

Preliminary Site Plan / Special Use Permit Application Narrative

600 Preston Place / Xi Chapter House of Theta Chi Fraternity

DRAFT: 18 August 2011

RECEIVED
AUG 22 2011
NEIGHBORHOOD DEVELOPMENT SERVICES

Project Location: Xi Chapter House of Theta Chi Fraternity
600 Preston Place, Charlottesville VA 22903
T.M.P 5-109, Lot 19 & Part of Lot 20

Owner / Applicant: Xi Chapter of the Alumni Association of Theta Chi, Inc.
Patrick Harrison, Treasurer
224 14th St NW, Apt 408, Charlottesville VA 22903
(434) 806-7280
pwh5r@virginia.edu

Agent / Architect: Will Teass, AIA LEED AP
Tektonics Design Group
515 M St SE, Suite 116, Washington DC 20003
(202) 683-6260
(866) 203-8882 fax
will@tektonics.com

Existing Conditions

The current property, located at 600 Preston Place, is the home for the Xi Chapter of the Theta Chi Fraternity. The property is approximately 120' x 130', and is 15,555 sf or 0.38 acres. The main building, a two-story masonry structure, contains five (5) bedrooms. There is also an accessory one-story structure, containing an additional two (2) bedrooms. The property is zoned R-3U. The main building is considered a contributing structure within the Rugby Road – University Circle – Venable Neighborhood Historic District.

Intended Use

The property is currently being used as a Fraternity. As per section 34-350, the Fraternity use is allowed with a special permit in the R-3U zoning district. The Owner seeks to continue the existing Fraternity use and to enlarge the main building. The addition will contain an additional five (5) bedrooms, bringing the total number of bedrooms on the property to twelve (12).

Background / History

The Xi Chapter of Theta Chi was formed at the University of Virginia in 1914. Prior to moving to the Rugby Road vicinity, the chapter was located on Carr's Hill. In 1968, the chapter purchased the property at 600 Preston Place, which at the time consisted of an existing single-family house and accessory garage. The chapter has been in continuous existence since then.

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At an unknown date, the accessory garage was converted to additional living space, increasing the number of on-site bedrooms from five (5) to seven (7). In the mid-1980's, a one-level addition was added to the ground floor to the east by Architect and Brother William Daggett, now of Daggett + Grigg Architects PC. The addition provided additional dining, meeting and gathering space, but did not increase the number of bedrooms.

Expansion Plans

The deteriorating nature of both the main structure and accessory building has necessitated action on a comprehensive renovation. Although the Owner holds the property without a mortgage, the costs of maintaining the historic structure, as well as utility bills, are supported solely by rental income. Market conditions and the number of bedrooms limit the income, whereas maintenance and energy costs have increased as the building ages. Therefore, it is goal of the renovation to increase the number of bedrooms, and thus income, to defray the cost of maintenance and provide a more financially sustainable and energy efficient chapter house.

The renovation and expansion has four components:

1. A comprehensive renovation of the existing structure, including new life-safety (sprinklers, smoke detection, etc.), mechanical, electrical and plumbing systems, as well as an improved exterior envelope. In addition to preserving the structure for the futures, the work will also increase occupant safety and energy efficiency.
2. Site improvements, including new landscaping, new decking, and the introduction of a new one-way drive configuration to increase both vehicular and pedestrian safety.
3. Removal of the existing one-story east addition (not original) and replace with a new three-level addition with a basement level entertainment room, ground level mixed-use room (chapter meetings / dining) and second level bedrooms.
4. Addition of second floor bedroom space above the existing south porch.

Lot Coverage

The existing lot coverage, including structures, decks and paved surfaces is 63%. The proposed site plan lot coverage is 46.5%, exclusive of permeable pavers. If the permeable pavers are counted against lot coverage, the lot occupancy, the coverage is 63.5%

Site Circulation / Parking

Currently there is a single curb cut on Preston Place that is approximately 28' wide, and serves as a two-way driveway without any formal / designated parking spaces. The proposed site plan seeks to reduce the existing Preston Place curb cut to 12', and add a second 12' wide curb cut onto Grady Avenue.

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Vehicles will enter from Preston Place and exit onto Grady Avenue. The new one-way drive will enable a reduction of traffic on Preston Place, by eliminating all exiting. Furthermore, this new drive will also enable the development of more green space on the north and east sides of the main structure. Additionally, this new drive configuration will enable the Owner to meet the required number of parking spaces.

Current parking requirements, as set forth in section 34-984 at a ratio of 2.5 spaces / 3 bedrooms, require 6 spaces for the 7 bedrooms. Additional bedrooms trigger the need for increased on-site parking. Therefore, a total of ten (10) spaces are required for the twelve (12) bedrooms.

The proposed parking configuration is divided into two areas. Four full size spaces at 45°, including an accessible space, are served by 12' drive aisle. The remaining eight compact spaces are perpendicular to a 20' wide drive aisle.

In order to reduce the demand for on-street parking, the Owner is proposing to increase the number of number of compact spaces above the maximum allowed. In parking lots of 10 or more spaces, a total of 30% of those spaces may be marked compact (8' x 16'). In order to provide additional on-site parking, we are requesting that the amount of compact spaces be increased to eight (67%), for a total of twelve (12) spaces. An alternate configuration of 60° angled parking combined with the minimum drive aisle can achieve a parking layout for 10 vehicles.

A dedicated bicycle parking area will be added adjacent to the Preston Place, and contain a total of 5 racks, allowing 10 bicycles to be secured. The bicycle parking area will utilize permeable pavers.

Landscaping / Screening

Four existing trees will be removed. Three are young (less than 3" caliper) Bradford Pears in the front yard (facing Preston Place). An existing 10" caliper tree of unknown species will also be removed. A new deciduous tree, probably oak, will replace supplement the trees along Preston Place. Two additional deciduous trees will be added to the newly created yard area facing Grady Avenue. Additional trees will be added to the north and east property lines. Several planting beds with evergreen shrubbery will be added around the structure.

Parking will be screened from both Preston Place and Grady Avenue. Pervious coverage will be increased, as the parking area will utilize a permeable paving.

Utilities

Existing water, sanitary sewer and gas lines extend to Preston Place. Electrical service is presumed to be underground, as overhead aerial cables are for telephone and cable television. An additional fire service

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line will be added, most likely from Preston Place. An additional sanitary sewer line would be added to service new toilet rooms / floor drains at the basement level, the sewer line would connect to an existing sanitary sewer line in Grady Avenue.

Exterior condensing units / compressors will be located adjacent to the accessory structure, and screened behind a wood fence.

Stormwater Management

As the site is less than one (1) acre, storm water management plan is not required. The Owner intends to utilize a permeable paving system in the parking areas to encourage on-site retention of storm-water. Downspouts from both structures will be collected into a common drywell, located below the parking area.

Schedule

In order to maintain continual operation, construction is targeted for the summer of 2012, with a start date of mid-May and completion by October.

Application to the Board of Architectural Review is concurrent with this submission, with the goal of making a preliminary presentation at the 20 September 2011 hearing, and a final hearing at either the 18 October 2011 or the 15 November 2011 dates. The owner intends to submit for building permit in early 2012.

From: Scala, Mary Joy
Sent: Thursday, September 29, 2011 1:53 PM
To: Will Teass (will@TEKTONICS.COM); Grady Lewis (aglewis3rd@hotmail.com)
Subject: BAR Action - 600 Preston Place

Tektonics Design group, c/o Will Teass
515 M Street SE, Suite 116
Washington, DC 20003

RE: Special Use Permit Recommendation and Preliminary Discussion
BAR 11-09-08
600 Preston Place
Tax Map 5 Parcel 109
Will Teass, AIA, Applicant/ Xi Chapter of Theta Chi Alumni Corp, Owner
Enlarge fraternity with three-level addition for five additional bedrooms

Dear Applicant,

The above referenced project was discussed before a meeting of the City of Charlottesville Board of Architectural review (BAR) on September 20,2011.

The following action was taken:

The BAR recommended (4-0-1 with DeLoach recused) that the proposed Special Use Permit will not have an adverse effect on the ADC district and the BAR recommended that City Council approve the Special Use Permit.

The BAR had a discussion about the preliminary design, available on archived video starting at 4:17:00:
http://charlottesville.granicus.com/ViewPublisher.php?view_id=2

After the Special Use Permit is approved you may submit an application for a Certificate of Appropriateness from the BAR.

If you have any questions, please contact me at 434-970-3130 or scala@charlottesville.org.

Sincerely yours,

Mary Joy Scala, AICP
Preservation and Design Planner

Mary Joy Scala, AICP
Preservation and Design Planner
City of Charlottesville
Department of Neighborhood Development Services
City Hall - 610 East Market Street
P.O. Box 911
Charlottesville, VA 22902
Ph 434.970.3130 FAX 434.970.3359
scala@charlottesville.org

Scala, Mary Joy

From: Will Teass <will@TEKTONICS.COM>
Sent: Friday, September 16, 2011 3:35 PM
To: Walden, Ebony; Scala, Mary Joy
Cc: Branche, Donovan; Grady Lewis; jamesc_johnston@comcast.net
Subject: 600 Preston Place: Revised concept site plan
Attachments: 2011-09-16 - Theta Chi Xi Chapter - Alternate Site Plan.pdf

Attached is our revised concept site plan. The most significant change is that we are proposing to reverse vehicular site access, which came out of a discussion we had with some of the neighbors. The current traffic pattern is for all vehicles to use Preston Place and travel all the way around the loop to access the site. The new circulation plan will significantly reduce the amount of traffic on Preston Place. Vehicles will now enter the site via a new curb cut on Grady Ave and exit onto Preston Place. As Preston Place is currently a one-way street, only a left turn is possible.

Also, we are providing 10 full-size spaces on site, thus eliminating the need for requesting relief from the compact space requirement.

Thank in advance for your help with this project and have a good weekend!

From: Walden, Ebony [mailto:WALDEN@charlottesville.org]
Sent: Thursday, September 15, 2011 12:10 PM
To: Will Teass; Scala, Mary Joy
Cc: Branche, Donovan; Grady Lewis; jamesc_johnston@comcast.net
Subject: RE: 600 Preston Place Compact Parking Issue

Sounds good.

Please revise your SUP narrative so that the compact space request is not included. If you have the revised layout by tomorrow, it would also be nice if that is what is presented at the BAR meeting, so make sure Mary Joy gets a copy to forward to them.

Thanks

Ebony

Ebony Walden, AICP
Neighborhood Planner
Neighborhood Development Services
610 East Market Street
Charlottesville, VA 22902
walden@charlottesville.org
(434) 970- 3636

From: Will Teass [mailto:will@TEKTONICS.COM]
Sent: Thursday, September 15, 2011 12:05 PM
To: Walden, Ebony; Scala, Mary Joy
Cc: Branche, Donovan; Grady Lewis; jamesc_johnston@comcast.net
Subject: RE: 600 Preston Place Compact Parking Issue

Our revised site plan will not include a request for 60% compact parking. We will adhere to the 30% maximum, and are able to achieve the required number of spaces with drive aisles that comply with zoning.

I can forward a PDF of our revised site plan by the close of business tomorrow that illustrates the revised layout (addressing the Traffic / ADA issues), if that would help.

We would still like to push for a Planning Commission hearing in October, as it has a significant bearing on the project feasibility and fund-raising. We will forward a response to the Site Plan letter, dated 8 September 2011, in which we address most of the Site Plan, Utilities, Traffic and ADA issues.

From: Walden, Ebony [mailto:WALDEN@charlottesville.org]

Sent: Thursday, September 15, 2011 11:51 AM

To: Will Teass; Scala, Mary Joy

Cc: Branche, Donovan

Subject: 600 Preston Place Compact Parking Issue

Will,

I was talking to my staff about your application. Since it is actually part of your SUP request now, I would like to have your compact parking space issue resolved before you go to public hearing in October and if not, we will recommend denial of that particular special parking consideration. making whatever revisions and having Donovan take a look at them to make sure she approves **before** next Wednesday.

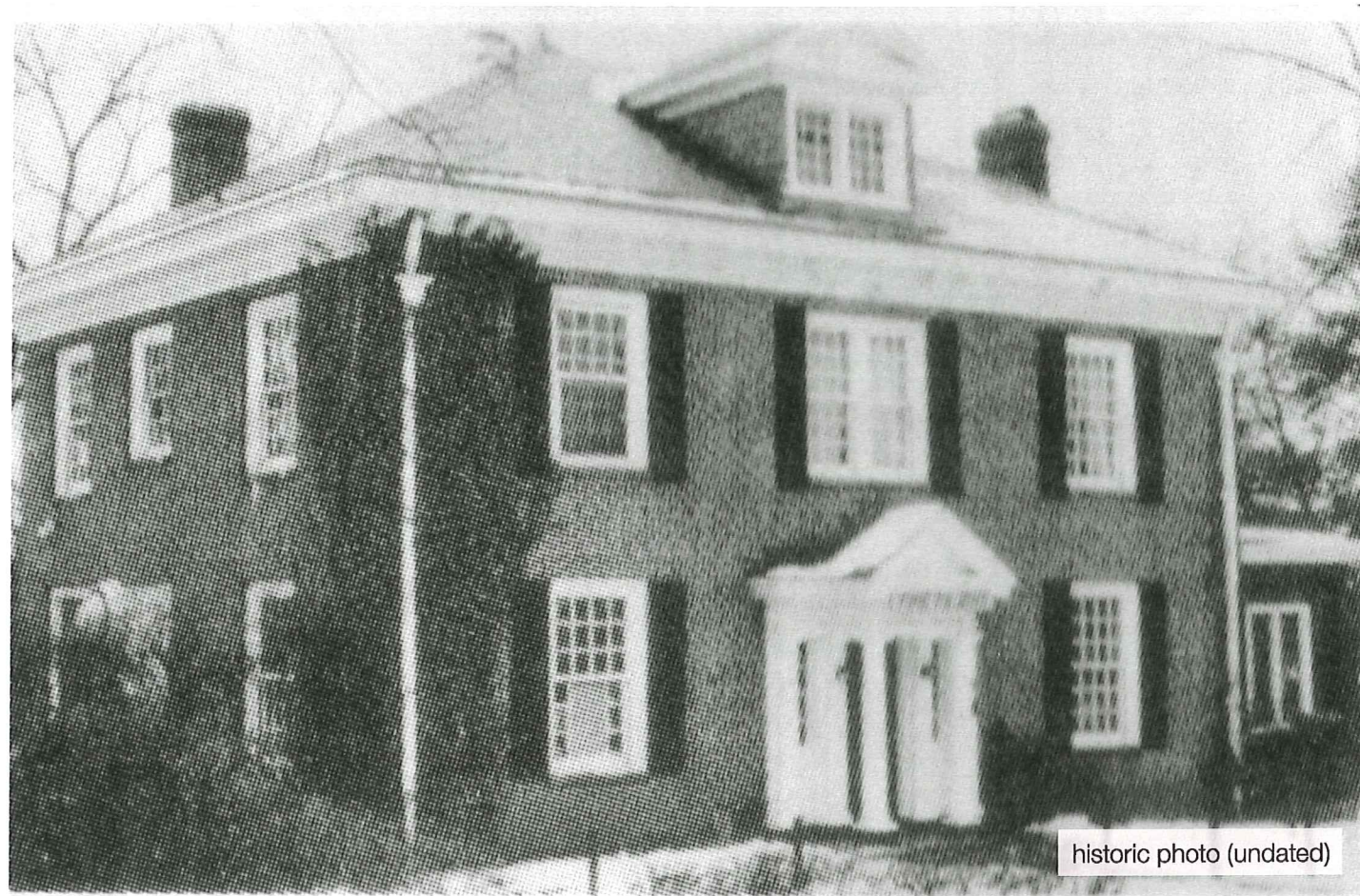
I know this is short notice, so if this is not possible, that is totally fine, you can just continue to address comments, resubmit and get on the November agenda. I don't think it will really set you back time wise, because you will still be working on your site plan concurrently.

Let me know what you want to do.

Ebony

Ebony Walden, AICP
Neighborhood Planner
Neighborhood Development Services
610 East Market Street
Charlottesville, VA 22902
walden@charlottesville.org
(434) 970- 3636





historic photo (undated)



preston place elevation (west)



detail at existing cornice



corner of preston place / grady avenue

existing conditions / site photographs



north elevation detail



south corner (from grady avenue)

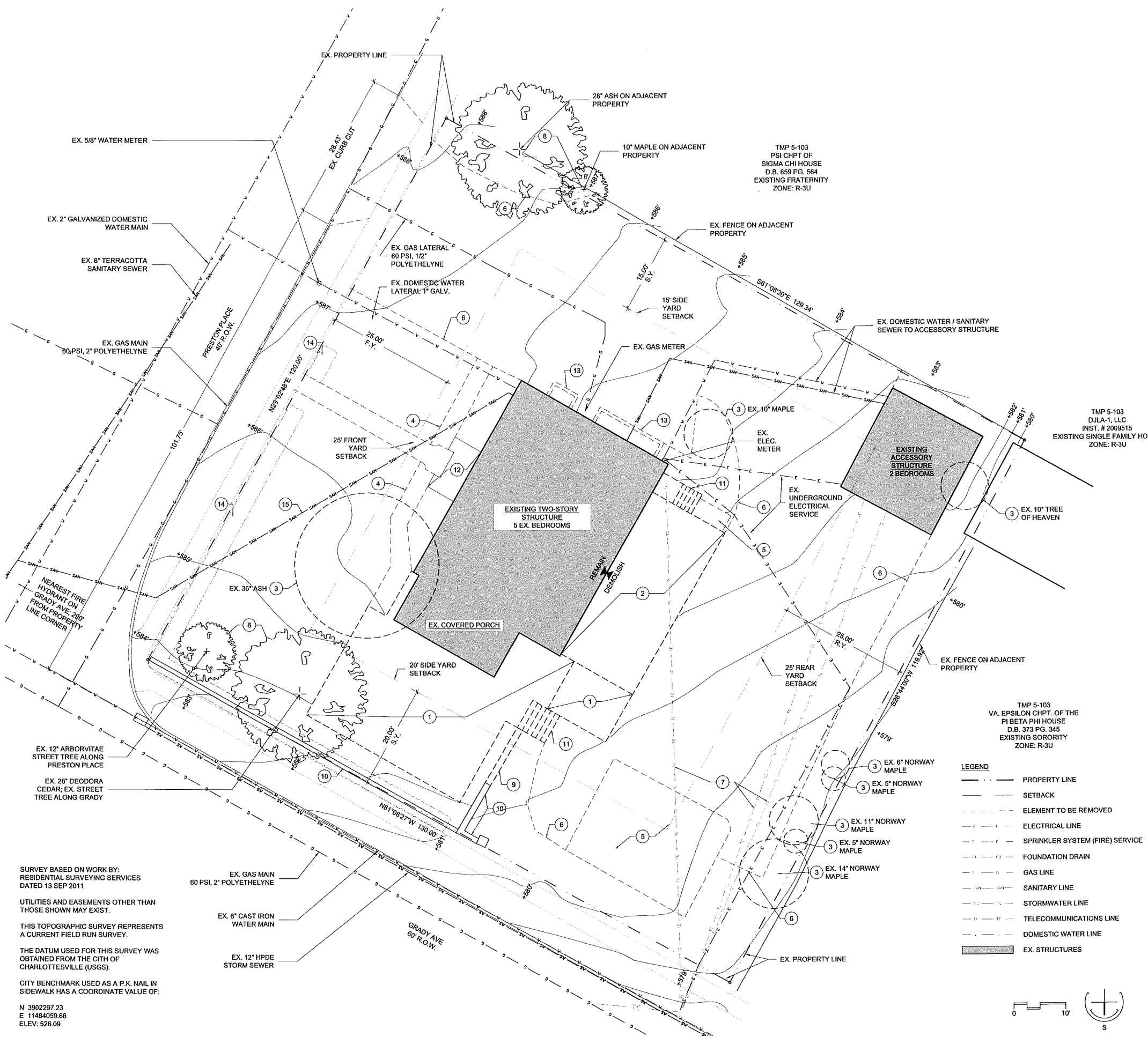


existing retaining wall / deck (from parking area)



northeast corner (from parking area)

existing conditions / site photographs



SURVEY BASED ON WORK BY:
RESIDENTIAL SURVEYING SERVICES
DATED 13 SEP 2011

UTILITIES AND EASEMENTS OTHER THAN
THOSE SHOWN MAY EXIST.

THIS TOPOGRAPHIC SURVEY REPRESENTS
A CURRENT FIELD RUN SURVEY.

THE DATUM USED FOR THIS SURVEY WAS
OBTAINED FROM THE CITH OF
CHARLOTTESVILLE (USGS).

CITY BENCHMARK USED AS A P.K. NAIL IN
SIDEWALK HAS A COORDINATE VALUE OF:

N 3902297.23
E 11484059.68
ELEV: 526.09

EXISTING CONDITIONS / SITE DEMOLITION PLAN
1" = 10'-0"

SITE AREA	SF	%
EX. STRUCTURES	2736	17.5
EX. DECK	1216	8
EX. SIDEWALK / PAVING	904	6
EX. GRAVEL DRIVEWAY	6058	39
TOTAL COVERAGE	9824	63

EXISTING COVERAGE CALCULATIONS

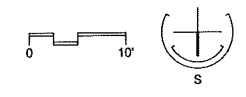
13
A1.02

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING SITE UTILITIES.

- | | |
|--|-----------------------|
| 1 REMOVE EX. DECK, INCLUDING DECKING, GUARDRAILS AND ALL STRUCTURAL SUPPORTS | 14 EX. PRIVET HEDGE |
| 2 REMOVE EX. ONE STORY MASONRY ADDITION RE: DEMOLITION PLAN | 15 EX. 4" PVC LATERAL |
| 3 REMOVE EX. TREE | |
| 4 REMOVE EX. WALKWAY | |
| 5 EX. CONCRETE SLAB TO BE REMOVED | |
| 6 EX. LIMIT OF GRAVEL DRIVEWAY | |
| 7 EX. OVERHEAD TELEPHONE / CABLE LINES TO BE BURIED RE: A1.02 | |
| 8 EX. TREE TO REMAIN; PROTECT DURING CONSTRUCTION | |
| 9 EX. RETAINING WALL TO BE REMOVED | |
| 10 EX. RETAINING WALL TO REMAIN | |
| 11 EX. WOOD STAIRS TO BE REMOVED | |
| 12 EX. CONCRETE SLAB TO REMAIN | |
| 13 EX. WINDOW WELL TO BE REMOVED | |

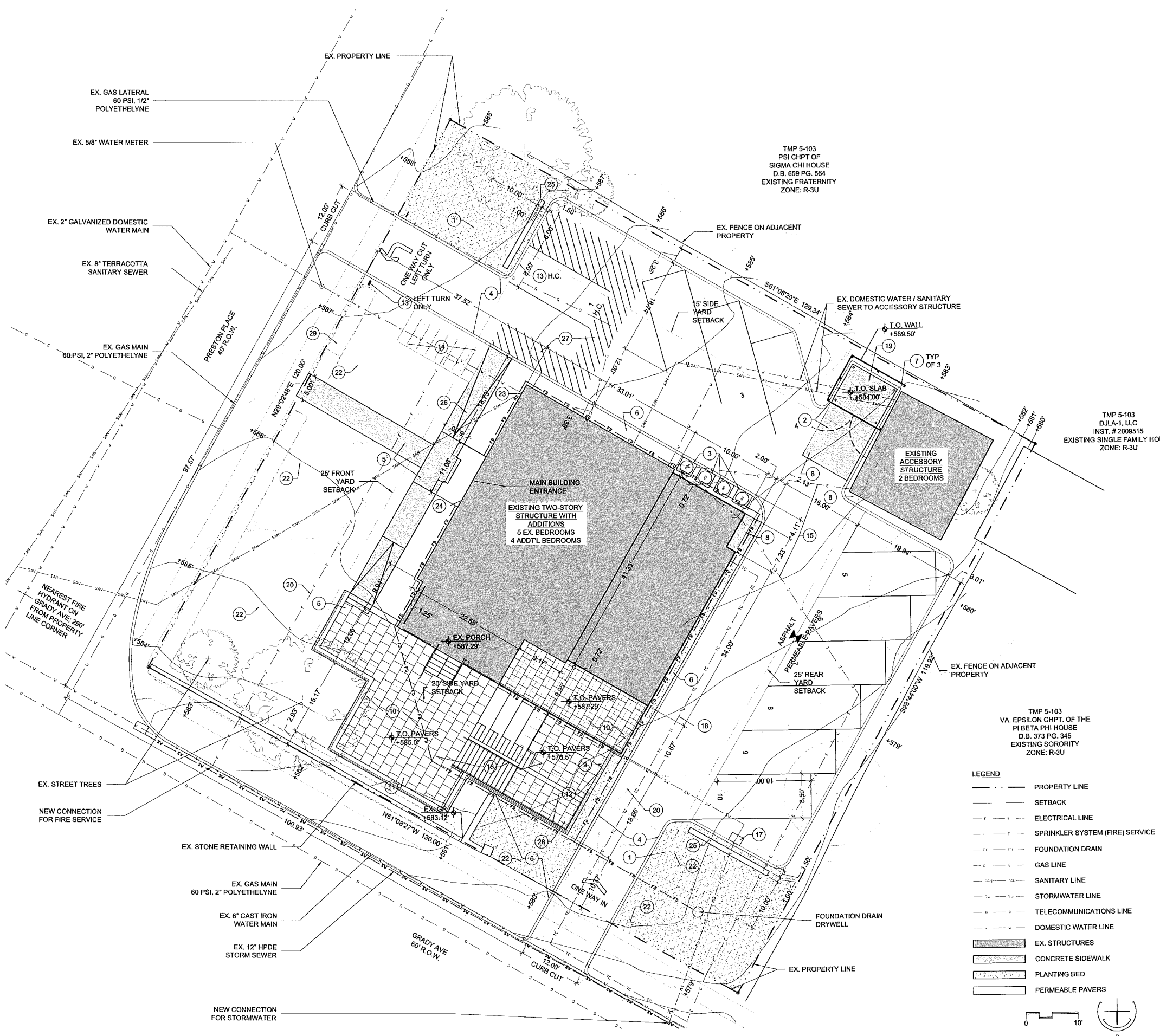
- LEGEND**
- — — — — PROPERTY LINE
 - — — — — SETBACK
 - - - - - ELEMENT TO BE REMOVED
 - - - - - ELECTRICAL LINE
 - - - - - SPRINKLER SYSTEM (FIRE) SERVICE
 - - - - - FOUNDATION DRAIN
 - - - - - GAS LINE
 - - - - - SANITARY LINE
 - - - - - STORMWATER LINE
 - - - - - TELECOMMUNICATIONS LINE
 - - - - - DOMESTIC WATER LINE
 - EX. STRUCTURES



2
A1.01

KEYNOTES

1
A1.01



PROPOSED SITE PLAN
1" = 10'-0"

BEDROOMS	11	
PARKING RATIO	2.5 SPACES / BEDROOM	34-984
REQUIRED SPACES	10	
PROVIDED SPACES	10	
ADA SPACES	< 25 SPACES, 1 REQD	ADA 208.2
COMPACT ALLOWABLE	3 (30%)	
COMPACT PROVIDED	N/A	

PARKING TABULATIONS 13
A1.02

SITE AREA	15,555 SF	
COVERAGE	SF	%
EX. / PROPOSED STRUCTURES	2804	18
PROPOSED DECK	1010	6.5
PAVED DRIVEWAY	2447	16
EX. / PROPOSED SIDEWALK / PAVING	979	6
TOTAL COVERAGE	7240	46.5
PERMEABLE PAVERS	2700	17
OPEN SPACE (1)	0	0

COVERAGE CALCULATIONS 13
A1.02

GENERAL NOTES:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING SITE UTILITIES.

- | | |
|---|---|
| 1 STREET BUFFER SCREENING RE: LANDSCAPE PLAN | 16 NEW CONC. STEPS TO BASEMENT |
| 2 NEW WOOD FENCE / GATE | 17 NEW CATCH BASIN RE: CIVIL DWGS |
| 3 NEW COMPRESSORS RE: MECH. DWGS | 18 EX. TELEPHONE / CABLE LINES TO BE BURIED IN 2" CONDUIT; PROVIDE PULL STRING FOR FUTURE LINES |
| 4 NEW CONC. CURB | 19 EX. DUMPSTER, 4.5' HIGH |
| 5 NEW CONC. SIDEWALK | 20 NEW 2" FIRE SERVICE WITH METER / SEPARATE CONNECTION TO DOMESTIC WATER LINE |
| 6 NEW PLANTING BED RE: LANDSCAPE PLAN | 21 NEW FOUNDATION DRAIN; CONNECT TO NEW STORM WATER DRAINAGE |
| 7 BOLLARD RE: _____ | 22 NEW STREET TREE RE: LANDSCAPE PLAN |
| 8 NEW CONCRETE SLAB | 23 FIRE DEPARTMENT CONNECTION |
| 9 TRENCH DRAIN; CONNECT TO NEW STORM SEWER LINE | 24 FIRE DEPARTMENT KNOX BOX LOCATION |
| 10 NEW PAVERS RE: A1.05 | 25 MASONRY WALL, 32" HIGH |
| 11 NEW GUARDRAIL | 26 RAMP TO PROVIDE ACCESSIBLE ROUTE TO MAIN BUILDING ENTRANCE |
| 12 NEW RETAINING WALL | 27 STRIPING TO MARK ACCESSIBLE ROUTE |
| 13 NEW STREET SIGN | 28 EXTERIOR SLUMP PUMP RE: SECTIONS; CONNECT TO FOUNDATION DRAIN |
| 14 NEW BICYCLE PARKING | 29 EXTEND PRIVET HEDGE RE: LANDSCAPE PLAN |
| 15 EX. UNDERGROUND ELECTRICAL SERVICE; RELOCATE AS REQUIRED TO AVOID NEW CONSTRUCTION | |

LEGEND

- — — — — PROPERTY LINE
- — — — — SETBACK
- — — — — ELECTRICAL LINE
- — — — — SPRINKLER SYSTEM (FIRE) SERVICE
- — — — — FOUNDATION DRAIN
- — — — — GAS LINE
- — — — — SANITARY LINE
- — — — — STORMWATER LINE
- — — — — TELECOMMUNICATIONS LINE
- — — — — DOMESTIC WATER LINE
- EX. STRUCTURES
- CONCRETE SIDEWALK
- PLANTING BED
- PERMEABLE PAVERS

0 10' S

KEYNOTES 1
A1.02

LANDSCAPE PLAN

L1.02

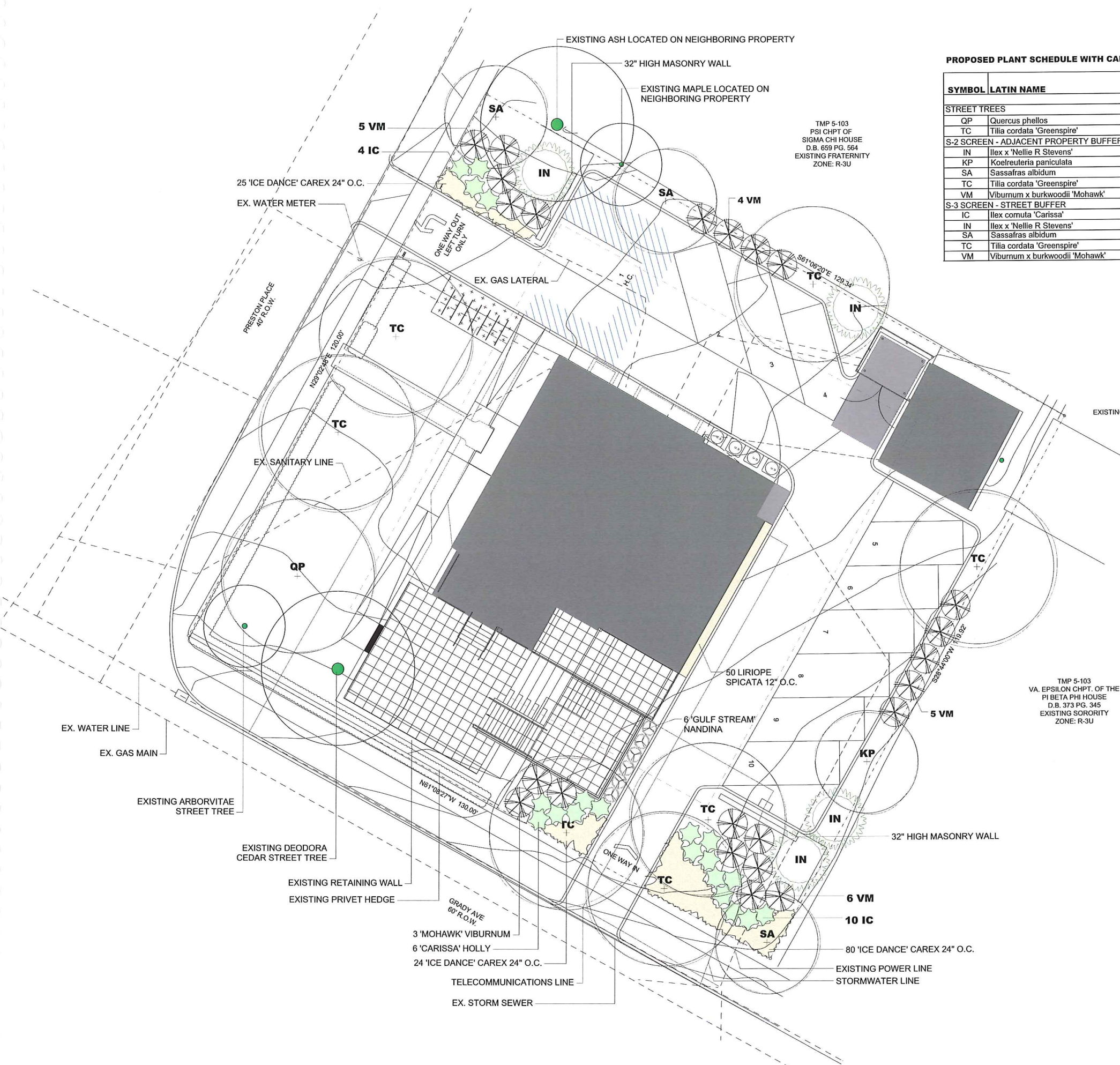
© 2011 TEKTONICS DESIGN GROUP | PROJECT D1209

TEKTONICS DESIGN GROUP
 CIVIL
 DAVID COLLINS
 1188 BERRY HILL RD | NELLYSFORD, VA 22958
 (434) 351-1113 | DCL@BPL.COOP

LANDSCAPE
 JESSICA PRIMA
 P.O. BOX 1421 | CHARLOTTESVILLE, VA 22902
 (434) 852-0520 | JPRIMA@CSTONE.NET

THE YARDS | 1515 M STREET SE, SUITE 116 | WASHINGTON DC 20003 | 202.663.0260

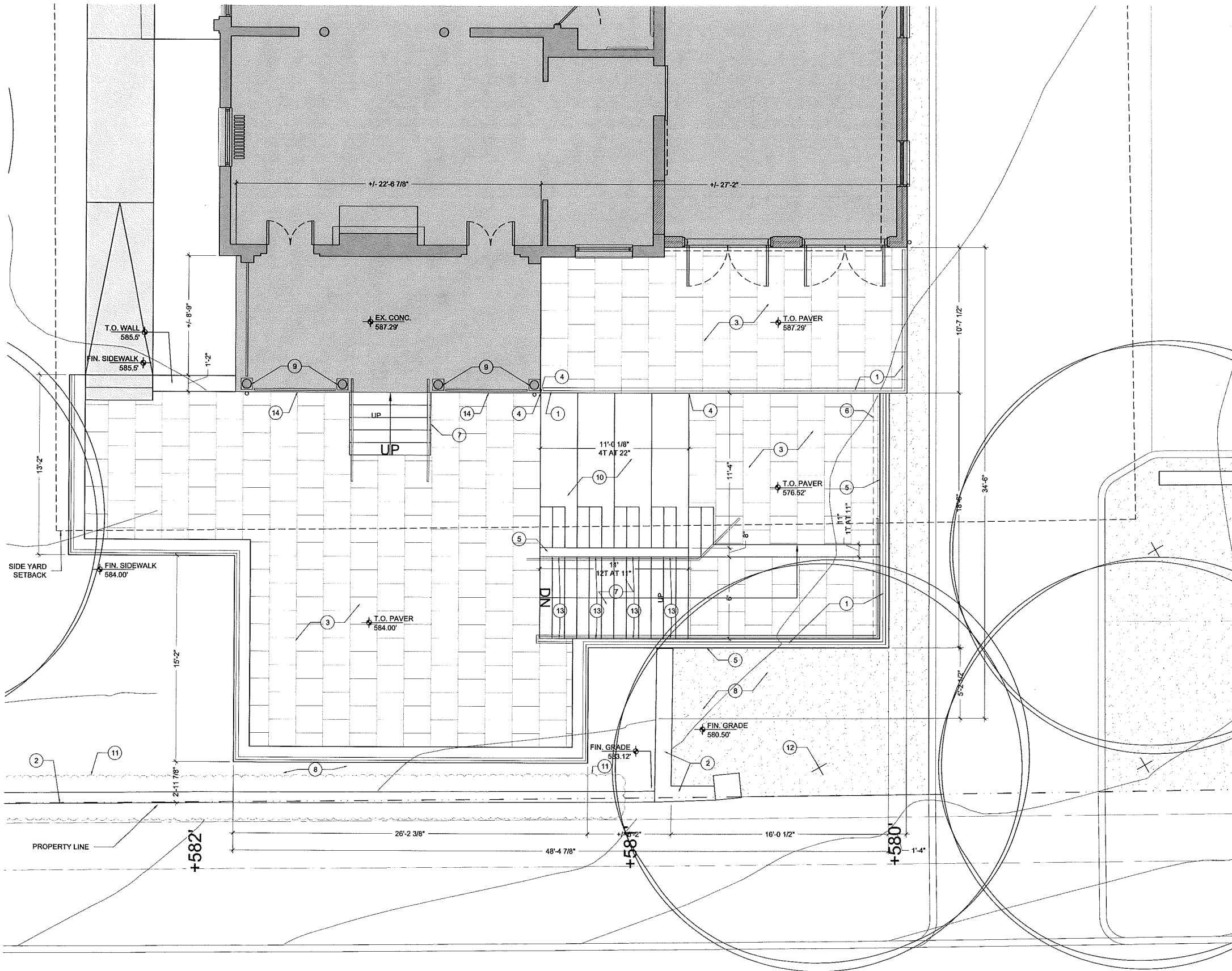
THETA CHI - XI CHAPTER ADDITION
 600 PRESTON PLACE
 CHARLOTTESVILLE, VA 22903
 T.M.P. 5-109 / LOTS 19 / PORTION OF 20



PROPOSED PLANT SCHEDULE WITH CANOPY CALCULATIONS

SYMBOL	LATIN NAME	COMMON NAME	QTY.	PLANTING HEIGHT	10 YEAR HEIGHT	CANOPY EACH	CANOPY TOTAL
STREET TREES							
QP	Quercus phellos	Willow Oak	1				
TC	Tilia cordata 'Greenspire'	'Greenspire' Little Leaf Linden	4				
S-2 SCREEN - ADJACENT PROPERTY BUFFER							
IN	Ilex x 'Nellie R Stevens'	'Nellie Stevens' Holly	2				
KP	Koelreuteria paniculata	Golden Raintree	1				
SA	Sassafras albidum	Sassafras	1				
TC	Tilia cordata 'Greenspire'	'Greenspire' Little Leaf Linden	2				
VM	Viburnum x burkwoodii 'Mohawk'	'Mohawk' Viburnum	9				
S-3 SCREEN - STREET BUFFER							
IC	Ilex comuta 'Carissa'	'Carissa' Holly	14				
IN	Ilex x 'Nellie R Stevens'	'Nellie Stevens' Holly	2				
SA	Sassafras albidum	Sassafras	2				
TC	Tilia cordata 'Greenspire'	'Greenspire' Little Leaf Linden	1				
VM	Viburnum x burkwoodii 'Mohawk'	'Mohawk' Viburnum	11				

TOTAL PROPOSED PLANT CANOPY AREA: XXXX



KEYNOTES

- | | |
|--|---------------------------------------|
| 1 NEW METAL GUARDRAIL RE: SITE DETAILS
120 LF | 9 EX. WOOD COLUMN |
| 2 EXISTING RETAINING WALL | 10 NEW CAST IN PLACE CONCRETE BENCHES |
| 3 NEW PRECAST PAVERS (24"x24") 910 SF | 11 EX. PRIVACY HEDGE |
| 4 PAVER START POINT | 12 NEW TREE RE: LANDSCAPE DWGS. |
| 5 POURED IN PLACE CONCRETE
RETAINING WALL | 13 STEP LIGHT (FIXTURE B) |
| 6 6" WIDE TRENCH DRAIN BELOW PAVERS | 14 FLOOD LIGHT ABOVE RE: ELEVATIONS |
| 7 NEW CONCRETE STAIR WITH
PRECAST TREADS | |
| 8 NEW PLANTING BED
RE: LANDSCAPE DWGS. | |

KEY NOTES

5
A1.05

SHEET NOTES:

- REFER TO ARCHITECTURAL SITE PLAN FOR ITEMS AND DIMENSIONS NOT NOTED.

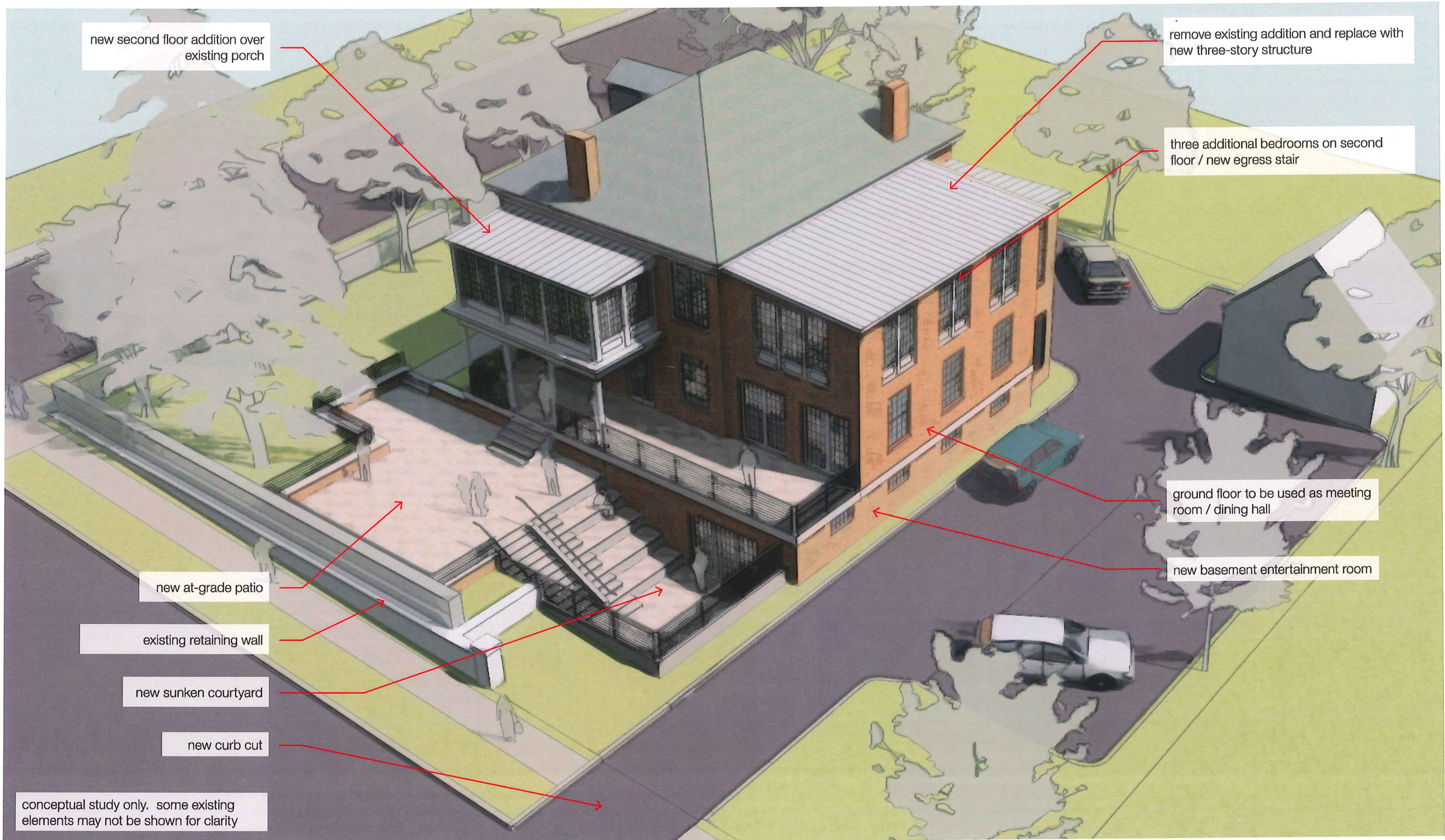
SHEET NOTES / LEGEND



2
A1.05

1
A1.05

LAYOUT PLAN
1/4" = 1'-0"



new second floor addition over existing porch

remove existing addition and replace with new three-story structure

three additional bedrooms on second floor / new egress stair

ground floor to be used as meeting room / dining hall

new basement entertainment room

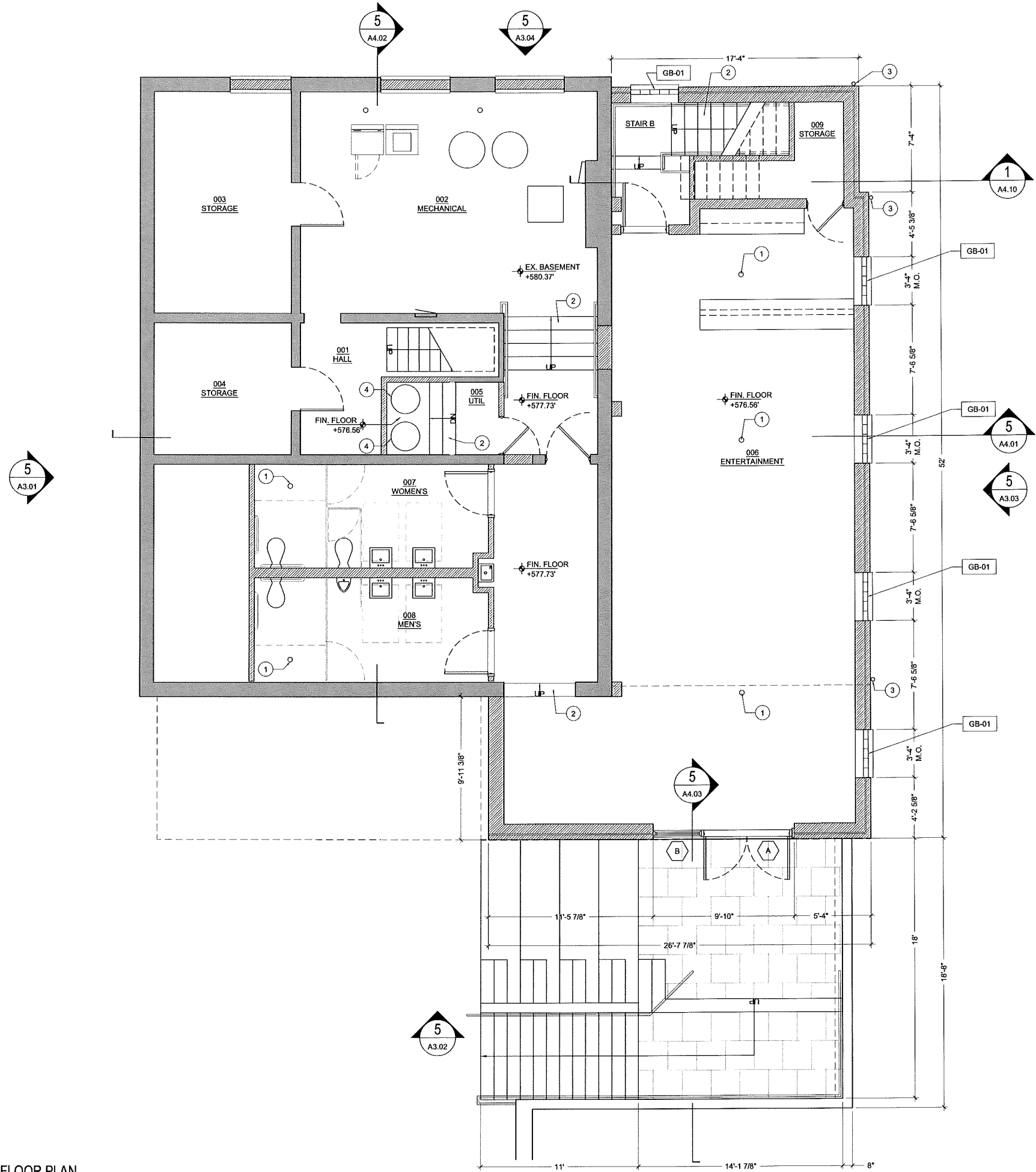
new at-grade patio

existing retaining wall

new sunken courtyard

new curb cut

conceptual study only. some existing elements may not be shown for clarity



- KEYNOTES**
- ① FLOOR DRAIN
 - ② NEW CONCRETE STAIR
 - ③ DOWNSPOUT RE: EXT. ELEVATIONS
 - ④ SEWAGE EJECTOR PUMP BELOW
 - ⑤ EX. EXT. WINDOW TO REMAIN
 - ⑥ SHADOW BOX
 - ⑦ EX. EXT. DOOR TO REMAIN
 - ⑧ EXTEND EX. STAIR

KEY NOTES ⑤
A2.11

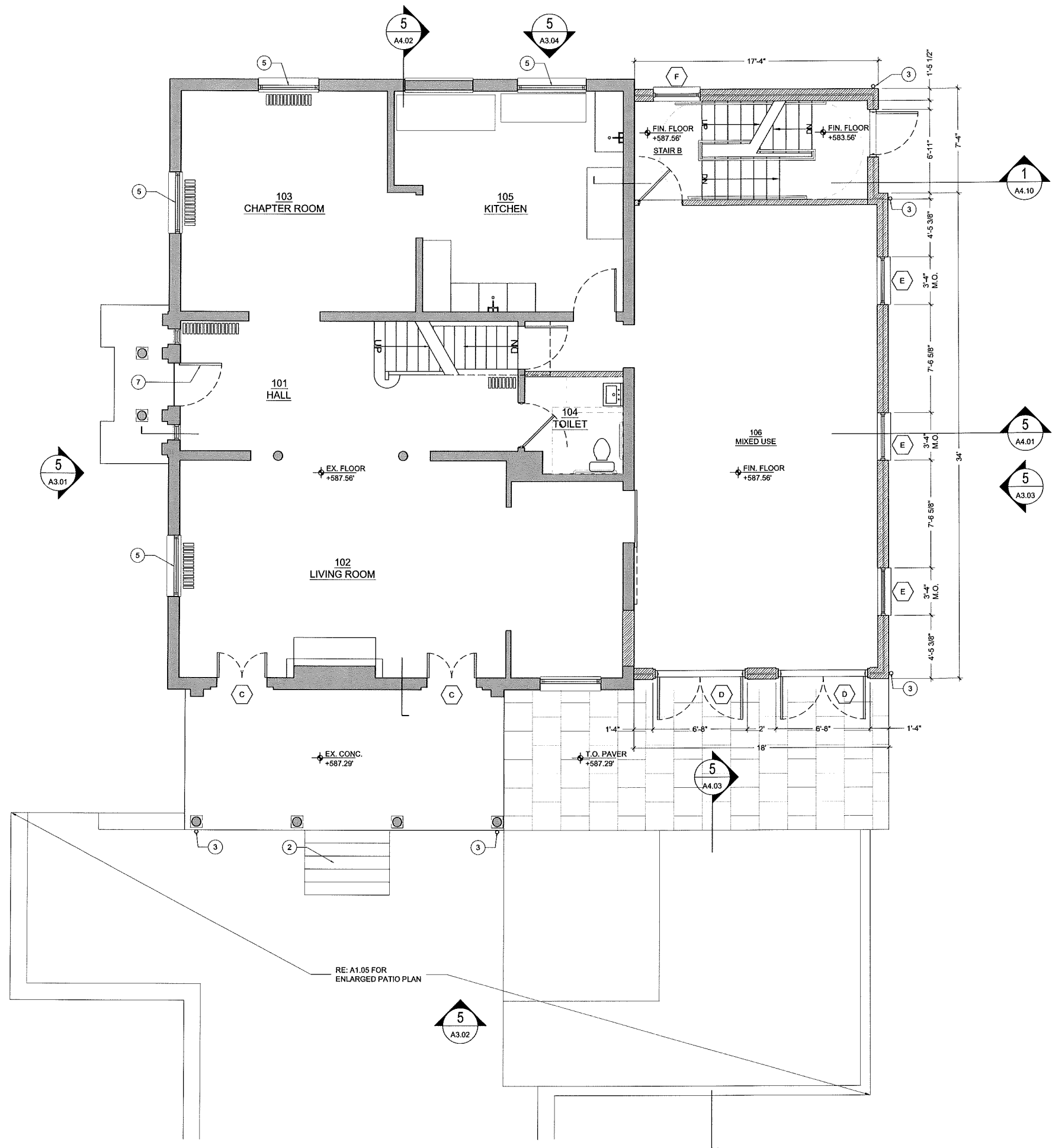
- LEGEND**
- NEW WALL
 - EXISTING WALL
 - WINDOW TAG
 - DOOR TYPE
 - DOOR NUMBER
 - HARDWARE GROUP

- SHEET NOTES:**
1. CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
 2. PROTECT EXISTING CONSTRUCTION DURING ALTERATION / RENOVATION.
 3. ALL DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
 4. PATCH / REPAIR ALL EXISTING G.W.B. WALLS.
 5. REFER TO BUILDING SECTIONS FOR EXTENT OF INSULATION

SHEET NOTES / LEGEND

②
A2.11

①
A2.11



KEYNOTES

- 1 FLOOR DRAIN
- 2 NEW CONCRETE STAIR
- 3 DOWNSPOUT RE: EXT. ELEVATIONS
- 4 SEWAGE EJECTOR PUMP BELOW
- 5 EX. EXT. WINDOW TO REMAIN
- 6 SHADOW BOX
- 7 EX. EXT. DOOR TO REMAIN
- 8 EXTEND EX. STAIR

KEY NOTES

5
A2.11

LEGEND

- NEW WALL
- EXISTING WALL
- WINDOW TAG
- DOOR TYPE
- DOOR NUMBER
- HARDWARE GROUP

SHEET NOTES:

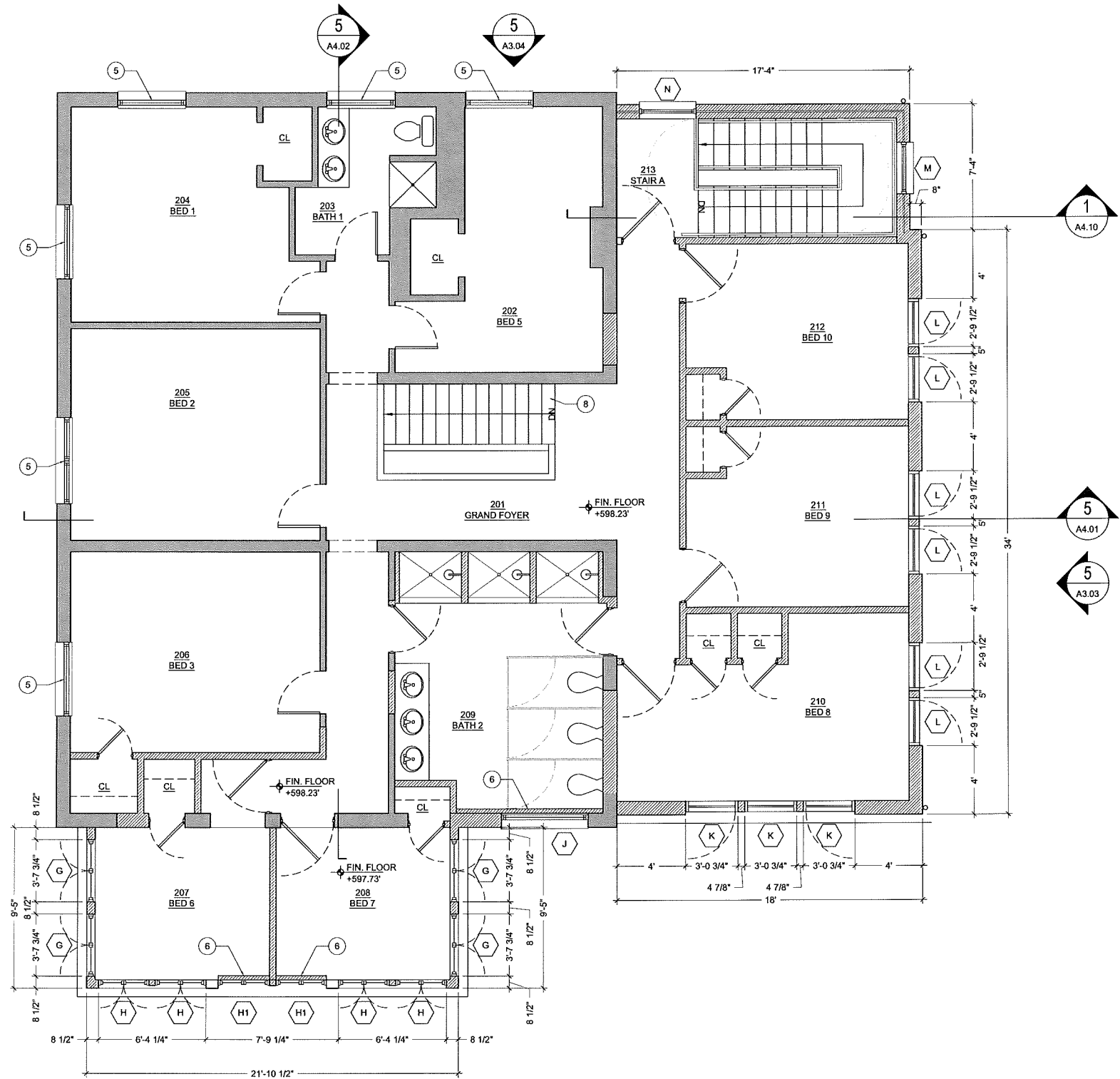
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SHEET NOTES / LEGEND

1
A2.12

2
A2.12

5
A3.01



5
A3.02

5
A4.01

5
A3.03

1
A4.10

KEYNOTES

- 1 FLOOR DRAIN
- 2 NEW CONCRETE STAIR
- 3 DOWNSPOUT RE: EXT. ELEVATIONS
- 4 SEWAGE EJECTOR PUMP BELOW
- 5 EX. EXT. WINDOW TO REMAIN
- 6 SHADOW BOX
- 7 EX. EXT. DOOR TO REMAIN
- 8 EXTEND EX. STAIR

KEY NOTES

5
A2.11

LEGEND

- NEW WALL
- EXISTING WALL
- WINDOW TAG
- DOOR TYPE
- DOOR NUMBER
- HARDWARE GROUP

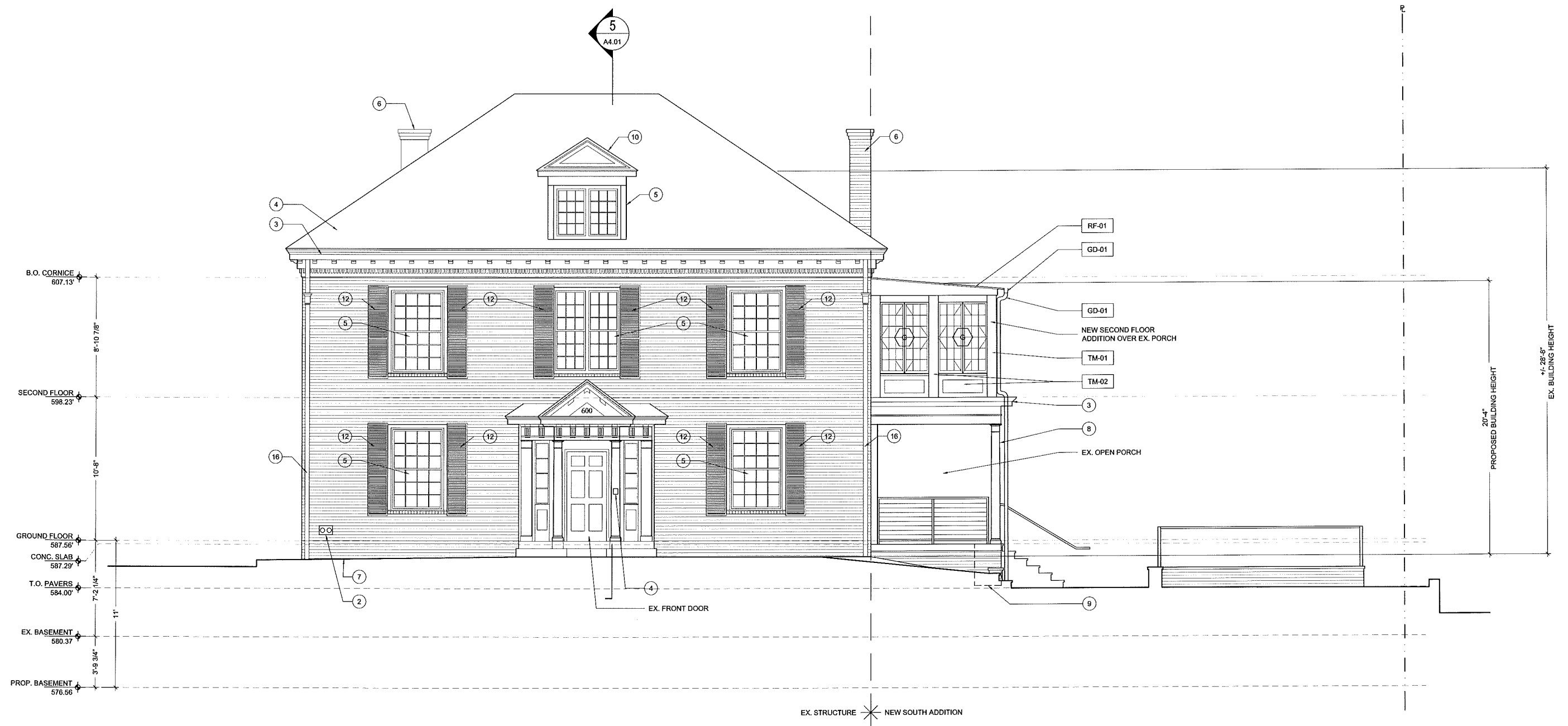
SHEET NOTES:

1. CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
2. PROTECT EXISTING CONSTRUCTION DURING ALTERATION / RENOVATION.
3. ALL DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
4. PATCH / REPAIR ALL EXISTING G.W.B. WALLS.
5. REFER TO BUILDING SECTIONS FOR EXTENT OF INSULATION

2
A2.13

SHEET NOTES / LEGEND

1
A2.13



WEST ELEVATION
 1/4" = 1'-0"

MATERIAL SCHEDULE

BR-01	BRICK (MATCH EXISTING)
CS-01	CAST STONE
GB-01	GLASS BLOCK
GD-01	GUTTER / DOWNSPOUT, WHITE ALUMINUM
RF-01	STANDING SEAM, GALAVUME FINISH
TM-01	TRIM, MIRATEC 5/4 THICKNESS
TM-02	TRIM, MIRATEC 1/2' SHEET

KEYNOTES

1 KNOX BOX	8 EX. COLUMN TO BE REMOVED / REPLACED	15 EX. FAN TO BE REMOVED
2 FIRE DEPARTMENT CONNECTION	9 NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.	16 EX. DOWNSPOUT
3 EX. CORNICE; REPAIR RE: A6.01	10 EX. DORMER	17 RELOCATE EX. DOWNSPOUT / COLLECTOR BOX
4 EX. SLATE ROOF	11 NEW GUARDRAIL RE: A__	
5 EX. WINDOW TO REMAIN	12 EX. SHUTTER	
6 EX. MASONRY CHIMNEY	13 EXT. LIGHT FIXTURE	
7 NEW RAMP RE: SITE PLAN	14 NEW EXT. DOOR	

NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

- SHEET NOTES:**
- REFER TO A__ FOR DOOR SCHEDULE
 - REFER TO A__ FOR WINDOW SCHEDULE

LEGEND

SHADOW BOX

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

MATERIAL SCHEDULE

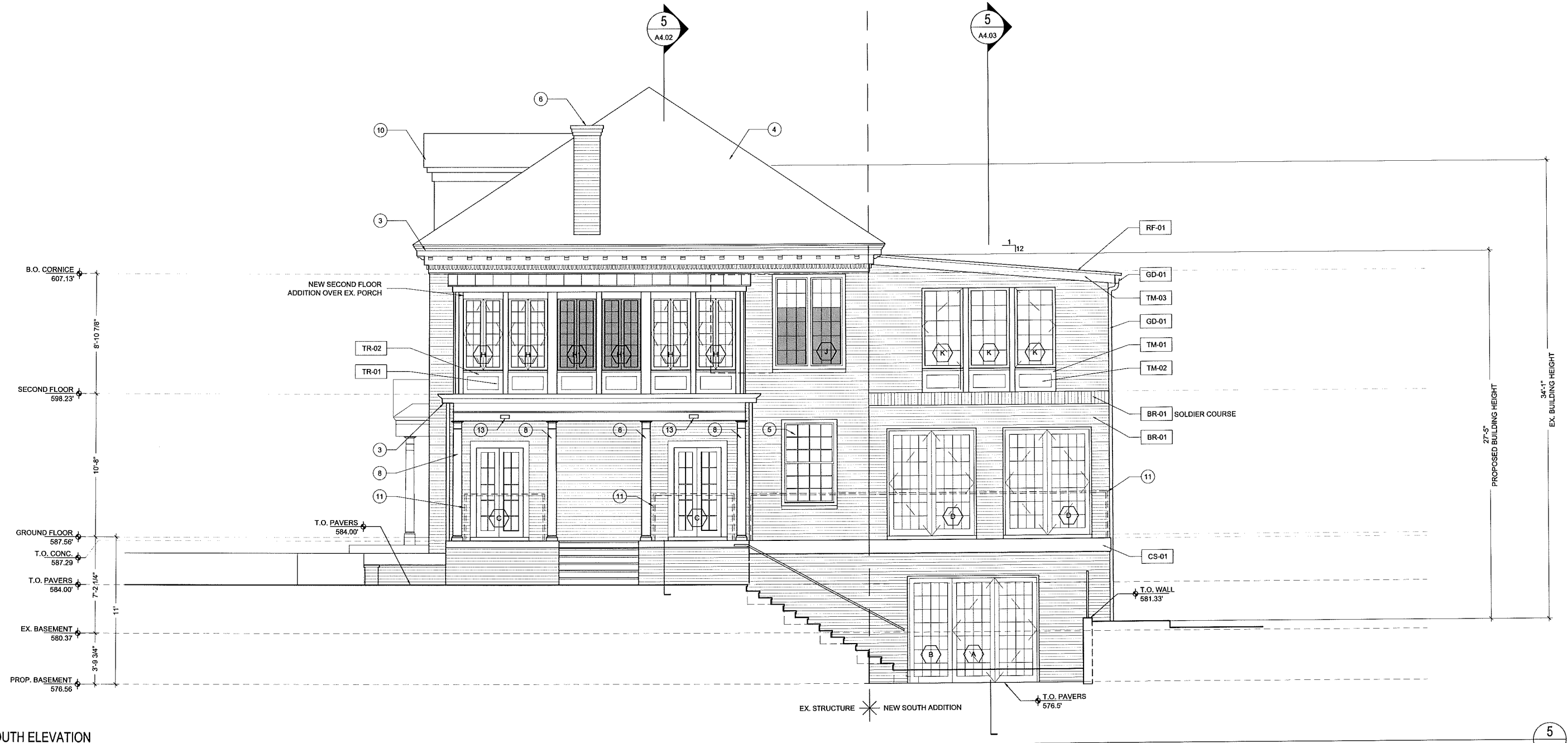
KEY NOTES

SHEET NOTES

4
A3.01

2
A3.01

1
A3.01



SOUTH ELEVATION
 1/4" = 1'-0"

BR-01	BRICK (MATCH EXISTING)
CS-01	CAST STONE
GB-01	GLASS BLOCK
GD-01	GUTTER / DOWNSPOUT, WHITE ALUMINUM
RF-01	STANDING SEAM, GALVALUME FINISH
TM-01	TRIM, MIRATEC 5/4 THICKNESS
TM-02	TRIM, MIRATEC 1/2" SHEET

- KEYNOTES**
- 1 KNOX BOX
 - 2 FIRE DEPARTMENT CONNECTION
 - 3 EX. CORNICE; REPAIR RE: A6.01
 - 4 EX. SLATE ROOF
 - 5 EX. WINDOW TO REMAIN
 - 6 EX. MASONRY CHIMNEY
 - 7 NEW RAMP RE: SITE PLAN
 - 8 EX. COLUMN TO BE REMOVED / REPLACED
 - 9 NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.
 - 10 EX. DORMER
 - 11 NEW GUARDRAIL RE: A__
 - 12 EX. SHUTTER
 - 13 EXT. LIGHT FIXTURE
 - 14 NEW EXT. DOOR
 - 15 EX. FAN TO BE REMOVED
 - 16 EX. DOWNSPOUT
 - 17 RELOCATE EX. DOWNSPOUT / COLLECTOR BOX

NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

- SHEET NOTES:**
1. REFER TO A__ FOR DOOR SCHEDULE
 2. REFER TO A__ FOR WINDOW SCHEDULE

LEGEND

[Shaded Box]	SHADOW BOX
--------------	------------

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

MATERIAL SCHEDULE

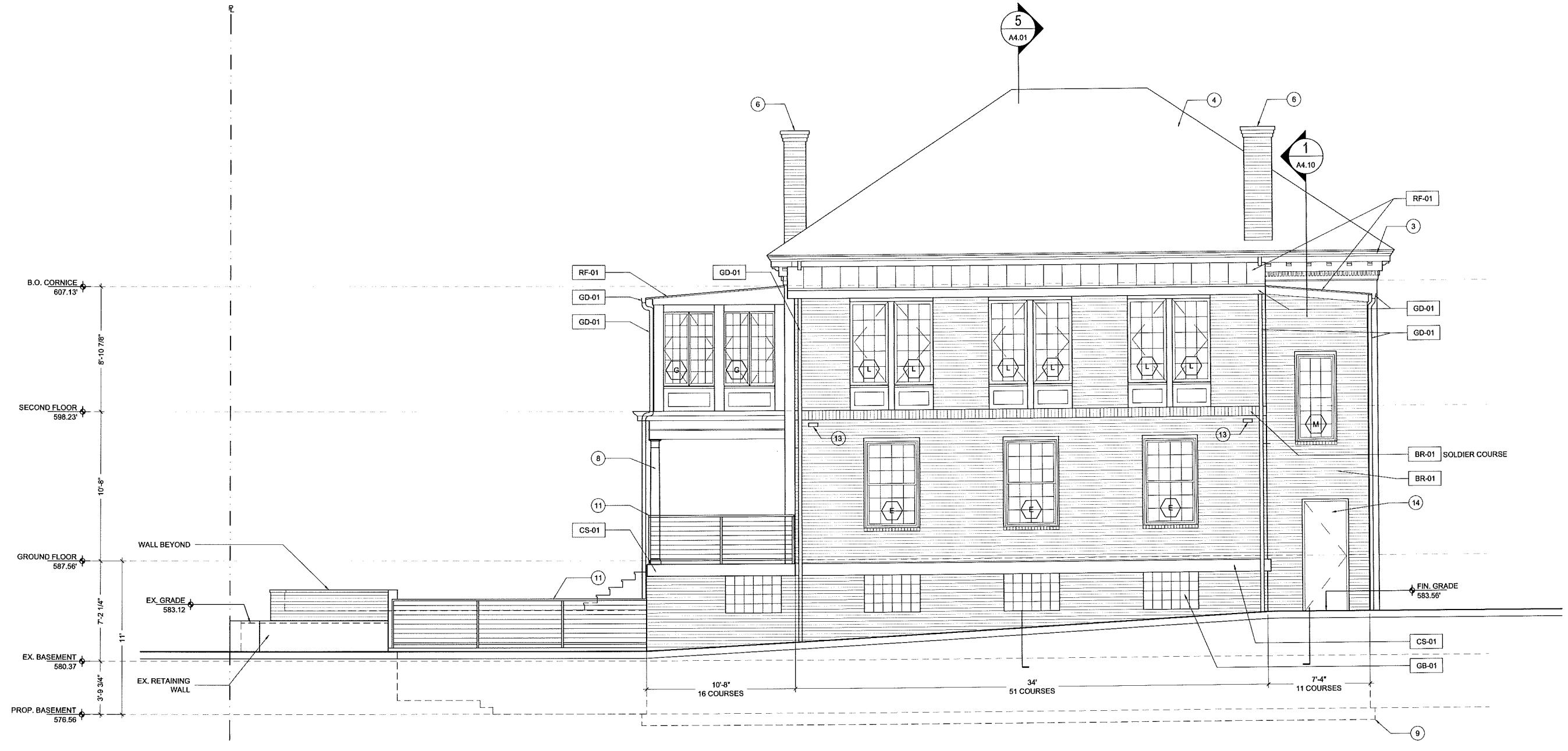
4
 A3.02

KEY NOTES

2
 A3.02

SHEET NOTES

1
 A3.02



EAST ELEVATION
 1/4" = 1'-0"

BR-01	BRICK (MATCH EXISTING)
CS-01	CAST STONE
GB-01	GLASS BLOCK
GD-01	GUTTER / DOWNSPOUT, WHITE ALUMINUM
RF-01	STANDING SEAM, GALAVUME FINISH
TM-01	TRIM, MIRATEC 5/4 THICKNESS
TM-02	TRIM, MIRATEC 1/2" SHEET

- KEYNOTES**
- 1 KNOX BOX
 - 2 FIRE DEPARTMENT CONNECTION
 - 3 EX. CORNICE; REPAIR RE: A6.01
 - 4 EX. SLATE ROOF
 - 5 EX. WINDOW TO REMAIN
 - 6 EX. MASONRY CHIMNEY
 - 7 NEW RAMP RE: SITE PLAN

- 8 EX. COLUMN TO BE REMOVED / REPLACED
- 9 NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.
- 10 EX. DORMER
- 11 NEW GUARDRAIL RE: A__
- 12 EX. SHUTTER
- 13 EXT. LIGHT FIXTURE
- 14 NEW EXT. DOOR
- 15 EX. FAN TO BE REMOVED
- 16 EX. DOWNSPOUT
- 17 RELOCATE EX. DOWNSPOUT / COLLECTOR BOX

- SHEET NOTES:**
1. REFER TO A__ FOR DOOR SCHEDULE
 2. REFER TO A__ FOR WINDOW SCHEDULE

LEGEND

SHADOW BOX

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

MATERIAL SCHEDULE

4
A3.03

KEY NOTES

2
A3.03

SHEET NOTES

1
A3.03

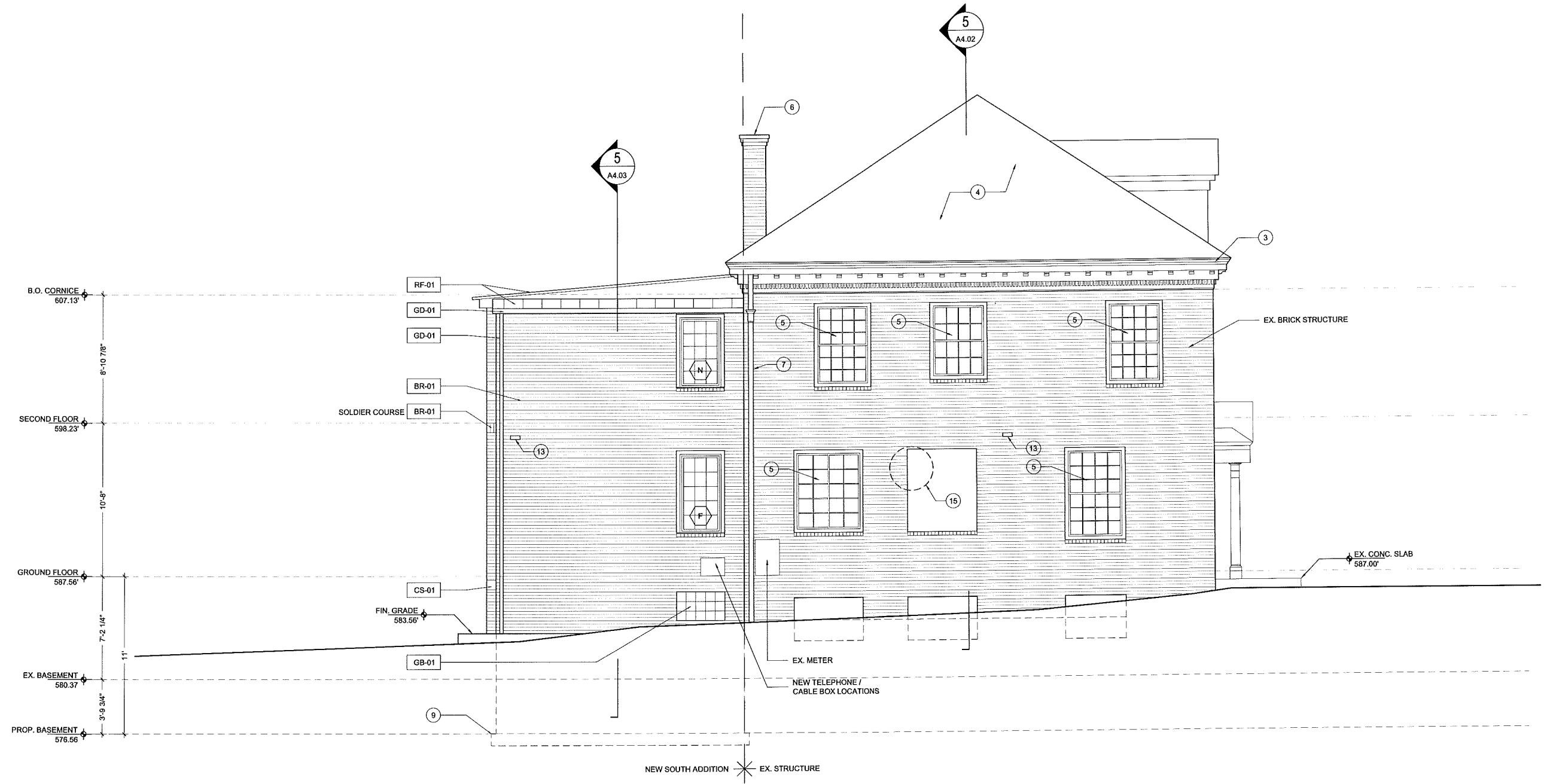
EXTERIOR ELEVATION EAST

A3.03

PRELIMINARY SITE PLAN SUBMISSION REVISIONS

25 OCT 2011

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NORTH ELEVATION
 1/4" = 1'-0"

BR-01	BRICK (MATCH EXISTING)
CS-01	CAST STONE
GB-01	GLASS BLOCK
GD-01	GUTTER / DOWNSPOUT, WHITE ALUMINUM
RF-01	STANDING SEAM, GALVUMME FINISH
TM-01	TRIM, MIRATEC 5/4 THICKNESS
TM-02	TRIM, MIRATEC 1/2" SHEET

NOTE: REFER TO SPECIFICATIONS AND MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.

MATERIAL SCHEDULE

KEYNOTES	
1	KNOX BOX
2	FIRE DEPARTMENT CONNECTION
3	EX. CORNICE; REPAIR RE: A6.01
4	EX. SLATE ROOF
5	EX. WINDOW TO REMAIN
6	EX. MASONRY CHIMNEY
7	NEW RAMP RE: SITE PLAN

NOTE: NOT ALL KEYNOTES APPEAR ON EACH SHEET.

KEY NOTES

8	EX. COLUMN TO BE REMOVED / REPLACED	15	EX. FAN TO BE REMOVED
9	NEW FOUNDATION (SHOWN DASHED) RE: STRUCTURAL DWGS.	16	EX. DOWNSPOUT
10	EX. DORMER	17	RELOCATE EX. DOWNSPOUT / COLLECTOR BOX
11	NEW GUARDRAIL RE: A__		
12	EX. SHUTTER		
13	EXT. LIGHT FIXTURE		
14	NEW EXT. DOOR		

- SHEET NOTES:**
- REFER TO A__ FOR DOOR SCHEDULE
 - REFER TO A__ FOR WINDOW SCHEDULE

LEGEND

SHADOW BOX

4
A3.04

2
A3.04

1
A3.04

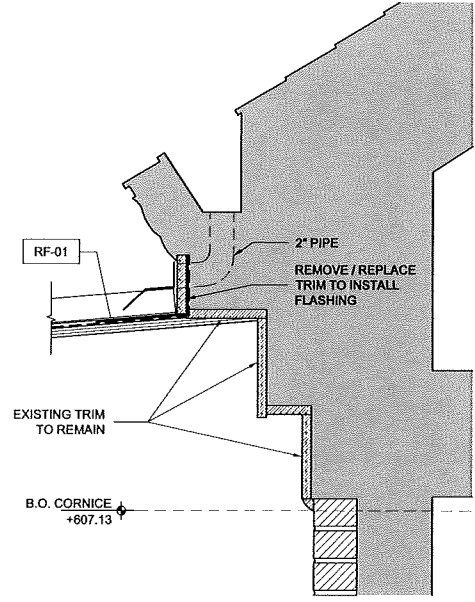
**EXTERIOR ELEVATIONS
 NORTH**

A3.04

25 OCT 2011

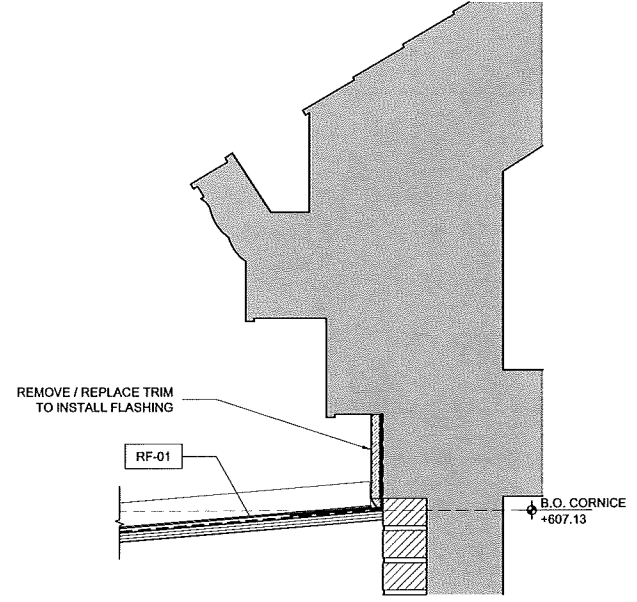
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PRELIMINARY SITE PLAN SUBMISSION REVISIONS



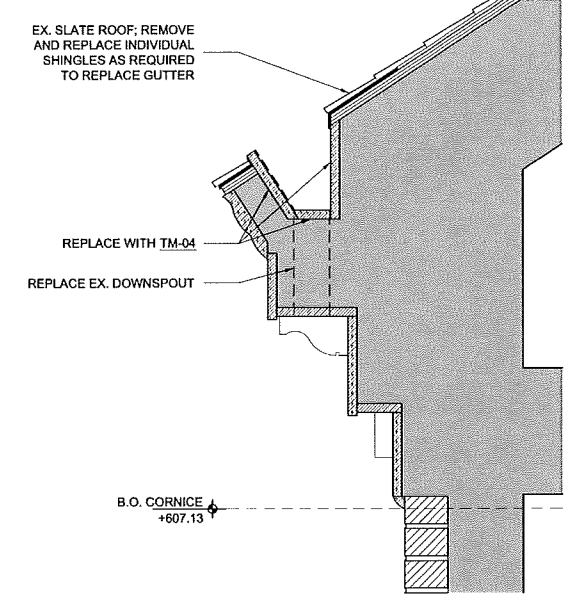
NOTE: REFER TO A3.11 FOR ADDITIONAL INFORMATION
EX. CORNICE AT EAST ADDITION
 1 1/2" = 1'-0"

3
A6.01



NOTE: REFER TO A3.11 FOR ADDITIONAL INFORMATION
EX. CORNICE AT SOUTH ADDITION
 1 1/2" = 1'-0"

2
A6.01

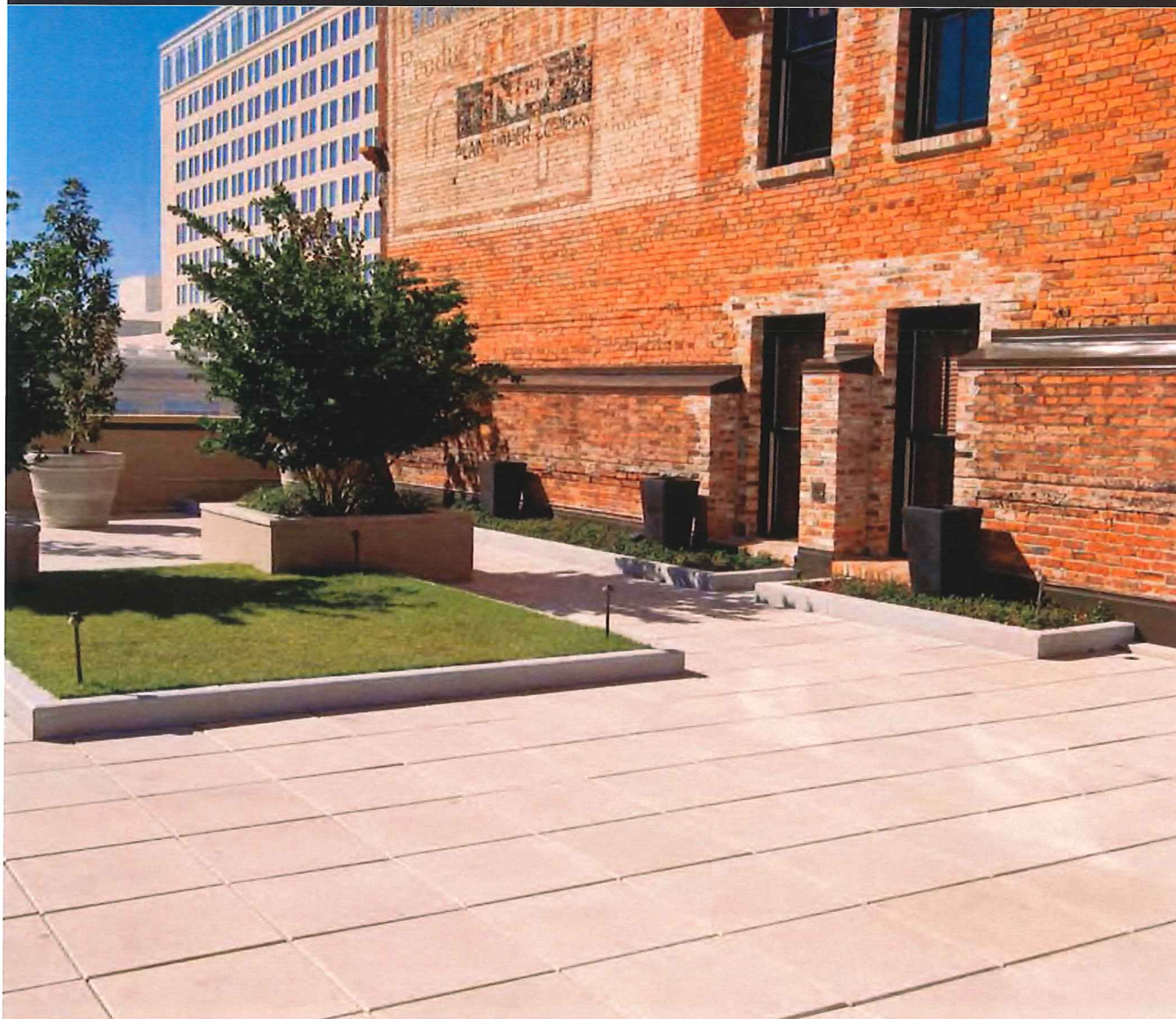


EX. CORNICE / GUTTER
 1 1/2" = 1'-0"

1
A6.01



Hanover® Architectural Products | Hanover® Roof and Plaza Pavers



10 Hanover® Roof and Plaza Pavers | Sizes and Colors

Hanover® Paver sizes, thicknesses, weights and colors are all shown below. Pavers are available in custom sizes and colors when quantities permit. (Hanover® Prest® Pavers are manufactured metrically.)

Metric Size		Actual Size	Weight
297mm x 297mm		11 3/4" x 11 3/4"	25 lbs/sf
301mm x 301mm		11 7/8" x 11 7/8"	
303mm x 303mm		11 15/16" x 11 15/16"	
378mm x 378mm		14 7/8" x 14 7/8"	
297mm x 447mm		11 3/4" x 17 5/8"	
297mm x 597mm		11 3/4" x 23 1/2"	
447mm x 447mm		17 5/8" x 17 5/8"	
447mm x 597mm		17 5/8" x 23 1/2"	
447mm x 899mm		17 5/8" x 35 3/8"	
597mm x 597mm		23 1/2" x 23 1/2"	
606mm x 606mm		23 7/8" x 23 7/8"	
597mm x 747mm		23 1/2" x 29 1/2"	
597mm x 897mm		23 1/2" x 35 3/8"	
756mm x 756mm		29 3/4" x 29 3/4"	
Standard Walkway/Ballast Paver Thickness: 1 13/16" Weight: 23 lbs/sf			

Metric Size		Actual Size	Weight
297mm x 597mm x 32mm		11 3/4" x 23 1/2" x 1 1/4"	15 lbs/sf
597mm x 597mm x 32mm		23 1/2" x 23 1/2" x 1 1/4"	
597mm x 597mm x 57mm		23 1/2" x 23 1/2" x 2 1/4"	22 lbs/sf
Special Size Paver: 32 lbs/sf			
Roof Ballast Application: 2 1/4" thickness			
908mm x 908mm x 57mm		35 3/4" x 35 3/4" x 2 1/4"	32 lbs/sf
Stocked Finish: Diamond Stocked Color: Natural			
Pedestrian Urban Application: 2 1/2" thickness			
908mm x 908mm x 63mm		35 3/4" x 35 3/4" x 2 1/2"	32 lbs/sf
Architectural Finish: Tudor® Finish Standard colors and custom colors are available on special order.			
Relative Strengths at 2" thickness			
Compressive:	8,500 psi		
Absorption:	less than 5%		
Flexural:	1,100 psi		

Hanover® Roof and Plaza Pavers | Standard Colors with Tudor® Finish

Hanover's eight standard colors are shown below. Additional custom blending is available on special order when quantities permit. Please refer to the chart above for sizes, thicknesses and weights.



*Natural color Prest® Pavers have a tendency to vary in color within any given shipment. It may vary in shade from gray/buff to light gray, and even to a darker gray. This variance should be expected and considered normal for the Natural color Prest® Pavers.

Please Note: For stability of color, sealing is recommended. Two types of sealers are suggested - Hanover® Intensifying Sealer or Hanover® Natural Sealer.