

Scala, Mary Joy

From: Will Teass <will@TEKTONICS.COM>
Sent: Monday, May 21, 2012 7:32 PM
To: Scala, Mary Joy
Cc: Walden, Ebony
Subject: RE: Preston Place: Building Permit / Historic Review

Thank you for the update; the final / approved site plan drawings reflect the brick site walls. Do we need to resubmit anything?

From: Scala, Mary Joy [mailto:scala@charlottesville.org]
Sent: Monday, May 21, 2012 4:27 PM
To: Will Teass
Cc: Grady Lewis; jamesc_johnston@comcast.net; rdavis@relee.net
Subject: RE: Preston Place: Building Permit / Historic Review

I signed off on it last week with the condition that the two site walls be brick, as originally approved by the BAR.

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

From: Will Teass [mailto:will@TEKTONICS.COM]
Sent: Friday, May 18, 2012 10:27 AM
To: Scala, Mary Joy
Cc: Grady Lewis; jamesc_johnston@comcast.net; rdavis@relee.net
Subject: FW: Preston Place: Building Permit / Historic Review

I spoke with Read this morning, and he mentioned that you will need to review the drawings before the building permit is issued. Our final site plan was approved earlier this week (see attached) and both Frances and Read have approved the permit. Is there any additional information required from us?

From: Will Teass
Sent: Wednesday, May 16, 2012 2:21 PM
To: Brodhead, Read
Cc: Vineyard, William; Reed Davis (rdavis@relee.net); Jimmy Johnston (jamesc_johnston@comcast.net); Grady Lewis
Subject: RE: Preston Place: Site Plan Comment

We received word this afternoon that our Final Site Plan was approved (see attached); what additional items are required in order for the Building Permit to be issued?

From: Vineyard, William [mailto:VINEYARDW@charlottesville.org]
Sent: Friday, May 11, 2012 5:25 PM
To: Will Teass
Cc: Brodhead, Read
Subject: FW: Preston Place: Site Plan Comment

Mr. Teass

From: Scala, Mary Joy
Sent: Monday, April 02, 2012 2:01 PM
To: 'Will Teass'
Cc: Grady Lewis; jamesc_johnston@comcast.net
Subject: RE: Preston Place: BAR Action

April 2, 2012

Tektonics Design Group, c/o Will Teass
515 M Street SE, Suite 116
Washington, DC20003

RE: Certificate of Appropriateness Application
BAR 12-03-07
600 Preston Place
Tax Map 5 Parcel 109
Will Teass, AIA, Applicant/ Xi Chapter of Theta Chi Alumni Corp, Owner
Revisions to approved design

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural Review (BAR) on March 20, 2012.

The following actions were taken:

The BAR partially approved (7-2 with Miller and DeLoach opposed) the following items:

- 1. Reconfigured HC route;**
- 3. Trash enclosure screen enlarged to accommodate mechanical units.**
- 5. Add second pedestrian entrance to patio.**
- 6. Remove masonry retaining wall/handrail from patio where not required by Code.**
- 7. The existing concrete porch slab will be removed and replaced.**
- 8. Substitute Pella Proline aluminum clad windows with exterior affixed SDL's for Marvin windows. Replacement and new French doors will be painted wood with true divided lights.**
- 9. Substitute HardieTrim for Miratec.**

The following item was withdrawn:

- 4. Underground storm water storage/asphalt is substituted for use of porous pavers.**

The following items were denied in the same motion:

- 2. Brick veneer parking screen walls changed to split face CMU at both locations Grady and at Preston Place. Also, denied was the revision to change the casement windows on the second floor sleeping porch to double-hung windows.**

In accordance with Charlottesville City Code 34-285(b), these decisions may be appealed to the City Council in writing within ten working days of the date of the decision. Written appeals, including the grounds for an appeal, the procedure(s) or standard(s) alleged to have been violated or misapplied by the BAR, and/or any additional information, factors or opinions the applicant deems relevant to the application, should be directed to Paige Barfield, Clerk of the City Council, PO Box 911, Charlottesville, VA 22902.

This certificate of appropriateness shall expire in 18 months (September 20, 2013), unless within that time period you have either: been issued a building permit for construction of the improvements if one is required, or if no building permit is required, commenced construction. You may request an extension of the certificate of appropriateness *before this approval expires* for one additional year for reasonable cause.

Upon completion of construction, please contact me for an inspection of the improvements included in this application. If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

L1.02

TREE PRESERVATION PLAN LANDSCAPE PLAN



PRELIMINARY SITE PLAN SUBMISSION REVISIONS

Tektonics Design Group

THE YARDS 1515 N. STREET SE, SUITE 118 | WASHINGTON DC 20003 | 202.685.6500

THETA CH1 - XI CHAPTER ADDITION

600 PRESTON PLACE

CHARLOTTESVILLE, VA 22903

T.M.P. 5-109 / LOTS 19 / PORTION OF 20

SYMBOL	LATIN NAME	COMMON NAME	QTY.	PLANTING HEIGHT	10 YEAR CANOPY	TOTAL CANOPY
OP	Quercus phellos	Willow Oak	1	11'	370	370
UA	Ulmus parvifolia 'Ailce'	'Ailce' Elm	4	12'	366	1464
SA	Sassafras albidum	Sassafras	1	8-10'	197	197
KP	Koeleria paniculata	Golden Raintree	1	15'	314	314
IN	Ilex x 'Nellie R. Stevens'	'Nellie Stevens' Holly	2	5-6'	44	88
HA	Hamamelis x intermedia 'Arnold Promise'	'Arnold Promise' Witch Hazel	1	6-7'	113	113
IC	Ilex cornuta 'Carissa'	'Carissa' Holly	16	15'	N/A	N/A
IN	Ilex x 'Nellie R. Stevens'	'Nellie Stevens' Holly	4	5-6'	12'	88
SA	Sassafras albidum	Sassafras	2	8-10'	197	197
UA	Ulmus parvifolia 'Ailce'	'Ailce' Elm	27	12'	366	732
VM	Viburnum x burkwoodii 'Mohawk'	'Mohawk' Viburnum	12	24"	N/A	N/A
SA	Sassafras albidum	Sassafras	1	8-10'	197	197
UA	Ulmus parvifolia 'Ailce'	'Ailce' Elm	2	12'	366	732
VM	Viburnum x burkwoodii 'Mohawk'	'Mohawk' Viburnum	9	24"	N/A	N/A

PROPOSED PLANT SCHEDULE WITH CANOPY CALCULATIONS

SYMBOL	LATIN NAME	COMMON NAME	QTY.	PLANTING HEIGHT	10 YEAR CANOPY	TOTAL CANOPY
S-2 SCREEN			1	11'	370	370
S-2 SCREEN			4	12'	366	1464
S-3 SCREEN			1	6-7'	113	113
S-3 SCREEN			16	15'	N/A	N/A
S-3 SCREEN			4	5-6'	12'	88
S-3 SCREEN			2	8-10'	197	197
S-3 SCREEN			27	12'	366	732
S-3 SCREEN			9	24"	N/A	N/A

LANDSCAPE REQUIREMENTS

Landscaping shall meet the requirements of ARTICLE VIII, Division 2 of the Zoning Ordinance of the City of Charlottesville, Virginia.

No plantings shall be installed at the building foundation where fire department connection is located.

All plantings shall meet the specifications of the American Association of Nurserymen.

Selection of 'Gulf Stream' Nandina along drive off of Grady Avenue is based on adaptability of proposed plant to the difficult cultural conditions presented within that specific landscape area. Evergreen foliage, plant density, and minimum height of plant were additional considerations for selection.

Proposed plantings shall be installed in accordance with the standardized landscape specifications jointly adopted by the Virginia Nurseryman's Association, the Virginia Society of Landscape Designers, and the Virginia Chapter of the American Society of Landscape Architects.

Topographical information provided by Residential Surveying Services, 117 4th Street N.E., Charlottesville, VIRGINIA, 22902.

Contact city arborist after staking limits of disturbance.

Tree protection fencing must be installed and inspected prior to or concurrent with any clearing or grading with the following exception: Tree Protection Zones surrounding the 'Dedora Cedar' shall be erected immediately following the removal of the existing deck. Tree Protection Zones surrounding the Ash and Maple located on adjacent property shall be erected immediately following the removal of existing gravel.

Temporary Fencing shall be erected around Tree Protection Zones as indicated on Plan. Where trees are to be preserved within disturbed areas, fencing will consist of heavy duty chain link rigidly supported and maintained during all construction periods at a minimum height of 6 feet above grade. Signs shall be placed at 30' intervals. See Civil Drawings for Detail.

Tree root systems within Tree Protection Zones shall be protected from damage caused by runoff or spillage of noxious materials, excessive ponding or eroding, and excessive wetting caused by watering operations.

Areas inside Tree Protection Zones shall receive a 4 inch layer of shredded hardwood mulch, maintained 6" away from trunks.

Tree Protection Zones shall remain free of construction materials, debris, weeds and trash.

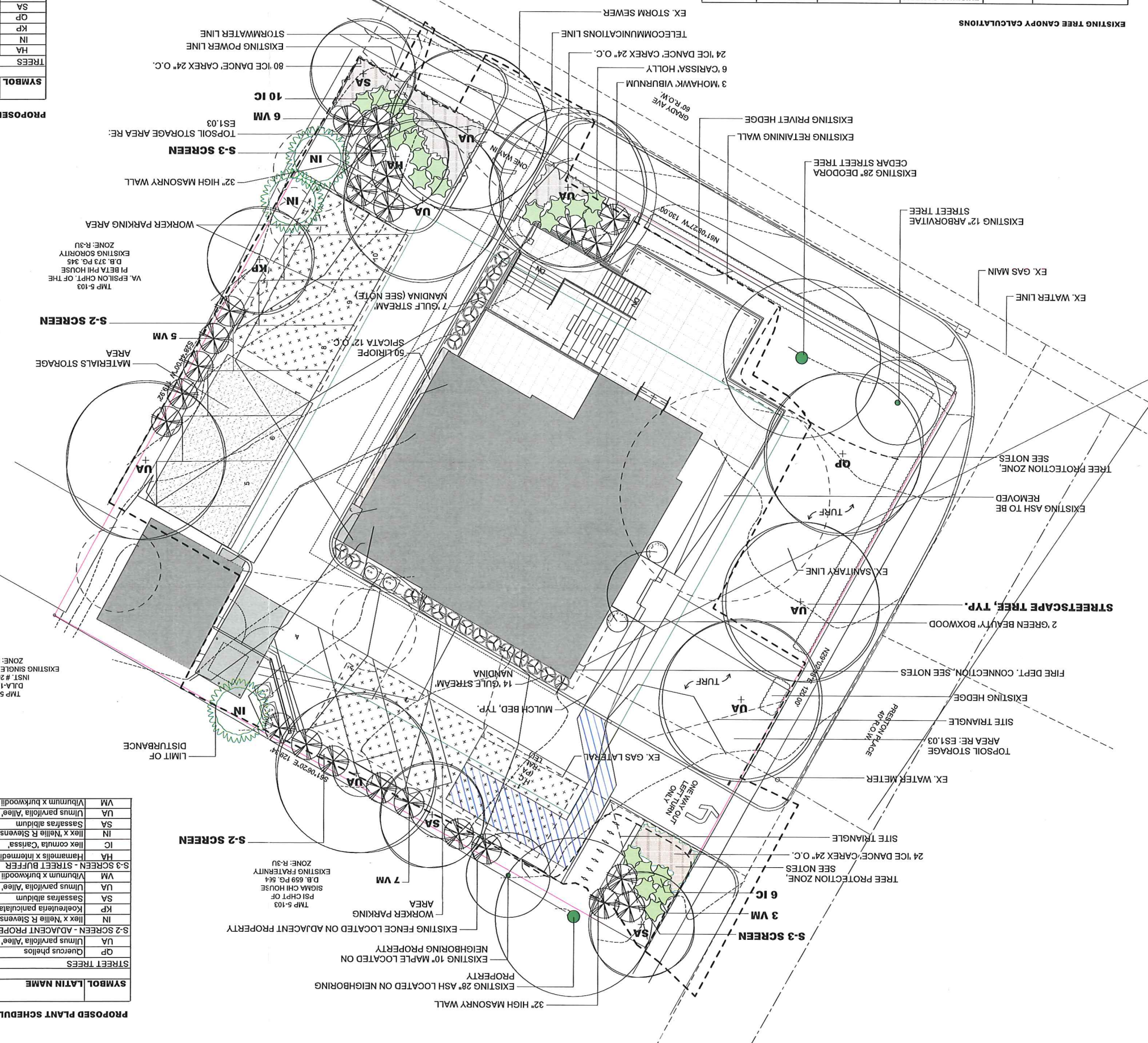
Where excavation of existing gravel is required near 28" caper Ash and 10" Maple trees to be preserved, root pruning shall be done mechanically with a root pruning machine, vibration plow, or narrow trencher with sharp blades. Do not break or pull roots with backhoes or similar equipment. Do not allow exposed roots to dry out before placing permanent backfill. Compaction of root zone shall be relieved and organic matter incorporated through the use of air spade technology within the dripline of the tree that shall be converted into landscaped area.

Appropriate fertilization of existing trees to be preserved shall be determined by tree care specialist and soil test results.

Contractor responsible for compliance with Tree Preservation Plan (Sheet L1.02). Failure to comply with restrictions, conditions, and mitigation measures of the Tree Preservation Plan will result in the issuance of a stop-work order, and may also result in the imposition of fines, penalties, or both.

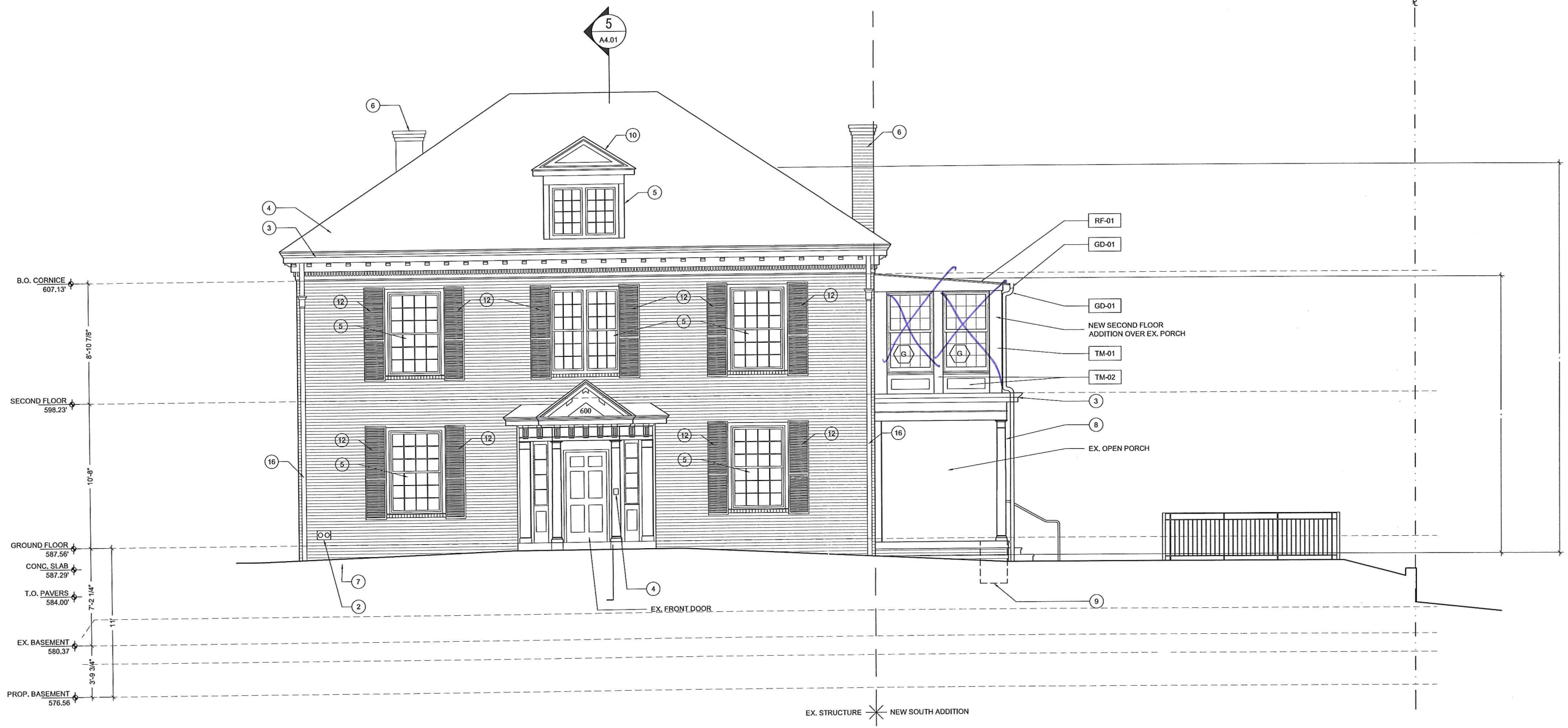
SYMBOL	LATIN NAME	COMMON NAME	QTY.	PLANTING HEIGHT	ROOT
HA	Hamamelis x intermedia 'Arnold Promise'	'Arnold Promise' Witch Hazel	1	6-7'	B&B
IN	Ilex x 'Nellie R. Stevens'	'Nellie Stevens' Holly	3	5-6'	B&B
KP	Koeleria paniculata	Golden Raintree	1	8-10'	B&B
OP	Quercus phellos	Willow Oak	1	11'	B&B
SA	Sassafras albidum	Sassafras	1	8-10'	B&B
UA	Ulmus parvifolia 'Ailce'	'Ailce' Elm	7	12'	B&B
VM	Viburnum x burkwoodii 'Mohawk'	'Mohawk' Viburnum	21	24"	5 GAL
IC	Ilex cornuta 'Carissa'	'Carissa' Holly	22	15"	3 GAL
IC	Ilex cornuta 'Carissa'	'Carissa' Holly	22	15"	3 GAL
B&C	Buxus microphylla 'Green Beauty'	'Green Beauty' Boxwood	2	18"	B&C
PERENNIALS & GROUNDCOVER					
VM	Viburnum x burkwoodii 'Mohawk'	'Mohawk' Viburnum	21	24"	5 GAL
VM	Viburnum x burkwoodii 'Mohawk'	'Mohawk' Viburnum	21	24"	5 GAL
OT	Carex morrowii 'Ice Dance'	'Ice Dance' Carex	128		OT
OT	Liriodie spicata	'Creeping Liriope'	50		OT

PROPOSED PLANT SCHEDULE



COMMON NAME	QUANTITY	EXISTING CANOPY DIAMETER (in feet)	PROJECTED CANOPY DIAMETER	CANOPY AREA EACH	TOTAL CANOPY
10" Arborvitae	1	30	30	707	707
28" Dedora Cedar	1	40	50	1963	1963
TOTAL EXISTING CANOPY AREA:					2,670

EXISTING TREE CANOPY CALCULATIONS



WEST ELEVATION

1/4" = 1'-0"

5
A3.01

- BR-01 BRICK (MATCH EXISTING)
- CS-01 CAST STONE
- GB-01 GLASS BLOCK
- GD-01 GUTTER / DOWNSPOUT, WHITE ALUMINUM
- RF-01 STANDING SEAM, GALVALUME FINISH
- TM-01 TRIM, MIRATEC 5/4 THICKNESS
- TM-02 TRIM, MIRATEC 1/2" SHEET

KEYNOTES

- 1 KNOX BOX
- 2 FIRE DEPARTMENT CONNECTION
- 3 EX. CORNICE; REPAIR RE: A6.01
- 4 EX. SLATE ROOF
- 5 EX. WINDOW TO REMAIN
- 6 EX. MASONRY CHIMNEY
- 7 NEW RAMP RE: SITE PLAN
- 8 EX. COLUMN TO BE REMOVED DURING CONSTRUCTION, STORED ON SITE, AND REINSTALLED
- 9 NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.
- 10 EX. DORMER
- 11 NEW GUARDRAIL RE: A1.11
- 12 EX. SHUTTER
- 13 EXT. LIGHT FIXTURE
- 14 SCHEDULED DOOR

- 15 EX. FAN TO BE REMOVED
- 16 EX. DOWNSPOUT
- 17 RELOCATE EX. DOWNSPOUT / COLLECTOR BOX
- 18 NEW EXT. LIGHT RE: RCP
- 19 NEW CONCRETE RETAINING WALL
- 20 LOUVER / VENT RE: A0.25

SHEET NOTES:

1. REFER TO A__ FOR DOOR SCHEDULE
2. REFER TO A__ FOR WINDOW SCHEDULE

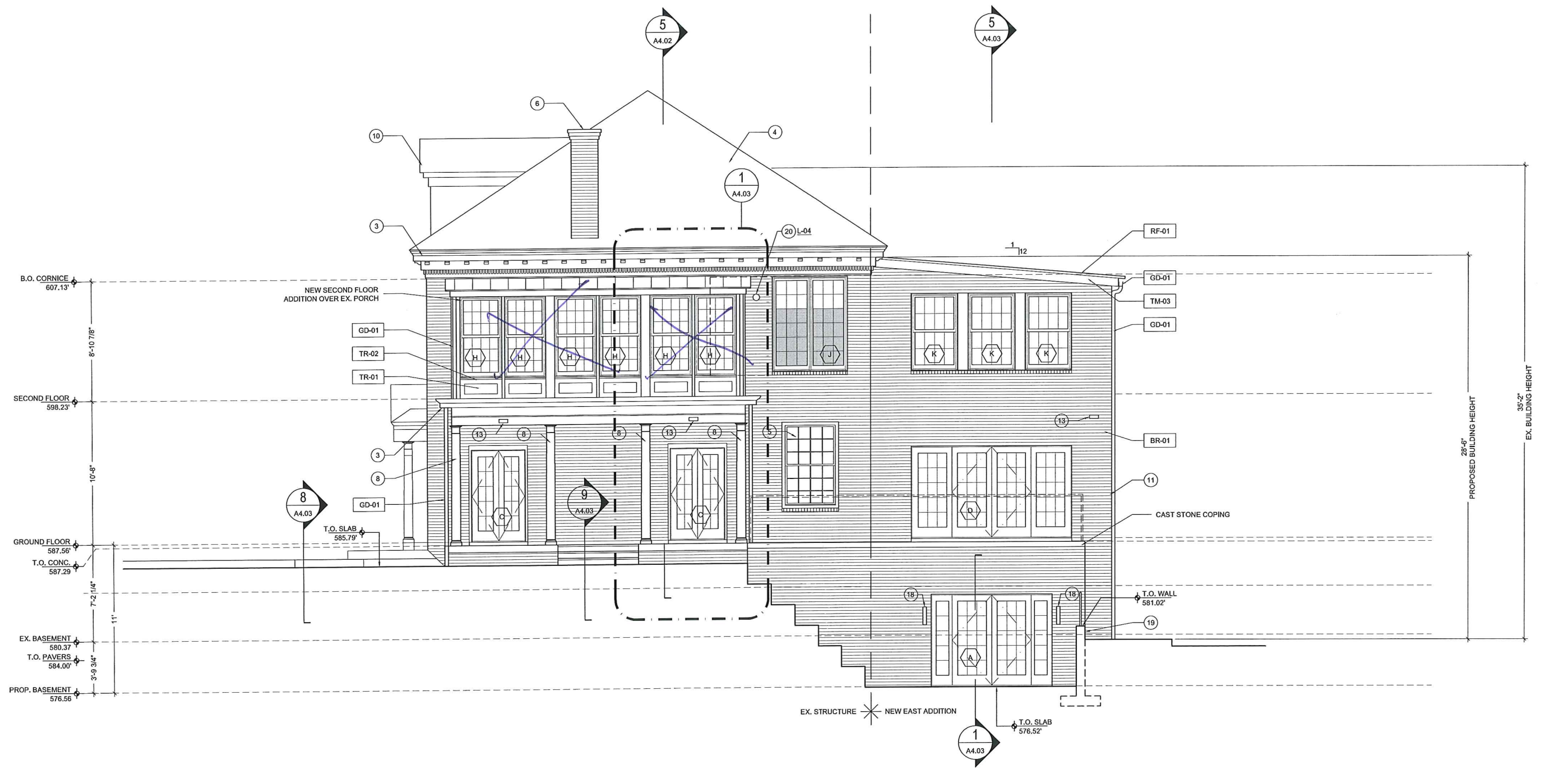
LEGEND

SHADOW BOX

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

west elevation
1/8" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

5
A3.02

- BR-01 BRICK (MATCH EXISTING)
- CS-01 CAST STONE
- GB-01 GLASS BLOCK
- GD-01 GUTTER / DOWNSPOUT, WHITE ALUMINUM
- RF-01 STANDING SEAM, GALAVUME FINISH
- TM-01 TRIM, MIRATEC 5/4 THICKNESS
- TM-02 TRIM, MIRATEC 1/2" SHEET

KEYNOTES

- 1 KNOX BOX
- 2 FIRE DEPARTMENT CONNECTION
- 3 EX. CORNICE; REPAIR RE: A6.01
- 4 EX. SLATE ROOF
- 5 EX. WINDOW TO REMAIN
- 6 EX. MASONRY CHIMNEY
- 7 NEW RAMP RE: SITE PLAN
- 8 EX. COLUMN TO BE REMOVED DURING CONSTRUCTION, STORED ON SITE, AND REINSTALLED
- 9 NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.
- 10 EX. DORMER
- 11 NEW GUARDRAIL RE: A1.11
- 12 EX. SHUTTER
- 13 EXT. LIGHT FIXTURE
- 14 SCHEDULED DOOR

NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

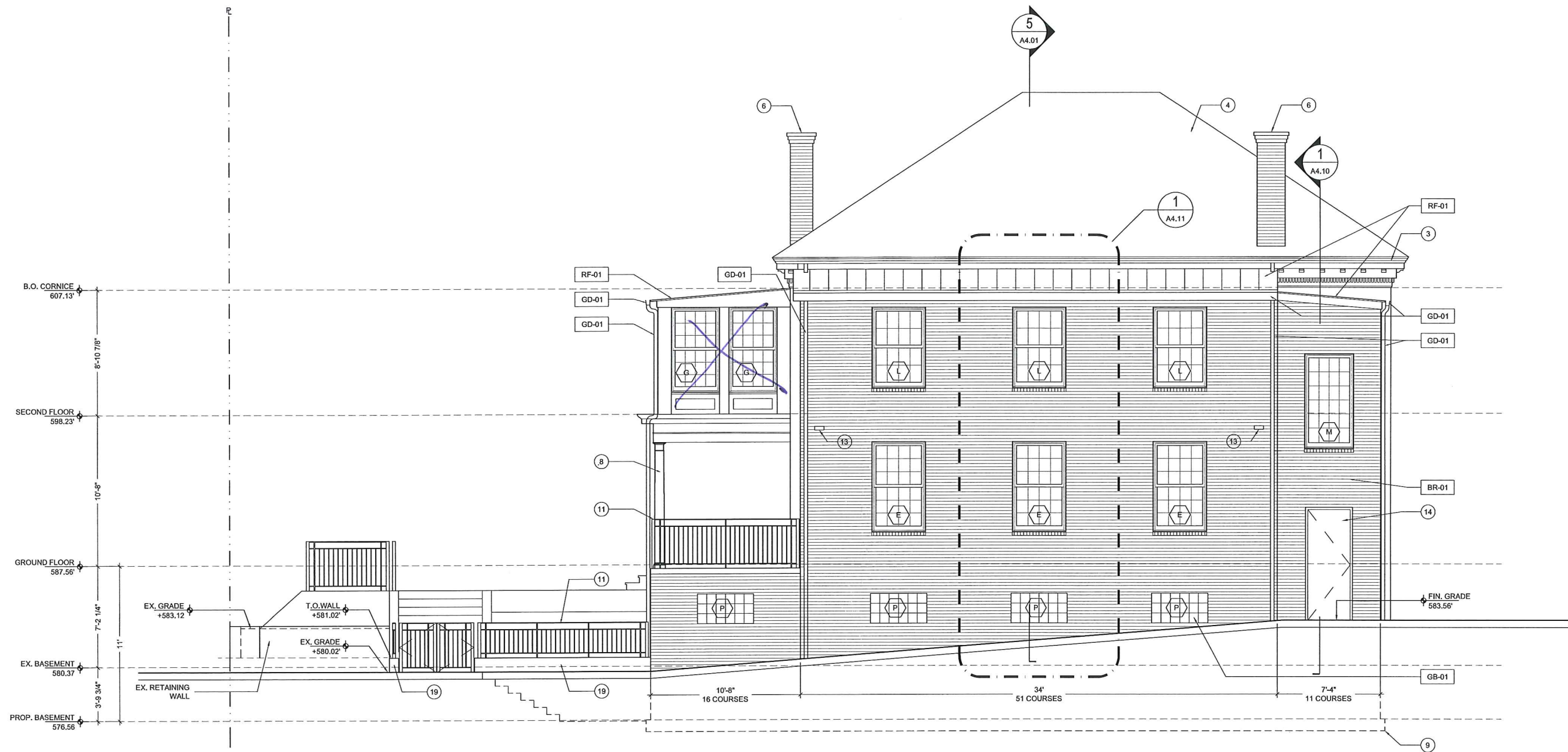
SHEET NOTES:

- 1. REFER TO A__ FOR DOOR SCHEDULE
- 2. REFER TO A__ FOR WINDOW SCHEDULE

LEGEND

- SHADOW BOX

south elevation
1/8" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

5
A3.03

- BR-01 BRICK (MATCH EXISTING)
- CS-01 CAST STONE
- GB-01 GLASS BLOCK
- GD-01 GUTTER / DOWNSPOUT, WHITE ALUMINUM
- RF-01 STANDING SEAM, GALVALUME FINISH
- TM-01 TRIM, MIRATEC 5/4 THICKNESS
- TM-02 TRIM, MIRATEC 1/2 SHEET

- KEYNOTES**
- ① KNOX BOX
 - ② FIRE DEPARTMENT CONNECTION
 - ③ EX. CORNICE; REPAIR RE: A6.01
 - ④ EX. SLATE ROOF
 - ⑤ EX. WINDOW TO REMAIN
 - ⑥ EX. MASONRY CHIMNEY
 - ⑦ NEW RAMP RE: SITE PLAN
 - ⑧ EX. COLUMN TO BE REMOVED DURING CONSTRUCTION, STORED ON SITE, AND REINSTALLED
 - ⑨ NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.
 - ⑩ EX. DORMER
 - ⑪ NEW GUARDRAIL RE: A1.11
 - ⑫ EX. SHUTTER
 - ⑬ EXT. LIGHT FIXTURE
 - ⑭ SCHEDULED DOOR
 - ⑮ EX. FAN TO BE REMOVED
 - ⑯ EX. DOWNSPOUT
 - ⑰ RELOCATE EX. DOWNSPOUT / COLLECTOR BOX
 - ⑱ NEW EXT. LIGHT RE: RCP
 - ⑳ LOUVER / VENT RE: A0.25

- SHEET NOTES:**
1. REFER TO A_ FOR DOOR SCHEDULE
 2. REFER TO A_ FOR WINDOW SCHEDULE

- LEGEND**
- SHADOW BOX

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

east elevation
1/8" = 1'-0"

Project Location: Xi Chapter House of Theta Chi Fraternity
600 Preston Place, Charlottesville VA 22903
T.M.P 5-109, Lot 19 & Part of Lot 20

Owner / Applicant: Xi Chapter of the Alumni Association of Theta Chi, Inc.
Patrick Harrison, Treasurer
224 14th St NW, Apt 408, Charlottesville VA 22903
(434) 806-7280
pwh5r@virginia.edu

Agent / Architect: Will Teass, AIA LEED AP
Tektonics Design Group
515 M St SE, Suite 116, Washington DC 20003
(202) 683-6260
(866) 203-8882 fax
will@tektonics.com

Current Status / Updates

At the 17 January 2012 Board of Architectural Review hearing, the project received approval. As the project is progressing through both site plan review and the preparation of building permit documentation, as well as cost estimates, revisions to several design items may require board review.

Site Modifications / Parking Screen Walls

Pursuant to site plan comments, the configuration of the accessible route was modified and the masonry screen wall is closer to Preston Place. Additionally, the Owner would like to use split-face CMU in lieu of brick on the parking screen walls. Also the trash enclosure was enlarged to accommodate up to 2 of the mechanical units behind the wall.

Stormwater Management / Substitution

Previous submissions included two areas of permeable pavers at each of the north and east parking areas, as well as paver areas at the driveway entrances. In order to reduce project cost, we are proposing to use large underground storage structures and use asphalt in lieu of the porous concrete.

Patio Configuration & Details

The original proposal included a single patio entrance at west patio entrance; the Owner has requested that the design team add a second pedestrian entrance on the east side, facilitating access to the east parking area. Additionally, the partial height masonry wall and metal guardrail has been removed to reduce site costs. The existing concrete porch slab will be removed and replaced.

Doors and Windows

Marvin aluminum clad in a standard white finish to match the doors / windows in both additions were approved for use in the original application. The Owner wishes to substitute a Pella Proline for the windows, using a simulated divided light with spacer bar. Replacement French doors and new French doors will be a painted wood doors with true divided lights.

Trim Material

Miratec was previously approved for use as a trim material in both the south and east additions. The Owner wishes to substitute the trim material with HardieTrim, a cementitious trim product.



historic photo (undated)



preston place elevation (west)



detail at existing cornice



corner of preston place / grady avenue

existing conditions / site photographs



north elevation detail



south corner (from grady avenue)

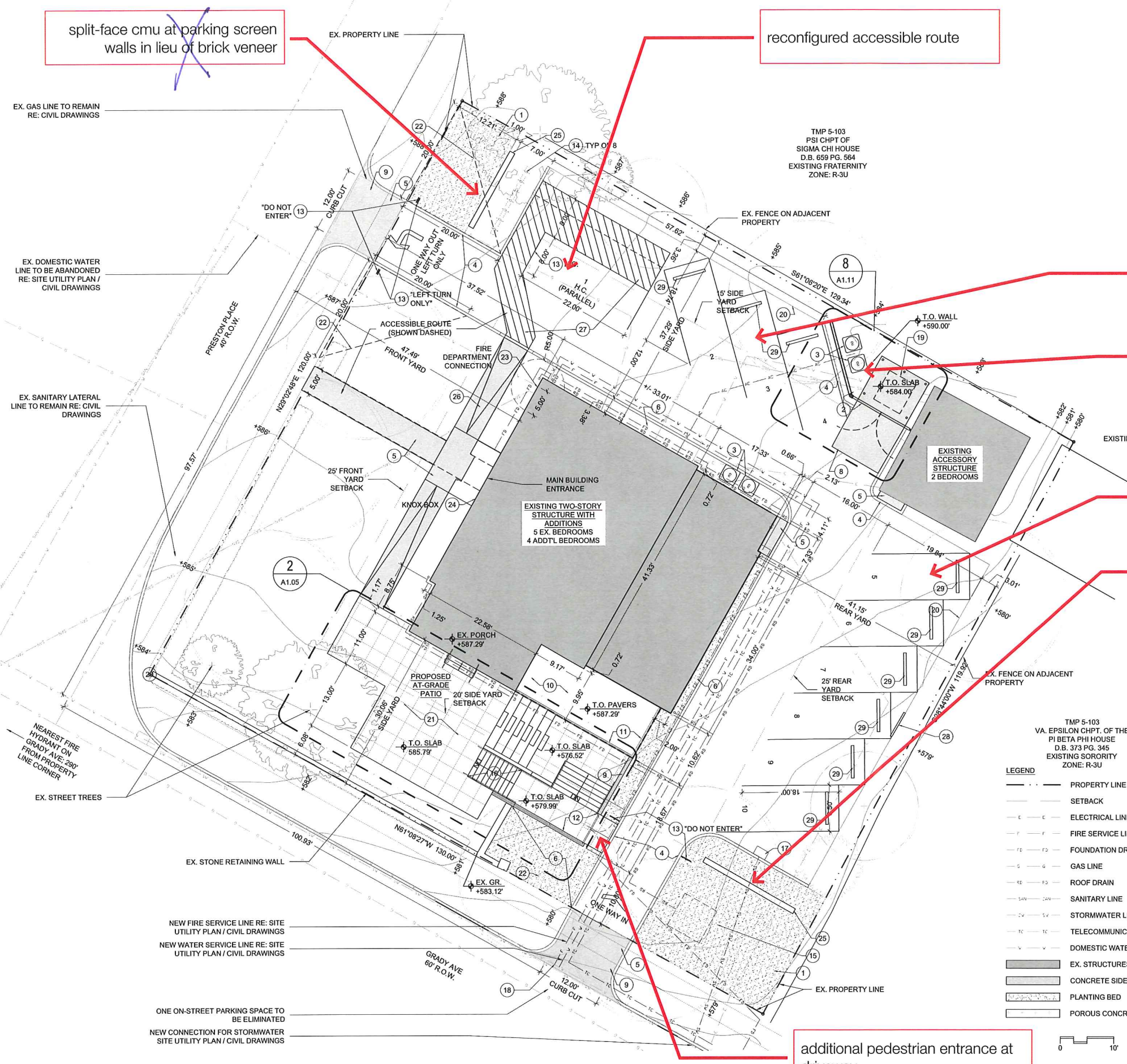


existing retaining wall / deck (from parking area)



northeast corner (from parking area)

existing conditions / site photographs



split-face cmu at parking screen walls in lieu of brick veneer

reconfigured accessible route

remove permeable pavers / porous concrete at parking areas

enlarged trash enclosure to screen mechanical units

remove permeable pavers / porous concrete at parking areas

split-face cmu at parking screen walls in lieu of brick veneer

additional pedestrian entrance at driveway

- GENERAL NOTES:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING SITE UTILITIES.
 2. REFER TO CIVIL DRAWINGS FOR GRADING AND STORMWATER INFORMATION.
 3. REFER TO CIVIL DRAWINGS FOR EROSION AND SEDIMENT CONTROL INFORMATION.
 4. REFER TO LANDSCAPE DRAWINGS FOR TREE PROTECTION EXTENTS, AS WELL AS PLANTING SCHEDULE.
 5. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.
 6. A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.

EX. GAS LINE TO REMAIN RE: CIVIL DRAWINGS

EX. DOMESTIC WATER LINE TO BE ABANDONED RE: SITE UTILITY PLAN / CIVIL DRAWINGS

EX. SANITARY LATERAL LINE TO REMAIN RE: CIVIL DRAWINGS

NEAREST FIRE HYDRANT ON GRADY AVE, 200' FROM PROPERTY LINE CORNER

EX. STREET TREES

EX. STONE RETAINING WALL

NEW FIRE SERVICE LINE RE: SITE UTILITY PLAN / CIVIL DRAWINGS
NEW WATER SERVICE LINE RE: SITE UTILITY PLAN / CIVIL DRAWINGS

ONE ON-STREET PARKING SPACE TO BE ELIMINATED
NEW CONNECTION FOR STORMWATER SITE UTILITY PLAN / CIVIL DRAWINGS

TMP 5-103
PSI CHPT OF SIGMA CHI HOUSE
D.B. 659 PG. 564
EXISTING FRATERNITY
ZONE: R-3U

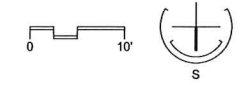
EX. FENCE ON ADJACENT PROPERTY

TMP 5-103
DJLA-1, LLC
INST. # 2009515
EXISTING SINGLE FAMILY HOUSE
ZONE: R-3U

TMP 5-103
VA. EPSILON CHPT. OF THE PI BETA PHI HOUSE
D.B. 373 PG. 345
EXISTING SORORITY
ZONE: R-3U

LEGEND

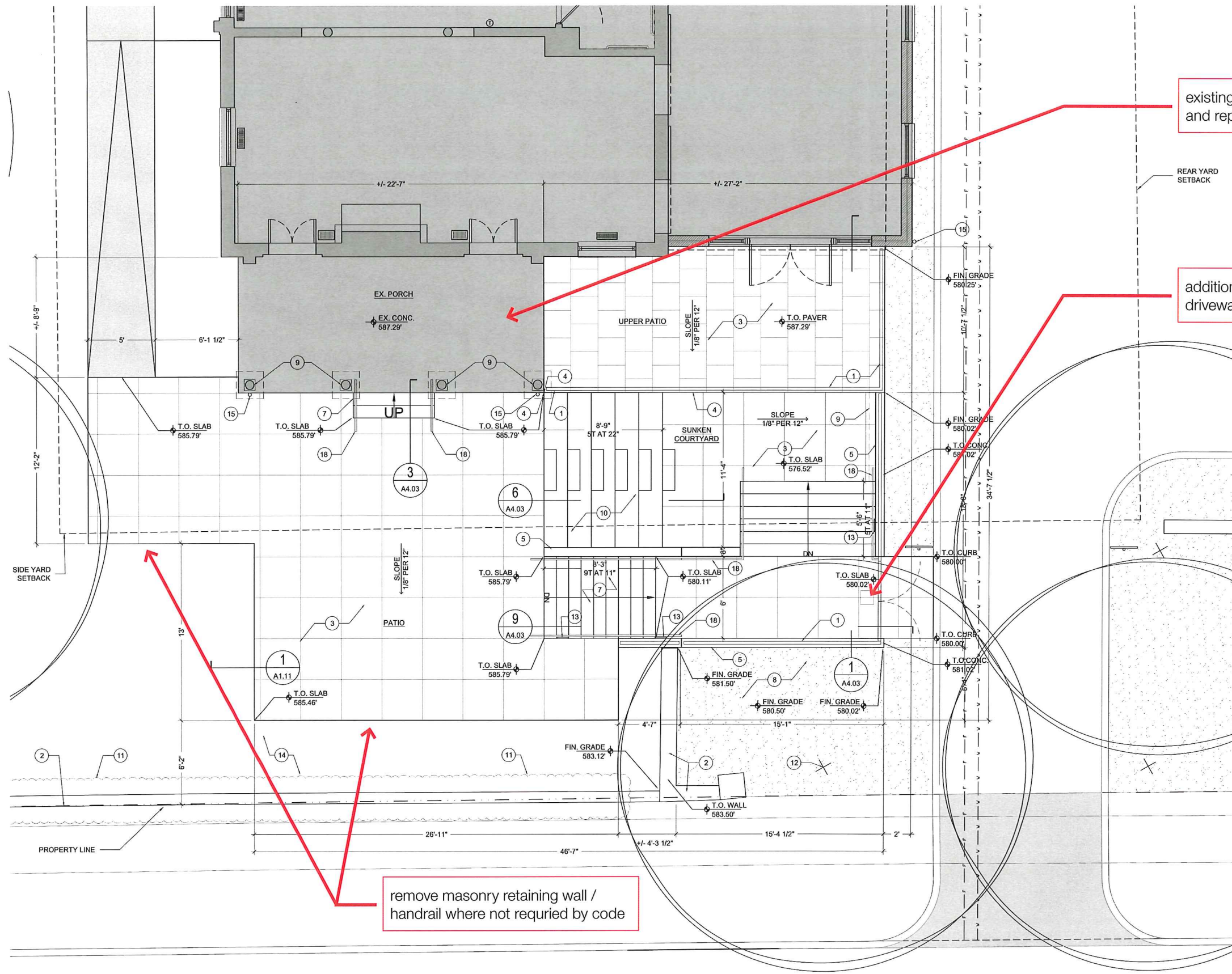
- — — — — PROPERTY LINE
- — — — — SETBACK
- — — — — ELECTRICAL LINE
- — — — — FIRE SERVICE LINE
- — — — — FOUNDATION DRAIN
- — — — — GAS LINE
- — — — — ROOF DRAIN
- — — — — SANITARY LINE
- — — — — STORMWATER LINE
- — — — — TELECOMMUNICATIONS LINE
- — — — — DOMESTIC WATER LINE
- EX. STRUCTURES
- CONCRETE SIDEWALK
- PLANTING BED
- POROUS CONCRETE



- | | |
|---|---|
| 1 STREET BUFFER SCREENING RE: LANDSCAPE PLAN | 16 NEW CONC. STEPS TO BASEMENT RE: 6/A1.11 |
| 2 NEW WOOD FENCE / GATE RE: 8/A1.11 | 17 NEW CATCH BASIN RE: CIVIL DWGS |
| 3 NEW EQUIPMENT RE: MECH. DWGS | 18 NEW FIRE SERVICE CONNECTION RE: CIVIL DRAWINGS |
| 4 NEW CONC. CURB RE: CIVIL DRAWINGS | 19 EX. DUMPSTER, 5' HIGH |
| 5 NEW CONC. SIDEWALK RE: CIVIL DRAWINGS | 20 EDGE OF ASPHALT |
| 6 NEW PLANTING BED RE: LANDSCAPE PLAN | 21 CONCRETE SLAB |
| 7 NOT USED | 22 SIGHT TRIANGLES |
| 8 NEW CONCRETE SLAB RE: CIVIL DRAWINGS | 23 FIRE DEPARTMENT CONNECTION RE: 2/A1.12 |
| 9 NEW DRIVEWAY ENTRANCE (RE-2), RE: CIVIL DWGS | 24 FIRE DEPARTMENT KNOX BOX LOCATION RE: 6/A1.12 |
| 10 NEW PAVERS RE: 2/A1.11 | 25 MASONRY WALL, 32" HIGH RE: 9/A1.12 |
| 11 NEW GUARDRAIL RE: 3/A1.11 | 26 RAMP TO PROVIDE ACCESSIBLE ROUTE TO MAIN BUILDING ENTRANCE RE: 3/A1.12 |
| 12 NEW RETAINING WALL | 27 STRIPING TO MARK ACCESSIBLE ROUTE |
| 13 NEW STREET SIGN RE: 5/A1.12 | 28 REINSTALL EX. BASKETBALL HOOP |
| 14 NEW BICYCLE PARKING RE: 1/A1.12 | 29 WHEEL STOP |
| 15 STORM WATER RETENTION STRUCTURE RE: CIVIL DWGS | |

PROPOSED SITE PLAN
1" = 10'-0"

KEYNOTES



existing porch slab to be removed and replaced with new slab

additional pedestrian entrance at driveway

remove masonry retaining wall / handrail where not required by code

KEYNOTES

- 1 NEW METAL GUARDRAIL RE: SITE DETAILS
- 2 EXISTING RETAINING WALL
- 3 4" CONC. SLAB ON GRADE
- 4 NOT USED
- 5 POURED IN PLACE CONCRETE RETAINING WALL
- 6 DRAIN RE: CIVIL DRAWINGS
- 7 NEW CONCRETE STAIR WITH PRECAST TREADS
- 8 NEW PLANTING BED RE: LANDSCAPE DWGS.
- 9 TRENCH DRAIN RE: CIVIL DWGS.
- 10 NEW CAST IN PLACE CONCRETE BENCHES
- 11 EX. PRIVACY HEDGE
- 12 NEW TREE RE: LANDSCAPE DWGS.
- 13 STEP LIGHT RE: SITE LIGHTING PLAN
- 14 LANDSCAPED BUFFER AREA
- 15 DOWNSPOUT
- 16 NOT USED
- 17 NOT USED
- 18 HANDRAIL RE: 11/A1.11

KEY NOTES

SHEET NOTES:

- 1. REFER TO ARCHITECTURAL SITE PLAN FOR ITEMS AND DIMENSIONS NOT NOTED.

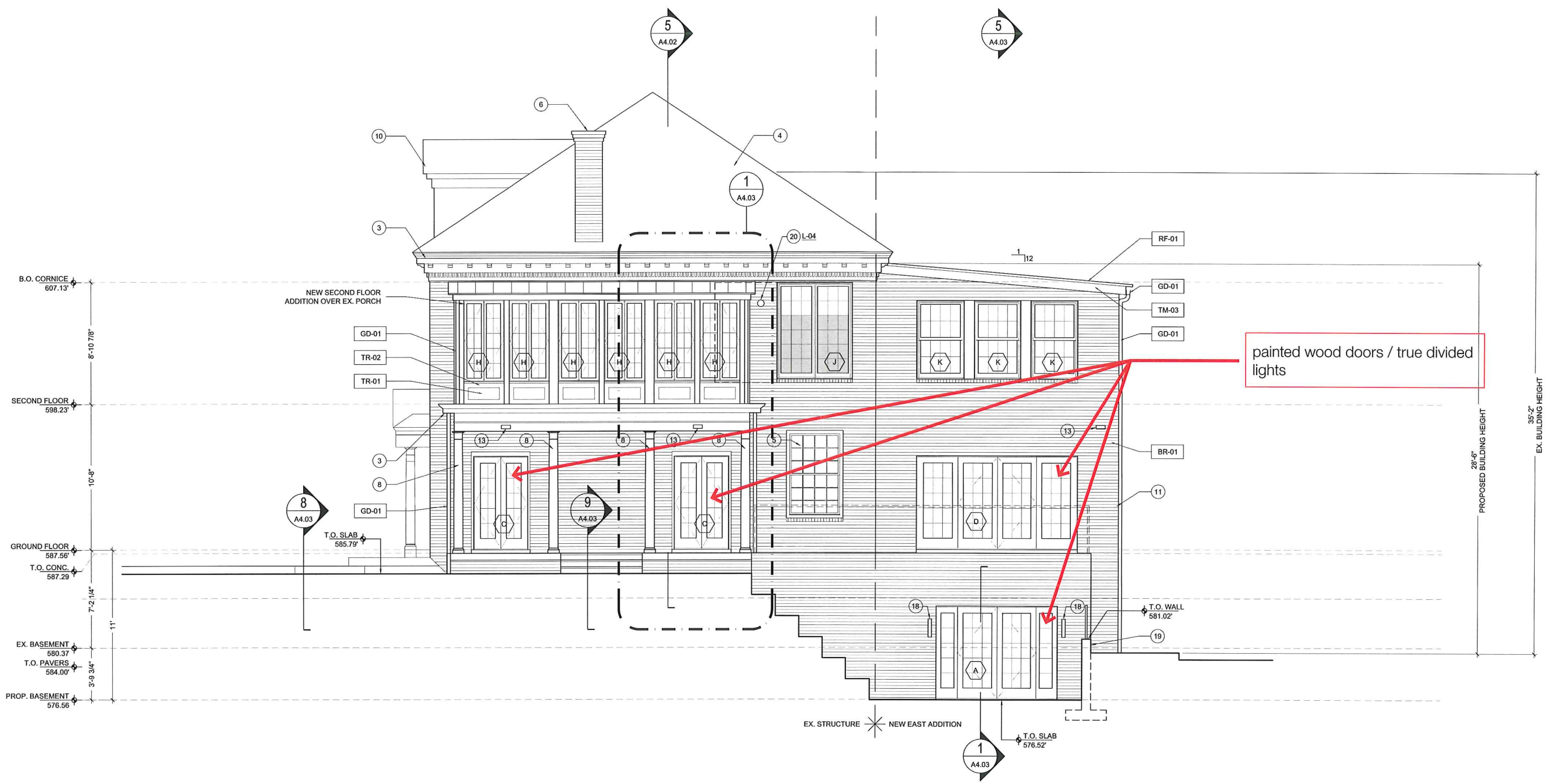
LAYOUT PLAN
1/4" = 1'-0"



2
A1.05

SHEET NOTES / LEGEND

1
A1.05



SOUTH ELEVATION
1/4" = 1'-0"

BR-01	BRICK (MATCH EXISTING)
CS-01	CAST STONE
GB-01	GLASS BLOCK
GD-01	GUTTER / DOWNSPOUT, WHITE ALUMINUM
RF-01	STANDING SEAM, GALAVUME FINISH
TM-01	TRIM, MIRATEC 5/4 THICKNESS
TM-02	TRIM, MIRATEC 1/2" SHEET

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

MATERIAL SCHEDULE

KEYNOTES

- 1 KNOX BOX
- 2 FIRE DEPARTMENT CONNECTION
- 3 EX. CORNICE; REPAIR RE: A6.01
- 4 EX. SLATE ROOF
- 5 EX. WINDOW TO REMAIN
- 6 EX. MASONRY CHIMNEY
- 7 NEW RAMP RE: SITE PLAN
- 8 EX. COLUMN TO BE REMOVED DURING CONSTRUCTION, STORED ON SITE, AND REINSTALLED
- 9 NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.
- 10 EX. DORMER
- 11 NEW GUARDRAIL RE: A1.11
- 12 EX. SHUTTER
- 13 EXT. LIGHT FIXTURE
- 14 SCHEDULED DOOR
- 15 EX. FAN TO BE REMOVED
- 16 EX. DOWNSPOUT
- 17 RELOCATE EX. DOWNSPOUT / COLLECTOR BOX
- 18 NEW EXT. LIGHT RE: RCP
- 19 NEW CONCRETE RETAINING WALL
- 20 LOUVER / VENT RE: A0.25

NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

KEY NOTES

SHEET NOTES:

- 1. REFER TO A__ FOR DOOR SCHEDULE
- 2. REFER TO A__ FOR WINDOW SCHEDULE

LEGEND



SHEET NOTES

4
A3.02

2
A3.02

1
A3.02