIRATEC 5/4" THICKNESS
TM-02	TRIM, MIRATEC 1/2" SHEET

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

MATERIAL SCHEDULE
 4
 A3.01

KEYNOTES

1 KNOX BOX	2 FIRE DEPARTMENT CONNECTION	3 EX. CORNICE; REPAIR RE: A6.01	4 EX. SLATE ROOF	5 EX. WINDOW TO REMAIN	6 EX. MASONRY CHIMNEY	7 NEW RAMP RE: SITE PLAN	8 EX. COLUMN TO BE REMOVED DURING CONSTRUCTION, STORED ON SITE, AND REINSTALLED	9 NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.	10 EX. DORMER	11 NEW GUARDRAIL RE: A...	12 EX. SHUTTER	13 EXT. LIGHT FIXTURE	14 NEW EXT. DOOR	15 EX. FAN TO BE REMOVED	16 EX. DOWNSPOUT	17 RELOCATE EX. DOWNSPOUT / COLLECTOR BOX
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NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

KEY NOTES
 2
 A3.01

- SHEET NOTES:**
- REFER TO A__ FOR DOOR SCHEDULE
 - REFER TO A__ FOR WINDOW SCHEDULE

LEGEND

SHADOW BOX

SHEET NOTES
 1
 A3.01

Tektonics Design Group

THE YARDS | 1515 M STREET SE, SUITE 116 | WASHINGTON DC 20003 | 202.966.6260

THETA CHI - XI CHAPTER ADDITION
 600 PRESTON PLACE
 CHARLOTTEVILLE, VA 22903
 T.M.P. 5-1-09 / LOTS 19 / PORTION OF 20

CIVIL
 DAVID COLLINS
 1188 BERRY HILL RD | NELLYSFORD, VA 22958
 (434) 361-1113 | DLO@BRL.COOP

LANDSCAPE
 JESSICA PRIMA
 P.O. BOX 1422 | CHARLOTTEVILLE, VA 22902
 (434) 882-6520 | JPRIMA@CSTONE.NET

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EXTERIOR ELEVATION
 WEST (PRESTON PLACE)

27 DEC 2011

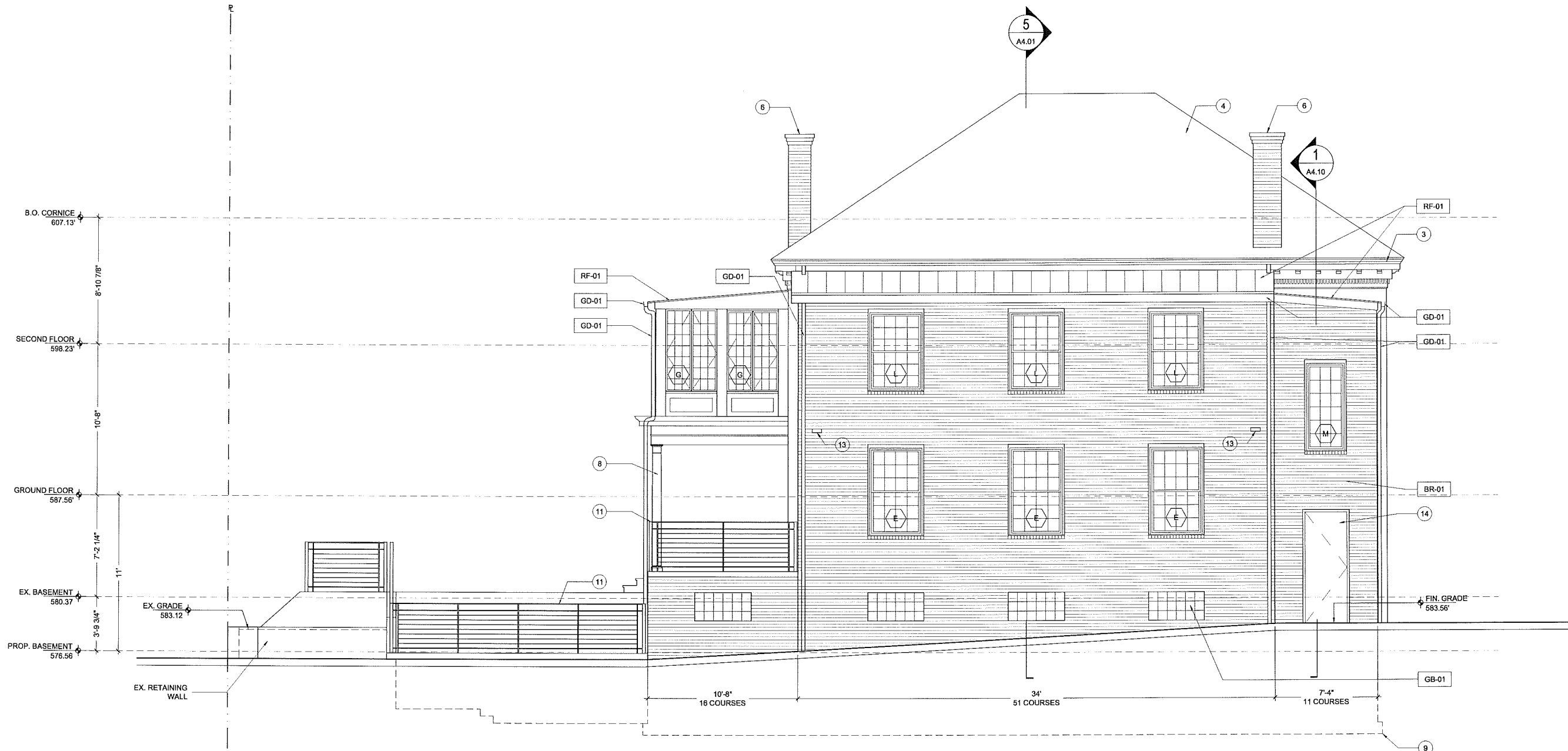
© 2011 TEKTONICS DESIGN GROUP | PROJECT D11289

© 2011 TEKTONICS DESIGN GROUP | PROJECT D11289

PROGRESS SET

A3.01

west elevation - preston place (a3.01)



EAST ELEVATION
1/4" = 1'-0"

5
A3.03

BR-01	BRICK (MATCH EXISTING)
CS-01	CAST STONE
GB-01	GLASS BLOCK
GD-01	GUTTER / DOWNSPOUT, WHITE ALUMINUM
RF-01	STANDING SEAM, GALVALUME FINISH
TM-01	TRIM, MIRATEC 5/4 THICKNESS
TM-02	TRIM, MIRATEC 1/2" SHEET

KEYNOTES

- 1 KNOX BOX
- 2 FIRE DEPARTMENT CONNECTION
- 3 EX. CORNICE; REPAIR RE: A6.01
- 4 EX. SLATE ROOF
- 5 EX. WINDOW TO REMAIN
- 6 EX. MASONRY CHIMNEY
- 7 NEW RAMP RE: SITE PLAN

- 8 EX. COLUMN TO BE REMOVED DURING CONSTRUCTION, STORED ON SITE, AND REINSTALLED
- 9 NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.
- 10 EX. DORMER
- 11 NEW GUARDRAIL RE: A__
- 12 EX. SHUTTER
- 13 EXT. LIGHT FIXTURE
- 14 NEW EXT. DOOR

- 15 EX. FAN TO BE REMOVED
- 16 EX. DOWNSPOUT
- 17 RELOCATE EX. DOWNSPOUT / COLLECTOR BOX

SHEET NOTES:

- 1. REFER TO A__ FOR DOOR SCHEDULE
- 2. REFER TO A__ FOR WINDOW SCHEDULE

LEGEND

SHADOW BOX

MATERIAL SCHEDULE

4
A3.03

KEY NOTES

NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

2
A3.03

SHEET NOTES

1
A3.03

Tektonics Design Group

THE YARDS | 1515 M STREET SE, SUITE 116 | WASHINGTON DC 20003 | 202.683.0260

CIVIL
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1188 BERRY HILL RD | NELLYSFORD, VA 22958
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LANDSCAPE
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P.O. BOX 1422 | CHARLOTTESVILLE, VA 22902
(434) 862-6260 | JCRANE@STONEISLAND.COM

THETA CHI - XI CHAPTER ADDITION
601 PRESTON PLACE
CHARLOTTESVILLE, VA 22903
T.M.P. 5-109 / LOTS 19 / PORTION OF 20

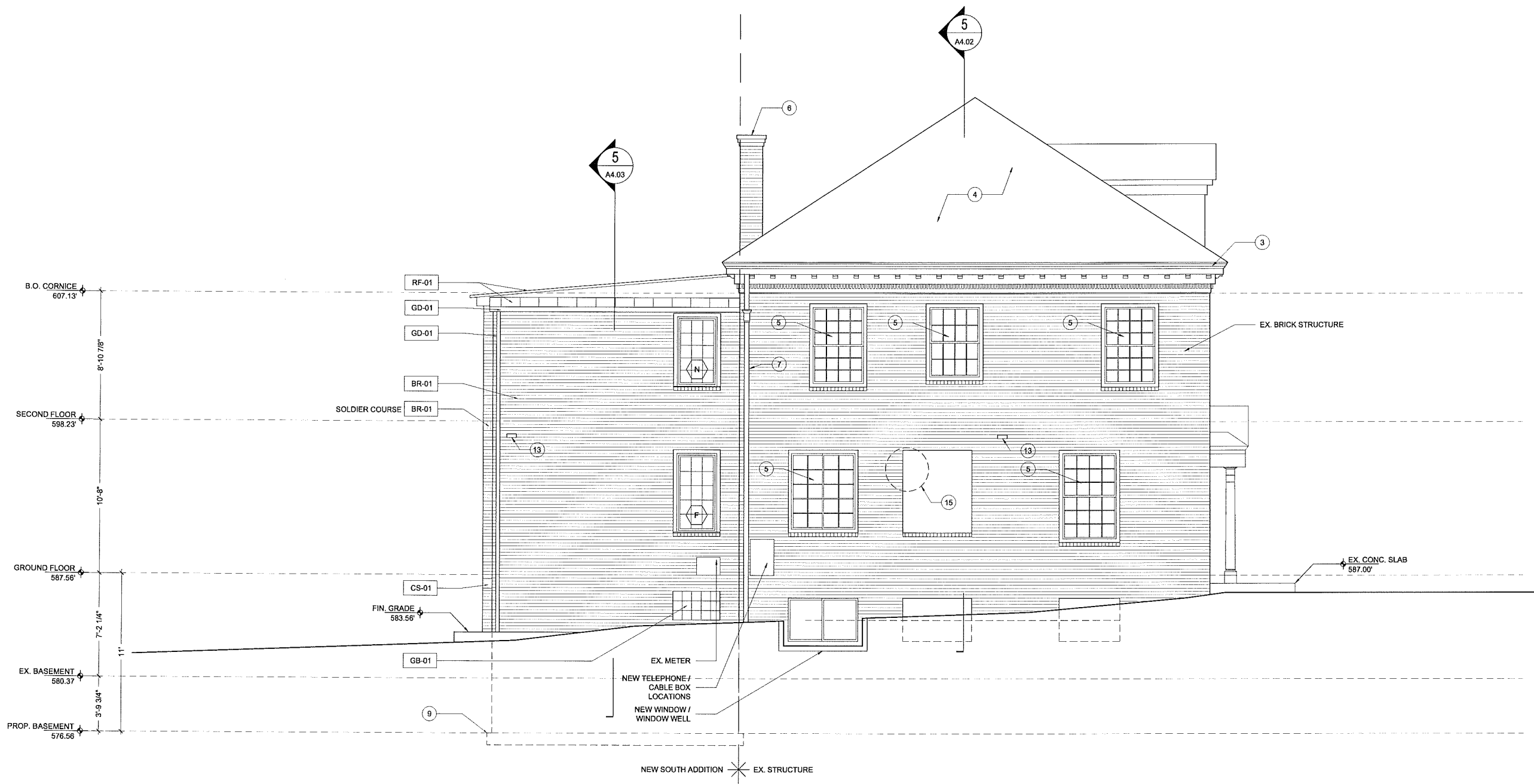
EXTERIOR ELEVATION
EAST

27 DEC 2011

PROGRESS SET

A3.03

© 2011 TEKTONICS DESIGN GROUP | PROJECT D11269



NORTH ELEVATION
1/4" = 1'-0"

BR-01	BRICK (MATCH EXISTING)
CS-01	CAST STONE
GB-01	GLASS BLOCK
GD-01	GUTTER / DOWNSPOUT, WHITE ALUMINUM
RF-01	STANDING SEAM, GALVUMME FINISH
TM-01	TRIM, MIRATEC 5/4 THICKNESS
TM-02	TRIM, MIRATEC 1/2" SHEET

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

MATERIAL SCHEDULE

KEYNOTES

- 1 KNOX BOX
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NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

KEY NOTES

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SHEET NOTES:

- 1. REFER TO A__ FOR DOOR SCHEDULE
- 2. REFER TO A__ FOR WINDOW SCHEDULE

LEGEND

SHADOW BOX

SHEET NOTES

4
A3.04

2
A3.04

1
A3.04

1
A3.04