

Agenda

PLANNING COMMISSION REGULAR DOCKET TUESDAY, June 11, 2013 – 5:30 P.M. CITY COUNCIL CHAMBERS

I. **PLANNING COMMISSION GATHERING** -- 4:30 P.M. (Held in the NDS Conference Room)
Commissioners gather to communicate with staff. (4:30-5:30 P.M.)

II. **REGULAR MEETING** -- 5:30 P.M.

A. COMMISSIONERS' REPORTS

B. UNIVERSITY REPORT

C. CHAIR'S REPORT

D. DEPARTMENT OF NDS

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - April 9, 2013 – Regular meeting
2. Minutes - May 14, 2013 – Pre meeting
3. Minutes - May 14, 2013 – Regular meeting

III. **JOINT PUBLIC HEARINGS (Beginning at 6:00 P.M.)**

G. JOINT PUBLIC HEARINGS

1. **ZT-13-04-08 West Main Street Requirements** - An ordinance to amend and reordain §34-621 and §34-641 Density of the Zoning Ordinance of the Code of the City of Charlottesville, 1990, as amended, to clarify that exclusively multi-family residential buildings are not permitted in the West Main North and West Main South Zoning Districts. **Report prepared by Ebony Walden and Brian Haluska, Neighborhood Planners. Presented by Brian Haluska.**

IV. **REGULAR AGENDA (continued)**

H. **Critical Slope Waiver Requests**

- a. Seminole Square Expansion
- b. Pepsi Cola Plan Expansion

I. **FUTURE MEETING SCHEDULE**

Date and Time	Type	Items
Tuesday June 25, 2013 – 5:00 PM	Work Session	Joint City County Planning Commission meeting – LRTP Comp Plan Performance Measures PUD Ordinance Review
Tuesday, July 9, 2013 – 4:30 PM	Pre- Meeting	
Tuesday, July 9, 2013 – 5:30 PM	Regular Meeting	Tonsler Park Master Plan Meadowbrook Flats 1138 Emmet Street – Critical Slopes, Entrance Corridor Review <u>Minutes</u> – May 28, 2013 – Work Session

Anticipated Items on Future Agendas

- LID Guideline Review
- Zoning Text Amendment - PUD ordinance updates
- Subdivision – 803 Rugby Road
- Rezoning – Lyman Street
- Special Use Permit - 925 East Market Street
- Entrance Corridor - 5th Street Station

PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.

PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.

LIST OF SITE PLANS APPROVED ADMINISTRATIVELY
5/1/2013 TO 5/31/2013

None

LIST OF SUBDIVISIONS APPROVED ADMINISTRATIVELY
5/1/2013 TO 5/31/2013

1. TMP 61- 81 & 82 Boundary Adjustment
 912 Nassau Street Old Albemarle Surveying, LLC
 File No. 1508 Final

 Final Signed: 5/14/13
 Signed by: Ebony Walden & Genevieve Keller
2. TMP 17-18 Four Residential Lots
 Maury Avenue Commonwealth Land Surveying
 File No. 1509 Final

 Final Signed: 5/24/13
 Signed by: Ebony Walden & Genevieve Keller
3. TMP 16-102 One Residential Lot
 1830 Jefferson Park Avenue Roger Ray & Associates Inc.
 File No. 1510 Final

 Final Signed: 5/29/13
 Signed by: Ebony Walden & Genevieve Keller

MINUTES
CITY OF CHARLOTTESVILLE
PLANNING COMMISSION
TUESDAY, April 9, 2013 -- 5:30 P.M.
CITY COUNCIL CHAMBERS

Commissioners Present:

Ms. Genevieve Keller (Chairperson)
Mr. Dan Rosensweig
Ms. Natasha Sienitsky
Mr. Michael Osteen
Mr. Kurt Keesecker
Mr. John Santoski

Mr. David Neuman, Ex-officio, UVA Office of the Architect

Not Present

Ms. Lisa Green

Staff Present:

Ms. Missy Creasy, AICP, Planning Manager
Mr. Michael Smith, Planner
Mr. Willy Thompson, AICP, Planner
Ms. Kathy McHugh, Housing Specialist

Also Present

Mr. Richard Harris, Deputy City Attorney

II. REGULAR MEETING

Ms. Keller convened the meeting and stated that the Critical Slopes items a and b have been deferred by the applicant and will not be heard this evening.

A. COMMISSIONERS' REPORT

- Ms. Sienitsky-nothing to report
- Mr. Osteen-nothing to report due to being out of town.
- Mr. Rosensweig- attended the HAC meeting and outlined items from their agenda.
- Mr. Keesecker-plans to attend the PACC Tech meeting on April 18th.
- Mr. Santoski-nothing to report.

B. UNIVERSITY REPORT

Mr. Neuman announced Thomas Jefferson's birthday and the associated activities. Founder's Day will be celebrated with a tree planting dedicated to John Casteen.

C. CHAIR'S REPORT –Ms. Keller announced that Natasha Sienitsky has agreed to be on the CHART Committee. She attended the TJPDC meeting and outlined the land use map project in Fluvanna as well as highlighting information shared at the PLACE Task Force meeting.

D. DEPARTMENT OF NDS/STAFF REPORTS/WORK PLAN

Ms. Creasy announced that there will be a work session on April 23 if it is needed.

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

There were none.

F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - February 12, 2013 – Regular meeting
2. Minutes - February 26, 2013 – Work Session
3. Minutes – March 5, 2013 – Work Session
4. Minutes – March 12, 2013 – Regular meeting
5. Minutes - March 12, 2013 – Pre meeting
6. Minutes – March 12, 2013 – Work Session
7. Subdivision – Burnett Commons Phase 2 (preliminary and final)
8. Zoning Text Initiation – Allowances in West Main North & South

Mr. Rosensweig recused himself from item 7.

Mr. Osteen made a motion to approve the consent agenda.

Ms. Sienitsky seconded the motion.

All in favor.

Motion Carries

G. Zoning Text Review

- a. Surface Parking Lots and Parking Garages

Ms. Creasy provided the staff report.

The Commission feels that good tools are already in place with the zoning ordinance.

Mr. Rosensweig made a motion to forward this report to Council.

Mr. Santoski seconded the motion.

Sienitsky	yes
Osteen	yes
Rosensweig	yes
Keesecker	yes
Santoski	yes
Keller	yes

Motion carries

1. H. JOINT PUBLIC HEARINGS

1. **ZT-13-02-03 - Affordable Dwelling Unit Amendment** - An ordinance to amend and reordain §34-12 of the Zoning Ordinance of the Code of the City of Charlottesville, 1990, as amended, to provide reference to the correct Consumer Price Index used to calculate contributions to the City's affordable housing fund. **Report prepared by Kathy McHugh, Housing Specialist.**

Ms. McHugh provided the staff report.

There were no questions from Commissioners.

Ms. Keller opened the public hearing. With no one to speak, she closed the public hearing.

Mr. Rosensweig made a motion to recommend approval of the Affordable Dwelling Unit Amendment.

Mr. Sienitsky seconded the motion.

Ms. Creasy called the question.

Sienitsky	Yes
Osteen	Yes
Rosensweig	Yes
Keesecker	Yes
Santoski	Yes
Keller	Yes

Motion Carries.

- 2. CP-13-03-06: (Comprehensive Plan)** - The Charlottesville Planning Commission will hold a public hearing on the proposed 2013 Comprehensive Plan for the City of Charlottesville. The purpose of the Comprehensive Plan is to provide a guide, with long-range recommendations, for the coordinated and harmonious development of property within the City. Elements that are addressed in the proposed Plan include Community Values and Characteristics, Land Use, Community Facilities, Economic Sustainability, Environment, Housing, Transportation, Urban Design and Historic Preservation. The Plan also identifies Community Wide Issues; Goals and Objectives, and recommended actions for implementation. Following the public hearing the Planning Commission may approve, amend and approve or disapprove the proposed Comprehensive Plan. If approved, the Commission will recommend the Plan to the Charlottesville City Council. **Report prepared by Missy Creasy, Planning Manager**

Ms. Creasy provided the staff report.

Ms. Keller opened the public hearing.

Neal Williamson, Free enterprise Forum, feels that a great deal of work has been put into the plan.

Travis Patiella, Southern Environmental Law Center, thanked staff and feels the plan has improved throughout the process.

Bill Emory, 1604 East Market St, would like the Woolen Mills narrative to include revised wording.

Meredith Richards, 1621 Trailridge Rd, gave a brief description of what the plan has done for the rail system, the great revenue Charlottesville has created for the rail system, and how Charlottesville as a whole is improved by adding these stops to their schedule.

Ms. Keller closed the public hearing.

Ms. Creasy stated that a different proposal was presented at the March 26 work session on the Woolen Mills narrative and the neighborhood would like some things added.

Mr. Rosensweig is really blown away with all of the work that was put into the comp plan. He is good with most of the changes. He would like everyone to be mindful and keep the plan positive and inspirational.

Ms. Sienitsky thanked staff and the Commissioners for the great job they have done. She is very satisfied and is comfortable with the changes.

Mr. Osteen is comfortable and complimented staff on a job well done.

Mr. Keesecker is very pleased and appreciates the changes. He has really learned a lot from the community during this process.

Mr. Santoski is concerned that the public doesn't realize how much work goes into this process. He feels they would appreciate it more if they knew. He likes the changes and the links that were added.

Ms. Keller stated that comments will be incorporated and updated on the web page.

Mr. Santoski asked if the navigation process through the document would be easy.

Ms. Creasy stated that links will be provided and the plan will be accessible.

There was a brief discussion about one section of the housing chapter and the wording was resolved.

The Commission is okay with adding the comments Woolen Mills presented.

Mr. Santoski feels that affordable housing is not always low income housing and that needs to be considered.

Ms. Keller was concerned about school statistics for the next five years.

Ms. Creasy stated that the plan does not get into those issues, but some links and statistics are provided. She stated that we do coordinate with the schools.

Ms. Galvin asked if the comp plan is the guide used for review of a PUD application.

Ms. Creasy stated that there is a section in the plan that discusses PUDs and it is one factor for consideration.

Mr. Santoski feels that the Cherry and Ridge project could have a lot of low income households and the impact that has on the schools should be considered.

Ms. Keller stated that data would come from the schools, not the comp plan. You will be able to find some guidance in the plan, but we don't have the background to make judgments on school decisions.

Mr. Rosensweig would like to continue to see references to housing and the impacts on schools.

Mr. Norris wanted to know how integrated housing could be? He feels we need the ability to communicate with the community.

Mr. Emory provided clarification on changes the Woolen Mills neighborhood would like and the changes to the introductory sentence.

Ms. Sienitsky noted that changing the first sentence would be fine. She doesn't like changing the word unique to historic.

Mr. Emory suggested the sentence reading as follows; Unique historic residential community.

Ms. Keller would like to see 6.7 added to the urban design section dedicating parts of the woolen mills conservation neighborhood.

Mark Cabott stated that he likes the changes and commends staff on a job well done.

Summary

The Commissioners feel that staff has done a great job with the Comprehensive plan. They have suggested few changes, but feel they could recommend this plan to City Council.

Mr. Rosensweig made a motion to recommend approval of the resolution for adoption of the 2013 Comprehensive Plan to City Council.

Mr. Keesecker seconded the motion.

Ms. Creasy called the question.

Sienitsky	yes
Osteen	yes
Rosensweig	yes
Keesecker	yes
Santoski	yes
Keller	yes

Motion Carries.

- 3. SP-13-02-04 –(600 McIntire Road)** An application for a special use permit for a family day home of up to 12 children at 600 McIntire Road. The property is further identified on City Real Property Tax Map 34 Parcel 55 having frontage on McIntire Road. The site is zoned R1-S (Residential) and is approximately 0.278 acres or 12,110 square feet. The Land Use Plan generally calls for Single Family. **Report prepared by Brian Haluska, Neighborhood Planner. Presented by Mike Smith.**

Mr. Smith provided the staff report.

Mr. Rosensweig asked what would be the maximum amount of vehicle trips generated daily. He also inquired about the hours of operation. Mr. Smith provided this information.

Ms. Keller asked if the applicant would be in violation if they operated past 6pm and Mr. Smith stated that they would be if there were more than 5 children present.

The applicant presented the application noting that she did not need an employee at this time but has prepared for that in the future. She stated that most of her students actually walk.

There was discussion concerning the hours of operation, number of students who walk and signage on site.

Ms. Sienitsky asked where people park if the on site spaces are occupied.

The applicant stated that they would park across the street or near the stop sign.

Ms. Keller opened the public hearing.

Mark Cabot, President of the North Downtown Association stated that the neighborhood strongly supports the applicant and it would be beneficial to the neighborhood. He would just like to know what happens when the property is sold. He feels that no sign and hours of operation should be restricted.

With no one left to speak Ms. Keller closed the public hearing.

Ms. Sienitsky's main concern is with safety and parking at the intersection. There appears to be adequate parking.

Ms. Creasy stated that a traffic calming request comes from the neighborhood, but some wording could be added to have it looked at. The Commission discussed traffic concerns in the area.

Mr. Osteen feels this would be appropriate and feels really good about it.

Mr. Santoski is very comfortable with the application.

Ms. Keller would like to see a sign to identify the location.

Mr. Rosensweig said, I move to recommend approval of this application for special use permit in the R-1S zone at 600 McIntire Road to permit the operation of a family day home with the conditions listed in the staff report which is as follows:

1. Hours of operation are limited from 8am-7pm Monday-Friday.”

Mr. Keesecker seconded the motion.

Ms. Creasy called the question.

Sienitsky	Yes
Osteen	Yes
Rosensweig	Yes
Keesecker	Yes
Santoski	Yes
Keller	Yes

Motion carries.

Mr. Rosensweig made a second motion to communicate to Council the traffic calming process be undertaken following completion of the roadway projects.

Mr. Santoski seconded the motion.

Sienitsky	Yes
Osteen	Yes
Rosensweig	Yes
Keesecker	Yes
Santoski	Yes
Keller	Yes

4. **ZM-12-04-06 (Stonehenge PUD):** A petition to rezone the property located off of Stonehenge Avenue from R-1S Residential District to Planned Unit Development (PUD) with proffers. Proffers include pedestrian connections to neighboring streets, a unified streetscape throughout

the development, a tree replacement plan, and a landscaped buffer on the northern edge of the property. The property is further identified as Tax Map 60 Parcels 81.8, 91, 120, 120A-C, 121, 122.4-7 having road frontage on Stonehenge Avenue and Quarry Road containing approximately 240,887 square feet of land or 5.53 acres. The PUD zoning allows an applicant to present a proposal independent of established zoning categories for consideration by the governing body. This proposal consists of approximately 26 single family detached dwellings with open space and a density of no greater than 4.7 DUA. The general uses called for in the Land Use Plan of the Comprehensive Plan are for Single-Family Residential. **Report prepared by Brian Haluska, Neighborhood Planner. Presented by Willy Thompson**

Mr. Thompson provided the staff report.

Ms. Keller stated that the PUD and Critical slopes applications will be considered at the same time.

Ms. Creasy stated that City Council suggested that this be brought back to the Planning Commission for further discussion based on the changes presented.

Ms. Keller called for questions from the Commissioners; with no one having questions she opened the public hearing.

Public Hearing

Mr. Steve Miller, 918 Druid Ave, feels that the new drawings are better. He would like to see some language added about the path that could dump water onto his property.

Ms. Marla Zeigler, she feels the applicant has done a much better job.

Michael Henniker, 1006 Druid Ave, is in favor of the new plan but feels he can't really comment on the engineering side.

Martha Dix, 914 Druid Ave, would like to know if the stream will remain in the culvert.

Ms. Keller closed the public hearing.

Discussion

Mr. Keesecker stated that he met with the developers as a committee appointee. He felt the meeting went well and noted the improved streetscape that wouldn't be dominated by cars. He feels there may be some details that may need to be worked out though when looking at the technical aspects.

Mr. Osteen feels the applicant has responded to some of the larger concerns and he could support the project now.

Mr. Santoski is very surprise to see what a great job the applicant has done. He feels this is the best we will see done to this project. He is really not concerned with the Druid connection.

Mr. Rosensweig is still struggling. He doesn't see any consistency with the housing portion of the comp plan.

Ms. Keller is in agreement with Mr. Rosensweig. She appreciates the applicant taking time to redo the plan but does not feel it is harmonious with other houses in Belmont.

The Commission discussed some of the details of the project prior to the applicant's report.

Andy Baldwin, the applicant, stated that they took the recommendations from the previous meeting and went back to the drawing board.

Mr. Osteen asked if the applicant had some architectural designs of the houses and asked for the price range of the homes.

The applicant stated that he has not really made a definite decision, but he is talking with some small custom design home builders now. The applicant stated that the houses will be in the high 200,000 to low 300,000 range.

Mr. Osteen asked if there would be some affordable housing units.

The applicant stated with only 26 units it would be hard to offer affordable units.

Ms. Galvin asked questions concerning the parking areas and requirements for the site. The applicant provided responses.

Mr. Rosensweig feels that the project has come a long way. He feels the connection on Stonehenge makes it a much better project. If affordable housing was included with confirmed design elements, it would be a great project.

Mr. Santoski made a motion to recommend denial of this application to rezone property from R-1S to PUD on the basis that the proposal would not serve the interests of the general public Welfare and good zoning practice.

Mr. Rosensweig seconded the motion.

Ms. Creasy called the question.

Sienitsky	No
Osteen	No
Rosensweig	Yes
Keesecker	No
Santoski	Yes
Keller	Yes

Motion is denied. (It was later noted that since the vote was tie that no decision was made. The original motion made at the previous meeting stands)

5. **SUB-13-03-07 – Sidewalk Provisions**- An ordinance to amend and reordain §29-182 of the Subdivision Ordinance of the Code of the City of Charlottesville, 1990, as amended, to provide the option of contributing to a sidewalk fund rather than dedicating land and constructing sidewalks for residential lots on existing streets. **Report prepared by Missy Creasy, Planning Manager**

Ms. Creasy provided the staff report.

Ms. Keller opened the public hearing with no one to speak she closed the public hearing.

The Commissioners feel like this is a reasonable request. They expressed concern with the payment but it was noted by staff that this would only come into effect for new single and two family residential units.

Mr. Santoski made a motion to recommend approval of the ordinance to amend and reordain §29-182 of the Subdivision Ordinance of the Code of the City of Charlottesville, 1990, as amended, to provide the option of contributing to a sidewalk fund rather than dedicating land and constructing sidewalks for Residential lots on existing streets as outlined by House Bill 1724.

Ms. Sienitsky seconded the motion

Sienitsky	Yes
Osteen	No
Rosensweig	No
Keesecker	Yes
Santoski	Yes
Keller	Yes

Motion Carries.

Ms. Sienitsky made a motion to adjourn to the second Tuesday in May.
Adjourned at 10:12pm.

**CITY OF CHARLOTTESVILLE
PLANNING COMMISSION PRE MEETING
TUESDAY, May 14, 2013 -- 4:30 P.M.
NDS CONFERENCE ROOM**

Planning Commissioners present

Ms. Genevieve Keller
Mr. Dan Rosensweig
Mr. Kurt Keesecker
Mr. John Santoski
Mr. Mike Osteen
Ms. Lisa Green

Staff Present:

Ms. Missy Creasy, Planning Manager
Mr. Willy Thompson, Neighborhood Planner
Ms. Ebony Walden, Neighborhood Planner
Mr. Brian Haluska, Neighborhood Planner
Mr. Jim Herndon, Planner and ADA Coordinator
Mr. Richard Harris, Deputy City Attorney

The Commission began to gather at 4:30 and was called to order at 5:00pm.

Ms. Keller reviewed the agenda. Mr. Herndon provided an overview of the ADA Transition report noting the addition of information concerning signalized intersections. Mr. Keesecker requested that a map be added to the report showing the locations explained in the narrative. It was asked that Mr. Herndon explain the curb ramping specification priority. Mr. Osteen asked for clarity on the information contained in the cost tables.

Ms. Walden provided an overview of the Carlton project and answered a question concerning off site improvement allowances.

Mr. Thompson provided an overview of the Garrett Street application.

The discussion adjourned at 5:25pm.

MINUTES
CITY OF CHARLOTTESVILLE
PLANNING COMMISSION
TUESDAY, May 14, 2013 -- 5:30 P.M.
CITY COUNCIL CHAMBERS

Commissioners Present:

Ms. Genevieve Keller (Chairperson)
Ms. Natasha Sienitsky
Ms. Lisa Green
Mr. Kurt Keesecker
Mr. John Santoski
Mr. Michael Osteen
Mr. Dan Rosensweig
Mr. David Neuman, Ex-officio, UVA Office of the Architect

Staff Present:

Ms. Missy Creasy, AICP, Planning Manager
Mr. Willy Thompson, AICP, Neighborhood Planner
Ms. Ebony Walden, AICP, Neighborhood Planner

Also Present

Mr. Richard Harris, Deputy City Attorney

Ms. Keller convened the meeting at 5:30.

A. COMMISSIONERS' REPORT

- Mr. Santoski-Nothing to report
- Mr. Keesecker- PACC Tech met in April with presentations on the Envision Sustainability Rating system at the University and development activities for the City, County and UVA.
- Mr. Rosensweig noted that the HAC will meet on May 15, 2013.
- Mr. Osteen participated in the BAR and Tree Commission meetings this month. He highlighted the collaboration underway to gain placement of trees along Water Street Extended as part of the City Walk project.
- Ms. Green –MPO TECH will meet May 21, 2013.

B. UNIVERSITY REPORT

Mr. Newman stated that PACC meets this Thursday with a report on the Envision Process and a report from Weldon Cooper on recent demographic estimates. University Commencement will take place this weekend.

C. CHAIR'S REPORT

Ms. Keller noted that the Comprehensive Plan will be heard by Council on May 20. She also provided updates of the work of the PLACE committee and upcoming meetings associated with the SIA project.

D. DEPARTMENT OF NDS/STAFF REPORTS/WORK PLAN

Ms. Creasy announced that two commissioner terms would end in August and those are currently advertised. She outlined future work session topics and noted that with Mr. Thompson leaving and the end of the Livability grant, there would be neighborhood planner staff changes occurring in the next few weeks.

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

There were none.

F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes - April 9, 2013 – Pre meeting
2. Minutes – March 26, 2013 – Work Session

Mr. Santoski made a motion to approve the consent agenda.

Mr. Keesecker seconded the motion.

All in favor

Motion Carries

Meadowcreek Stream Valley Master Plan Report

Brian Daly, Director of Parks and Recreation introduced the presentation and turned the time to Chris Gensic to present.

Commissioners provided the following feedback:

- Look for ways to reduce costs for garden plots for low income populations.
- Formalized trail connections where needed.

No formal action was required.

III. JOINT PUBLIC HEARINGS

1. ADA Transition Plan: The Charlottesville Planning Commission will hold a joint public hearing on the proposed ADA Transition Plan for the City of Charlottesville. The purpose of the ADA Transition Plan is to provide a guide to assure that all City facilities and services are accessible to persons with disabilities. The Plan identifies specific structural and programmatic changes that need to be implemented to assure equitable access for all City citizens and guests. Following the public hearing the Planning Commission may approve, amend and approve or disapprove the proposed ADA Transition Plan. **Report prepared by James Herndon, Planner.**

Mr. Herndon presented the staff report. Update of the plan began in January 2012. The plan was compiled over many meetings and cooperative efforts. The Plan is being proposed as part of the current Comprehensive Plan update.

Mr. Keesecker asked if maps will be included.

Mr. Herndon stated all changes requested at the pre-meeting, including maps and cost estimates, will be addressed.

Ms. Green had questions regarding pedestrian crossings.

Mr. Herndon stated there is an online process that can accommodate complaints and additional language will be added to the plan.

Ms. Keller asked what consideration was given to people using walkers.

Mr. Herndon responded that review was done concerning people with varying mobility.

Mr. Santoski asked if public housing will incorporate universal design and it was noted that public housing does not fall under the City's transition plan. CRHA has their own requirements.

Mr. Keesecker asked regarding City development standards and those areas needing creative solutions, will there be ways to improve these areas? It was noted that this is possible.

Mr. Santoski noted that at the pre-meeting there was conversation about overgrowth and utility poles blocking access and he felt this should be addressed. These action items are included in the Plan

Ms. Keller opened the public hearing. No one present spoke so she closed the public hearing.

Mr. Rosensweig is concerned about the standard adopted from VDOT about dual ramps. He is worried that this makes the intersection larger and more unsafe. He would like to accommodate movability without sacrificing safety. He would like to charge staff with the task of balancing this scenario.

Mr. Herndon noted that a developer should consider doing two ramps and even though it is more expensive, less right-of-way would be used. Staff could write something that says right-of-way should be limited as much as possible and one way to do this is to use two ramps instead of one.

The Commission asked Mr. Herndon to draft some language to address concerns noted for comment.

Ms. Green provided a thank you for the comprehensive and well-done document. She would like to see mapping and the timing of pedestrian crossings addressed. For the events on the downtown mall, too often, accessible parking is blocked off and should be a priority. She would like to see phone applications that allow people to file complaints.

Mr. Rosensweig made a motion to recommend approval of the proposed ADA Transition Plan with the following recommendations:

- **An additional section be added concerning inspection of electronic pedestrian signal devices and their timing.**
- **Add language to encourage developers to minimize the size of intersections where diagonal curb ramps are provided, as much as possible.**
- **Promote the on-line reporting of ADA issues and investigate the development of a mobile app.**
- **Review the Facilities Cost Table.**
- **Add a Graphic (Map) of the location of corners without curb ramps in the Plan**
- **Provide Language for examine location of Drop-Off Points**
- **Add Language addressing people using walkers and canes**

Mr. Keesecker seconded the motion

With no further discussion Ms. Creasy called the question.

Sienitsky	Yes
Green	Yes
Keesecker	Yes
Santoski	Yes
Keller	Yes
Osteen	Yes
Rosensweig	Yes

The motion carries.

2. **SP-13-02-05 – (1335 Carlton Ave):** An application for a special use permit to allow for residential use (up to 21 dwelling units per acre) in the Manufacturing – Industrial zoning district at the property located at 1335 Carlton Avenue. The property is further identified on City Real Property Tax Map 56 Parcels 43, 43.1 and 43.2 with frontage on Carlton Avenue. The site is zoned M-I (Manufacturing – Industrial) and is approximately 4.855 acres or 211,484 square feet. The Land Use Plan generally calls for Industrial. **Report prepared by Brian Haluska, Neighborhood Planner. Presented by Ebony Walden.**

Ms. Walden presented the staff report.

Ms. Keller asked what considerations were given to the traffic concerns.

Ms. Walden noted that traffic was a concern, but there was not a recommendation that seemed appropriate for this project. Such recommendations typically include widening the road or adding a stoplight and neither is appropriate in this case.

Mr. Rosensweig and Ms. Keller made disclosures and stated that they can remain impartial.

Ms. Sienitsky asked staff to comment on the traffic comparisons between the current use and proposed use and this information was provided.

Ms. Green asked if there is an age restriction for units on this site and that is not being provided.

Questions about transit and cut through traffic, potential road widening, sidewalk connections, lighting, landscaping and open space, and type of housing mix proposed were also asked and answered.

Mr. Santoski asked about the loss of M-I land. How important is that loss? It was pointed out that the Comprehensive Plan designates these areas for more diverse uses such as the kind being proposed and part of the project is currently underway with support from the City.

Staff provided process clarifications and Ms. Keller asked for the applicant's presentation.

Chris Murray made a presentation about the PACE program, the funding mechanisms, parking expectations, and neighborhood communication.

Scott Collins provided details on the site. They will be widening Carleton Road, which will allow for intermittent parking. A lot of the traffic will be absorbed by JAUNT bus travel. Landscaping is shown on the site plan. He presented an updated version of the site plan at that meeting. Regarding lighting, the applicant recognizes the elevations and that the buildings will help shield the parking lot lighting.

Ms. Green asked questions concerning the parking calculations attempting to gain clarification on the reason for discrepancies throughout the materials. It was noted that 20 additional spaces are provided for the PACE center and no more than the requirement will be constructed for the housing.

Questions were asked of the applicant in reference to the elevations of the buildings and site, pedestrian connections, massing and scale, lighting, open space, and landscaping.

Ms. Keller opened the public hearing.

Bill Emory noted he was not informed of the site plan conference. Lighting is a concern for the neighborhood and he wants to make sure it is addressed properly on this site.

With no other speakers, Ms. Keller closed the public hearing.

Ms. Keller asked about the timetable for the tax credit application. Mr. Murray noted that they cannot make application unless they have an approved SUP and plan to apply as soon as possible if the permit is received.

Ms. Smith asked about the breakdown of affordable housing on the site which led to additional discussion concerning the affordable housing planning for this site. The unit mix will depend on funding availability.

There was discussion of deferring the application to allow for additional information to address impacts this development may have however the applicant would like to continue forward as there is a funding application due on June 1st.

Ms. Walden noted that the Commission has identified the issues and potential conditions for projects in the past. The issues regarding unit mix and site layout cannot be answered in the next month so deferring would not be beneficial. She pointed out the standards of review and stated that the Commission should craft the conditions they believe will offset the impacts.

Some Commissioners expressed concern but moved forward to identifying the potential impacts of the development.

Mr. Keesecker noted that considering conformity to the Comprehensive Plan, the development is not taking advantage of connectivity and should have more front doors and connections to the open space. The community building should be more integrated to the site.

Mr. Santoski noted that the lighting with the back of the building could be an issue and perhaps more trees could be planted. He expressed concern with the Franklin intersection and would like to see it improved.

Mr. Rosensweig plans to make some general comments to Council independent of the motion.

Ms. Green agreed with increased interconnectivity and appropriate lighting.

Ms. Sienitsky supports the height condition, limiting the parking to the minimum requirements, connectivity and lighting. She noted there may be consideration for an affordable housing condition.

Ms. Keller asked if they can include an affordable housing condition. Mr. Harris noted that is already part of the project and the standard of review should be followed.

Ms. Keller summarized the list of conditions.

Mr. Rosensweig noted that the site plan is not in the SUP purview. He moved to recommend approval per motion with following conditions:

- 1. The maximum height of buildings on the property shall not exceed 50 feet**
- 2. A minimum of 15% affordable housing as defined by residents earning up to 60% of median income.**
- 3. Provision of an entrance feature to all buildings that front on Carlton**
- 4. No more parking than required by city code**
- 5. Full cut off lighting**
- 6. Work with CAT for the inclusion of a bus stop/shelter if deemed feasible or appropriate.**
- 7. Retain trees greater than 6" in caliper in open space area on east side of site.**
- 8. Provide pedestrian linkages between buildings and open space on site and the neighborhood.**

Ms. Sienitsky seconded the motion.

Following discussion, the motion was amended to include:

8. Provide pedestrian linkage between buildings and open space on site and the neighborhood.

With no further discussion Ms. Creasy called the question.

Sienitsky Yes

Green	Yes
Keesecker	No
Santoski	Yes
Keller	Yes
Osteen	Yes
Rosensweig	Yes

The motion carries.

Ms. Keller is very disappointed that the Planning Commission has just now seen this application and that there was not more guidance in determining the conditions.

Mr. Rosensweig also wanted the following general comments and suggestions to be forwarded to City Council regarding traffic and circulation patterns in this neighborhood. He recommended that City Council look at traffic patterns in the overall area and find areas for improvements, including the Franklin intersection and the potential to one way Franklin. He also suggested reincorporating parking along Carleton.

Mr. Keesecker noted there's not a mechanism to handle this site in the same way as a PUD. This process let us down.

- 1. Closing of a portion of Garrett Street:** A petition to close a dead end portion of Garrett Street for a distance of approximately 100 feet long adjacent to 204 Ridge Street including paved and unpaved areas, sidewalk and stairs leading to Ridge Street. The portion of this street is located adjacent to City Real Estate Tax Map 28 Parcel 143. **Report prepared by Willy Thompson, Neighborhood Planner**

Mr. Thompson presented the staff report and provided updates on questions asked since the report was completed.

Ms. Green asked if we have ever closed a roadway due to crime reports. No one was aware of a similar situation.

Mr. Santoski asked why the City is not maintaining this area better with this number of concerns.

Mr. Norris asked what would happen to the steps if the street was closed and it was noted the applicant would then own the area and could close them. He also asked if the police had reviewed the site for CPTED issues and it was noted that Mr. Finkle reviewed the site and had no further recommendations.

Leah Watson, applicant and property owner, provided a history of her ownership of the house. She was not aware of the activities which were occurring on this property at the time and found out later from the previous owner that there had been concerns. She is only interested in safety, not in increasing the size of her lot. Ms. Watson provided information on the current parking situation and that the area is used for a turn around for those who get lost. She understands the need for connectivity but noted that there are no crosswalks at the top of the steps and it is only a few extra steps to reach Monticello or South Street to access downtown. She provided updates to the crime and calls for service data provided as part of the application.

Mr. Norris asked what physical changes to the site she would make if the closing occurred. Ms. Watson noted that a gate could be placed across the steps and fencing on Garrett Street.

Ms. Keller opened the public hearing

Lawrence Keys, 400 Oakmont Street, asked how far people would need to travel if this portion of the street were closed.

Ms. Keller closed the public hearing.

Mr. Thompson noted that there would be no change to the Oakmont Street area.

Ms. Keller noted her concern for the applicant but felt that the street closing would be premature. Ms. Sienitsky agreed that it would be wise to wait for the outcome of the SIA. It is hoped those results will be available over the summer. Ms. Keller noted that law enforcement and maintenance can address this concern and the pedestrian connection should remain. Commissioners continued to provide suggestions to improve the area.

Ms. Sienitsky made a motion to recommend deferral of this application

Mr. Osteen seconded.

With no further discussion Ms. Creasy called the question.

Sienitsky	Yes
Green	Yes
Keesecker	No
Santoski	Yes
Keller	No
Osteen	Yes
Rosensweig	Yes

The motion carries.

The meeting was adjourned at 9:58 pm.

**CITY OF CHARLOTTESVILLE
NEIGHBORHOOD DEVELOPMENT SERVICES**



MEMORANDUM

To: Planning Commission
Missy Creasy AICP, Planning Manager
From: Ebony Walden AICP, Neighborhood Planner
Brian Haluska AICP, Neighborhood Planner
Date: May 7, 2013
Re: West Main Density Zoning Text Amendment

PROBLEM

Upon reviewing the code for the West Main North District Corridor with a potential developer, staff found an inconsistency in the density regulations in this section. The matrix in 34-796 notes that multifamily developments in this district are required to be mixed use. Similarly 34-619 states that there shall be no ground floor residential uses fronting on West Main Street. Both of these regulations prohibit any solely residential development from occurring in this district. However, the density regulations in 34-621 puts a 43 (DUA) dwelling unit per acre cap on mixed use development while allowing solely residential development of up to 200 DUA by special permit.

The West Main South District Corridor regulations are similar in wording and also include a density provision for “other residential development.” This is obviously a mistake in the wording since the only residential density allowed would be in a mixed use project. Thus staff is recommending changes to both the West Main Street North and South sections which reflect the intent of the ordinance.

Staff is aware that there will be a study done of West Main Street in the near future which could significantly change the zoning regulations in both the north and south districts. That process could take up to a year to study and enact zoning changes. This change is not an attempt to revise the zoning regulations, but to make sure the regulations are clear and meet the original intent of the ordinance. In talking with the Director who was here at the time of the zoning changes and reviewing previous documents, staff believes that the original intent was to allow a mixed use building to have 43 DUA by-right and up to 200 DUA per acre by Special Use Permit in WMN and 240 DUA in WMS. The purpose and intent the code section relating “other residential development,” is unclear and not consistent with the regulation in the matrix or the additional regulations prohibiting ground floor residential in both of these zones.

OBJECTIVE

To clarify the language in the code so that it is clear what density is allowed by right and what is allowed by special use permit in the West Main North and South Districts for a mixed use development.

The following code section is coming forward for consideration:

Draft Code Language

West Main North - Sec. 34-621. - Density.

- (a) ~~Mixed use. For a mixed use building or development, residential~~Residential density shall not exceed forty-three (43) DUA; **however, up to two hundred (200) DUA may be allowed by special use permit.**

- (b) ~~Other residential development. Residential density shall not exceed twenty one (21) DUA; however, up to two hundred (200) DUA may be allowed by special use permit.~~

(5-19-08(3); 9-15-08(2))

West Main South - Sec. 34-641. - Density.

- (a) ~~Mixed use. For a mixed use building or development, residential~~Residential density shall not exceed forty-three (43) DUA; however, up to two hundred forty (240) DUA may be allowed by special use permit.

- (b) ~~Other residential development. Residential density shall not exceed forty-three (43) DUA.~~

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



**REQUEST FOR A WAIVER:
CRITICAL SLOPES**

PLANNING COMMISSION REGULAR MEETING
DATE OF PLANNING COMMISSION MEETING: June 11, 2013

Project Planner: Michael Smith
Date of Staff Report: May 31, 2013
Applicant: Seminole Square Shopping Center
Applicant's Representative: Scott Collins, Collins Engineering
Current Property Owner: Towers Limited Partnership

Application Information

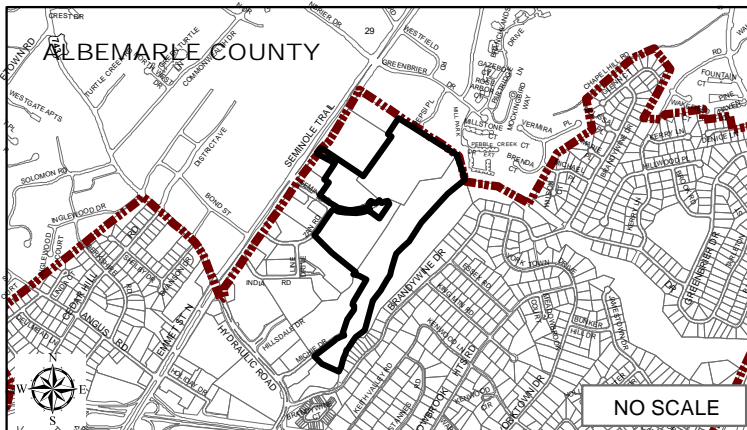
Property Street Address: 129, 151, 159, 167, 123, 175 & 185 Seminole Court
Tax Map/Parcel #: Tax Map 41C, Parcel 3.1
Total Square Footage/Acreage Site: 818, 928 square feet (18.8 acres)
Comprehensive Plan (Land Use Plan) Designation: Commercial
Current Zoning Classification: HW- Highway Corridor
Tax Status: No delinquent taxes

Applicant's Request

Mr. Collins, on behalf of Sequel Investors Limited Partnership, is requesting a waiver from Section 34-1120(b) of the City Code, relating to the protection of critical slopes, to allow for the construction of two, segmented retaining walls, totaling 1180' in length, along the northern portion of the Seminole Square Shopping Center property, containing existing slopes greater than or equal to 25%. Existing critical slopes include 67,953 square feet (1.56 acres) or approximately 8 percent of the property.

The applicant is seeking approval of the waiver request in order to "accommodate space for additional parking and the potential for additional building space that will be lost to the Hillsdale Drive extension."

Vicinity Map



Standard of Review

Purpose and Intent

Per the language stated in Sec 34-1120(b)(1), the “critical slope provisions” are intended to protect topographical features that have a slope in excess of the grade established and other characteristics in the following ordinance for the following reasons and whose disturbance could cause one (1) or more of the following negative impacts:

- a. Erosion affecting the structural integrity of these features.
- b. Stormwater and erosion-related impacts on adjacent properties.
- c. Stormwater and erosion-related impacts to environmentally sensitive areas such as streams and wetlands.
- d. Increased stormwater velocity due to loss of vegetation.
- e. Decreased groundwater recharge due to changes in site hydrology.
- f. Loss of natural or topographical features that contribute substantially to the natural beauty and visual quality of the community such as loss of tree canopy, forested areas and wildlife habitat.

These provisions are intended to direct building locations to terrain more suitable to development and to discourage development on critical slopes for the reasons listed above, and to supplement other regulations and policies regarding encroachment of development into stream buffers and floodplains and protection of public water supplies.

As stated in Sec.34-1120(6)(d), the planning commission shall make a recommendation to city council in accordance with the criteria set forth in this section, and city council may thereafter grant a modification or waiver upon making a finding that:

- (i) The public benefits of allowing disturbance of a critical slope outweigh the public benefits of the undisturbed slope(public benefits include, but are not limited to, stormwater and erosion control that maintains the stability of the property and/or the quality of adjacent or environmentally sensitive areas; groundwater recharge;

- reduced stormwater velocity; minimization of impervious surfaces; and stabilization of otherwise unstable slopes); or
- (ii) Due to unusual size, topography, shape, location, or other unusual physical conditions, or existing development of a property, one (1) or more of these critical slopes provisions would effectively prohibit or unreasonably restrict the use, reuse or redevelopment of such property or would result in significant degradation of the site or adjacent properties.

No modification or waiver granted shall be detrimental to the public health, safety or welfare, detrimental to the orderly development of the area or adjacent properties, or contrary to sound engineering practices.

In granting a modification or waiver, city council may allow the disturbance of a portion of the slope, but may determine that there are some features or areas that cannot be disturbed. These include, but are not limited to:

- (i) Large stands of trees;
- (ii) Rock outcroppings;
- (iii) Slopes greater than 60%.

City council shall consider the potential negative impacts of the disturbance and regrading of critical slopes, and of resulting new slopes and/or retaining walls. City council may impose conditions as it deems necessary to protect the public health, safety or welfare and to insure that development will be consistent with the purpose and intent of these critical slopes provisions. Conditions shall clearly specify the negative impacts that they will mitigate. Conditions may include, but are not limited to:

- (i) Compliance with the "Low Impact Development Standards" found in the City Standards and Design Manual.
- (ii) A limitation on retaining wall height, length, or use;
- (iii) Replacement of trees removed at up to three-to-one ratio;
- (iv) Habitat redevelopment;
- (iv) An increase in storm water detention of up to 10% greater than that required by city development standards;
- (v) Detailed site engineering plans to achieve increased slope stability, ground water recharge, and/or decrease in stormwater surface flow velocity;
- (vi) Limitation of the period of construction disturbance to a specific number of consecutive days;
- (vii) Requirement that reseeded occur in less days than otherwise required by City Code.

Project Review / Analysis

The applicant has provided information in the attached critical slopes waiver application for each item discussed below. The planning commission shall make a recommendation to city council, upon making one or more of the following findings:

*Staff comments are in bold

1. **The public benefits of allowing disturbance of a critical slope outweigh the public benefits of the undisturbed slope (public benefits include, but are not limited to, stormwater and erosion control that maintains the stability of the property and/or the quality of adjacent or environmentally sensitive areas; groundwater recharge; reduced stormwater velocity; minimization of impervious surfaces; and stabilization of otherwise unstable slopes).**

The applicant is utilizing finding #1 as justification for approval of a critical slope waiver, stating that the public benefit of Hillsdale Drive Extended outweighs the impact to critical slopes.

The proposed design for Hillsdale Drive includes significant grading within the existing SWM facility to accommodate the installation and filling operation for the culvert required to provide access across the facility. Installation of the proposed retaining wall(s) will prohibit the grading operation for Hillsdale Drive.

The design of Hillsdale Drive Extended has been with the help, cooperation and direction of Seminole Square whose representatives have served on the Steering Committee for Hillsdale Drive Extended since its inception. In 1990, representatives of Seminole Square and several other businesses in that area approached City and County officials with the Hillsdale Drive concept. The concept was seen as a means to provide better access to local businesses and alternative transportation choices for the community without needing to drive along Route 29. It has been designed as a low speed (25 mph), 2 lane local facility with dedicated left turn lanes and numerous access points serving existing businesses along the corridor. Due to the location (a previously developed commercial corridor) right of way costs were always expected to be high (current estimate is \$16 million). The City agreed to pursue funding for design and construction for the corridor only if the impacted property owners donated necessary right of way for the improvements. Of the 27.37 acres owned by Seminole Square, 1.214 acres of right of way and 0.27 acres of utility easements will be requested for donation.

Applicant's justification for Finding #1

- a. **Erosion affecting the structural integrity of those features.**

The applicant states that although there are signs of erosion on parts of the slope, for the most part, the wooded vegetation is holding the slopes in place. The applicant believes that by installing the retaining wall system, the walls will lock in the fill material and prevent future erosion along the slope. **Staff believes that installing the retaining walls will prevent possible future erosion as the slopes will be structurally stabilized.**

- b. **Stormwater and erosion-related impacts on adjacent properties.**

The applicant states that the existing stormwater management facility (SWM) will not experience a decrease in capacity as a result of installing the retaining walls. **Staff believes an engineering analysis needs to be provided that reflects the applicant's statement. This information should include an outline of assumptions, routing calculations, and any other data associated with this analysis. This analysis should be based on the proposed improvements, in conjunction with the proposed improvements at the Pepsi Bottling Facility and current conditions. If the applicant believes this facility will not experience a decrease in capacity, staff request that stormwater calculations be provided that justify that statement.**

- c. **Stormwater and erosion-related impacts to environmentally sensitive areas such as streams and wetlands.**

The applicant states that no streams or wetlands are proposed to be impacted. **Staff has received verification from the Army Corps of Engineers that no permits are necessary for the work proposed.**

- d. **Increased stormwater velocity due to loss of vegetation.**

The applicant states that increases in stormwater velocity will be mitigated with a proposed rain garden facility. **Staff believes installation of the rain garden can mitigate potential increases in stormwater velocity.**

- e. **Decreased groundwater recharge due to changes in the site hydrology.**

The applicant states that the proposed rain garden and pervious surface material will provide an opportunity for the run-off to drain into the ground before being discharged into the existing SWM facility. **Staff believes installation of the rain garden and pervious surface material can allow for groundwater recharge.**

- f. **Loss of natural topographic features that contribute substantially to the natural beauty and visual quality of the community such as loss of tree canopy, forested areas, and wildlife habitat.**

The applicant has proposed landscaping at the base, between, and on top of the proposed retaining walls. **The existing vegetation is mostly scrub trees. Staff believes the proposed landscaping appropriately mitigates the loss of tree canopy.**

Staff Recommendation

The applicant has yet to provide the following information necessary to review this proposal:

1. An engineered analysis reflecting the applicant's statement that the existing SWM will not see a decrease in capacity.

Staff has requested this information on many occasions and the applicant has chosen not to comply. As a result of the lack of information, the application fails to address the potential negative impact of critical slopes provision “b.”

Staff believes the applicant does not fully meet the criteria for finding #1 and recommends denial of the waiver request. If the waiver request is approved, staff requests that the following condition be included:

1. The City vacate the existing stormwater management easement.

If the critical slope waiver is granted and the easement is not vacated, staff recommends that an access road be constructed as part of the construction of the retaining wall to allow the City to adequately maintain the facility. The existing easement would have to be expanded to include the access road.

Suggested Motions

1. “I move to recommend approval of the critical slope waiver for Tax Map 41C, Parcel 3.1, Seminole Court on the grounds that *[use one of the two findings]*.”
2. “I move to recommend approval of the critical slope waiver for Tax Map 41C, Parcel 3.1, Seminole Court *[use one of the two findings]*, with the following conditions....”
3. “I move to recommend denial of the critical slope waiver for Tax Map 41C, Parcel 3.1, Seminole Court

Enclosures
Waiver Application
Applicant’s narrative
Site Plan



WAIVER REQUEST FORM

P13-0010

Please Return To: City of Charlottesville
Department of Neighborhood Development Services
PO Box 911, City Hall
Charlottesville, Virginia 22902
Telephone (434) 970-3182

RECEIVED
JAN 22 2013
NEIGHBORHOOD DEVELOPMENT SERVICES

For a Critical Slopes Waiver Request, please include one of the following application fees: \$75 for single-family or two-family projects; \$500 for all other project types. *additional application form required
For all other Waiver Requests, please include one of the following application fees: \$50 for single-family or two-family projects; \$250 for all other project types.

Project Name/Description SEMIWOLE SQUARE EXPANSION - AMENDMENT Parcel Number TWP 41C-3.1
 Address/Location 129, 151, 159, 167, 123, 175 + 185 SEMIWOLE COURT, CHARLOTTESVILLE, VA 22901
 Owner Name TOWNS LIMITED PARTNERSHIP / GUYAT Applicant Name (Collins Embroidering) / SEMIWOLE SQUARE
BASEMAN MANAGEMENT REPRESENTATIVE
 Applicant Address: 200 GARRETT STREET, SUITE K CHARLOTTESVILLE, VA 22902 SHOPPING CENTER
 Phone (H) 434-293-3719 (W) 434-293-3719 (F) _____
 Email: SCOTT@COLLINS-EMBROIDERING.COM

Waiver Requested (review Zoning Ordinance for items required with waiver submissions):

- Sidewalk
- Drainage/Storm Water Management
- *Contact Staff for Supplemental Requirements
- Off-street Parking
- Site Plan Review
- Lighting
- Landscape
- Signs
- Setbacks
- Critical Slopes *additional application form required
- Communication Facilities
- Other
- Stream Buffer Mitigation Plan

Description of Waiver Requested: IMPACT TO MANMADE CRITICAL SLOPES ALONG THE NORTHERN PORTION OF THE SITE.

Reason for Waiver Request: EXPANSION OF THE SEMIWOLE SQUARE RETAIL CENTER TO COMPENSATE FOR THE HILLSDALE DRIVE EXPANSION THROUGH THE PROPERTY.

Applicant Signature [Signature] Date 1-18-13

Property Owner Signature (if not applicant) _____ Date _____

For Office Use Only: Date Received: 1/22/13

Review Required: Administrative _____ Planning Commission _____ City Council _____

Approved: _____ Denied: _____ Director of NDS _____

Comments: _____

January 18, 2013

Updated 3/18/2013

Further Updated 5/10/13

City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911
Charlottesville, VA 22902

RE: Seminole Square Expansion – Critical Slopes Waiver Request Supplement

Please allow this letter to serve as our formal request for a critical slope waiver to allow an impact to the critical slopes along the northern portion of the Seminole Square Shopping Center property (“Shopping Center”). The property’s current use is a retail shopping center.

Applicant: Collins Engineering / Great Eastern Management Company, as agent for Sequel Investors Limited Partnership, Lessee under long-term Ground Lease (“Sequel”)

Property Owner: Towers Limited Partnership, et.al, and Lessor under long-term Ground Lease (“Towers”)

Existing Conditions:

This area to the north of the site with the existing, but mostly man made critical slopes is primarily wooded. This area was graded and these slopes were created almost 30 years ago when the property was first developed back in 1985. 2:1 and 3:1 slopes were used to establish the grades of the current Shopping Center. Overall the existing bank is in fair condition, there are some areas that show signs of erosion while other portions of the bank are holding up better. There is a currently a creek and existing stormwater management facility along this area with the critical slopes. The city currently has a stormwater management easement in this area up to the 416 contour elevations, which easement was designed to accommodate a 100 year flood event. The proposed improvements and impacts to the critical slopes would not affect the existing stormwater management facility or stream along the northern property as they would begin at the 418 contour elevation.

Project Description:

The reason for the critical slope waiver request for the project is to prepare the property for the pending redevelopment improvements that were designed to help mitigate impacts to the Shopping Center as a result of the extension of the Hillsdale Drive. Currently, the city has designed the future Hillsdale Drive to extend through the Shopping Center property, impacting large portions of the parking lot and a section of one of the retail

buildings. This extension will have a major effect on the overall existing usable area of the Shopping Center. The proposed project will accommodate space for additional parking and the potential for additional building space that will be lost to the Hillsdale Drive extension. A series of two (2) retaining walls will be constructed on the north side of the property (outside of the existing 416 contour elevation stormwater management easement) to create an area behind the existing buildings for additional parking for the Shopping Center.

Total Site Area: 18.8 acres

Zoning: existing HW (Highway Corridor)

Percentage of Area greater than or equal to 25% slopes:

1.56 acres of the site's 18.8 acres, or 8% of the site area

Finding #1:

Hillsdale Drive extension is an integral part of the future Charlottesville transportation network. A large portion of right-of-way (approximately 2 acres) necessary for the Hillsdale Drive extension cuts through the middle of the Shopping Center's North Wing parking lot and portion of one of the buildings. This roadway extension will serve the public as a secondary (parallel) roadway system along Route 29, providing an alternate road option that will service the community and help alleviate the congestion on Route 29. This public benefit far outweighs the impact to the man-made critical slopes along the northern portion of the property that were created with the filling of the property back in 1985 to create the Shopping Center. A series of retaining walls will be installed along this portion of the site and these walls will lock in the fill material along this area, creating a stabilized bank. Below this area is an existing stormwater management facility for the Shopping Center and Pepsi Cola Bottling company properties. This facility will remain as-is, with no impacts to the current capacity of the facility to handle stormwater from the respective properties. The future impervious area created with the impacts to the critical slopes will be treated with a rain garden and/or the installation of pervious surfaces in addition to draining to this stormwater management facility.

If there was an alternative layout or alignment of Hillsdale Drive that did not impact the Shopping Center, then additional parking would not be necessary for the site. However, City Council has accepted the current alignment and agreed to start the negotiations on acquiring the necessary right of way along this alignment. With the roadway extension, the impact to the buildings and overall parking on the Shopping Center property will need to be mitigated, and this option allows for the expansion of the parking for the property to meet the parking demands of the retail facility and also allows for the potential to replace some of the building space that will be lost to the Hillsdale project.

Erosion affecting the structural integrity of those features:

Currently, this mostly man made critical slope (which was created in 1985) is showing some signs of erosion on parts of the slope. The wooded vegetation, for the most part, is holding the slopes in place; however, there are many areas where erosion has occurred

over the years. With the installation of the retaining wall system, this will prevent any additional erosion along this steep bank. The walls will lock in the fill material and prevent it from future erosion.

Stormwater and erosion-related impacts on adjacent properties:

The downstream area below this proposed critical slope impact is an existing stormwater management facility, which is owned/leased by Towers and Sequel and by Pepsi Cola Bottling Company, but is contractually (by deed) maintained by, and subject to an easement in favor of, the City. The Pepsi Cola Bottling Company is also proposing to impact the existing critical slopes on its property as well for the same reasons, to allow the Hillsdale Drive Extension to be constructed on Pepsi property for the overall benefit of the community. The functionality of the existing stormwater management facility owned/leased by Towers and Sequel and by Pepsi Cola will not be adversely impacted by impacts of these critical slopes. The retaining walls will be constructed prior to and in combination with the filling of this area to prevent erosion related issues. Most of the drainage area to this slope is captured with the existing curb and gutter system on the top of the slope, which prevents a lot of the run-off from sheet-flowing down the banks.

Stormwater and erosion-related impacts to environmentally sensitive areas such as streams and wetlands:

No streams or wetlands are proposed to be impacted with the filling and impacts of the critical slopes on this property. The existing stream below this area is part of the existing stormwater management facility, and no impacts are proposed. The local office of the USCOE has confirmed that since there will be no fill placed below the ordinary high watermark of the stream flowing within the existing stormwater management facility, no Corps permit is required.

Increased stormwater velocity due to loss of vegetation:

The increase of stormwater velocity due to the loss of vegetation and future impervious area will be mitigated with a proposed rain garden facility below the proposed parking area and by the installation of pervious surface material for the parking lot. A rain garden will collect the run-off and provide water quality and detention, prior to releasing the flow into the existing stormwater management facility, which provides additional treatment and detention for any surface run-off that does not penetrate the pervious surfaces of the proposed parking area. These measures will compensate for the increase in velocity due to the loss of vegetation in this area.

Decreased groundwater recharge due to changes in the site hydrology:

The impacts to these critical slopes do not have much effect or change on the groundwater or site hydrology. There is not a lot of drainage area to these critical slope areas and the slopes themselves limit the ability for run-off to be absorbed into the ground before running down the slopes into the existing streams. However, the installation of a rain garden below the future parking lot areas and the installation of pervious surface material will provide an opportunity for the run-off to drain into the ground before being discharged into the existing swm facility.

Loss of natural or topographic features that contribute substantially to the natural beauty and visual quality of the community such as loss of tree canopy, forested areas and wildlife habitat:

The benefit of Hillsdale Drive outweighs the overall impacts to this area, including the loss of (mostly scrub) tree canopy. Trees and the wildlife habitat within the existing limits of the stormwater management facility will still remain and will be preserved. Newly installed landscaping proposed on the site plan at the base, between, and on top of the retaining walls can only improve the visual quality of the slopes.

Additional attachments:

Please see the Site plan amendment for additional information and exhibits for this request.

Please let me know if you have any questions or need any additional information to review this critical slope analysis.

Sincerely,

Scott Collins, PE

SEMINOLE SQUARE EXPANSION

SITE PLAN AMENDMENT

CITY OF CHARLOTTESVILLE, VIRGINIA

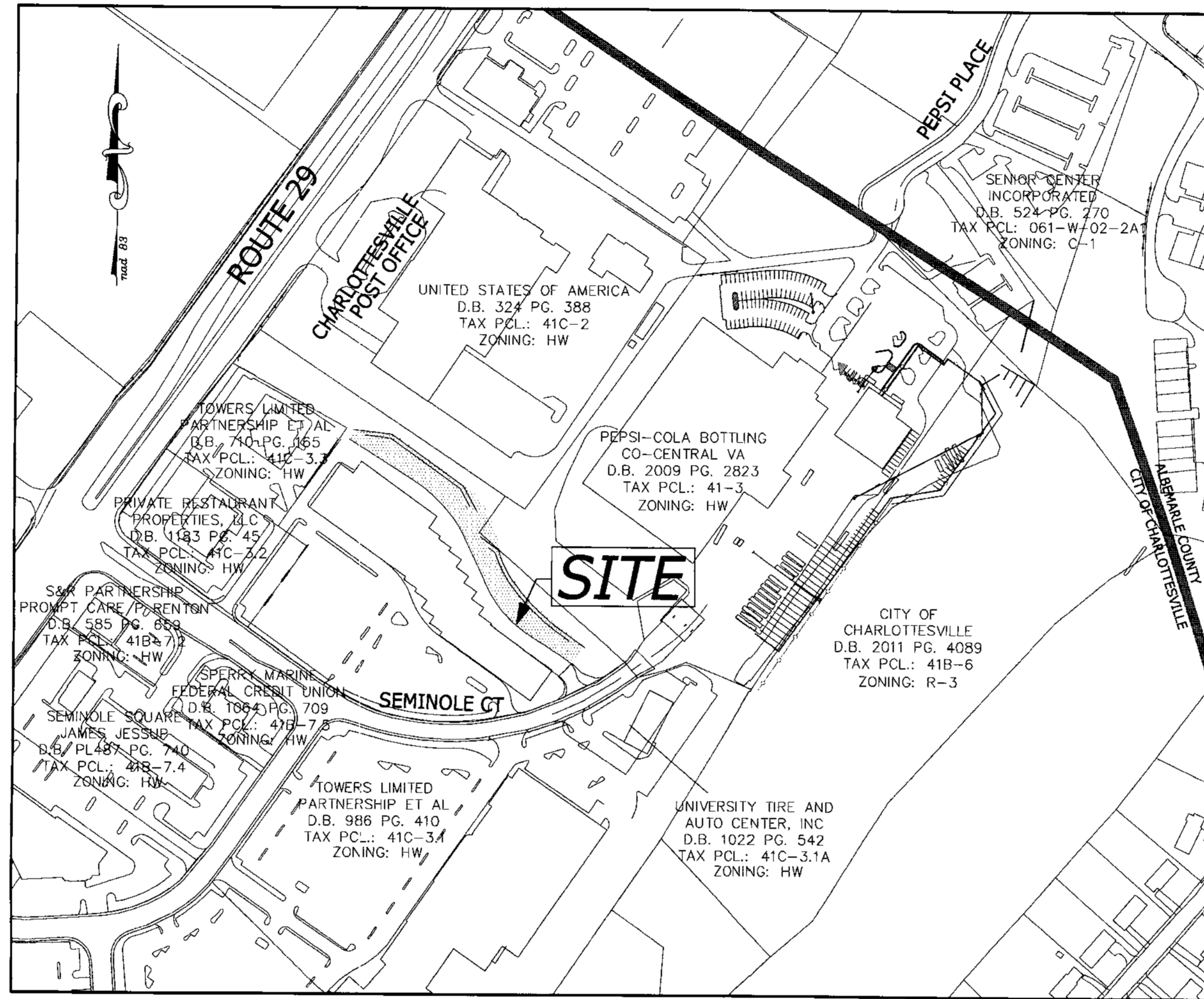
PROJECT DATA:

- THE OWNER/CLIENT OF THIS PROPERTY IS: TOWERS LIMITED PARTNERSHIP ET. AL. GREAT EASTERN MANAGEMENT BOX 5526 CHARLOTTESVILLE, VA 22905
- THESE PLANS HAVE BEEN PREPARED BY: COLLINS ENGINEERING, INC. 200 GARRETT STREET SUITE K CHARLOTTESVILLE, VA 22902 TELEPHONE: (434) 293-3719 FACSIMILE: (434) 293-2813
- SOURCE OF SURVEY/INFORMATION: SURVEY FOR THIS SITE PLAN AMENDMENT IS FROM THE FIELD SURVEY CONDUCTED BY COMMONWEALTH LAND SURVEYING, LLC DATED AUGUST 4, 2011 AND UPDATED OCTOBER, 2012. ADDITIONAL OFFSITE SURVEYED INFORMATION IN THE PROXIMITY OF THE PEPSI PLANT IS BASED OFF A SURVEY BY JENNINGS STEPHENSON, P.C. IN JANUARY OF 2007. STORM SEWER RIM & INVERT ELEVATIONS LOCATED IN SEMINOLE SQUARE IS PROVIDED BY A LICENSED LAND SURVEYOR AT MERIDIAN PLANNING GROUP IN JANUARY OF 2012. THE MISS UTILITY TICKET NUMBER IS 5227901423-008.
- ZONING: TMP 41C-3.1: HW - HIGHWAY CORRIDOR ZONING (NO DISTURBANCE TO ENTRANCE CORRIDOR - UNAFFECTED WESTERN PORTION OF PARCEL UNDER ENTRANCE CORRIDOR DESIGNATION)
- USGS DATUM: NAD 83 (1994)
- LOCATION/ADDRESS OF PROJECT: 129 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 151 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 159 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 167 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 123 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 175 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901 185 SEMINOLE COURT, CHARLOTTESVILLE, VA 22901
- FLOODPLAIN: THERE IS NO FLOODPLAIN ON THE SUBJECT PARCEL PER THE FEMA FLOOD INSURANCE RATE MAP NUMBER 51003C, PANEL 0278D, DATED FEBRUARY 4, 2005.
- STREAM BUFFER: THE PROPOSED IMPROVEMENTS OF THIS PROPERTY AS SHOWN ON THE PLAN SHALL NOT IMPACT THE STREAM BUFFER LOCATED ON THE ADJACENT PROPERTY.
- BUILDING HEIGHT: EXISTING BUILDING HEIGHT TO REMAIN UNCHANGED
- PROPOSED USE: THE CONSTRUCTION OF A RETAINING WALL SYSTEM BEHIND SEMINOLE SQUARE SHOPPING CENTER FOR THE INSTALLATION OF PERMEABLE PAVERS.
- TOTAL ACREAGE OF SITE: 18.808 ACRES
- TOTAL LAND DISTURBED: 1.75 ACRES
- SITE PHASING: PROJECT CONSTRUCTION AND E&S TO OCCUR IN ONE PHASE.
- CRITICAL SLOPES: THERE ARE EXISTING MAN-MADE CRITICAL SLOPES ON THE SUBJECT PROPERTY, THE AMOUNT OF CRITICAL SLOPES AND IMPACTED CRITICAL SLOPES ARE SHOWN ON SHEET 2.
- PARKING REQUIREMENTS: NO PARKING CHANGES PROPOSED AT THIS TIME. A FUTURE PHASE WILL CREATE ADDITIONAL PARKING SPACES AND THE HILLSDALE DRIVE FUTURE EXTENSION.
- PUBLIC UTILITIES: THE SITE WILL BE SERVED BY EXISTING PUBLIC WATER AND SEWER.
- STORMWATER MANAGEMENT AND STORM DRAINAGE: THE PROPOSED EXPANSION INCORPORATES PERMEABLE PAVERS TO PROVIDE STORMWATER QUALITY TREATMENT AND DETENTION. THE PERMEABLE PAVERS SHALL ACT AS AN INFILTRATING DEVICE PROVIDING RECHARGE FOR THE GROUND WATER. ANY EXCESS RUNOFF NOT INFILTRATED FROM THE PERMEABLE PAVERS SHALL BE DIRECTED TO THE PROPOSED RAIN GARDENS FOR FURTHER INFILTRATION WHERE THE RUNOFF RECEIVES ADDITIONAL STORMWATER QUALITY TREATMENT AND DETENTION. ALSO NOTE THE POST-DEVELOPMENT WATERSHED AREA HAS NOT BEEN MODIFIED, AND CONTINUES TO FLOW IN THE SAME DIRECTION & LOCATION AS PRE-DEVELOPMENT CONDITIONS.
- AREAS DEDICATED FOR PUBLIC USE: CURRENTLY, THERE IS NO LAND ON THIS PROPERTY THAT IS PROPOSED TO BE RESERVED OR DEDICATED FOR PUBLIC USE.
- SUBJECT PARCEL 41C-3.1 LOT COVERAGE AND PROPOSED USES: TOTAL LOT AREA: 18.808 ACRES EXISTING LOT COVERAGE NOT PROPOSED TO CHANGE WITH THIS SITE PLAN AMENDMENT. WITH THE EXCEPTION OF THE RETAINING WALL IMPROVEMENTS, NO IMPERVIOUS AREAS ARE PROPOSED WITH THIS PLAN. THEREFORE A SWM ANALYSIS IS NOT REQUIRED WITH THIS SET OF PLANS. ALSO NOTE THE POST-DEVELOPMENT DRAINAGE CHARACTERISTICS HAVE NOT BEEN MODIFIED OR INCREASED, AND CONTINUE TO FLOW IN THE SAME DIRECTION & LOCATION AS PRE-DEVELOPMENT CONDITIONS.
- OPEN SPACE AREA TOTAL: UNCHANGED AT THIS TIME
- WATER DEMAND: EXISTING WATER DEMAND UNCHANGED.
- SIGNAGE: THE CURRENT SIGNAGE FOR THE PROPERTY IS EXISTING AND SHALL REMAIN, AND NO CHANGES TO THE CURRENT SIGNAGE IS PROPOSED WITH THIS PLAN.
- INGRESS AND EGRESS: UNCHANGED - FUTURE DEVELOPMENT WILL INCLUDE THE HILLSDALE DRIVE EXTENSION PER APPROVED MASTERPLAN.
- BUILDING/LOT SETBACKS: HW-HIGHWAY CORRIDOR ZONING: FRONT: 5' MIN. AND 30' MAXIMUM SIDE/REAR: 20' ADJACENT TO LOW DENSITY RESIDENTIAL DISTRICT NO SETBACK ADJACENT TO SIMILAR DENSITY DISTRICT
- SITE TRIP GENERATION: UNCHANGED
- NO FIRE HYDRANTS ARE PROPOSED, HOWEVER THERE ARE THREE EXISTING FIRE HYDRANTS THAT SURROUND THE EXISTING BUILDING. ALSO, THE ADJACENT PROPERTY CONTAINS TWO FIRE HYDRANTS. FIRE HYDRANT #08250 MAINTAINED A STATIC PRESSURE OF 90 PSI WHILE FIRE HYDRANT #08255 WAS OPENED AND RELEASED A FLOW OF 1,275 GPM.

COLLINS ENGINEERING SHALL NOT HAVE AUTHORITY OVER CONTRACTOR'S WORK, SAFETY PRECAUTIONS, SCHEDULES, OR COMPLIANCE WITH LAWS AND REGULATIONS. WE SHALL NOT ASSUME RESPONSIBILITY FOR ANY CONSTRUCTION BEGUN PRIOR TO PLAN APPROVAL.

NOTES:

- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.
- IFC 505-THE BUILDING STREET NUMBER TO BE PLAINLY VISIBLE FROM THE STREET FOR EMERGENCY RESPONDERS.
- IFC 506.1-AN APPROVED KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE. THE CHARLOTTESVILLE FIRE DEPARTMENT CARRIES THE KNOX BOX MASTER KEY. A KNOX BOX KEY BOX CAN BE ORDERED BY GOING ONLINE TO WWW.KNOXBOX.COM. THE KNOX BOX ALLOWS ENTRY TO THE BUILDING WITHOUT DAMAGING THE LOCK AND DOOR SYSTEM.
- FIRE HYDRANTS, FIRE PUMP TEST HEADERS, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBSTRUCTED BY LANDSCAPING, PARKING OR OTHER OBJECTS. THE FIRE MARSHAL'S OFFICE NO LONGER ALLOWS ANY TYPE OF LANDSCAPING TO BE PLACED IN FRONT OF AND WITHIN 5 FEET OF FIRE HYDRANTS, FIRE PUMP TEST HEADERS, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHTING 75,000 LBS.
- IFC 1404.1-SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES.
- IFC 1404.2-WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
- IFC 1410.1-ACCESS TO THE BUILDING DURING DEMOLITION AND CONSTRUCTION SHALL BE MAINTAINED.
- IFC 1404.6-CUTTING AND WELDING OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 26, OF THE INTERNATIONAL FIRE CODE, ADDRESSING WELDING AND HOTWORK OPERATIONS.
- IFC 1414.1-FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
- REQUIRED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.
- OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13 FEET 6 INCHES.
- ALL SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE IX, SECTION 34-1020 CITY CODE.

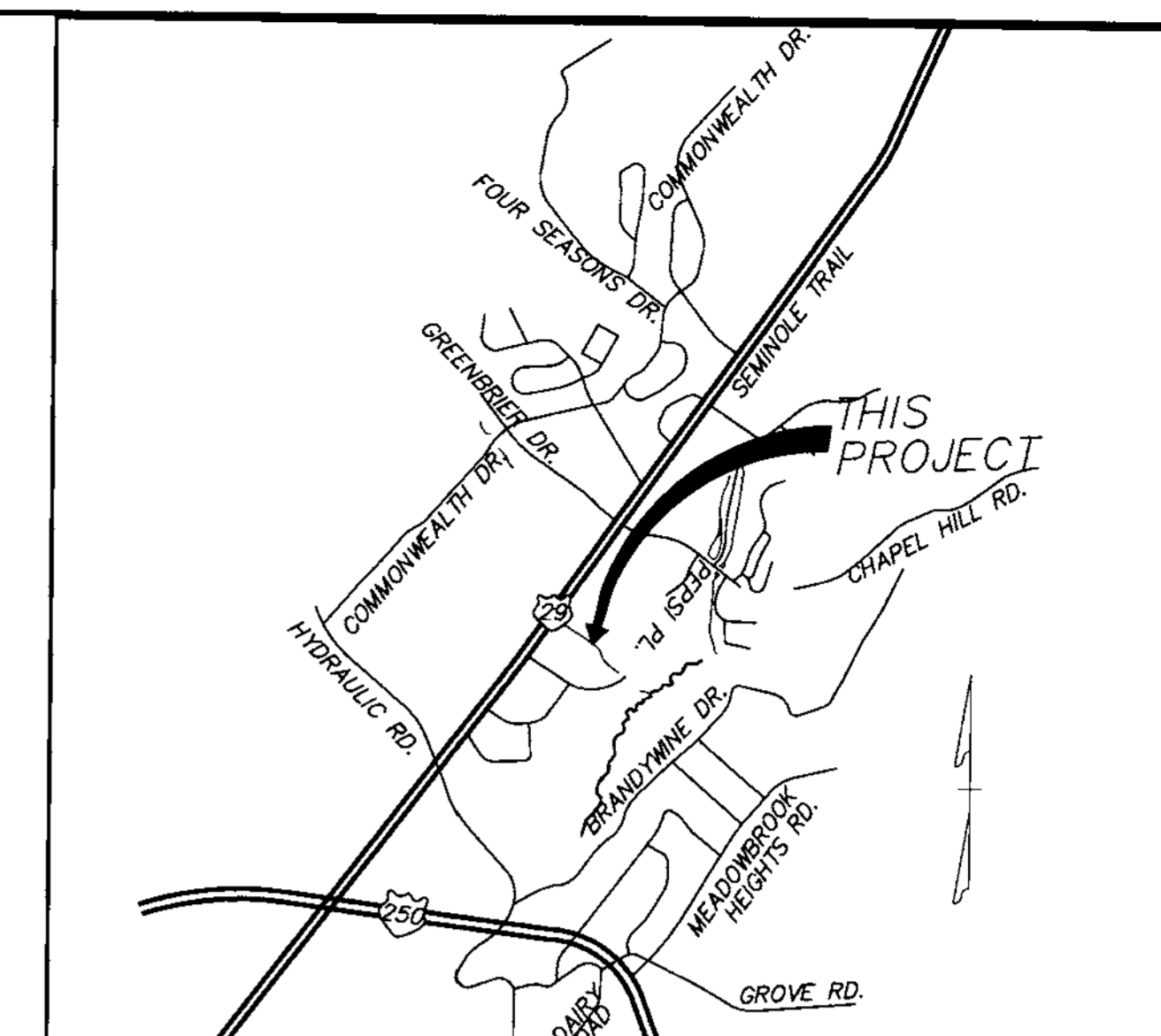


SHEET LAYOUT
SCALE: 1" = 200'

OWNER & DEVELOPER
TOWERS LIMITED PARTNERSHIP ET. AL.
GREAT EASTERN MANAGEMENT
P.O. BOX 5526
CHARLOTTESVILLE, VA 22905

BMP DATA FOR THIS PROJECT:	
BMP OWNERSHIP INFORMATION:	TOWERS LIMITED PARTNERSHIP ET. AL. GREAT EASTERN MANAGEMENT PO BOX 5526 CHARLOTTESVILLE, VA 22905
TYPE OF BMP INSTALLED:	PERMEABLE PAVERS & RAIN GARDENS
GEOGRAPHIC LOCATION (HYDROLOGIC UNIT CODE):	BEHIND EXISTING SEMINOLE SQUARE SHOPPING CENTER (HYDROLOGIC GROUP TYPE 88-FLL)
WATERBODY THE BMP IS ULTIMATELY DISCHARGING INTO:	SOUTH FORK RIVANNA RIVER RESERVOIR
# OF ACRES TREATED BY BMP:	0.36ac (15, 675sf PAVEMENT FOOTPRINT IS PROPOSED & TREATED)
DESCRIPTION OF REQUIRED MAINTENANCE:	RAIN GARDEN: THE MAINTENANCE PROGRAM FOR THE WATER QUALITY SHALL BE CLEANING OUT THE BASIN ANNUALLY, OR AS NECESSARY, ENSURING HEALTHY VEGETATIVE GROWTH OF THE PLANTINGS, AND CLEANING OF THE TRASH FROM THE FACILITY. MAINTENANCE TO ALSO INCLUDE REPLACEMENT OF RAIN GARDEN MIX ANNUALLY, OR AS NEEDED. PERMEABLE PAVERS: THE PAVERS SHOULD BE CHECKED MONTHLY DURING THE FIRST YEAR, AND ANNUALLY THEREAFTER OR AS NEEDED, FOR DEBRIS. IF THE PAVERS LOSE INFILTRATION PERFORMANCE THE JOINTS SHOULD BE VACUUMED WITH A VACUUM TRUCK TO REMOVE DEBRIS. IF SNOW PLOWING IS REQUIRED, PLEASE NOTE THE EDGES OF THE BLOCK MAY BE SCORED OR SLIGHTLY DAMAGED BY A STEEL SNOW BLADE & A RUBBER TYPED BLADE IS PREFERRED. IF SALTING ON SANDINGS IS TO BE PROVIDED ON THE PAVERS, A LIGHT SALTING IS PREFERRED BECAUSE SAND COULD CAUSE A DECREASE IN THE PERFORMANCE OF THE PAVERS SHOULD AN INDIVIDUAL PAVEMENT BE BROKEN OR NEED REPAIR. THE "KNOX" BLOCK MARKING IS NOT REQUIRED TO BE REMOVED AND AN INDIVIDUAL PAVEMENT CAN BE INSERTED.
OWNER'S SIGNATURE AGREEING TO MAINTAIN FACILITY:	

SIGNATURE PANEL
DIRECTOR, NEIGHBORHOOD DEVELOPMENT

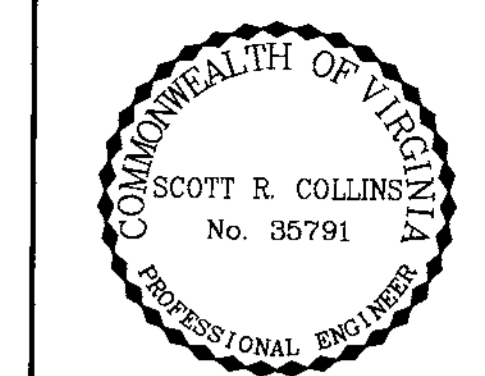


VICINITY MAP
SCALE: 1" = 2,000'
SHEET INDEX

TITLE	SHEET
COVER SHEET	1
EXISTING CONDITIONS	2
SITE PLAN	3
NOTES, DETAILS & PROFILES	4
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EROSION & SEDIMENT CONTROL NARRATIVE & NOTES	6
EROSION & SEDIMENT CONTROL PLAN	7
EROSION & SEDIMENT CONTROL DETAILS	8
STORMWATER MANAGEMENT PLAN	9
STORMWATER MANAGEMENT PLAN	10
LANDSCAPING PLAN	11
LANDSCAPING PLAN	12
TOTAL SHEETS:	12

LEGEND

- ROADS**
- EXISTING CULVERT
 - CULVERT
 - DROP INLET & STRUCTURE NO.
 - CURB
 - CURB & GUTTER
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED VEGETATIVE COVER
 - EC-3A DITCH
 - DEPTH OF EC-3A DITCH
 - EC-2 DITCH
 - DEPTH OF EC-2 DITCH
 - EARTH DITCH
 - DRIVEWAY CULVERT
 - BENCH MARK
 - CLEARING LIMITS
 - VDOT STANDARD STOP SIGN
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
TBC DENOTES TOP/BACK OF CURB
T/R DENOTES TOP OF BOX



REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	11/02/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS	11/20/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 2/15/13	3/25/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

RECEIVED
MAY 13 2013
NEIGHBORHOOD DEVELOPMENT SERVICES

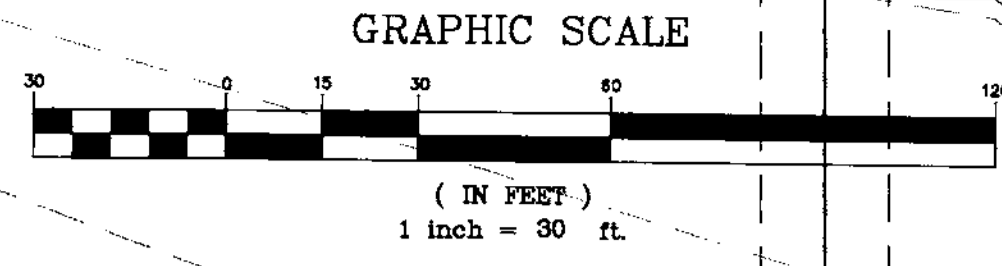
COLLINS ENGINEERING
200 GARRETT STREET SUITE K- CHARLOTTESVILLE, VA 22902 - 434.293.8719

SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

COVER SHEET

PROJECT: 112070
JOB NO. 112070
SCALE: N/A
SHEET NO. 1

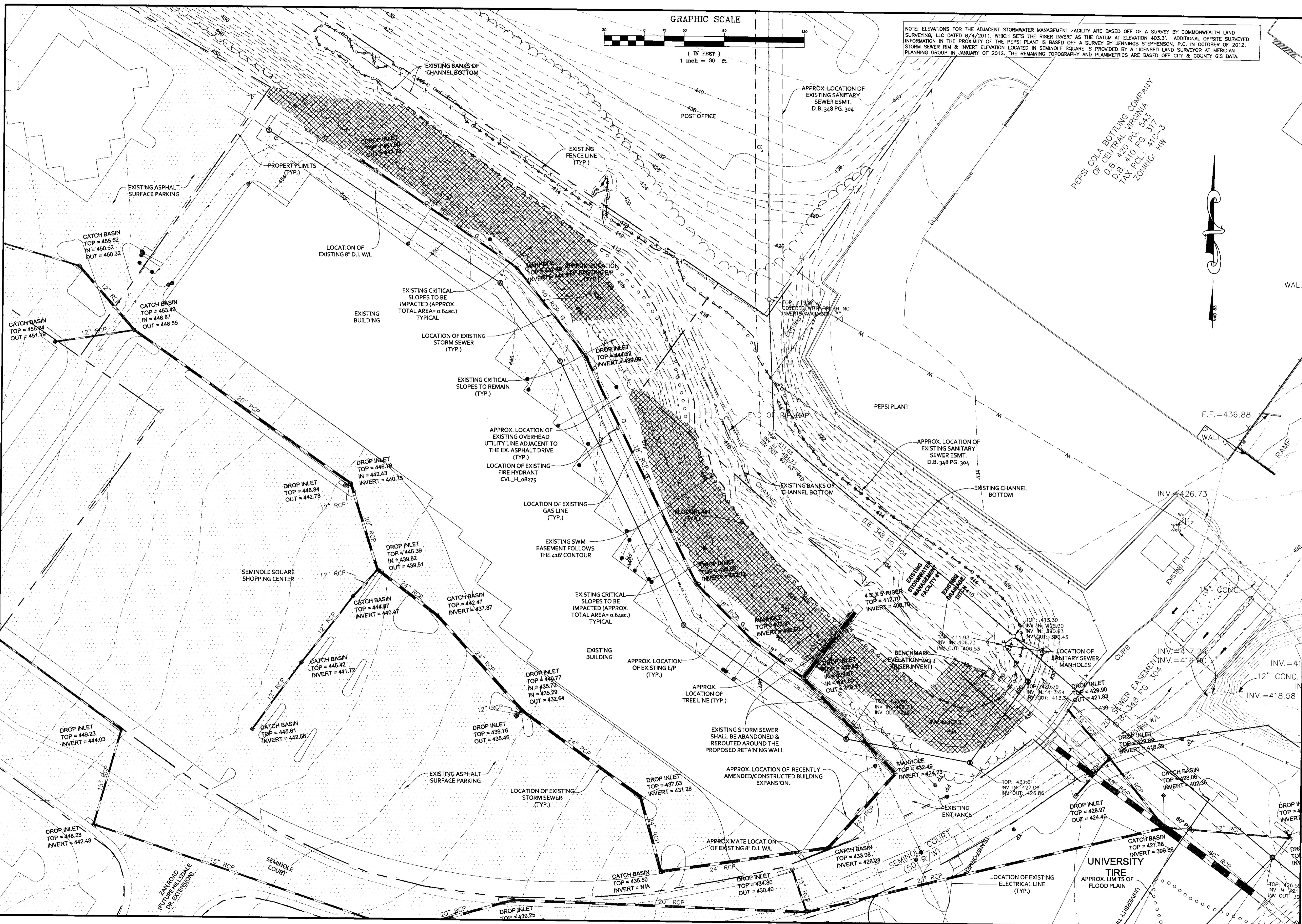
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NOTE: ELEVATIONS FOR THE ADJACENT STORMWATER MANAGEMENT FACILITY ARE BASED OFF OF A SURVEY BY COMMONWEALTH LAND SURVEYING, LLC DATED 8/4/2011, WHICH SETS THE RISER INVERT AS THE DATUM AT ELEVATION 403.3'. ADDITIONAL OFFSITE SURVEYED INFORMATION IN THE PROXIMITY OF THE PEPSI PLANT IS BASED OFF A SURVEY BY JENNINGS STEPHENSON, P.C. IN OCTOBER OF 2012. STORM SEWER RIM & INVERT ELEVATION LOCATED IN SEMINOLE SQUARE IS PROVIDED BY A LICENSED LAND SURVEYOR AT MERIDIAN PLANNING GROUP IN JANUARY OF 2012. THE REMAINING TOPOGRAPHY AND PLANIMETRICS ARE BASED OFF CITY & COUNTY GIS DATA.



PEPSI COLA BOTTLING COMPANY
OF CENTRAL VIRGINIA
D.B. 420 PG. 543
TAX PCL: PG. 543
ZONING: 41C-3
ZONING: HW



REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/13/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS	11/02/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 11/20/12	1/09/13
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 2/15/13	3/25/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

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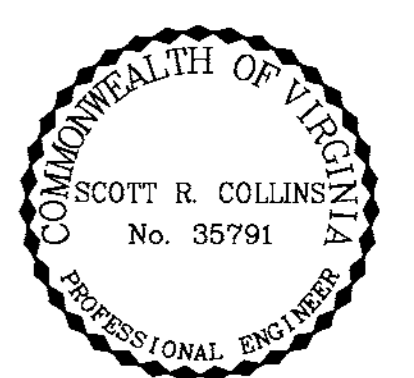
SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

EXISTING CONDITIONS



PROJECT	112070
SCALE	1"=30'
SHEET NO.	2

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REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/19/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS	11/09/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 11/20/12	1/09/13
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 2/15/13	3/25/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

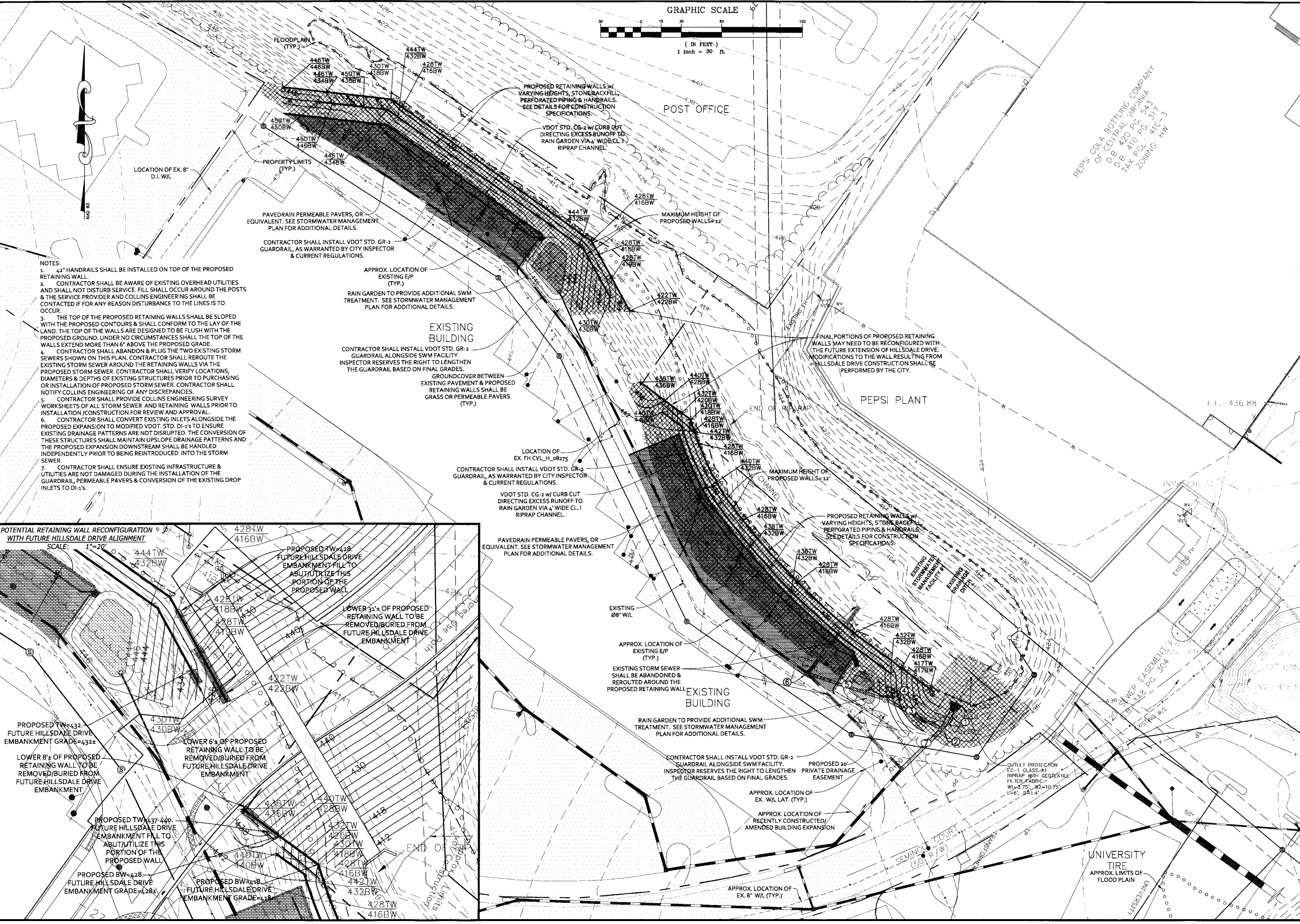
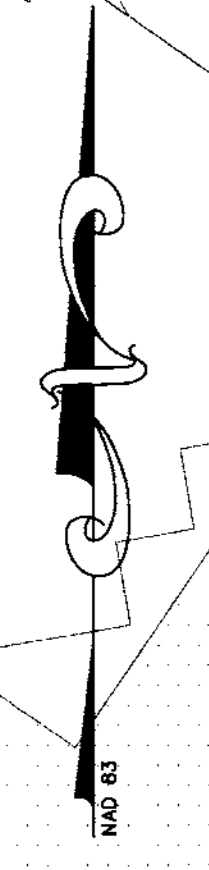
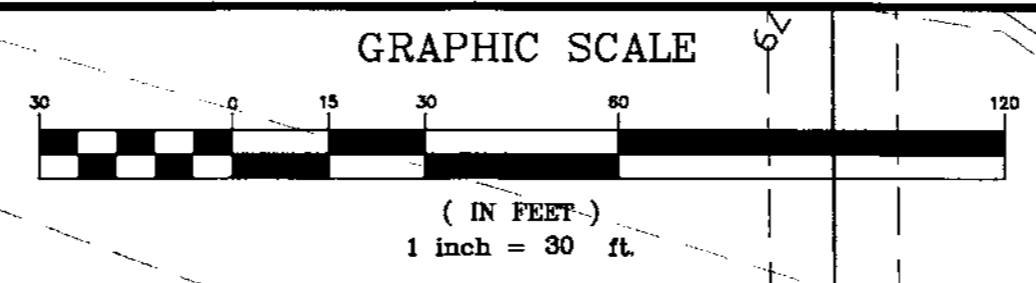
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SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

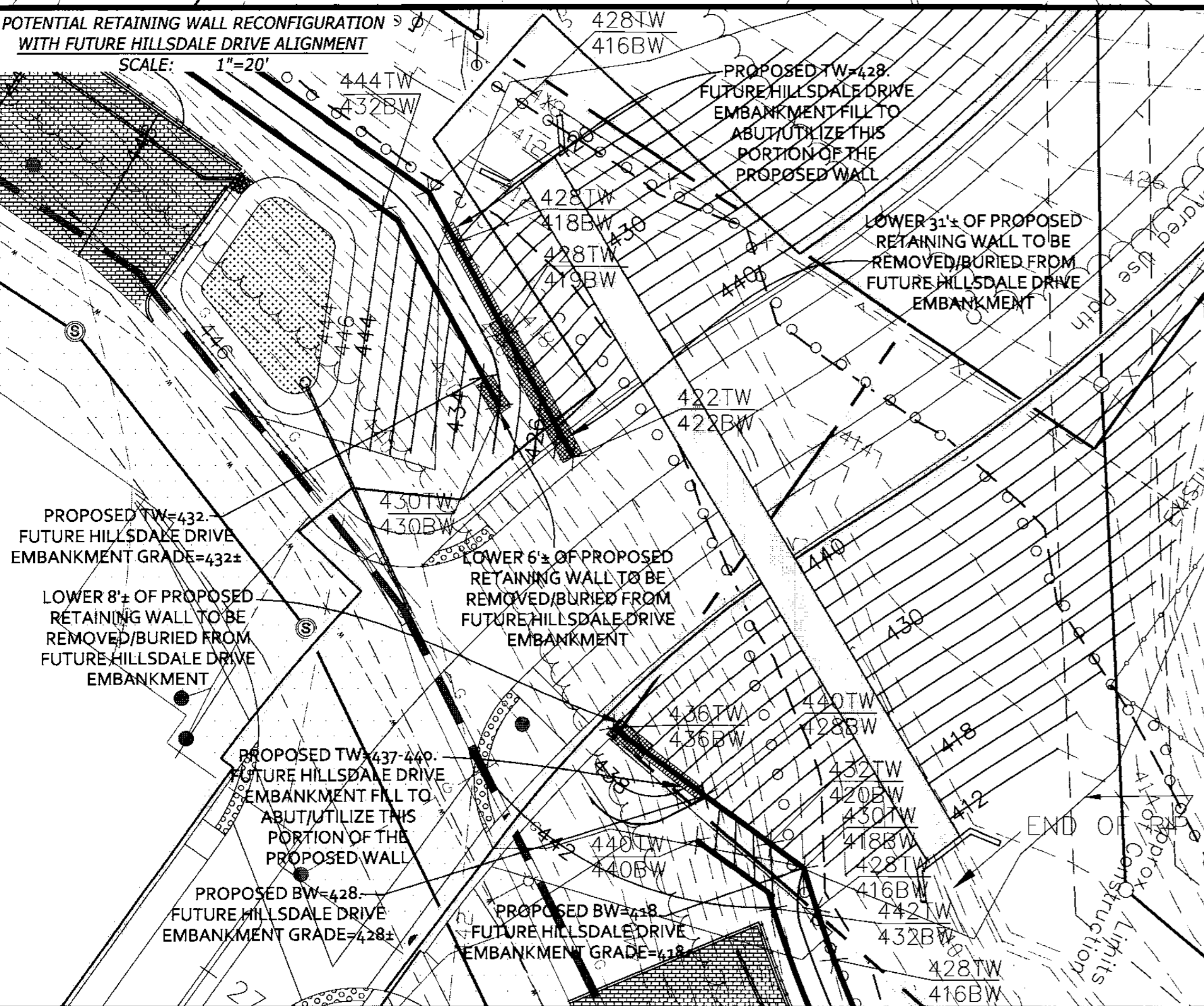
SITE PLAN

PROJECT	112070
SCALE	AS SHOWN
SHEET NO.	3

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- NOTES:**
- 42" HANDRAILS SHALL BE INSTALLED ON TOP OF THE PROPOSED RETAINING WALL.
 - CONTRACTOR SHALL BE AWARE OF EXISTING OVERHEAD UTILITIES AND SHALL NOT DISTURB SERVICE. FILL SHALL OCCUR AROUND THE POSTS & THE SERVICE PROVIDER AND COLLINS ENGINEERING SHALL BE CONTACTED IF FOR ANY REASON DISTURBANCE TO THE LINES IS TO OCCUR.
 - THE TOP OF THE PROPOSED RETAINING WALLS SHALL BE SLOPED WITH THE PROPOSED CONTOURS & SHALL CONFORM TO THE LAY OF THE LAND. THE TOP OF THE WALLS ARE DESIGNED TO BE FLUSH WITH THE PROPOSED GROUND. UNDER NO CIRCUMSTANCES SHALL THE TOP OF THE WALLS EXTEND MORE THAN 6" ABOVE THE PROPOSED GRADE.
 - CONTRACTOR SHALL ABANDON & PLUG THE TWO EXISTING STORM SEWERS SHOWN ON THIS PLAN. CONTRACTOR SHALL REROUTE THE EXISTING STORM SEWER AROUND THE RETAINING WALLS VIA THE PROPOSED STORM SEWER. CONTRACTOR SHALL VERIFY LOCATIONS, DIAMETERS & DEPTHS OF EXISTING STRUCTURES PRIOR TO PURCHASING OR INSTALLATION OF PROPOSED STORM SEWER. CONTRACTOR SHALL NOTIFY COLLINS ENGINEERING OF ANY DISCREPANCIES.
 - CONTRACTOR SHALL PROVIDE COLLINS ENGINEERING SURVEY WORKSHEETS OF ALL STORM SEWER AND RETAINING WALLS PRIOR TO INSTALLATION/CONSTRUCTION FOR REVIEW AND APPROVAL.
 - CONTRACTOR SHALL CONVERT EXISTING INLETS ALONGSIDE THE PROPOSED EXPANSION TO MODIFIED VDOT STD. DI-1'S TO ENSURE EXISTING DRAINAGE PATTERNS ARE NOT DISRUPTED. THE CONVERSION OF THESE STRUCTURES SHALL MAINTAIN UPSLOPE DRAINAGE PATTERNS AND THE PROPOSED EXPANSION DOWNSTREAM SHALL BE HANDLED INDEPENDENTLY PRIOR TO BEING REINTRODUCED INTO THE STORM SEWER.
 - CONTRACTOR SHALL ENSURE EXISTING INFRASTRUCTURE & UTILITIES ARE NOT DAMAGED DURING THE INSTALLATION OF THE GUARDRAIL, PERMEABLE PAVERS & CONVERSION OF THE EXISTING DROP INLETS TO DI-1'S.



PEPSI COLA BOTTLING COMPANY
 OF CENTRAL VIRGINIA
 D.B. 420 PG. 5/3
 TAX P.C.L. 41C-3
 ZONING: HW

UTILITIES

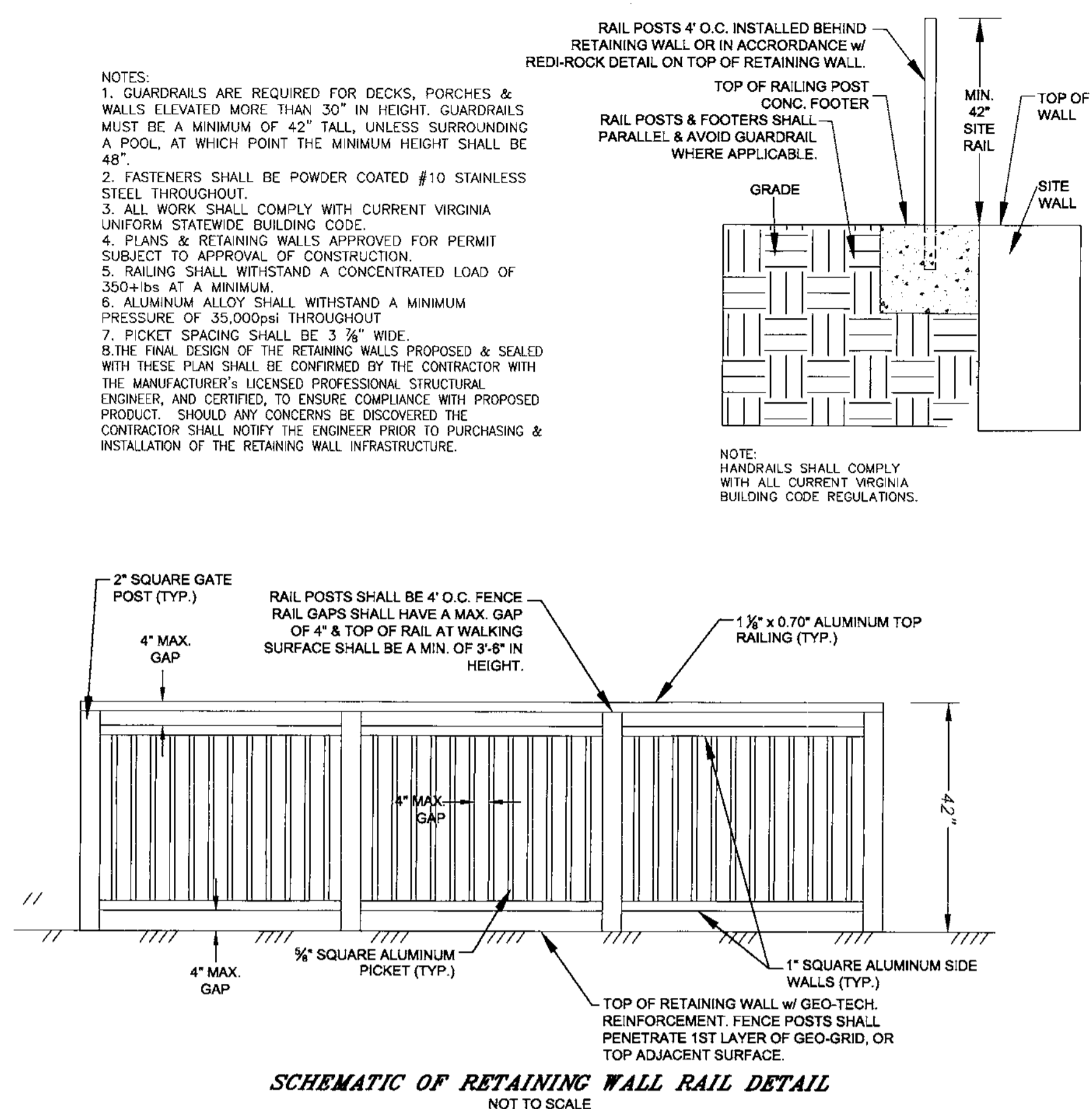
1. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY AND REPAIRED AT CONTRACTOR'S EXPENSE.
2. THE CONTRACT DOCUMENTS DO NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE OR LOCATION OF UTILITIES. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OR THE NON-EXISTENCE OF UTILITIES. AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION, CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-552-7001) AND/OR THE RESPECTIVE UTILITY COMPANIES FOR GAS, WATER, SEWER, POWER, PHONE AND CABLE. CONTRACTOR SHALL TIMELY ARRANGE TO HAVE THE VARIOUS UTILITIES LOCATED, AND TO HAVE THEM REMOVED OR RELOCATED, OR TO DETERMINE THE METHOD OF PROTECTION ACCEPTABLE TO THE RESPECTIVE OWNER, IF THE METHOD OF PROTECTION IS NOT OTHERWISE SPECIFIED. CONTRACTOR SHALL CONDUCT ITS WORK IN THE VICINITY OF EXISTING UTILITIES IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S RULES AND REGULATIONS. NO BUILDING OR WALL FOUNDATION SHALL BE CONSTRUCTED WITHIN 10 FEET OF ANY STORM, SANITARY, WATER, OR GAS LINE, ANY COST INCURRED FOR REMOVING, RELOCATIONS OR PROTECTING UTILITIES SHALL BE BORNE BY CONTRACTOR UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL EXCAVATE TO LOCATE BURIED UTILITIES FAR ENOUGH IN ADVANCE OF ITS WORK TO ALLOW FOR HORIZONTAL AND/OR VERTICAL ADJUSTMENTS TO ITS WORK AND/OR THE UTILITIES. NO ADJUSTMENT IN COMPENSATION OR SCHEDULE WILL BE ALLOWED FOR DELAYS RESULTING FROM CONTRACTOR'S FAILURE TO CONTACT AND COORDINATE WITH UTILITIES.
3. WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE DUE TO THE WORK. ALL METHODS FOR SUPPORTING AND MAINTAINING THE EXISTING UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY COMPANY AND/OR THE ENGINEER. CONTRACTOR SHALL EXERCISE CARE TO INSURE THAT THE GRADE AND ALIGNMENT OF EXISTING UTILITIES ARE MAINTAINED AND THAT NO JOINTS OR CONNECTIONS ARE DISPLACED. BACKFILL SHALL BE CAREFULLY PLACED AND COMPACTED TO PREVENT FUTURE DAMAGE OR SETTLEMENT TO EXISTING UTILITIES. ANY UTILITIES REMOVED AS PART OF THE WORK, AND NOT INDICATED TO BE REMOVED OR ABANDONED, SHALL BE RESTORED USING MATERIALS AND INSTALLATION EQUAL TO THE UTILITY'S STANDARDS.
4. CONTRACTOR SHALL NOTIFY LANDOWNERS, TENANTS AND THE ENGINEER PRIOR TO THE INTERRUPTION OF ANY SERVICES. SERVICE INTERRUPTIONS SHALL BE KEPT TO A MINIMUM.
5. CONTRACTOR SHALL COORDINATE WITH THE CITY TO LOCATE SIGNAL LOOP DETECTORS AND CONDUITS IN ORDER TO AVOID DAMAGE TO THEM. CONTRACTOR SHALL REIMBURSE THE CITY FOR REPAIRING ANY DAMAGE TO SIGNAL LOOP DETECTORS AND CONDUITS CAUSED BY CONTRACTOR'S FAILURE TO SO COORDINATE.
6. ALL RECTANGULAR WATER METER BOXES LOCATED IN SIDEWALKS SHALL BE REPLACED WITH ROUND ONES. THE ADJUSTMENT OF ALL MANHOLE TOPS, WATER VALVE BOXES, GAS VALVE BOXES AND WATER METER BOXES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. COSTS ARE TO BE INCLUDED UNDER THE VARIOUS UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE.
7. THE CONTRACTOR SHALL NOTIFY THE CITY UTILITIES DIVISION AT LEAST TWO FULL WORKING DAYS IN ADVANCE TO ARRANGE GAS SERVICE LINE ADJUSTMENTS TO BE PERFORMED BY THE CITY.
8. ALL WATER METER, VALVES AND FIRE HYDRANT ADJUSTMENTS/RELOCATIONS SHALL BE PERFORMED BY THE CONTRACTOR.

CONCRETE AND ASPHALT

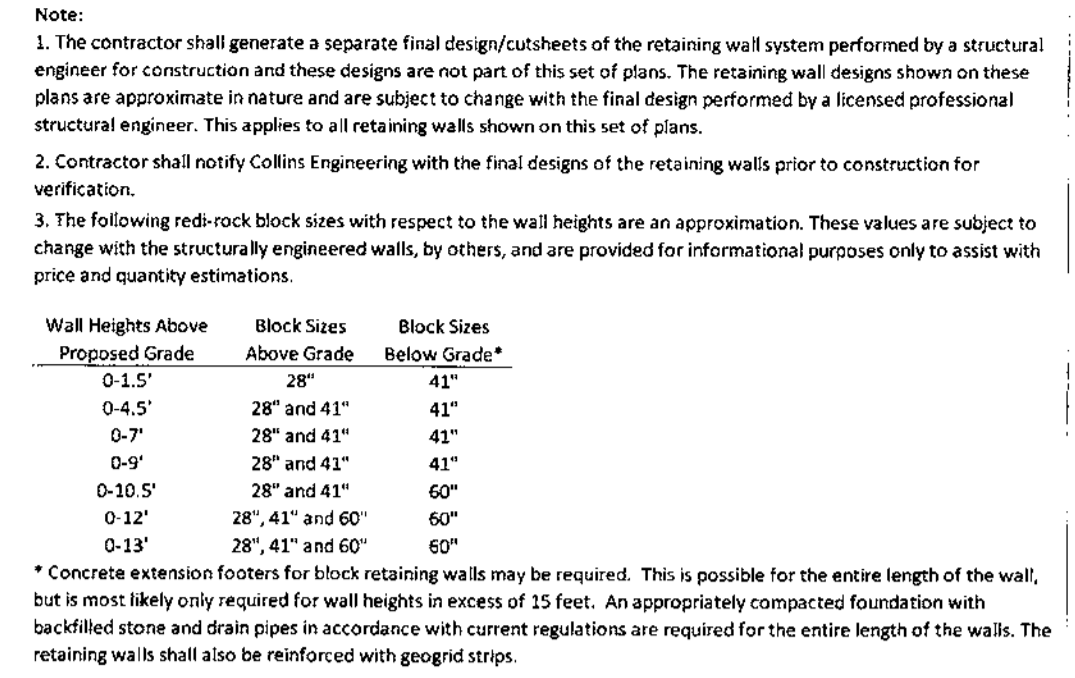
1. ALL FORMS SHALL BE INSPECTED BY THE ENGINEER BEFORE ANY CONCRETE IS PLACED. THE ENGINEER MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO REMOVE AND REPLACE CONCRETE PLACED PRIOR TO OR WITHOUT SUCH INSPECTION.
2. ALL MATERIAL INSIDE FORMS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS. SUB-BASE MATERIAL SHALL BE COMPACTED BY MECHANICAL MEANS.
3. CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (F) IN THE SHADE AND RISING.
4. CONCRETE SHALL NOT BE PLACED UNTIL STEEL DOWELS HAVE BEEN INSTALLED IN EXISTING CONCRETE IN ACCORDANCE WITH CITY STANDARDS.
5. 1/2" PREMOLDED EXPANSION JOINT MATERIAL SHALL BE PLACED AT A MAXIMUM OF 30' INTERVALS ON NEW SIDEWALK, CURB, GUTTER & GUTTER, AT EACH END OF DRIVEWAY ENTRANCES, AT EACH END OF HANDICAP RAMPS, SOME POINT ON ENTRANCE WALKS AND STEPS ADJUSTMENTS, AND ALONG BUILDINGS AND WALLS WHERE NEW CONCRETE SIDEWALKS ARE PLACED AGAINST THEM.
6. ALL EXISTING CURBS, CURB & GUTTER, SIDEWALK AND STEPS TO BE REMOVED SHALL BE TAKEN OUT TO THE NEAREST JOINT. DEMOLITION AND DISPOSAL COST TO BE INCLUDED IN OTHER UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
7. ALL EXISTING GRANITE CURB SHALL REMAIN THE PROPERTY OF THE CITY OF CHARLOTTESVILLE. IT SHALL BE REMOVED AND DELIVERED BY THE CONTRACTOR TO THE CITY'S PUBLIC WORKS COMPLEX. COST TO BE INCLUDED UNDER THE VARIOUS UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
8. STREET PAVEMENT STRUCTURE AND PATCHING SHALL BE EXTENDED FROM THE FRONT OF NEW CONCRETE TO THE EXISTING PROJECTION OF THE SOUND STREET EDGE AS DIRECTED BY THE ENGINEER.
9. DRIVEWAY ADJUSTMENTS ARE TO BE DONE IN GENTLE TRANSITIONS RATHER THAN ABRUPT BREAKS AT THE BACK OF WALKS. GRAVEL DRIVEWAYS ABOVE STREET GRADE SHALL BE PAVED FOR A MINIMUM DISTANCE OF 20' BEYOND THE BACK OF THE SIDEWALK OR CURB & GUTTER APRON WHERE APPLICABLE AFTER PERMISSION IS GRANTED BY THE OWNER.
10. EXISTING ASPHALT CONCRETE PAVEMENT SHALL BE SAW CUT AND REMOVED AS PER THE SPECIFICATIONS. REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO NOT TEAR, BULGE OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL, ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.
11. DISPOSAL OF ALL EXCESS MATERIAL IS THE RESPONSIBILITY OF CONTRACTOR.

DRAINAGE

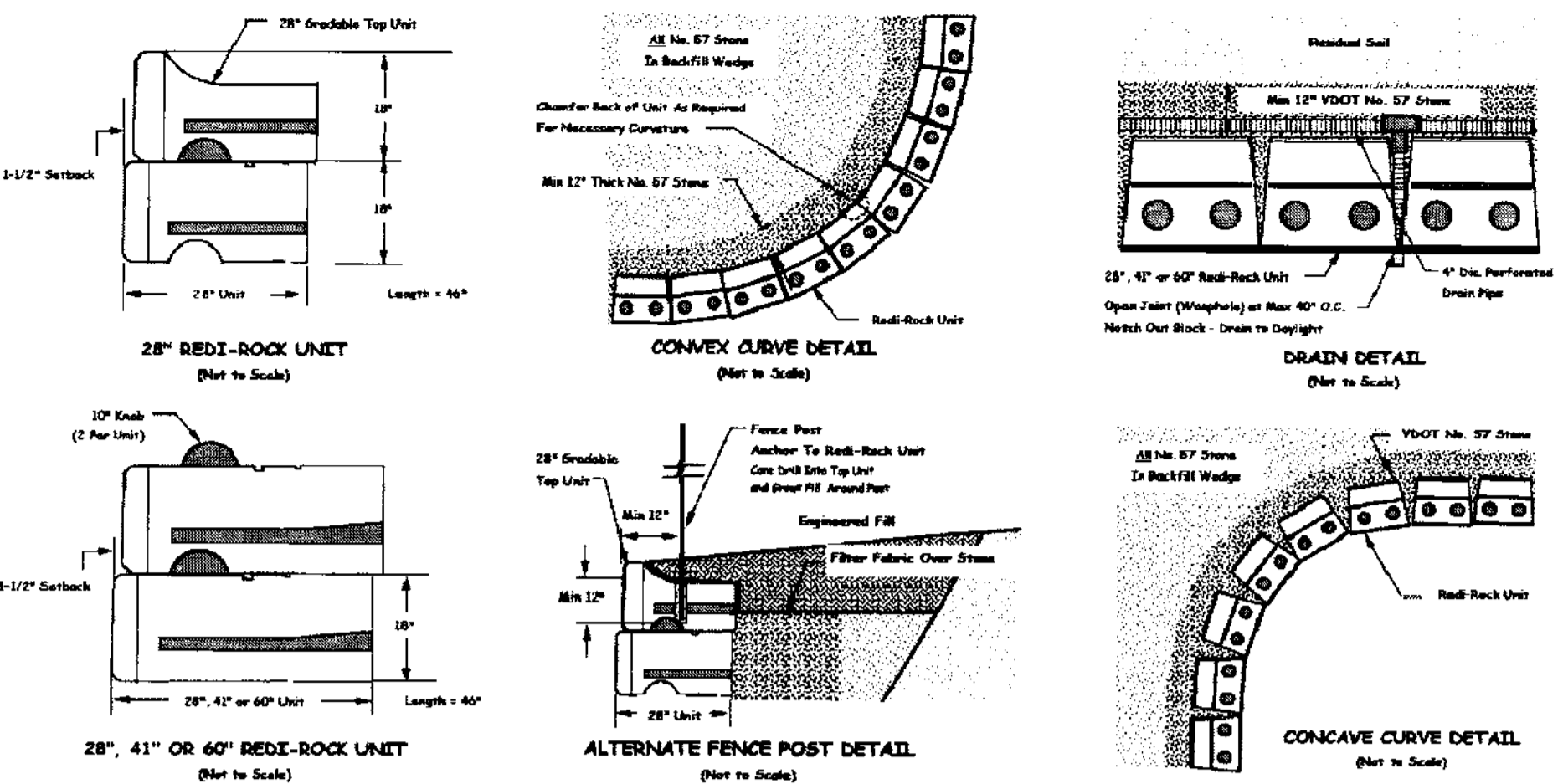
1. CONTRACTOR SHALL EXERCISE CARE, ESPECIALLY AT INTERSECTIONS AND GUTTER LINES, TO PROVIDE POSITIVE DRAINAGE. ANY AREAS WHERE WATER IS IMPOUNDED SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST. POSITIVE DRAINAGE OF ALL ROADWAY AREAS TO THE STORM DRAIN INLETS OR OTHER ACCEPTABLE DRAINAGE CHANNELS AS NOTED ON THE PLANS IS REQUIRED.
2. CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERTS AND FLOWS AT ALL TIMES DURING THE WORK. CONTRACTOR SHALL PAY FOR ALL PERSONAL INJURY AND PROPERTY DAMAGE WHICH MAY OCCUR AS A RESULT OF FAILING TO MAINTAIN ADEQUATE DRAINAGE.
3. ALL PIPES, D/S AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEER BEFORE BEING BACKFILLED OR BURIED. THE ENGINEER MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO UNCOVER AND RE-COVER SUCH STRUCTURES IF THEY HAVE BEEN BACKFILLED OR BURIED WITHOUT SUCH INSPECTION.
4. ALL CATCH BASINS ENCOMPASSED WITHIN NEW CONSTRUCTION SHALL BE CONVERTED TO DROP INLETS.
5. CLASS I RIP RAP MODIFICATIONS ALLOWS FOR A REDUCTION IN STONE DEPTH FROM 2.0' TO A MINIMUM OF 1.0' AS DIRECTED BY THE ENGINEER.
6. REMOVED PIPE SHALL BE THE PROPERTY OF CONTRACTOR AND IF NOT SALVAGED FOR RE-USE, SHALL BE DISPOSED OF LAWFULLY.
7. ALL STORM SEWER PIPE AND DROP INLETS SHALL BE CLEARED OF DEBRIS AND ERODED MATERIAL PRIOR TO FINAL ACCEPTANCE.
8. ALL STORM SEWER PIPE JOINTS SHALL BE SEATED AND SEALED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
9. ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT TIED INTO EXISTING PIPE SHALL BE TIED INTO NEW PIPE WHERE MODIFICATIONS ARE PROPOSED.



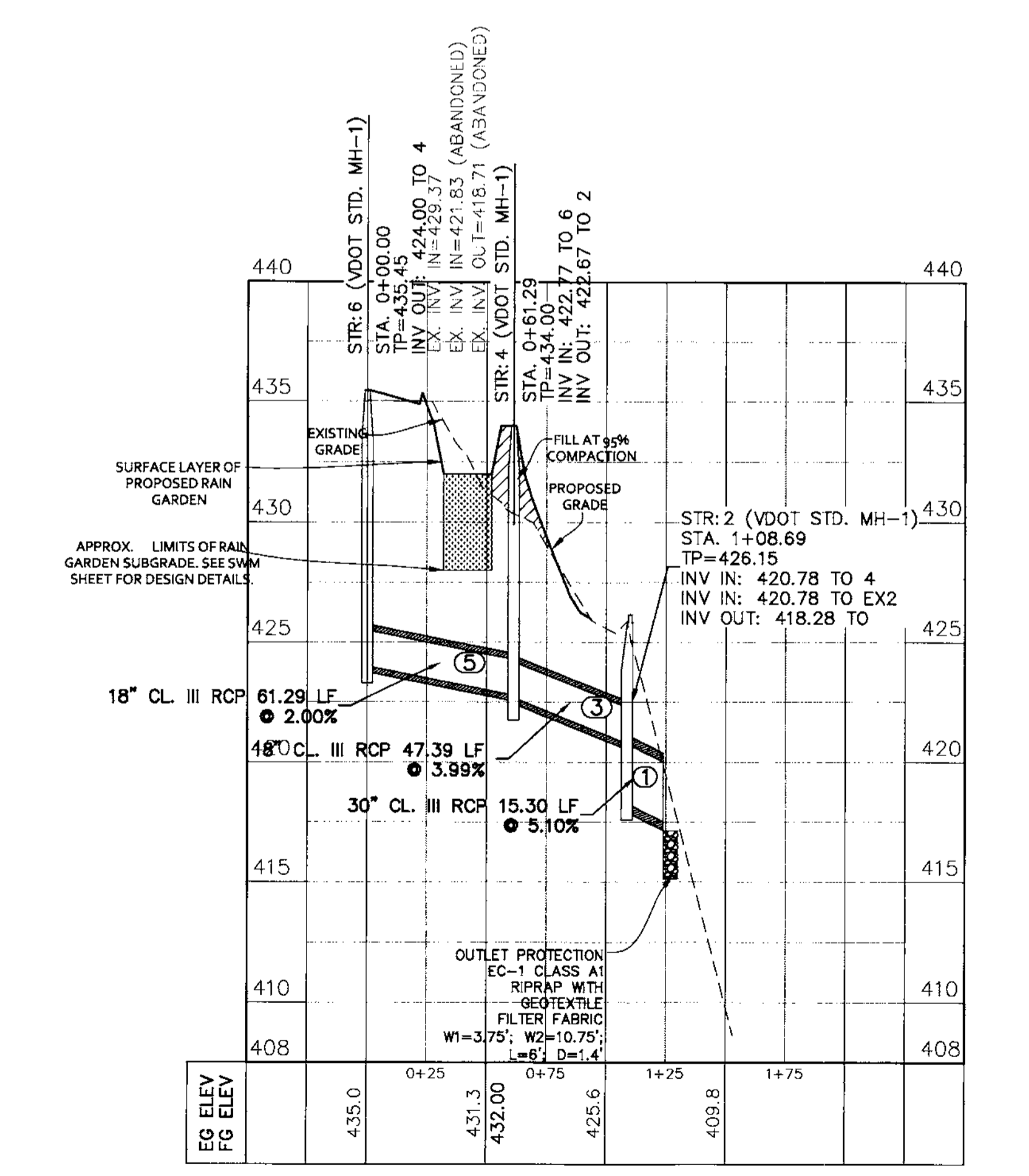
SCHEMATIC OF RETAINING WALL RAIL DETAIL
NOT TO SCALE



NOTE:
IT IS INTENDED THAT THE RETAINING WALLS HAVE A MAXIMUM HEIGHT OF 12' TO PROVIDE COVERAGE FROM THE BOTTOM GRADE LEVEL TO THE TOP OF GRADE. GRADING BETWEEN THE WALLS SHALL SLOPE AT 2:1 TO MINIMIZE WALL HEIGHTS, HOWEVER WALL HEIGHTS MAY VARY DURING THE CONSTRUCTION PROCESS.

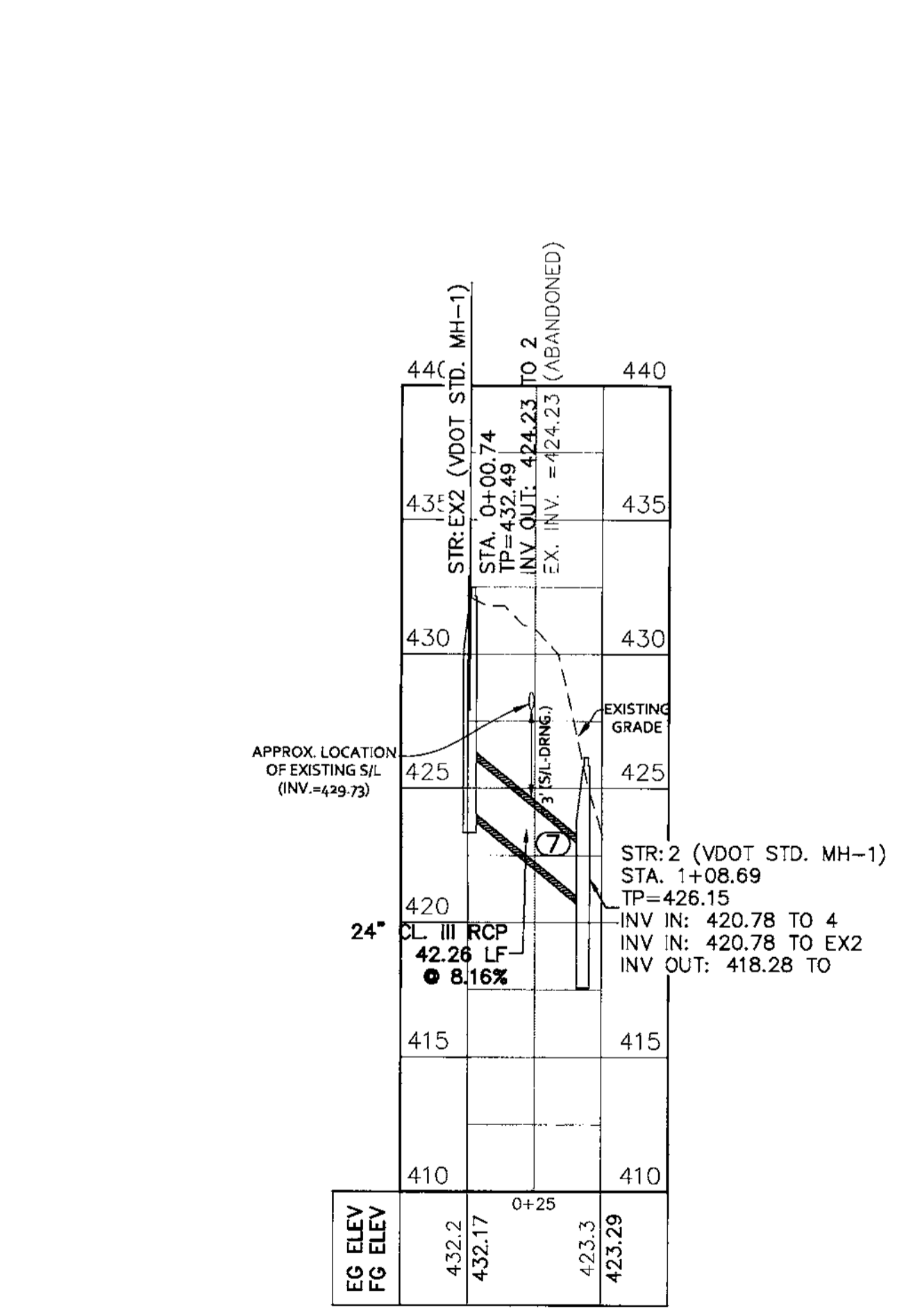


- GENERAL NOTES - RED-ROCK**
1. STRIP VEGETATIVE AND ORGANIC SOIL FROM THE WALL AND RELOCATE ALTERNATELY.
 2. BACKFILL ALL EXCAVATED AREAS.
 3. DO NOT EXCAVATE BEYOND EXCAVATION LINES SHOWN ON PLANS UNLESS DIRECTED BY THE GEOTECHNICAL ENGINEER TO REMOVE UNDESIRABLE SOIL.
 4. CONTRACTOR SHALL ENSURE TEMPORARY EXCAVATIONS ARE STABLE AND PROVIDE EXCAVATION SUPPORT IF NEEDED.
 5. GEOTECHNICAL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN PARAMETERS.
 6. LEVELING PAD SHALL CONSIST OF COMPACTED SAND, GRAVEL, OR COMBINATION AND SHALL BE A MINIMUM 18\"/>
- PERCENTAGE PASSING**
- | SCREEN SIZE | PERCENTAGE PASSING |
|-------------|--------------------|
| 1/2\"/> | |



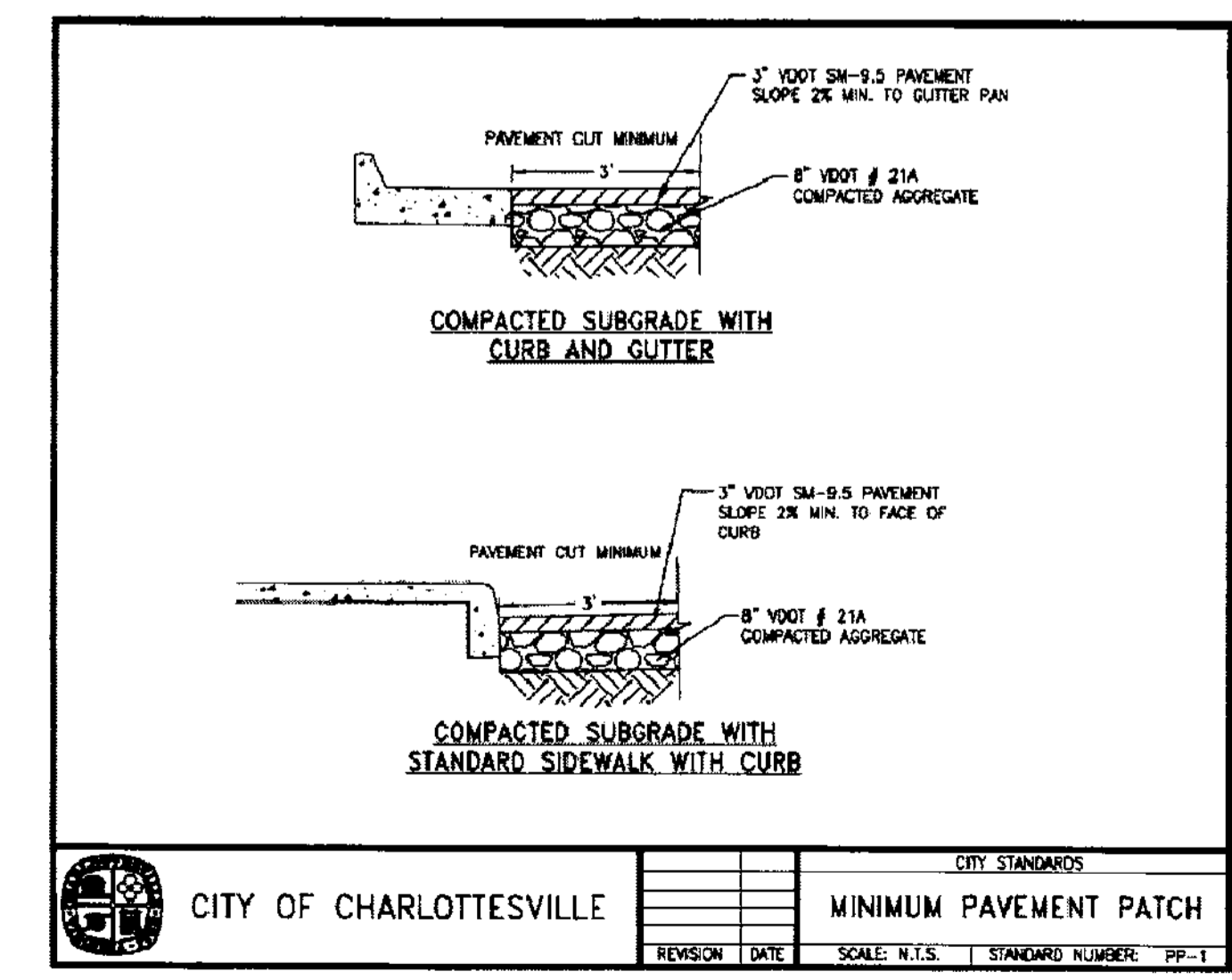
REDIRECTED STORM SEWER- STR. 6 - OUT

SCALE:
1"=5' (V)
1"=50' (H)

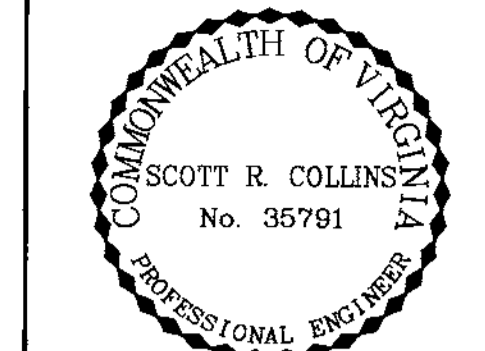


REDIRECTED STORM SEWER- STR. EX2 - STR. 2

SCALE:
1"=5' (V)
1"=50' (H)



CITY OF CHARLOTTESVILLE
MINIMUM PAVEMENT PATCH



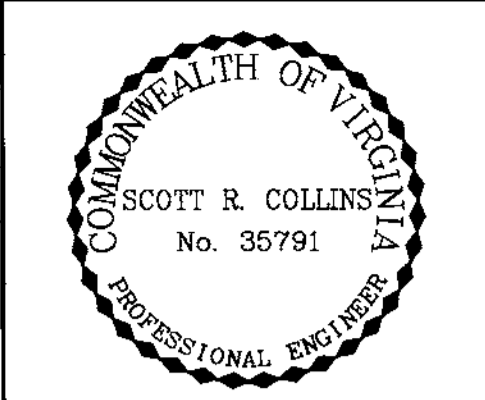
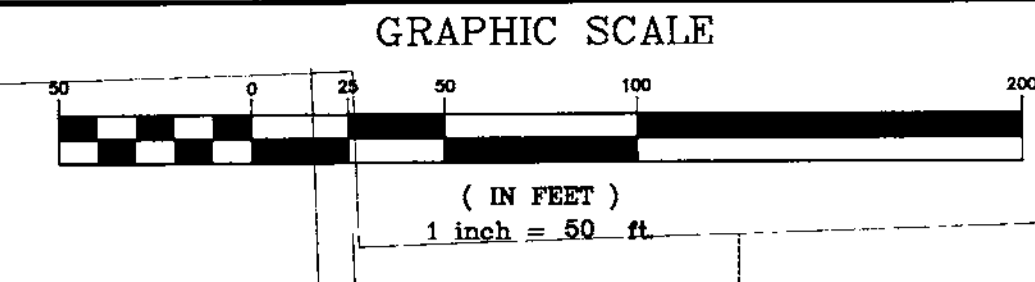
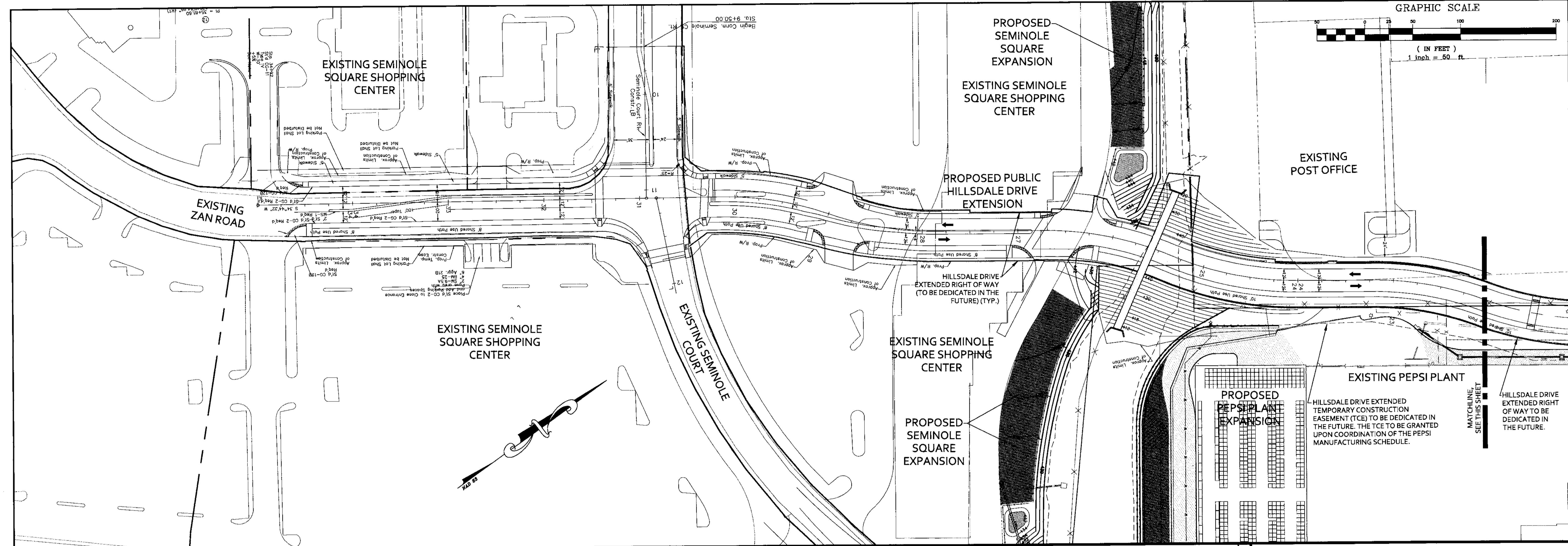
REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	11/13/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS	11/02/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 11/20/12	1/09/13
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 2/15/13	3/25/13
REVISED PLANS FOR CRITICAL SLOPE WAIVER	5/9/13

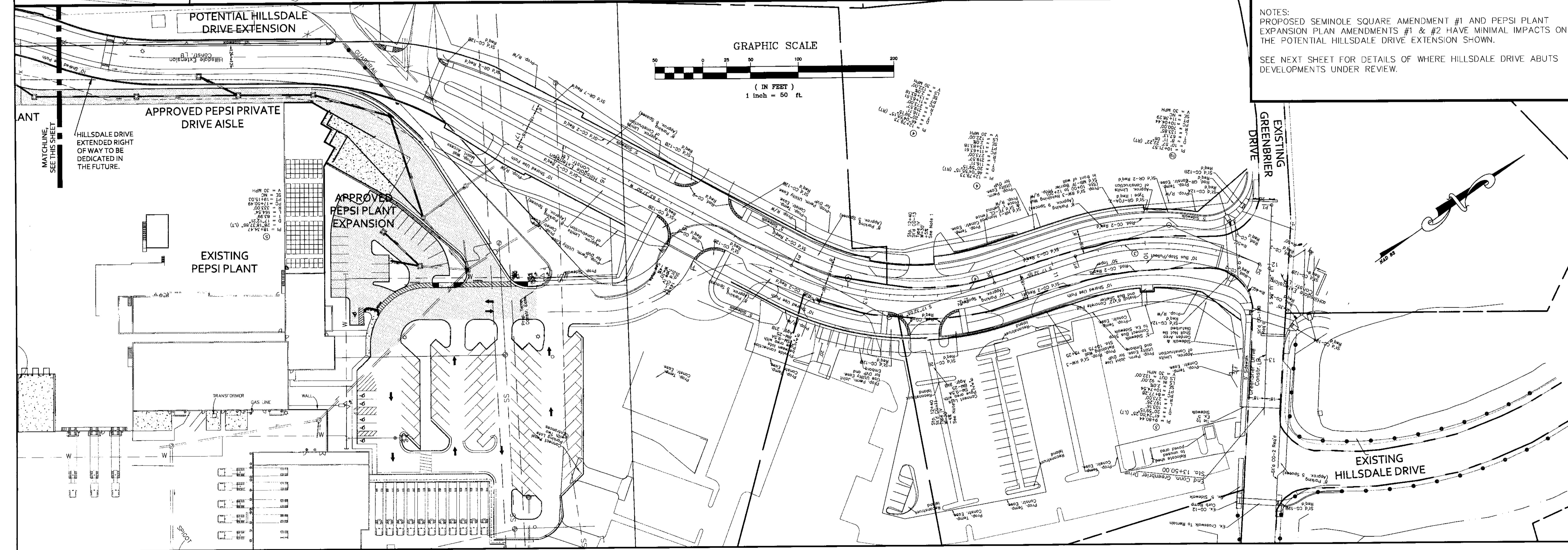
COLLINS ENGINEERING
200 GARRETT STREET SUITE K- CHARLOTTESVILLE, VA 22902 - 434.293.3719

SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT
NOTES, DETAILS & PROFILES

PROJECT: 112070
SCALE: AS SHOWN
SHEET NO.: 4



REVISIONS	
REVISION DESCRIPTION	
REVISED SUBMISSION TO ADDRESS CITY COMMENTS	11/02/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 11/20/12	1/09/13
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 2/15/13	3/25/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13



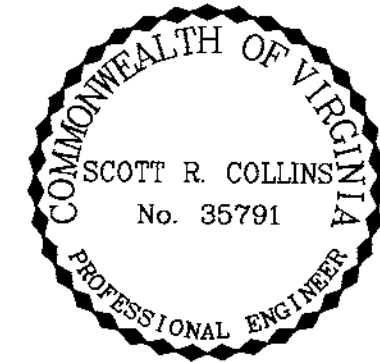
COLLINS ENGINEERING
200 GARRETT STREET SUITE K- CHARLOTTESVILLE, VA 22902 - 434.293.3719

PROJECT
SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

SHEET
HILLSDALE DRIVE EXTENSION OVERLAID WITH PROPOSED DEVELOPMENTS

NO. BC	112070
SCALE	1" = 50'
SHEET NO.	5

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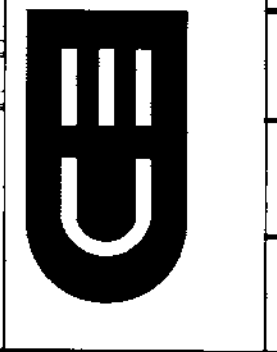


REVISIONS

REVISION DESCRIPTION	DATE
REVISOR	
REVISED SUBMISSION TO ADDRESS CITY COMMENTS	11/20/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 11/20/12	1/09/13
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 2/15/13	3/25/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

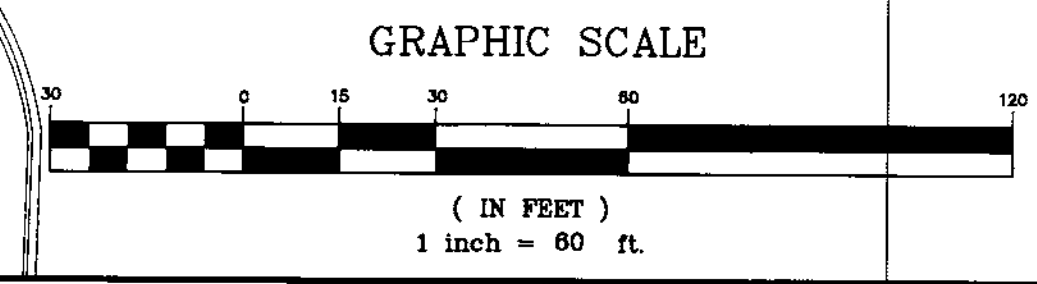
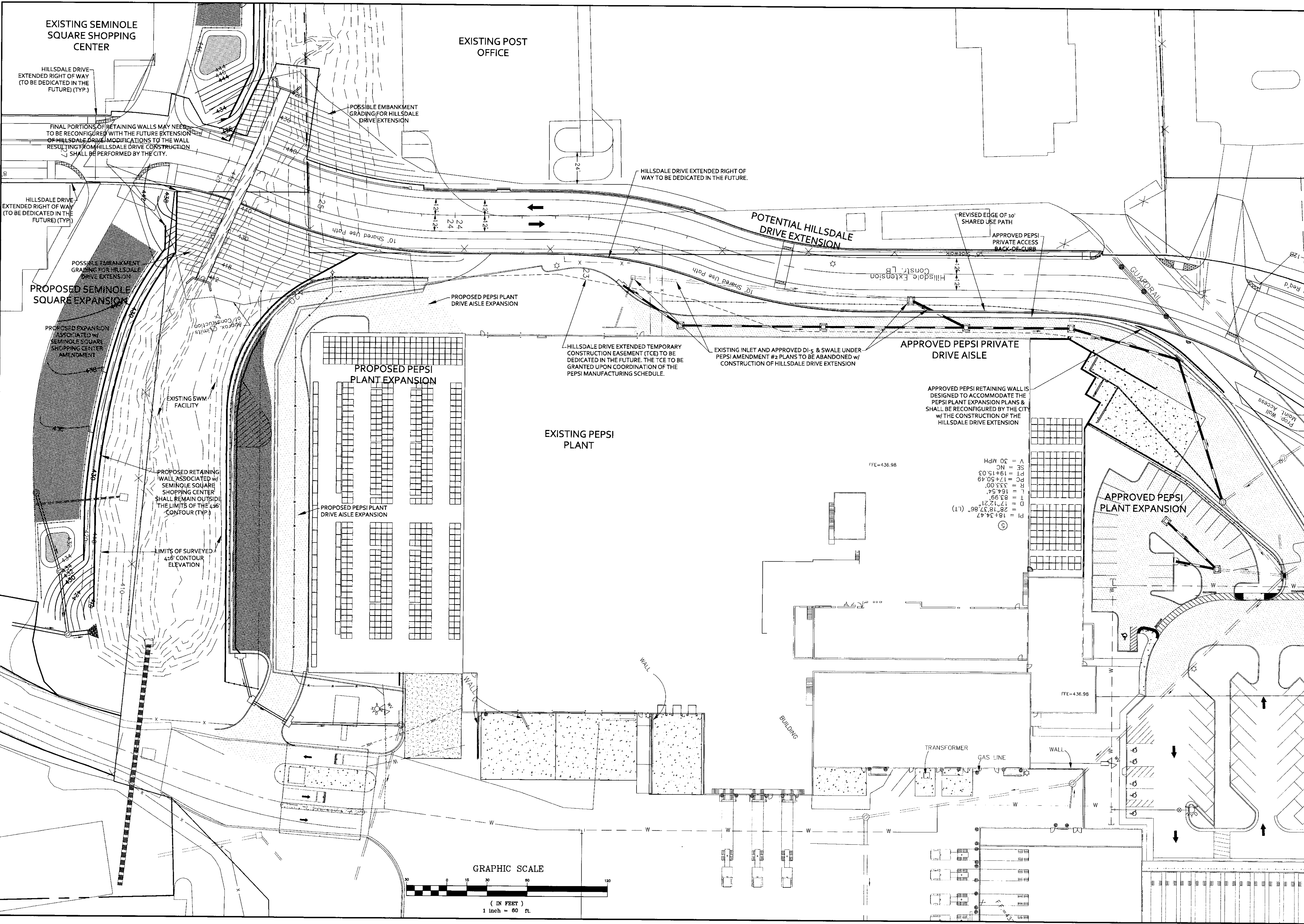
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SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT
HILLSDALE DRIVE EXTENSION OVERLAIN WITH PROPOSED DEVELOPMENTS

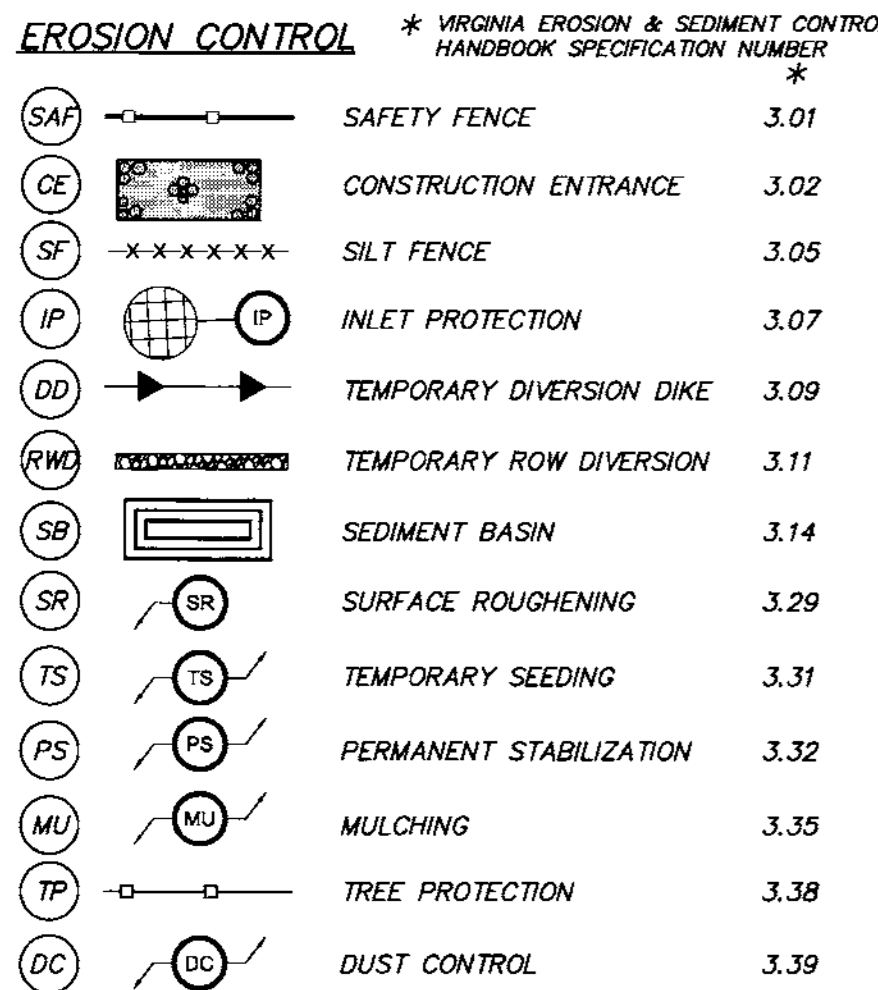
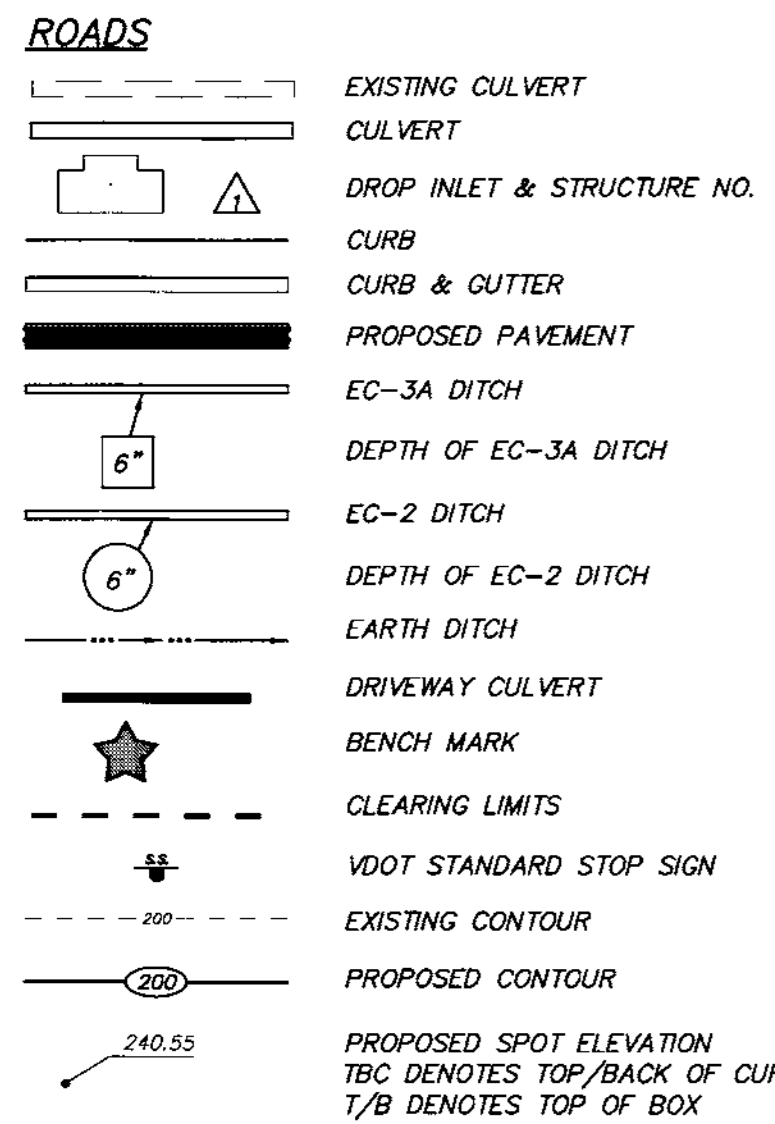


PROJECT JOB NO. 112070
 SHEET SCALE 1"=30'
 SHEET NO. 6

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LEGEND



GENERAL NOTES

- 1. THE OWNER/CLIENT OF THIS PROJECT IS: TOWERS/CLINT PARTNERSHIP ET AL... 2. THESE PLANS HAVE BEEN PREPARED BY: COLLINS ENGINEERING, INC... 3. SOURCE OF INFORMATION/SURVEY: ELEVATIONS FOR THE ADJACENT STORMWATER MANAGEMENT FACILITY ARE BASED OFF OF A SURVEY BY COMMONWEALTH LAND SURVEYING, LLC DATED 8/4/2011...

EROSION & SEDIMENT CONTROL MEASURES

Table with 3 columns: Measure Description, Measure Number, and Measure Specification. Includes items like 3.01 SAFETY FENCE, 3.02 CONSTRUCTION ENTRANCE, 3.05 SILT FENCE, 3.07 INLET PROTECTION, 3.09 TEMPORARY DIVERSION DIKE, 3.11 TEMPORARY ROW DIVERSION, 3.14 SEDIMENT BASIN, 3.29 SURFACE ROUGHENING, 3.31 TEMPORARY SEEDING, 3.32 PERMANENT STABILIZATION, 3.35 MULCHING, 3.38 TREE PROTECTION, and 3.39 DUST CONTROL.

EROSION CONTROL NOTES

- ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK... ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE...

EROSION CONTROL NOTES

- 1. THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE... 2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK... 3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING...

DESCRIPTION OF EROSION & SEDIMENT CONTROL MEASURES

EROSION AND SEDIMENT CONTROL MEASURES: IT IS ANTICIPATED TO USE A CONSTRUCTION ENTRANCE, SUPER SILT FENCE, SURFACE ROUGHENING, INLET PROTECTION, A RIGHT-OF-WAY DIVERSION, TEMPORARY AND PERMANENT SEEDING, TREE PROTECTION FENCING, AND DUST CONTROL TO CONTROL SURFACE DRAINAGE AND EROSION. TEMPORARY SEEDING WILL BE USED IMMEDIATELY FOLLOWING ALL LAND DISTURBANCE ACTIVITIES. TEMPORARY STOCKPILE AREAS WILL BE MAINTAINED FROM TOPSOIL THAT WILL BE STRIPPED FROM AREAS TO BE GRADED AND STORED FOR LATER SPREADING...

STORMWATER MANAGEMENT: THE PROPOSED EXPANSION INCORPORATES PERMEABLE PAVERS TO PROVIDE STORMWATER QUALITY TREATMENT AND DETENTION. THE PERMEABLE PAVERS SHALL ACT AS AN INFILTRATING DEVICE PROVIDING RECHARGE FOR THE GROUND WATER. ANY EXCESS RUNOFF NOT INFILTRATED FROM THE PERMEABLE PAVERS SHALL BE DIRECTED TO THE PROPOSED BIOTRETMENT BASINS FOR FURTHER INFILTRATION...

MAINTENANCE: IN GENERAL, DURING CONSTRUCTION THE RLD OR CONTRACTOR ON-SITE WILL CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES DAILY AND AFTER EACH SIGNIFICANT RAINFALL MONITORING REPORTS WILL BE REQUIRED FROM THE RLD IF NEEDED. SPECIFIC ATTENTION WILL BE GIVEN TO THE FOLLOWING ITEMS: a. SEDIMENT BASINS AND/OR TRAPS WILL BE CLEANED AND MAINTAINED IN ACCORDANCE WITH THE VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK...

EROSION CONTROL NOTES & NARRATIVE

PROJECT DESCRIPTION: THE PURPOSE OF THIS LAND DISTURBANCE ACTIVITY IS TO CREATE A FUTURE PARKING EXPANSION AREA FOR THE SEMINOLE SQUARE SHOPPING CENTER. THE PLAN PROPOSES TO GRADE A FLAT GRASSY AREA ALONG THE EASTERN BOUNDARY OF THE SITE UTILIZING A PROPOSED RETAINING WALLS. THE PROJECT WILL BEGIN CONSTRUCTION IN THE SUMMER OF 2013 AND CONCLUDE IN THE FALL OF 2013. THE TIME FOR COMPLETION WILL BE APPROXIMATELY 6 MONTHS. PORTIONS OF STORM SEWER ARE PROPOSED TO BE REPAIRED AROUND THE RETAINING WALL.

EXISTING SITE CONDITIONS: THE AREA EAST OF THE EXISTING SEMINOLE SQUARE SHOPPING CENTER IS CURRENTLY PAVED AND DRAINED WITH CURB AND GUTTER. THE AREA OF THE PARKING EXPANSION IS CURRENTLY SLOPING TO THE EAST, WOODED, AND DRAINS TO AN EXISTING MANMADE SWM FACILITY, WHICH IS ADJACENT TO THE SITE AND PROTECTED WITH A STORMWATER MANAGEMENT EASEMENT.

ADJACENT AREAS: THIS SITE IS BORDERED BY ROUTE 29 TO THE NORTHWEST, THE PEPSI-COLA PLANT AND THE POST OFFICE TO THE NORTH AND NORTHEAST, MEADOW CREEK TO THE SOUTHEAST, AND A SHOPPING CENTER AND HYDRAULIC ROAD TO THE SOUTH & SOUTHWEST. THE DRAINAGE FROM THE PROPOSED DEVELOPMENT DRAINS TO MEADOW CREEK, BUT IS INTERCEPTED BY STORM SEWER AND AN EXISTING STORMWATER MANAGEMENT FACILITY.

OFFSITE LAND DISTURBANCE: NO OFFSITE LAND DISTURBANCE IS PROPOSED BEYOND WHAT IS PROPOSED WITH THIS SET OF PLANS. THERE ARE NO SOIL BOUNDARIES WITHIN THE PROJECT LIMITS. SOILS ARE URBAN SOIL. SEE SOIL DESCRIPTION THIS PAGE & LABEL ON PHASE 1 OF THE ESC PLAN.

CRITICAL AREAS: THE PROPOSED DEVELOPMENT SHALL PRESERVE AND PROTECT THE EXISTING DRAINAGE DITCH AND SWM EASEMENT TO THE EAST OF THE WORK, AS WELL AS THE EXISTING CRITICAL SLOPES TO REMAIN. APPROXIMATELY 1.56ac. OF THE SITE'S 18.8ac (8%) HAS SLOPES GREATER THAN OR EQUAL TO 25% TREE PROTECTION SHALL BE INSTALLED AS FIRST STEP IN LAND DISTURBANCE. GRADING AND DIGGING OPERATIONS SHALL REMAIN WITHIN THE SUBJECT PARCEL, WITHIN EXISTING EASEMENTS OR BY THE DIRECTION AND PERMISSION OF OFFSITE OWNERS.

SOIL DESCRIPTION

91 - URBAN LAND-OR TO 25% SLOPES. SOURCE MATERIAL RESIDUUM WEATHERED FROM GRANITE AND GNEISS. 10 INCHES TO DENSE MATERIAL. LINEAR CONVEX DOWN AND ACROSS-SLOPE SHAPE. VERY LOW TO HIGH KSAT 0 TO 13.04 IN/HR. (SEE ESC PLAN FOR SOIL BOUNDARY & NAME) REFERENCE: WEB SOIL SURVEY ONLINE DATABASE, FOUND AT http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx

EROSION CONTROL NOTES & NARRATIVE

- SEQUENCE OF CONSTRUCTION: 1. NOTIFY THE CITY OF CHARLOTTESVILLE AND PUBLIC WORKS DEPARTMENT TO SCHEDULE A PRE-CONSTRUCTION MEETING AS REQUIRED. 2. FLAG THE INITIAL LIMITS OF DISTURBANCE AND INSTALL TREE PROTECTION FENCING. 3. NO EROSION CONTROL MEASURES MAY BE REMOVED DURING THE CONSTRUCTION PROCESS WITHOUT THE APPROVAL FROM THE INSPECTOR ON THE PROJECT. 4. INSTALL THE PAVED CONSTRUCTION ENTRANCE AND WASH RACK LOCATED AT THE PROPOSED TRUCK ENTRANCE AS SHOWN ON THE PLANS. CONSTRUCTION ENTRANCE TO BE INSTALLED WHERE CONSTRUCTION VEHICLE ROUTES INTERSECT PAVED PUBLIC ROADS. PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY (VEHICULAR) TRACKING ON THE PAVED SURFACE...

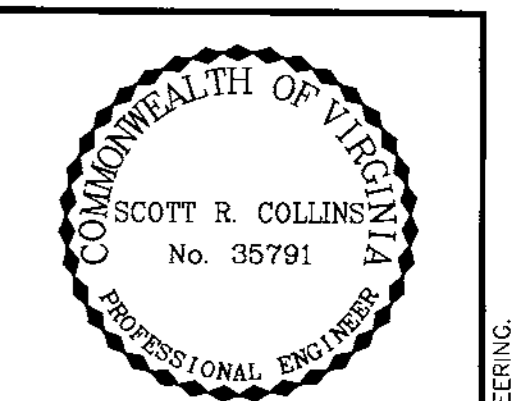
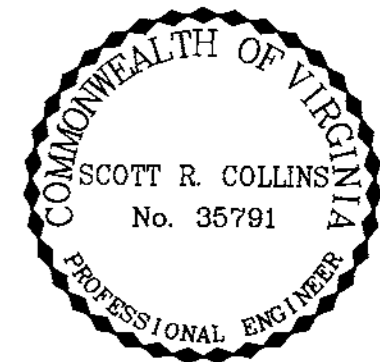


Table with 2 columns: Revision Number and Description. Includes entries for 1/13/12, 11/02/12, 1/09/13, 3/25/13, and 5/9/13 with descriptions of initial submission, address changes, and revised plans.

Large vertical text block containing 'COLLINS ENGINEERING', '200 GARRETT STREET SUITE K- CHARLOTTESVILLE, VA 22902 - 434.293.3719', 'SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT', 'EROSION & SEDIMENT CONTROL NARRATIVE & NOTES', and project details like JOB NO. 11070, SCALE N/A, SHEET NO. 7.



REVISIONS

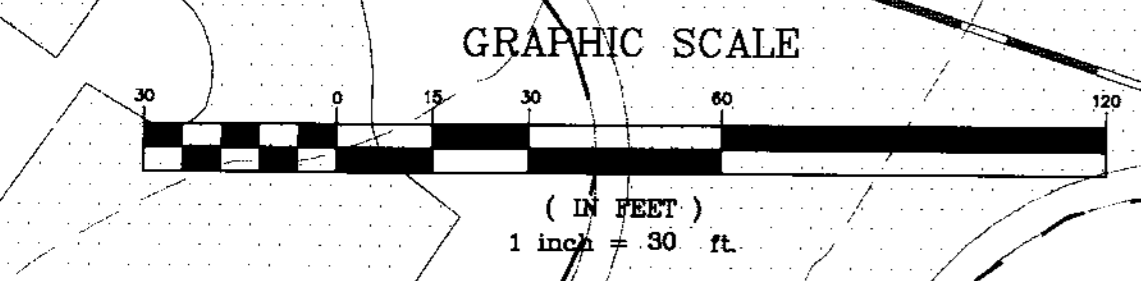
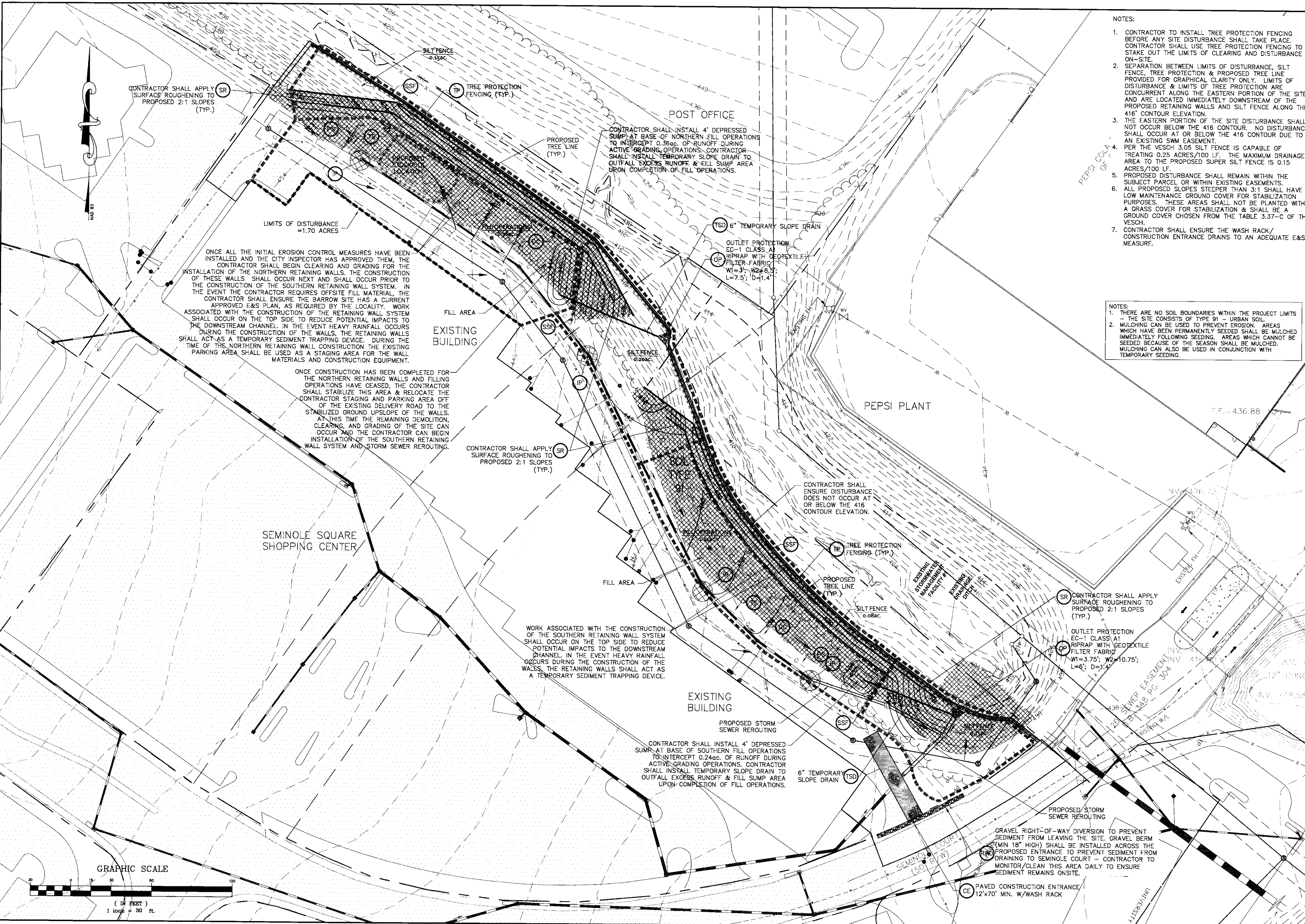
REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/13/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS	1/10/12
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REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 2/15/13	3/25/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

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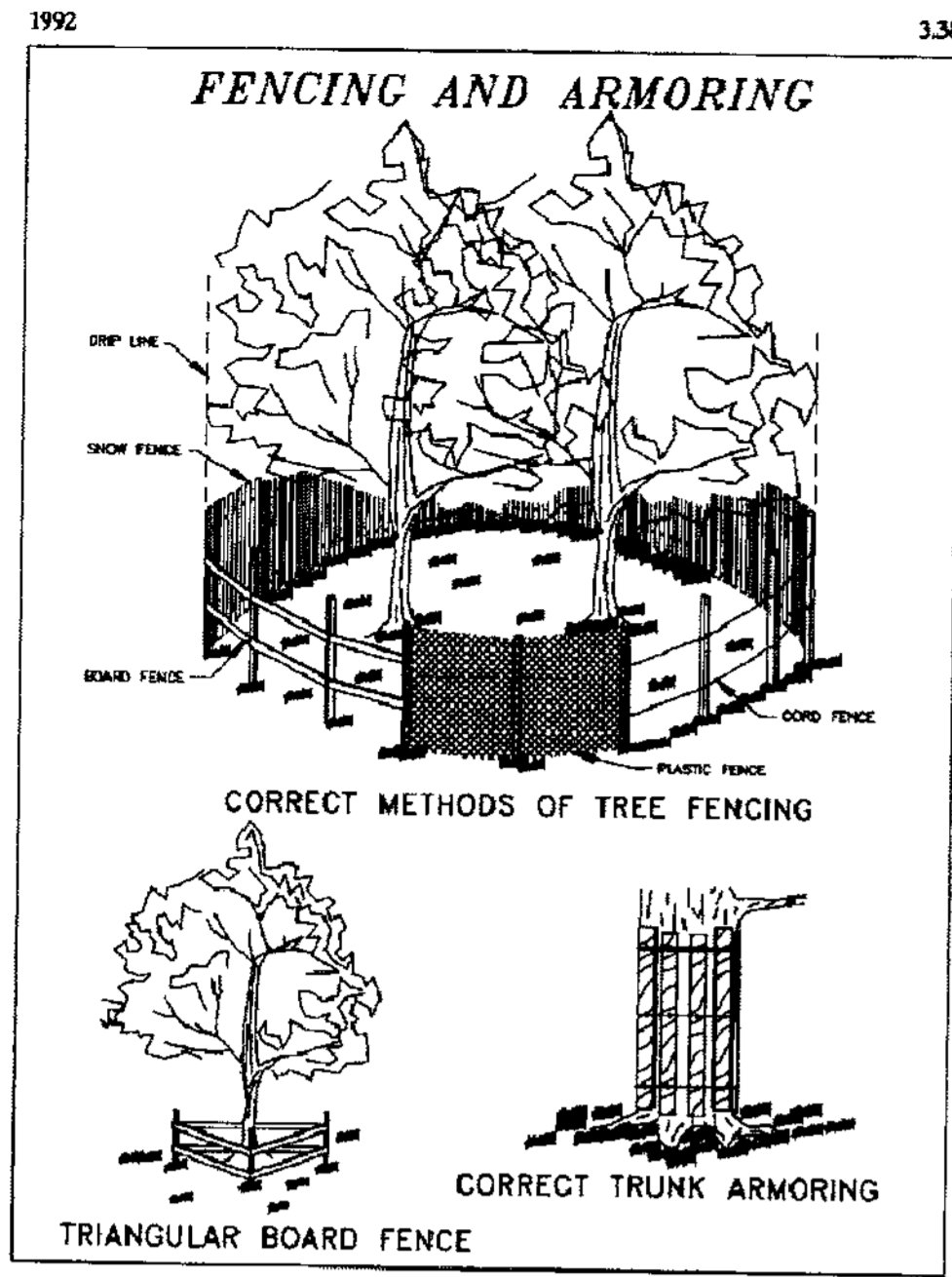
SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT
EROSION & SEDIMENT CONTROL PLAN

JOB NO.	112070
SCALE	1" = 30'
SHEET NO.	8

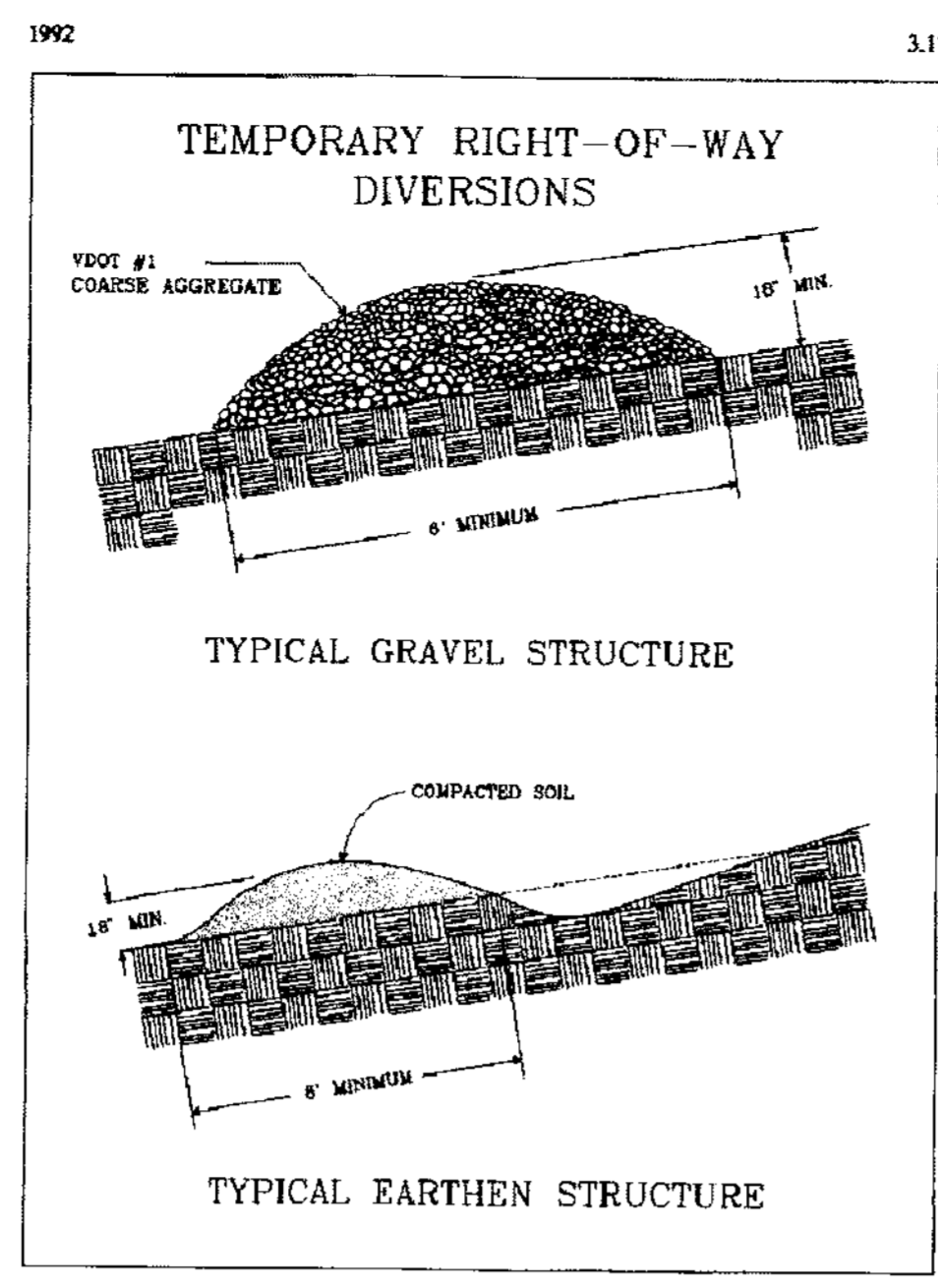
- NOTES:
- CONTRACTOR TO INSTALL TREE PROTECTION FENCING BEFORE ANY SITE DISTURBANCE SHALL TAKE PLACE. CONTRACTOR SHALL USE TREE PROTECTION FENCING TO STAKE OUT THE LIMITS OF CLEARING AND DISTURBANCE ON-SITE.
 - SEPARATION BETWEEN LIMITS OF DISTURBANCE, SILT FENCE, TREE PROTECTION & PROPOSED TREE LINE PROVIDED FOR GRAPHICAL CLARITY ONLY. LIMITS OF DISTURBANCE & LIMITS OF TREE PROTECTION ARE CONCURRENT ALONG THE EASTERN PORTION OF THE SITE AND ARE LOCATED IMMEDIATELY DOWNSTREAM OF THE PROPOSED RETAINING WALLS AND SILT FENCE ALONG THE 416' CONTOUR ELEVATION.
 - THE EASTERN PORTION OF THE SITE DISTURBANCE SHALL NOT OCCUR BELOW THE 416 CONTOUR. NO DISTURBANCE SHALL OCCUR AT OR BELOW THE 416 CONTOUR DUE TO AN EXISTING SWM EASEMENT.
 - PER THE VESCH 3.05 SILT FENCE IS CAPABLE OF TREATING 0.25 ACRES/100 LF. THE MAXIMUM DRAINAGE AREA TO THE PROPOSED SUPER SILT FENCE IS 0.15 ACRES/100 LF.
 - PROPOSED DISTURBANCE SHALL REMAIN WITHIN THE SUBJECT PARCEL OR WITHIN EXISTING EASEMENTS.
 - ALL PROPOSED SLOPES STEEPER THAN 3:1 SHALL HAVE A LOW MAINTENANCE GROUND COVER FOR STABILIZATION PURPOSES. THESE AREAS SHALL NOT BE PLANTED WITH A GRASS COVER FOR STABILIZATION & SHALL BE A GROUND COVER CHOSEN FROM THE TABLE 3.37-C OF THE VESCH.
 - CONTRACTOR SHALL ENSURE THE WASH RACK/ CONSTRUCTION ENTRANCE DRAINS TO AN ADEQUATE E&S MEASURE.
- NOTES:
- THERE ARE NO SOIL BOUNDARIES WITHIN THE PROJECT LIMITS - THE SITE CONSISTS OF TYPE 91 - URBAN SOIL.
 - MULCHING CAN BE USED TO PREVENT EROSION. AREAS WHICH HAVE BEEN PERMANENTLY SEEDED SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING. AREAS WHICH CANNOT BE SEEDED BECAUSE OF THE SEASON SHALL BE MULCHED. MULCHING CAN ALSO BE USED IN CONJUNCTION WITH TEMPORARY SEEDING.



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Source: Va. DSWC Plate 3.38-2



Source: Va. DSWC Plate 3.11-1

TABLE 3.39-A
ADHESIVES USED FOR DUST CONTROL

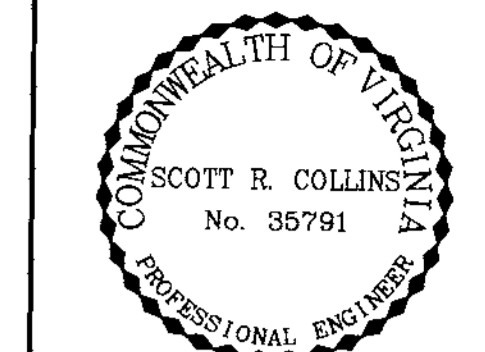
Adhesive	Water Dilution (Adhesive: Water)	Type of Nozzle	Application Rate Gallons/Acre
Anionic Asphalt Emulsion	7:1	Coarse Spray	1,200
Latex Emulsion	12.5:1	Fine Spray	235
Resin in Water	4:1	Fine Spray	300
Acrylic Emulsion (Non-Traffic)	7:1	Coarse Spray	450
Acrylic Emulsion (Traffic)	3.5:1	Coarse Spray	350

Source: Va. DSWC

TABLE 3.31-C
TEMPORARY SEEDING PLANT MATERIALS, SEEDING RATES, AND DATES

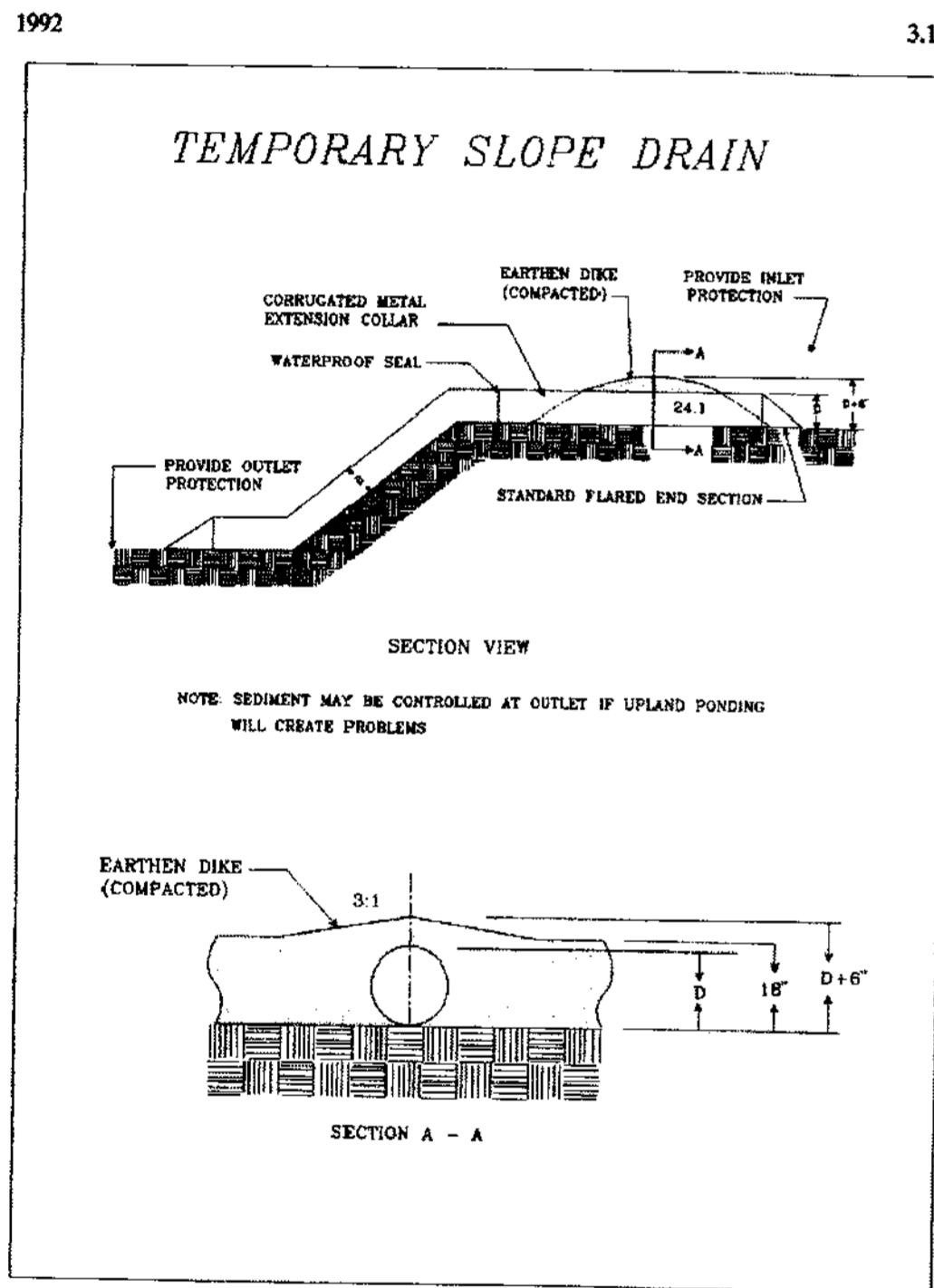
SPECIES	SEEDING RATE		NORTH ^a		SOUTH ^b		PLANT CHARACTERISTICS		
	Acres	1,000 ft ²	3/1 to 4/30	5/1 to 8/15	8/15 to 11/1	2/15 to 4/30		5/1 to 9/1	9/1 to 11/15
OATS (<i>Avena sativa</i>)	3 bu. (up to 100 lbs., not less than 50 lbs.)	2 lbs.	X	-	-	X	-	-	Use spring varieties (e.g., Noble).
RYE ^c (<i>Secale cereale</i>)	2 bu. (up to 110 lbs., not less than 50 lbs.)	2.5 lbs.	X	-	X	X	-	X	Use for late fall seedings, winter cover. Tolerates cold and low moisture.
GERMAN MILLET (<i>Setaria italica</i>)	50 lbs.	approx. 1 lb.	-	X	-	-	X	-	Warm-season annual. Dies at first frost. May be added to summer mixes.
ANNUAL RYEGRASS ^d (<i>Lolium multi-florum</i>)	60 lbs.	1 1/4 lbs.	X	-	X	X	-	X	May be added to mixes. Will mow out of most stands.
WEeping LOVEGRASS (<i>Eragrostis curvula</i>)	15 lbs.	5/4 ozs.	-	X	-	-	X	-	Warm-season perennial. May be used as a cover crop with spring seeding. Tolerates hot, dry slopes and acid, infertile soils. May be added to mixes.
KOREAN LESPEDEZA ^e (<i>Lepidolobos striolatus</i>)	25 lbs.	approx. 1 1/4 lbs.	X	X	-	X	X	-	Warm season annual legume. Tolerates acid soils. May be added to mixes.

^a Northern Piedmont and Mountain region. See Plates 3.22-1 and 3.22-2.
^b Southern Piedmont and Coastal Plain.
^c May be used as a cover crop with spring seeding.
^d May be used as a cover crop with fall seeding.
X May be planted between these dates.
- May not be planted between these dates.

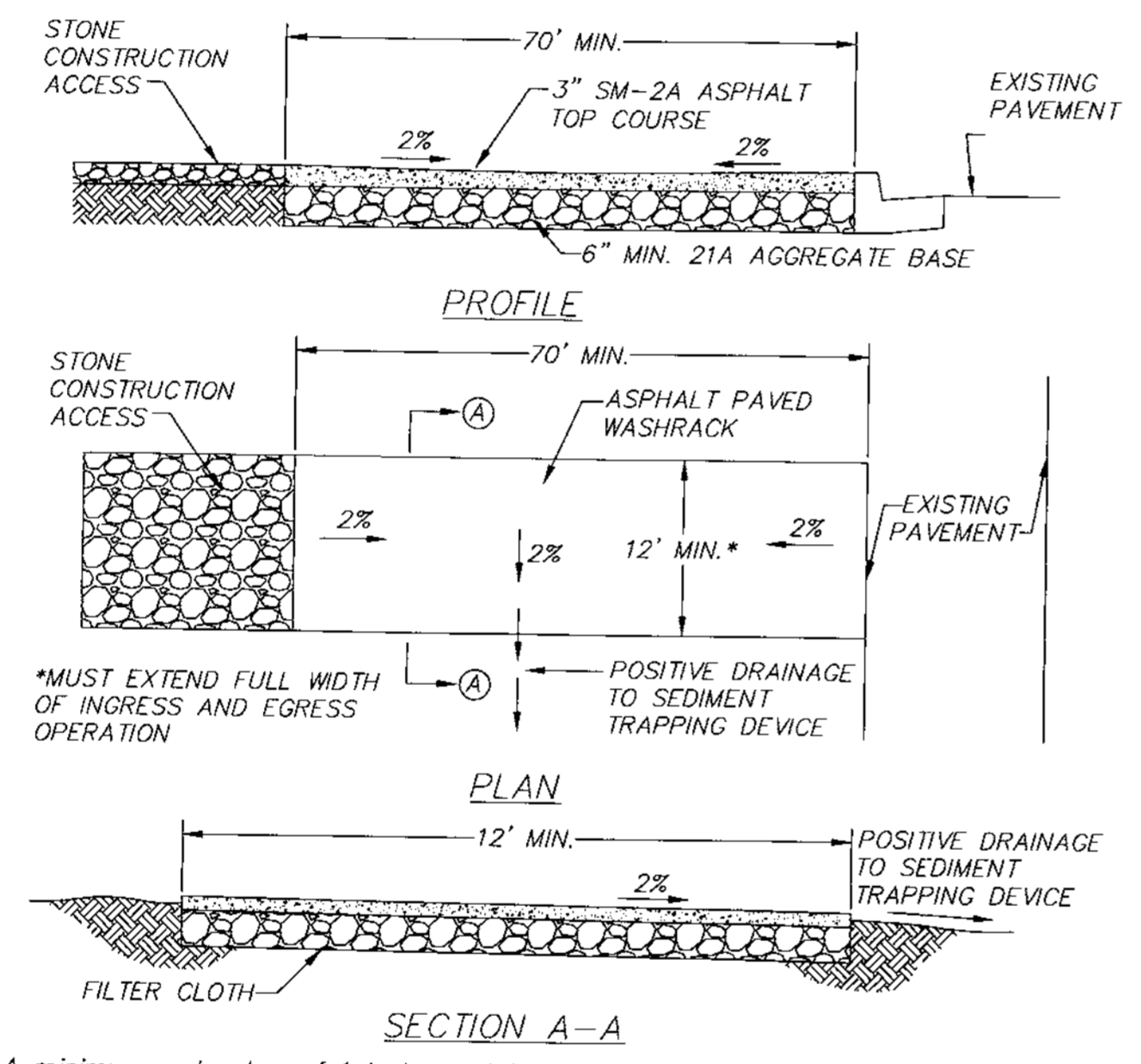


REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/13/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS	11/02/12
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REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 2/15/13	3/25/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13



Source: Va. DSWC Plate 3.15-1



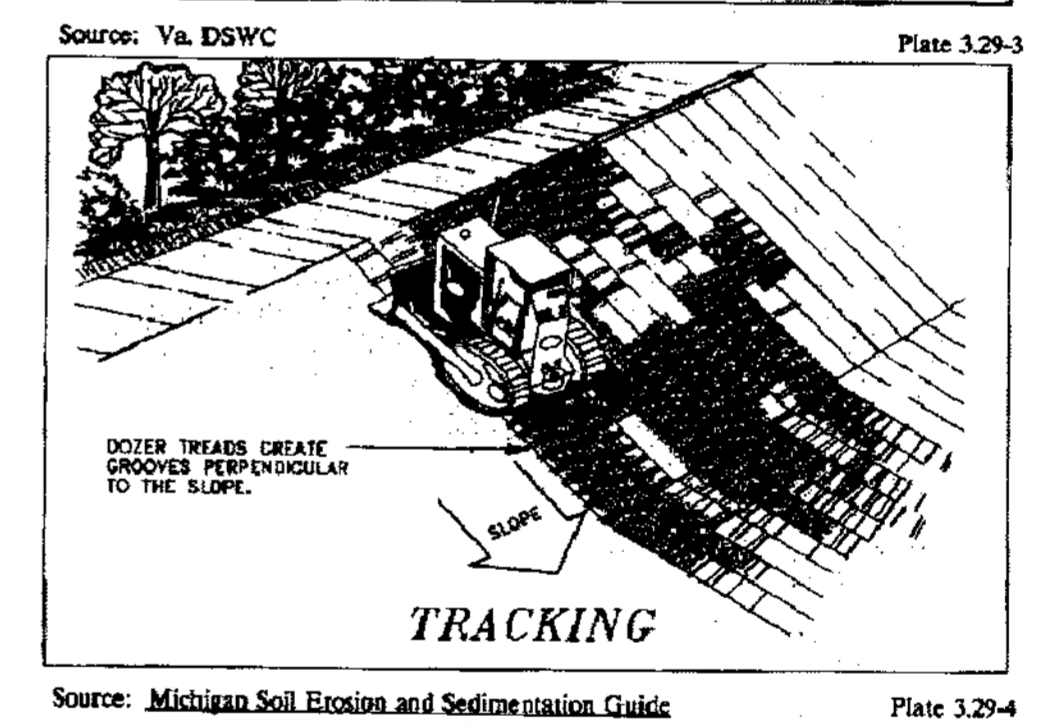
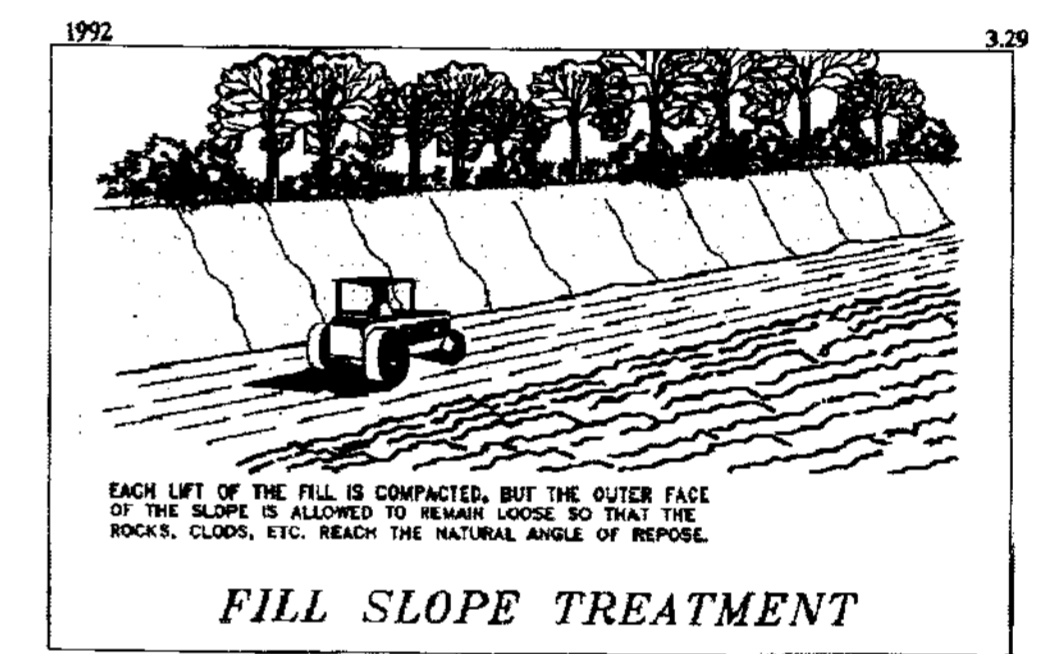
A minimum water tap of 1 inch must be installed with a minimum 1 inch ballcock shutoff valve supplying a wash hose with diameter or 1.5 inches for adequate constant pressure. Wash water must be carried away from the entrance to an approved settling area to remove sediment. All sediment shall be prevented from entering storm drains, ditches or watercourses.

TABLE 3.35-A
ORGANIC MULCH MATERIALS AND APPLICATION RATES

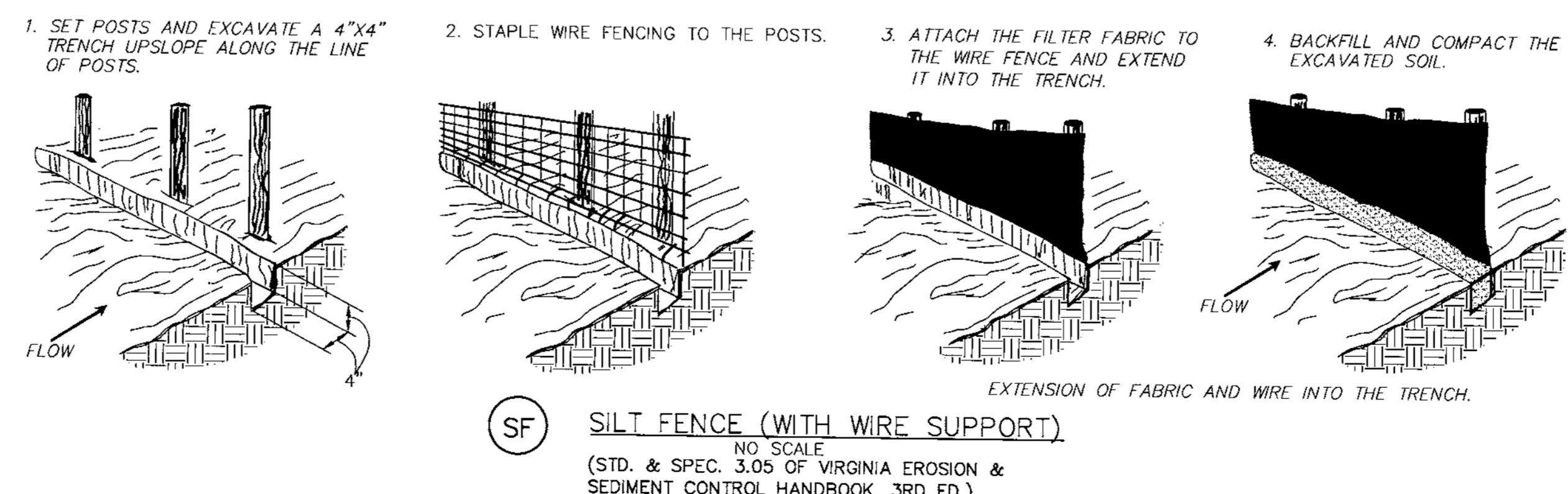
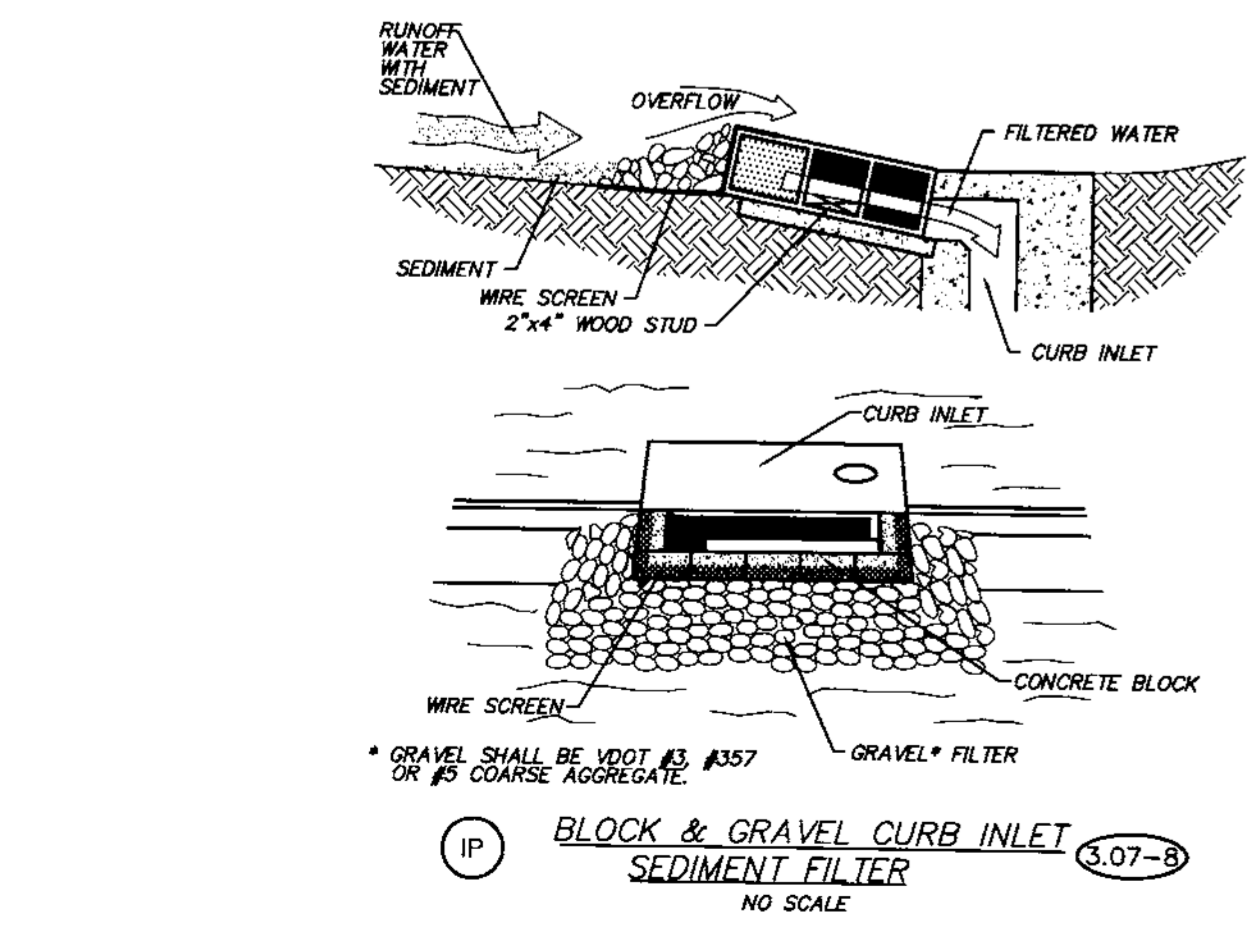
MULCHES:	RATES:		NOTES:
	Per Acre	Per 1000 sq. ft.	
Straw or Hay	1 1/2 - 2 tons (Minimum 2 tons for winter cover)	70 - 90 lbs.	Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand.
Fiber Mulch	Minimum 1500 lbs.	35 lbs.	Do not use as mulch for winter cover or during hot, dry periods.* Apply as slurry.
Corn Stalks	4 - 6 tons	185 - 275 lbs.	Cut or shredded in 4-6" lengths. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.
Wood Chips	4 - 6 tons	185 - 275 lbs.	Free of coarse matter. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.
Bark Chips or Shredded Bark	50 - 70 cu. yds.	1-2 cu. yds.	Free of coarse matter. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.

* When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2000 lbs./ac. or 45 lbs./1000 sq. ft.

Source: Va. DSWC



Source: Michigan Soil Erosion and Sedimentation Guide Plate 3.29-4



PERMANENT SEEDING SCHEDULE
NO SCALE
(STD. & SPEC. 3.32 OF VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK, 3RD ED.)

GENERAL SLOPE (3:1 OR LESS)	TOTAL LBS PER ACRE
KENTUCKY 31 FESCUE	128 LBS.
RED TOP GRASS	2 LBS.
SEASONAL NURSE CROP	20 LBS.
SEASONAL NURSE CROP:	150 LBS.
FEBRUARY 16 THROUGH APRIL	ANNUAL RYE
MAY 1 THROUGH AUGUST 15	FOXTAIL MILLET
AUGUST 16 THROUGH OCTOBER	ANNUAL RYE
NOVEMBER THROUGH FEBRUARY 15	WINTER RYE

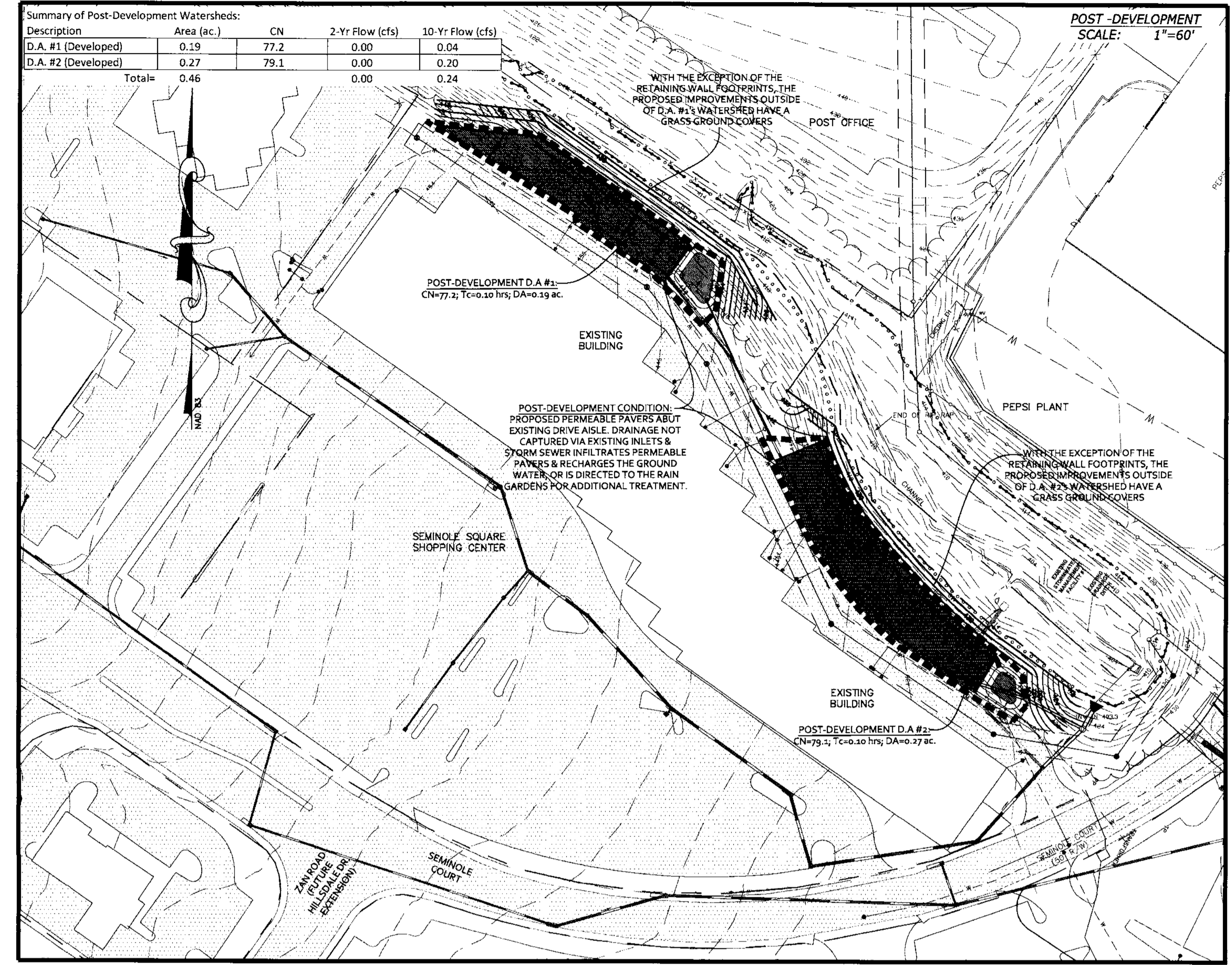
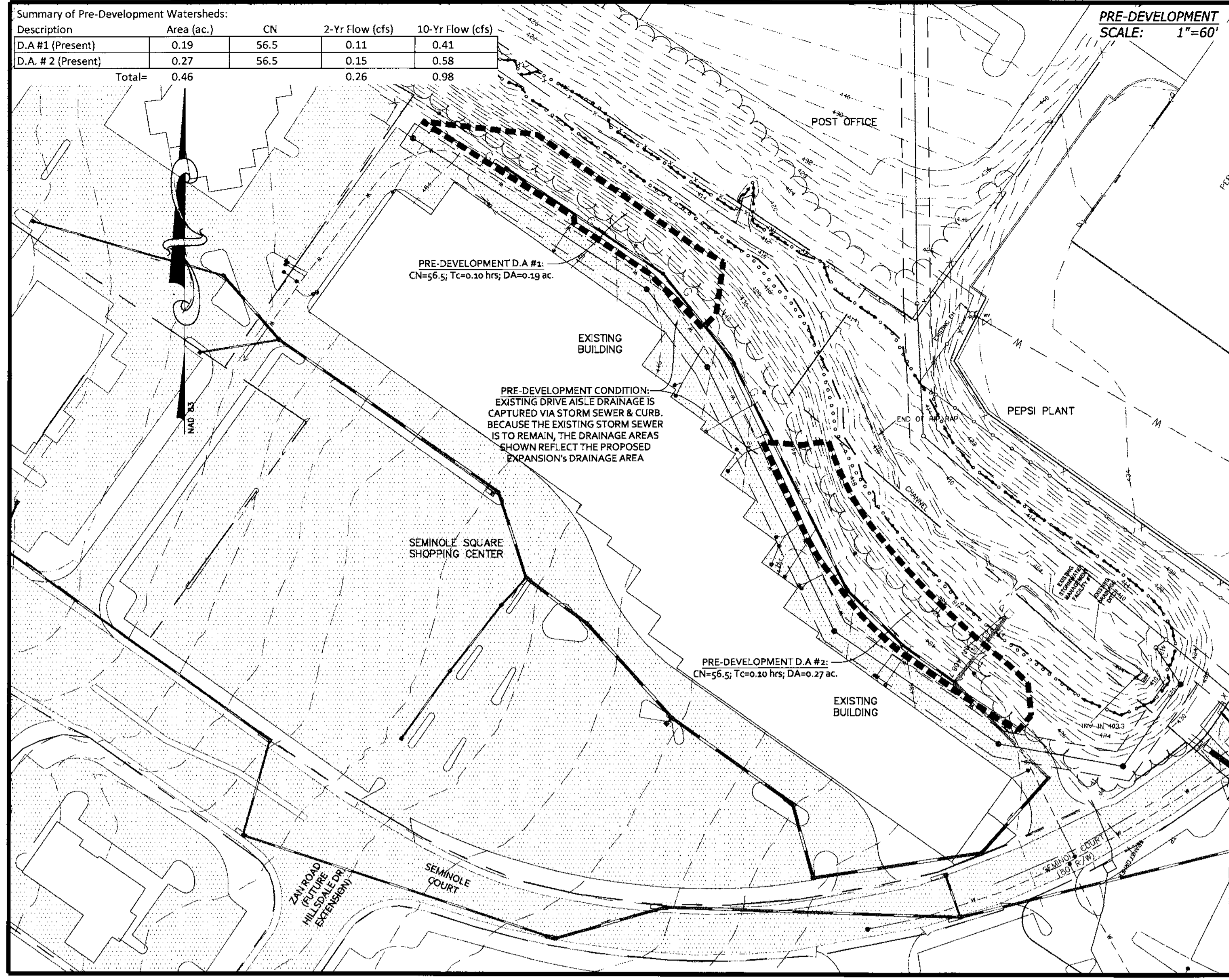
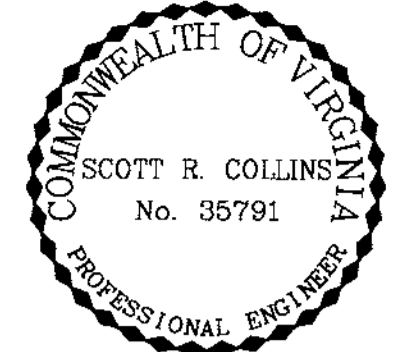
NOTES:
1. LIME AND FERTILIZER NEEDS SHALL BE DETERMINED BY SOIL TESTS AND APPLIED IN ACCORDANCE WITH VESCH STD. 3.32.
2. SEEDINGS TO BE MULCHED IMMEDIATELY UPON COMPLETION OF SEED APPLICATION, IN ACCORDANCE W/ VESCH STD 3.35.

COLLINS ENGINEERING
200 GARRETT STREET SUITE K- CHARLOTTESVILLE, VA 22902 - 434.293.3719

SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT
EROSION & SEDIMENT CONTROL DETAILS

PROJECT: 112070
SCALE: N/A
SHEET NO.: 9

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REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/13/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS	11/02/12
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 11/20/12	1/09/13
REVISED SUBMISSION TO ADDRESS CITY COMMENTS DATED 2/15/13	3/25/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

Elevation (ft)	Area of Rain Garden #1 Contours (sf)	Permeable Pavers & Stone Base	*Void Area of Permeable Pavers & Stone Base (sf)	Interpolated Elevations in Pavers, Stone Base & Rain Garden #1 (ft)	Interpolated Available Area in Pavers, Stone Base & Rain Garden #1 (sf)	Interpolated Available Volume in Pavers, Stone Base & Rain Garden #1 (cf)
444	640	0 (Stone)	2240	444	2880	0
444.67	778	8" (Stone)	2240	444.67	3018	1,976
445.17	889	14" (Stone)	1960	445.17	2849	3,442
445.67	1006	20" (Pavers)	255	445.67	1261	4,443
446	1087	24"	-	446	1087	4,830

ROUTING CALCULATIONS FOR D.A. #1 SWM FACILITIES

ELEVATIONS/AREAS:
Basin: Seminole Square-Post-Dev. DA No. 1 Total Available Storage

5 Contour Areas

Elevation(ft)	Area(sf)	Computed Vol.(cy)
444.00	3890.00	0.0
444.67	3038.00	73.2
445.17	2849.00	137.5
445.67	2165.00	164.6
446.00	1087.00	228.9

CONTROL STRUCTURES:

2 Outlet Structures

Outlet structure 0

Weir

name: 24" Grate Inlet

diameter (in) 24.000

side angle 0.000

coefficient 3.300

invert (ft) 444.500

multiple 1

discharge into riser

transition at (ft) 0.608

orifice coef. 0.500

orifice area (sf) 3.142

Outlet structure 1

Culvert

name: Barrel

multiple 1

discharge out of riser

D (in) 8.000

h (in) 0.000

Length (ft) 48.000

Slope 0.005

Manning's n 0.013

Inlet coeff. Ke 0.500

Equation constant set 3

Invert (ft) 440.230

INFLOW HYDROGRAPH DATA:

2-Yr 24-Hr Peak Post-Dev. Storm Event

Area (acres) 0.190

CN 77.200

Type 2

rainfall, P (in) 3.700

time of conc. (hrs) 0.1000

time increment (hrs) 0.0200

time limit (hrs) 30.000

fudge factor 1.00

routed true

peak flow (cfs) 0.384

peak time (hrs) 11.917

volume (cy) 40.683

10-Yr 24-Hr Peak Post-Dev. Storm Event

Area (acres) 0.190

CN 77.200

Type 2

rainfall, P (in) 5.600

time of conc. (hrs) 0.1000

time increment (hrs) 0.0200

time limit (hrs) 30.000

fudge factor 1.00

routed true

peak flow (cfs) 0.760

peak time (hrs) 11.917

volume (cy) 80.439

ROUTED OUTFLOWS:

2-Yr 24-Hr Peak Post-Dev. Storm Event

inflow (cfs) 0.383 at 11.92 (hrs)

discharge (cfs) 0.000 at 0.00 (hrs)

water level (ft) 444.296 at 24.12 (hrs)

storage (cy) 40.683

10-Yr 24-Hr Peak Post-Dev. Storm Event

inflow (cfs) 0.765 at 11.92 (hrs)

discharge (cfs) 0.025 at 12.40 (hrs)

water level (ft) 444.514 at 12.44 (hrs)

storage (cy) 55.859

Elevation (ft)	Area of Rain Garden #2 Contours (sf)	Permeable Pavers & Stone Base	*Void Area of Permeable Pavers & Stone Base (sf)	Interpolated Elevations in Pavers, Stone Base & Rain Garden #2 (ft)	Interpolated Available Area in Pavers, Stone Base & Rain Garden #2 (sf)	Interpolated Available Volume in Pavers, Stone Base & Rain Garden #2 (cf)
432	312	0 (Stone)	3550	432	3862	0
432.67	408	8" (Stone)	3550	432.67	3958	2,620
433.17	486	14" (Stone)	3106	433.17	3592	4,506
433.67	571	20" (Pavers)	404	433.67	975	5,580
434	630	24"	-	434	630	5,842

ROUTING CALCULATIONS FOR D.A. #2 SWM FACILITIES

ELEVATIONS/AREAS:

5 Contour Areas

Elevation(ft)	Area(sf)	Computed Vol.(cy)
432.00	3862.00	0.0
432.67	3958.00	97.0
433.17	3592.00	266.9
433.67	975.00	206.6
434.00	630.00	216.4

CONTROL STRUCTURES:

Outlet structure 1

Culvert

name: Barrel

multiple 1

discharge out of riser

D (in) 8.000

h (in) 0.000

Length (ft) 11.000

Slope 0.364

Manning's n 0.013

Inlet coeff. Ke 0.500

Equation constant set 3

Invert (ft) 427.000

INFLOW HYDROGRAPH DATA:

2-Yr 24-Hr Peak Post-Dev. Storm Event

Area (acres) 0.270

CN 79.100

Type 2

rainfall, P (in) 3.700

time of conc. (hrs) 0.1000

time increment (hrs) 0.0200

time limit (hrs) 30.000

fudge factor 1.00

routed true

peak flow (cfs) 0.593

peak time (hrs) 11.917

volume (cy) 62.763

10-Yr 24-Hr Peak Post-Dev. Storm Event

Area (acres) 0.270

CN 79.100

Type 2

rainfall, P (in) 5.600

time of conc. (hrs) 0.1000

time increment (hrs) 0.0200

time limit (hrs) 30.000

fudge factor 1.00

routed true

peak flow (cfs) 1.186

peak time (hrs) 11.917

volume (cy) 120.942

ROUTED OUTFLOWS:

2-Yr 24-Hr Peak Post-Dev. Storm Event

inflow (cfs) 0.590 at 11.92 (hrs)

discharge (cfs) 0.000 at 0.00 (hrs)

water level (ft) 432.435 at 24.10 (hrs)

storage (cy) 62.762

10-Yr 24-Hr Peak Post-Dev. Storm Event

inflow (cfs) 1.137 at 11.92 (hrs)

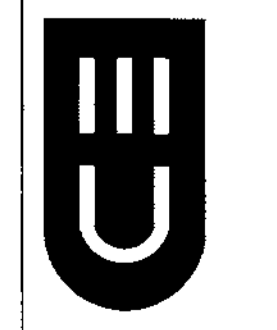
discharge (cfs) 0.198 at 12.14 (hrs)

water level (ft) 432.545 at 12.14 (hrs)

storage (cy) 78.747

COLLINS ENGINEERING

200 GARRETT STREET SUITE K- CHARLOTTEVILLE, VA 22902 - 434.293.3719



PROJECT: SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

SHEET: STORMWATER MANAGEMENT PLAN

JOB NO. 112070

SCALE AS SHOWN

SHEET NO. 10

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REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

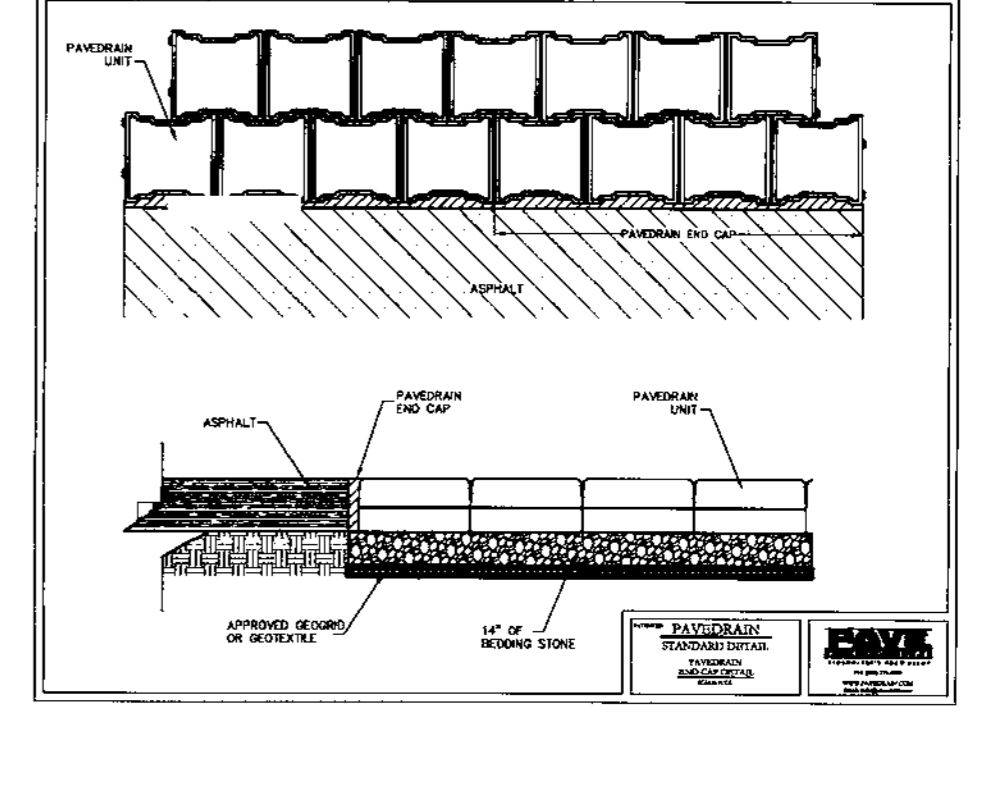
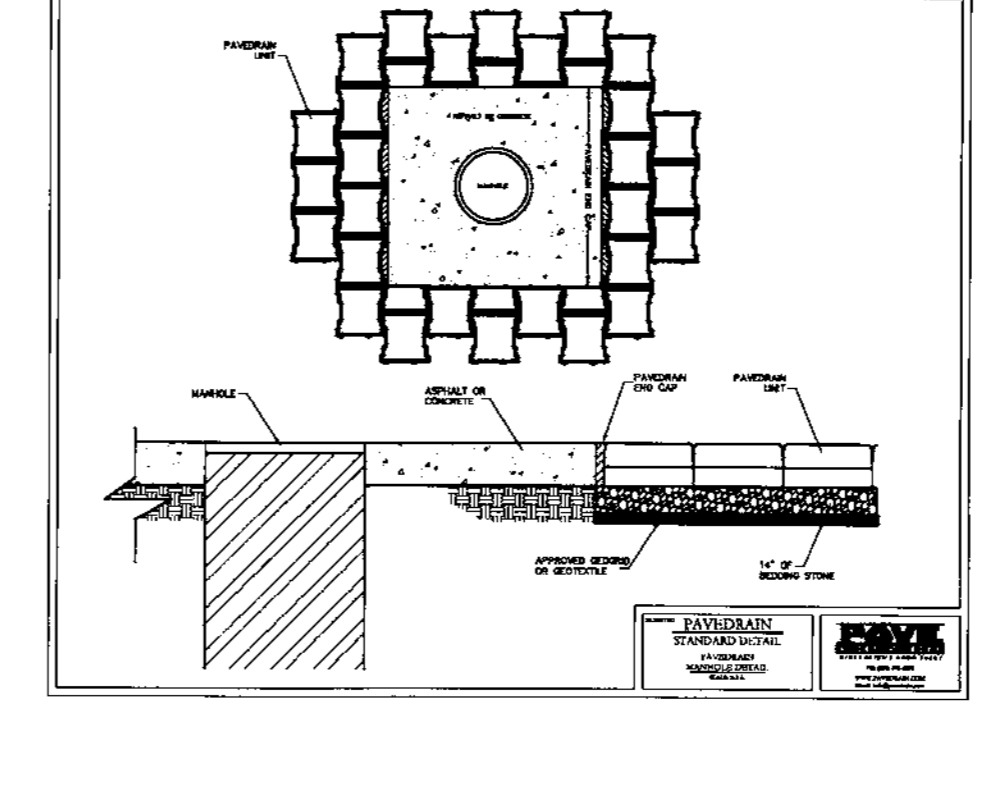
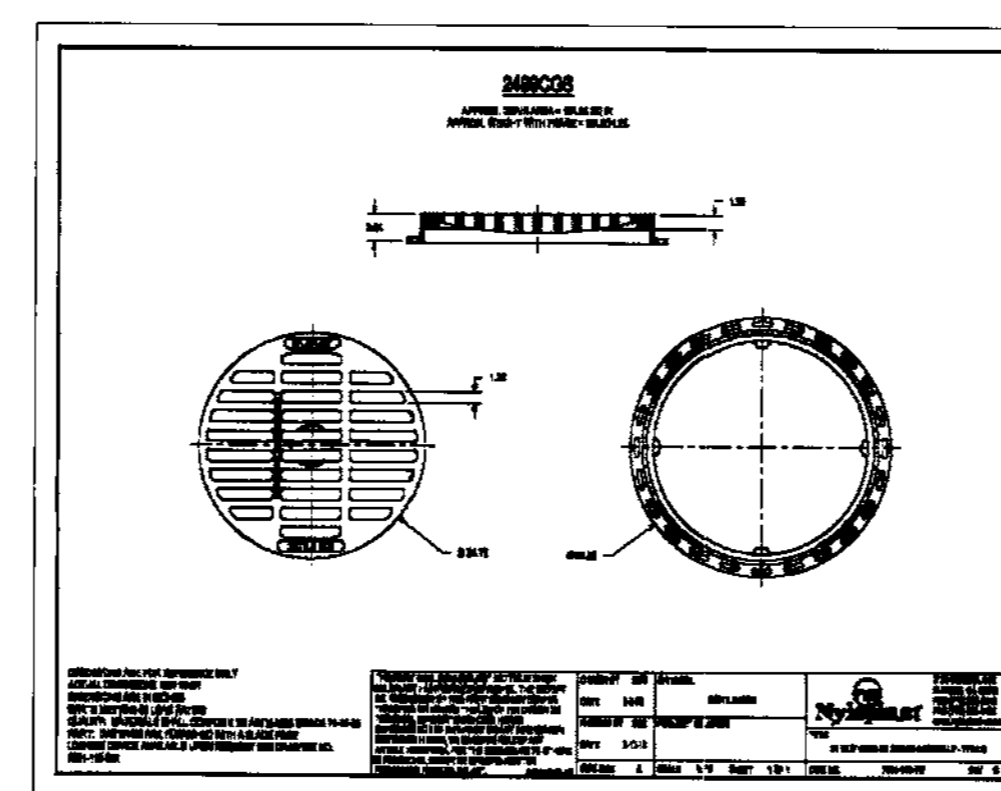
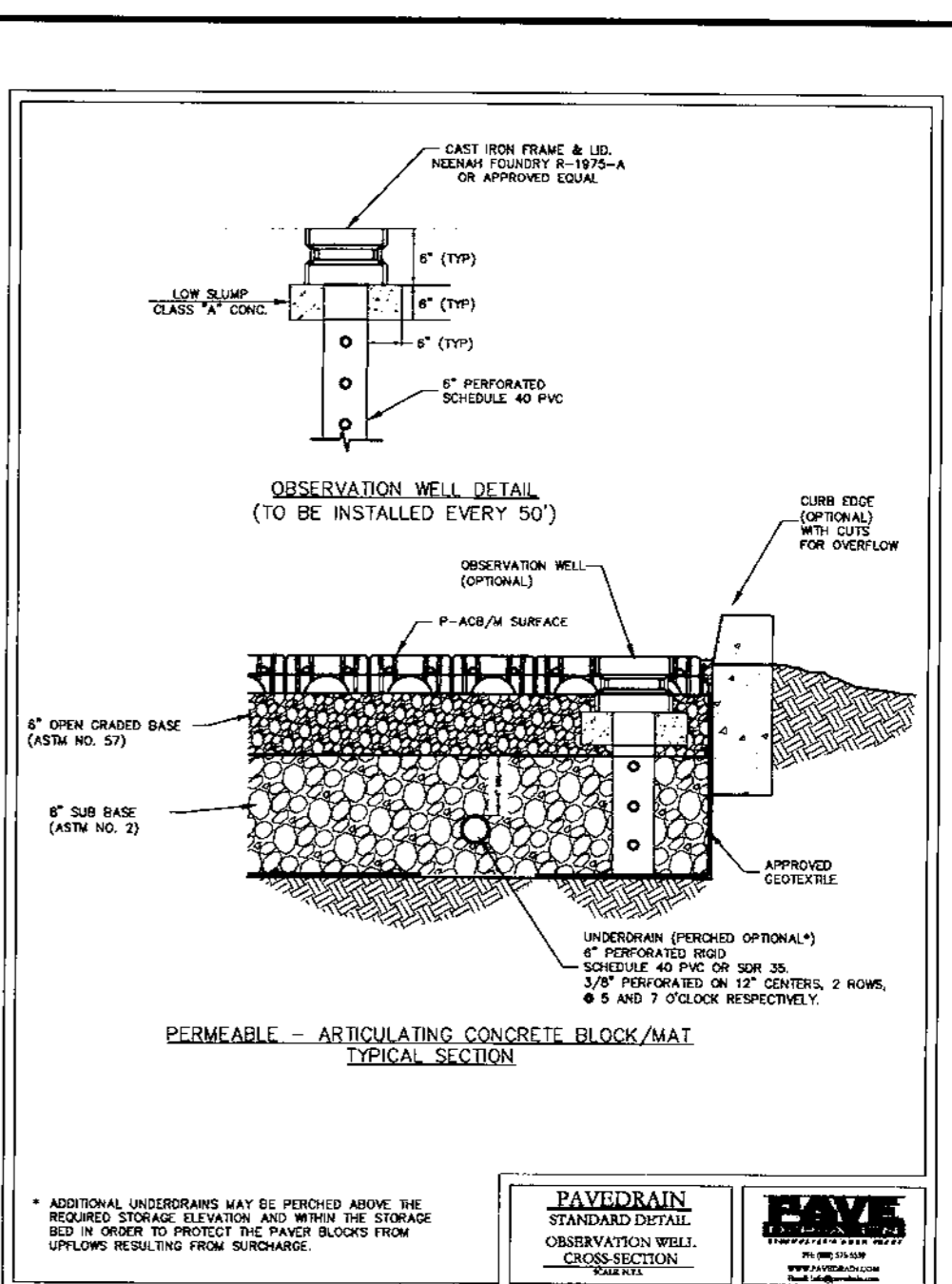
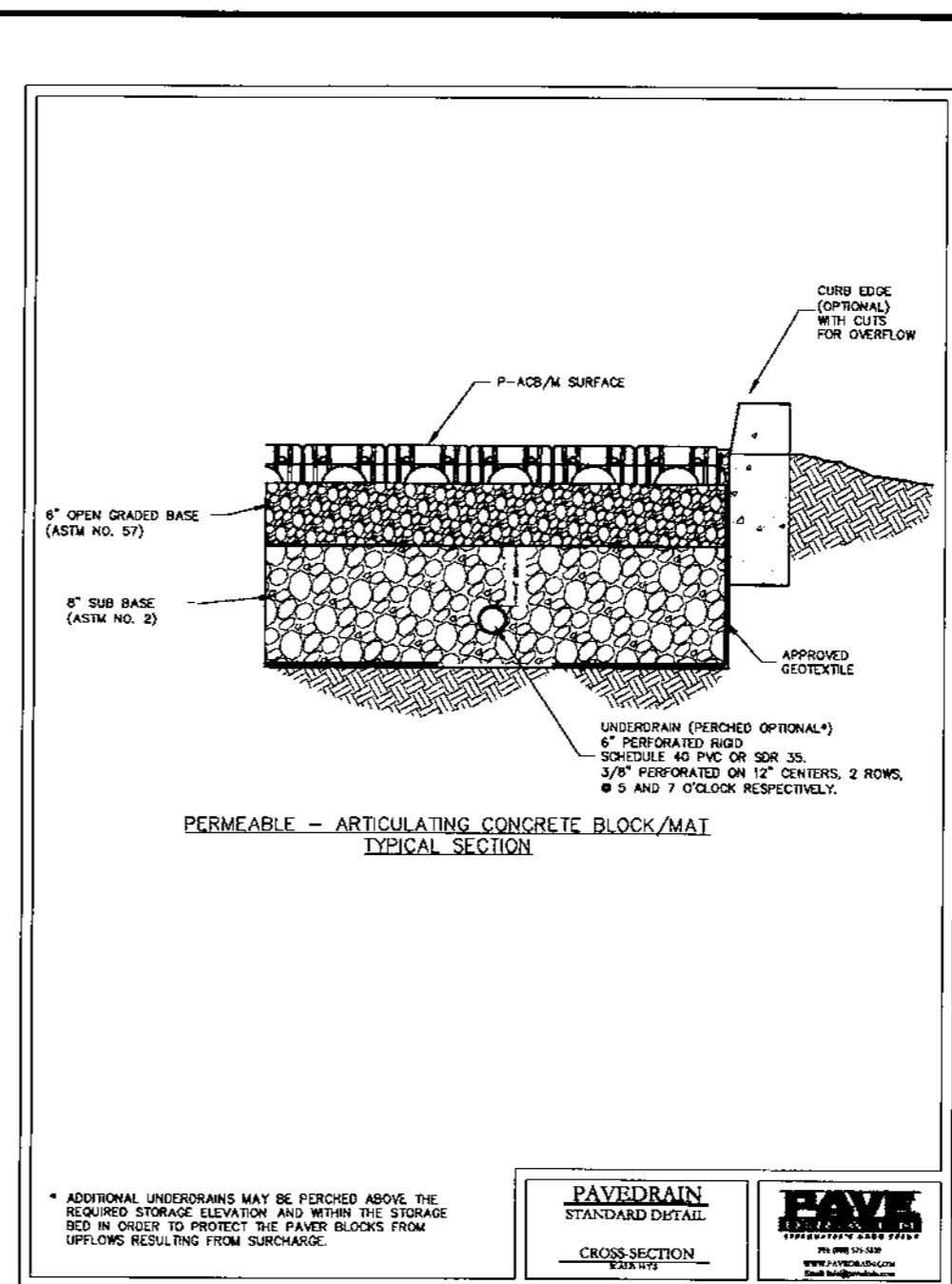
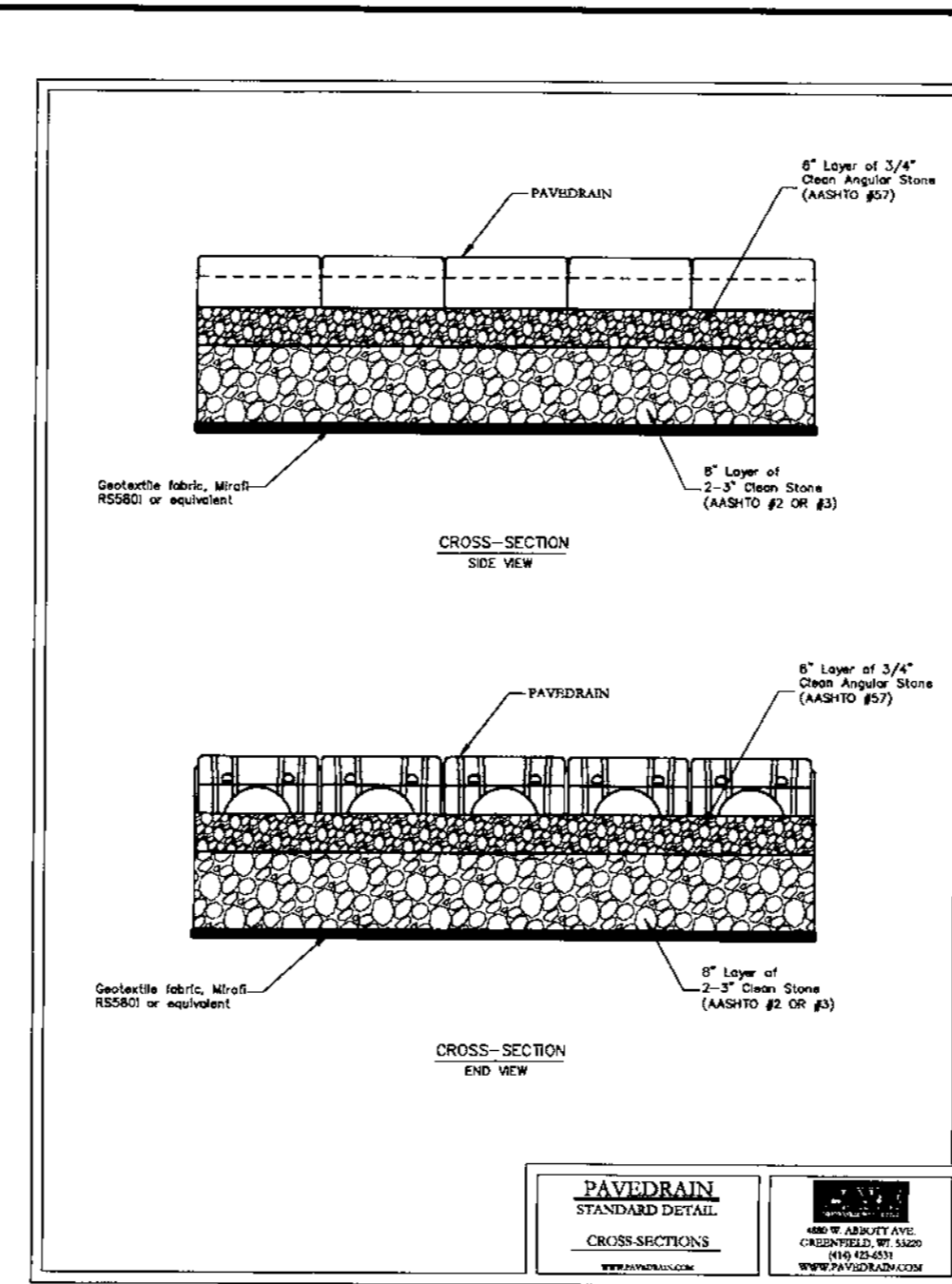
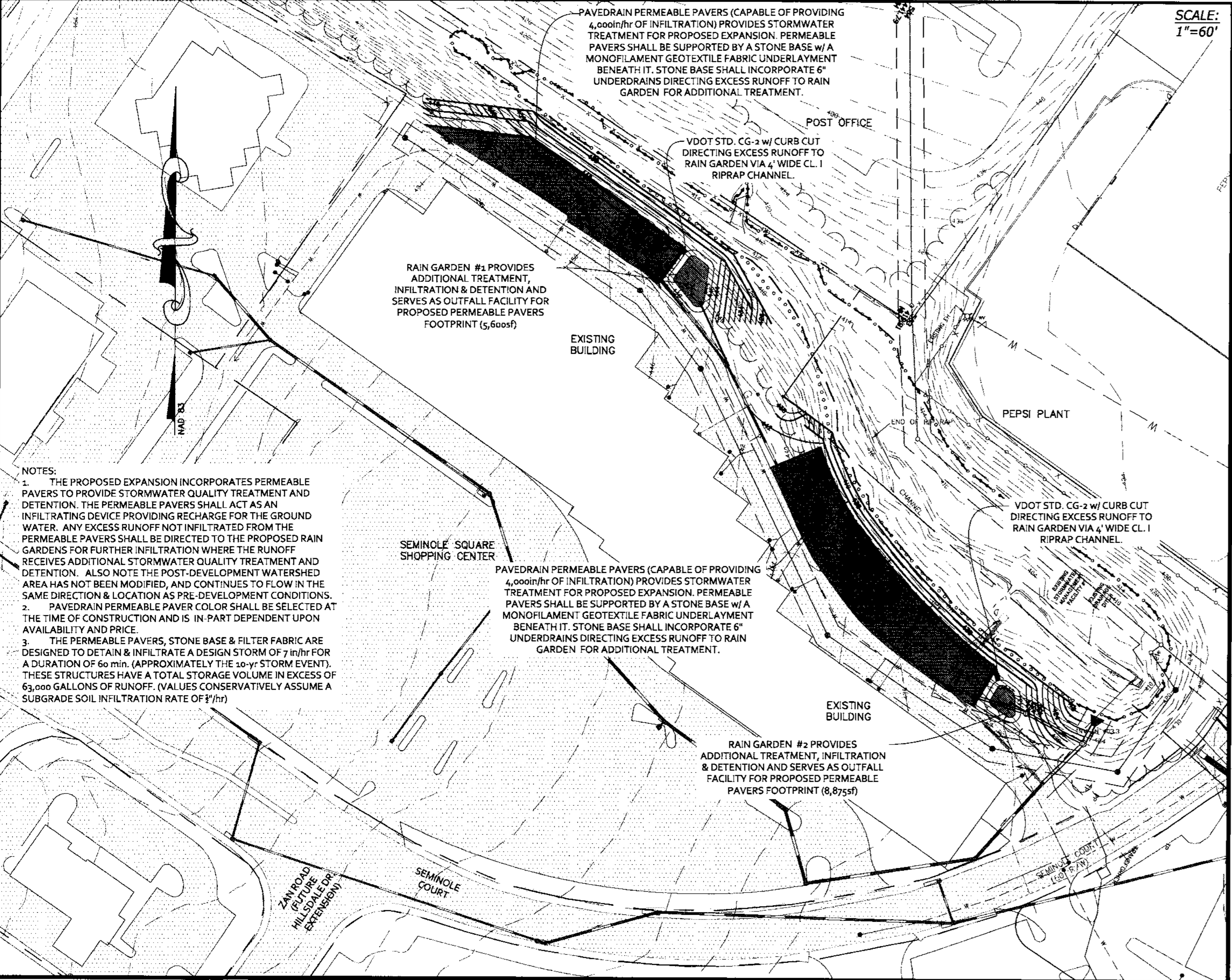
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SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT

STORMWATER MANAGEMENT PLAN

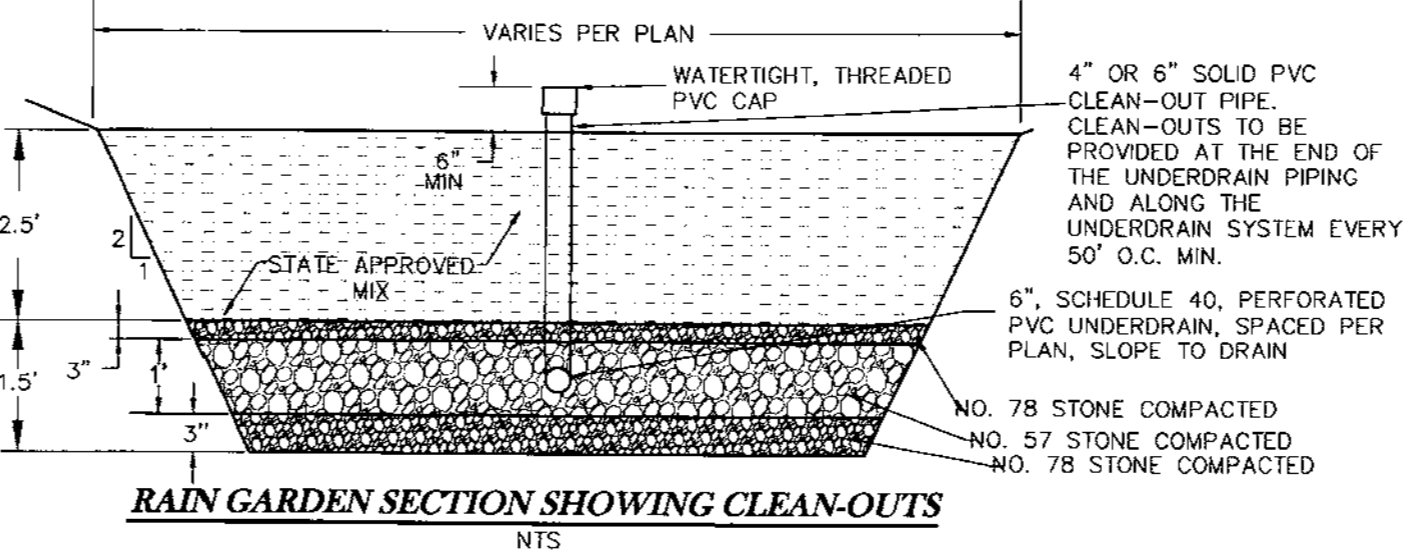
PROJECT	112070
SCALE	AS SHOWN
SHEET NO.	11



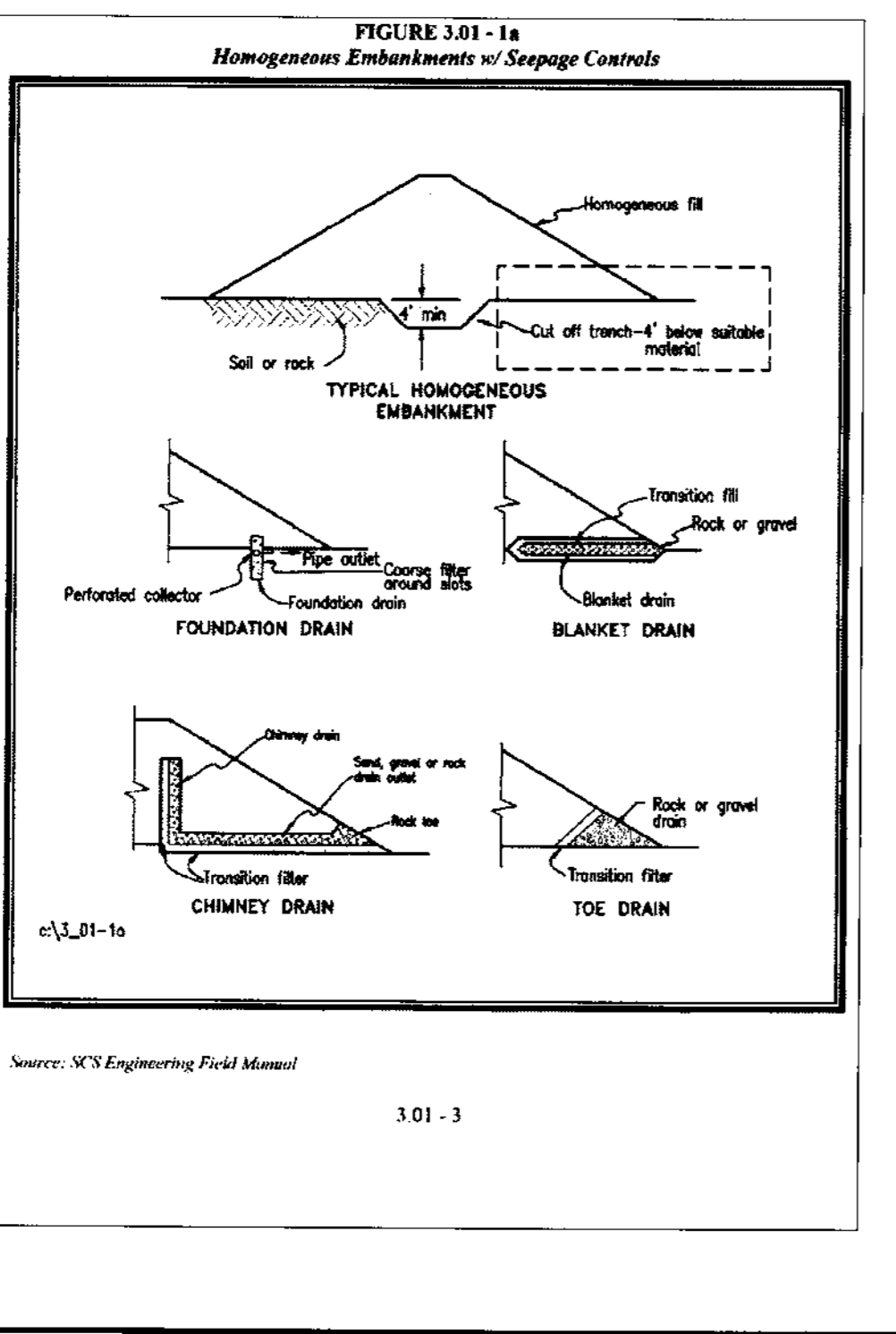
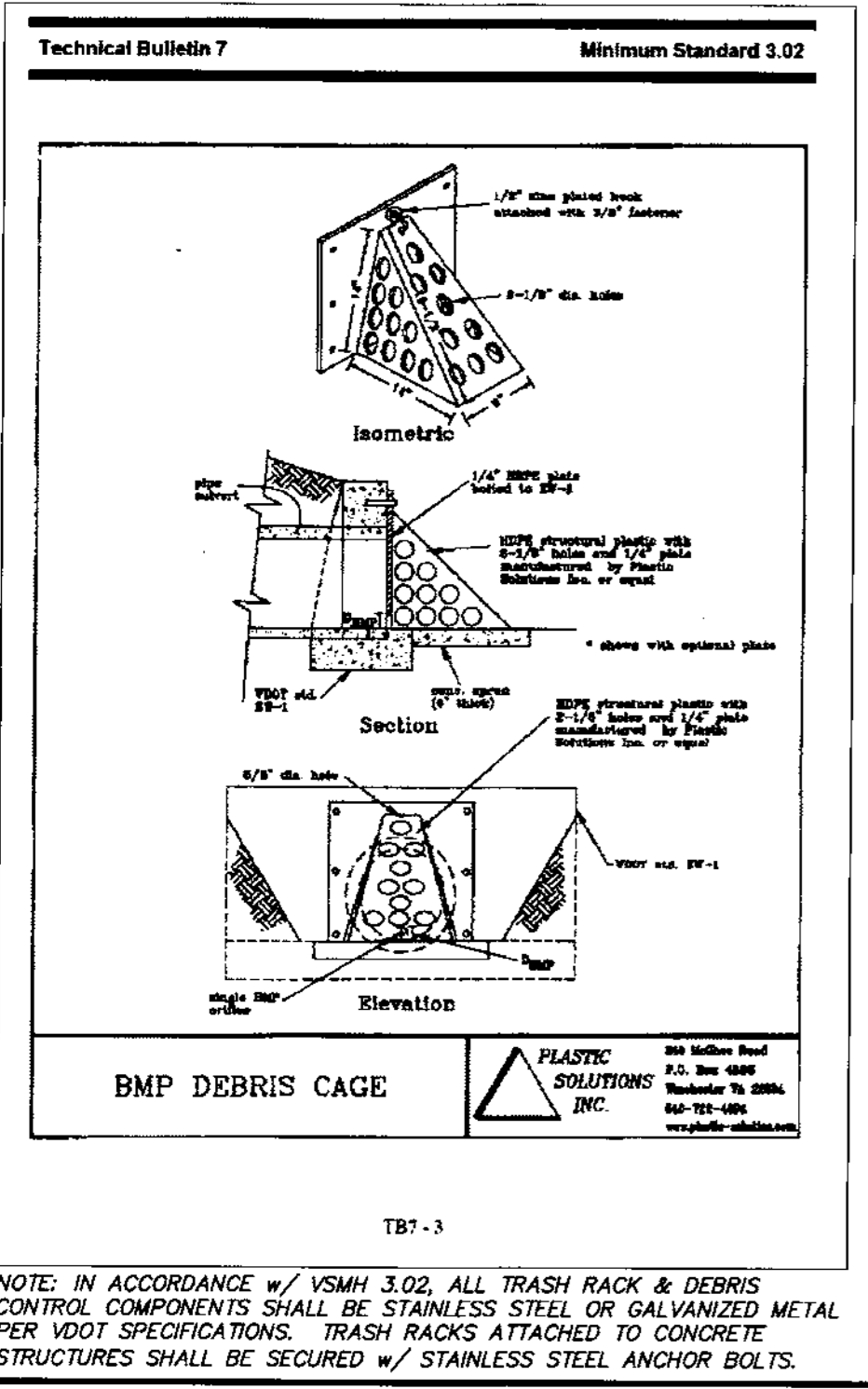
General Rain Garden Construction Notes:
1. Rain Gardens shall not be installed until the site is determined to be adequately stabilized by the City Inspector(s).
2. The City Inspector(s) must inspect the under-drain installation and approve the soil mix prior to backfilling the rain garden, and approve the completed installation.
Contractor shall contact the City Inspector(s) 24 hours prior to backfilling the rain garden and request an inspection and approval of the under-drain installation and the soil mix.

General Construction Notes for Stormwater Management Plans
1. All dums and constructed fill to be within 95% of maximum dry density and 2% of optimum moisture content. All fill material to be approved by a geotechnical engineer. A geotechnical engineer is to be present during construction of dums.
2. Pipe and riser joints are to be watertight within stormwater management facilities.
3. For temporary sediment traps or basins which are to be converted to permanent stormwater management facilities; conversion is not to take place until the site is stabilized, and permission has been obtained from the City Inspector(s).

NOTES:
1. SEE SITE PLAN FOR APPROXIMATE PLACEMENT OF UNDERDRAINS. UNDERDRAINS SHALL BE 6" PERFORATED SCHEDULE 40 PVC PIPE, OR EQUIVALENT, AAAZ 0.5% SLOPE (MIN.) & BE PROVIDED ACROSS ENTIRE WIDTH @ 20' O.C. MIN.
2. UNDERDRAINS SHALL HAVE 4" SOLID PVC CLEANOUT PIPES w/ WATER TIGHT, THREADED PVC CAPS THROUGHOUT.
3. PAVEDRAIN UNDERDRAINS SHALL OUTFALL INTO THE RAIN GARDENS; RAIN GARDEN UNDERDRAINS SHALL OUTFALL INTO THE STORM SEWER.



NOTES:
1. BECAUSE THE SOIL UNDERNEATH THE PROPOSED LOCATION OF THE PAVERS IS SUBJECT TO FILL AND CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONDUCT A GEOTECHNICAL INVESTIGATION OF THE SOIL UNDERNEATH THE PROPOSED PAVERS AFTER FINAL GRADE HAS BEEN ARCHIVED TO DETERMINE THE INFILTRATION AND CBR RATINGS. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH THESE RESULTS PRIOR TO ORDERING AND INSTALLATION OF THE STONE BASE FOR THE PERMEABLE PAVERS TO ENSURE AN ADEQUATE DESIGN. FINAL DESIGN OF PERMEABLE PAVES SYSTEM IS SUBJECT TO CHANGE AND IS DEPENDENT UPON SITE OR APPROVED IMPORT SOIL DATA.
2. STONE BASE FOR PERMEABLE PAVERS SHALL BE CLEAN & DOUBLE WASHED IN ACCORDANCE WITH DCR REGULATIONS. "CLEAN" STONE IS SCREENED TO SIZE AND THE BULK OF THE FINES/DUST IS REMOVED, BUT THERE IS STILL DUST ON THE STONE. "WASHED" STONE IS WASHED THROUGH THE SCREENING PROCESS AND/OR MANUALLY WASHED.
3. WHERE UNDERDRAIN CLEANOUTS ARE PROPOSED WITHIN PAVED AREAS & ARE SUBJECT TO VEHICULAR TRAFFIC, CLEANOUTS SHALL BE ENCASED IN #18" CONCRETE FOR UPPER 24". THE CLEANOUT FRAME & LID SHALL BE CONSTRUCTED OF CAST IRON, OR A SIMILAR MATERIAL THAT IS STRUCTURALLY FORTIFIED.



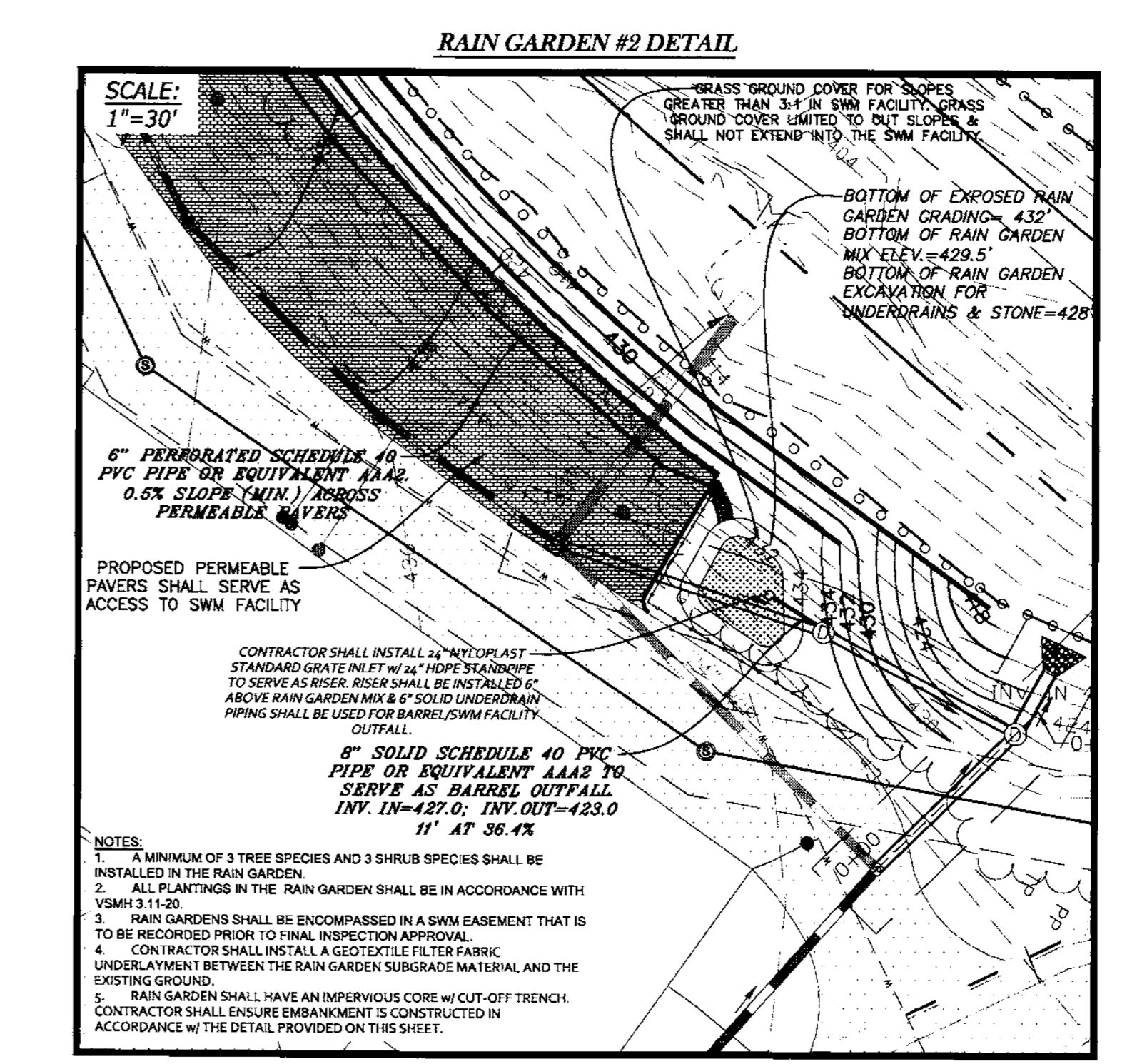
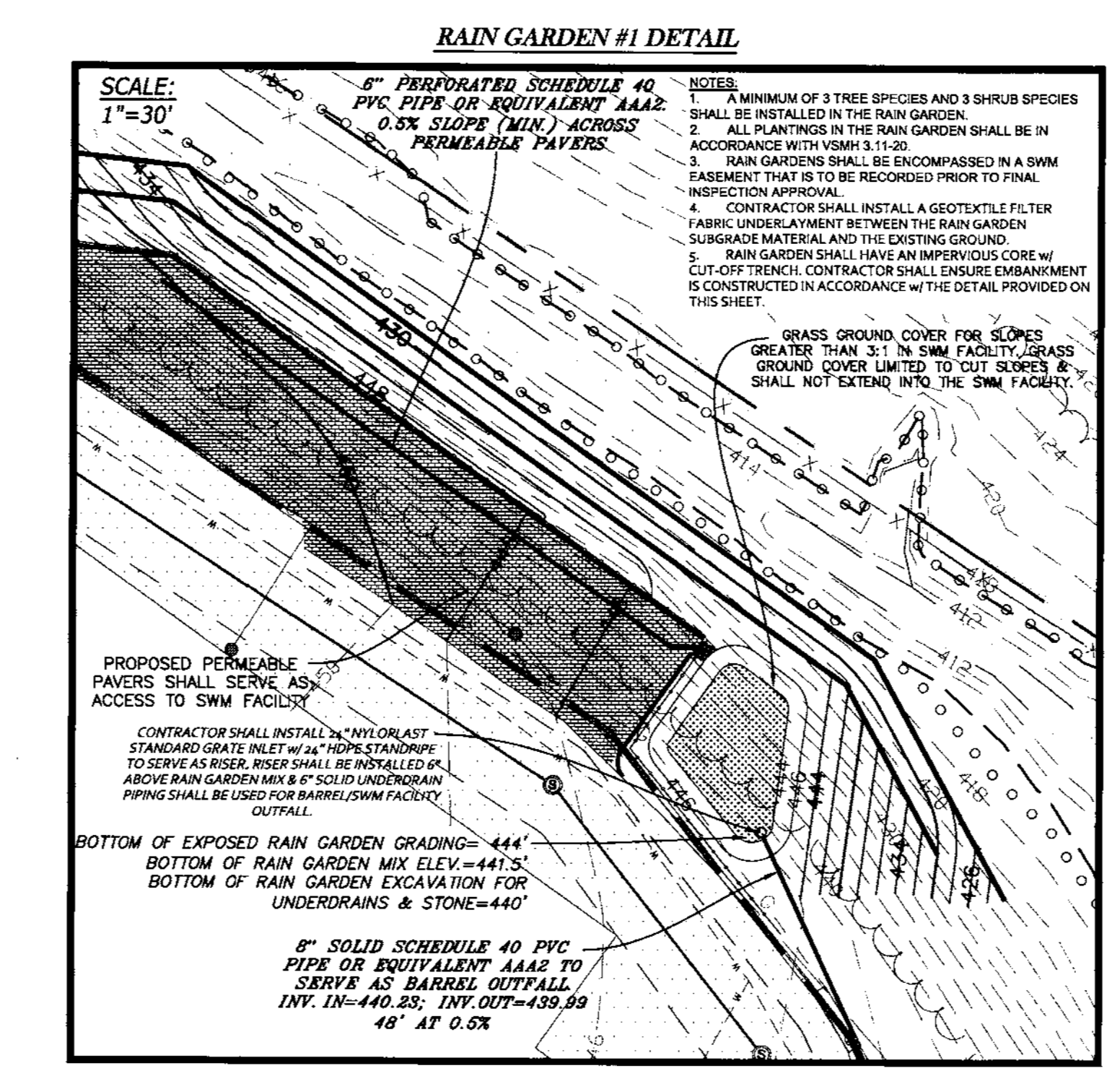
TENCATE Mirafi RS580

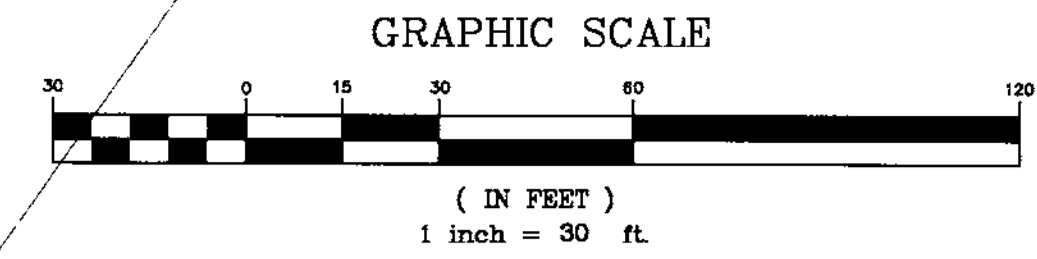
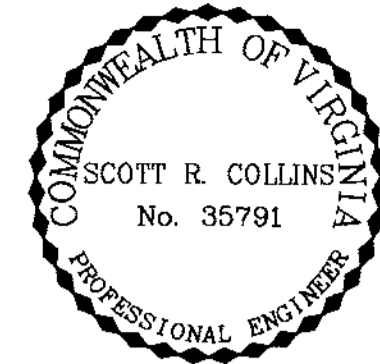
This is to certify that Mirafi® RS580 is a revolutionary geotextile created from super high-tensile polypropylene filaments formed into an innovative weave to provide superior reinforcement strength and soil interaction integrated with high water flow and soil retention capabilities.

Mechanical Properties	Test Method	Unit	Minimum Average Roll Value
STRENGTH			
Tensile Modulus @ 2% strain (CD)	ASTM D4596	lb/in (kN/m)	90,000 (1313.3)
HYDRAULIC			
Flow Rate	ASTM D4491	gal/min/ft² (l/min/m²)	75 (3055.5)
Permeability	ASTM D4491	sec	1.0
SOIL RETENTION			
Apparent Opening Size (AOS)	ASTM D4751	U.S. Sieve (mm)	40 (0.43)
Pore Size D ₈₅	ASTM D6767	microns	350
Pore Size D ₉₀	ASTM D6767	microns	185
SOIL INTERACTION			
Interaction Coefficient	ASTM D5321		0.9
Factory Seam Strength	ASTM D4884	lb/ft (kN/m)	3000 (43.8)
UV Resistance (at 500 hours)	ASTM D4355	% strength retained	80

* ASTM D 4751 AOS is a Maximum Opening Diameter Value
† Interaction Coefficient value is for sand or gravel
‡ Typical Values

Physical Properties	Unit	Typical Value
Roll Dimensions (width x length)	ft (m)	15 x 300 (4.5 x 93)
Roll Area	yd² (m²)	500 (418)
Estimated Roll Weight	lbs (kg)	415 (188)





PEPSI COLA BOTTLING COMPANY
 OF CENTRAL VIRGINIA
 DB: 420 PG. 543
 TAX: P.D.L.: 41C-377
 ZONING: HW

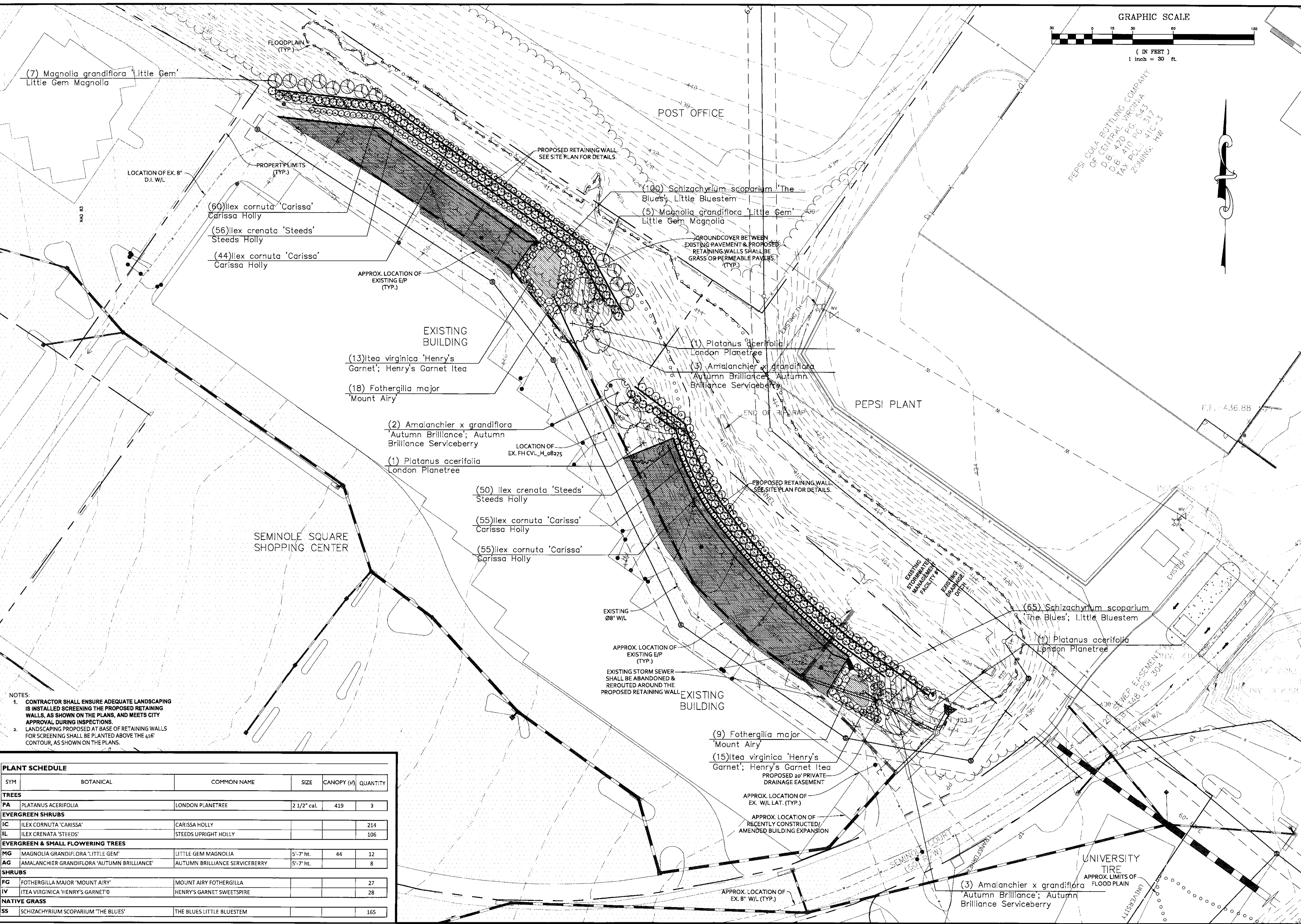
REVISIONS

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COLLINS ENGINEERING
 200 GARRETT STREET SUITE K- CHARLOTTESVILLE, VA 22902 - 434.293.3719

SEMINOLE SQUARE EXPANSION SITE PLAN AMENDMENT
LANDSCAPING PLAN

PROJECT: 112070
 SCALE: 1"=30'
 SHEET NO.: 12



- NOTES:**
- CONTRACTOR SHALL ENSURE ADEQUATE LANDSCAPING IS INSTALLED SCREENING THE PROPOSED RETAINING WALLS, AS SHOWN ON THE PLANS, AND MEETS CITY APPROVAL DURING INSPECTIONS.
 - LANDSCAPING PROPOSED AT BASE OF RETAINING WALLS FOR SCREENING SHALL BE PLANTED ABOVE THE 41'6" CONTOUR, AS SHOWN ON THE PLANS.

PLANT SCHEDULE					
SYM	BOTANICAL	COMMON NAME	SIZE	CANOPY (#)	QUANTITY
TREES					
PA	PLATANUS ACERIFOLIA	LONDON PLANETREE	2 1/2" cal.	419	3
EVERGREEN SHRUBS					
IC	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY			214
IL	ILEX CRENATA 'STEEDS'	STEEDS UPRIGHT HOLLY			106
EVERGREEN & SMALL FLOWERING TREES					
MG	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	5'-7" ht.	44	12
AG	AMALANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	5'-7" ht.		8
SHRUBS					
FG	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA			27
IV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE			28
NATIVE GRASS					
SS	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM			165

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



**REQUEST FOR A WAIVER:
CRITICAL SLOPES**

PLANNING COMMISSION REGULAR MEETING
DATE OF PLANNING COMMISSION MEETING: June 11, 2013

Project Planner: Michael Smith
Date of Staff Report: May 31, 2013
Applicant: Pepsi Bottling Company
Applicant's Representative: Scott Collins, Collins Engineering
Current Property Owner: Pepsi Bottling Company

Application Information

Property Street Address: 1150 Pepsi Place
Tax Map/Parcel #: Tax Map 41C, Parcel 3 & Tax Map 41B, Parcel 6
Total Square Footage/Acreage Site: 666, 468 square feet (15.3 acres)
Comprehensive Plan (Land Use Plan) Designation: Industrial
Current Zoning Classification: HW- Highway Corridor
Tax Status: No delinquent taxes

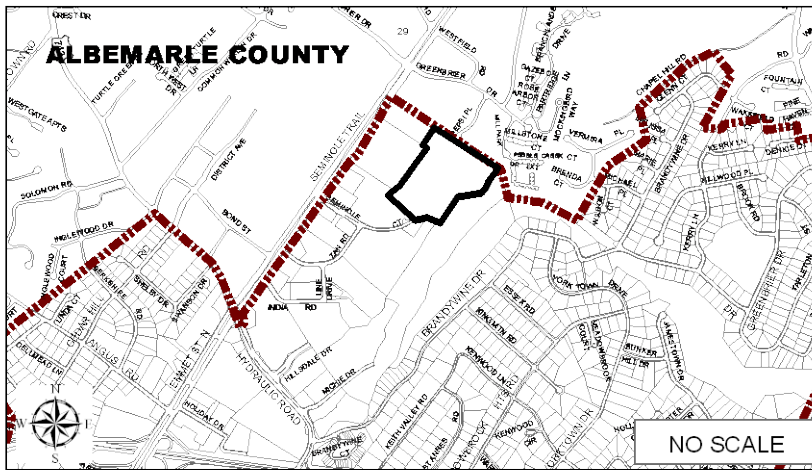
Applicant's Request

Mr. Collins, on behalf of Pepsi Bottling Company, is requesting a waiver from Section 34-1120(b) of the City Code, relating to the protection of critical slopes, to allow for the construction of a 365' of retaining wall along the southern portion of the Pepsi Bottling Company property, containing existing slopes greater than or equal to 25%. Existing critical slopes include 76, 665 square feet (1.76 acres) or approximately 11.5 percent of the property. The applicant's project would impact 26,571 square feet (.61-acre) or 10.7 percent of the property.

Currently, the applicant has a site plan amendment in review that proposes an expansion into the area of critical slopes in order to supply parking and access for Pepsi's fleet of trucks. The critical slopes are covered with trees of varying sizes and types and appear stable with no signs of erosion.

The applicant is seeking approval of a critical slopes waiver on the grounds that the public benefit of retaining the current design of Hillsdale Drive Extended outweighs the public benefit of disturbing critical slopes. The applicant states that as a result of the current design for Hillsdale Drive Extended, Pepsi Bottling Company is restricted to only expanding within the southern portion of their property. The applicant states this expansion into the southern portion of the site is necessary for Pepsi to meet their overall facility's needs for the future. The applicant states this expansion is based off of a 30 year program forecast for Pepsi that was completed five years ago.

Vicinity Map



Standard of Review

Purpose and Intent

Per the language stated in Sec 34-1120(b)(1), the “critical slope provisions” are intended to protect topographical features that have a slope in excess of the grade established and other characteristics in the following ordinance for the following reasons and whose disturbance could cause one (1) or more of the following negative impacts:

- a. Erosion affecting the structural integrity of these features.
- b. Stormwater and erosion-related impacts on adjacent properties.
- c. Stormwater and erosion-related impacts to environmentally sensitive areas such as streams and wetlands.
- d. Increased stormwater velocity due to loss of vegetation.
- e. Decreased groundwater recharge due to changes in site hydrology.
- f. Loss of natural or topographical features that contribute substantially to the natural beauty and visual quality of the community such as loss of tree canopy, forested areas and wildlife habitat.

These provisions are intended to direct building locations to terrain more suitable to development and to discourage development on critical slopes for the reasons listed above, and to supplement other regulations and policies regarding encroachment of development into stream buffers and floodplains and protection of public water supplies.

As stated in Sec.34-1120(6)(d), the planning commission shall make a recommendation to city council in accordance with the criteria set forth in this section, and city council may thereafter grant a modification or waiver upon making a finding that:

- (i) The public benefits of allowing disturbance of a critical slope outweigh the public benefits of the undisturbed slope(public benefits include, but are not limited to, stormwater and erosion control that maintains the stability of the property and/or the quality of adjacent or environmentally sensitive areas; groundwater recharge; reduced stormwater velocity; minimization of impervious surfaces; and stabilization of otherwise unstable slopes); or
- (ii) Due to unusual size, topography, shape, location, or other unusual physical conditions, or existing development of a property, one (1) or more of these critical slopes provisions would effectively prohibit or unreasonably restrict the use, reuse or redevelopment of such property or would result in significant degradation of the site or adjacent properties.

No modification or waiver granted shall be detrimental to the public health, safety or welfare, detrimental to the orderly development of the area or adjacent properties, or contrary to sound engineering practices.

In granting a modification or waiver, city council may allow the disturbance of a portion of the slope, but may determine that there are some features or areas that cannot be disturbed. These include, but are not limited to:

- (i) Large stands of trees;
- (ii) Rock outcroppings;
- (iii) Slopes greater than 60%.

City council shall consider the potential negative impacts of the disturbance and regrading of critical slopes, and of resulting new slopes and/or retaining walls. City council may impose conditions as it deems necessary to protect the public health, safety or welfare and to insure that development will be consistent with the purpose and intent of these critical slopes provisions. Conditions shall clearly specify the negative impacts that they will mitigate. Conditions may include, but are not limited to:

- (i) Compliance with the "Low Impact Development Standards" found in the City Standards and Design Manual.
- (ii) A limitation on retaining wall height, length, or use;
- (iii) Replacement of trees removed at up to three-to-one ratio;
- (iv) Habitat redevelopment;

- (iv) An increase in storm water detention of up to 10% greater than that required by city development standards;
- (v) Detailed site engineering plans to achieve increased slope stability, ground water recharge, and/or decrease in stormwater surface flow velocity;
- (vi) Limitation of the period of construction disturbance to a specific number of consecutive days;
- (vii) Requirement that reseeded occur in less days than otherwise required by City Code.

Project Review / Analysis

The applicant has provided information in the attached critical slopes waiver application for each item discussed below. The planning commission shall make a recommendation to city council, upon making one or more of the following findings:

*Staff comments are in bold.

- 1. The public benefits of allowing disturbance of a critical slope outweigh the public benefits of the undisturbed slope (public benefits include, but are not limited to, stormwater and erosion control that maintains the stability of the property and/or the quality of adjacent or environmentally sensitive areas; groundwater recharge; reduced stormwater velocity; minimization of impervious surfaces; and stabilization of otherwise unstable slopes).**

The applicant is utilizing finding #1 as justification for approval of a critical slope waiver. The applicant notes that the current design of Hillsdale Drive Extended prevents any future expansion of the facility to the west and to the north, restricting future develop to the south, where the critical slopes are located. The applicant states that expanding the building and parking lot within the location of critical slopes is necessary for the Pepsi facility to continue operating effectively.

The proposed design for Hillsdale Drive includes significant grading within the existing SWM facility to accommodate the installation and filling operation for the culvert required to provide access across the facility. Installation of the proposed retaining wall(s) will prohibit this grading operation for Hillsdale Drive.

The design of Hillsdale Drive Extended has been with the help, cooperation and direction of Pepsi whose representatives have served on the Steering Committee for Hillsdale Drive Extended since its inception. In 1990, representatives of the Pepsi Bottling Company and several other businesses in that area approached City and County officials with the Hillsdale Drive concept. The concept was seen as a means to provide better access to local businesses and alternative transportation choices for the community without needing to drive along Route 29. It has been designed as a low speed (25 mph), 2 lane local facility with dedicated left turn lanes and numerous access points serving existing businesses along the corridor. Due to the location (a previously developed commercial corridor) right of way costs were always expected to be high (current estimate is \$16 million). The City agreed to pursue funding for

design and construction for the corridor only if the impacted property owners donated necessary right of way for the improvements. Of the 15.3 acres owned by Pepsi, 1.55 acres of right of way, 0.11 acres of permanent easement and 0.07 acres of utility easements will be requested for donation.

Applicant's justification for Finding #1

a. Erosion affecting the structural integrity of those features.

The applicant states there although there are signs of erosion on parts of the slope, for the most part, the wooded vegetation is holding the slopes in place. The applicant believes that by installing the retaining wall system, the walls will lock in the fill material and prevent future erosion along the slope. **Staff believes that installing the retaining walls will prevent possible future erosion as the slopes will be structurally stabilized.**

b. Stormwater and erosion-related impacts on adjacent properties.

The applicant states that the existing stormwater management facility (SWM) will not experience an increase in capacity as a result of installing the retaining walls. **Staff believes an engineering analysis needs to be provided that reflects the applicant's statement. This information should include an outline of assumptions, routing calculations, and any other data associated with this analysis. This analysis should be based on the proposed improvements, in conjunction with the proposed improvements at Seminole Square and current conditions. If the applicant believes this facility will not experience a decrease in capacity, staff requests that stormwater calculations be provided that justify that statement.**

c. Stormwater and erosion-related impacts to environmentally sensitive areas such as streams and wetlands.

The applicant states that no streams or wetlands are proposed to be impacted. **Staff has received verification from the Army Corps of Engineers that no permits are necessary for the work proposed.**

d. Increased stormwater velocity due to loss of vegetation.

The applicant states that increases in stormwater velocity will be mitigated with an existing SWM facility located on Pepsi's property, along with the installation of pervious surface material for the proposed parking lot expansion. **Staff believes the existing SWM facility and proposed pervious pavement will mitigate potential increases in stormwater velocity.**

e. Decreased groundwater recharge due to changes in the site hydrology.

The applicant states that impact to the critical slopes will not have an impact on groundwater recharge. The applicant states the existing SWM facility located on Pepsi's property and the proposed impervious surface material property will provide an opportunity for groundwater recharge before being discharged into the existing SWM facility and outfall system. **Staff believes the existing SWM facility and proposed pervious pavement will allow for groundwater recharge.**

- f. Loss of natural topographic features that contribute substantially to the natural beauty and visual quality of the community such as loss of tree canopy, forested areas, and wildlife habitat.**

The applicant has proposed landscaping at the base and top of the proposed retaining walls. **The existing vegetation is mostly scrub trees. Staff believes the proposed landscaping could appropriately mitigate the loss of tree canopy.**

Staff Recommendation

The applicant has yet to provide the following information necessary to review this proposal:

1. An engineered analysis reflecting the applicant's statement that the existing SWM will not see a decrease in capacity.

Staff has requested this information on many occasions and the applicant has chosen not to comply. As a result of the lack of information, the application fails to address the potential negative impact of critical slopes provision "b."

Staff believes the applicant does not fully meet the criteria for finding #1 and recommends denial of the waiver request.

If the waiver request were to be approved, staff notes the importance of including the following condition:

1. The City vacate the existing stormwater management easement.

Suggested Motions

1. "I move to recommend approval of the critical slope waiver for Tax Map 41C, Parcel 3, and Tax Map 41B, Parcel 6, 1150 Pepsi Place on the grounds that *[use one of the two findings].*"
2. "I move to recommend approval of the critical slope waiver for Tax Map 41C, Parcel 3, and Tax Map 41B, Parcel 6, 1150 Pepsi Place *[use one of the two findings]*, with the following conditions...."

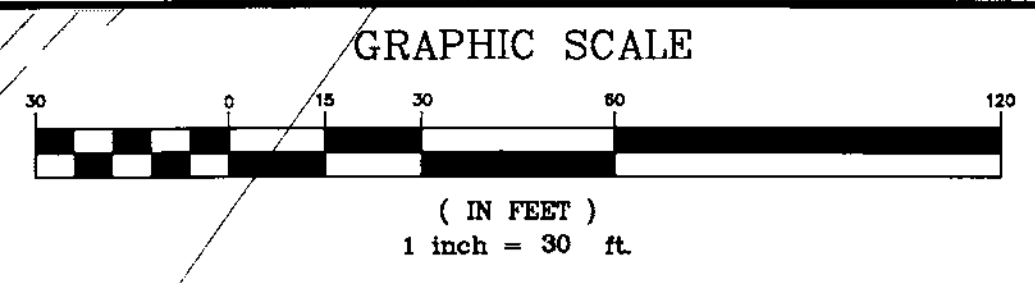
3. "I move to recommend denial of the critical slope waiver for Tax Map 41C, Parcel 3, and Tax Map 41B, Parcel 6, 1150 Pepsi Place."

Enclosures

Waiver Application

Applicant's narrative

Site Plan



NOTE: ELEVATIONS FOR THE ADJACENT STORMWATER MANAGEMENT FACILITY ARE BASED OFF OF A SURVEY BY COMMONWEALTH LAND SURVEYING, LLC DATED 8/4/2011, WHICH SETS THE RISER INVERT AS THE DATUM AT ELEVATION 403.3'. ADDITIONAL OFFSITE SURVEYED INFORMATION IN THE PROXIMITY OF THE PEPSI PLANT IS BASED OFF A SURVEY BY JENNINGS STEPHENSON, P.C. IN OCTOBER OF 2012. THE REMAINING TOPOGRAPHY AND PLANIMETRICS ARE BASED OFF CITY & COUNTY GIS DATA.



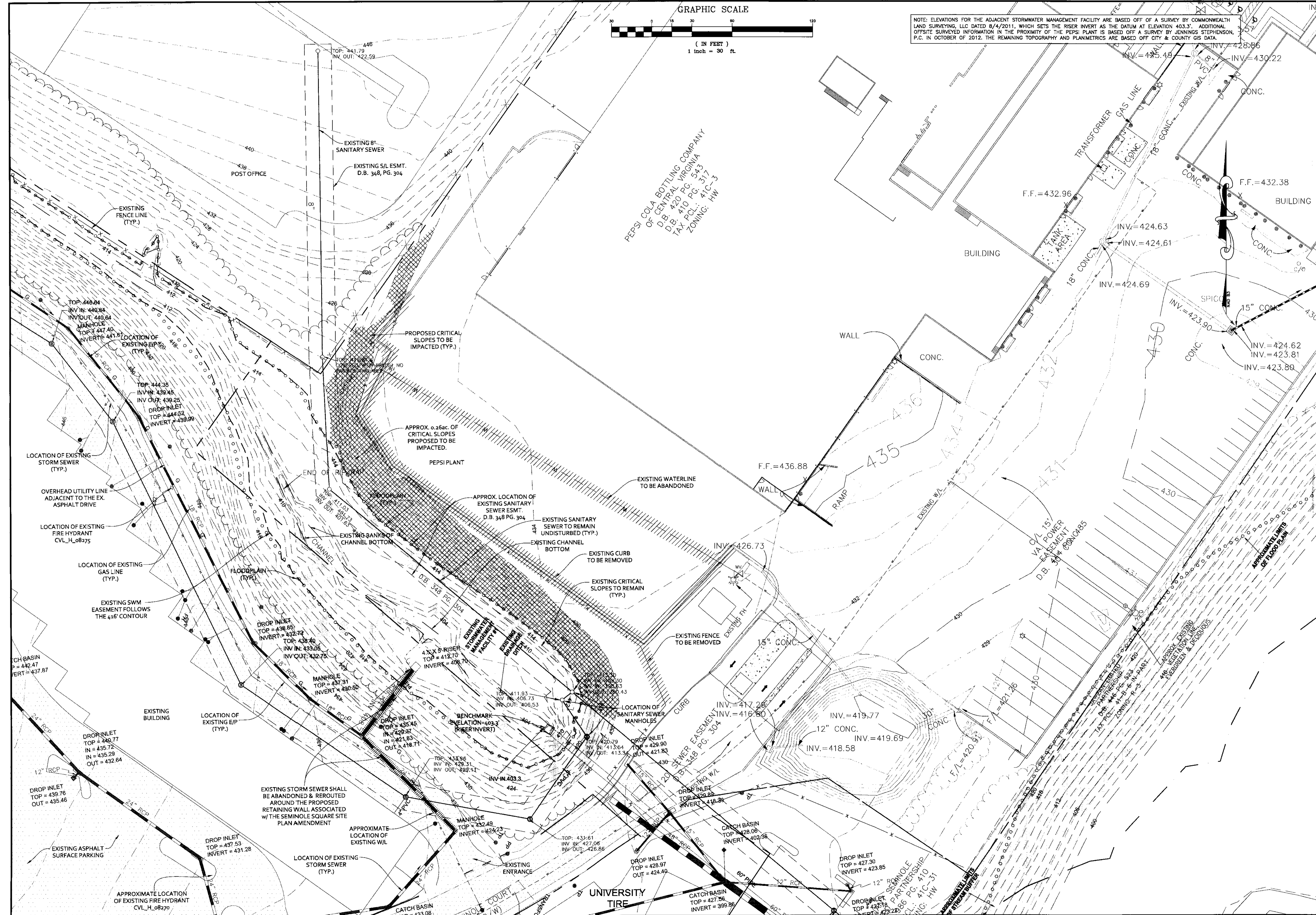
REVISIONS	
REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/13/12
RESUBMITTAL TO ADDRESS CITY COMMENTS	11/02/12
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12	1/04/13
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/1/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

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PEPSI EXPANSION SITE PLAN AMENDMENT

EXISTING CONDITIONS

PROJECT	JOB NO.
	112069
SCALE	SHEET NO.
1"=30'	2



PEPSI COLA BOTTLING COMPANY
 OF CENTRAL VIRGINIA
 D.B. 420 PG. 5-43
 TAX P.C.L.: 41C-3
 ZONING: HW

EXISTING STORM SEWER SHALL BE ABANDONED & ROUTED AROUND THE PROPOSED RETAINING WALL ASSOCIATED W/ THE SEMINOLE SQUARE SITE PLAN AMENDMENT

APPROX. 0.26ac. OF CRITICAL SLOPES PROPOSED TO BE IMPACTED.

APPROX. LOCATION OF EXISTING SANITARY SEWER ESMT. D.B. 348 PG. 304

EXISTING SANITARY SEWER TO REMAIN UNDISTURBED (TYP.)

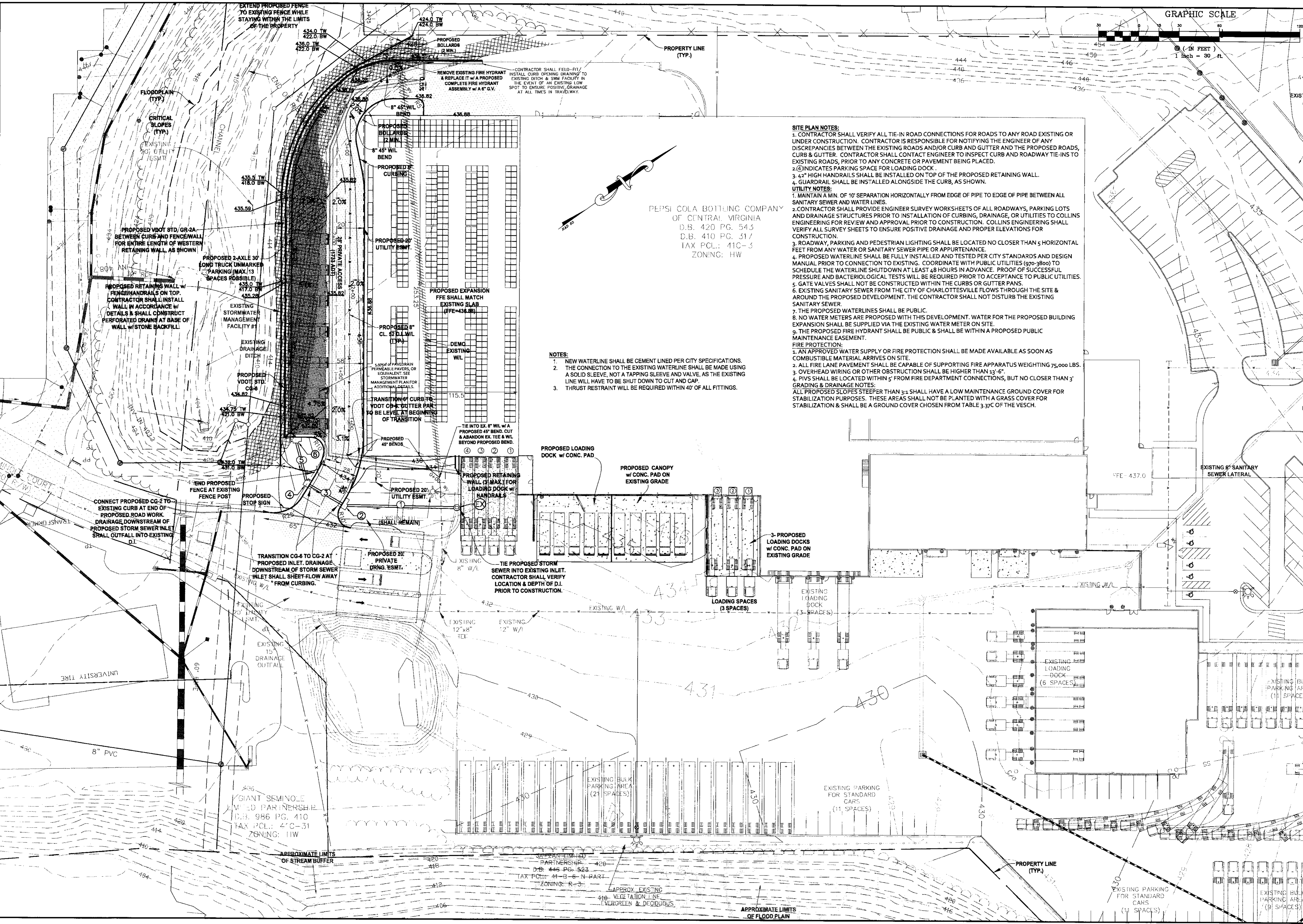
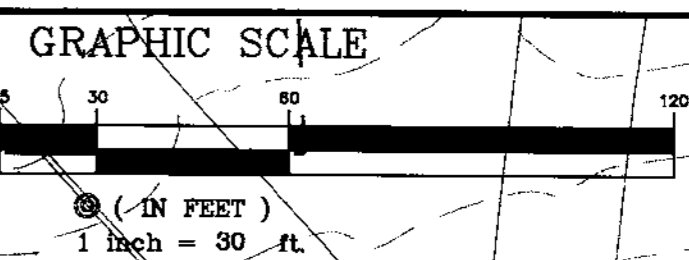
EXISTING WATERLINE TO BE ABANDONED

EXISTING CRITICAL SLOPES TO REMAIN (TYP.)

EXISTING CURB TO BE REMOVED

EXISTING FENCE TO BE REMOVED

EXISTING ASPHALT DRIVE



- SITE PLAN NOTES:**
- CONTRACTOR SHALL VERIFY ALL TIE-IN ROAD CONNECTIONS FOR ROADS TO ANY ROAD EXISTING OR UNDER CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE EXISTING ROADS AND/OR CURB AND GUTTER AND THE PROPOSED ROADS, CURB & GUTTER. CONTRACTOR SHALL CONTACT ENGINEER TO INSPECT CURB AND ROADWAY TIE-INS TO EXISTING ROADS, PRIOR TO ANY CONCRETE OR PAVEMENT BEING PLACED.
 - INDICATES PARKING SPACE FOR LOADING DOCK.
 - 42" HIGH HANDRAILS SHALL BE INSTALLED ON TOP OF THE PROPOSED RETAINING WALL.
 - GUARDRAIL SHALL BE INSTALLED ALONGSIDE THE CURB, AS SHOWN.
- UTILITY NOTES:**
- MAINTAIN A MIN. OF 10' SEPARATION HORIZONTALLY FROM EDGE OF PIPE TO EDGE OF PIPE BETWEEN ALL SANITARY SEWER AND WATER LINES.
 - CONTRACTOR SHALL PROVIDE ENGINEER SURVEY WORKSHEETS OF ALL ROADWAYS, PARKING LOTS AND DRAINAGE STRUCTURES PRIOR TO INSTALLATION OF CURBING, DRAINAGE, OR UTILITIES TO COLLINS ENGINEERING FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. COLLINS ENGINEERING SHALL VERIFY ALL SURVEY SHEETS TO ENSURE POSITIVE DRAINAGE AND PROPER ELEVATIONS FOR CONSTRUCTION.
 - ROADWAY, PARKING AND PEDESTRIAN LIGHTING SHALL BE LOCATED NO CLOSER THAN 5' HORIZONTAL FEET FROM ANY WATER OR SANITARY SEWER PIPE OR APPURTENANCE.
 - PROPOSED WATERLINE SHALL BE FULLY INSTALLED AND TESTED PER CITY STANDARDS AND DESIGN MANUAL PRIOR TO CONNECTION TO EXISTING. COORDINATE WITH PUBLIC UTILITIES (970-2800) TO SCHEDULE THE WATERLINE SHUTDOWN AT LEAST 48 HOURS IN ADVANCE. PROOF OF SUCCESSFUL PRESSURE AND BACTERIOLOGICAL TESTS WILL BE REQUIRED PRIOR TO ACCEPTANCE TO PUBLIC UTILITIES.
 - GATE VALVES SHALL NOT BE CONSTRUCTED WITHIN THE CURBS OR GUTTER PANS.
 - EXISTING SANITARY SEWER FROM THE CITY OF CHARLOTTESVILLE FLOWS THROUGH THE SITE & AROUND THE PROPOSED DEVELOPMENT. THE CONTRACTOR SHALL NOT DISTURB THE EXISTING SANITARY SEWER.
 - THE PROPOSED WATERLINES SHALL BE PUBLIC.
 - NO WATER METERS ARE PROPOSED WITH THIS DEVELOPMENT. WATER FOR THE PROPOSED BUILDING EXPANSION SHALL BE SUPPLIED VIA THE EXISTING WATER METER ON SITE.
 - THE PROPOSED FIRE HYDRANT SHALL BE PUBLIC & SHALL BE WITHIN A PROPOSED PUBLIC MAINTENANCE EASEMENT.
- FIRE PROTECTION:**
- AN APPROVED WATER SUPPLY OR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE.
 - ALL FIRE LANE PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHTING 75,000 LBS.
 - OVERHEAD WIRING OR OTHER OBSTRUCTION SHALL BE HIGHER THAN 13'-6".
 - PVS SHALL BE LOCATED WITHIN 5' FROM FIRE DEPARTMENT CONNECTIONS, BUT NO CLOSER THAN 3' GRADING & DRAINAGE NOTES:
- ALL PROPOSED SLOPES STEEPER THAN 3% SHALL HAVE A LOW MAINTENANCE GROUND COVER FOR STABILIZATION PURPOSES. THESE AREAS SHALL NOT BE PLANTED WITH A GRASS COVER FOR STABILIZATION & SHALL BE A GROUND COVER CHOSEN FROM TABLE 3.37C OF THE VESCH.

- NOTES:**
- NEW WATERLINE SHALL BE CEMENT LINED PER CITY SPECIFICATIONS.
 - THE CONNECTION TO THE EXISTING WATERLINE SHALL BE MADE USING A SOLID SLEEVE, NOT A TAPPING SLEEVE AND VALVE, AS THE EXISTING LINE WILL HAVE TO BE SHUT DOWN TO CUT AND CAP.
 - THRUST RESTRAINT WILL BE REQUIRED WITHIN 40' OF ALL FITTINGS.

REVISIONS

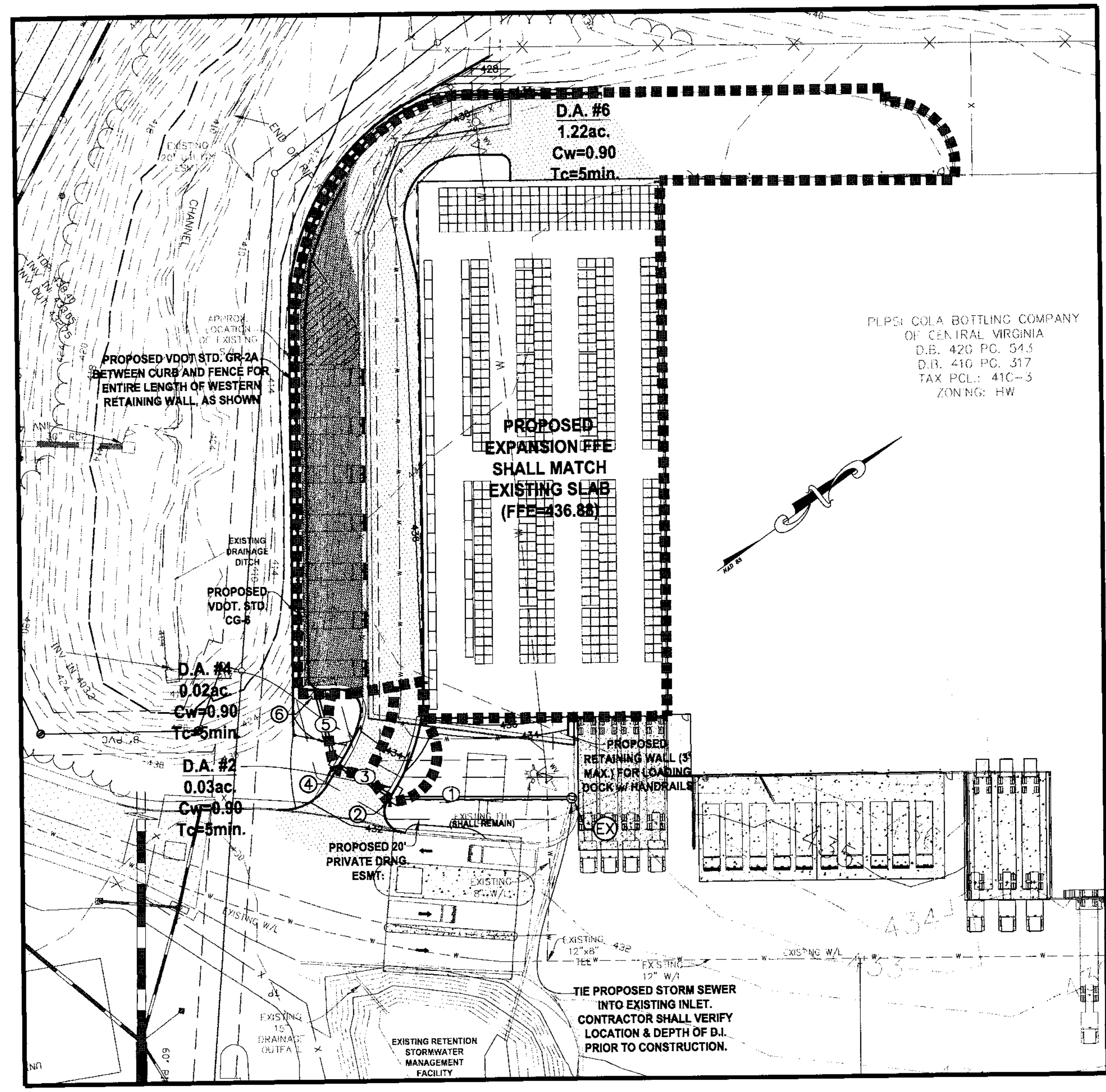
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REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

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PEPSI EXPANSION SITE PLAN AMENDMENT
 SITE PLAN

JOB NO.	112069
SCALE	1"=30'
SHEET NO.	3

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INLET STATION	OUTLET WATER SURFACE ELEV.	D	Q	S	H	V	II	Q	V	Q ²	V ² /2g	ANGLE	H _L	H	TSR	SM	FRIC	HEAD WATER SURFACE ELEV.	RIM KEY		
	420.77	120.25	15	13.41	0.043	5.18	10.9	0.5													
EX DI	428.48	83.77	15	7.57	0.014	1.15	6.2	0.1	7.6	6.2	47	0.6	0.21	0	0	0.67	0.87	0.44	5.62	426.39	432.96
2	429.98	32.71	15	7.42	0.013	0.43	6.0	0.1	7.4	6.0	45	0.6	0.20	75	0.3466	0.69	NA	0.35	1.50	429.98	432.86
4	430.77	33.81	15	7.32	0.013	0.43	6.0	0.1	7.3	6.0	44	0.6	0.19	150	0.3866	0.72	NA	0.36	0.79	430.77	432.86
6													0.00	135	0	0.14	NA	0.07	0.50	431.27	434.71

PROJECT Pepsi Expansion
COUNTY Charlottesville

STORM SEWER DESIGN COMPUTATIONS

FROM	TO	AREA DRAIN "A" COEFF	RUN-OFF INCRE	CA ACCUMULATED	INLET TIME	RAIN-FALL to 10 yr	RUN-OFF Q	INV. ELEV. IN	INV. ELEV. OUT	LEN.	SLOPE	DIA	FULL FLOW RATE	VEL. 10 yr	FLOW TIME	RUN-OFF 100 yr	VEL. 100 yr	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
6	4	122.09	1.10	1.10	500	6.67	7.32	431.25	429.31	33.81	5.74%	15.00	15.48	12.39	2.7	9.8	13.3	
4	2	0.03	0.03	1.12	75	6.65	7.42	429.21	428.75	32.71	1.40%	15.00	7.64	7.09	4.6	9.8	8.0	
2	EX DI	0.03	0.03	1.15	31.1	6.63	7.57	428.65	427.48	83.77	1.40%	15.00	7.64	7.10	11.8	10.0	8.1	
EX DI	SWM	1	0.9	0.90	2.04	5.32	6.56	13.41	426.73	419.77	120.25	5.79%	15.00	15.54	14.22	8.5	17.6	14.4

DRAINAGE DESCRIPTIONS

STR. NO.	PIPE INFORMATION				INLET INFORMATION				COMMENTS											
	DIA (in.)	LENGTH (ft)	SLOPE (%)	INVERT IN	INVERT OUT	MATERIAL	INLET TYPE	Curb Type		INLET STATION	SLOT LENGTH	RIM ELEVATION								
6																				
5	15	33.81	5.74%	431.25	429.31	RCP3	DI-3C	CG-6	93.34	10	434.71									VDOT STD. IS-1 REQD
4	15	32.71	1.40%	429.21	428.75	RCP3	DI-3B	CG-6	125.83	4	432.86									VDOT STD. IS-1 REQD
3	15	32.71	1.40%	429.21	428.75	RCP3	DI-3B	CG-6	160.00	6	432.86									VDOT STD. IS-1 REQD
2	15	83.77	1.40%	428.65	427.48	RCP3	DI-3B	CG-6												
1	15	83.77	1.40%	428.65	427.48	RCP3	DI-3B	CG-6												

Table 7: Grade Inlet Design Table

INLETS ON GRADE, DESIGN (CURB SPREAD AND INLET CAPTURE)

Intensity: 4.00 (Intensity is 4 in/hr for spread, and 6.5 in/hr for capacity and depth)
Manning's Coefficient, n is 0.013

Plan Label	VDOT DI type	L, throat length (ft)	Hydrology				Curb and Gutter				Inlet				Remarks								
			A, drainage area (acres)	C, rational coeff.	Q, flow incr. (cfs)	Q _c , carry-over (cfs)	Q _t , total flow	S, gutter longitudinal slope (ft/ft)	Sw, gutter cross-slope (ft/ft)	Sw _g , gutter cross-slope (ft/ft)	Sw _s	E _o , frontal flow ratio in gutter (%)	E _i , 12WS(Sw)², 2' head dept. (ft)	S _w = S/(1200)		S _w = S/(S+0.5)	L _r , required throat length (ft)	L _r /L					
2	38	6.0	0.03	0.90	0.027	0.11	0.00	0.11	0.090	0.020	2.0	0.083	4.17	1.00	3.52	0.15	0.17	3.55	1.69	0.11	0.00	-	-
4	38	4.0	0.02	0.90	0.018	0.07	0.00	0.07	0.090	0.020	2.0	0.083	4.15	1.00	3.51	0.15	0.17	3.55	1.68	0.07	0.00	-	-

- for inlets draining to stormwater management facilities, where overland flow to facilities is not available, 100% capture is required at 6.5in/hr

Table 7: Grade Inlet Design Table

INLETS ON GRADE, DESIGN (CURB SPREAD AND INLET CAPTURE)

Intensity: 6.50 (Intensity is 4 in/hr for spread, and 8.5 in/hr for capacity and depth)
Manning's Coefficient, n is 0.013

Plan Label	VDOT DI type	L, throat length (ft)	Hydrology				Curb and Gutter				Inlet				Remarks								
			A, drainage area (acres)	C, rational coeff.	Q, flow incr. (cfs)	Q _c , carry-over (cfs)	Q _t , total flow	S, gutter longitudinal slope (ft/ft)	Sw, gutter cross-slope (ft/ft)	Sw _g , gutter cross-slope (ft/ft)	Sw _s	E _o , frontal flow ratio in gutter (%)	E _i , 12WS(Sw)², 2' head dept. (ft)	S _w = S/(1200)		S _w = S/(S+0.5)	L _r , required throat length (ft)	L _r /L					
2	38	6.0	0.03	0.90	0.027	0.18	0.00	0.18	0.090	0.020	2.0	0.083	4.1500	1.00	3.512	0.1483	0.1648	4.38	1.37	0.18	0.00	-	-
4	38	4.0	0.02	0.90	0.018	0.12	0.00	0.12	0.090	0.020	2.0	0.083	4.1500	1.00	3.512	0.1483	0.1683	3.08	1.09	0.12	0.00	-	-

- for inlets draining to stormwater management facilities, where overland flow to facilities is not available, 100% capture is required at 6.5in/hr

Table 6: Sump Inlet Design Table

INLETS IN SUMP, DESIGN (CURB SPREAD AND INLET SPREAD AND DEPTH)

Intensity: 4.00 (Intensity is 4 in/hr for spread, and 6.5 in/hr for capacity and depth)
Manning's Coefficient, n is 0.013

Plan Label	VDOT DI type	L, throat length (ft)	Hydrology				Curb and Gutter				Inlet		Remarks				
			A, drainage area (acres)	C, rational coeff.	Q, flow incr. (cfs)	Q _c , carry-over (cfs)	Q _t , total flow	S, gutter longitudinal slope (ft/ft)	Sw, gutter cross-slope (ft/ft)	Sw _g , gutter cross-slope (ft/ft)	Sw _s	E _o , frontal flow ratio in gutter (%)		d/h, height of opening, 5.0'			
STR 6	DI-3C	10.0	1.22	0.90	1.098	4.39	0.00	4.39	0.005	0.045	2.0	0.083	1.84	7.97	0.57		0.724

combined flow 4.4

- grate inlets (DI-7) in open pavement areas will not have a curb spread, but will have inlet spread and depth
- for inlets draining to stormwater management facilities, the 6.5in/hr check storm will suffice for the 10yr conveyance to the facilities
NOTE: Inlet size for structures determined by overland flow.

Table 6: Sump Inlet Design Table

INLETS IN SUMP, DESIGN (CURB SPREAD AND INLET SPREAD AND DEPTH)

Intensity: 6.50 (Intensity is 4 in/hr for spread, and 8.5 in/hr for capacity and depth)
Manning's Coefficient, n is 0.013

Plan Label	VDOT DI type	L, throat length (ft)	Hydrology				Curb and Gutter				Inlet		Remarks				
			A, drainage area (acres)	C, rational coeff.	Q, flow incr. (cfs)	Q _c , carry-over (cfs)	Q _t , total flow	S, gutter longitudinal slope (ft/ft)	Sw, gutter cross-slope (ft/ft)	Sw _g , gutter cross-slope (ft/ft)	Sw _s	E _o , frontal flow ratio in gutter (%)		d/h, height of opening, 5.5'			
STR 6	DI-3C	10.0	1.22	0.90	1.098	7.14	0.00	7.14	0.005	0.0450	2.0	0.083	1.84	9.56	0.51		1.000

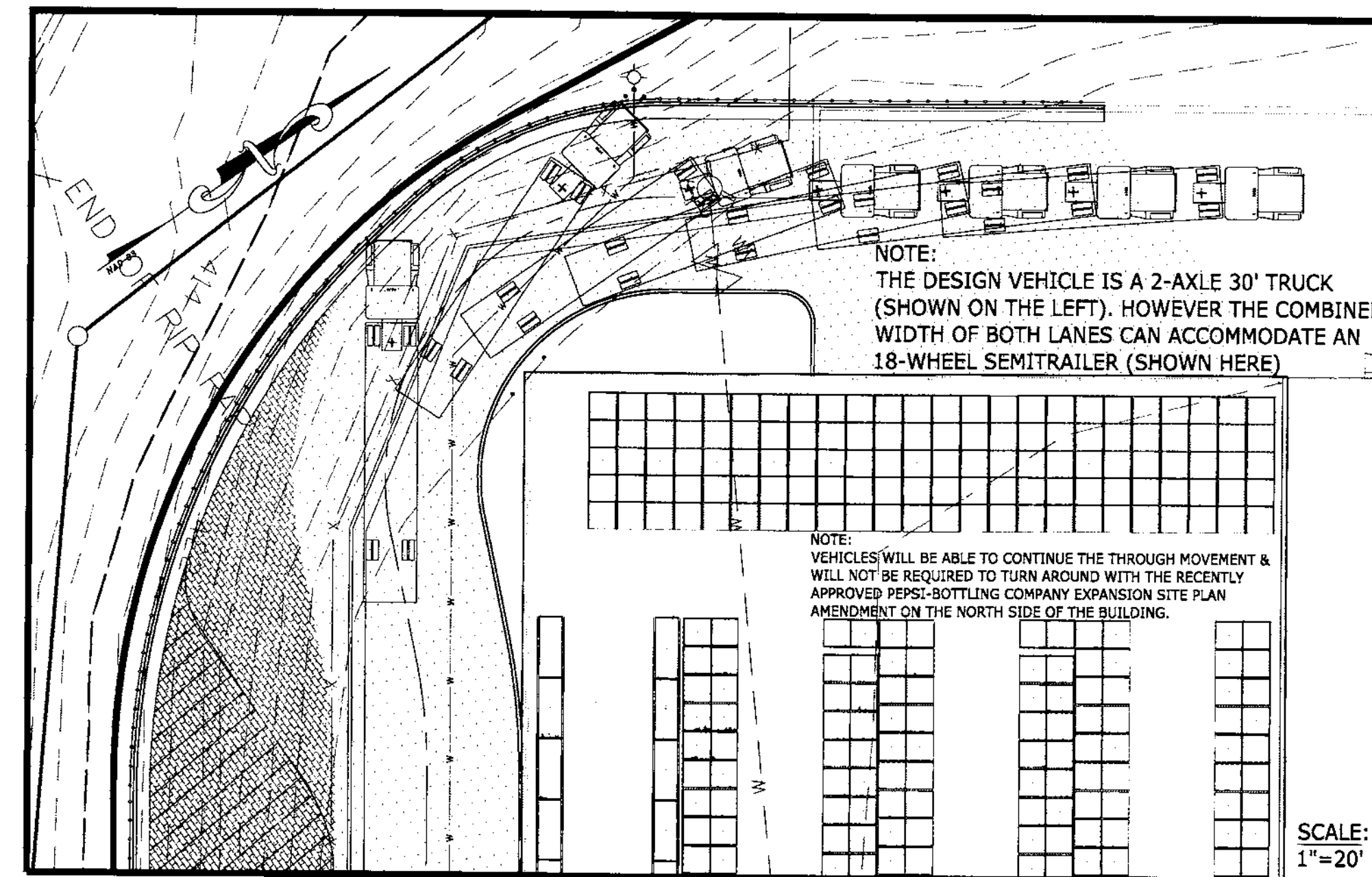
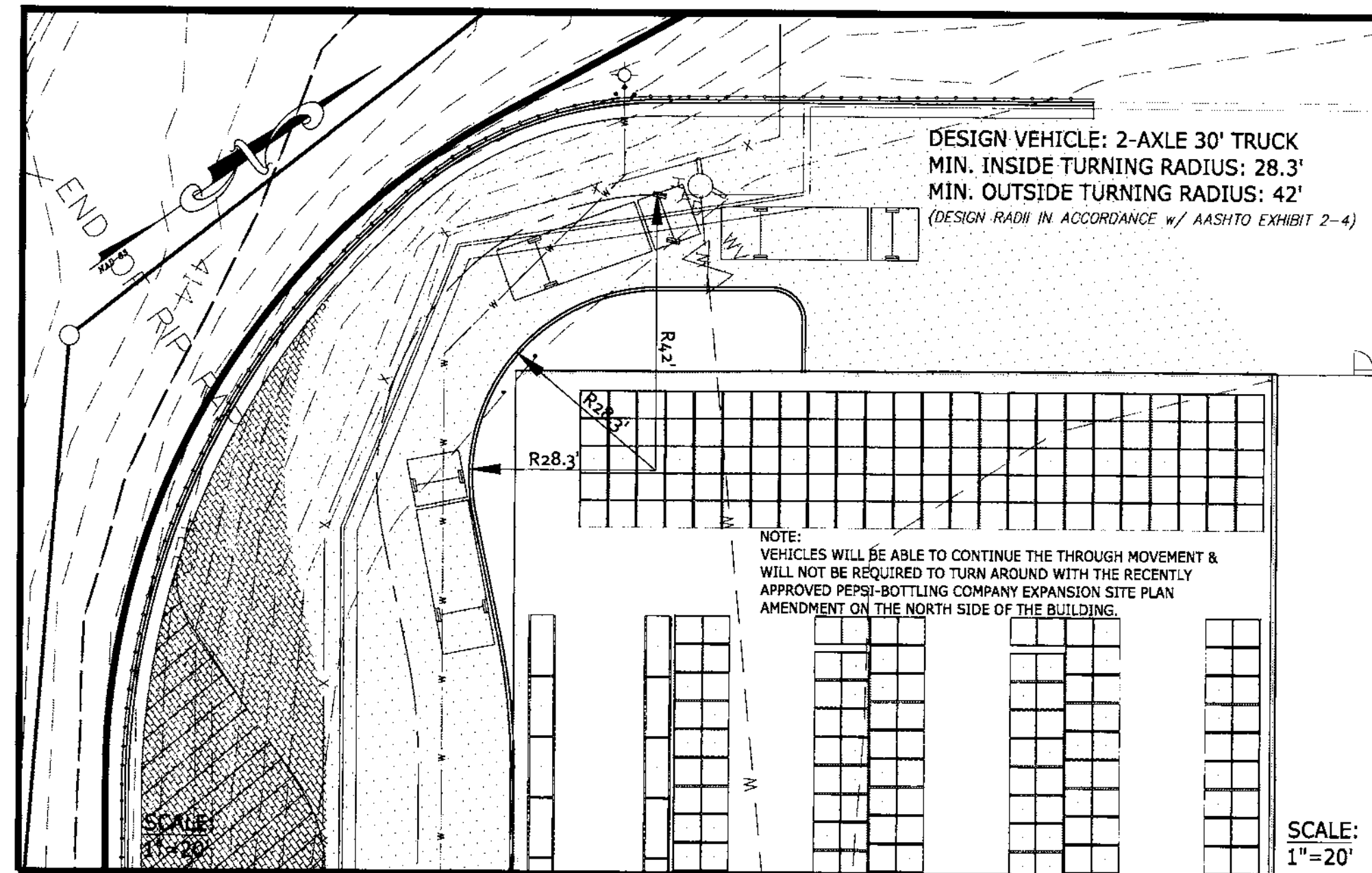
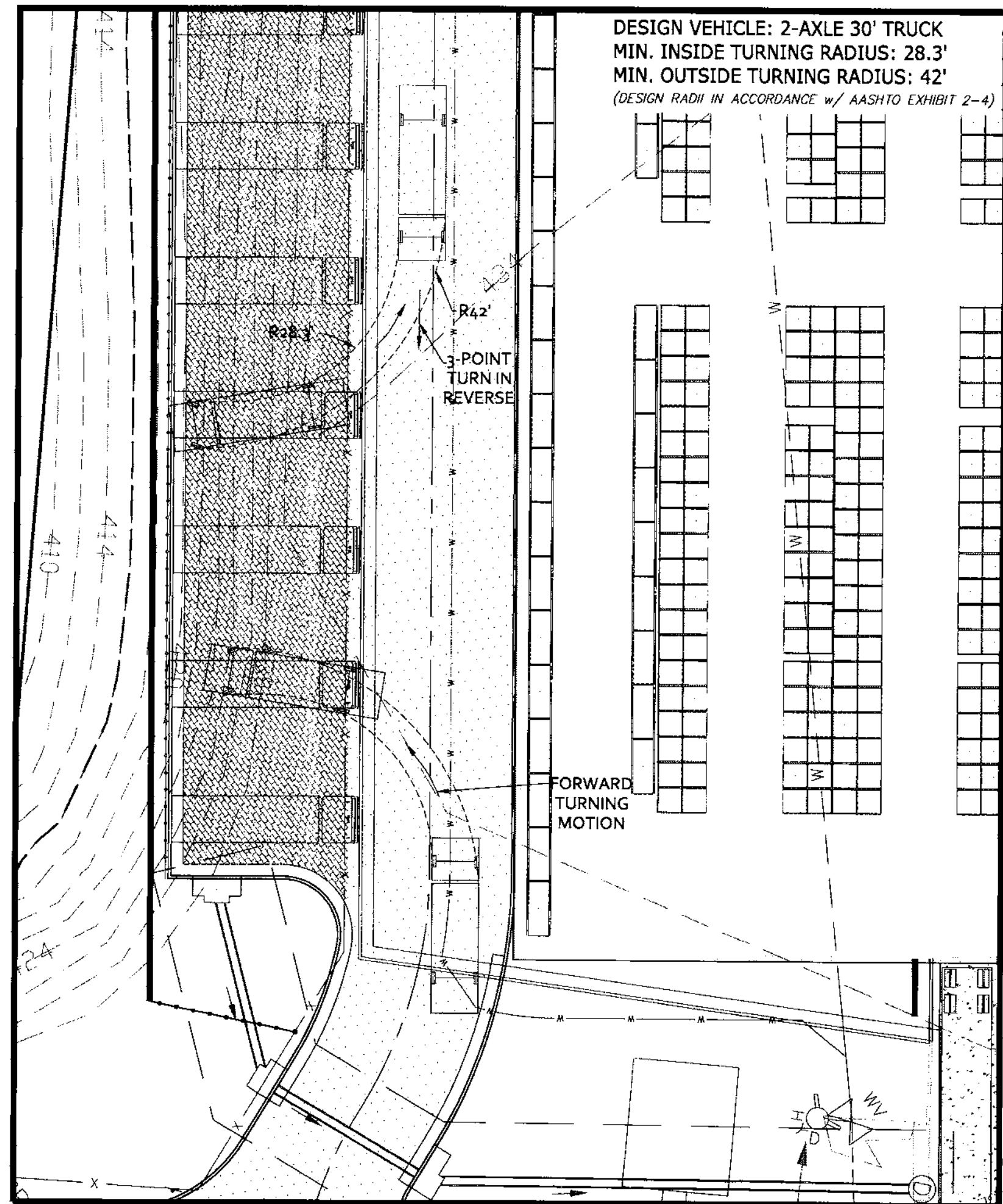
combined flow 7.1

- grate inlets (DI-7) in open pavement areas will not have a curb spread, but will have inlet spread and depth
- for inlets draining to stormwater management facilities, the 6.5in/hr check storm will suffice for the 10yr conveyance to the facilities
NOTE: Inlet size for structures determined by overland flow.

REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/31/12
RESUBMITTAL TO ADDRESS CITY COMMENTS	11/02/12
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12	3/06/13
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/1/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

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NOTE: ALL ROADWAY EMBANKMENT MATERIAL SHALL CONSIST PREDOMINANTLY OF SOIL AND BE PLACED IN SUCCESSIVE UNIFORM LAYERS NOT MORE THAN 8 INCHES IN THICKNESS BEFORE COMPACTION OVER THE ENTIRE ROADBED AREA IN ACCORDANCE WITH VDOT 2007 ROAD AND BRIDGE SPECIFICATION 303.04.

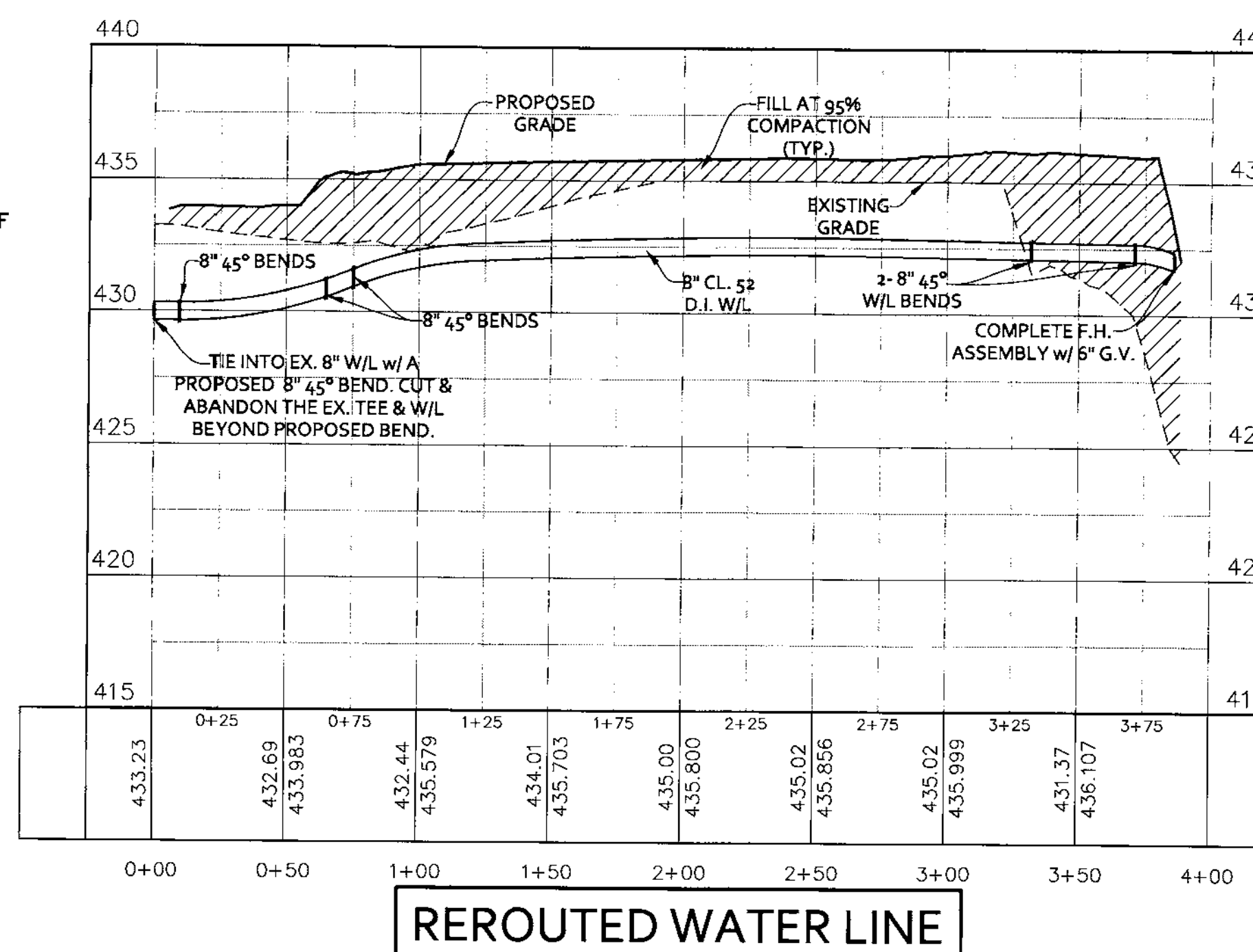
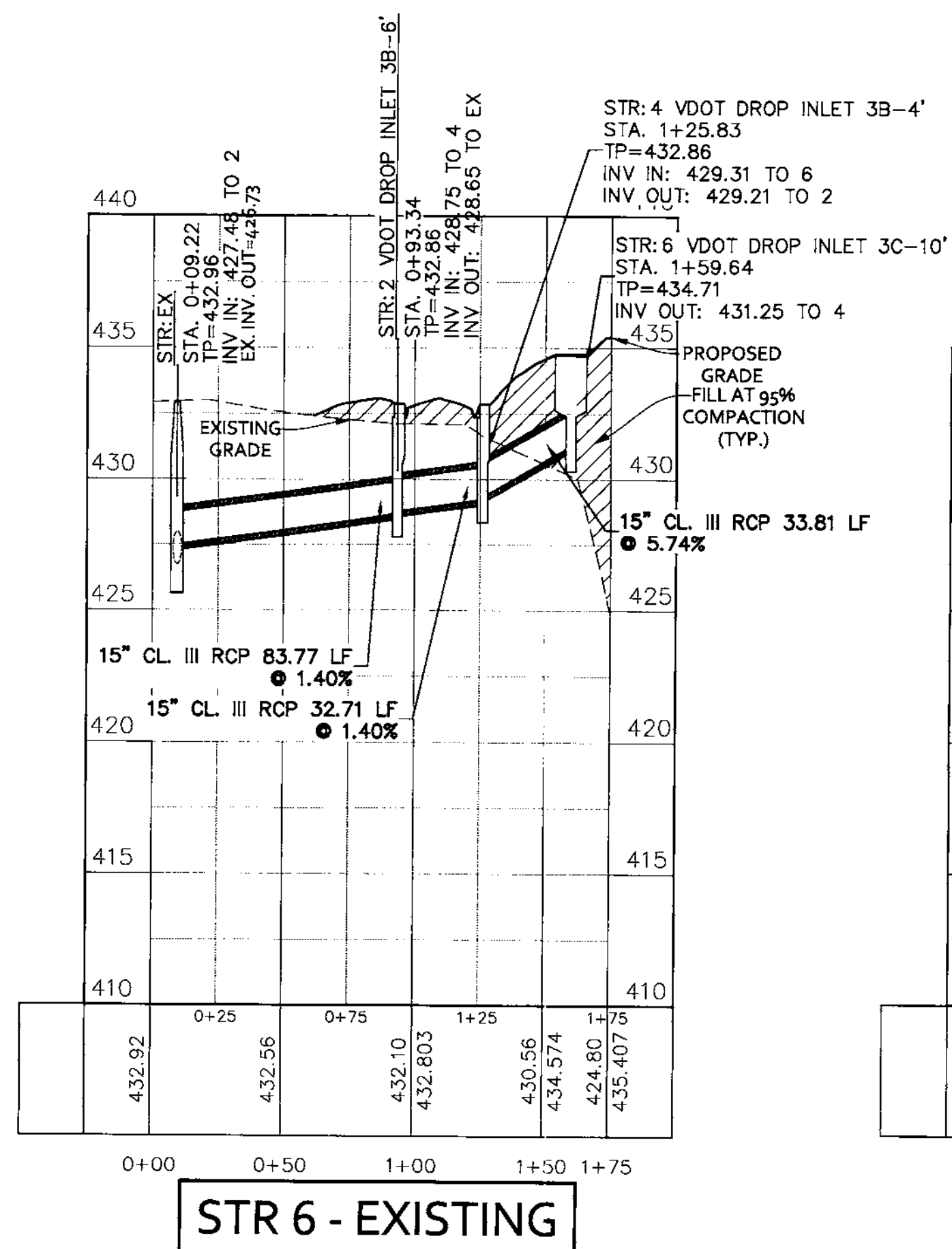
NOTE: MINIMUM 3' OF COVER MUST BE MAINTAINED OVER W/L

NOTE: MINIMUM 1' OF VERTICAL SEPARATION FROM STORM SEWER & W/L

NOTE: VDOT STD. IS-1 REQUIRED ON ALL STRUCTURES

NOTE: ALL PIPE IS CLASS III RCP, UNLESS NOTED OTHERWISE.

NOTE: ALL FILL SHALL BE PLACED 95% COMPACTION AND TESTED BY A GEOTECHNICAL ENGINEER TO ENSURE COMPACTION IS REACHED AND MAINTAINED.



CE COLLINS ENGINEERING
200 GARRETT STREET SUITE K - CHARLOTTEVILLE, VA 22902 - 434.293.3719

PROJECT: PEPSI EXPANSION SITE PLAN AMENDMENT

SHEET: 5

JOB NO. 112069

SCALE AS SHOWN

SHEET NO. 5

REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/9/12
RESUBMITTAL TO ADDRESS CITY COMMENTS	11/02/12
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12	1/04/13
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/1/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13



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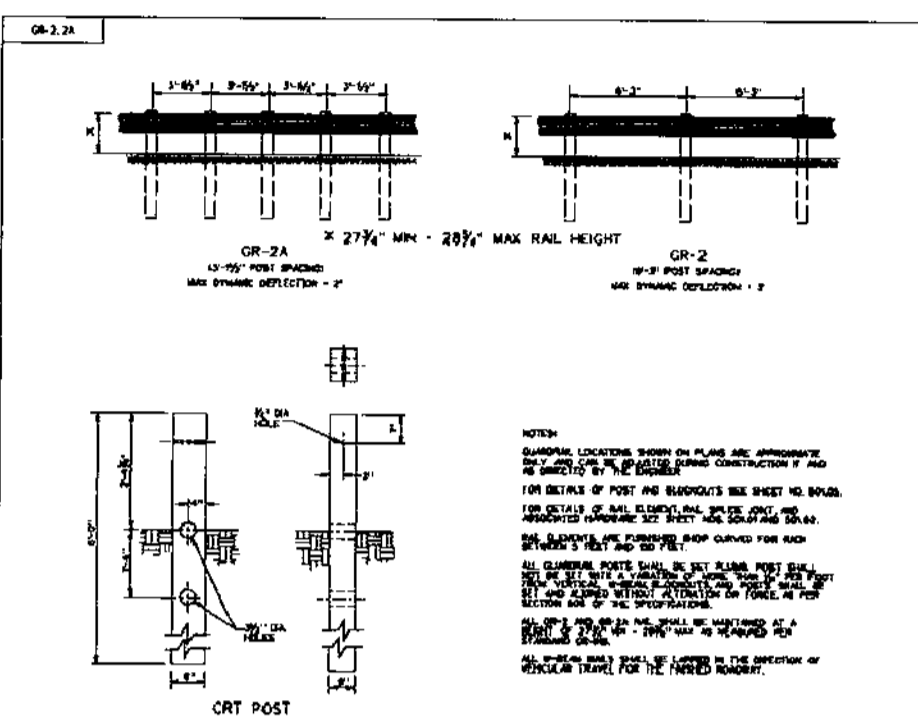
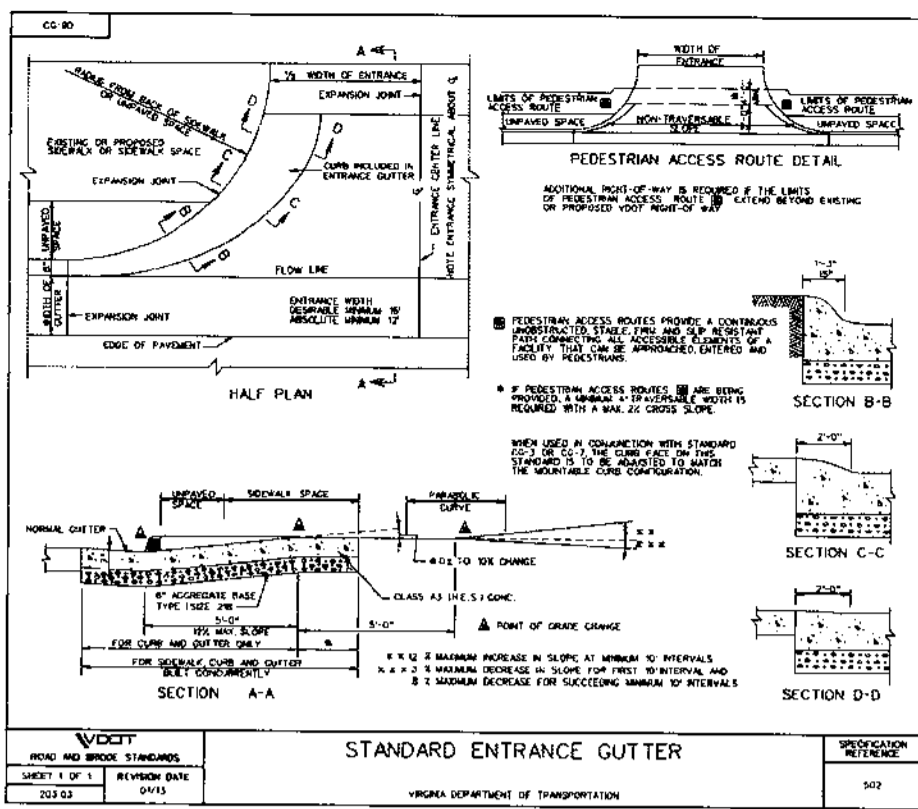
UTILITIES

1. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY AND REPAIRED AT CONTRACTOR'S EXPENSE.
2. THESE PLANS DO NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE OR LOCATION OF UTILITIES. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION, OR THE NON-EXISTENCE, OF UTILITIES, AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION. CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-552-7001) AND/OR THE RESPECTIVE UTILITY COMPANIES FOR GAS, WATER, SEWER, POWER, PHONE AND CABLE. CONTRACTOR SHALL TIMELY ARRANGE TO HAVE THE VARIOUS UTILITIES LOCATED, AND TO HAVE THEM REMOVED OR RELOCATED, OR TO DETERMINE THE METHOD OF PROTECTION ACCEPTABLE TO THE RESPECTIVE OWNER. IF THE METHOD OF PROTECTION IS NOT OTHERWISE SPECIFIED, CONTRACTOR SHALL CONDUCT ITS WORK IN THE VICINITY OF EXISTING UTILITIES IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S RULES AND REGULATIONS. NO BUILDING OR WALL FOUNDATION SHALL BE CONSTRUCTED WITHIN 10 FEET OF A PUBLIC STORM, SANITARY OR WATER LINE, OR WITHIN 10' OF A GAS LINE. ANY COST INCURRED FOR REMOVING, RELOCATING OR PROTECTING UTILITIES SHALL BE BORNE BY CONTRACTOR UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL EXCAVATE TO LOCATE BURIED UTILITIES FAR ENOUGH IN ADVANCE OF ITS WORK TO ALLOW FOR HORIZONTAL AND/OR VERTICAL ADJUSTMENTS TO ITS WORK AND/OR THE UTILITIES. NO ADJUSTMENT IN COMPENSATION OR SCHEDULE WILL BE ALLOWED FOR DELAYS RESULTING FROM CONTRACTOR'S FAILURE TO CONTACT AND COORDINATE WITH UTILITIES.
3. WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE DUE TO THE WORK. ALL METHODS FOR SUPPORTING AND MAINTAINING THE EXISTING UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY COMPANY AND/OR THE ENGINEER. CONTRACTOR SHALL EXERCISE CARE TO INSURE THAT THE GRADE AND ALIGNMENT OF EXISTING UTILITIES ARE MAINTAINED AND THAT NO JOINTS OR CONNECTIONS ARE DISPLACED. BACKFILL SHALL BE CAREFULLY PLACED AND COMPACTED TO PREVENT FUTURE DAMAGE OR SETTLEMENT TO EXISTING UTILITIES. ANY UTILITIES REMOVED AS PART OF THE WORK, AND NOT INDICATED TO BE REMOVED OR ABANDONED, SHALL BE RESTORED USING MATERIALS AND INSTALLATION EQUAL TO THE UTILITY'S STANDARDS.
4. CONTRACTOR SHALL NOTIFY LANDOWNERS, TENANTS AND THE ENGINEER PRIOR TO THE INTERRUPTION OF ANY SERVICES. SERVICE INTERRUPTIONS SHALL BE KEPT TO A MINIMUM.
5. IF DEEMED REQUIRED BY THE CITY INSPECTOR, CONTRACTOR SHALL COORDINATE WITH THE CITY TO LOCATE SIGNAL LOOP DETECTORS AND CONDUITS IN ORDER TO AVOID DAMAGE TO THEM. CONTRACTOR SHALL REMEDIATE THE CITY FOR REPAIRING ANY DAMAGE TO SIGNAL LOOP DETECTORS AND CONDUITS CAUSED BY CONTRACTOR'S FAILURE TO SO COORDINATE.
6. ALL RECTANGULAR WATER METER BOXES LOCATED IN SIDEWALKS SHALL BE REPLACED WITH ROUND ONES. THESE WILL BE FURNISHED BY THE CITY UPON ONE FULL WORKING DAY NOTIFICATION. THE ADJUSTMENT OF ALL MANDREL TAPS, WATER VALVE BOXES, GAS VALVE BOXES AND WATER METER BOXES SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
7. THE CONTRACTOR SHALL NOTIFY THE CITY UTILITIES DIVISION AT LEAST TWO FULL WORKING DAYS IN ADVANCE TO ARRANGE GAS SERVICE LINE ADJUSTMENTS TO BE PERFORMED BY THE CITY.
8. ALL WATER METER, VALVES AND FIRE HYDRANT ADJUSTMENTS/RELOCATIONS SHALL BE PERFORMED BY THE CONTRACTOR.

- CONCRETE AND ASPHALT**
1. ALL FORMS SHALL BE INSPECTED BY THE ENGINEER BEFORE ANY CONCRETE IS PLACED. THE ENGINEER MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO REMOVE AND REPLACE CONCRETE PLACED PRIOR TO OR WITHOUT SUCH INSPECTION.
 2. ALL MATERIAL INSIDE FORMS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS. SUB-BASE MATERIAL SHALL BE COMPACTED BY MECHANICAL MEANS.
 3. CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (F) IN THE SHADE AND RISING.
 4. CONCRETE SHALL NOT BE PLACED UNTIL STEEL DOWELS HAVE BEEN INSTALLED IN EXISTING CONCRETE IN ACCORDANCE WITH CITY STANDARDS & ALL BUILDING CODES.
 5. 1/2" PREMOULDED EXPANSION JOINT MATERIAL SHALL BE PLACED AT A MAXIMUM OF 30' INTERVALS ON NEW SIDEWALK, CURBS, CURBS & GUTTER, AT EACH END OF DRIVEWAY ENTRANCES, AT EACH END OF HANDICAP RAMPS, SOME POINT ON ENTRANCE WALKS AND STEPS ADJUSTMENTS, AND ALONG BUILDINGS AND WALLS WHERE NEW CONCRETE SIDEWALKS ARE PLACED AGAINST THEM.
 6. ALL EXISTING CURBS, CURBS & GUTTER, SIDEWALK AND STEPS TO BE REMOVED SHALL BE TAKEN OUT TO THE NEAREST JOINT.
 7. ALL EXISTING GRANITE CURB, IF APPLICABLE, SHALL REMAIN THE PROPERTY OF THE CITY OF CHARLOTTESVILLE. IT SHALL BE REMOVED AND DELIVERED BY THE CONTRACTOR TO THE CITY'S PUBLIC WORKS COMPLEX.
 8. STREET PAVEMENT STRUCTURE AND PATCHING SHALL BE EXTENDED FROM THE FRONT OF NEW CONCRETE TO THE EXISTING PROJECTION OF THE SOUND STREET EDGE AS DIRECTED BY THE ENGINEER WHERE APPLICABLE.
 9. ASPHALT/CONCRETE ADJUSTMENTS ARE TO BE DONE IN GENTLE TRANSITIONS RATHER THAN ABRUPT BREAKS AT THE BACK OF WALKS.
- EXISTING ASPHALT & CONCRETE PAVEMENT SHALL BE SAW CUT AND REMOVED IN ACCORDANCE WITH CITY & STATE REQUIREMENTS & ALL CURRENT CODES & REGULATIONS. REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO NOT TEAR, BULGE OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL. ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.**
- DISPOSAL OF ALL EXCESS MATERIAL IS THE RESPONSIBILITY OF CONTRACTOR.**

DRAINAGE

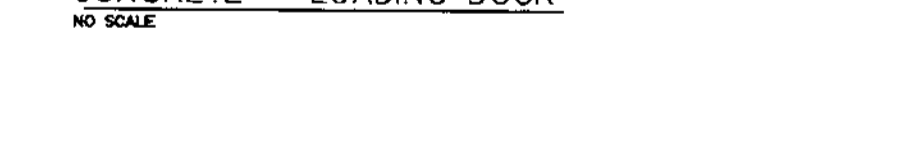
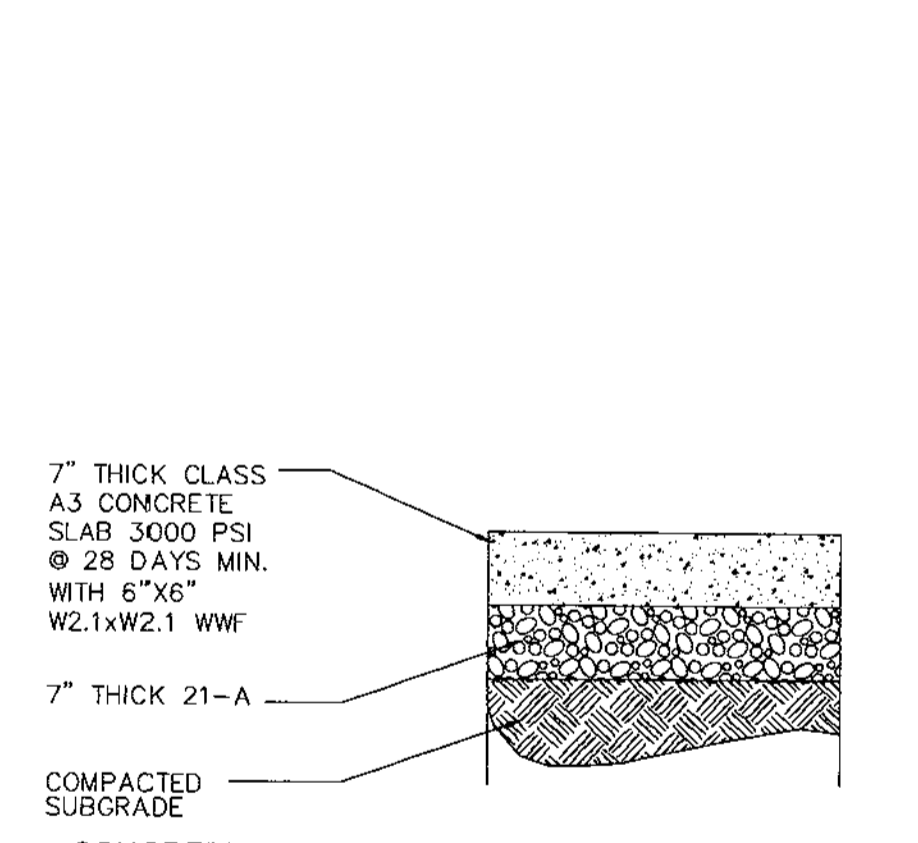
1. CONTRACTOR SHALL EXERCISE CARE, ESPECIALLY AT INTERSECTIONS AND GUTTER LINES, TO PROVIDE POSITIVE DRAINAGE. ANY AREAS WHERE WATER IS IMPONDED SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST. POSITIVE DRAINAGE OF ALL PAVED AND GRADED AREAS TO THE STORM DRAIN INLETS OR OTHER ACCEPTABLE DRAINAGE CHANNELS ARE REQUIRED.
2. CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERTS AND FLOWS AT ALL TIMES DURING THE WORK. CONTRACTOR SHALL PAY FOR ALL PERSONAL INJURY AND PROPERTY DAMAGE WHICH MAY OCCUR AS A RESULT OF FAILING TO MAINTAIN ADEQUATE DRAINAGE.
3. ALL DIPS, DIPS AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEER BEFORE BEING BACKFILLED OR BURRED. THE ENGINEER MAY REQUIRE CONTRACTOR AT NO ADDITIONAL COST, TO UNCOVER AND RE-COVER SUCH STRUCTURES IF THEY HAVE BEEN BACKFILLED OR BURRED WITHOUT SUCH INSPECTION.
4. ALL CATCH BASINS ENCOMPASSED WITHIN NEW CONSTRUCTION SHALL BE CONVERTED TO DROP INLETS.
5. CLASS I RIP RAP MODIFICATIONS ALLOWS FOR A REDUCTION IN STONE DEPTH FROM 2.0' TO A MINIMUM OF 1.0' WHEN DIRECTED BY THE ENGINEER.
6. REMOVED PIPE SHALL BE THE PROPERTY OF CONTRACTOR AND IF NOT SALVAGED FOR RE-USE, SHALL BE DISPOSED OF LAWFULLY.
7. ALL STORM SEWER PIPE AND DROP INLETS SHALL BE CLEARED OF DEBRIS AND ERODED MATERIAL PRIOR TO FINAL ACCEPTANCE.
8. ALL STORM SEWER PIPE JOINTS SHALL BE SEATED AND SEALED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
9. ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT TIED INTO EXISTING STORM SEWER SHALL REMAIN OR BE REROUTED TO PROPOSED STORM SEWER, UNLESS OTHERWISE NOTED ON THE PLANS.



RESTRAINED JOINT PIPE LENGTHS CHARTS

CITY OF CHARLOTTESVILLE

Conditions	Type 4		Type 6	
Lining Condition	12 inch	15 inch	12 inch	15 inch
Good	15	20	15	20
Variable	15	20	15	20
Vertical	27	35	40	45
Horizontal	6	8	10	12
Vertical	3	4	5	6
Horizontal	1	1	2	2
Vertical	3	4	5	6
Horizontal	1	1	2	2
Vertical	14	18	21	27
Horizontal	3	4	5	6
Vertical	14	18	21	27

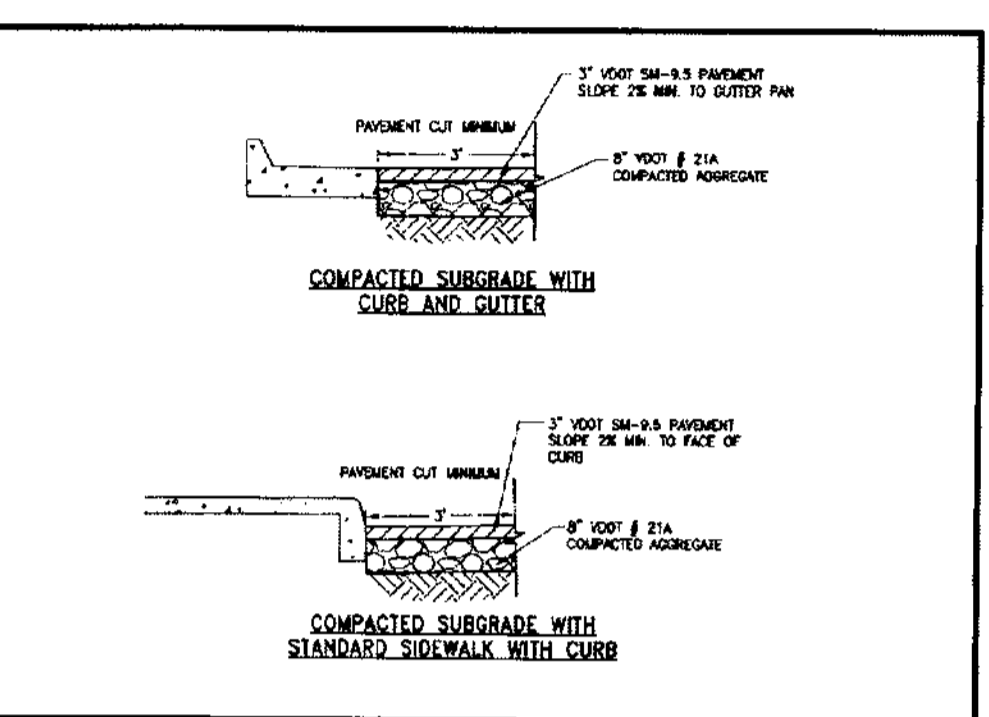
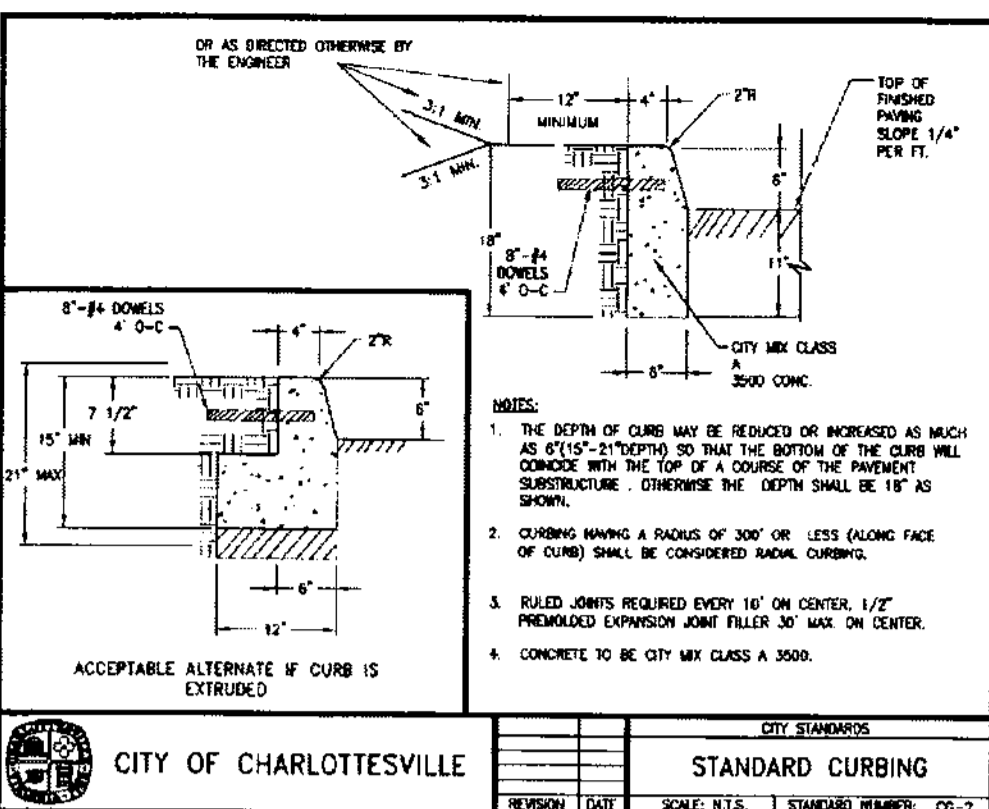


Pavement Design

RF= 1.0

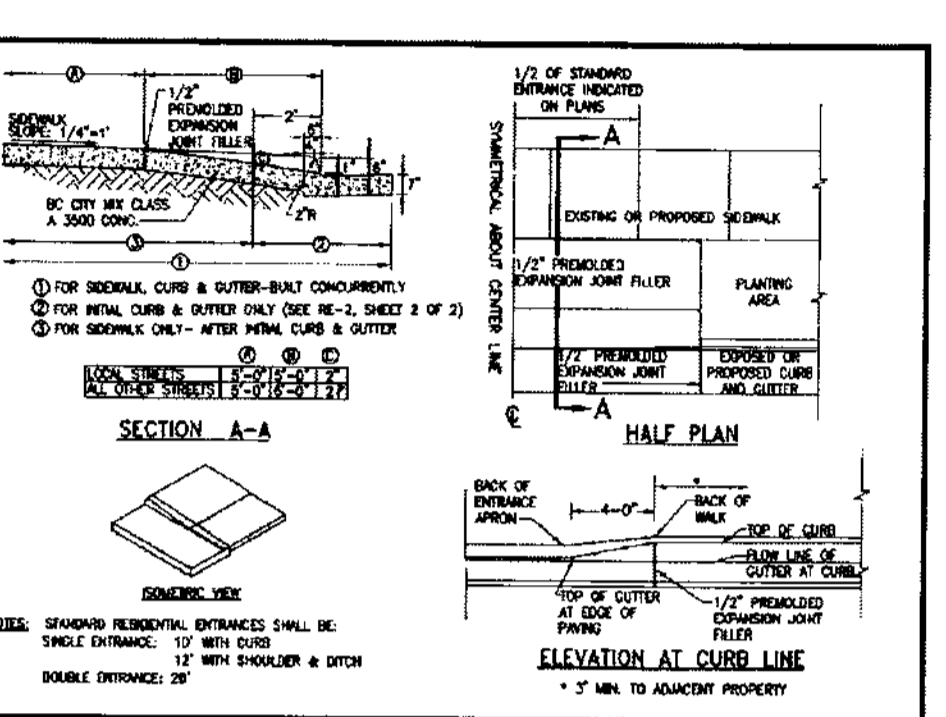
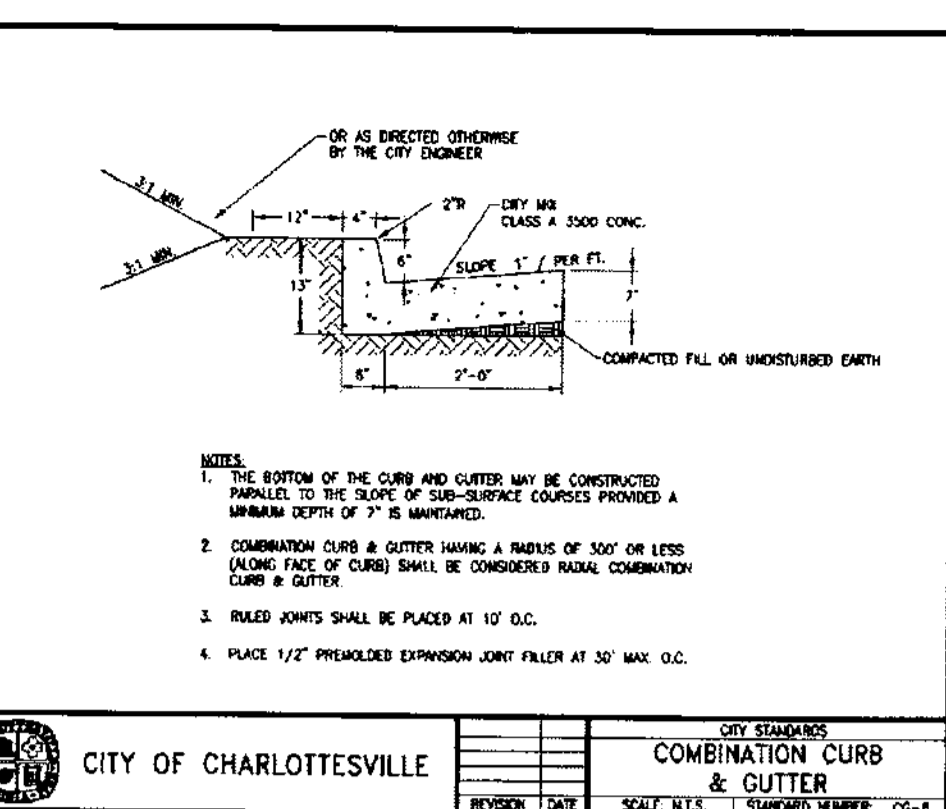
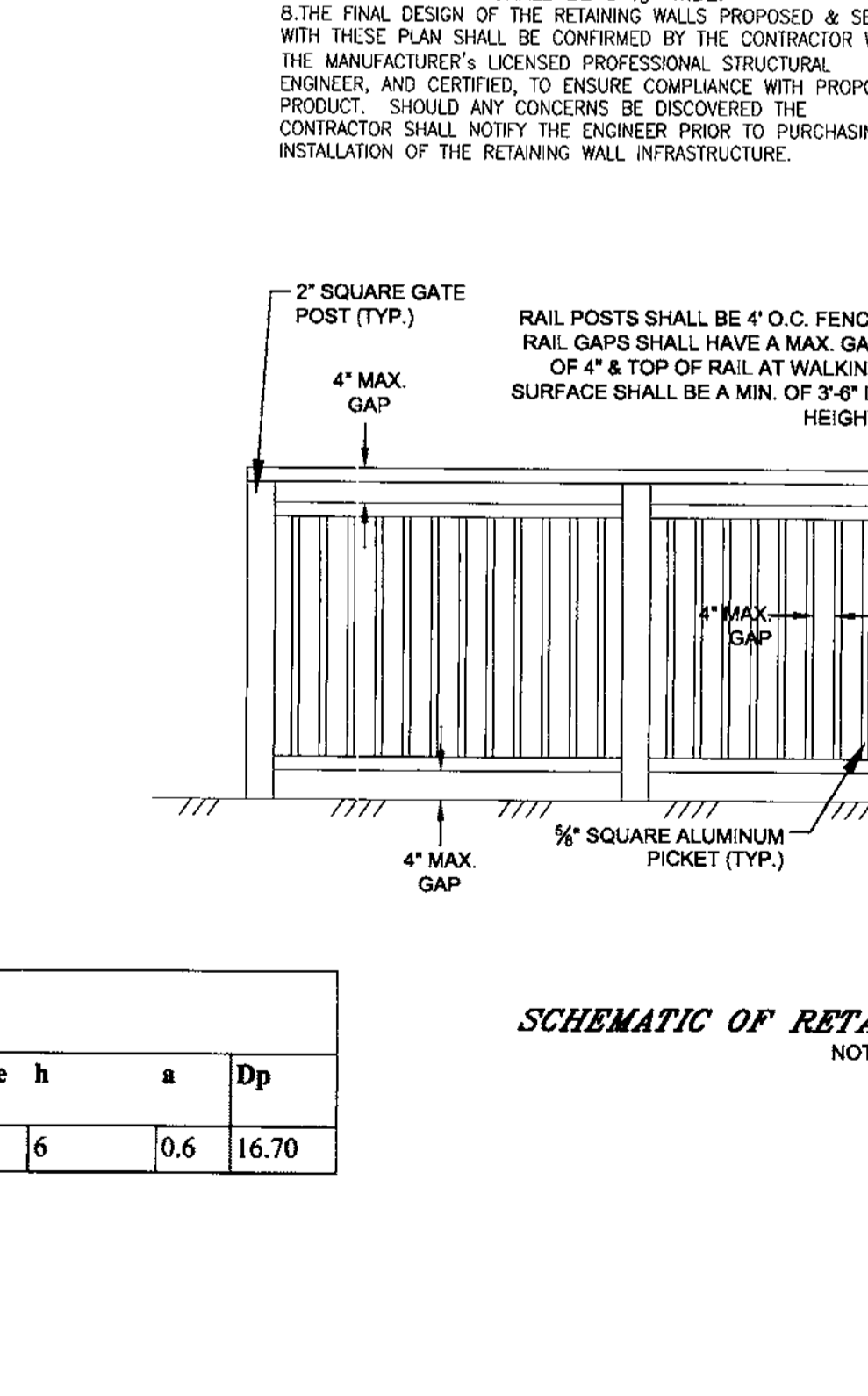
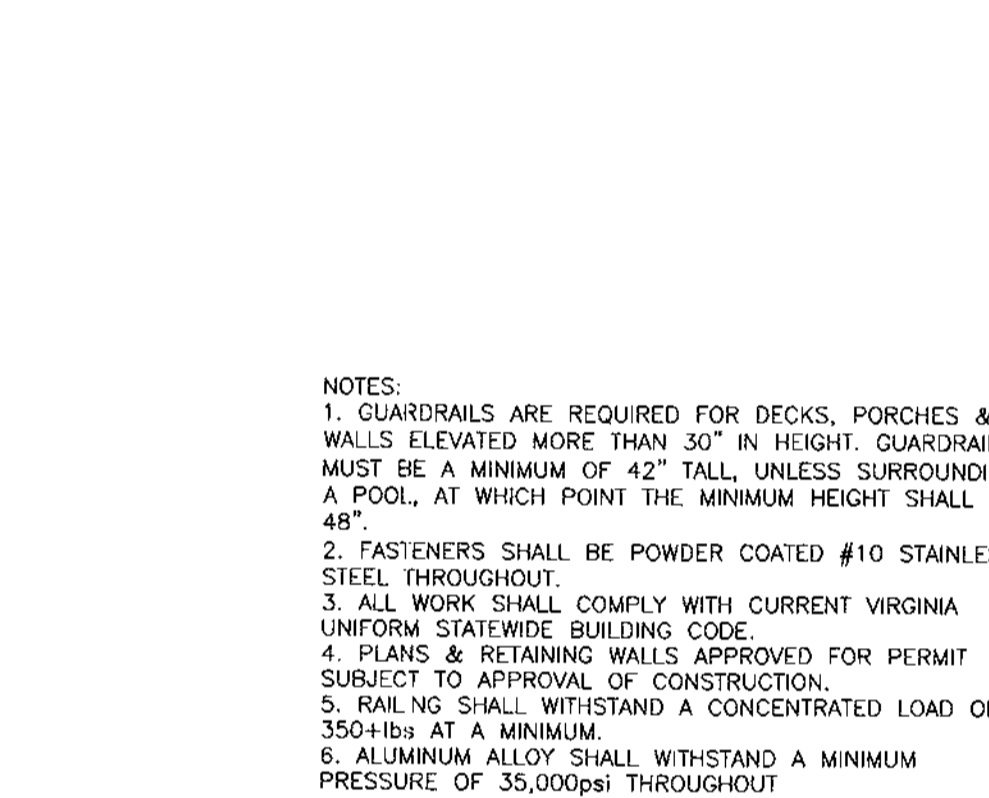
Location	ADT	HCV	Design ADT	CBR	SSV	Dr	Surface	h		Base	a		Sub-base	h		a	Dp
								a	b		a	b					
Proposed Drive Aisle	533	30	833	4	4	14.12	SM-9.5	2	2.25	BM-25	4	2.15	21A	6	0.6	16.70	

- Notes:**
1. Pavement calculations shown are for the drive aisle. See SWM plan for permeable paver design/parking area.
 2. Contractor to bore any existing pavement being utilized and coordinate with City Inspector on upgrades to ensure the above specifications are met and are in accordance with their standards.
 3. Traffic impact numbers are based on the ite trip generation manual, 8th edition. Code 140 was used for the industrial space with 250 expected employees. The act is 533, the am hour peak trips are 100, and the pm hour peak trips are 90.



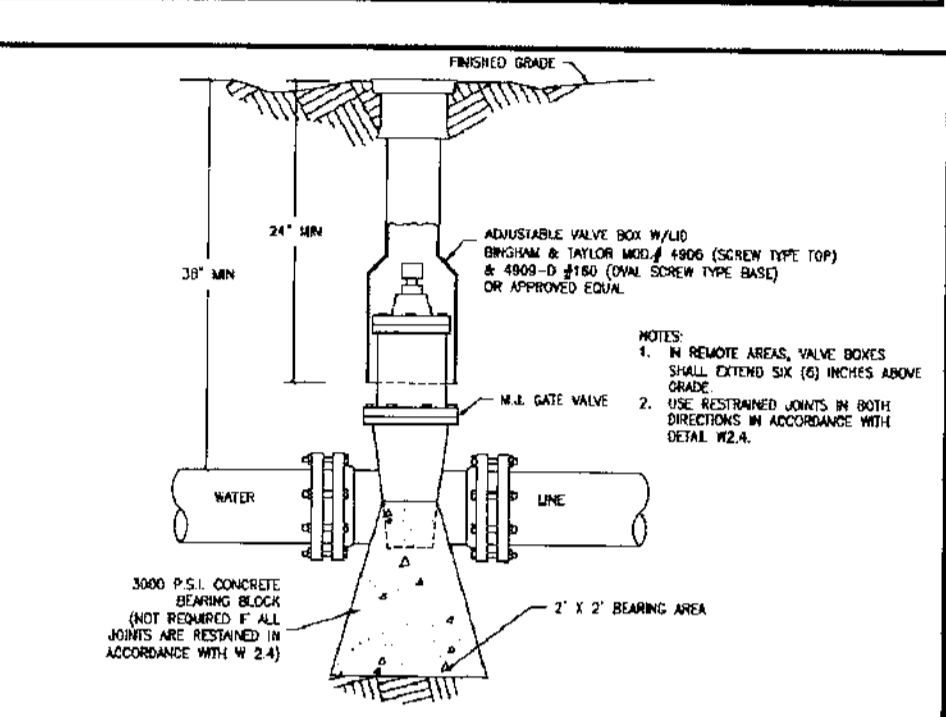
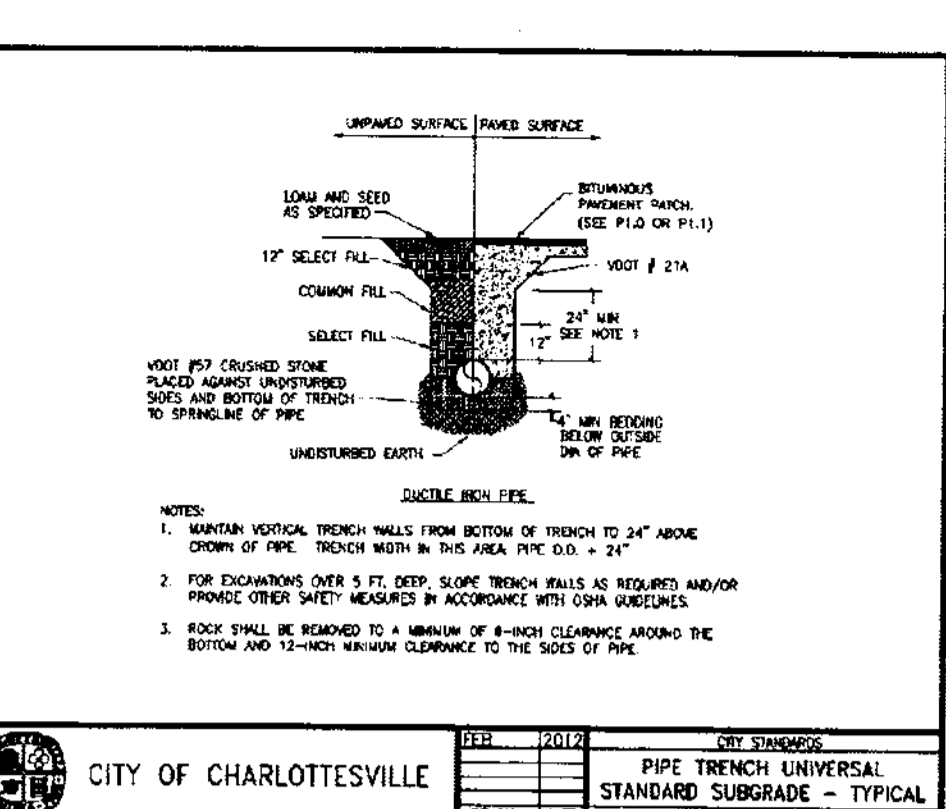
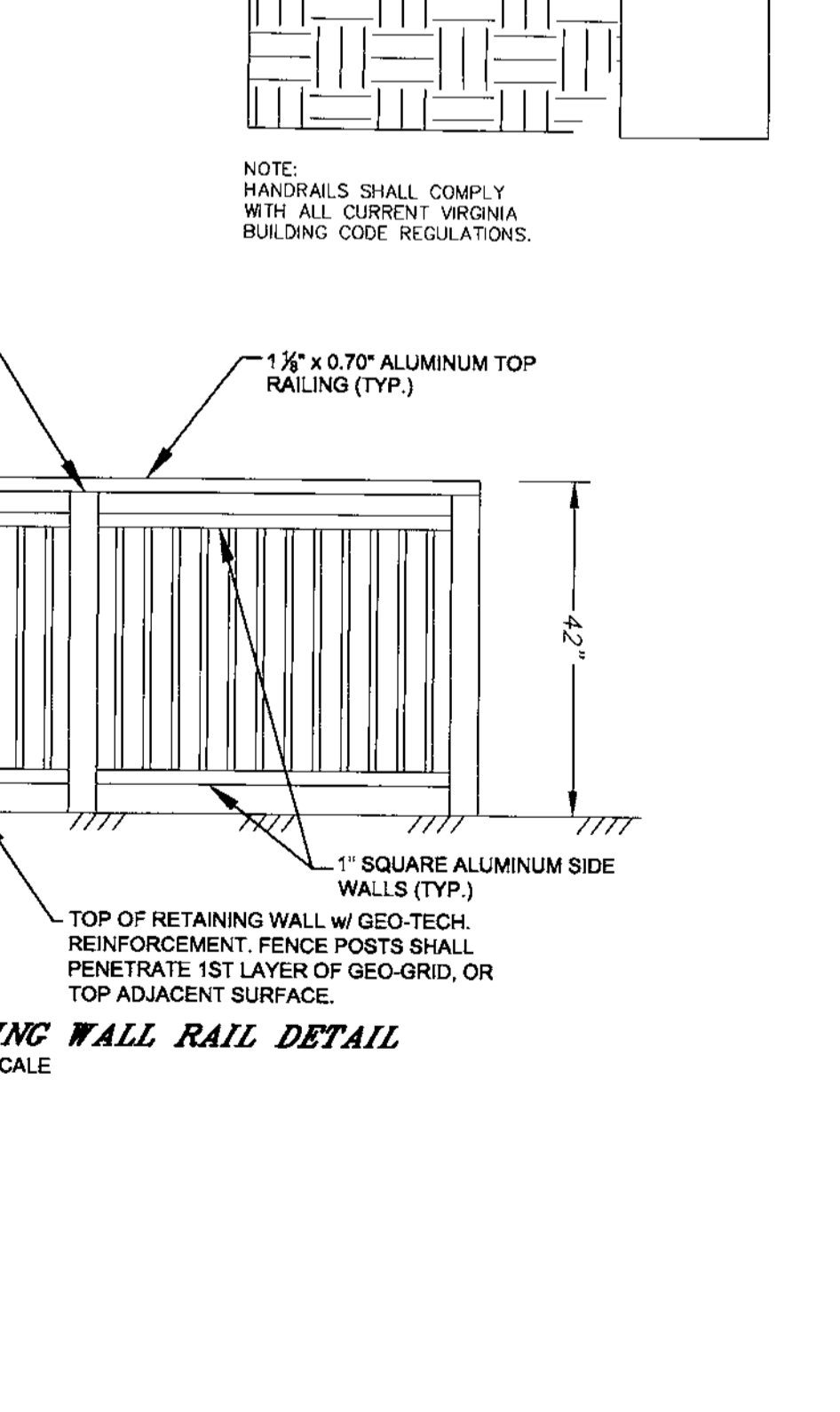
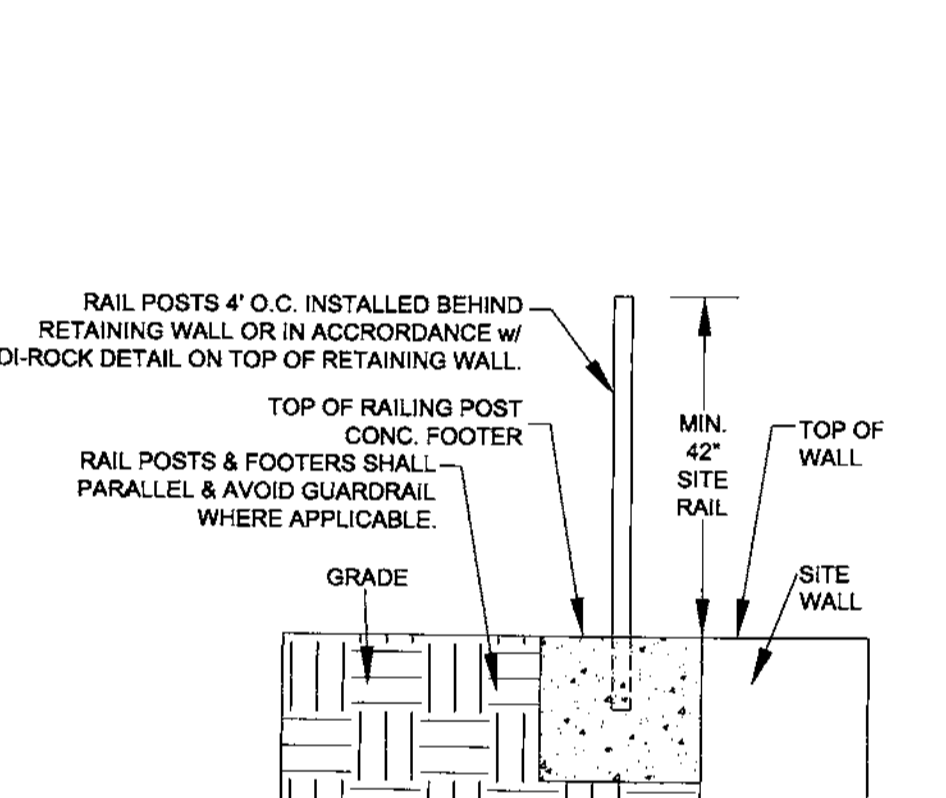
CITY STANDARDS

REVISION: DATE SCALE: 1/8\"/>



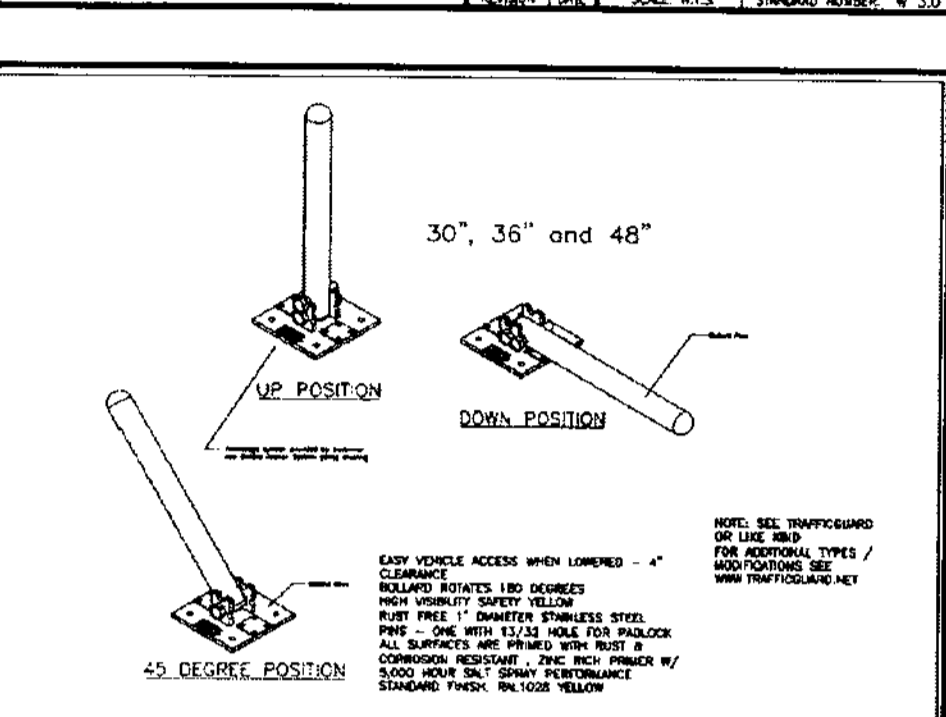
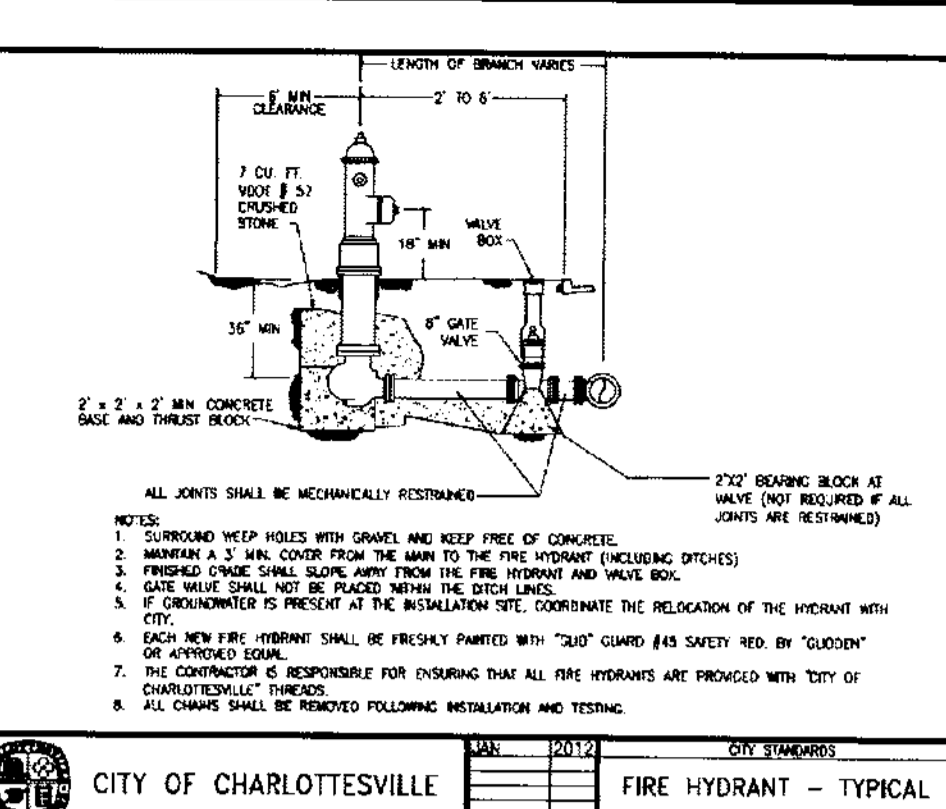
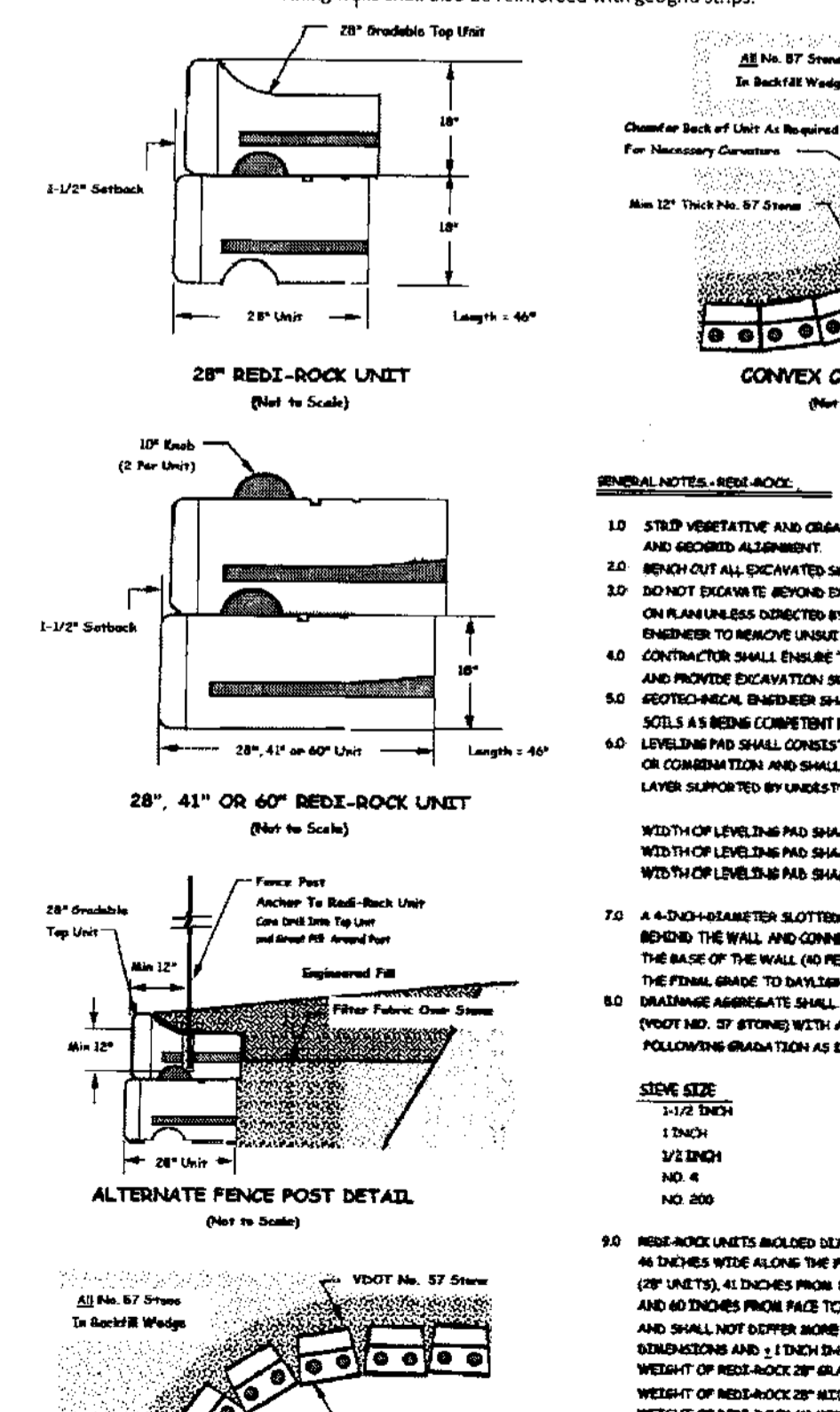
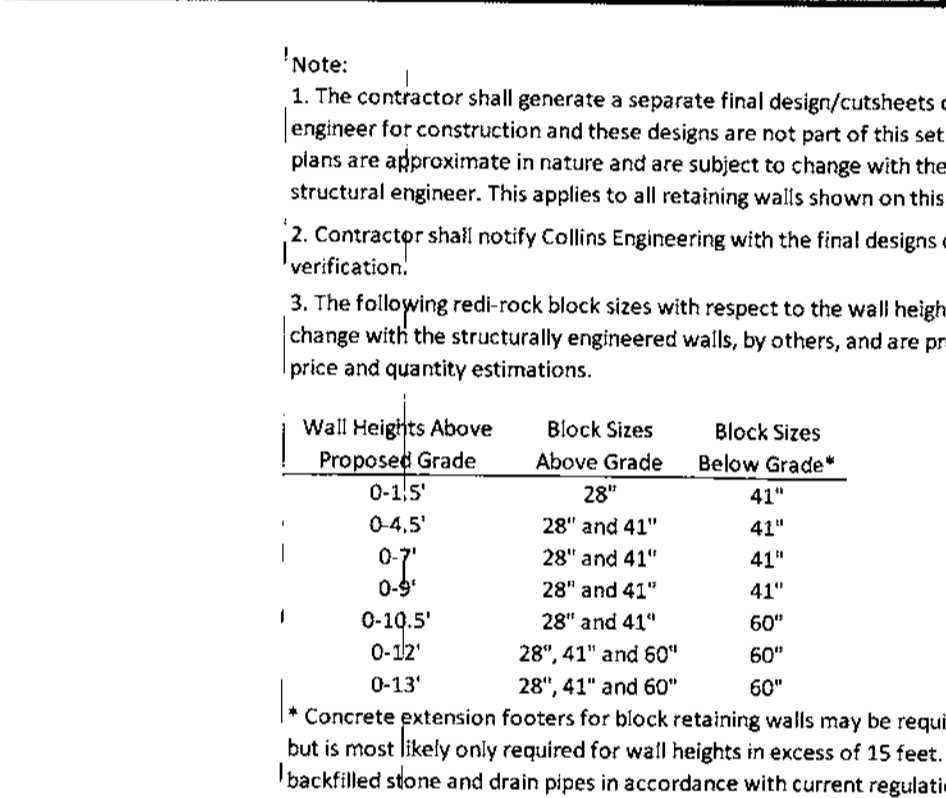
CITY STANDARDS

REVISION: DATE SCALE: 1/8\"/>



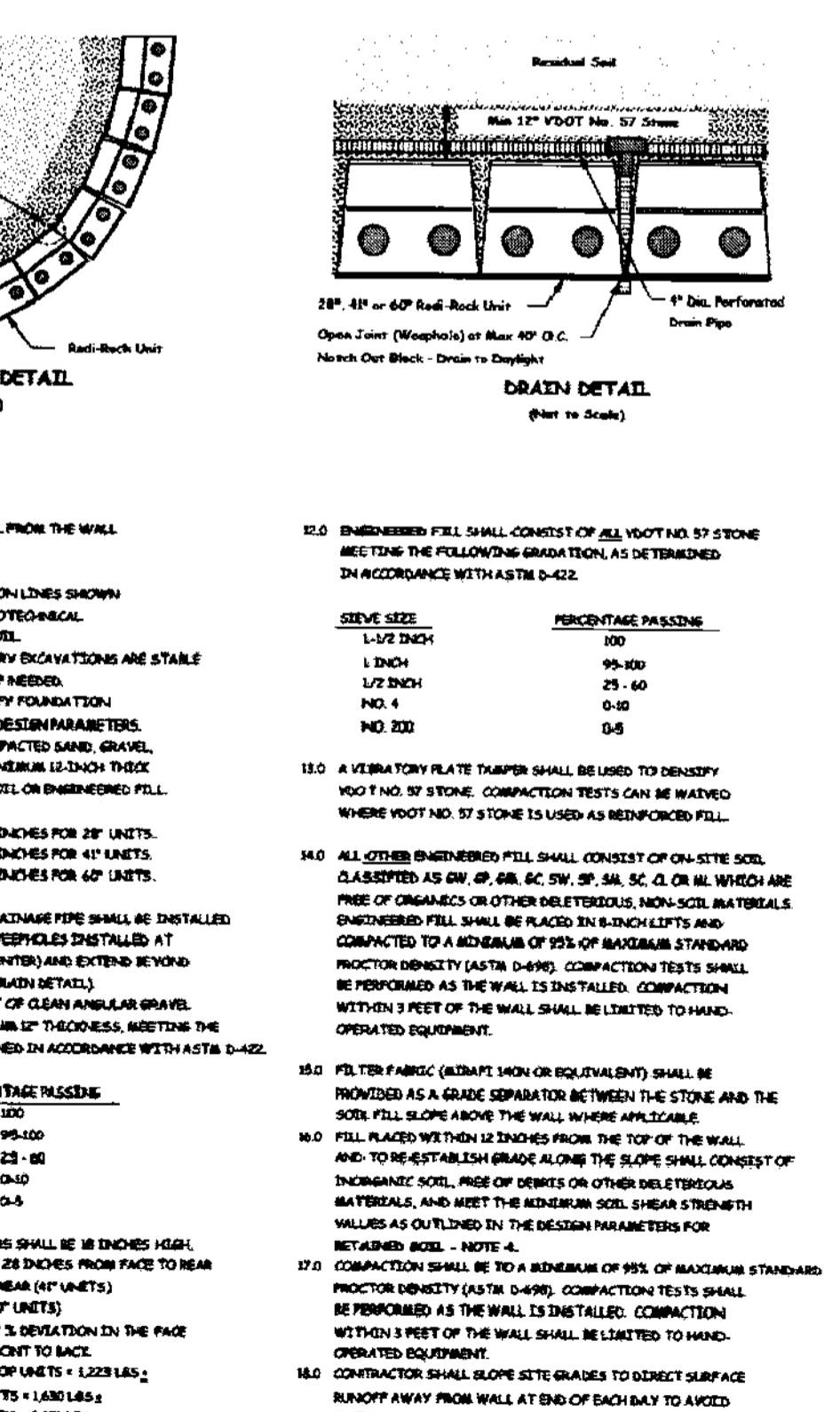
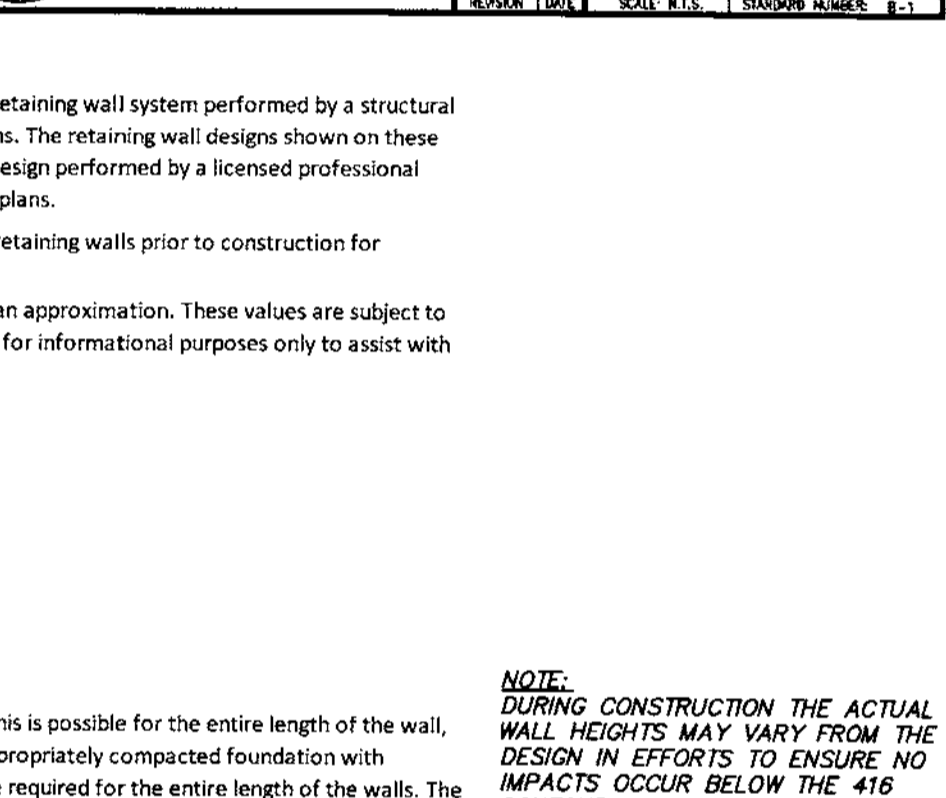
CITY STANDARDS

REVISION: DATE SCALE: 1/8\"/>



CITY STANDARDS

REVISION: DATE SCALE: 1/8\"/>



REVISIONS

REVISION DESCRIPTION	DATE	BY	SCALE
INITIAL SUBMITTAL	1/7/12		
RESUBMITTAL TO ADDRESS CITY COMMENTS	3/16/12		
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12	1/10/13		
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/17/13		
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/19/13		

PROJECT: PEPSI EXPANSION SITE PLAN AMENDMENT

SHEET: 6

COLLINS ENGINEERING

200 GARRETT STREET SUITE K - CHARLOTTESVILLE, VA 22902 - 434.293.3719

NOTES & DETAILS

JOB NO. 112069

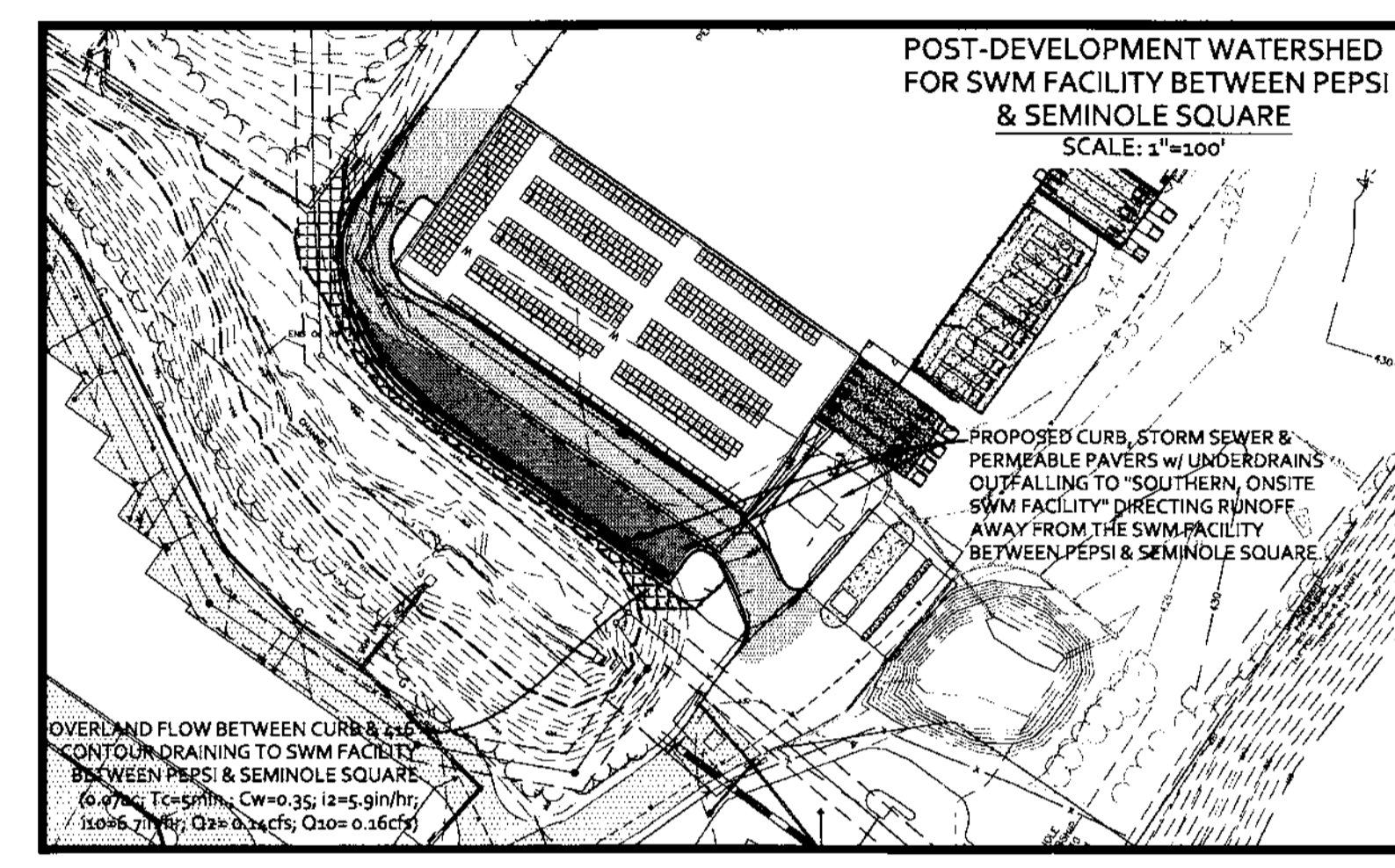
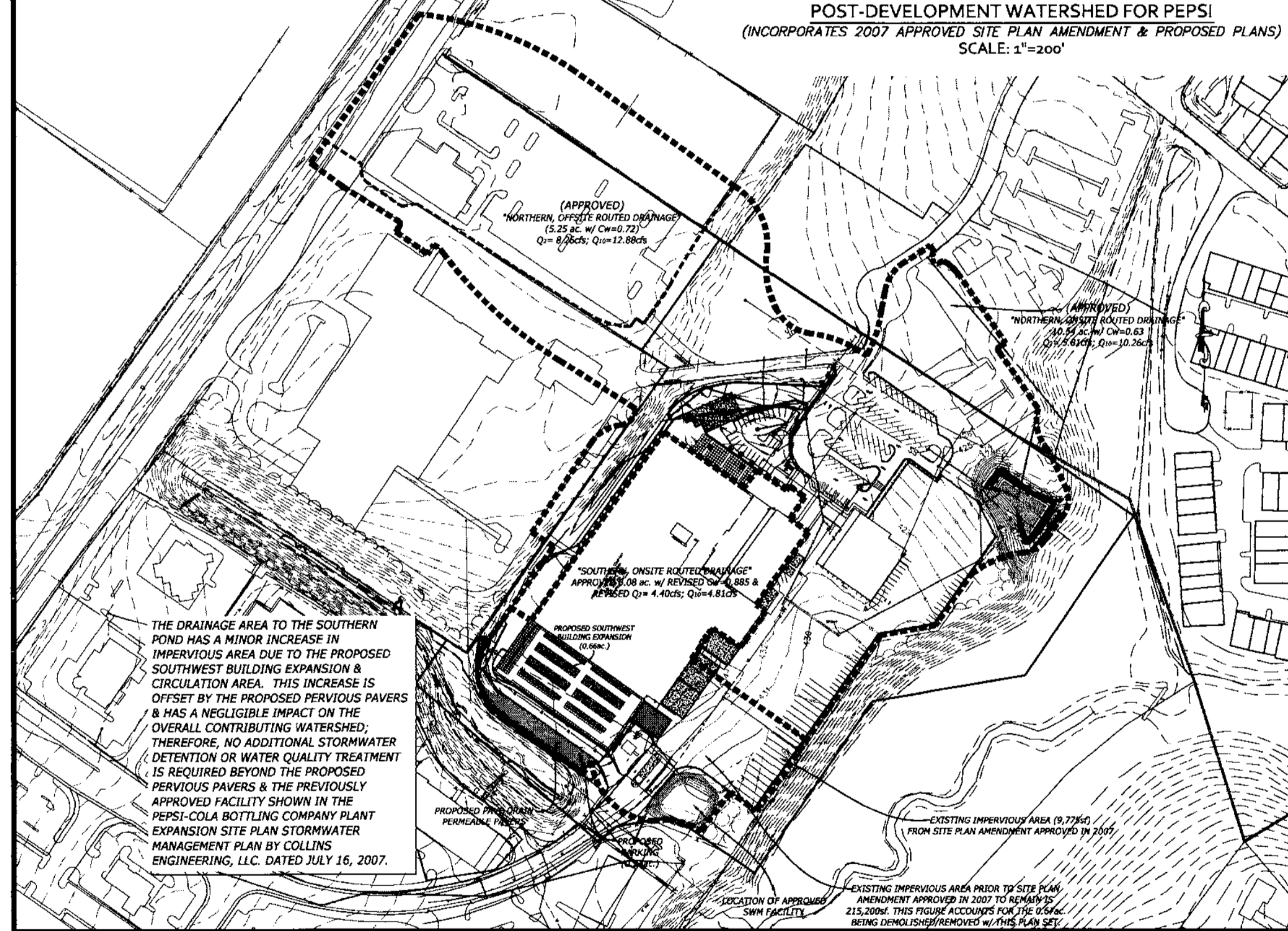
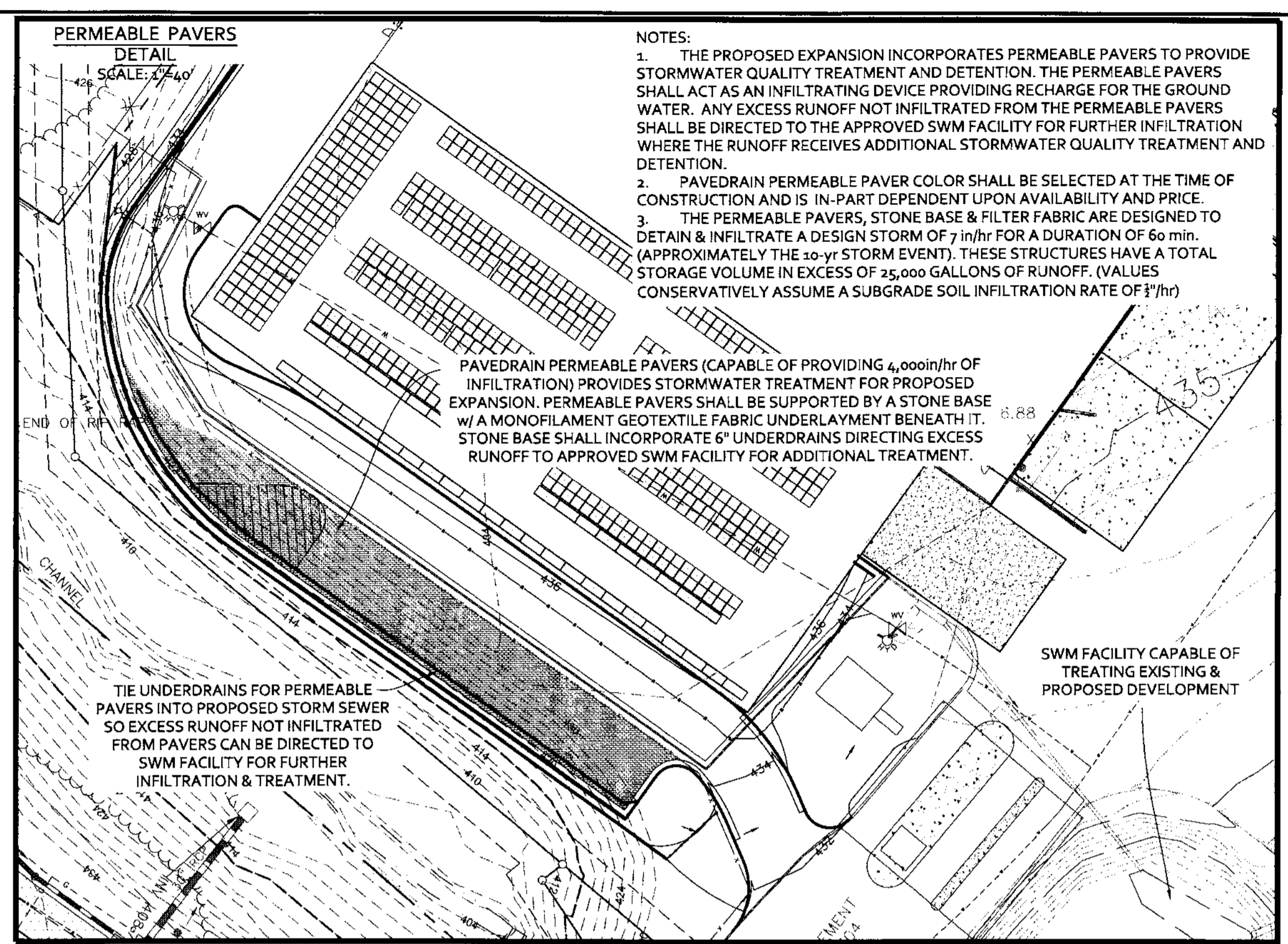
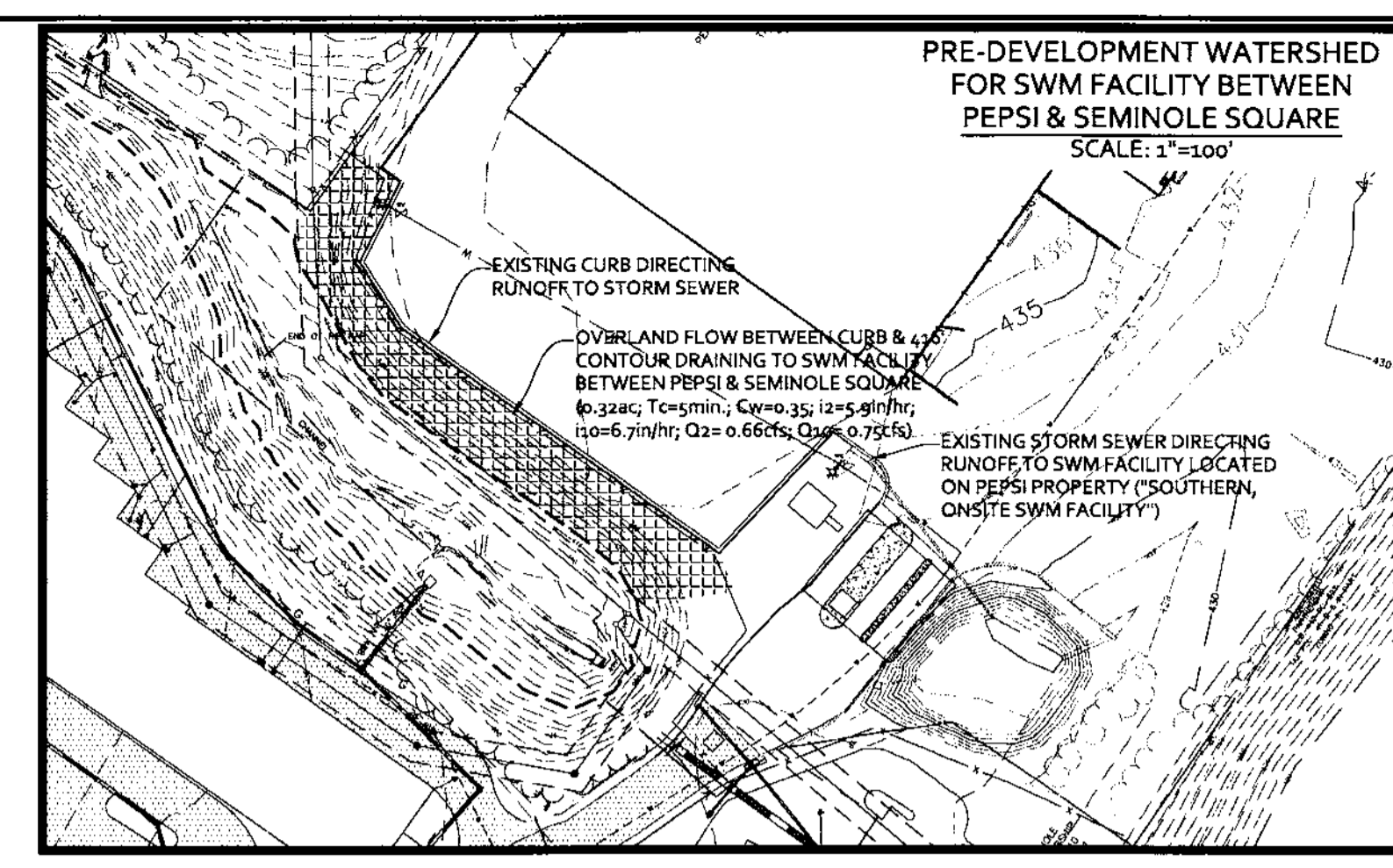
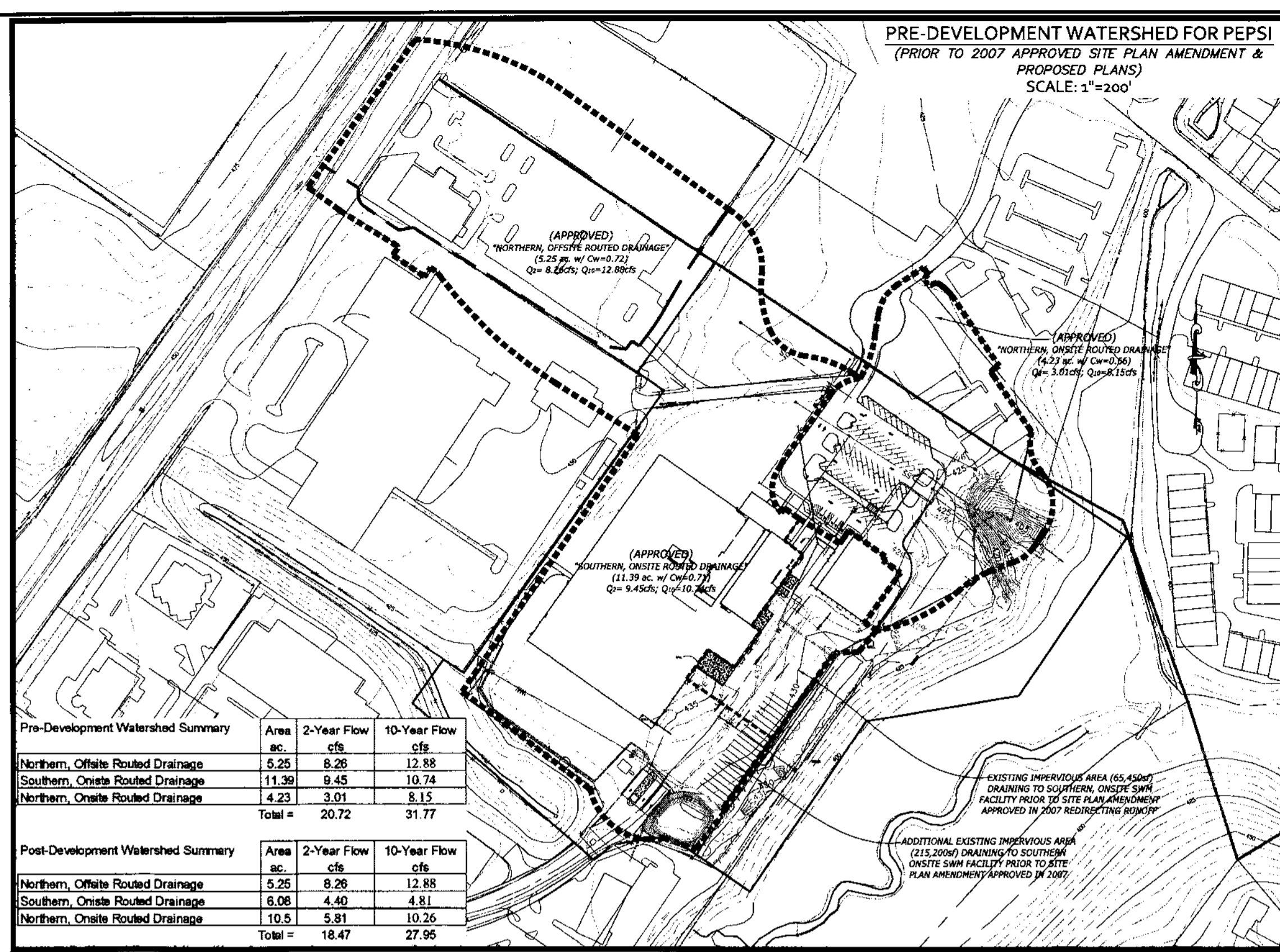
SCALE NONE

SHEET NO. 6

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REVISIONS	REVISION DESCRIPTION
11/02/12	RESUBMITTAL TO ADDRESS CITY COMMENTS
1/04/13	RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12
4/1/13	RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 1/25/13
5/9/13	REVISED PLANS FOR CRITICAL SLOPES WAIVER



NOTES:

- BECAUSE THE SOIL UNDERNEATH THE PROPOSED LOCATION OF THE PAVERS IS SUBJECT TO FILL AND CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONDUCT A GEO-TECHNICAL INVESTIGATION OF THE SOIL UNDERNEATH THE PROPOSED PAVERS AFTER FINAL GRADE HAS BEEN ARCHIVED TO DETERMINE THE INFILTRATION AND GBR RATINGS. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH THESE RESULTS PRIOR TO ORDERING AND INSTALLATION OF THE STONE BASE FOR THE PERMEABLE PAVERS TO ENSURE AN ADEQUATE DESIGN. FINAL DESIGN OF PERMEABLE PAVER SYSTEM IS SUBJECT TO CHANGE AND IS DEPENDENT UPON SITE OR APPROVED IMPORT SOIL DATA.
- STONE BASE FOR PERMEABLE PAVERS SHALL BE CLEAN & DOUBLE WASHED IN ACCORDANCE WITH DCR REGULATIONS. "CLEAN" STONE IS SCREENED TO SIZE AND THE BULK OF THE FINES/DUST IS REMOVED, BUT THERE IS STILL DUST ON THE STONE. "WASHED" STONE IS WASHED THROUGH THE SCREENING PROCESS AND/OR MANUALLY WASHED.
- WHERE UNDERDRAIN CLEANOUTS ARE PROPOSED WITHIN PAVED AREAS & ARE SUBJECT TO VEHICULAR TRAFFIC, CLEANOUTS SHALL BE ENCASED IN #18" CONCRETE FOR UPPER 24". THE CLEANOUT FRAME & LID SHALL BE CONSTRUCTED OF CAST IRON, OR A SIMILAR MATERIAL THAT IS STRUCTURALLY FORTIFIED.

ROUTING CALCULATIONS FOR SOUTHERN, ONSITE SWM FACILITY

ELEVATIONS/AREAS:

Elevation(ft)	Area(ac)	Computed Vol.(cy)
438.58	300.00	0.0
420.00	555.00	22.1
421.00	3430.00	88.4
422.00	4794.00	240.0
423.00	5434.00	429.1
424.00	6058.00	642.0
425.00	6700.00	878.1
426.00	7359.00	1138.4
427.00	8036.00	1423.4
428.00	8730.00	1733.8
429.00	10873.00	2095.1

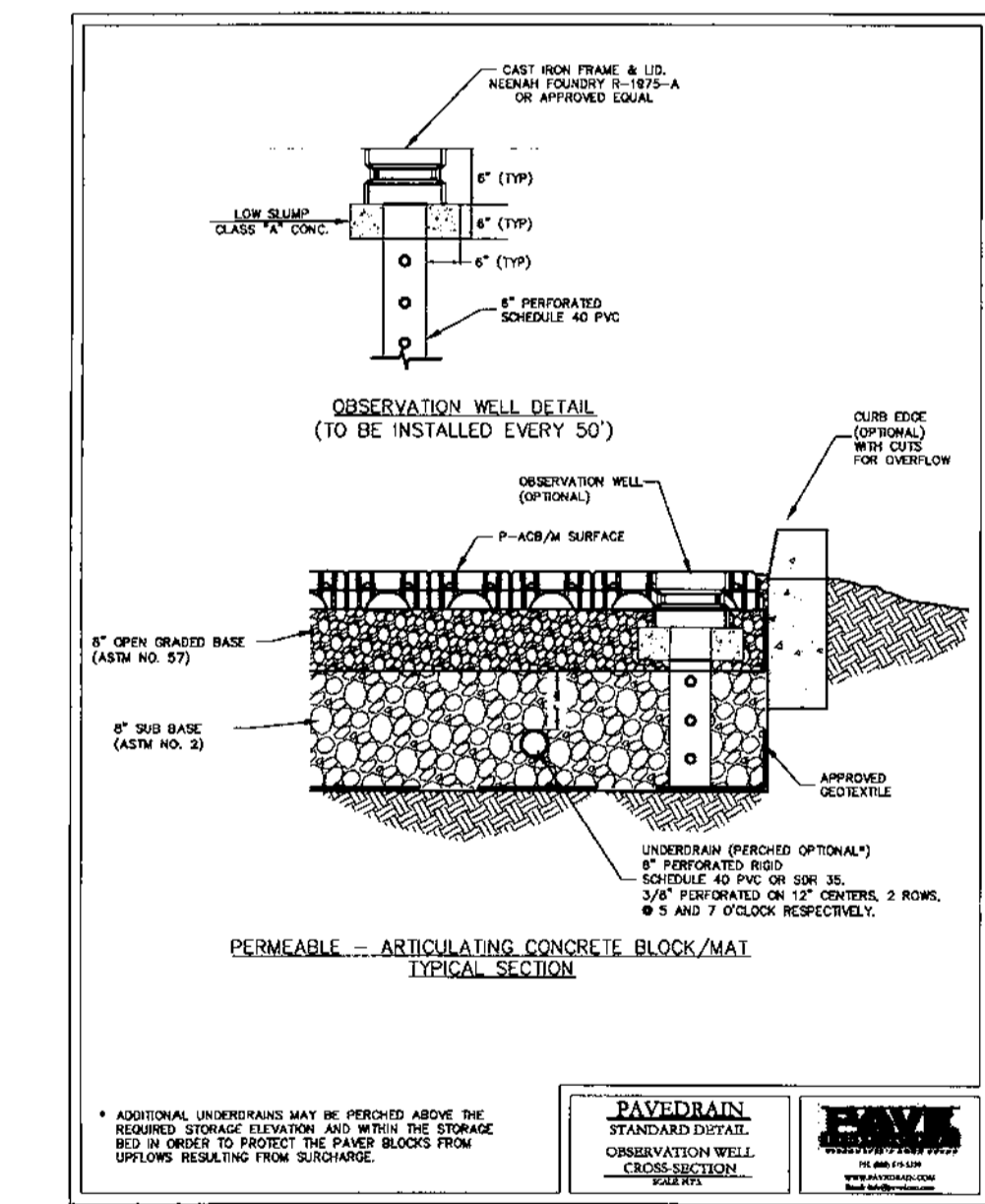
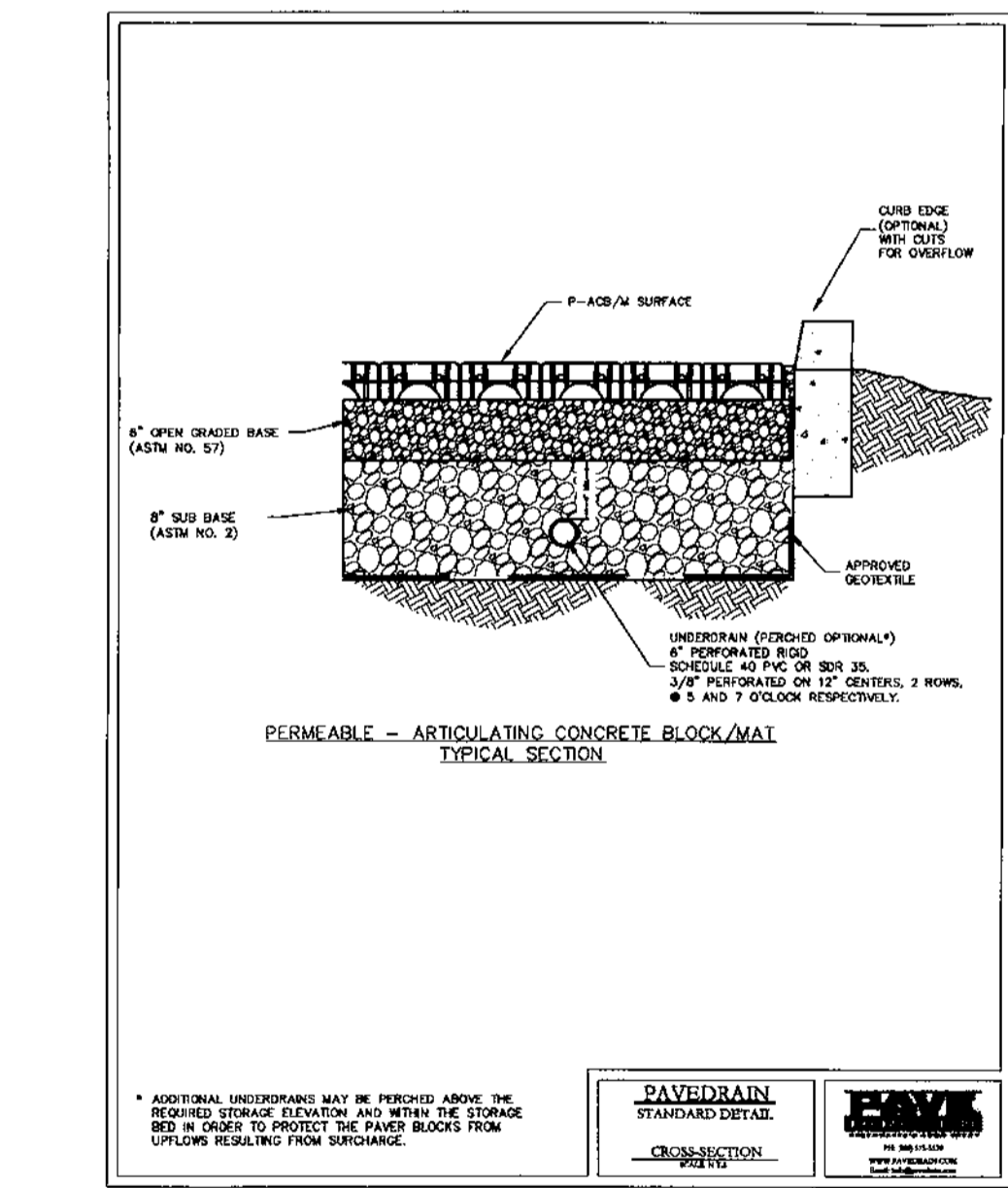
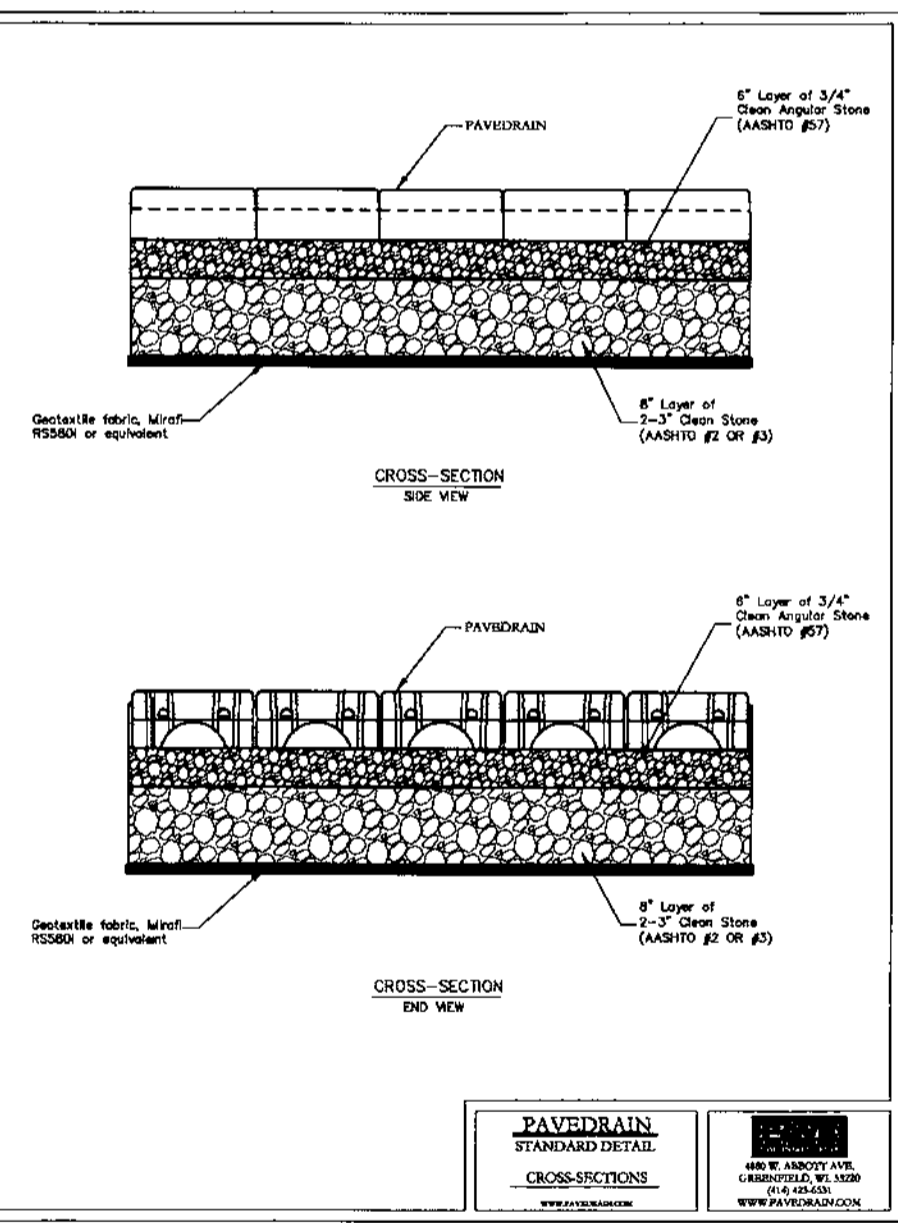
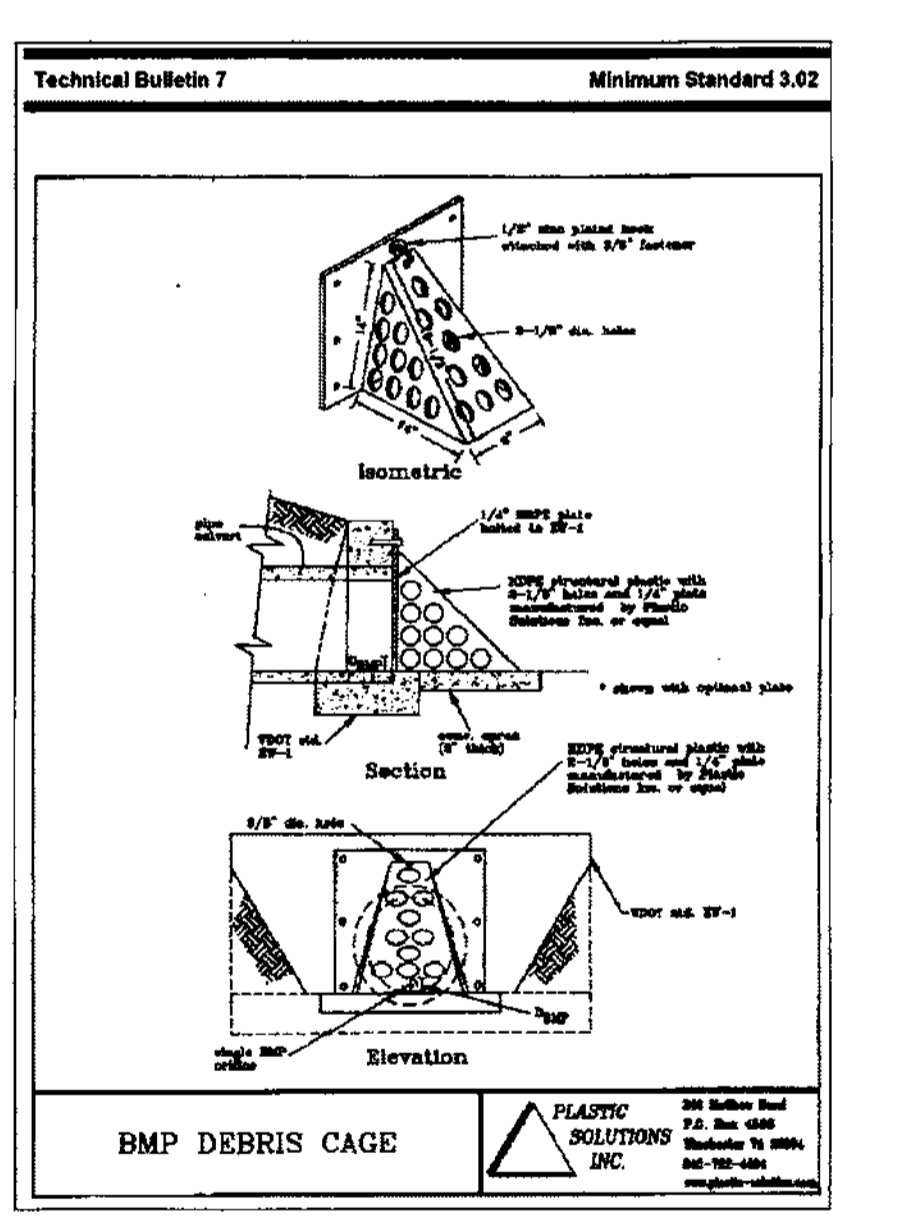
CONTROL STRUCTURES:

Outlet structure 1
 name: Existing Riser-g³ Stub Pipe
 Office
 diameter or depth (in) 3.000
 width for rect. (in) 0.000
 coefficient 0.600
 invert (ft) 428.580
 multiple 1
 discharge into riser

Outlet structure 2
 name: Existing Riser Effective Opening
 Office
 diameter or depth (in) 13.980
 width for rect. (in) 13.980
 coefficient 0.600
 invert (ft) 428.000
 multiple 1
 discharge into riser

Outlet Structures
 Outlet structure 0
 Office
 name: Existing Barrel Outlet
 area (sf) 3.142
 diameter or depth (in) 24.000
 width for rect. (in) 0.000
 coefficient 0.600
 invert (ft) 416.800
 multiple 1
 discharge out of riser

ROUTING CALCULATIONS CONSERVATIVELY ASSUME ZERO INFILTRATION & DETENTION WITHIN PERMEABLE PAVERS & STILL MEET MINIMUM MS-19 REQUIREMENTS THROUGH THE USE OF THE APPROVED SWM FACILITY.



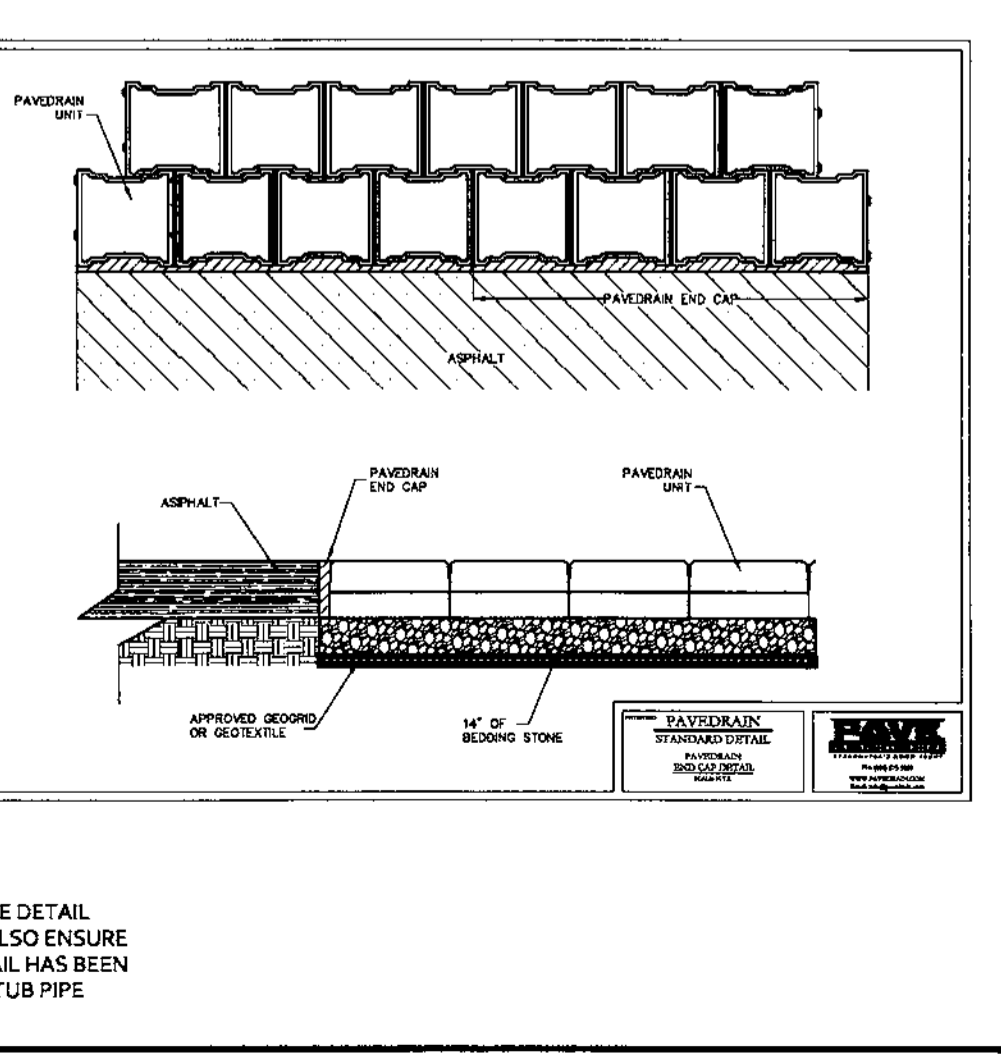
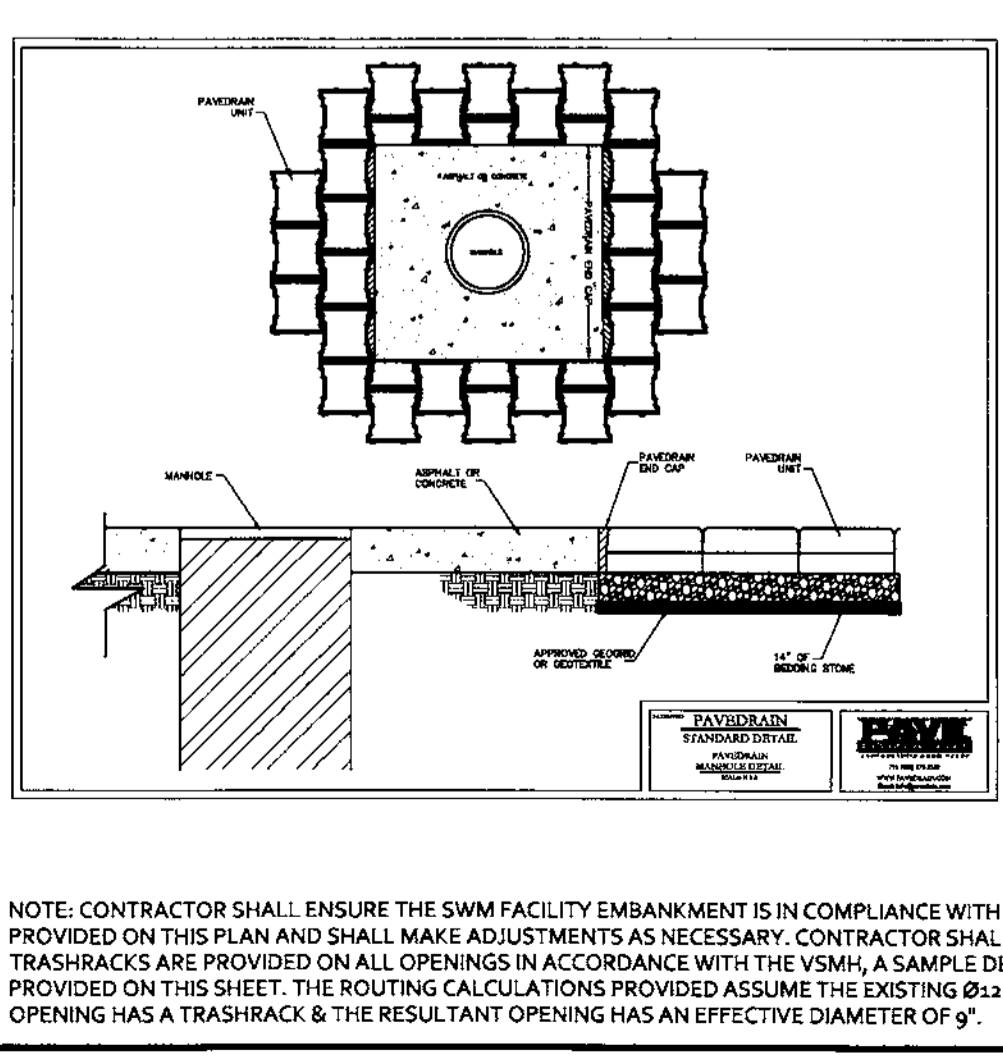
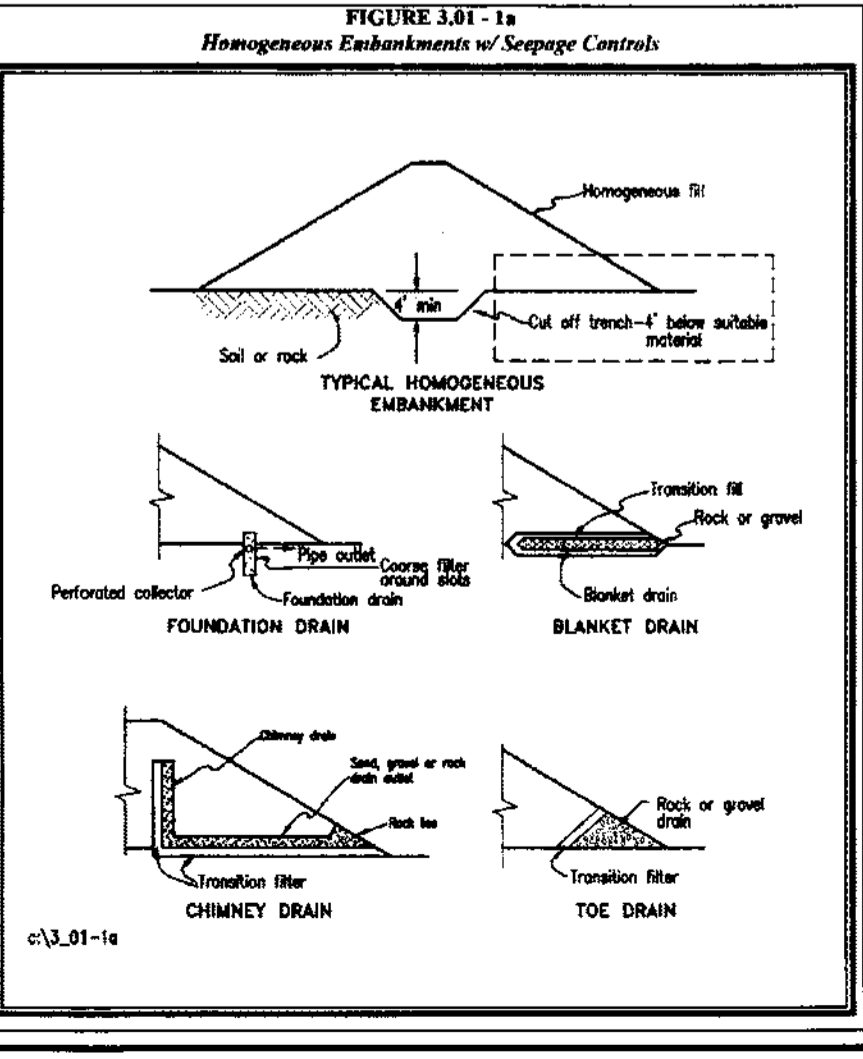
TENCATE Mirafi Mirafi RS580i

This is to certify that Mirafi® RS580i is a revolutionary geotextile created from super high-tenacity polypropylene filaments formed into an innovative weave to provide superior reinforcement strength and soil interaction integrated with high water flow and soil retention capabilities.

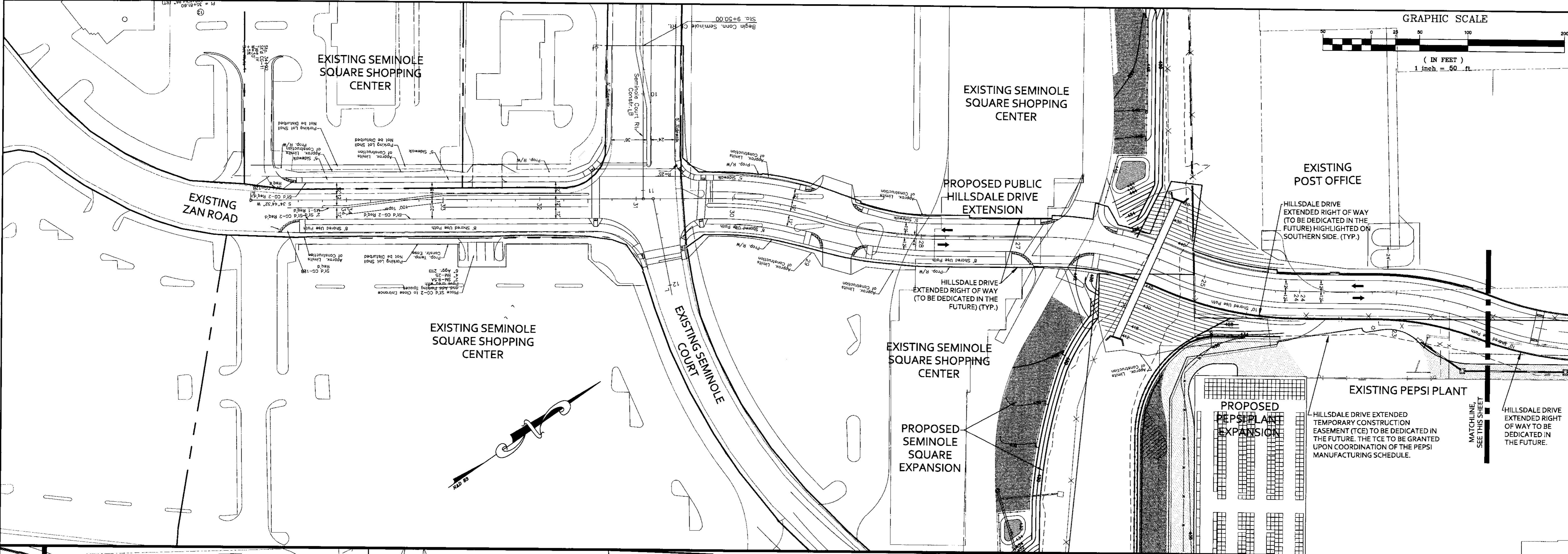
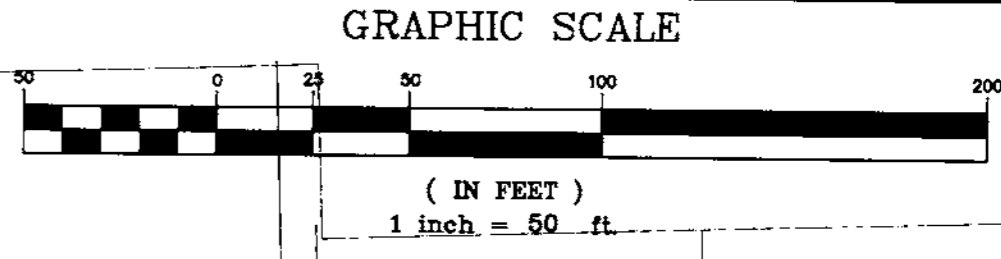
Mechanical Properties	Test Method	Unit	Minimum Average Roll Values
Tensile Modulus @ 2% strain (CS)	ASTM D4595	lbs/ft (kN/m)	90,000 (1313.3)
HYDRAULIC			
Flow Rate Permeability	ASTM D4491	gal/mi ² /(ft ² min)	75 (305.5)
ASTM D4491		sec	1.6
SOIL RETENTION			
Apparent Opening Size (AOS) ¹	ASTM D4751	U.S. Sieve (mm)	40 (0.43)
Pore Size (µ)	ASTM D6767	microns	390 ²
Pore Size (µ)	ASTM D6767	microns	165 ²
SOIL INTERACTION			
Interaction Coefficient ²	ASTM D6321	-	0.9
Factory Seam Strength	ASTM D4884	lbs/ft (kN/m)	3000 (43.6)
UV Resistance (at 500 hours)	ASTM D4355	% strength retained	90

¹ ASTM D 4751: AOS is a Maximum Opening Diameter Value
² Typical Values

Physical Properties	Unit	Typical Value
Roll Dimensions (width x length)	ft (m)	15 x 300 (4.5 x 91)
Roll Area	yd ² (m ²)	500 (410)
Estimated Roll Weight	lbs (kg)	415 (189)

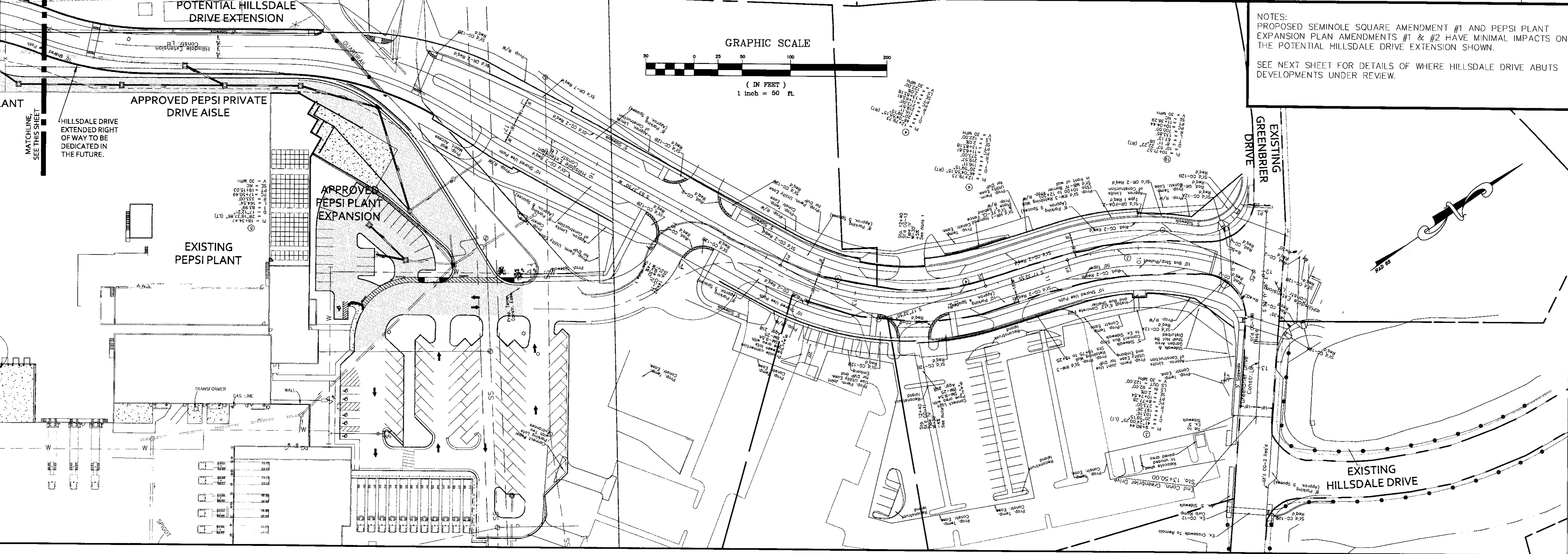


NOTE: CONTRACTOR SHALL ENSURE THE SWM FACILITY EMBANKMENT IS IN COMPLIANCE WITH THE DETAIL PROVIDED ON THIS PLAN AND SHALL MAKE ADJUSTMENTS AS NECESSARY. CONTRACTOR SHALL ALSO ENSURE TRASHRACKS ARE PROVIDED ON ALL OPENINGS IN ACCORDANCE WITH THE VSM. A SAMPLE DETAIL HAS BEEN PROVIDED ON THIS SHEET. THE ROUTING CALCULATIONS PROVIDED ASSUME THE EXISTING 6³/₄" STUB PIPE OPENING HAS A TRASHRACK & THE RESULTANT OPENING HAS AN EFFECTIVE DIAMETER OF 6".



REVISIONS

REVISION DESCRIPTION	DATE
RESUBMITTAL TO ADDRESS CITY COMMENTS	11/02/12
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12	1/04/13
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/1/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13



NOTES:
 PROPOSED SEMINOLE SQUARE AMENDMENT #1 AND PEPSI PLANT EXPANSION PLAN AMENDMENTS #1 & #2 HAVE MINIMAL IMPACTS ON THE POTENTIAL HILLSDALE DRIVE EXTENSION SHOWN.
 SEE NEXT SHEET FOR DETAILS OF WHERE HILLSDALE DRIVE ABUTS DEVELOPMENTS UNDER REVIEW.

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 200 GARRETT STREET SUITE K- CHARLOTTESVILLE, VA 22902 - 434.293.3719

PEPSI EXPANSION SITE PLAN AMENDMENT
 HILLSDALE DRIVE EXTENSION OVERLAIN WITH PROPOSED DEVELOPMENTS

PROJECT NO. 112069
 SCALE: 1/8" = 1'
 SHEET NO. 8

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REVISIONS	
REVISION DESCRIPTION	
RESUBMITTAL TO ADDRESS CITY COMMENTS	11/02/12
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/12/12	1/6/4/13
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/2/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

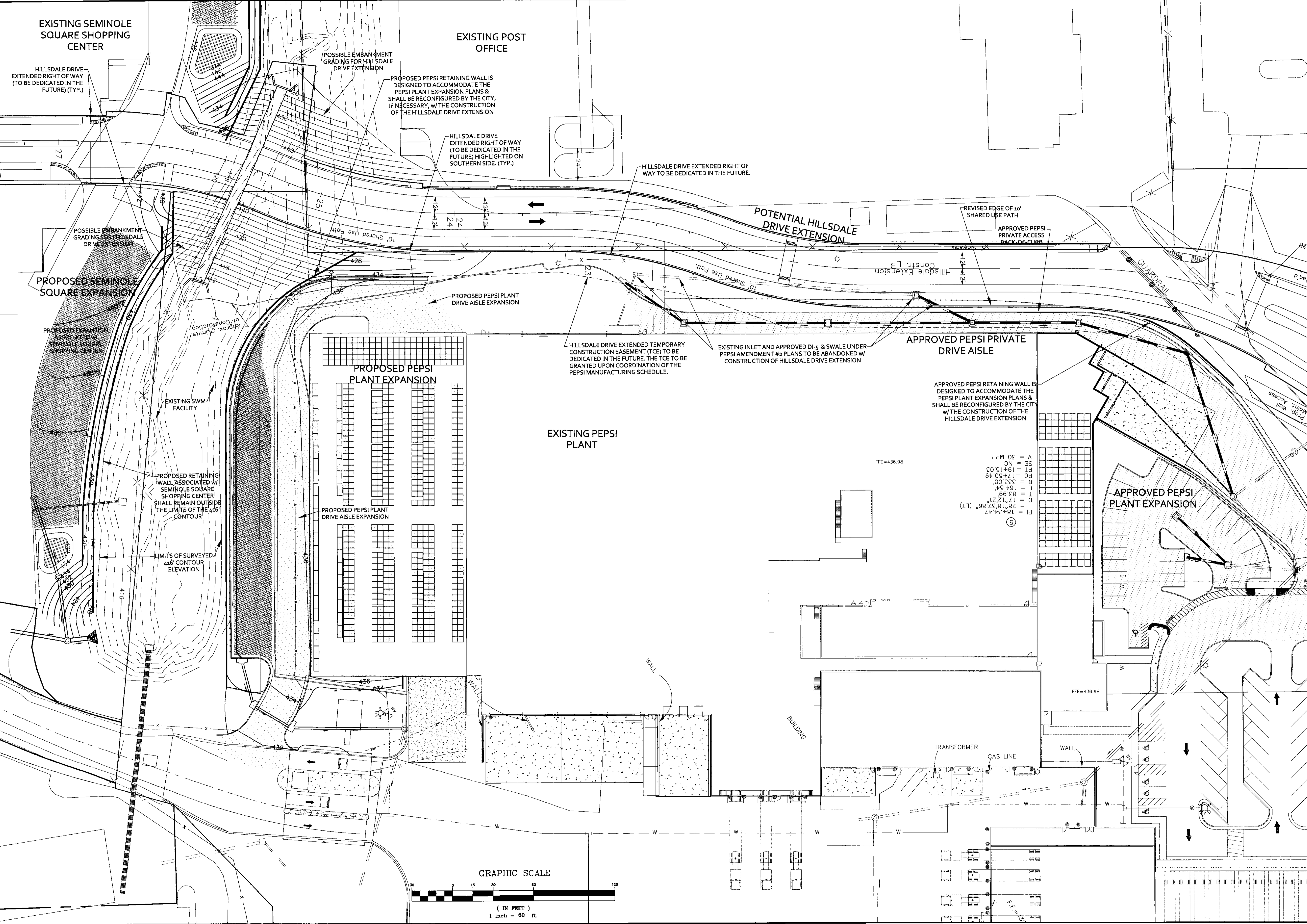
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PEPSI EXPANSION SITE PLAN AMENDMENT

HILLSDALE DRIVE EXTENSION OVERLAID WITH PROPOSED DEVELOPMENTS

PROJECT	112069
SCALE	1"=30'
SHEET	9

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LEGEND

Table with 2 columns: Symbol and Description. Includes items like EXISTING CULVERT, CULVERT, DROP INLET & STRUCTURE NO., CURB, CURB & GUTTER, PROPOSED PAVEMENT, EC-3A DITCH, DEPTH OF EC-3A DITCH, EC-2 DITCH, DEPTH OF EC-2 DITCH, EARTH DITCH, DRIVEWAY CULVERT, BENCH MARK, CLEARING LIMITS, VDOT STANDARD STOP SIGN, EXISTING CONTOUR, PROPOSED CONTOUR, PROPOSED SPOT ELEVATION.

EROSION CONTROL * VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK SPECIFICATION NUMBER *

Table with 3 columns: Symbol, Description, and Specification Number. Includes SAFETY FENCE (3.01), CONSTRUCTION ENTRANCE (3.02), SILT FENCE (3.05), INLET PROTECTION (3.07), TEMPORARY DIVERSION DIKE (3.09), TEMPORARY ROW DIVERSION (3.11), SEDIMENT BASIN (3.14), TEMPORARY SEEDING (3.31), PERMANENT STABILIZATION (3.32), MULCHING (3.35), TREE PROTECTION (3.38), and DUST CONTROL (3.39).

GENERAL NOTES

- 1. THE OWNER/CLIENT OF THIS PROPERTY IS PEPSI COLA BOTTLING COMPANY OF CENTRAL VIRGINIA... 2. THESE PLANS HAVE BEEN PREPARED BY COLLINS ENGINEERING, INC... 3. COLLINS ENGINEERING SHALL NOT HAVE AUTHORITY OVER CONTRACTOR'S WORK, SAFETY, PRECAUTIONS, COMPLIANCE WITH LAWS AND REGULATIONS...

EROSION & SEDIMENT CONTROL MEASURES:

STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK. STRUCTURAL PRACTICES USED IN THIS SECTION CONSIST OF THE FOLLOWING:

- 3.02 CONSTRUCTION ENTRANCE: A STABILIZED PAVED CONSTRUCTION ENTRANCE WITH A WASH RACK LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE... 3.05 SILT FENCE: A TEMPORARY SEDIMENT BARRIER CONSISTING OF A SYNTHETIC FILTER FABRIC STRETCHED ACROSS AND ATTACHED TO SUPPORTING POSTS AND ENTRENCHED... 3.07 INLET PROTECTION: A TEMPORARY SEDIMENT BARRIER CONSISTING OF A SYNTHETIC FILTER FABRIC STRETCHED ACROSS AND ATTACHED TO SUPPORTING POSTS AND ENTRENCHED...

EROSION CONTROL NOTES

- ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK... ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE...

EROSION CONTROL NOTES

- 1. THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE... 2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK... 3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING...

DESCRIPTION OF EROSION & SEDIMENT CONTROL MEASURES:

EROSION AND SEDIMENT CONTROL MEASURES: IT IS ANTICIPATED TO USE A CONSTRUCTION ENTRANCE, SUPER SILT FENCE, INLET PROTECTION, A RIGHT-OF-WAY DIVERSION, TEMPORARY AND PERMANENT SEEDING, TREE PROTECTION FENCING, AND DUST CONTROL TO CONTROL SURFACE DRAINAGE AND EROSION. TEMPORARY SEEDING WILL BE USED IMMEDIATELY FOLLOWING ALL LAND DISTURBANCE ACTIVITIES...

STORMWATER MANAGEMENT: THE DRAINAGE AREA TO THE EXISTING STORMWATER MANAGEMENT FACILITY WAS ANALYZED FOR QUALITY AND QUANTITY AND WAS FOUND TO BE IN COMPLIANCE WITH CITY AND STATE REGULATIONS. THEREFORE, NO ADDITIONAL STORMWATER DETENTION OR WATER QUALITY TREATMENT IS REQUIRED.

MAINTENANCE: IN GENERAL, DURING CONSTRUCTION THE RLD OR CONTRACTOR ON-SITE WILL CHECK ALL EROSION AND SEDIMENT CONTROL MEASURES DAILY AND AFTER EACH SIGNIFICANT RAINFALL. MONITORING REPORTS WILL BE REQUIRED FROM THE RLD IF NEEDED. SPECIAL ATTENTION WILL BE GIVEN TO THE FOLLOWING ITEMS: a. SEDIMENT BASINS AND/OR TRAPS WILL BE CLEANED AND MAINTAINED...

EROSION CONTROL NOTES & NARRATIVE

PROJECT DESCRIPTION: THE PURPOSE OF THIS LAND DISTURBANCE ACTIVITY IS TO EXPAND THE EXISTING PEPSI-COLA BOTTLING PLANT, AND CREATE ADDITIONAL PARKING AND LOADING AREA TO THE SOUTH-WEST OF THE SITE. THE PROJECT WILL BEGIN CONSTRUCTION APPROXIMATELY IN THE FALL OF 2013 AND CONCLUDE IN THE SPRING OF 2014. THE TIME FOR COMPLETION WILL BE APPROXIMATELY 8 MONTHS.

THE PROPOSED DEVELOPMENT RESULTS IN A NEGLIGIBLE INCREASE IN IMPERVIOUS AREA. THE WESTERN PORTION OF THE SITE DISTURBANCE SHALL REMAIN ABOVE THE 416 CONTOUR. NO DISTURBANCE SHALL OCCUR AT OR BELOW THE 416 CONTOUR DUE TO AN EXISTING SWM EASEMENT.

ADJACENT AREAS: THIS SITE IS BORDERED BY MEADOW CREEK TO THE EAST, A SHOPPING CENTER TO THE SOUTH, THE POST OFFICE TO THE WEST, AND OFFICES TO THE NORTH. MOST OF THE DRAINAGE FROM THE PROPOSED DEVELOPMENT DRAINS TO MEADOW CREEK, WHICH IS INTERCEPTED BY CURB AND GUTTER, STORM SEWER, AND A STORMWATER MANAGEMENT FACILITY.

OFFSITE LAND DISTURBANCE: THE SANITARY SEWER CONNECTION SHALL OCCUR WITHIN AN EXISTING ACCESS EASEMENT. NO OTHER OFFSITE LAND DISTURBANCE IS PROPOSED.

SOILS: THERE ARE NO SOIL BOUNDARIES WITHIN THE PROJECT LIMITS. SOILS ARE URBAN SOIL, SEE SOIL DESCRIPTION THIS PAGE.

CRITICAL AREAS: THE PROPOSED DEVELOPMENT SHALL PRESERVE AND PROTECT THE EXISTING DRAINAGE DITCH AND SWM EASEMENT TO THE SOUTH OF THE WORK, AS WELL AS THE EXISTING CRITICAL SLOPES TO REMAIN. APPROXIMATELY 1.76ac OF THE SITE'S 15.3ac (11.5%) HAS SLOPES GREATER THAN OR EQUAL TO 25%.

SOIL DESCRIPTION: BB - UDEORTENTS, LOAMY (URBAN SOIL/FILL)-2% TO 25% SLOPES. SOURCE MATERIAL RESIDUUM WEATHERED FROM GRANITE AND GNEISS. MORE THAN 80 INCHES TO RESTRICTIVE FEATURE AND WATER TABLE CONVEX DOWN AND ACROSS-SLOPE SHAPE. NO FREQUENCY OF FLOODING OR PONDING.

REFERENCE: WEB SOIL SURVEY ONLINE DATABASE, FOUND AT http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx

EROSION CONTROL NOTES & NARRATIVE

- SEQUENCE OF CONSTRUCTION: 1. PHASE 1: NOTIFY THE CITY OF CHARLOTTESVILLE AND PUBLIC WORKS DEPARTMENT TO SCHEDULE A PRE-CONSTRUCTION MEETING AS REQUIRED... 2. PHASE 1: FLAG THE INITIAL LIMITS OF DISTURBANCE AND INSTALL TREE PROTECTION FENCING... 3. PHASE 1: NO EROSION CONTROL MEASURES MAY BE REMOVED DURING THE CONSTRUCTION PROCESS WITHOUT THE APPROVAL FROM THE INSPECTOR ON THE PROJECT...

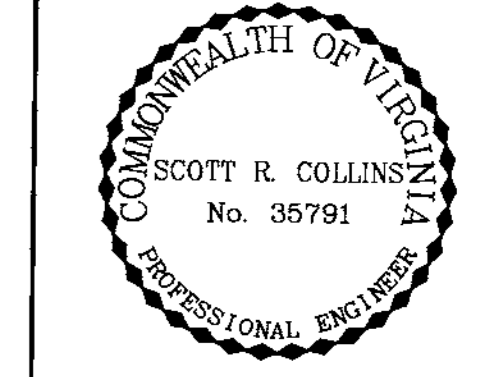
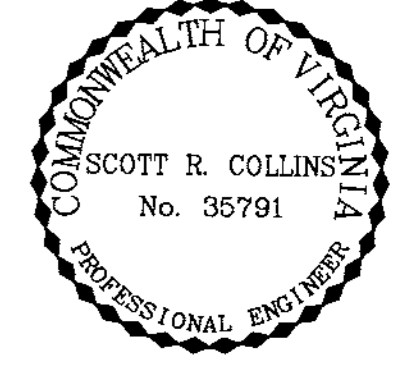
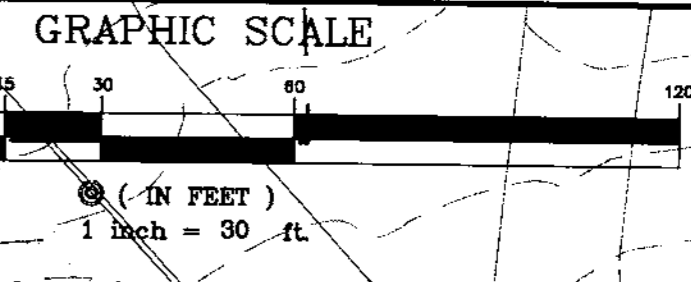
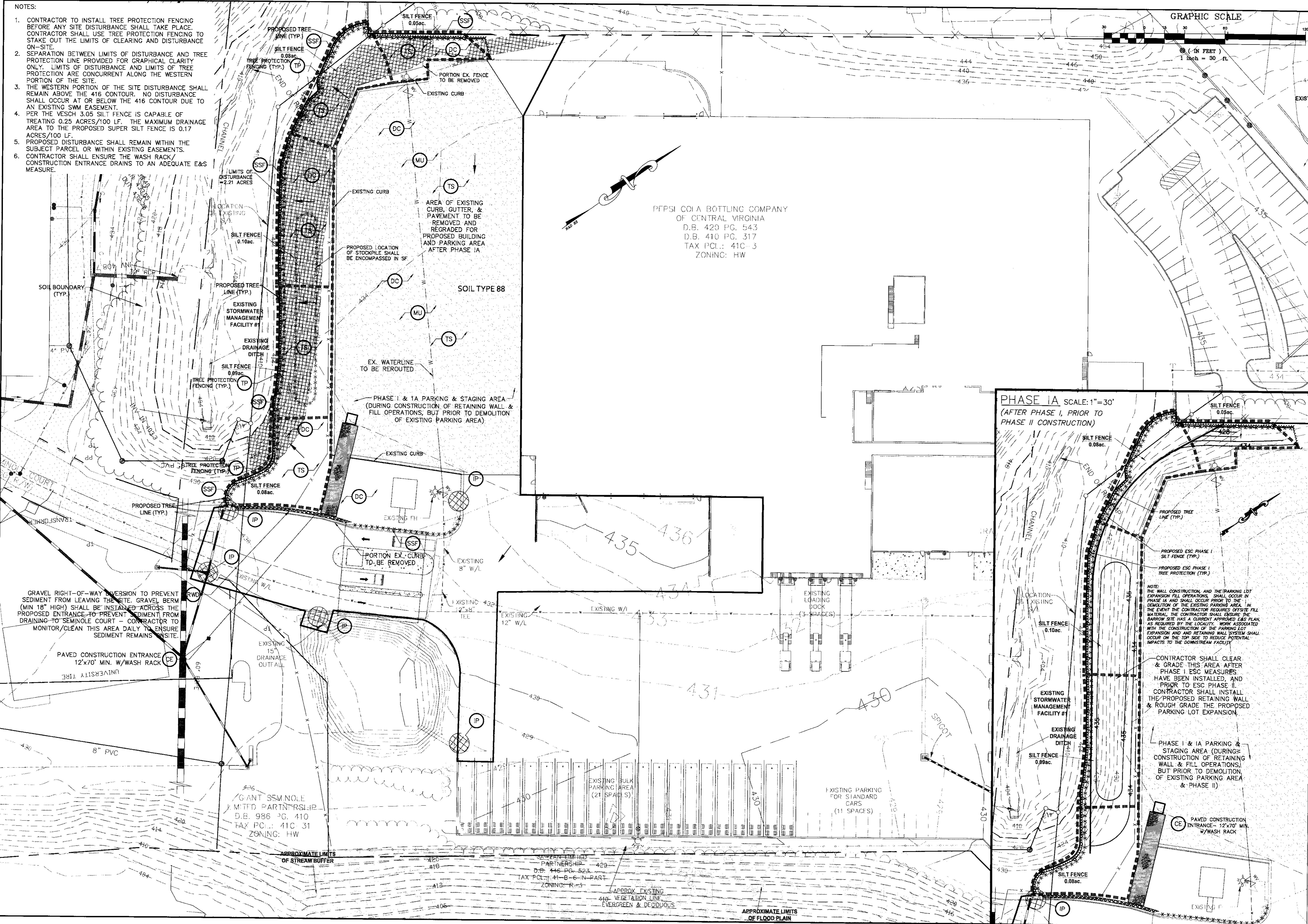


Table with 2 columns: REVISIONS and REVISION DESCRIPTION. Includes rows for INITIAL SUBMITTAL, RESUBMITTAL TO ADDRESS CITY COMMENTS, and REVISED PLANS FOR CRITICAL SLOPES WAIVER.

Collins Engineering logo and contact information: 200 GARRETT STREET SUITE K- CHARLOTTESVILLE, VA 22902 - 434.293.3719. PEPSI EXPANSION SITE PLAN AMENDMENT. EROSION & SEDIMENT CONTROL NARRATIVE & NOTES. SHEET 10.

NOTES:

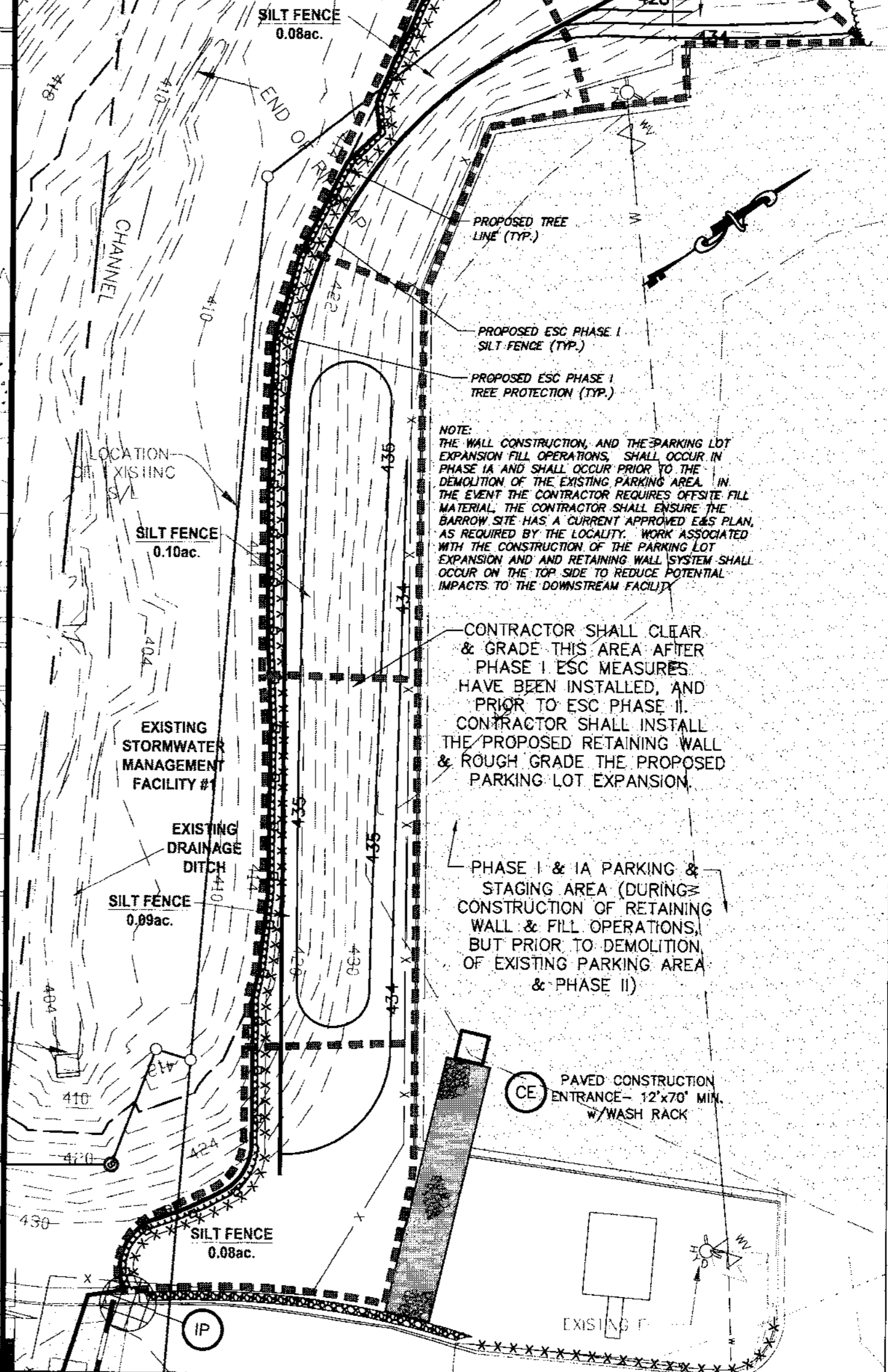
1. CONTRACTOR TO INSTALL TREE PROTECTION FENCING BEFORE ANY SITE DISTURBANCE SHALL TAKE PLACE. CONTRACTOR SHALL USE TREE PROTECTION FENCING TO STAKE OUT THE LIMITS OF CLEARING AND DISTURBANCE ON-SITE.
2. SEPARATION BETWEEN LIMITS OF DISTURBANCE AND TREE PROTECTION LINE PROVIDED FOR GRAPHICAL CLARITY ONLY. LIMITS OF DISTURBANCE AND LIMITS OF TREE PROTECTION ARE CONCURRENT ALONG THE WESTERN PORTION OF THE SITE.
3. THE WESTERN PORTION OF THE SITE DISTURBANCE SHALL REMAIN ABOVE THE 416 CONTOUR. NO DISTURBANCE SHALL OCCUR AT OR BELOW THE 416 CONTOUR DUE TO AN EXISTING SWM EASEMENT.
4. PER THE VESCH 3.05 SILT FENCE IS CAPABLE OF TREATING 0.25 ACRES/100 LF. THE MAXIMUM DRAINAGE AREA TO THE PROPOSED SUPER SILT FENCE IS 0.17 ACRES/100 LF.
5. PROPOSED DISTURBANCE SHALL REMAIN WITHIN THE SUBJECT PARCEL OR WITHIN EXISTING EASEMENTS.
6. CONTRACTOR SHALL ENSURE THE WASH RACK/ CONSTRUCTION ENTRANCE DRAINS TO AN ADEQUATE E&S MEASURE.



REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/31/12
RESUBMITTAL TO ADDRESS CITY COMMENTS	11/02/12
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12	1/04/13
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/1/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

PHASE IA SCALE: 1"=30'
(AFTER PHASE I, PRIOR TO PHASE II CONSTRUCTION)



COLLINS ENGINEERING
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PEPSI EXPANSION SITE PLAN AMENDMENT
EROSION & SEDIMENT CONTROL PLAN PHASES I & IA

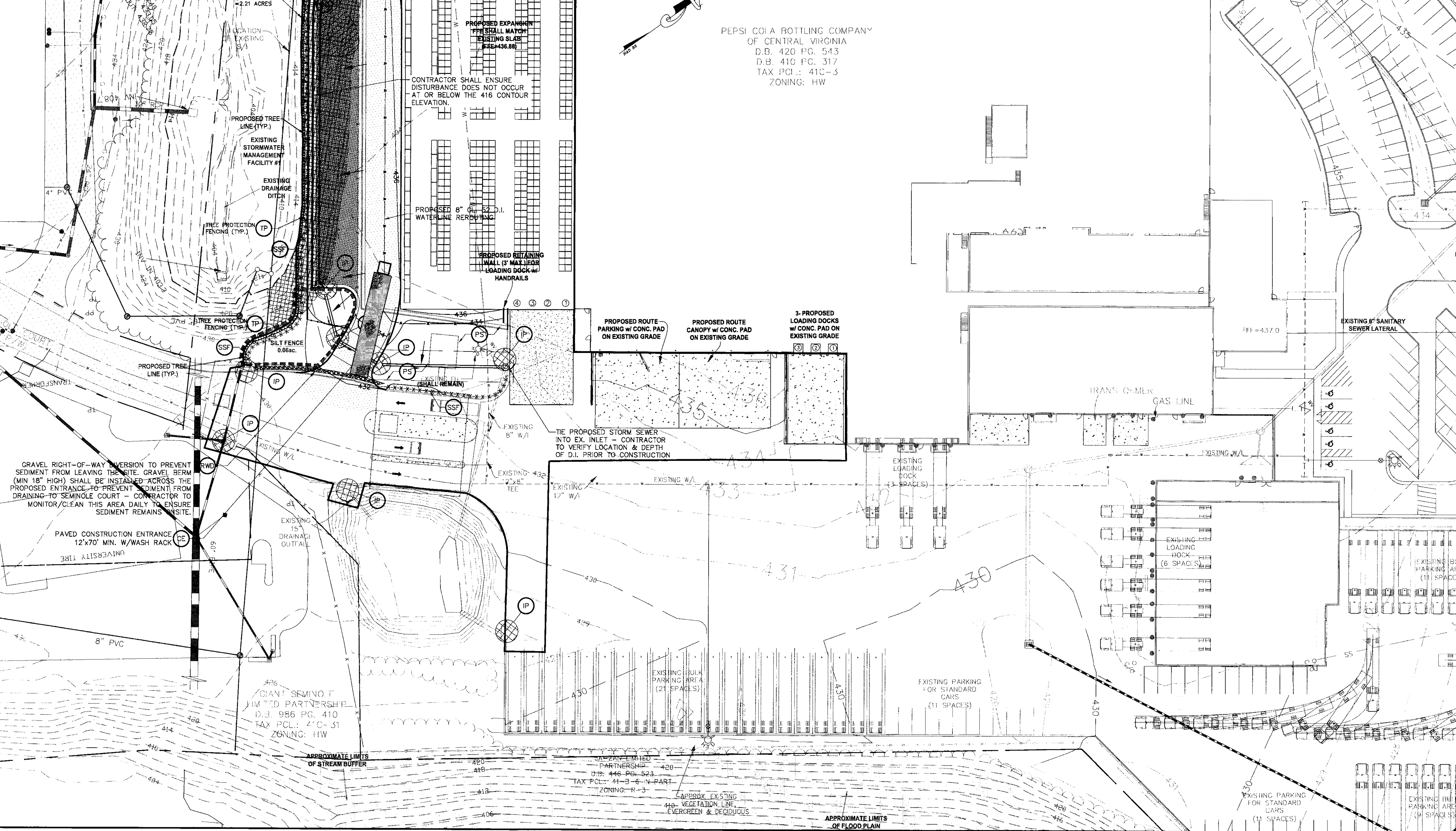
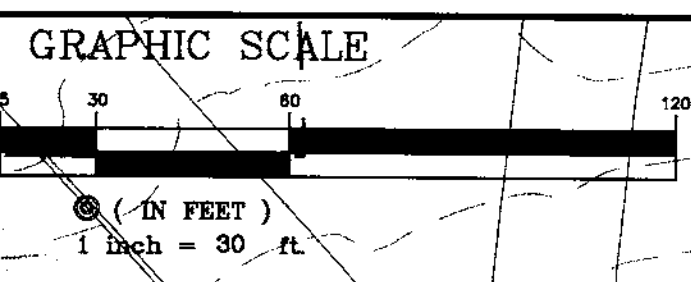


JOB NO.	112069
SCALE	1"=30'
SHEET NO.	11

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NOTES:

1. CONTRACTOR TO INSTALL TREE PROTECTION FENCING BEFORE ANY SITE DISTURBANCE SHALL TAKE PLACE. CONTRACTOR SHALL USE TREE PROTECTION FENCING TO STAKE OUT THE LIMITS OF CLEARING AND DISTURBANCE ON-SITE.
2. SEPARATION BETWEEN LIMITS OF DISTURBANCE AND TREE PROTECTION LINE PROVIDED FOR GRAPHICAL CLARITY ONLY. LIMITS OF DISTURBANCE AND LIMITS OF TREE PROTECTION ARE CONCURRENT ALONG THE WESTERN PORTION OF THE SITE.
3. THE WESTERN PORTION OF THE SITE DISTURBANCE SHALL REMAIN ABOVE THE 416 CONTOUR. NO DISTURBANCE SHALL OCCUR AT OR BELOW THE 416 CONTOUR DUE TO AN EXISTING SWM EASEMENT.
4. PER THE VESCH 3.05 SILT FENCE IS CAPABLE OF TREATING 0.25 ACRES/100 LF. THE MAXIMUM DRAINAGE AREA TO THE PROPOSED SUPER SILT FENCE IS 0.17 ACRES/100 LF.
5. PROPOSED DISTURBANCE SHALL REMAIN WITHIN THE SUBJECT PARCEL OR WITHIN EXISTING EASEMENTS.
6. CONTRACTOR SHALL ENSURE THE WASH RACK/ CONSTRUCTION ENTRANCE DRAINS TO AN ADEQUATE E&S MEASURE.



PEPSI COLA BOTTLING COMPANY
OF CENTRAL VIRGINIA
D.B. 420 PG. 543
D.B. 410 PG. 317
TAX PCL.: 41C-5
ZONING: HW

REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/31/12
RESUBMITTAL TO ADDRESS CITY COMMENTS	11/02/12
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12	3/04/13
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/11/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

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PEPSI EXPANSION SITE PLAN AMENDMENT

EROSION & SEDIMENT CONTROL PLAN PHASE II

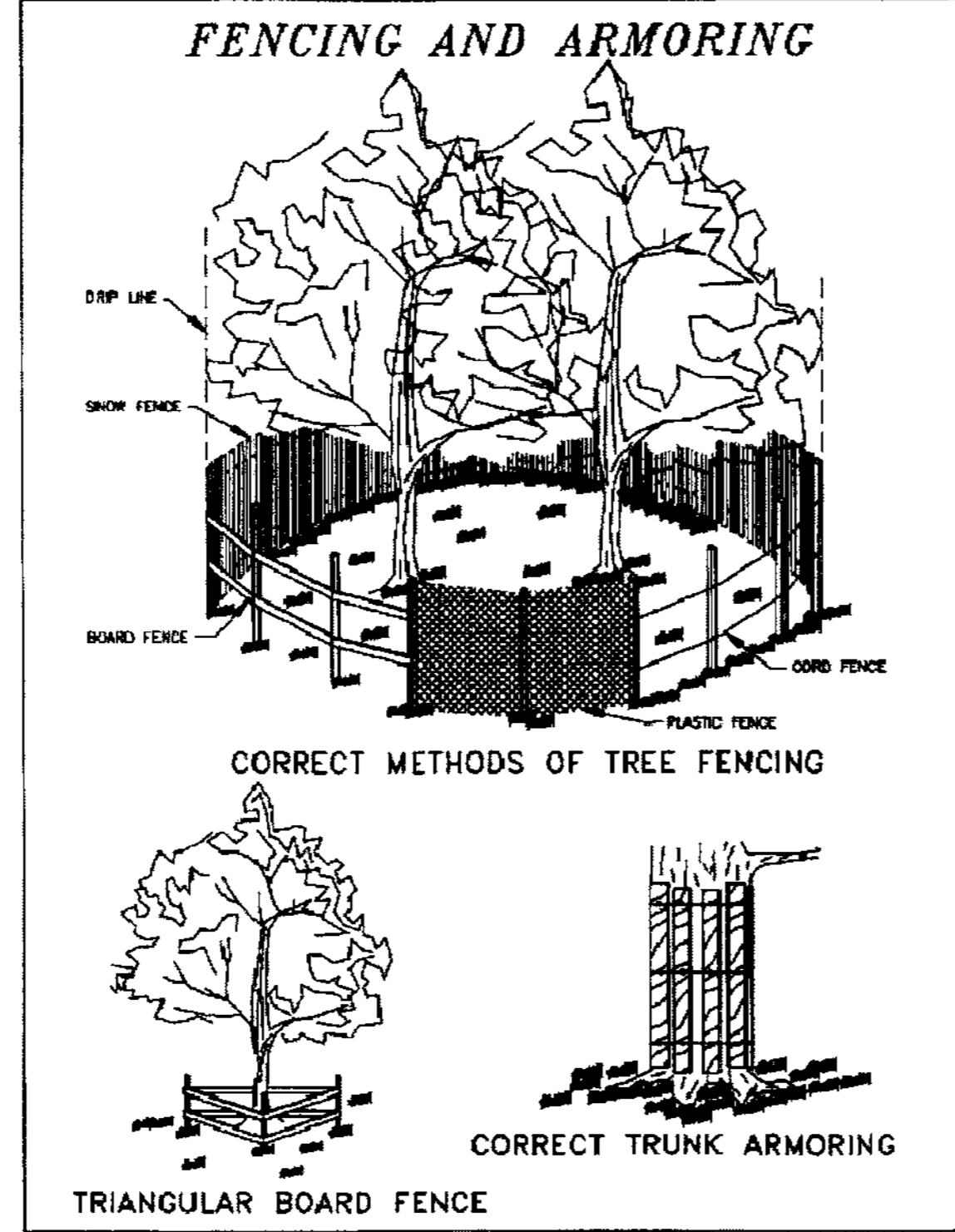
PROJECT	112069
SCALE	1"=30'
SHEET NO.	12

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MULCHES:	RATES:		NOTES:
	Per Acre	Per 1000 sq. ft.	
Straw or Hay	1½ - 2 tons (Minimum 2 tons for winter cover)	70 - 90 lbs.	Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand.
Fiber Mulch	Minimum 1500 lbs.	35 lbs.	Do not use as mulch for winter cover or during hot, dry periods.* Apply as slurry.
Corn Stalks	4 - 6 tons	185 - 275 lbs.	Cut or shredded in 4-6" lengths. Air-dried. Do not use in fine turf areas. Apply with mulch blower or by hand.
Wood Chips	4 - 6 tons	185 - 275 lbs.	Free of coarse matter. Air-dried. Treat with 12 lbs nitrogen per ton. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.
Bark Chips or Shredded Bark	50 - 70 cu. yds.	1-2 cu. yds.	Free of coarse matter. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.

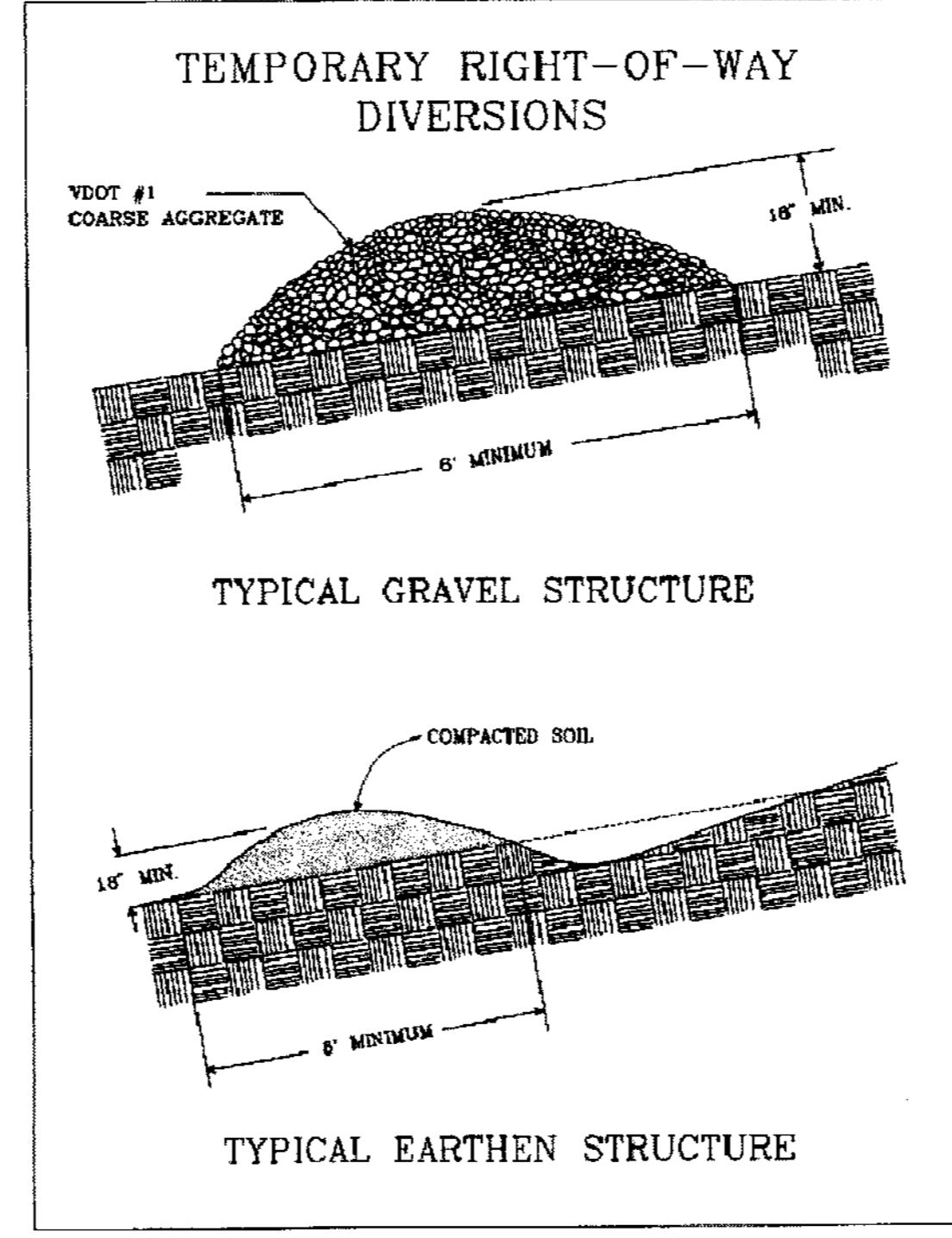
* When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2000 lbs./ac. or 45 lbs./1000 sq. ft.

Source: Va. DSWC



Source: Va. DSWC

Plate 3.38-2



Source: Va. DSWC

Plate 3.11-1

TABLE 3.31-C

TEMPORARY SEEDING PLANT MATERIALS, SEEDING RATES, AND DATES

SPECIES	SEEDING RATE		NORTH ^a				SOUTH ^b			PLANT CHARACTERISTICS
	Acre	1000 ft ²	3/1 to 4/30	5/1 to 8/15	8/15 to 11/1	2/15 to 4/30	5/1 to 9/1	9/1 to 11/15		
OATS (<i>Avena sativa</i>)	3 bu. (up to 100 lbs., not less than 50 lbs.)	2 lbs.	X	-	-	X	-	-	Use spring varieties (e.g., Noble).	
RYE ^c (<i>Lolium perenne</i>)	2 bu. (up to 110 lbs., not less than 50 lbs.)	2.5 lbs.	X	-	X	X	-	X	Use for late fall seedings, winter cover. Tolerates cold and low moisture.	
GERMAN MILLET (<i>Sorghum intrans</i>)	90 lbs.	approx. 1 lb.	-	X	-	-	X	-	Warm-season annual. Dies at first frost. May be added to summer mixes.	
ANNUAL RYEGRASS ^d (<i>Lolium multi-florum</i>)	60 lbs.	1½ lbs.	X	-	X	X	-	X	May be added in mixes. Will mow out of most stands.	
WEEDING LOVEGRASS (<i>Eragrostis curvula</i>)	15 lbs.	5½ ozs.	-	X	-	-	X	-	Warm-season perennial. May branch. Tolerates hot, dry slopes and acid, infertile soils. May be added to mixes.	
KOREAN LESPEDEZA ^e (<i>Lespedeza striulata</i>)	25 lbs.	approx. 1½ lbs.	X	X	-	X	X	-	Warm season annual legume. Tolerates acid soils. May be added to mixes.	

^a Northern Piedmont and Mountain region. See Plates 3.22-1 and 3.22-2.
^b Southern Piedmont and Coastal Plain.
^c May be used as a cover crop with spring seeding.
^d May be used as a cover crop with fall seeding.
 X May be planted between these dates.
 - May not be planted between these dates.



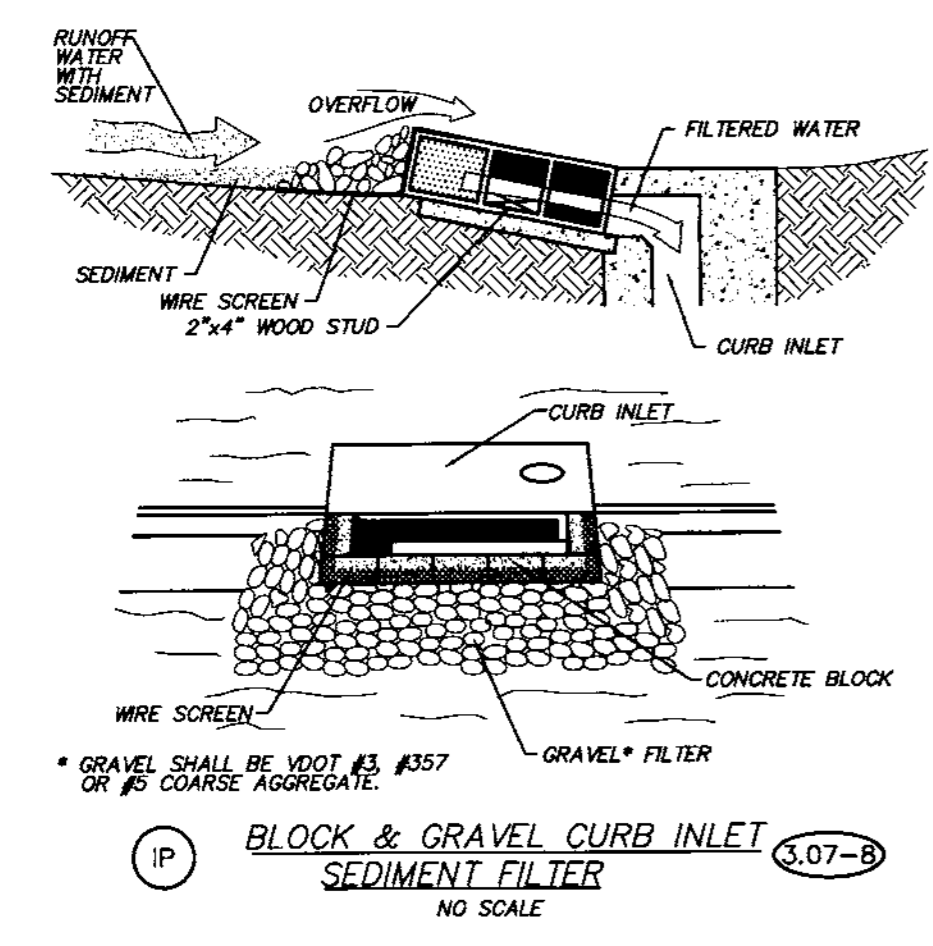
REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/31/12
RESUBMITTAL TO ADDRESS CITY COMMENTS	3/10/12
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12	1/09/13
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/1/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

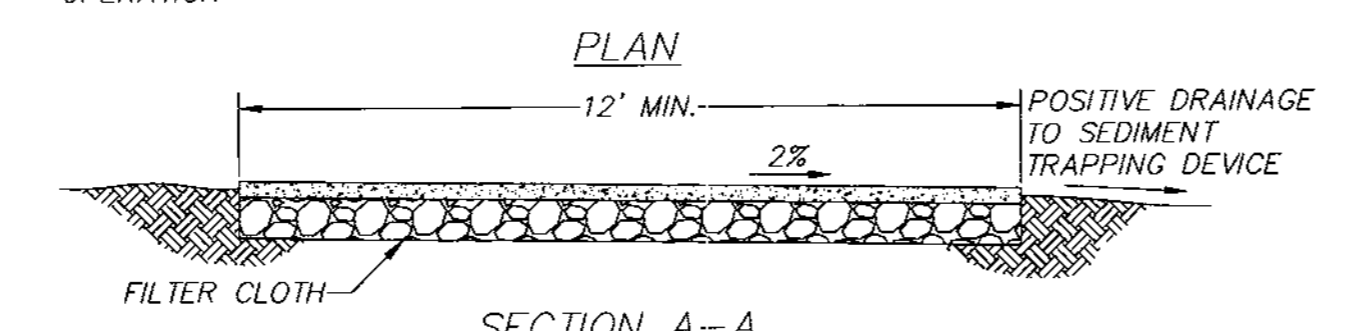
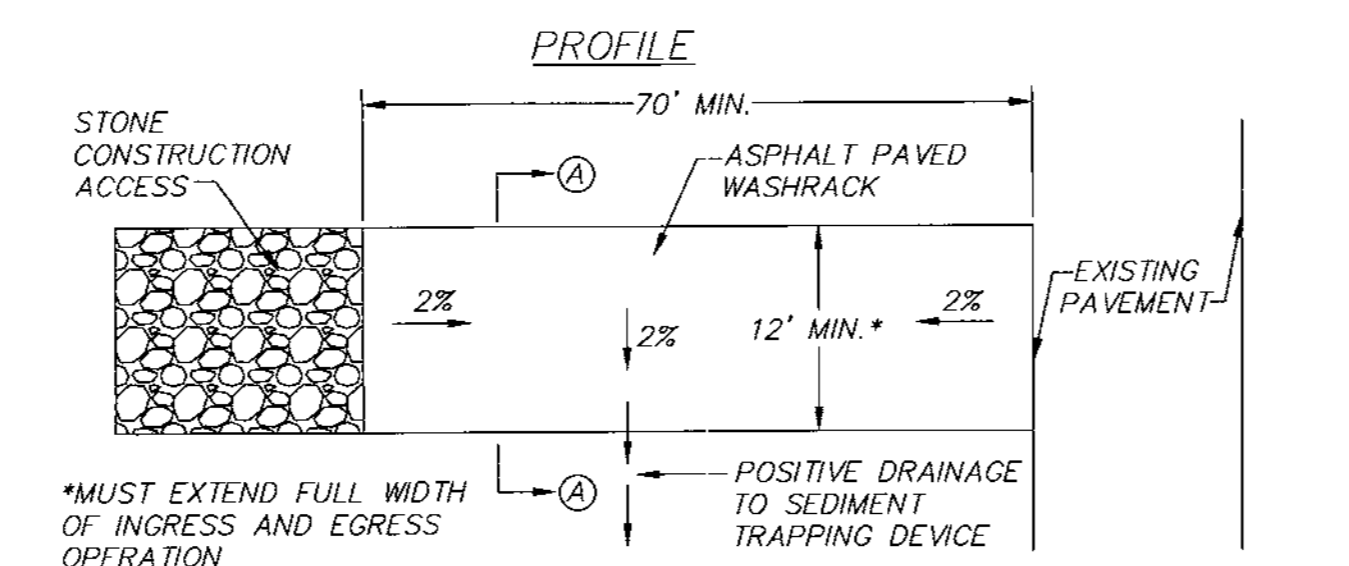
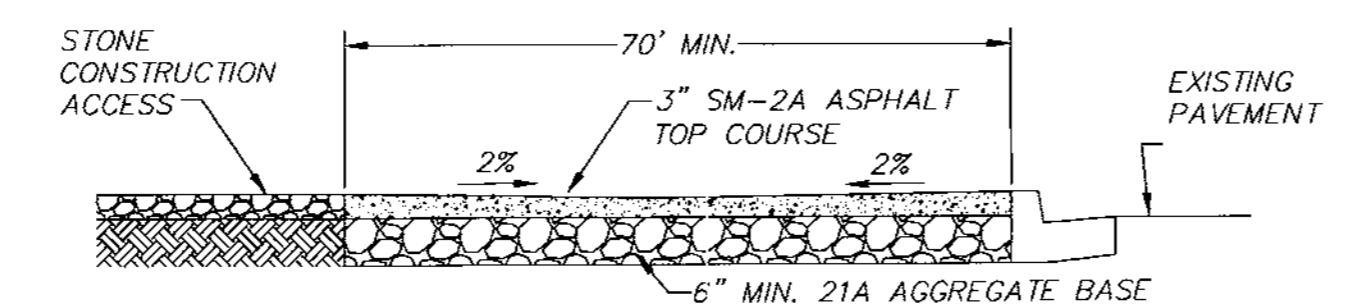
TABLE 3.39-A
ADHESIVES USED FOR DUST CONTROL

Adhesive	Water Dilution (Adhesive: Water)	Type of Nozzle	Application Rate Gallons/Acre
Anionic Asphalt Emulsion	7:1	Coarse Spray	1,200
Latex Emulsion	12.5:1	Fine Spray	235
Resin in Water	4:1	Fine Spray	300
Acrylic Emulsion (Non-Traffic)	7:1	Coarse Spray	450
Acrylic Emulsion (Traffic)	3.5:1	Coarse Spray	350

Source: Va. DSWC



1P BLOCK & GRAVEL CURB INLET SEDIMENT FILTER NO SCALE



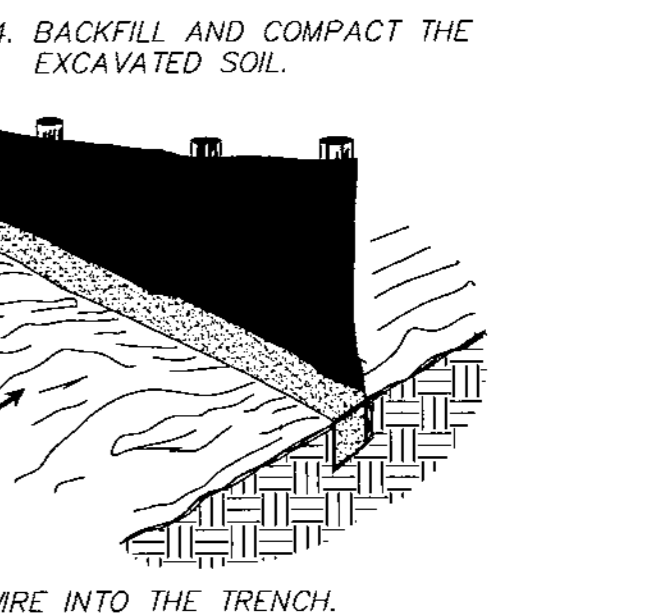
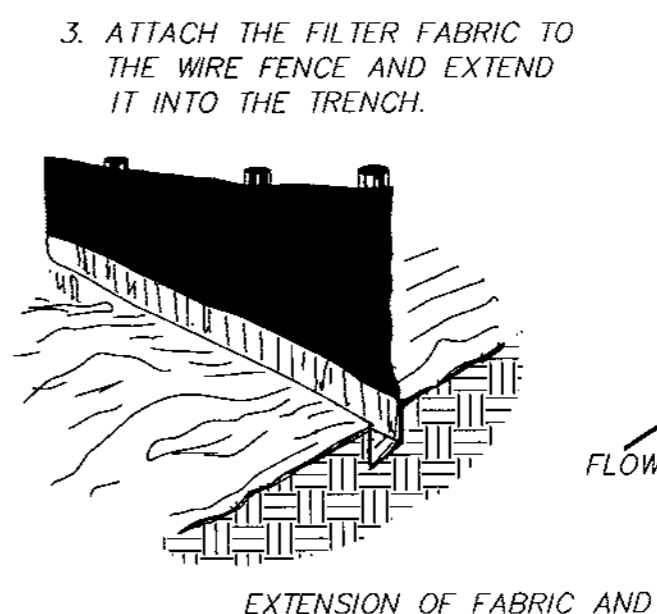
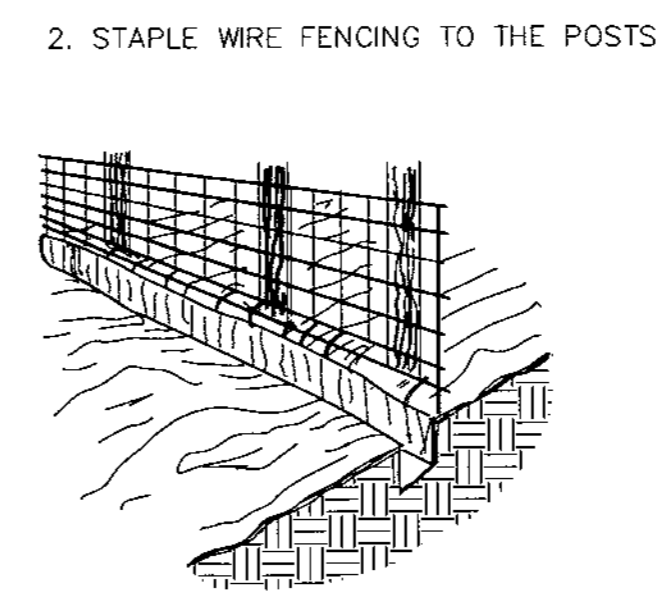
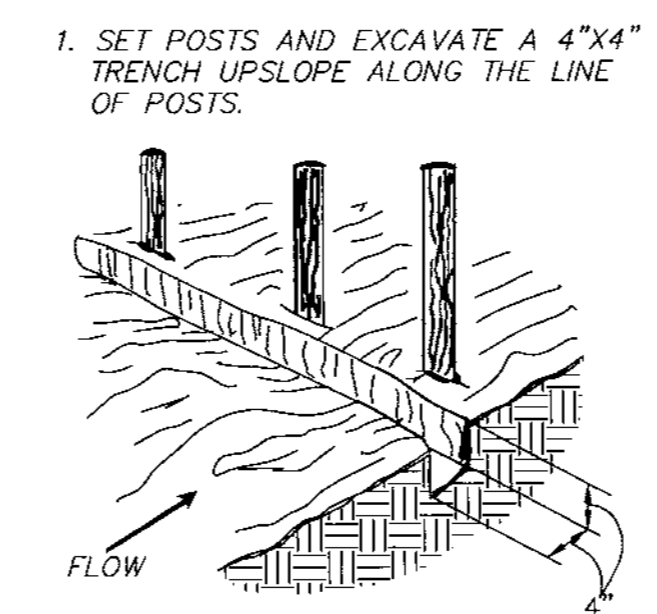
A minimum water top of 1 inch must be installed with a minimum 1 inch ballcock shutoff valve supplying a wash hose with diameter of 1.5 inches for adequate constant pressure. Wash water must be carried away from the entrance to an approved settling area to remove sediment. All sediment shall be prevented from entering storm drains, ditches or watercourses.

PAVED WASH RACK NO SCALE

GENERAL SLOPE (3:1 OR LESS)	TOTAL LBS PER ACRE
KENTUCKY 31 FESCUE	128 LBS.
RED TOP GRASS	2 LBS.
SEASONAL NURSE CROP	20 LBS.
SEASONAL NURSE CROP	150 LBS.
FEBRUARY 16 THROUGH APRIL 1	ANNUAL RYE
MAY 1 THROUGH AUGUST 15	FOXTAIL MILLET
AUGUST 16 THROUGH OCTOBER	ANNUAL RYE
NOVEMBER THROUGH FEBRUARY 15	WINTER RYE

NOTES:
 1. LIME AND FERTILIZER NEEDS SHALL BE DETERMINED BY SOIL TESTS AND APPLIED IN ACCORDANCE WITH VESCH STD. 3.32.
 2. SEEDINGS TO BE MULCHED IMMEDIATELY UPON COMPLETION OF SEED APPLICATION, IN ACCORDANCE W/ VESCH STD 3.35.

PS PERMANENT SEEDING SCHEDULE NO SCALE (STD. & SPEC. 3.32 OF VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK, 3RD ED.)

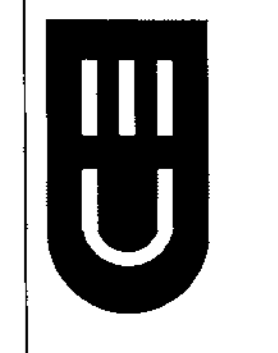


SF SILT FENCE (WITH WIRE SUPPORT) NO SCALE (STD. & SPEC. 3.05 OF VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK, 3RD ED.)

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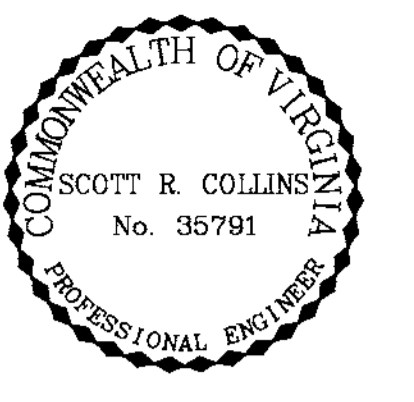
PEPSI EXPANSION SITE PLAN AMENDMENT

EROSION & SEDIMENT CONTROL DETAILS



JOB NO. 112069
 SCALE N/A
 SHEET NO. 13

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REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SUBMITTAL	1/3/12
RESUBMITTAL TO ADDRESS CITY COMMENTS	11/02/12
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 11/20/12	1/04/13
RESUBMITTAL TO ADDRESS CITY COMMENTS DATED 2/15/13	4/15/13
REVISED PLANS FOR CRITICAL SLOPES WAIVER	5/9/13

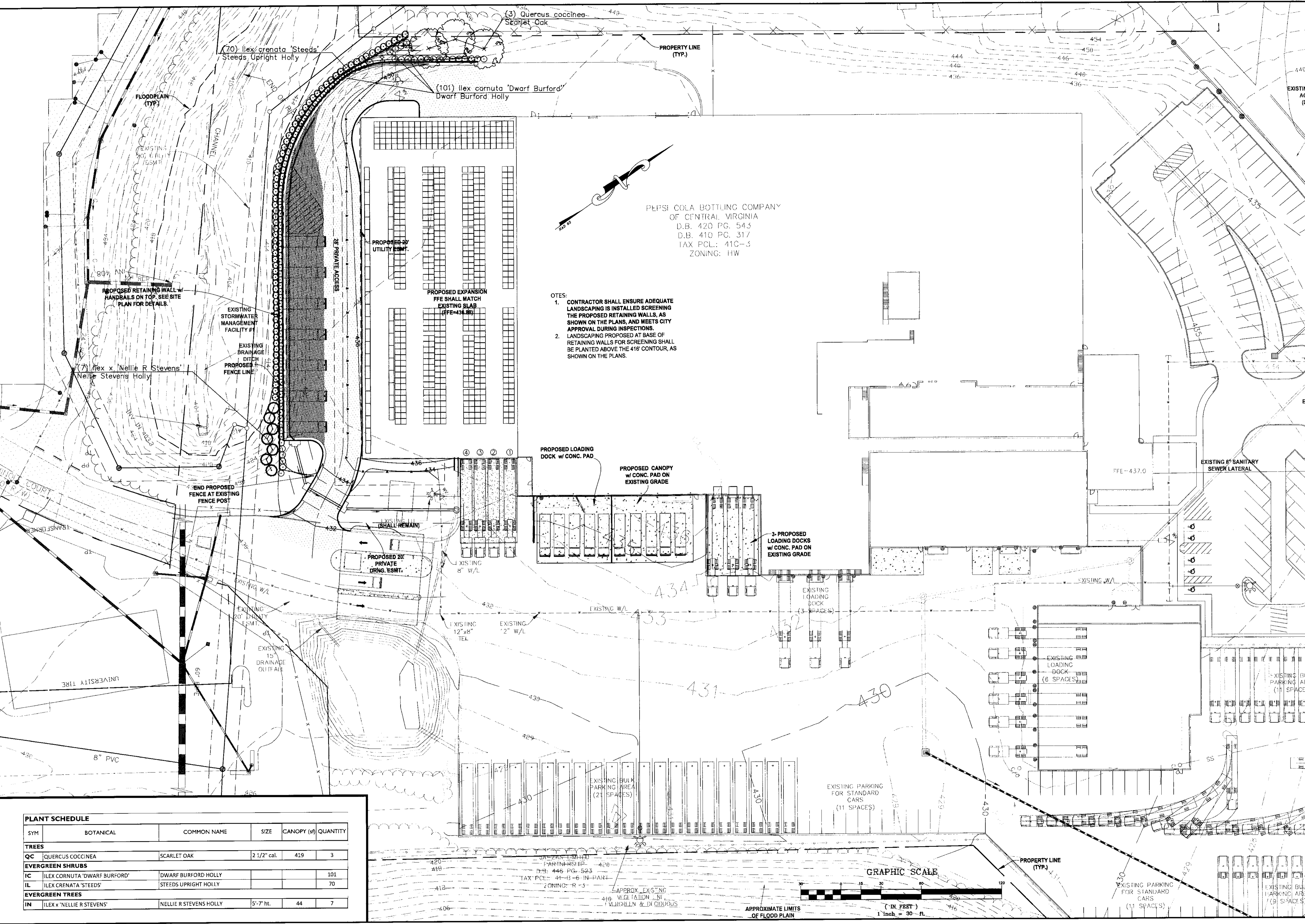
COLLINS ENGINEERING
 200 GARRETT STREET SUITE K- CHARLOTTEVILLE, VA 22902 - 434.293.3719

PEPSI EXPANSION SITE PLAN AMENDMENT

LANDSCAPING PLAN

JOB NO.	112069
SCALE	1"=30'
SHEET NO.	14

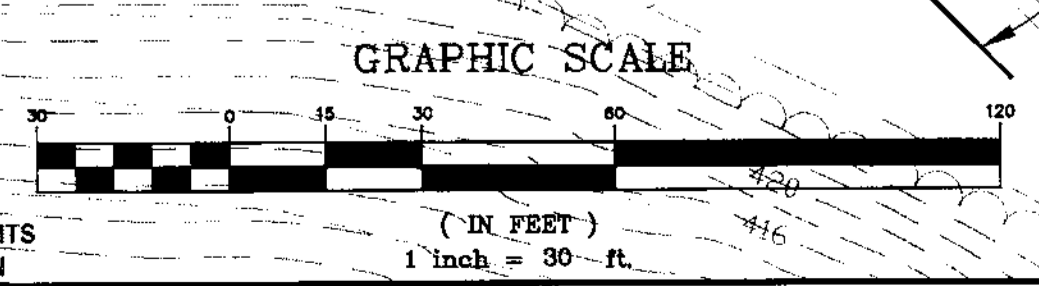
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PEPSI COLA BOTTLING COMPANY
 OF CENTRAL VIRGINIA
 D.B. 420 PG. 543
 D.B. 410 PG. 317
 TAX PCL.: 41C-3
 ZONING: HW

- NOTES:
- CONTRACTOR SHALL ENSURE ADEQUATE LANDSCAPING IS INSTALLED SCREENING THE PROPOSED RETAINING WALLS, AS SHOWN ON THE PLANS, AND MEETS CITY APPROVAL DURING INSPECTIONS.
 - LANDSCAPING PROPOSED AT BASE OF RETAINING WALLS FOR SCREENING SHALL BE PLANTED ABOVE THE 416' CONTOUR, AS SHOWN ON THE PLANS.

SYM	BOTANICAL	COMMON NAME	SIZE	CANOPY (sq)	QUANTITY
PLANT SCHEDULE					
TREES					
QC	QUERCUS COCCINEA	SCARLET OAK	2 1/2" cal.	419	3
EVERGREEN SHRUBS					
IC	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY			101
IL	ILEX CRENATA 'STEEDES'	STEEDES UPRIGHT HOLLY			70
EVERGREEN TREES					
IN	ILEX X 'NELLIE R STEVENS'	NELLIE R STEVENS HOLLY	5'-7' ht.	44	7





WAIVER REQUEST FORM

PB-0011

Please Return To: City of Charlottesville
 Department of Neighborhood Development Services
 PO Box 911, City Hall
 Charlottesville, Virginia 22902
 Telephone (434) 970-3182 Fax (434) 970-3359

RECEIVED
 JAN 22 2013

For a Critical Slopes Waiver Request, please include one of the following application fees: \$75 for single-family or two-family projects; \$500 for all other project types. *additional application form required
 For all other Waiver Requests, please include one of the following application fees: \$50 for single-family or two-family projects; \$250 for all other project types.

Project Name/Description PEPSI-LOLA PLANT EXPANSION-AMENDMENT Parcel Number 41C-3 & 41B-6
 Address/Location 1150 PEPSI PLACE, CHARLOTTESVILLE, VA
 Owner Name PEPSI BOTTLE COMPANY Applicant Name PEPSI c/o COLLINS ENGINEERING

Applicant Address: 200 GARRETT STREET, SUITE K CHARLOTTESVILLE, VA 22902
 Phone (H) 434-293-3719 (W) 434-293-3719 (F) _____
 Email: SCOTT C COLLINS-ENGINEERING.COM

- Waiver Requested (review Zoning Ordinance for items required with waiver submissions):
- Sidewalk
 - Drainage/Storm Water Management
 - *Contact Staff for Supplemental Requirements
 - Off-street Parking
 - Site Plan Review
 - Lighting
 - Landscape
 - Signs
 - Setbacks
 - Critical Slopes *additional application form required
 - Communication Facilities
 - Other
 - Stream Buffer Mitigation Plan

Description of Waiver Requested: IMPACT TO MANMADE CRITICAL SLOPES ALONG THE SOUTHERN PORTION OF THE SITE

Reason for Waiver Request: EXPANSION OF THE SEMWOLE SQUARE RETAIL CENTER TO COMPENSATE FOR THE HILLSDALE DRIVE EXPANSION THROUGH THE PROJECT.

Applicant Signature _____ Date 1-13-13
 Property Owner Signature (if not applicant) _____ Date 1-22-13

For Office Use Only:

Review Required: Administrative _____ Planning Commission _____ City Council _____
 Approved: _____ Denied: _____
 Comments: _____ Director of NDS _____

January 18, 2013

Updated 3/18/2013

Further Updated 5/10/2013

City of Charlottesville
Department of Neighborhood Development Services
P.O. Box 911
Charlottesville, VA 22902

RE: Pepsi Bottling Company Expansion – Critical Slopes Waiver Request Supplement

Please allow this letter to serve as our formal request for a critical slope waiver to allow an impact to the critical slopes along the southern portion of the Pepsi Bottling Company property. The current use of the property is a manufacturing, bottling, and warehouse facility for Pepsi products.

Applicant: Collins Engineering / Pepsi Bottling Company

Property Owner: Pepsi Bottling Company of Central Virginia

Existing Conditions:

This area to the south of the site with the existing, but mostly man made critical slopes is primarily wooded. This area was graded and these slopes were created almost 30 years ago when the property was first developed in the early 1980's. 2:1 and 3:1 slopes were used to establish the grades along the southern bank. Overall the existing bank is in fair condition, there are some areas that show signs of erosion while other portions of the bank are holding up better. There is a currently a creek and existing stormwater management facility along this area with the critical slopes. The city currently has a stormwater management easement in this area up to the 416 contour elevation, which easement was designed to accommodate a 100 year flood event. The proposed improvements and impacts to the critical slopes would not affect the existing stormwater management facility or stream along the southern property, as they would begin at the 418 contour elevation.

Project Description:

The reason for the critical slope waiver request for the project is to prepare the property for the future Pepsi plant expansion along with the pending improvements that were designed to help mitigate impacts to the Pepsi facility as a result of the extension of the Hillsdale Drive along the western and northern portions of the property. Currently, the city has designed the future Hillsdale Drive to extend along this western portion of the Pepsi property between the Pepsi plant and the U.S. Post Office building and tie-in along the northern property line to existing Pepsi Place. The extension will have a major effect on the existing facilities' overall ability to expand in the future. The roadway, once constructed, will prevent a future expansion of the facility to the west and to the north.

The only area left to develop for the building and parking lot expansion is to the south, which involves these impacts to the existing critical slopes. The proposed expansion will accommodate space for additional parking and building expansion necessary for Pepsi to meet their overall facility's needs for the future. The need for the expansion is based on a 30 year program forecast for the company and long range planning that was completed about five years ago. The ability to expand in any other direction is greatly limited with the construction of the Hillsdale Drive Extension project.

Total Site Area: 15.3 acres

Zoning: existing HW (Highway Corridor)

Percentage of Area greater than or equal to 25% slopes:

1.76 acres of the site's 15.3 acres, or 11.5% of the site area

Finding #1:

Hillsdale Drive extension is an integral part of the future Charlottesville transportation network. A good portion of right-of-way (approximately 1 acre) necessary for the Hillsdale Drive extension is located on the Pepsi Bottling Company property, taking up a large portion of the western property line and a portion of the northern property. This roadway extension will serve the public as a secondary (parallel) roadway system along Route 29, providing an alternate road option that will service the community and help alleviate the congestion on Route 29. This public benefit far outweighs the impact to the man-made critical slopes along the southern portion of the property that were created with the filling of the property back in 1980's to create the manufacturing facility. A retaining wall system will be installed along this portion of the site and the walls will lock in the fill material along this area, creating a stabilized bank. Below this area is an existing stormwater management facility for the Seminole Square Shopping Center and Pepsi Bottling company properties. This facility will remain as-is, with no impacts to the current capacity of the facility to handle stormwater from the respective properties. The future impervious area created with the impacts to the critical slopes will be treated with an existing stormwater management facility on the Pepsi property and the installation of pervious surfaces, in addition to draining to this stormwater management facility.

If there was an alternative layout or alignment of Hillsdale Drive that did not impact the Pepsi Bottling Company property, then it would be possible to expand the facility either further west or to the north. However, City Council has accepted the current alignment and agreed to start the negotiations on acquiring the necessary right of way along this alignment. With the roadway extension, the impact to the overall site prevents future expansion to the north or to the west of the property. In order for Pepsi to meet the current and future facility needs, it is looking to expand the facility to the south. Impacting these critical slopes along the southern property line and expanding the building and parking lot to the south allows for the Pepsi facility to meet the existing and future needs in order for the facility to operate effectively. If the facility could not expand any more, due to critical slopes and future roadway extensions across the property, then Pepsi would have to look at other sites for the facility.

Erosion affecting the structural integrity of those features:

Currently, this mostly man made critical slope (which was created in 1980's) is showing some signs of erosion on parts of the slope. The wooded vegetation, for the most part, is holding the slopes in place; however, there are many areas where erosion has occurred over the years. With the installation of the retaining wall system, this will prevent any additional erosion along this steep bank. The walls will lock in the fill material and prevent it from future erosion.

Stormwater and erosion-related impacts on adjacent properties:

The downstream area below this proposed critical slope impact is an existing stormwater management facility, which is owned/leased by Towers and Sequel and by Pepsi Cola Bottling Company, but is contractually (by deed) maintained by, and subject to an easement in favor of, the City. The Seminole Shopping Center is also proposing to impact the existing critical slopes on its property as well for the same reasons, to allow the Hillsdale Drive Extension to be constructed on the Seminole Square property for the overall benefit of the community. The functionality of the existing stormwater management facility owned/leased by Towers and Sequel and by Pepsi Cola will not be adversely impacted by impacts of these critical slopes. The retaining walls will be constructed prior to and in combination with the filling of this area to prevent erosion related issues. Most of the drainage area to this slope is captured with the existing curb and gutter system on the top of the slope, which prevents a lot of the run-off from sheet-flowing down the banks.

Stormwater and erosion-related impacts to environmentally sensitive areas such as streams and wetlands:

No streams or wetlands are proposed to be impacted with the filling and impacts of the critical slopes on this property. The existing stream below this area is part of the existing stormwater management facility, and no impacts are proposed. The local office of the USCOE has confirmed that since there will be no fill placed below the ordinary high watermark of the stream flowing within the existing stormwater management facility, no Corps permit is required.

Increased stormwater velocity due to loss of vegetation

The increase of stormwater velocity due to the loss of vegetation and future impervious area will be mitigated with the existing swm facility on the Pepsi property and by the installation of pervious surface material for the proposed parking lot expansion. The run-off from the additional parking area that does not absorb through the pervious parking lot material will be routed to the swm pond, which will provide water quality and detention, prior to releasing the flow into the existing stormwater management facility and outfall. These measures will compensate for the increase in velocity due to the loss of vegetation in this area.

Decreased groundwater recharge due to changes in the site hydrology

The impacts to these critical slopes do not have much effect or change on the groundwater or site hydrology. There is not a lot of drainage area to these critical slope areas and the slopes themselves limit the ability for run-off to be absorbed into the

ground before running down the slopes into the existing streams. However, the existing stormwater management pond on the Pepsi property will provide an additional opportunity for the run-off, that does not penetrate the pervious parking lot area, to drain into the ground before being discharged into the existing swm facility and outfall system.

Loss of natural or topographic features that contribute substantially to the natural beauty and visual quality of the community such as loss of tree canopy, forested areas and wildlife habitat.

The benefit of Hillsdale Drive outweighs the overall impacts to this area, including the loss of mostly scrub) tree canopy. Trees and the wildlife habitat within the existing limits of the stormwater management facility will still remain and will be preserved. Newly installed landscaping at the base and top of the retaining walls will only improve the visual quality of the slopes and help compensate for the loss of the existing scrub tree canopy.

Additional attachments:

Please see the Site plan amendment for additional information and exhibits for this request.

Please let me know if you have any questions or need any additional information to review this critical slope analysis.

Sincerely,
Scott Collins, PE