

Certificate of Appropriateness Application

BAR # 26-0017

203 Ridge Street; TMP 290022000

Ridge Street ADC District

Owner: City of Charlottesville

Applicant: Scott Hendrix, Capital Development Division

Project: Accessibility project with site alterations

Mr. Hendrix,

The CoA for the above referenced project was approved by the City of Charlottesville Board of Architectural Review on May 19, 2026. The following action was taken:

Mr. Schwarz made the following motion:

Having considered the standards set forth within the City Code, including the City's ADC District Design Guidelines, I move to find the proposed site alterations at 203 Ridge Street satisfies the BAR's criteria and is compatible with this property and other properties in this ADC District, and that the BAR approves the application as submitted.

The motion was seconded by Mr. Bailey and passed 7-0.

For specifics of the discussion, see the Board of Architectural Review's YouTube channel: <https://youtu.be/BEqHRgUH1mo>

Per the provisions of City Code, this CoA is valid for 18 months from the date of BAR approval; upon written request and for reasonable cause, the director of NDS or the BAR may extend that period by one year; and this CoA does not, in and of itself, authorize any work or activity that requires a building permit or compliance with other provisions of the City Code.

If you have any questions, please do not hesitate to contact me.

Sincerely,
Kate



Kate Richardson
Historic Preservation & Design Planner
Neighborhood Development Services
City of Charlottesville
434.970.3515 | richardsonka@charlottesville.gov

**City of Charlottesville
Board of Architectural Review
Staff Report
May 19, 2026**



Certificate of Appropriateness Application

BAR # 26-0017

203 Ridge Street; TMP 290022000

Ridge Street ADC District

Owner: City of Charlottesville

Applicant: Drew Barnocky; Scott Hendrix

Project: Accessibility alterations and site improvements



Background

Year Built: 1959

District: Ridge Street ADC District

Status: Contributing [added to district in 1995]

Two-story, rectangular fire station of red brick masonry construction with flat roof and brick parapet. Primary façade organized into four bays: three apparatus bays with aluminum-framed, multi-light sectional doors, and one pedestrian-entry bay. Entrance recessed beneath standing-seam metal shed awning; aluminum-framed door with sidelights and transom. Fenestration consists of paired and grouped metal framed windows, aligned horizontally across both stories. Vertical brick pilasters define bay divisions. The original Mid-Century façade was modified post-1985.

Prior BAR Reviews – None.

Application

- Applicant submittals:
 - *Ridge St. Fire Station Accessibility Final Site Plan, Line and Grade*, dated March 5, 2026, 7 sheets.
 - Site photographs of existing conditions.

CoA for site alterations to improve accessibility at the primary entrance to the facility, including new parking spaces, entrance path, ramp, and accompanying small-plant landscaping.

Discussion

Improvements to this municipal facility include demolition of existing concrete sidewalks and asphalt pavement adjacent to the existing parking spaces. Minor re-grading will precede new paving and paint striping. A new path, curbed ramp and sidewalk are to be installed. Additional minor improvements include a redesigned landscape, plantings and bench seating.

Recommendation

Project will improve accessibility at this public facility. The site design and elements are appropriate for the property and ADC District. Staff recommends approval as submitted.

Suggested Motions

Approval [with approval of the consent agenda]: Having considered the standards set forth within the City Code, including the ADC District Design Guidelines, I move to find the proposed site alterations at 203 Ridge Street satisfies the BAR’s criteria and is compatible with this property and other properties in this ADC District, and that the BAR approves the application as submitted.

Criteria, Standards and Guidelines

Note re: BAR authority: Per Code, the BAR is charged only with the authority to approve or deny a design review CoA, following an evaluation applying the criteria under Code Sec. 34-5.2.7. *Major Historic Review*. The BAR does not evaluate a proposed use. Additionally, per Code Sec. 34-5.2.7.E.2., the issuance of a CoA “cannot, in and of itself, authorize any construction, reconstruction, alteration, repair, demolition, or other improvements or activities requiring a building permit. Where a building permit is required, no activity authorized by a [CoA] is lawful unless conducted in accordance with the required building permit and all applicable building code requirements.”

Review Criteria Generally

Per Chapter 34, Div. 5.2.7. C.2:

- a. In considering a particular application the BAR will approve the application unless it finds:
 - i. That the proposal does not meet specific standards set forth within this Section or applicable provisions of the City’s design guidelines; and
 - ii. The proposal is incompatible with the historic, cultural or architectural character of the district in which the property is located or the IPP that is the subject of the application.
- b. The BAR will approve, approve with conditions, or deny applications for Certificates of Appropriateness in accordance with the provisions of this Section.
- c. The BAR, or City Council on appeal, may require conditions of approval as are necessary or desirable to ensure that any new construction or addition is compatible with the scale and character of the Architecture Design Control District, Individually Protected Property, or Historic Conservation District. Prior to attaching conditions to an approval, due consideration will be given to the cost of compliance with the proposed conditions as well as the goals of the Comprehensive Plan. Conditions may require a reduction in height or massing, consistent with the City’s design guidelines and subject to the following limitations...
[...]

Standards for Review and Decision

Per Chapter 34, Div. 5.2.7. D.1:

- a. Review of the proposed construction, reconstruction, alteration or restoration of a building or structure is limited to exterior architectural features, including signs, and the following features and factors:
 - i. Whether the material, texture, color, height, scale, mass, and placement of the proposed addition, modification or construction are visually and architecturally compatible with the site and the applicable District;
 - ii. The harmony of the proposed change in terms of overall proportion and the size and placement of entrances, windows, awnings, exterior stairs, and signs;
 - iii. The Secretary of the Interior Standards for Rehabilitation set forth within the Code of Federal Regulations (36 C.F.R. §67.7(b)), as may be relevant;
 - iv. The effect of the proposed change on the adjacent building or structures;
 - v. The impact of the proposed change on other protected features on the property, such as gardens, landscaping, fences, walls, and walks;
 - vi. Whether the proposed method of construction, renovation, or restoration could have an adverse impact on the structure or site, or adjacent buildings or structures;
 - vii. When reviewing any proposed sign as part of an application under consideration, the standards set forth within Div. 4.11. Signs will be applied; and
 - viii. Any applicable provisions of the City’s design guidelines.

Links to ADC District Design Guidelines

[Chapter 2 Site Design and Elements](#)

Pertinent Design Review Guidelines for Site Design and Elements

E. WALKWAYS AND DRIVEWAYS

- 1) Use appropriate traditional paving materials like brick, stone, and scored concrete.
- 2) Concrete pavers are appropriate in new construction, and may be appropriate in site renovations, depending on the context of adjacent building materials, and continuity with the surrounding site and district.
- 3) Gravel or stone dust may be appropriate, but must be contained.
- 4) Stamped concrete and stamped asphalt are not appropriate paving materials.
- 5) Limit asphalt use to driveways and parking areas.
- 6) Place driveways through the front yard only when no rear access to parking is available.
- 7) Do not demolish historic structures to provide areas for parking.
- 8) Add separate pedestrian pathways within larger parking lots, and provide crosswalks at vehicular lanes within a site.

F. PARKING AREAS & LOTS

- 1) If new parking areas are necessary, construct them so that they reinforce the street wall of buildings and the grid system of rectangular blocks in commercial areas.
- 2) Locate parking lots behind buildings.
- 3) Screen parking lots from streets, sidewalks, and neighboring sites through the use of walls, trees, and plantings of a height and type appropriate to reduce the visual impact year-round.
- 4) Avoid creating parking areas in the front yards of historic building sites.
- 5) Avoid excessive curb cuts to gain entry to parking areas.
- 6) Avoid large expanses of asphalt.
- 7) On large lots, provide interior plantings and pedestrian walkways.
- 8) Provide screening from adjacent land uses as needed.
- 9) Install adequate lighting in parking areas to provide security in evening hours.

10) Select lighting fixtures that are appropriate to a historic setting.

APPENDIX

Ridge Street Fire Station with original façade, c. 1985



Liberty Bell Replica installed at the Ridge Street Fire Station. [See attached report.]



203 Ridge Street

Ridge Street Fire Station

BAR # 26-0017

May 19, 2026

Scope of Work

The proposed work includes: Demolition of the existing concrete sidewalk and asphalt pavement at the parking spaces; minor re-grading, paving, and paint striping for installation of two accessible parking spaces and access aisle; installation of a new accessible path including concrete curb ramp and sidewalk; and installation of other minor site improvements such as a bench and landscape plantings.

Site Photographs & Existing Conditions







RIDGE ST FIRE STATION ACCESSIBILITY

FINAL SITE PLAN

CHARLOTTESVILLE, VIRGINIA

PROJECT SUMMARY

NAME OF PROJECT: RIDGE STREET FIRE STATION ACCESSIBILITY IMPROVEMENTS

PROJECT ADDRESS: 203 RIDGE STREET
CHARLOTTESVILLE, VA 22902

DEVELOPMENT TYPE: BY RIGHT

PROJECT NARRATIVE: THIS PROJECT INCLUDES A REVISED ENTRYWAY AND PARKING AREA THAT IS ADA COMPLIANT AT THE RIDGE STREET FIRE STATION IN THE CITY OF CHARLOTTESVILLE.

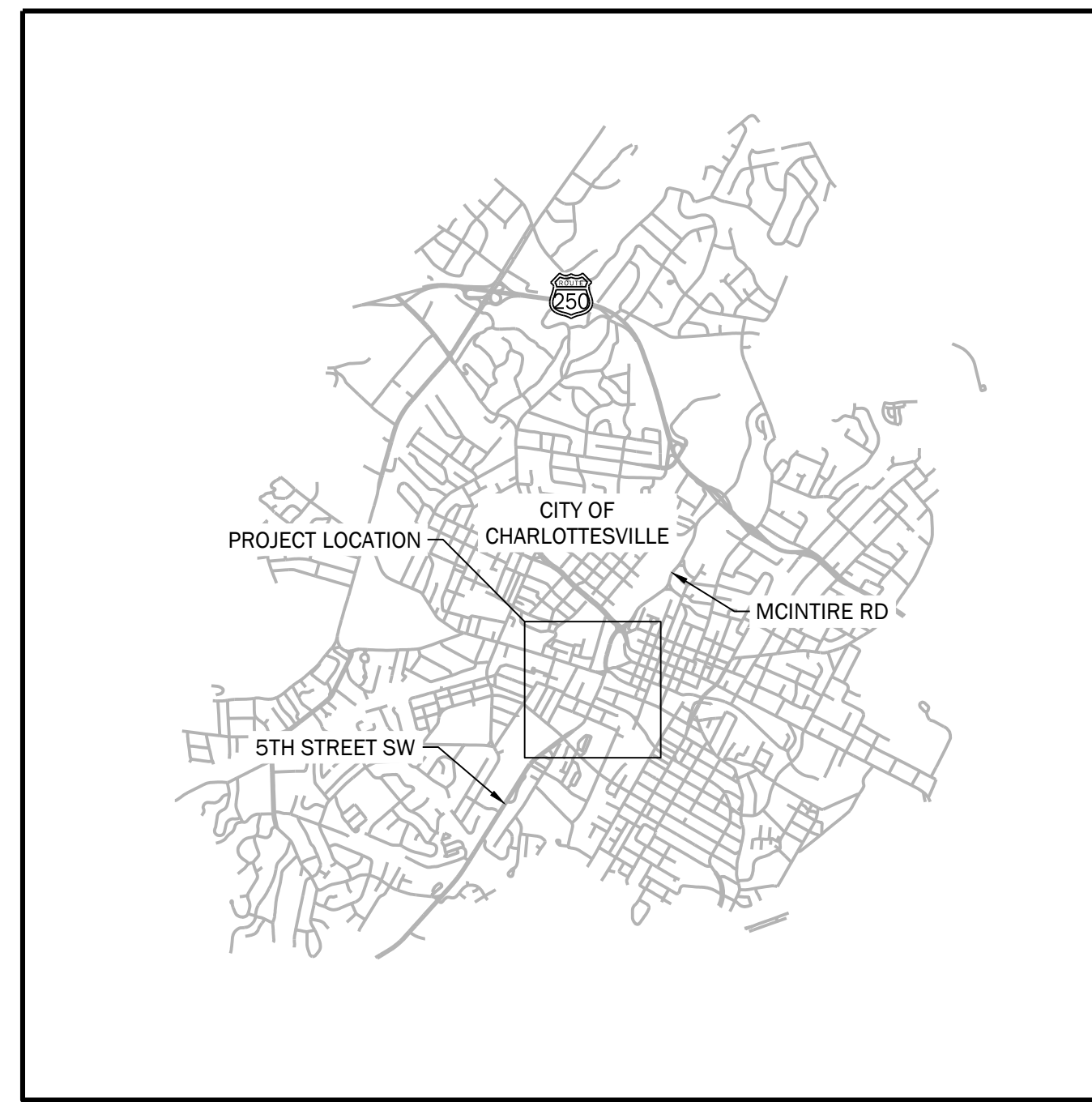
APPLICANT/OWNER:
CONTACT: CITY OF CHARLOTTESVILLE
SCOTT HENDRIX
ADDRESS: 305 4TH STREET NW
CHARLOTTESVILLE, VA 22903
PHONE: 434-465-5739
EMAIL: HENDRIX@CHARLOTTESVILLE.ORG

ENGINEER OF RECORD:
CONTACT: LINE AND GRADE CIVIL ENGINEERING
DREW BARNOCKY, PE
ADDRESS: 222 WEST SOUTH STREET
CHARLOTTESVILLE, VA 22902
PHONE: 804-512-0762
EMAIL: DBARNOCKY@LINE-GRADE.COM

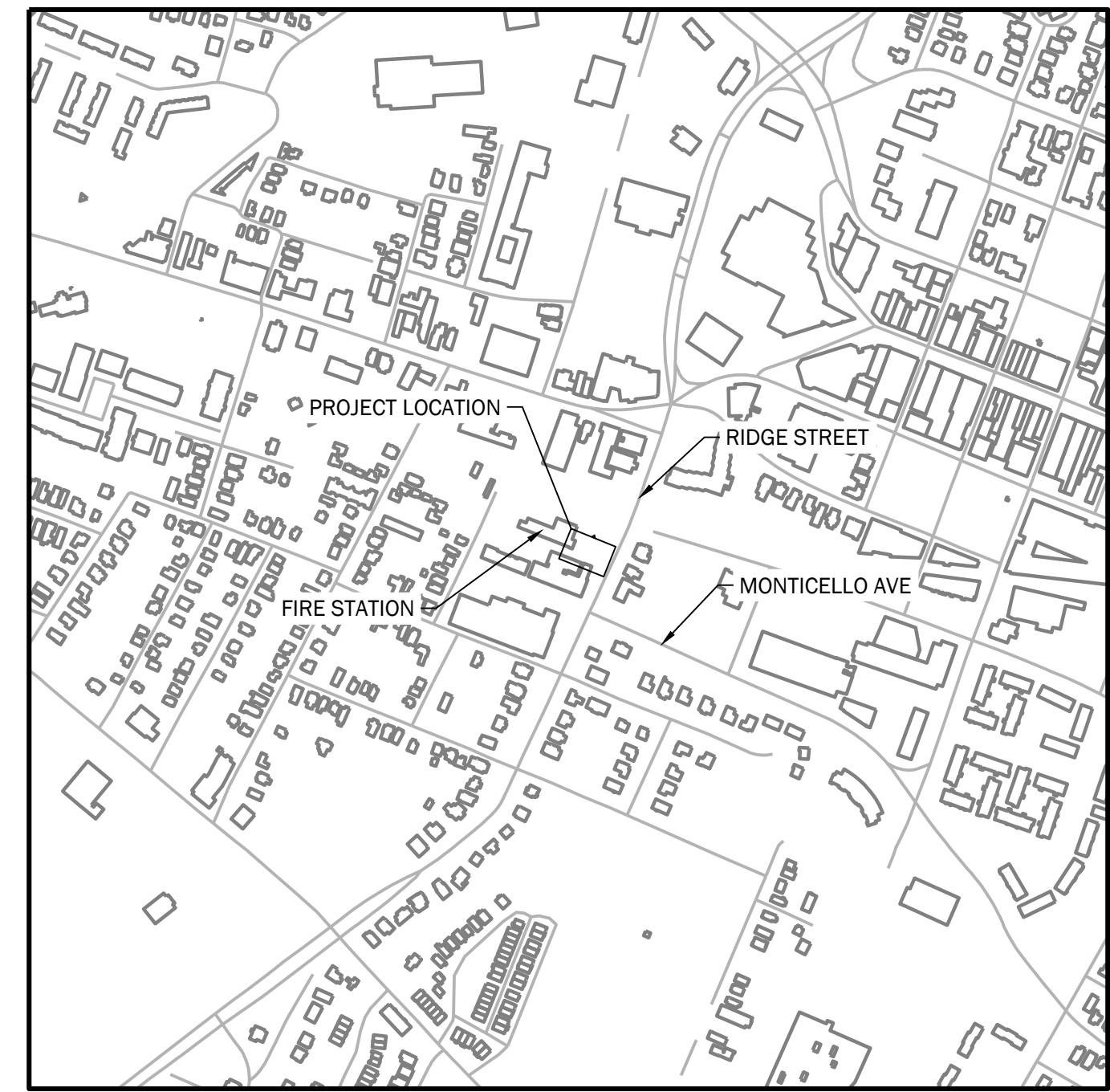
SOURCE OF SURVEY AND TOPOGRAPHY:
SOURCE: FIELD SURVEY (2025)
HORIZONTAL DATUM: NAD '83
VERTICAL DATUM: NAVD '88
CONTACT: LINCOLN SURVEYING & GIS
CHRISTOPHER B. KEAN
ADDRESS: 632 BERKMAR CIRCLE
CHARLOTTESVILLE, VIRGINIA 22901
PHONE: 434-974-1417
EMAIL: CHRIS.KEAN@LINCOLNSURVEYING.COM

PARCELS:
PARCEL ID: 290022000
OWNER: CITY OF CHARLOTTESVILLE
CONTACT: SCOTT HENDRIX
ZONED: CV CIVIC
MAG. DISTRICT: BUFORD
OVERLAYS: ARCHITECTURAL DESIGN CONTROL DISTRICT
LEGAL AREA: 1.480 AC

PROPOSED SITE PLAN REQUIREMENTS	ALLOWED OR REQ'D
BUILDING HEIGHT:	
MAX HEIGHT ALLOWED =	72 FT
PROPOSED BUILDING HEIGHT =	N/A
SETBACKS:	
PRIMARY STREET LOT LINE (MIN) =	10 FT
SIDE STREET LOT LINE (MIN) =	10 FT
SIDE LOT LINE (MIN) =	5 FT
REAR / ALLEY LOT LINE (MIN) =	5 FT
TRANSITION TYPE =	TYPE C
BUILDING COVERAGE:	
BUILDING COVERAGE (MAX) =	50 %
OUTDOOR AMENITY SPACE =	NONE
TREE CANOPY COVER:	
MIN TREE CANOPY =	15 %
PROVIDED TREE CANOPY =	N/A



VICINITY MAP
SCALE: 1" = 4,000'



LOCATION MAP
SCALE: 1" = 500'

DESIGN INFORMATION:

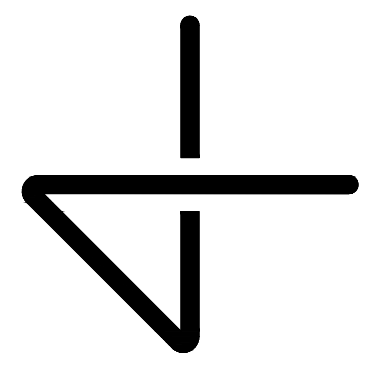
ADDITIONAL INFORMATION:
DISTURBANCE AREA: 0.065 AC (2,822 SF)
PROPOSED IMPERVIOUS AREA: 1,850 SF
MISS UTILITY TICKET NO.: A528202025

UTILITY OWNERS:

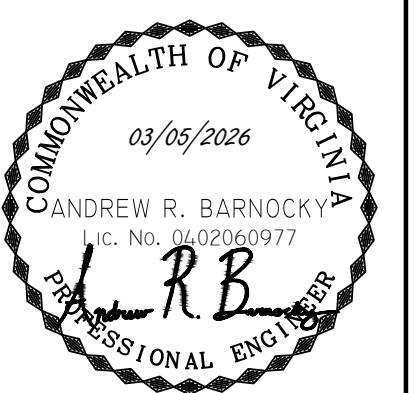
GAS: CITY OF CHARLOTTESVILLE
WATER: CITY OF CHARLOTTESVILLE
STORM SEWER: CITY OF CHARLOTTESVILLE
SANITARY SEWER: CITY OF CHARLOTTESVILLE

Sheet Index

SHEET NUMBER	SHEET TITLE
C0.0	Cover Sheet
C0.1	General Notes and Legend
C1.0	Existing Conditions and Demolition
C2.0	Site Plan
C3.0	Grading Plan
C4.0	Site Details
C5.0	Landscaping Plan
7	TOTAL SHEETS



COVER SHEET
RIDGE ST FIRE STATION ACCESSIBILITY
FINAL SITE PLAN
CHARLOTTESVILLE, VIRGINIA



SUB No./DESCRIPTION
1 - 03/05/2026
FINAL SITE PLAN

LINE AND GRADE
Civil Engineering

C0.0

DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES DATE

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS (VDOT R&B STDS & SPECS), DEQ VIRGINIA STORMWATER MANAGEMENT HANDBOOK, THE RULES AND REGULATIONS GOVERNING WATER AND SANITARY SEWER CONSTRUCTION SPECIFICATIONS AND STANDARDS FOR THE PLAN APPROVING AUTHORITY, AND ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL ORDINANCES, CODES, AND LAWS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS, MATERIALS, DIMENSIONS, LOCATIONS, AND EXISTING ELEMENTS TO REMAIN PRIOR TO BEGINNING ANY WORK. IF CONDITIONS VARY FROM WHAT IS REPRESENTED IN THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- LOCATION OF EXISTING ELEMENTS SHOWN IN THESE DRAWINGS SHALL BE CONSIDERED RELATIVE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR IF DEEMED CRITICAL FOR PROPER EXECUTION OF THE WORK.
- SECTION CUTS AND DETAIL CALLOUTS INDICATED IN THE DRAWINGS ARE TYPICAL FOR THE PROJECT. THEY ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AND MAY NOT BE SHOWN EVERYWHERE THEY APPLY.
- SYMBOLS IN THE DRAWINGS ARE NOT TO SCALE.
- STATION VALUES REFERENCE CENTERLINE OR CONSTRUCTION BASELINE STATIONING, UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, BUILDING OCCUPANTS, PROPERTY, VEHICLES, AND PEDESTRIANS AT ALL TIMES IN ACCORDANCE WITH OSHA AND ALL APPLICABLE STATE AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF DAMAGES RESULTING FROM CONSTRUCTION ACTIVITIES.
- EQUIPMENT AND MATERIALS SHALL BE STORED IN DESIGNATED AREAS WHICH WILL NOT CAUSE HARM OR IMPACTS TO VEHICLES AND PEDESTRIANS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR MEASURES TAKEN TO ENSURE VEHICULAR AND PEDESTRIAN SAFETY THROUGH THE ENTIRE DURATION OF THE WORK. SAFETY IS PARAMOUNT.
- EQUIPMENT AND MATERIAL STORAGE SHALL NOT ENCUMBER THE OWNER'S OPERATIONS, SURROUNDING RIGHT OF WAY, OR ADJOINING GROUNDS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO PROPERTY AND GROUNDS CAUSED BY THE CARELESSNESS OR NEGLIGENCE OF HIS WORKMEN. DAMAGE TO PORTIONS OF THE PROPERTY NOT SUBJECT TO WORK UNDER THE CONTRACT SHALL BE REPAIRED TO THE FULL SATISFACTION OF THE OWNER AND ENGINEER, AT THE CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE FIRE PROTECTION READY FOR IMMEDIATE USE, DISTRIBUTED AROUND THE PROJECT, INCLUDING IN TEMPORARY STRUCTURES. EXISTING FIRE HOSE CONNECTIONS SHALL BE ACCESSIBLE AT ALL TIMES BY FIRE DEPARTMENT PERSONNEL. MATERIALS AND DEBRIS SHALL NOT BE STORED IN FRONT OF THE CONNECTION, THUS PREVENTING ACCESS. WHEN NECESSARY TO OBSTRUCT ACCESS TO PERFORM THE WORK, THE CONTRACTOR SHALL COORDINATE ACCESS PROCEDURES WITH THE FIRE MARSHALL PRIOR TO PERFORMING WORK.
- ALL WORK AREAS SHALL BE CLEANED AT THE END OF EACH WORK DAY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL CONSTRUCTION.
- ALL WORK SHALL BE LAID OUT PRIOR TO INSTALLATION OF NEW WORK. LAYOUT SHALL BE BASED ON FIELD MEASUREMENTS TO EXISTING ELEMENTS THAT WILL REMAIN IN PLACE AND PROTECTED SURVEY BENCHMARKS. DO NOT START INSTALLATION OF WORK UNTIL LAYOUT IS COMPLETE AND POTENTIAL CONFLICTS HAVE BEEN IDENTIFIED AND ADDRESSED.
- PROTECTION OF THE WORK: EFFECTIVELY PROTECT ALL MATERIALS AND EQUIPMENT DURING THE ENTIRE PERIOD OF CONSTRUCTION. REPLACE MATERIALS AND EQUIPMENT DAMAGED, LOST, OR STOLEN WITHOUT ADDITIONAL COST TO THE OWNER.
- PROTECT EXISTING MATERIALS DURING INSTALLATION OF TEMPORARY CONSTRUCTION AND PROTECTION ELEMENTS. DO NOT DEFACE OR REMOVE EXISTING MATERIALS IF INTENDED TO STAY. ATTACHMENTS OF TEMPORARY PROTECTION TO EXISTING CONSTRUCTION SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- OBTAIN ENGINEER REVIEW AND WRITTEN APPROVAL IN THE FORM OF A CONSTRUCTION CHANGE DIRECTIVE OR SUPPLEMENTAL INSTRUCTION BEFORE MAKING CHANGES OR ADDITIONS TO CONSTRUCTION OR REMOVING MATERIALS THAT WERE INTENDED TO REMAIN.
- NOTIFY ENGINEER OF VISIBLE CHANGES IN THE INTEGRITY OF MATERIALS OR COMPONENTS WHETHER DUE TO ENVIRONMENTAL CAUSES INCLUDING BIOLOGICAL ATTACK, UV DEGRADATION, FREEZING OR THAWING OR DUE TO STRUCTURAL DEFECTS INCLUDING CRACKS, MOVEMENT OR DISTORTION. DO NOT PROCEED WITH WORK IN QUESTION UNTIL DIRECTED BY THE ENGINEER.
- WHERE MISSING FEATURES ARE INDICATED TO BE REPAIRED OR REPLACED, PROVIDE FEATURES WHOSE DESIGNS ARE BASED ON ACCURATE DUPLICATIONS RATHER THAN ON CONJECTURAL DESIGNS, SUBJECT TO APPROVAL OF THE ENGINEER.
- WHERE WORK REQUIRES EXISTING FEATURES TO BE REMOVED, CLEANED AND REUSED, PERFORM THESE OPERATIONS WITHOUT DAMAGE TO THE MATERIALS THEMSELVES, TO ADJACENT MATERIALS, OR TO THE SUBSTRATE. WHEN CLEANING, MATCH SAMPLES OF EXISTING MATERIALS THAT HAVE BEEN CLEANED AND IDENTIFIED FOR ACCEPTABLE CLEANING LEVELS. AVOID OVER CLEANING TO PREVENT DAMAGE TO EXISTING MATERIALS DURING CLEANING.
- TEMPORARY MATERIALS MAY BE NEW OR USED, BUT MUST BE ADEQUATE FOR REQUIRED USAGE, MUST NOT CREATE UNSAFE CONDITIONS, AND MUST NOT VIOLATE REQUIREMENTS OF APPLICABLE CODES AND STANDARDS.
- CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD FOR A PROJECT SPECIFIC LIST OF REQUIRED SUBMITTALS PRIOR TO PROCURING MATERIALS. PROVIDE SUBMITTALS FOR ALL SITE SPECIFIC STRUCTURES, UTILITIES, DEVICES, AND MATERIALS. IF CONTRACTOR ELECTS TO USE THE PROPRIETARY PRODUCTS LISTED ON THE PLANS, SUBMITTALS WILL NOT BE REQUIRED FOR THOSE PRODUCTS UNLESS MODIFICATION OF MATERIAL OR INSTALLATION PROCEDURE IS REQUIRED. SUBMITTALS ARE REQUIRED IF CONTRACTOR WISHES TO USE ALTERNATE PRODUCTS. ALL ALTERNATE PRODUCTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER AND OWNER.
- CONTRACTOR SHALL CALL MISS UTILITY AT 1-800-552-7001 BEFORE CONSTRUCTION COMMENCES TO MARK ALL WORK AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MARKING ALL PRIVATE UTILITIES WITHIN ALL WORK AREAS.
- TREE AND PLANT ROOTS OR BRANCHES THAT MAY INTERFERE WITH THE WORK SHALL NOT BE TRIMMED OR CUT WITHOUT THE APPROVAL OF THE OWNER AND ENGINEER. ANY TREES OR PLANTS WHICH ARE SHOWN TO REMAIN THAT DO NOT INTERFERE WITH THE WORK, BUT ARE DAMAGED BY CONTRACTOR OR HIS SUB-CONTRACTORS, SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POLLUTION CONTROL MEASURES, INCLUDING DUST, SPILLS, AND IMPACTS FROM WIND AND RUNOFF.

WORK AREA PROTECTION AND MAINTENANCE:

- CLEARING AND GRUBBING SHALL BE CONFINED TO THE PERMITTED LIMITS OF DISTURBANCE (LOD) AS SHOWN IN THE DRAWINGS. AS DETERMINED BY THE VESMP AUTHORITY, ANY NON-PERMITTED DISTURBANCE OUTSIDE THE LOD SHALL BE MITIGATED AT THE SOLE EXPENSE OF THE CONTRACTOR. THIS INCLUDES BUT IS NOT LIMITED TO: SOIL AMENDMENTS, RESTORATIVE PLANTINGS, ADDITIONAL E&S MEASURES, PERMITTING AND ENGINEERING FEES, AND POLLUTANT REMOVAL CREDIT PURCHASES. THIS INCLUDES IMPACTS ASSOCIATED WITH CONSTRUCTION ACCESS OUTSIDE THE LOD.
- DISTURBED AREAS NOT RECEIVING PAVEMENT, AND WHERE INDICATED ON PLANS, SHALL RECEIVE TOPSOIL AND PLANTINGS AS NECESSARY TO AFFECT PERMANENT VEGETATIVE COVER. SEED MIX SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE DEQ VIRGINIA STORMWATER MANAGEMENT HANDBOOK, CH. 7, C-SSM-10.
- CONTRACTOR SHALL NOTIFY PROPERTY OWNERS A MINIMUM OF 48 HOURS PRIOR TO WORKING ON ANY PRIVATE PROPERTY TO COORDINATE ACCESS AND TO DETERMINE A STORAGE AREA FOR MATERIALS IF NEEDED. COORDINATION OF ACCESS TO PUBLIC RIGHT-OF-WAY AND STORAGE OF MATERIALS THEREON SHALL BE COORDINATED WITH THE ENGINEER. CONTRACTOR'S FAILURE TO NOTIFY AND COORDINATE WITH PROPERTY OWNERS AND/OR THE ENGINEER MAY RESULT IN DELAYS. NO ADDITIONAL COMPENSATION OR TIME FOR PERFORMANCE WILL BE GIVEN FOR ANY SUCH DELAYS.
- THE WORK SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY APPEARANCE AT ALL TIMES AT THE SOLE EXPENSE OF THE CONTRACTOR. ALL DEBRIS AND SURPLUS MATERIAL COLLECTED SHALL BE DISPOSED OF BY THE CONTRACTOR AT A PERMITTED DISPOSAL SITE SEPARATE FROM THE WORK SITE.
- RIGHT-OF-WAY MONUMENTS AND PROPERTY PINS DISTURBED BY CONTRACTOR THAT ARE NOT SHOWN ON THE PLANS TO BE DISTURBED SHALL BE RESTORED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- MEASURES TO CONTROL EROSION AND SEDIMENT SHALL BE PROVIDED PURSUANT TO AND IN COMPLIANCE WITH CURRENT FEDERAL, STATE AND LOCAL REGULATIONS. THE INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND/OR APPROVAL OF THE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR OR HIS AGENT OF ANY LEGAL RESPONSIBILITY WHICH MAY BE REQUIRED BY STATE CODE OR ANY ORDINANCE ENACTED BY THE CITY OF CHARLOTTEVILLE. CONTRACTOR SHALL PROVIDE THE NECESSARY EROSION AND SEDIMENT CONTROLS REQUIRED TO PREVENT MUD AND DEBRIS FROM BEING WASHED ONTO THE STREETS OR ADJACENT PROPERTY. CONTRACTOR'S VEHICLES SHALL BE KEPT CLEAN TO PREVENT MUD OR DUST FROM BEING DEPOSITED ON STREETS.
- CONTRACTOR SHALL CLEAN AND STABILIZE ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF WORK. TOPSOIL, SEED, FERTILIZER, AND MULCH SHALL BE PLACED IN ACCORDANCE WITH CITY OF CHARLOTTEVILLE STANDARDS ON ALL DISTURBED AREAS, UNLESS OTHERWISE INDICATED ON THE PLANS.
- FOR FURTHER REQUIREMENTS AND DETAILS OF TREE PRESERVATION, PLANTING, AND EROSION AND SEDIMENT CONTROL, REFER TO THE DEQ VIRGINIA STORMWATER MANAGEMENT HANDBOOK, CHAPTER 7.
- AN EROSION AND SEDIMENT CONTROL CERTIFIED RESPONSIBLE LAND DISTURBER (CRLD) IS REQUIRED FOR ALL LAND DISTURBANCE ACTIVITIES.
- THE CONTRACTOR SHALL PROPERLY INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROLS FOR THE LIFE OF THE PROJECT; AND ROUTINELY CHECK CONTROL DEVICES BEFORE, DURING AND AFTER STORM EVENTS. TEMPORARY CONTROLS SHALL BE REMOVED AFTER SITE STABILIZATION AND PRIOR TO PROJECT CLOSEOUT.

CONCRETE AND ASPHALT:

- ALL MATERIAL INSIDE FORMS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS. SUB-BASE MATERIAL SHALL BE COMPACTED BY MECHANICAL MEANS.
- CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (F) IN THE SHADE AND RISING.
- CONCRETE SHALL NOT BE PLACED UNTIL STEEL DOWELS HAVE BEEN INSTALLED IN EXISTING CONCRETE IN ACCORDANCE WITH CITY OF CHARLOTTEVILLE STANDARDS.
- 1/2" PREMOLDED EXPANSION JOINT MATERIAL SHALL BE PLACED AT A MAXIMUM OF 30' INTERVALS ON NEW SIDEWALK, CURB, CURB & GUTTER, AT EACH END OF DRIVEWAY ENTRANCES, AT EACH END OF HANDICAP RAMPS, SOME POINT ON ENTRANCE WALKS AND STEPS ADJUSTMENTS, AND ALONG BUILDINGS AND WALLS WHERE NEW CONCRETE SIDEWALKS ARE PLACED AGAINST THEM.
- ALL EXISTING CURBS, CURB & GUTTER, SIDEWALK AND STEPS TO BE REMOVED SHALL BE TAKEN OUT TO THE NEAREST JOINT. DEMOLITION AND DISPOSAL COST TO BE INCLUDED IN OTHER UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
- EXISTING ASPHALT CONCRETE PAVEMENT SHALL BE SAW CUT AND REMOVED AS PER THE SPECIFICATIONS. REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO NOT TEAR, BULGE OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL. ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.
- DISPOSAL OF ALL EXCESS AND DEMOLITION MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR.

UTILITIES:

- PRIOR TO CONSTRUCTION OR EXCAVATION, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY OF LOCATING ANY AND ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST WITHIN OR CROSS THROUGH THE AREA OF CONSTRUCTION WHETHER OR NOT THEY ARE SHOWN ON THE PLANS. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CALL "MISS UTILITY OF VIRGINIA" AT 1-800-552-7001. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS SOLE EXPENSE, ANY EXISTING UTILITY DAMAGED DURING CONSTRUCTION.
- THE PLAN DOES NOT GUARANTEE THE EXISTENCE, NONEXISTENCE, SIZE, TYPE, LOCATION, ALIGNMENT, OR DEPTH OF ANY OR ALL UNDERGROUND UTILITIES OR OTHER FACILITIES, WHERE SURFACE FEATURES (MANHOLES, CATCH BASINS, VALVES, ETC.) ARE UNAVAILABLE OR UNCONCLUSIVE. INFORMATION SHOWN MAY BE FROM UTILITY OWNER'S RECORDS AND/OR ELECTRONIC LINE TRACING, THE RELIABILITY OF WHICH IS UNCERTAIN. THE CONTRACTOR SHALL PERFORM TEST EXCAVATIONS OR OTHER INVESTIGATION AS NECESSARY TO VERIFY LOCATION AND CLEARANCES. A PUBLIC UTILITY REPRESENTATIVE/INSPECTOR SHALL BE PRESENT DURING TEST EXCAVATIONS, WHERE REQUIRED.
- WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM THE DAMAGE DUE TO THE WORK. ALL METHODS FOR SUPPORTING AND MAINTAINING THE EXISTING UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY COMPANY AND/OR THE ENGINEER OF RECORD. CONTRACTOR SHALL EXERCISE CARE TO INSURE THAT THE GRADE AND ALIGNMENT OF EXISTING UTILITIES ARE MAINTAINED AND THAT NO JOINTS OR CONNECTIONS ARE DISPLACED. BACKFILL SHALL BE CAREFULLY PLACED AND COMPACTED TO PREVENT FUTURE DAMAGE OR SETTLEMENT TO EXISTING UTILITIES. ANY UTILITIES REMOVED AS PART OF THE WORK, AND NOT INDICATED TO BE REMOVED OR ABANDONED, SHALL BE RESTORED USING MATERIALS AND INSTALLATION EQUAL TO THE UTILITY COMPANY'S STANDARDS.
- CONTRACTOR SHALL NOTIFY LANDOWNERS, TENANTS AND THE ENGINEER A MINIMUM OF 72 HOURS PRIOR TO THE INTERRUPTION OF ANY SERVICES. WORK SHALL BE SEQUENCED TO KEEP SERVICE INTERRUPTIONS TO A MINIMUM.
- CONTRACTOR TO MAKE ANY NECESSARY ADJUSTMENTS TO ALL UTILITY JUNCTION BOXES, VALVE BOXES, MANHOLES, CLEAN-OUTS, AND OTHER GRADE RELATED ITEMS IN SIDEWALK, ROADWAY, AND/OR ADJACENT AREAS TO MATCH FINISHED GRADE. COSTS ARE TO BE INCLUDED UNDER THE VARIOUS UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE.
- PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II, ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE. SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
- ALL BUILDINGS THAT MAY PRODUCE WASTES CONTAINING MORE THAN ONE HUNDRED (100) PARTS PER MILLION OF FATS, OIL, OR GREASE SHALL INSTALL A GREASE TRAP. THE GREASE TRAP SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE. MAINTAIN RECORDS OF CLEANING AND MAINTENANCE, AND BE INSPECTED ON REGULAR INTERVALS BY THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
- CONTACT THE REGULATORY COMPLIANCE ADMINISTRATOR WITH ANY QUESTIONS REGARDING THE GREASE TRAP OR BACKFLOW PREVENTION DEVICES.

EARTH WORK AND SITE CONDITIONS:

- EXCEPT AS OTHERWISE SHOWN ON THE PLANS, ALL CUTS AND FILLS SHALL BE NO GREATER THAN 3:1.
- UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS, ALL FILL MATERIALS SHALL BE COMPACTED TO 95% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99 METHOD A, WITHIN PLUS OR MINUS 2% OF OPTIMUM MOISTURE, FOR THE FULL WIDTH AND THE DEPTH OF THE FILL.
- ALL BACKFILL SHALL CONSIST OF CLEAN BORROW FREE OF DELETERIOUS MATERIALS, EXCESSIVE ORGANIC CONTENT, AND TRASH.
- THE CONTRACTOR SHALL ADD, CHANGE, OR RELOCATE EROSION AND SEDIMENT CONTROLS AT THE DIRECTION OF THE CITY OF CHARLOTTEVILLE E&S INSPECTOR TO THEIR SATISFACTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL GRADING AND IMPROVEMENTS TO BE CONFINED TO THE PROJECT AREA UNLESS OTHERWISE INDICATED. OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PERMITTED SEPARATELY BY THE CONTRACTOR.
- PROPOSED GRADES SHALL BE FIELD ADJUSTED TO CONFORM TO THE INTENT OF THE TYPICAL SECTIONS. A SMOOTH GRADE SHALL BE MAINTAINED FROM THE BASELINE TO THE PROPOSED EDGE OF PAVEMENT OR FACE OF CURB TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR PONDING OF WATER ON ALL PAVED SURFACES.
- CONTRACTOR SHALL MAINTAIN A SMOOTH GRADE TO THE PROPOSED EDGE OF PAVEMENT OR FACE OF CURB TO PROVIDE POSITIVE DRAINAGE ON ALL PAVED SURFACES. ANY AREAS WHERE WATER IS IMPOUNDED SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST. POSITIVE DRAINAGE OF ALL ROADWAY AREAS TO THE STORM DRAIN INLETS OR OTHER ACCEPTABLE DRAINAGE CHANNELS AS NOTED ON THE PLANS IS REQUIRED.
- CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERT AND FLOWS AT ALL TIMES DURING THE WORK. CONTRACTOR SHALL PAY FOR ALL PERSONAL INJURY AND PROPERTY DAMAGE WHICH MAY OCCUR AS A RESULT OF FAILING TO MAINTAIN ADEQUATE DRAINAGE.
- ALL PIPES, DI'S AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEER BEFORE BEING BACKFILLED OR BURIED. THE ENGINEER MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO UNCOVER AND RE-COVER SUCH STRUCTURES IF THE HAVE BEEN BACKFILLED OR BURIED WITHOUT SUCH INSPECTION.
- ALL STORM CHANNELS, DRAINS, AND SEWER SYSTEMS SHALL BE CLEANED UPON COMPLETION OF THE PROPOSED WORK. SEDIMENT, CHEMICALS, AND/OR DEBRIS REMOVED FROM THESE SYSTEMS SHALL BE REMOVED AND DISPOSED OF PROPERLY.

MAINTENANCE OF TRAFFIC:

- TEMPORARY STREET CLOSURE PERMIT REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING SPACES AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE TRAFFIC ENGINEER HAVING JURISDICTION.
- THE CURRENT VERSIONS OF THE VIRGINIA WORK AREA PROTECTION MANUAL AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL GOVERN ALL TEMPORARY TRAFFIC CONTROL OPERATIONS THROUGHOUT CONSTRUCTION OF THIS PROJECT. ADHERENCE TO APPLICABLE PROVISIONS OF THE MANUAL IS REQUIRED OF THE CONTRACTOR EVEN THOUGH DETAILED REFERENCE TO ALL SUCH PROVISIONS MAY NOT BE CONTAINED IN THE PLANS.
- ALL EXISTING RESIDENTIAL AND COMMERCIAL ENTRANCES SHALL BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- NO TEMPORARY PAVEMENT MARKING SHALL BE ALLOWED ON THE FINAL ASPHALT SURFACE COURSE.
- THE CONTRACTOR SHALL COORDINATE WORK TIMES WITH THE OWNER, ENGINEER OF RECORD, AND APPROPRIATE RIGHT-OF-WAY PERMITTING AGENCY. WORK SHALL BE STAGED AND SEQUENCED TO MINIMIZE IMPACTS TO TRAFFIC DURING PEAK TIMES. IF ANY LANE CLOSURES OR ENCROACHMENTS ARE REQUIRED, CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING ENCROACHMENT.
- IF APPLICABLE, ALL TRAFFIC SIGNALS SHALL BE ADJUSTED AS DEEMED NECESSARY BY THE ENGINEER PRIOR TO ANY TRAFFIC CHANGES.
- WHEN WORK IN AN AREA OF EXCAVATION ADJACENT TO THE TRAVELWAY IS DISCONTINUED FOR A SHORT PERIOD OF TIME, SUCH AS AT NIGHT, THE CONTRACTOR SHALL BACKFILL THE CUT AREAS ADJACENT TO THE BUSTING PAVEMENT WITH A 'FILLET OF MATERIAL'. THE FILLET SHALL BE COMPOSED OF THE SAME MATERIAL (EXCAVATION, BORROW, BASE COURSE, ETC.) ALL COSTS FOR PLACING AND REMOVING THIS FILLET OF MATERIAL SHALL BE INCLUDED IN THE PRICE BID FOR OTHER BID ITEMS OF WORK ON THIS PROJECT, AND NO ADDITIONAL CHARGE WILL BE ALLOWED.
- EXISTING SURFACE, AGGREGATE BASE AND SUBBASE MATERIAL WHICH WILL BE DEMOLISHED OR OBLITERATED DURING CONSTRUCTION AND WHICH IS SUITABLE FOR MAINTENANCE OF TRAFFIC AS DETERMINED BY THE ENGINEER, SHALL BE SALVAGED AND UTILIZED FOR MAINTENANCE OF TRAFFIC PRIOR TO THE USE OF COMMERCIAL MATERIAL. WHEN NOT SPECIFIED AS A SEPARATE PAY ITEM, THE REMOVAL AND SALVAGING OF EXISTING SURFACES AND AGGREGATE BASE AND SUBBASE MATERIAL WILL BE MEASURED AND PAID FOR AS REGULAR EXCAVATION IN ACCORDANCE WITH SECTION 303 OF THE VDOT ROAD AND BRIDGE SPECIFICATIONS.
- CONSTRUCT ALL INTERSECTIONS AND DRIVEWAYS UNDER TRAFFIC, UNLESS A DETOUR PLAN HAS BEEN PREPARED AND APPROVED.
- IF USED, TEMPORARY TRAFFIC BARRIER SERVICE SHALL BE INSTALLED AND REMOVED SO AS NOT TO PRESENT ANY BLUNT END OR HAZARD TO THE MOTORING PUBLIC.
- CONTRACTOR SHALL NOTIFY TRANSIT PROVIDERS A MINIMUM OF TWO WEEKS PRIOR TO ANY IMPACT OR DISRUPTION TO REGULAR SERVICE OR STOPS.
- ALL EXISTING PAVEMENT MARKINGS CONFLICTING WITH PROPOSED CONSTRUCTION PAVEMENT MARKINGS (IF USED) SHALL BE ERADICATED.
- INSTALLATION AND REMOVAL OF TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE SECTION 66.25 OF THE WORK AREA PROTECTION MANUAL.
- USE APPROPRIATE SIGNS TO SHIFT PEDESTRIAN TRAFFIC AS NEEDED.
- CONTRACTOR SHALL ASSURE ENDS OF TEMPORARY CONCRETE BARRIER (IF USED) DO NOT OBSTRUCT INTERSECTION SIGHT LINES.

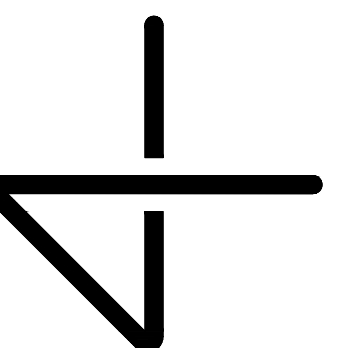
FIRE PREVENTION:

- SMOKING SHALL ONLY BE ALLOWED IN DESIGNATED SPACES WITH PROPER RECEPTACLES. "NO SMOKING" SIGNS SHALL BE POSTED AT EACH BUILDING SITE AND WITHIN EACH BUILDING DURING CONSTRUCTION PER VIRGINIA STATEWIDE FIRE PREVENTION CODE.
- OVERHEAD WIRING OR OTHER OVERHEAD OBSTRUCTIONS SHALL NOT BE LOWER THAN 13 FEET 6 INCHES OVER A PUBLIC STREET PER THE VIRGINIA STATEWIDE FIRE PREVENTION CODE.
- CONTRACTOR SHALL ENSURE THAT BUILDING STREET NUMBERS ARE PLAINLY VISIBLE FROM THE FRONTAGE STREET AT ALL TIMES DURING CONSTRUCTION FOR EMERGENCY RESPONDERS, PER VIRGINIA STATEWIDE FIRE PREVENTION CODE.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIALS ARRIVE ON SITE. WASTE AND COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH DAY AND DISPOSED OF IN ACCORDANCE WITH VIRGINIA STATEWIDE FIRE PREVENTION CODE.
- OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 35 OF THE VIRGINIA STATEWIDE FIRE PREVENTION CODE.
- FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED IN ACCORDANCE WITH THE VIRGINIA STATEWIDE FIRE PREVENTION CODE.
- VEHICULAR ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED AT ALL CONSTRUCTION AND DEMOLITION SITES AND TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICULAR ACCESS SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS AND VEHICLE LOADING UNDER ALL WEATHER CONDITIONS IN ACCORDANCE WITH THE VIRGINIA STATEWIDE FIRE PREVENTION CODE.
- GASOLINE AND OTHER FLAMMABLE LIQUIDS SHALL BE STORED AND DISPENSED FROM UL LISTED SAFETY CONTAINERS IN CONFORMANCE WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS' RECOMMENDATIONS.

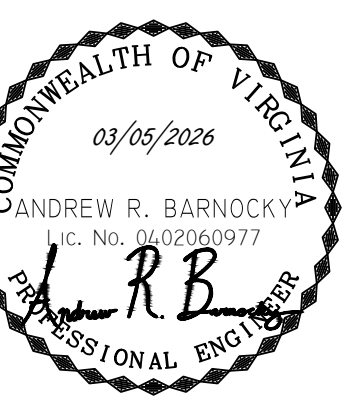
PROPOSED	LEGEND	EXISTING
	SANITARY CENTERLINE	
	WATER CENTERLINE	
	STORM SEWER	
	GAS LINE	
	UNDERGROUND POWER	
	UNDERGROUND COMMUNICATIONS	
	OVERHEAD UTILITY	
	CONTOUR LINE	
	UTILITY POLE	
	CURB / CURB AND GUTTER	
	SPILL CURB WITH TRANSITION AREA	
	DETECTABLE WARNING STRIP	
	ADA ACCESS PATH AND LANDING	
	PAVEMENT MARKING LINE	
	PARKING / ADA PARKING COUNTERS	
	SIGN	
	BUILDING INGRESS / EGRESS SYMBOL	
	BUILDING LINE	
	BUILDING OVERHEAD / PROJECTION	
	WALL	
	PROPERTY LINE	
	EASEMENT LINE	
	BUILDING SETBACK LINE	
	ROAD CENTERLINE	
	CHANNEL CENTERLINE	
	BERM CENTERLINE	
	LIMITS OF DISTURBANCE	
	100-YR FLOODPLAIN	
	REGULATORY FLOODWAY	
	WETLAND	
	WATER BODY	
	TREELINE	
	TREE / SHRUB	
	REGULATED STEEP SLOPES	
	CONCRETE	
	BMP/SWM	
	RIPRAP	

ABBREVIATIONS

AC	ACRES	LVC	LENGTH OF VERTICAL CURVE
ADJ	ADJUST	MAX	MAXIMUM
APPROX	APPROXIMATE	MIN	MINIMUM
BC	BACK OF CURB	ME	MATCH EXISTING
BLDG	BUILDING	NIC	NOT IN CONTRACT
BM	BENCHMARK	N.T.S.	NOT TO SCALE
BVCS	BEGIN VERTICAL CURVE STATION	OC	ON CENTER
BVCE	BEGIN VERTICAL CURVE ELEVATION	OD	OUTSIDE DIAMETER
BW	BOTTOM OF WALL	O/S	OFFSET
CL	CENTERLINE	PC	POINT OF CURVATURE
CF	CUBIC FEET	PCC	POINT OF COMPOUND CURVATURE
CG	CURB AND GUTTER	PI	POINT OF INTERSECTION
CONC	CONCRETE	PRC	POINT OF REVERSE CURVATURE
D OR Δ	DELTA ANGLE	PROP	PROPOSED
DIA	DIAMETER	PT	POINT OF TANGENCY
EC	EDGE OF CONCRETE	PVC	POINT OF VERTICAL CURVATURE / POLYVINYL CHLORIDE
EG	EXISTING GRADE	PVI	POINT OF VERTICAL INTERSECTION
EL/ELEV	ELEVATION	PVT	POINT OF VERTICAL TANGENCY
EP	EDGE OF PAVEMENT	R	RADIUS
EVCS	END VERTICAL CURVE STATION	ROW	RIGHT-OF-WAY
EVCE	END VERTICAL CURVE ELEVATION	SAN	SANITARY SEWER
EX	EXISTING	SCH	SCHEDULE (PIPE WALL THICKNESS)
FG	FINISHED GRADE	SD	STORM DRAIN
FND	FOUNDATION	SF	SQUARE FEET
GRVL	GRAVEL	SM	SANITARY MANHOLE
HC	HANDICAP	STA	STATION
HP	HIGH POINT	SW	SIDEWALK
ID	INSIDE DIAMETER	TC	TOP OF CURB
IRR	IRRIGATION	TEMP	TEMPORARY
INV	INVERT	THT	THROAT
LAT	LATERAL	TW	TOP OF WALL
LF	LINEAR FEET	TYP	TYPICAL
LOD	LIMITS OF DISTURBANCE	WSEL	WATER SURFACE ELEVATION
LP	LOW POINT		



GENERAL NOTES AND LEGEND
RIDGE ST FIRE STATION ACCESSIBILITY
FINAL SITE PLAN
 CHARLOTTEVILLE, VIRGINIA

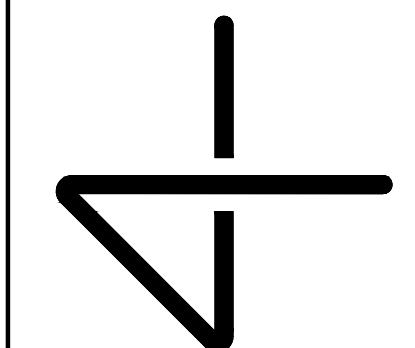


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FINAL SITE PLAN

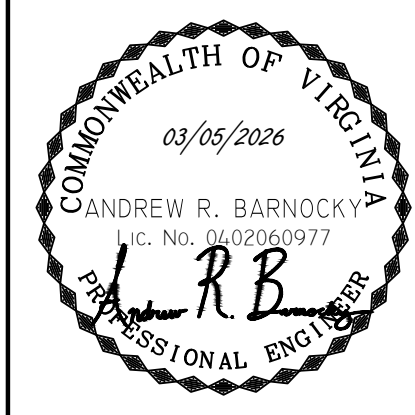
LINE
AND
GRADE

Civil Engineering

C0.1



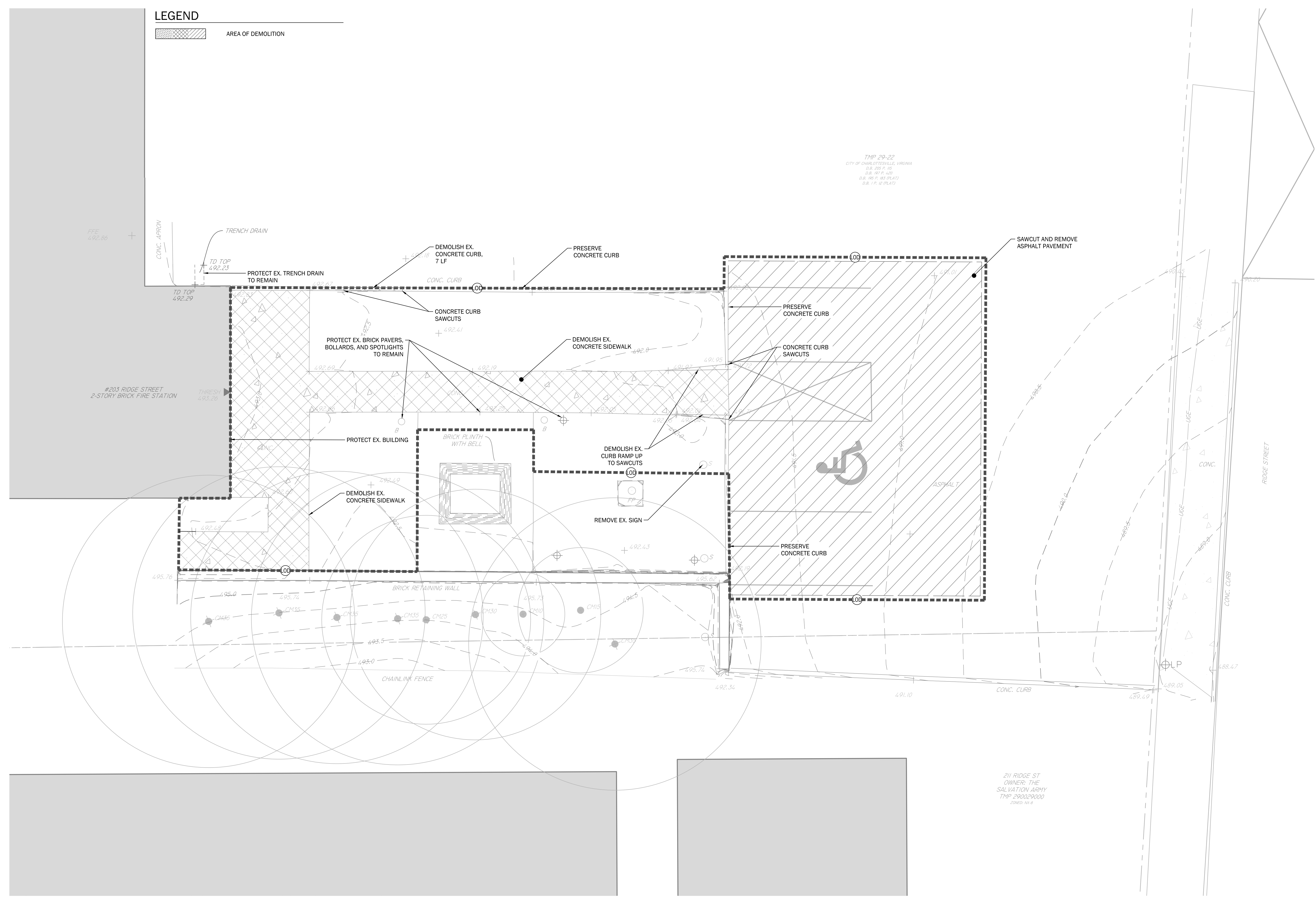
EXISTING CONDITIONS AND DEMOLITION
RIDGE ST FIRE STATION ACCESSIBILITY
FINAL SITE PLAN
CHARLOTTESVILLE, VIRGINIA



SUB No./DESCRIPTION
1: 03/05/2026
FINAL SITE PLAN

LINE AND GRADE
Civil Engineering

C1.0

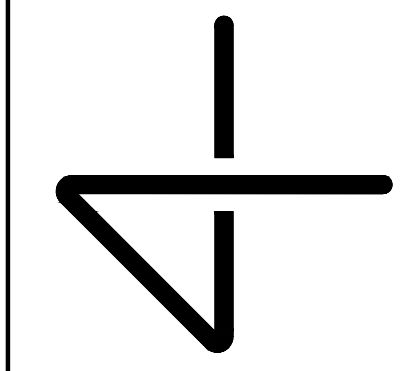


TMP 29-22
CITY OF CHARLOTTESVILLE, VIRGINIA
D.B. 205 P. 85
D.B. 107 P. 420
D.B. 185 P. 83 (PLAT)
D.B. 1 P. 41 (PLAT)

211 RIDGE ST
OWNER: THE SALVATION ARMY
TMP 290029000
ZONED: M-2

LEGEND
[Hatched Box] AREA OF DEMOLITION

1 EXISTING CONDITIONS & DEMOLITION
1" = 5' 0" 5 10



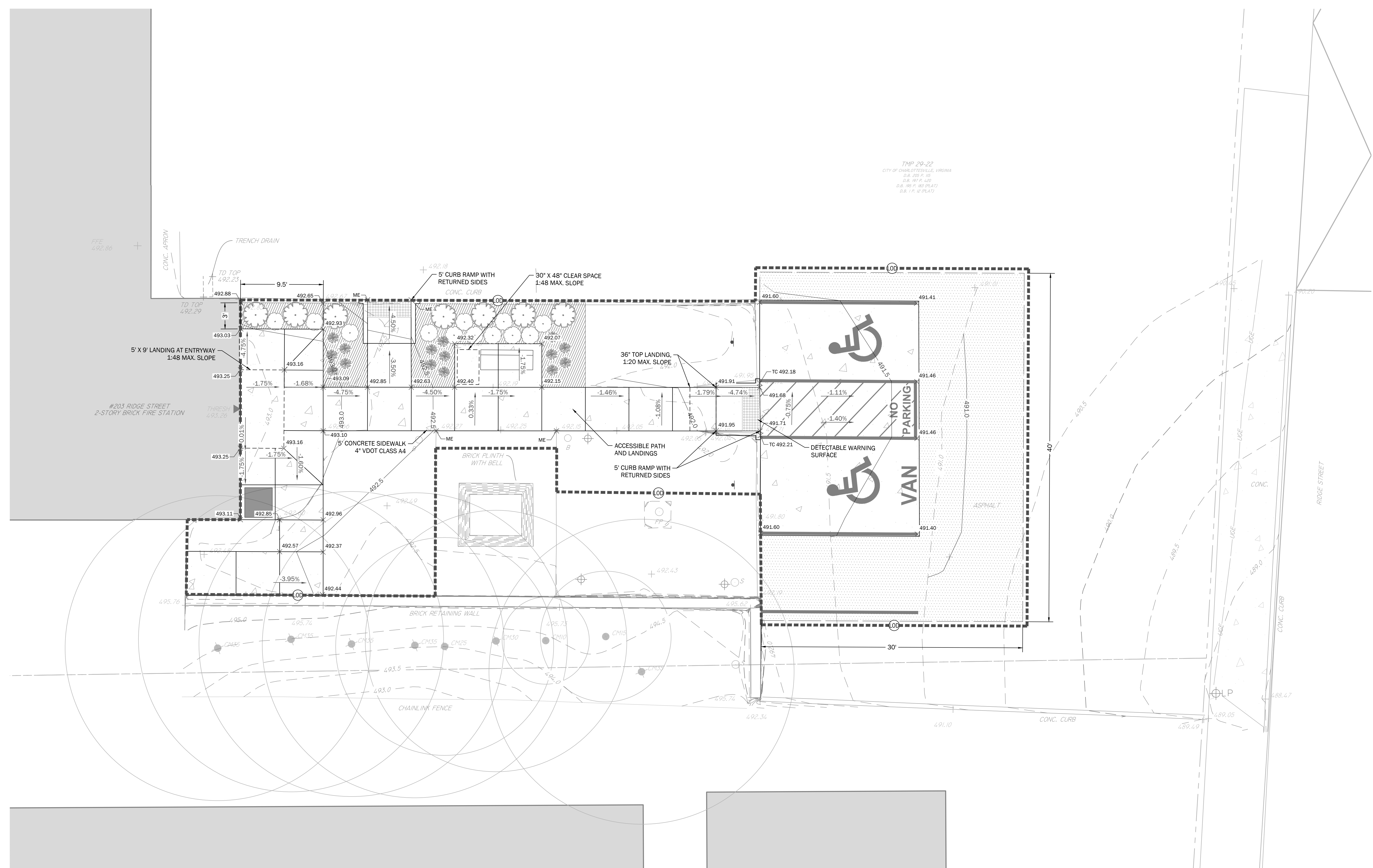
GRADING PLAN
RIDGE ST FIRE STATION ACCESSIBILITY
FINAL SITE PLAN
CHARLOTTESVILLE, VIRGINIA



SUB No./DESCRIPTION
1: 03/05/2026
FINAL SITE PLAN

LINE AND GRADE
Civil Engineering

C3.0

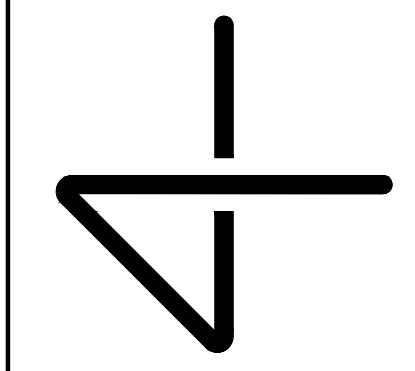


TMP 29-22
CITY OF CHARLOTTESVILLE, VIRGINIA
D.B. 205 P. 85
D.B. 107 P. 420
D.B. 185 P. 83 (PLAT)
D.B. 1 P. 47 (PLAT)

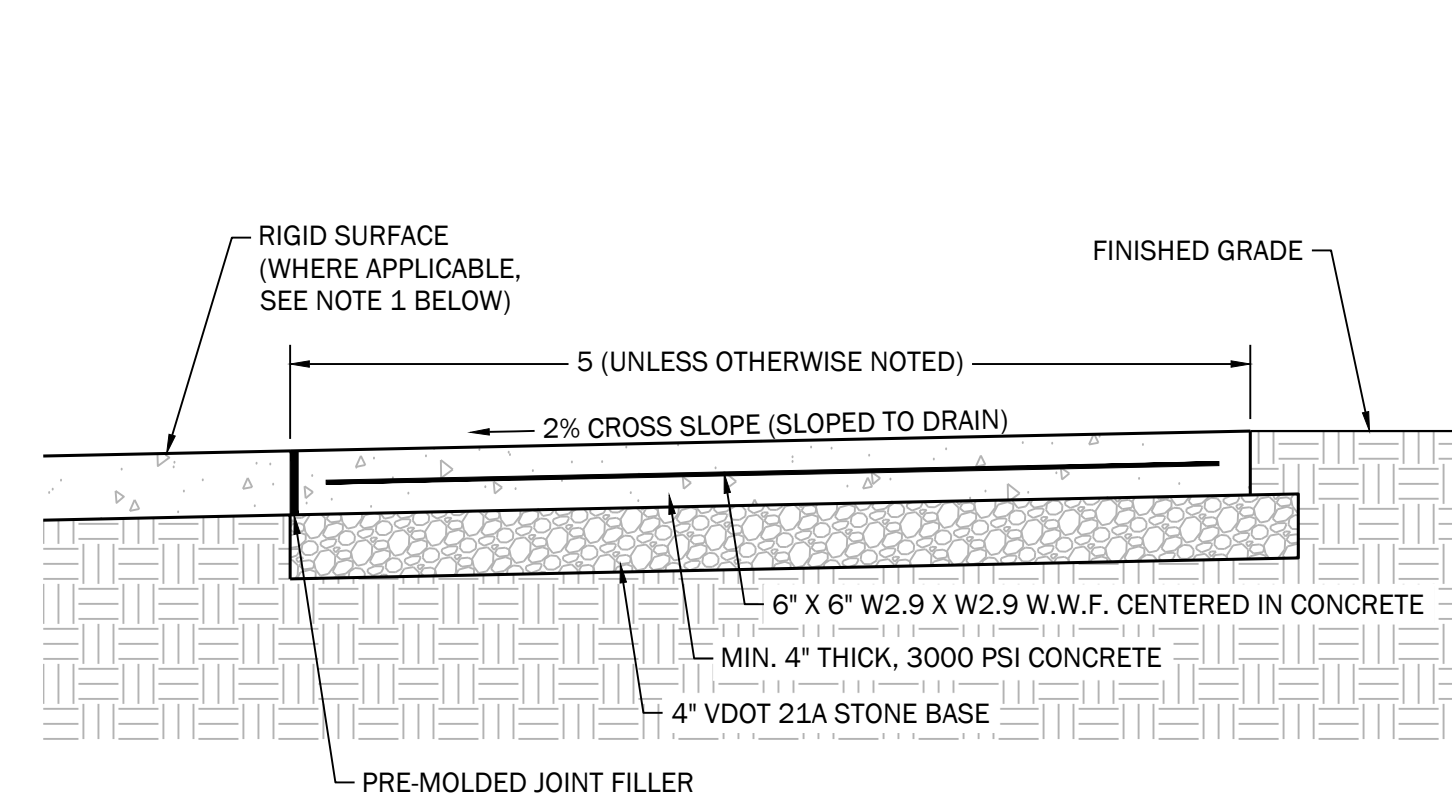
NOTES:

- 1. AT A MINIMUM, THE ACCESSIBLE PATH IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET REQUIREMENTS OUTLINED IN THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
- 2. *DESIGN TARGET VALUES* ABOVE AND BEYOND ADA STANDARDS AS OUTLINED IN CHARLOTTESVILLE STANDARDS AND DESIGN MANUAL TABLE 12-7 ARE MET OR EXCEEDED WHERE POSSIBLE WITHIN EXISTING CONDITION CONSTRAINTS.

1 GRADING PLAN
1" = 5' 0" 5 10

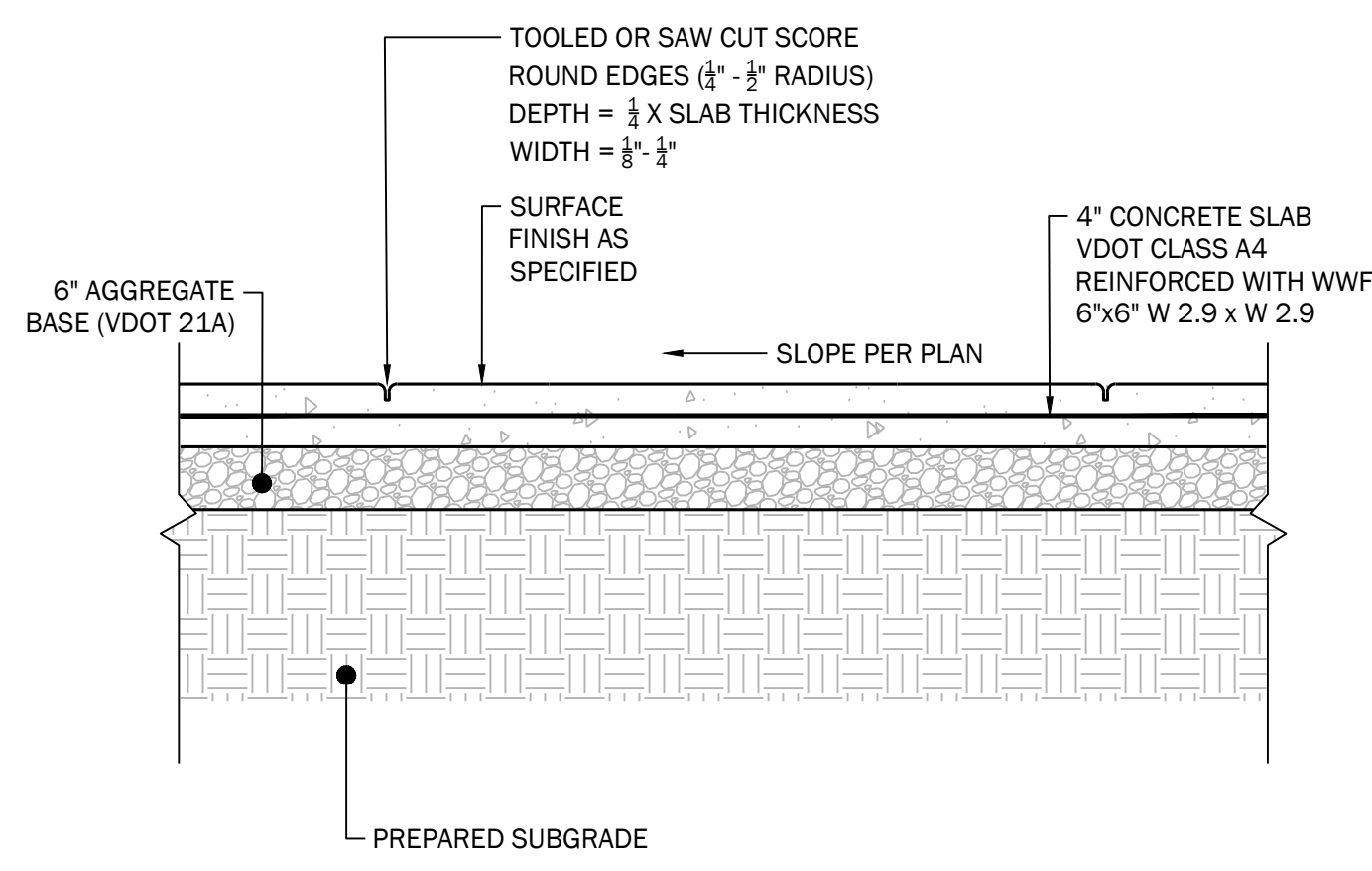


SITE DETAILS
RIDGE ST FIRE STATION ACCESSIBILITY
FINAL SITE PLAN
 CHARLOTTESVILLE, VIRGINIA

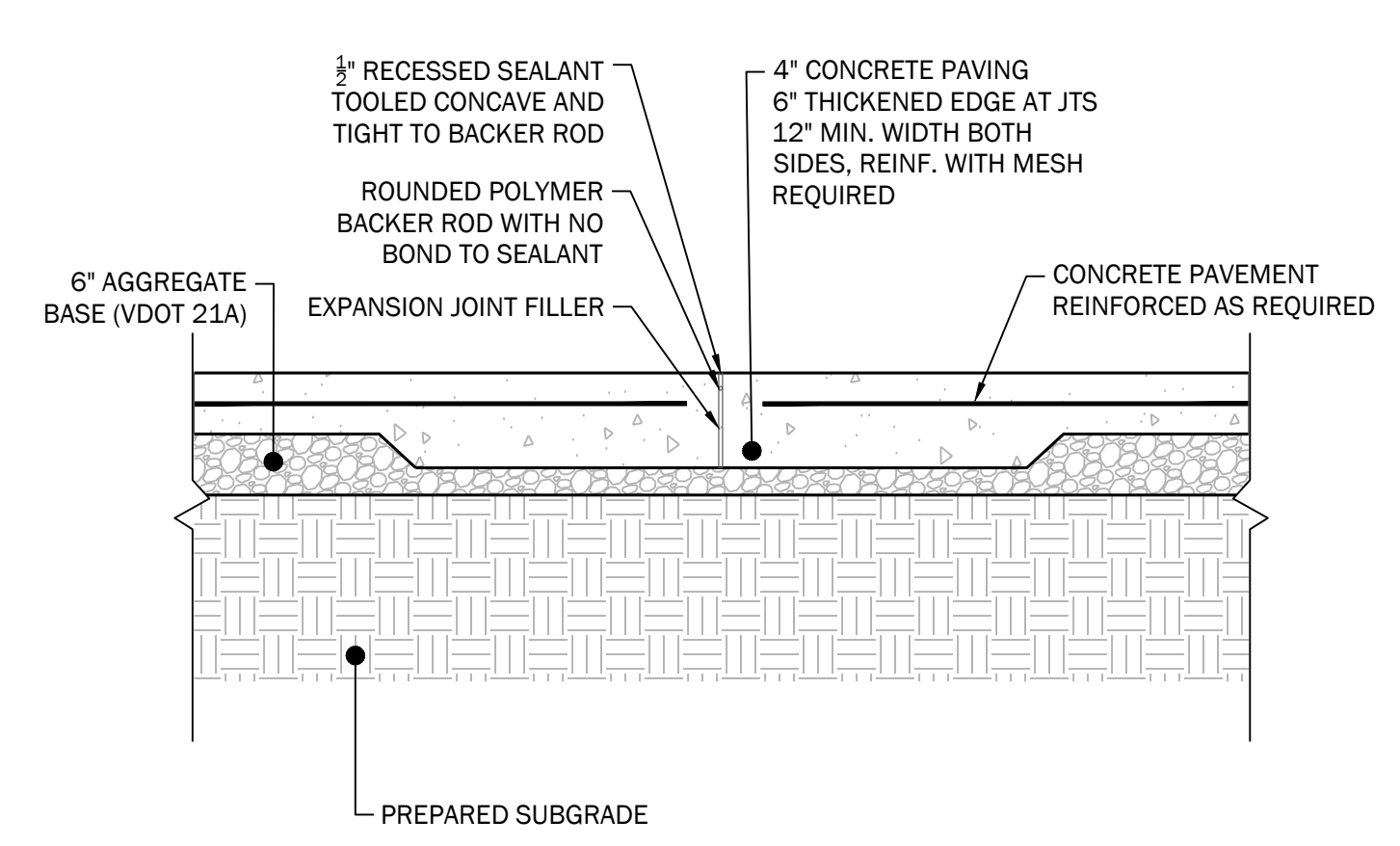


- NOTE:**
- WHERE SIDEWALK ABUTS PAVEMENT, CONCRETE, BRICK, CURB, BUILDING, OR OTHER HARD SURFACE, CONTRACTOR TO PROVIDE PRE-MOLDED JOINT FILLER AND EXPANSION JOINT AS SHOWN ABOVE.

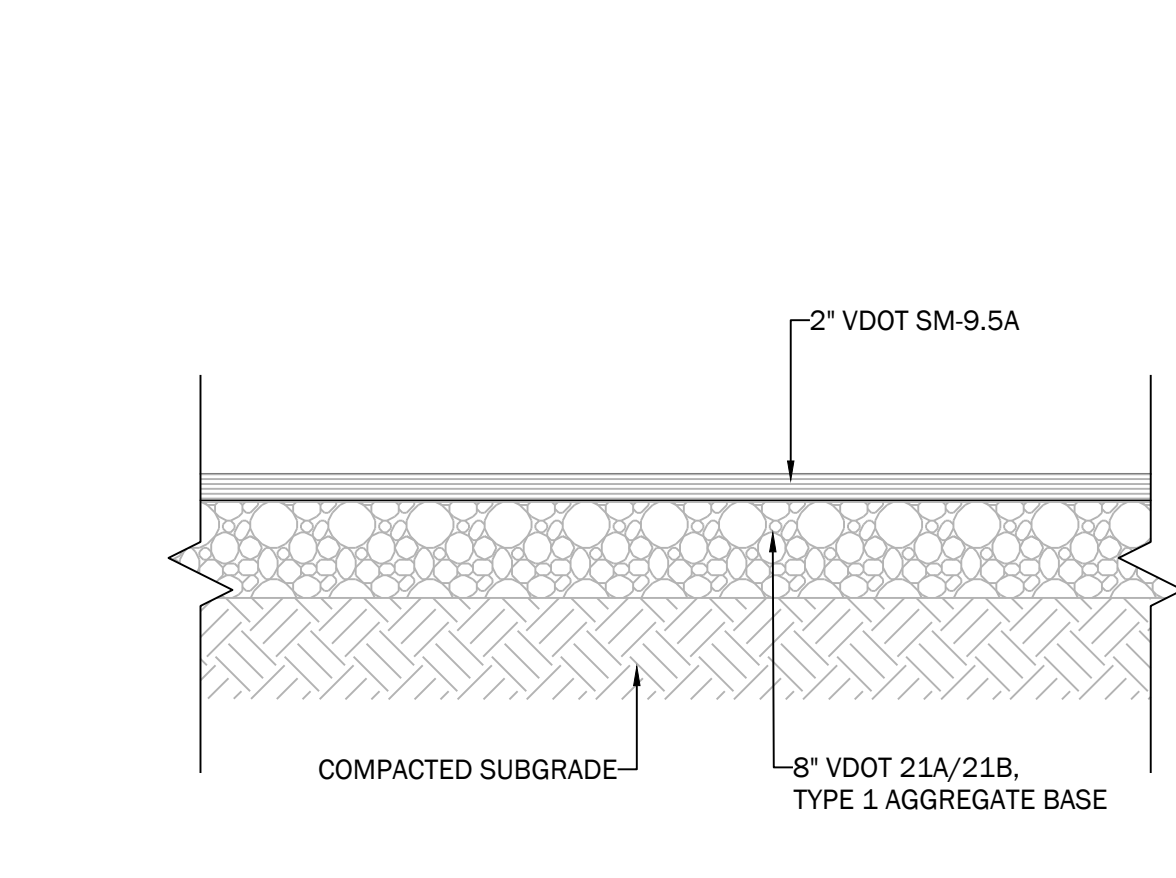
① SIDEWALK



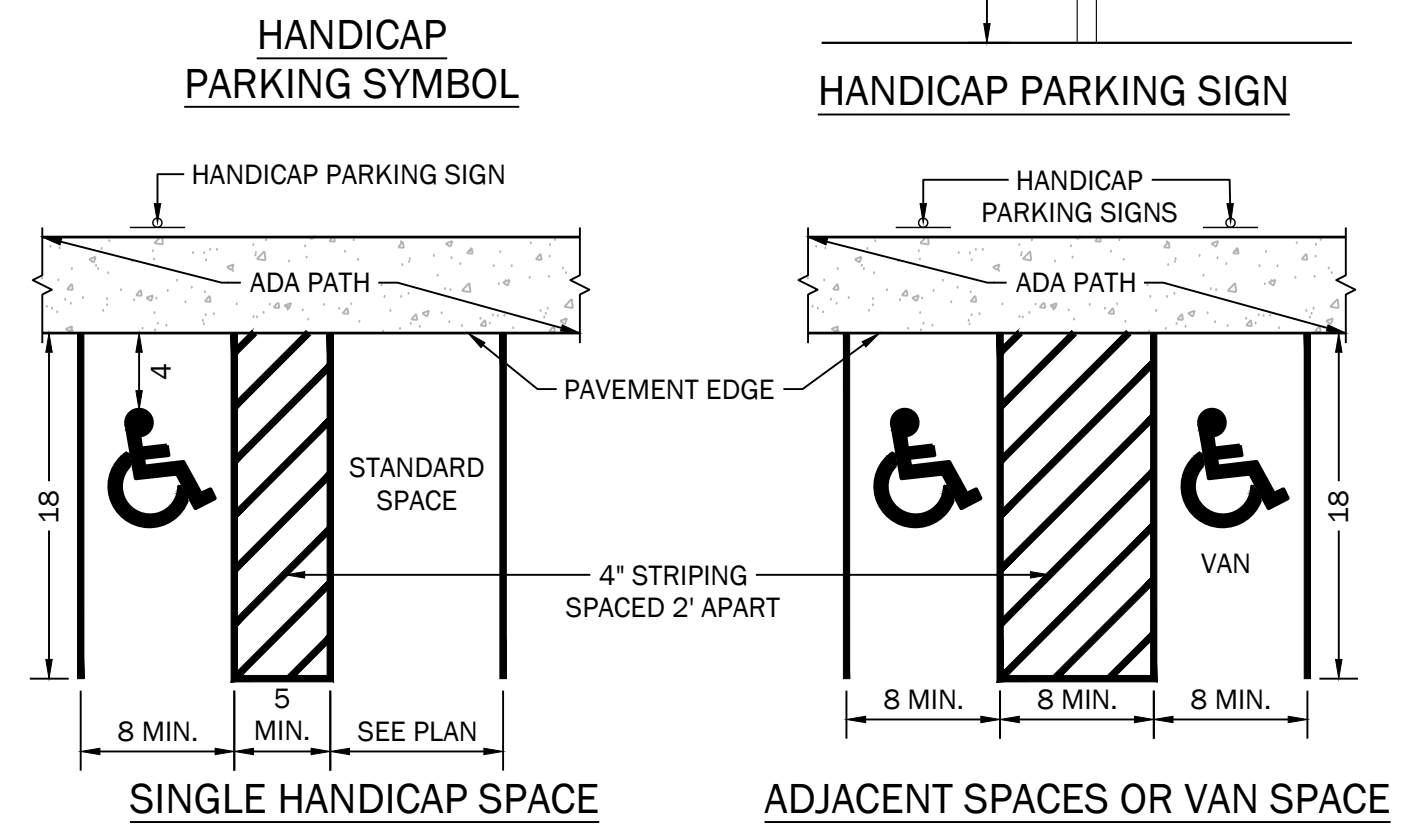
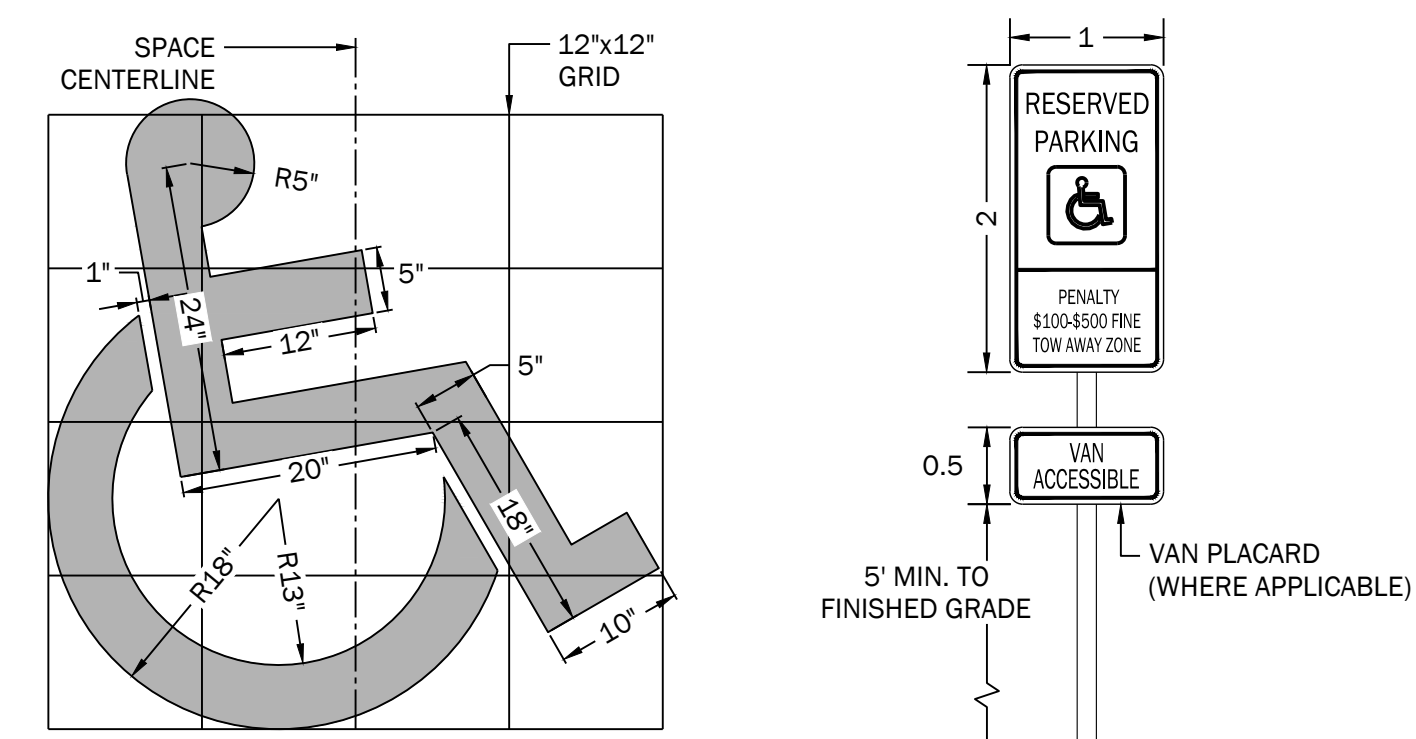
② CONCRETE PAVEMENT



③ CONCRETE PAVEMENT EXPANSION JOINT

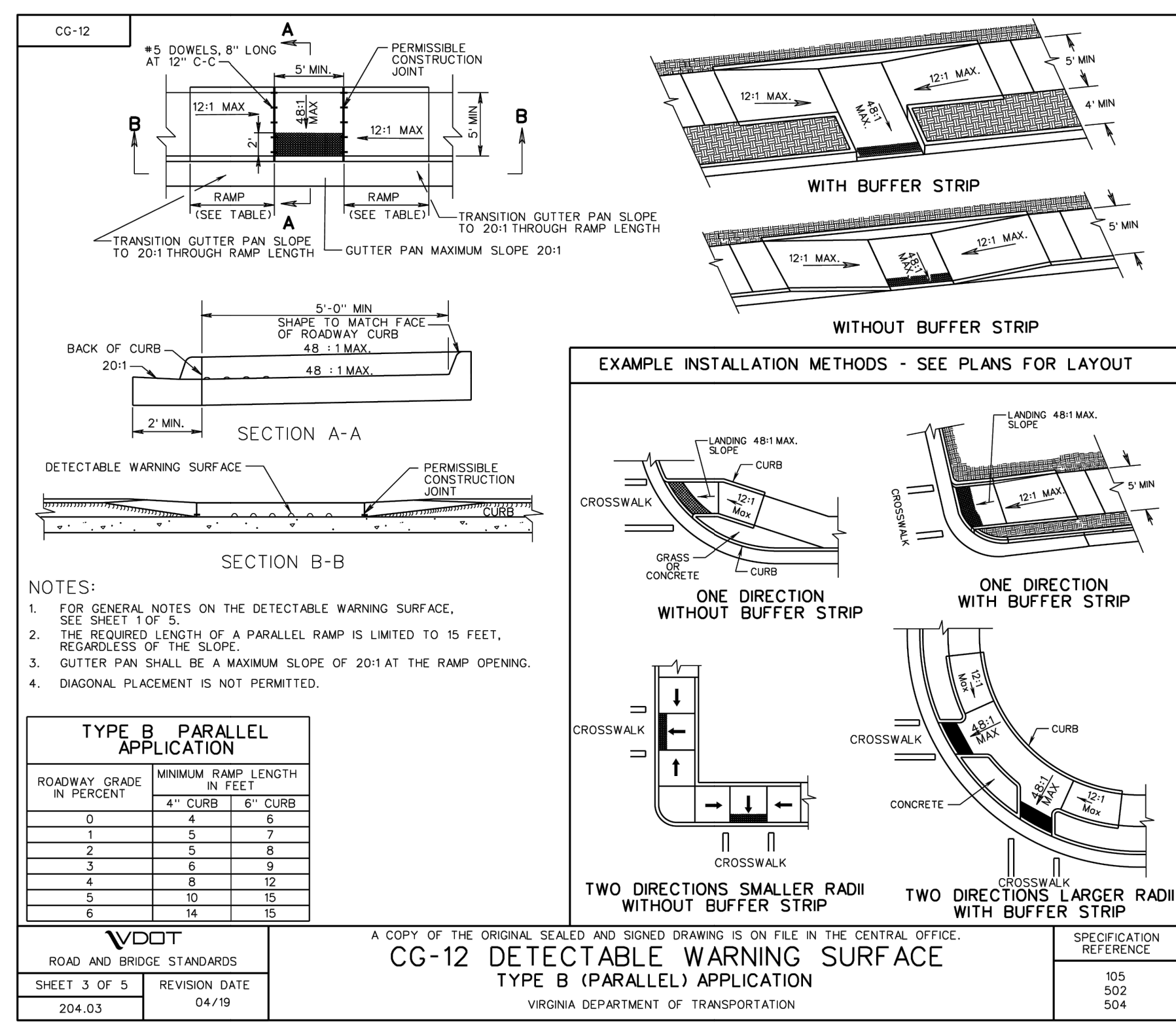


④ ASPHALT PAVEMENT

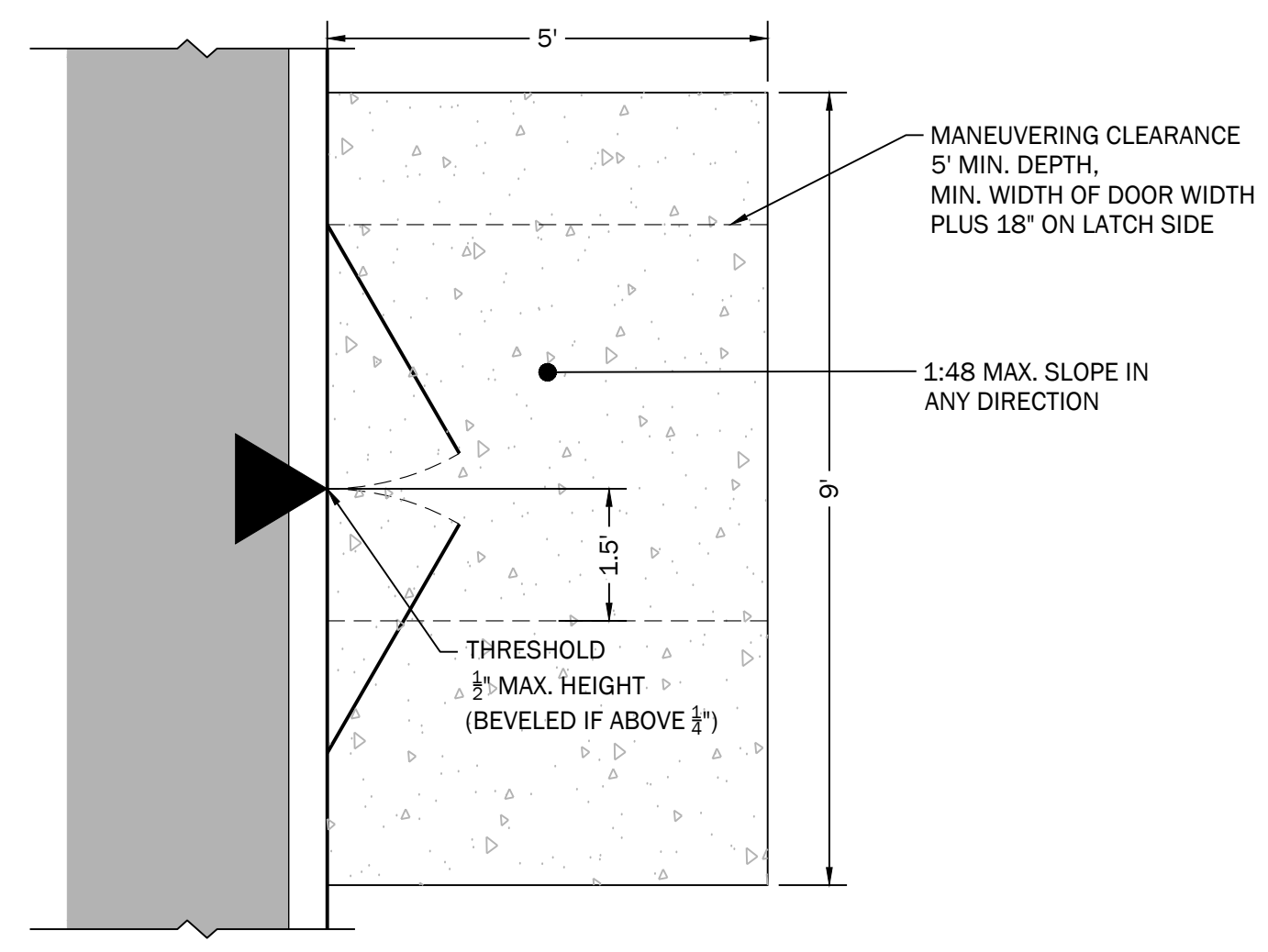


- HANDICAP PARKING SPACE NOTES:**
- SPACES SHALL BE COMPLIANT WITH ADAAG 502.6 AND VUSBC 1106.8.
 - ALL HANDICAP PARKING PAVEMENT MARKINGS SHALL BE WHITE IN COLOR.
- HANDICAP PARKING SIGN NOTES:**
- SIGN SYMBOL SHALL BE INTERNATIONAL HANDICAP SYMBOL.
 - SIGN MATERIAL TO BE 0.065\"/>

⑤ ACCESSIBLE PARKING SPACE



⑥ CG-12B



⑦ ENTRANCE MANEUVERING CLEARANCE



SUB NO./DESCRIPTION
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FINAL SITE PLAN

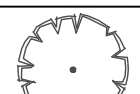


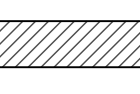
LINE AND GRADE
Civil Engineering

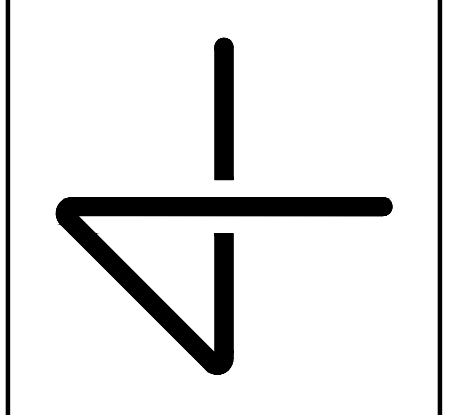
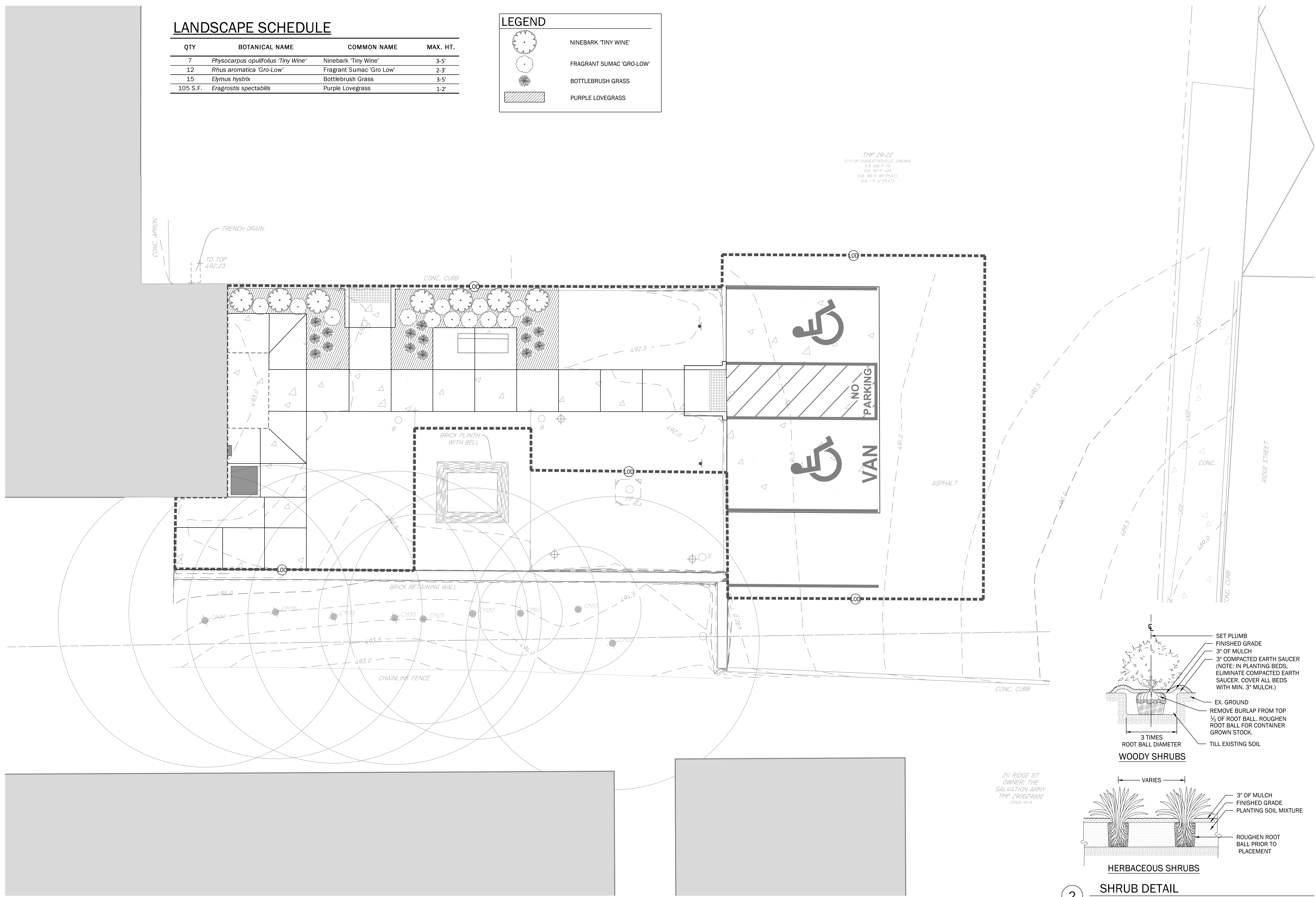
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LANDSCAPE SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	MAX. HT.
7	<i>Physocarpus opulifolius</i> 'Tiny Wine'	Ninebark 'Tiny Wine'	3-5'
12	<i>Rhus aromatica</i> 'Gro-Low'	Fragrant Sumac 'Gro Low'	2-3'
15	<i>Elymus hystrix</i>	Bottlebrush Grass	3-5'
105 S.F.	<i>Eragrostis spectabilis</i>	Purple Lovegrass	1-2'

LEGEND

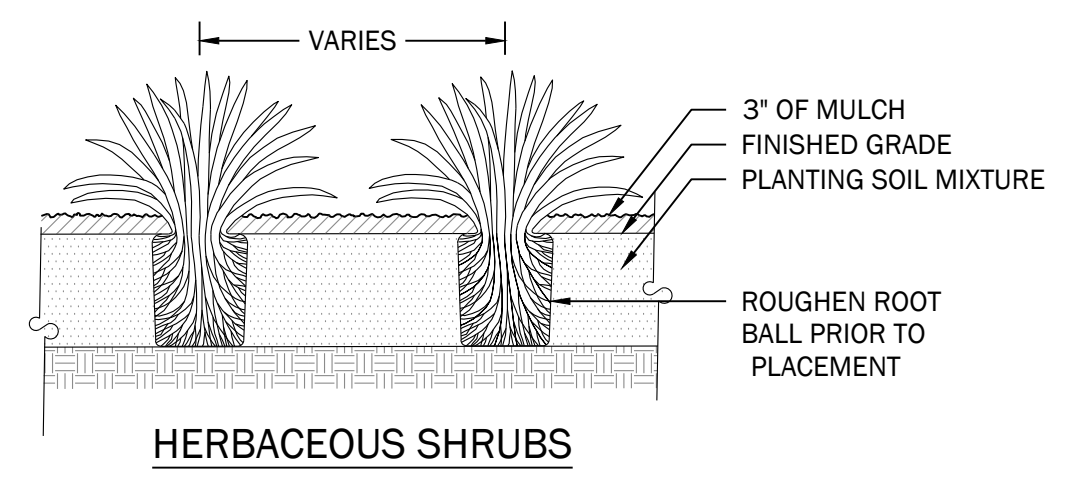
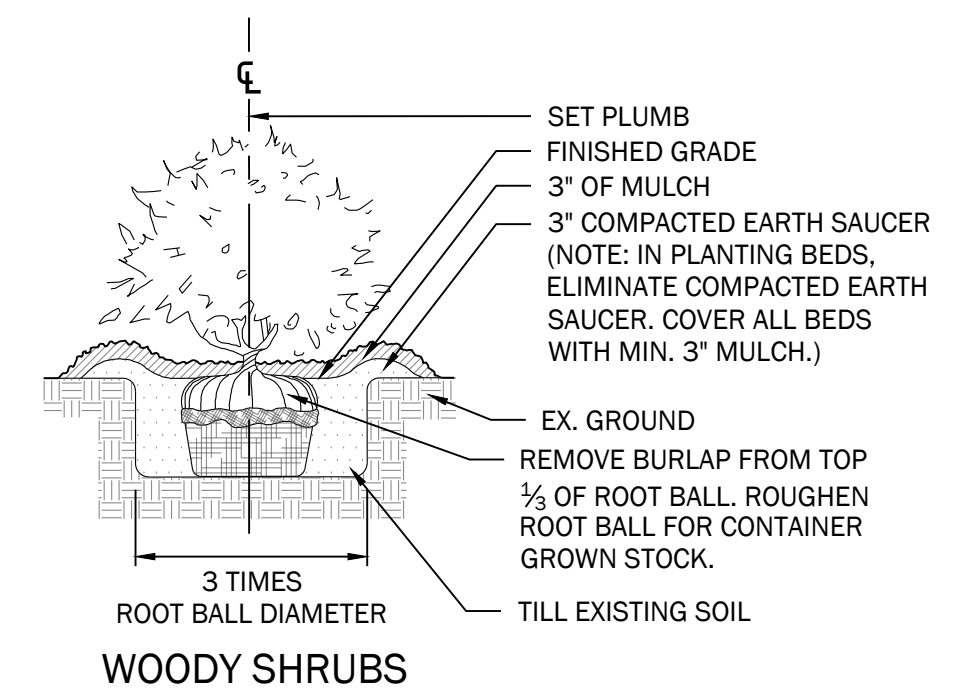
-  NINEBARK 'TINY WINE'
-  FRAGRANT SUMAC 'GRO-LOW'
-  BOTTLEBRUSH GRASS
-  PURPLE LOVEGRASS



LANDSCAPING PLAN
RIDGE ST FIRE STATION ACCESSIBILITY
FINAL SITE PLAN
 CHARLOTTESVILLE, VIRGINIA



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 FINAL SITE PLAN



2 SHRUB DETAIL